



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

May 9, 2016

Katriina S. McGuire  
Thompson Coburn LLP  
55 East Monroe Street  
37<sup>th</sup> Floor  
Chicago, IL 60603

**Re: Administrative Relief request for Residential Business Planned Development No. 368,  
Subarea D, Parcel 20, Target signs at 435 E. Illinois Street**

Dear Ms. McGuire:


Please be advised that your request for a minor change to Residential Business Planned Development No. 368 ("PD 368"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of PD 368.

You are seeking administrative relief on behalf of your client, Target Corporation, to allow nine signs at 435 E. Illinois St., which are not in compliance with Section 17-12-1005-A of the Zoning Ordinance and Statement 11e of the Planned Development Ordinance. As shown on the attached drawings, two Target logo signs are located above the entrance canopy on the West and North Elevations and seven logo signs are located on the sloped portion of seven awnings along the North Elevation. AH-River East LLC is the owner of Parcel 20 and has provided their consent to this request.

With regard to your request, the Department of Planning and Development has determined that allowing these signs will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 368, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Patricia A. Scudiero  
Zoning Administrator

C: Mike Marmo, Erik Glass, Main file

**ENGINEERING  
SHOP  
VINYL / LAYOUT  
ROUTING / KNIFE**



**CUSTOMER:**  
**TARGET**

**JOB NUMBER:**  
**T3207**

**SION TYPE:**  
**Various**

**LOCATION:**  
 435 E. Illinois Street  
 Chicago, IL 60611

**DATE:**  
**04/23/2015**

**DRAWN BY:**  
**JTR**

**REVISION:** Code Bk:  
 Number 8 07/21/2015 JTR ENG PART

**SHEET:**  
**2 OF 14**

**DWG NUMBER:**  
**B60071**

**ENGINEER SEAL:**

MAX DESIGN WIND SPEED 90 MPH  
 EXPOSURE C

THIS IS AN ORIGINAL, UNREPRODUCED DRAWING  
 CANNOT BE REPRODUCED WITHOUT THE WRITTEN  
 PERMISSION OF PHILADELPHIASIGN. THIS PROJECT  
 IS PLANNED FOR YOUR PROJECT. IT IS NOT TO  
 BE SHOWN TO ANYONE OUTSIDE YOUR  
 ORGANIZATION NOR IS IT TO BE USED, COPIED,  
 REPRODUCED, OR SPOKE OF IN ANY MANNER.

- ROOF 72' - 6"
- SIXTH FLOOR 39' - 8"
- FIFTH FLOOR 48' - 10"
- FOURTH FLOOR 38' - 0"
- THIRD FLOOR 27' - 2"
- SECOND FLOOR 15' - 4"
- FIRST FLOOR 3' - 6"
- GRADE AT NORTH 0' - 0"
- GRADE AT SLIP LEVEL 7' - 1 1/2"
- BASEMENT SLIP LEVEL 7' - 10"

18" Window Vinyl Applied  
 To Second Surface Of Glass  
 Window.

**WEST ELEVATION**  
 SCALE: 1/16" = 1'-0"

**PERMITS  
 ONLY**

NOTE: All Dimensions And Field Conditions  
 To Be Verified And Confirmed From Site Survey  
 Prior To Releasing For Fabrication.

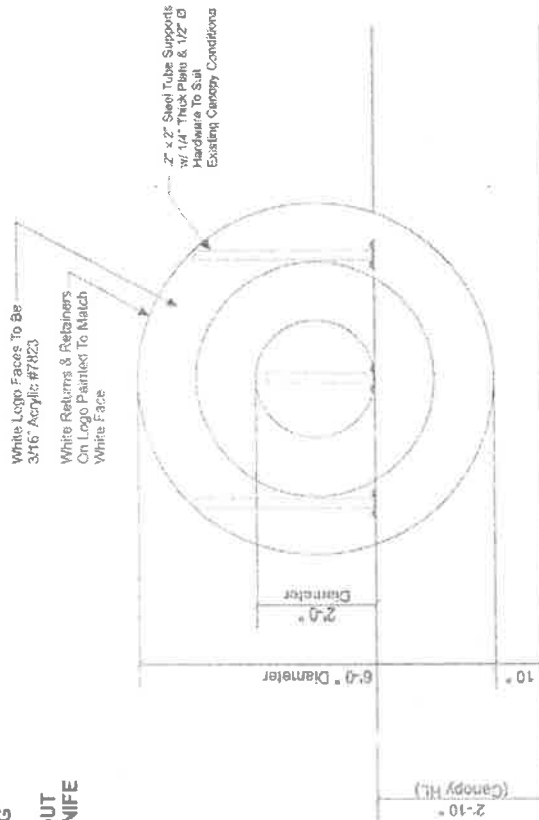
- 2 07-10-15
- 4 07-04-15
- 7 07-10-15

**SIGN C:** 6" Non-Illuminated  
 Logo On Canopy Edge.  
 Logo To Have Aluminum  
 Faces And Back.  
 Painted White (Gloss Finish).

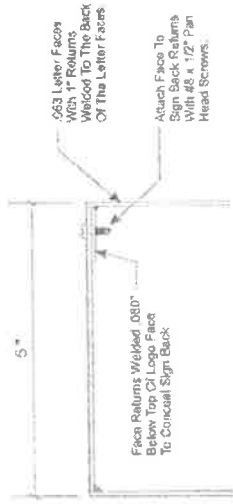
30" Starbucks Double-Faced  
 Illuminated Blade Sign.

Note: This sign is intended to be installed in accordance with the requirements of  
 Article 600 of the National Electrical Code and/or other applicable local codes.  
 This includes proper grounding and bonding of the sign.

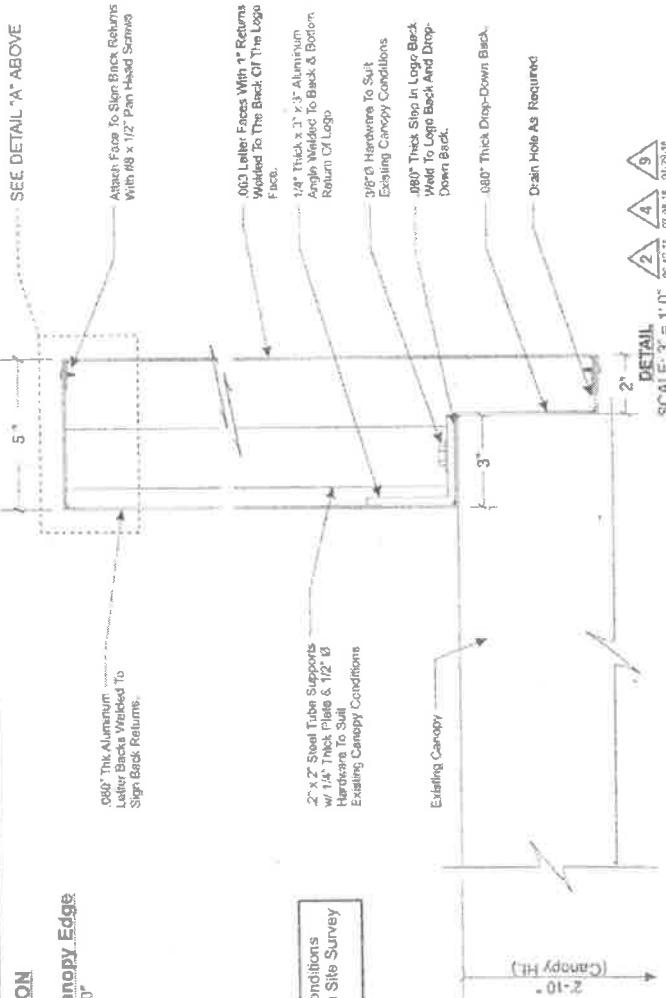
**ENGINEERING  
SHOP  
VINYL / LAYOUT  
ROUTING / KNIFE**



SQUARE FOOTAGE: 36.0



**DETAIL "A"**  
HALF SCALE



**WEST ELEVATION  
SIGN "C"**  
6'-0" High White Logo on Canopy Edge  
SCALE: 1/2" = 1'-0"

**DETAIL**  
SCALE: 3" = 1'-0"  
07-28-15 07-28-15 07-28-15

**NOTE:** All Dimensions And Field Conditions To Be Verified And Confirmed From Site Survey Prior To Releasing For Fabrication.

**ELECTRICAL LOAD**  
6' LOGO  
(5) Amps @ 120 Volts  
**ELECTRICAL REQUIREMENTS**  
(1) 20 Amp/120 Volt Circuits

**STANDARD WALL SIGN NOTES:**

1. Sufficient Primary Circuit In Vicinity Of Sign By Others.
2. Final Primary Hook-Up To The Power Distribution Board By Others.
3. Sign Shall Be U.L. Listed.
4. Mounting Hardware By Sign Installer.
5. This Sign Has Been Designed With The Criteria as set forth in the IBC 2003 & IBC 2006. The Design Meets or Exceeds those Requirements for the Geographical Location in Which it is to be Erected.

**Note:** This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**PERMITS  
ONLY**

	<b>PHILADELPHIA SIGN</b> 178 West Sping Garden Street Philadelphia, New Jersey 08165 Phone: 856.833.1490 Fax: 856.833.8149 www.philadelphia-sign.com
<b>CUSTOMER:</b>	<b>TARGET</b>
<b>JOB NUMBER:</b>	<b>T3207</b>
<b>SIGN TYPE:</b>	<b>Various</b>
<b>LOCATION:</b>	401 E. Illinois Street Chicago, IL 60611
<b>DATE:</b>	04/23/2015
<b>DRAWN BY:</b>	JTR
<b>REVISION:</b>	Date: 07/28/2015 BY: JTR
<b>SHEET:</b>	6 OF 14
<b>DWG NUMBER:</b>	B60071
<b>ENGINEER SEAL:</b>	
<b>MAX DESIGN WIND SPEED:</b>	90 MPH
<b>EXPOSURE:</b>	C
THIS IS AN ORIGINAL UNREPRODUCED DRAWING. ANY REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF PHILADELPHIA SIGN IS PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. PHILADELPHIA SIGN SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR PERSONS OR ANY OTHER CONSEQUENCES THAT MAY BE INCURRED AS A RESULT OF THE USE OF THIS DRAWING.	



PHILADELPHIASIGN  
SERVING THE PERMITTING PROCESS FOR YOU

307 West Sprague Garden Street  
Palmyra, New Jersey 08058  
Phone: 856.825.1450  
Fax: 856.825.8149  
www.philadelphiaign.com

CUSTOMER:

TARGET

JOB NUMBER:

T3207

SIGN TYPE:

Various

LOCATION:

435 E. Illinois Street  
Chicago, IL 60611

DATE:

04/23/2015

DRAWN BY:

JTR

REVISION:

Date By:  
Number: 07/21/2015 JTR

SHEET:

3 OF 14

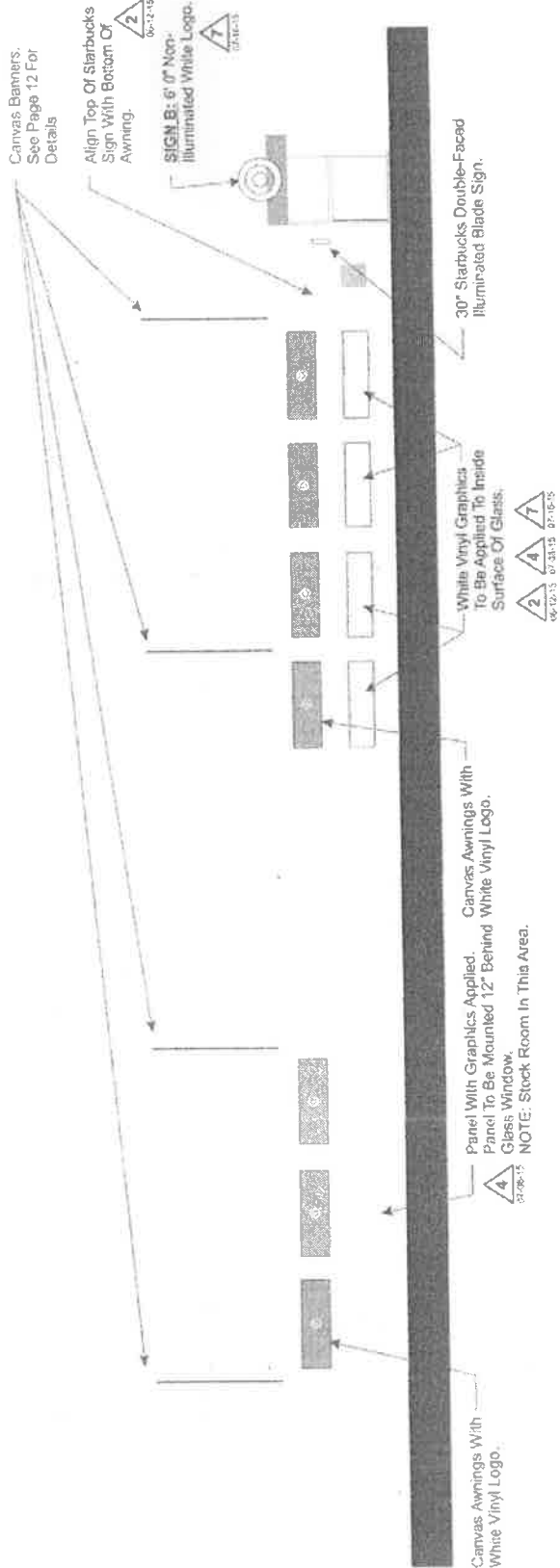
DWG NUMBER:

B60071

ENGINEER SEAL:

MAX DESIGN WIND SPEED 50 MPH  
EXPOSURE C

THIS IS AN ORIGINAL UNREVISED DRAWING  
CREATED BY PHAS. IT IS INTENDED FOR YOUR  
PERIODIC USE TO CORRECT AND/OR RE-  
DESIGN PERMITS FOR THIS PROJECT. IT IS NOT  
TO BE USED FOR ANY OTHER PROJECTS.  
CORRECTIONS ARE TO BE MADE BY THE  
APPLICABLE PHAS. IT IS NOT TO BE USED  
FOR ANY OTHER PROJECTS.



NORTH ELEVATION  
SCALE: 1/16" = 1'-0"

PERMITS  
ONLY

NOTE: ALL DIMENSIONS AND FIELD CONDITIONS TO BE VERIFIED AND CONFIRMED FROM SITE SURVEY PRIOR TO RELEASING FOR FABRICATION.

Note: This sign is intended to be installed in accordance with the requirements of Article 500 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



**PHILADELPHASION**  
 1737 West Springfield Avenue  
 Philadelphia, PA 19103

Phone: 215-381-1488  
 Fax: 215-381-1489  
 www.philadelphasion.com

**CUSTOMER:**  
**TARGET**

**JOB NUMBER:**  
**T3207**

**SIGN TYPE:**  
 Various

**LOCATION:**  
 401 E. Illinois Street  
 Chicago, IL 60611

**DATE:**  
 04/23/2015

**DRAWN BY:**  
**JTR**

**REVISION:** Date By  
 9 07/28/2015 JTR

**SHEET:**  
 5 OF 14

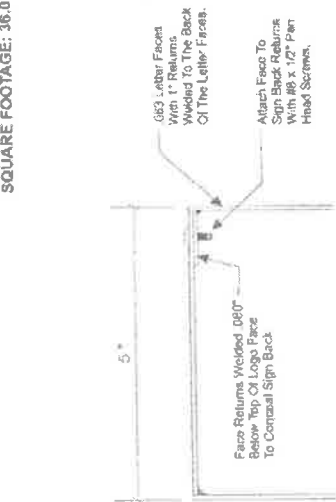
**DWG NUMBER:**  
**B60071**

**ENGINEER SEAL:**

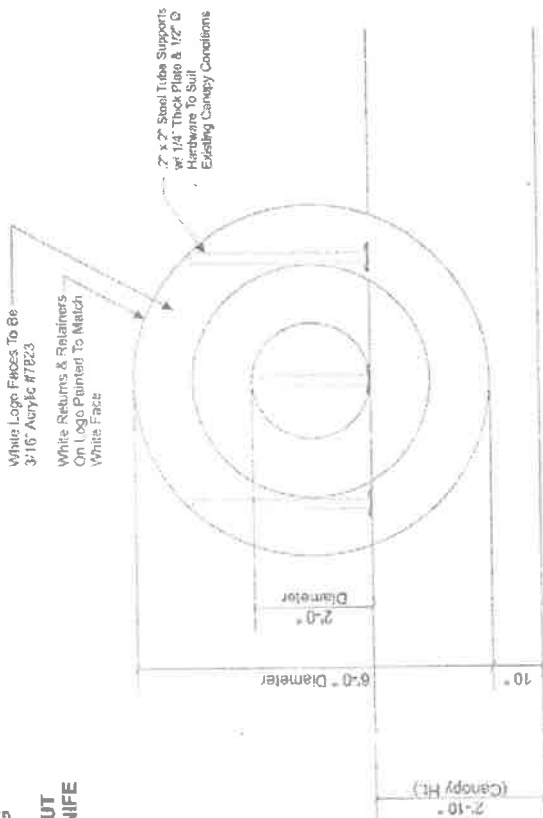
**MAN DESIGN (THIS SHEET IS AN) EXPOSURE C**

**THIS IS AN EXPOSURE. UNEXPOSED DRAWINGS CREATED BY PHOENIX ARE NOT VALID. THIS DRAWING HAS BEEN EXPOSED TO UV LIGHT IN PHOENIX, ARIZONA. IT IS NOT TO BE USED, COPIED, REPRODUCED OR OTHERWISE IN ANY MANNER.**

**SQUARE FOOTAGE: 36.0**

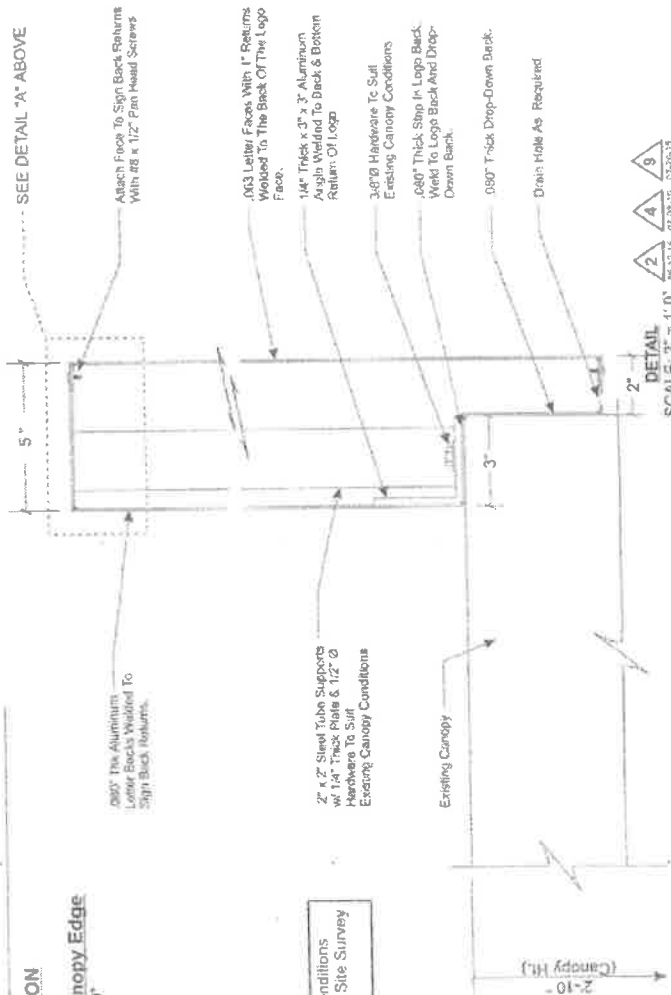


**DETAIL "A"**  
 HALF SCALE



**NORTH ELEVATION SIGN "B"**

6'-0" White Logo on Canopy Edge  
 SCALE: 1/2" = 1' 0"



**NOTE:** All Dimensions And Field Conditions To Be Verified And Confirmed From Site Survey Prior To Releasing For Fabrication.

**ELECTRICAL LOAD**  
 6' LOGO  
 (5) Amps @ 120 Volts  
**ELECTRICAL REQUISITS**  
 (1) 20 Amp/120 Volt Circuit

- STANDARD WALL SIGN NOTES:**
- Sufficient Primary Circuit In Vicinity Of Sign By Others.
  - Final Primary Hook-Up To The Power Distribution Board By Others.
  - Sign Shall Be U.L. Listed.
  - Mounting Hardware By Sign Installer.
  - This Sign has been Designed with the Criteria as set forth in the IBC 2003 & IBC 2006. The Design Meets or Exceeds those Requirements for the Geographical Location in which it is to be Erected.

**Note:** This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**PERMITS ONLY**

ENGINEERING  
SHOP  
VINYL / LAYOUT  
ROUTING / KNIFE

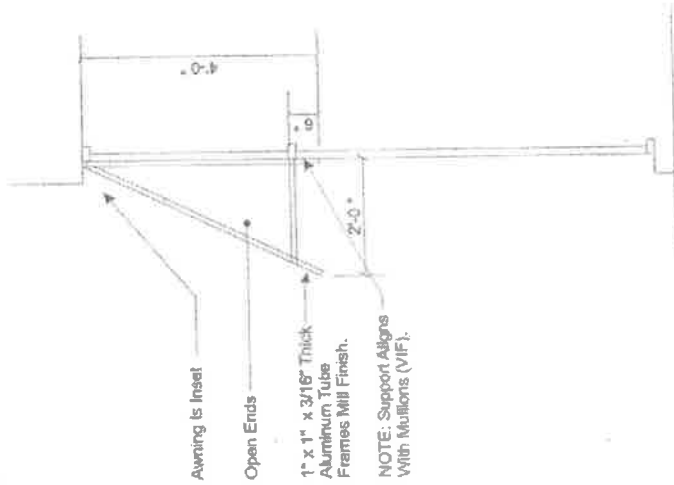
SQUARE FOOTAGE: 48.33

**PHILADELPHIASIGN**  
3810 W. 12TH STREET, PHILADELPHIA, PA 19104  
707 West Spring Garden Street  
Philadelphia, New Jersey 08105  
Phone: 856.458.1425  
Fax: 856.458.1418  
www.philadelphia-sign.com

CUSTOMER:	TARGET
JOB NUMBER:	T3207
SIGN TYPE:	Various
LOCATION:	438 E. Illinois Street Chicago, IL 60611
DATE:	04/23/2015
DRAWN BY:	JTR
REVISION:	0 07/21/2015 JTR
SHEET:	7 OF 14
DWG NUMBER:	B60071
ENGINEER SEAL:	

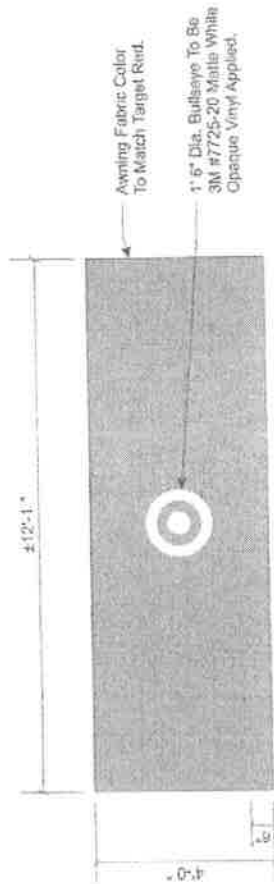
MAX WIND SPEED 30 MPH  
EXPOSURE C

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CREATED BY PHILADELPHIASIGN. IT IS UNLAWFUL  
TO REPRODUCE OR TRANSMIT THIS DRAWING IN ANY  
MANNER FOR ANY PURPOSES WITHOUT THE WRITTEN  
CONSENT OF PHILADELPHIASIGN. ANY UNLAWFUL  
REPRODUCTION OR TRANSMISSION OF THIS  
DRAWING WILL BE PROSECUTED TO THE FULL  
EXTENT OF THE LAW.



**3** SIDE VIEW  
SCALE: 1/2" = 1'-0"

NOTE: All Dimensions And Field Conditions  
To Be Verified And Confirmed From Site Survey  
Prior To Reloading For Fabrication.



**4** NORTH ELEVATION  
Awning - 1' 5" Dia. Bulls-eye  
(7) Required  
SCALE: 3/8" = 1'-0"

**3** 04/23/2015 JTR

PERMITS  
ONLY

Note: This sign is intended to be installed in accordance with the requirements of Article 690 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding at the sign.



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

April 5, 2016

William W. Tippens  
RMW Streeterville LLC  
350 W. Hubbard St., Suite 300  
Chicago, IL 60654

**Re: Administrative Relief request for Residential Business Planned Development No. 368,  
Subarea F, Parcel 21B, Proposed Park between 451 E. Grand Ave. and 505 N. McClurg Ct.**

Dear Mr. Tippens:


Please be advised that your request for a minor change to Residential Business Planned Development No. 368 ("PD 368"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of PD 368.

RMW Streeterville owns Parcel's 21B and 21C within Subarea F of PD 368. They are seeking administrative relief to modify the proposed 70,000 square foot park to be located on Parcel 21B, between 451 E Grand Ave. (Parcel 21C) and 505 N. McClurg Ct. (Parcel 21A), and as required pursuant to Statement No. 14. Specifically, the dog run has been enlarged and the children's play area within the pocket park has been enlarged. The attached revised drawings, dated March 23, 2016, shall be inserted into the main file: Site Plan, Landscape Plan, Pocket Park Landscape Plan, Landscape Sections, and Landscape Plant List.

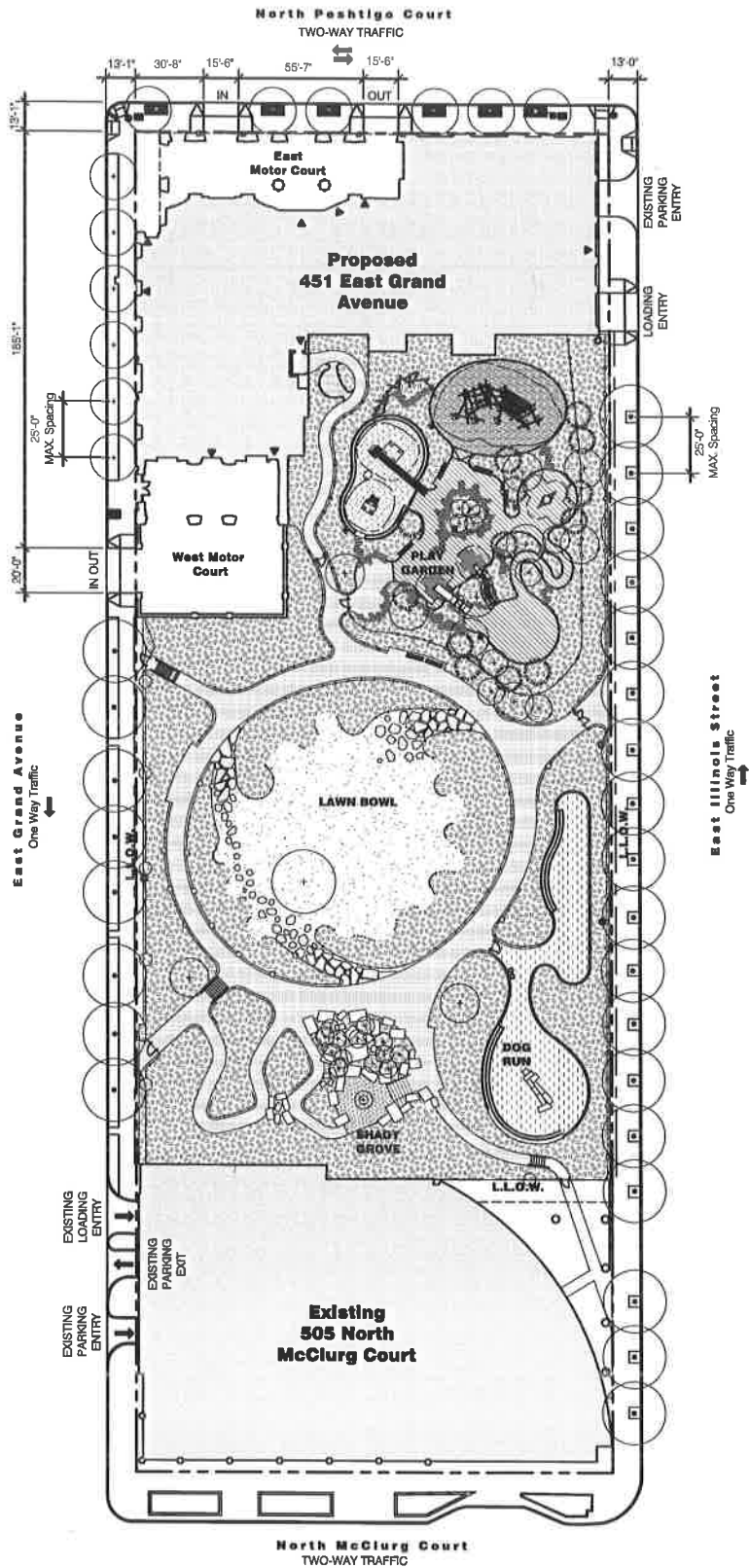
With regard to your request, the Department of Planning and Development has determined that the park revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 368, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

C: Mike Marmo, Erik Glass, Ron Daye, Main file



Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Request for Minor Change, March 23, 2016





























# SITE PLAN

SCALE: 1"=80'-0"

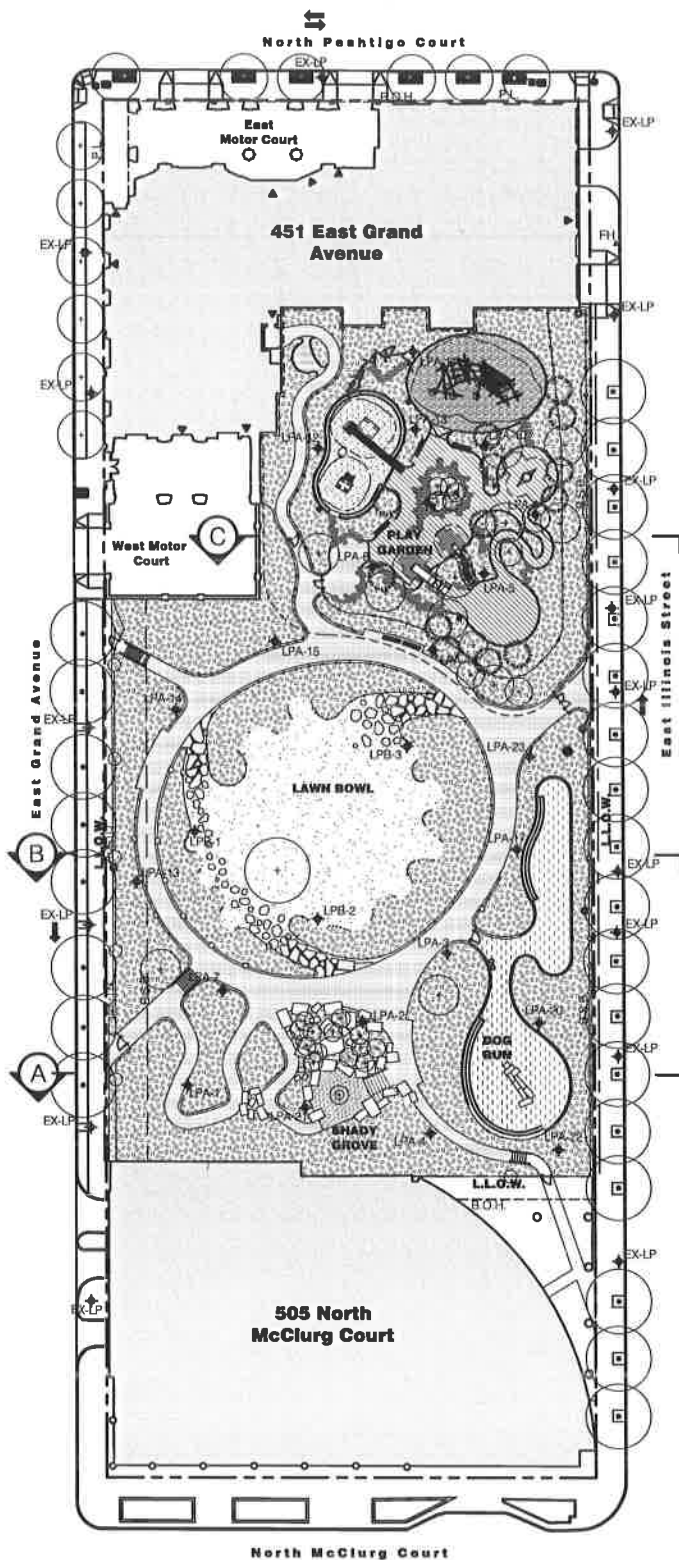


## Landscape Plan Legend

-  **L.O.W.** Limit of Work
-  **P.L.** Property Line
-  **B.O.H.** Building Overhang
-  **P.P.B.** Pocket Park Boundary
-  Park Fence and Gate
-  Chain Link Fence and Gate
-  Plant Bed Rail, Type A
-  Plant Bed Rail, Type B
-  Play Rope Fence
-  Building Entry
-  **EX-LP** Existing Light Pole
-  **LPA** Light Pole, Type A
-  **LPB** Light Pole, Type B
-  Metal Bench
-  CIP Concrete Seat Wall
-  Timber Piles
-  Exposed Aggregate Concrete Pavement
-  PIP Play Surface
-  Riverstone Pavement
-  Sand Play Surface
-  Mulch Play Surface
-  Play Tile Surface
-  Plant Bed
-  Existing Street Tree
-  Proposed Deciduous Tree (48 Trees)
-  Proposed Evergreen Tree (13 Trees)

## Landscape Information

Size: 70,220 SF  
Landscape Area: 35,900 SF (51%)



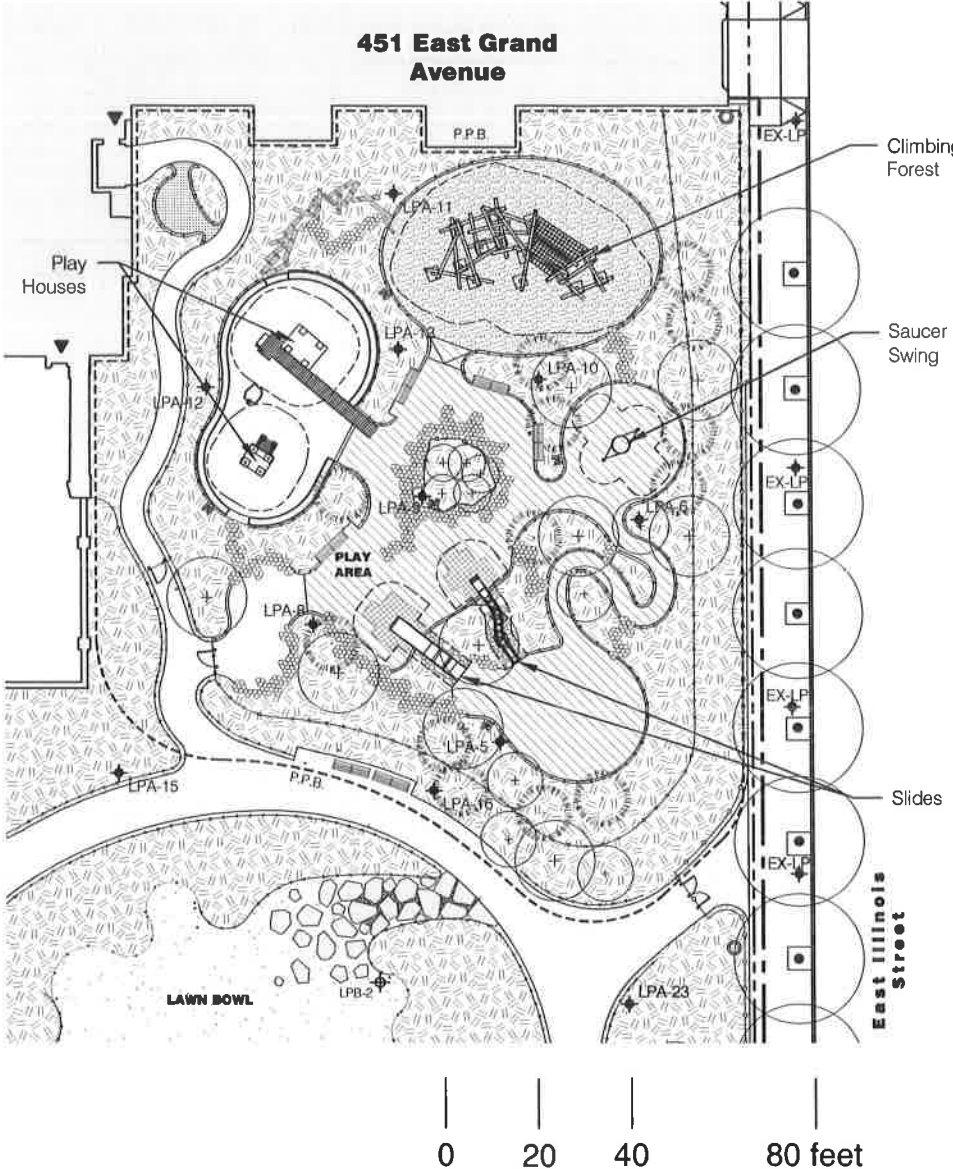
**LANDSCAPE PLAN**  
SCALE: 1"=80'-0"



Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Request for Minor Change, March 23, 2016

**Pocket Park Legend**

- L.O.W. Limit of Work
- P.L. Property Line
- B.O.H. Building Overhang
- P.P.B. Pocket Park Boundary
- Park Fence and Gate
- Chain Link Fence and Gate
- Plant Bed Rail, Type A
- Plant Bed Rail, Type B
- Play Rope Fence
- Building Entry
- EX-LP Existing Light Pole
- LPA Light Pole, Type A
- LPB Light Pole, Type B
- Metal Bench
- CIP Concrete Seat Wall
- Timber Piles
- Exposed Aggregate Concrete Pavement
- PIP Play Surface
- Riverstone Pavement
- Sand Play Surface
- Mulch Play Surface
- Play Tile Surface
- Plant Bed
- Existing Street Tree
- Proposed Deciduous Tree (19 Trees)
- Proposed Evergreen Tree (13 Trees)



**Design Description**

Containing a series of interconnected play areas for children of all ages and their families, the pocket park along E. Illinois Street will be an amenity for residents of the Streeterville neighborhood and for visitors. Conventional play equipment including slides and a swing will be coupled with opportunities for sensory play that engages children with the nature that surrounds the play area. Some areas will have topography to encourage different ways to play, while seating will provide a place for all to stop and rest. Planting is integrated to provide seasonal interest and shade.

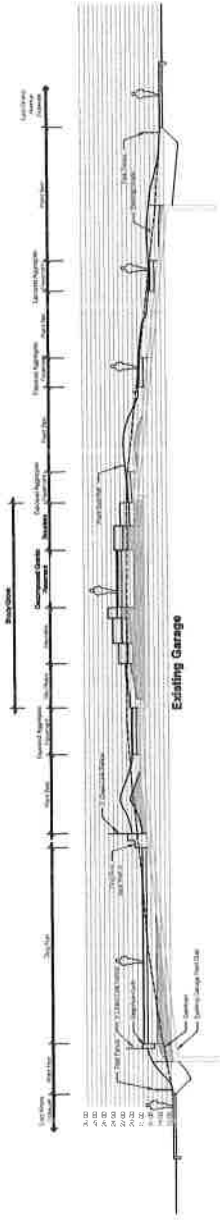
**Pocket Park Information**

- Size: 20,608 SF
- Landscape Area: 11,520 SF (56%)
- Tree Quantity: 32
- Seating: 155 LF
- Perimeter: 610 LF
- Street Frontage: 154 LF (25% of Perimeter)
- Length: 160 LF
- Width: 140 LF

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Request for Minor Change, March 23, 2016

**POCKET PARK  
 LANDSCAPE PLAN**  
 SCALE: 1"=40'-0"

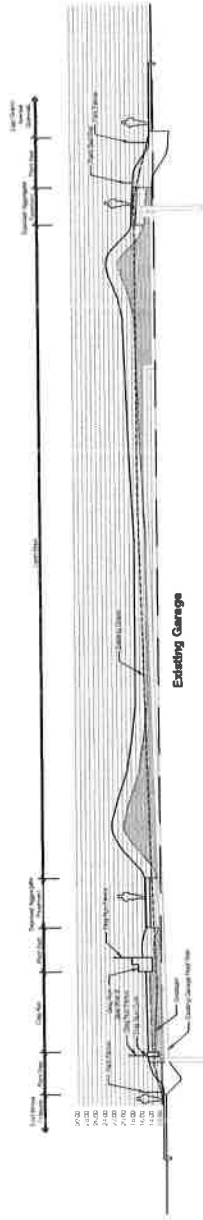




**Section**

**A**

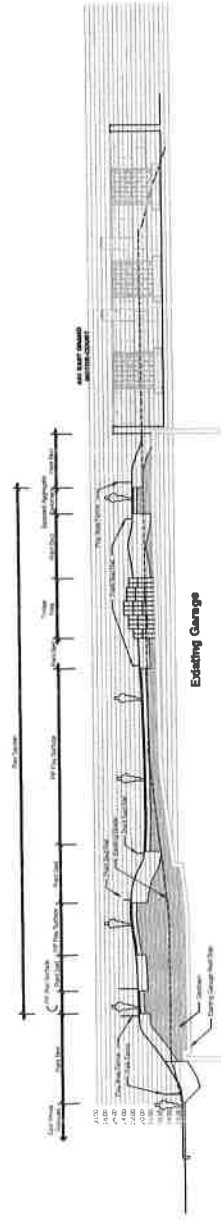
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**Section**

**B**

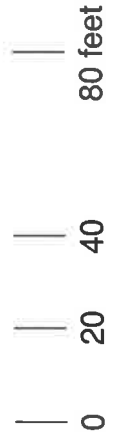
Scale: 1"=40'-0"



**Section**

**C**

Scale: 1"=40'-0"



## DECIDUOUS TREES

---

BOTANICAL NAME	COMMON NAME
<i>Carpinus caroliniana</i>	American Hornbeam
<i>Catalpa speciosa</i>	Northern Catalpa
<i>Celtis occidentalis</i>	Common Hackberry
<i>Cercis canadensis</i>	Eastern Redbud
<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn
<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Thornless Honey Locust
<i>Larix decidua</i>	European Larch
<i>Malus x zumi</i>	Redbud Crabapple
<i>Ostrya virginiana</i>	Eastern Hophornbeam

## EVERGREEN TREES

---

BOTANICAL NAME	COMMON NAME
<i>Picea abies</i> 'Pendula'	Weeping Norway Spruce
<i>Xanthocyparis nootkatensis</i> 'Pendula'	Weeping Alaska Cedar



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

November 20, 2015

Patrick Wartan  
Axia Law  
1 N. LaSalle Street  
Suite 1450  
Chicago, IL 60602

**Re: Advisory Opinion for Residential Business Planned Development No. 368  
Subarea D, Proposed Winter's Jazz Club at 445 E. Illinois Street**

Dear Mr. Wartan:

In response to your recent request, please be advised that the property located at 445 E. Illinois St. is zoned Residential Business Planned Development Number 368 ("PD 368"), Subarea D. Pursuant to Statement No. 5 of the Planned Development, the uses permitted shall be in general conformity with the permitted and special uses of the DX-12, Downtown Mixed-Use District.

You are seeking zoning confirmation that the establishment of a jazz club with live musical performances and liquor consumption on the premises ("Winter's Jazz Club"), to be located at 445 E. Illinois St., is in compliance with the Zoning Code, or if applicable, what steps must be taken to resolve any potential zoning issues. The jazz club will include an indoor and outdoor space and they will be seeking to apply for a tavern license, outdoor patio license and public place of amusement license (indoor).

Eating and drinking establishments, including taverns, are a permitted use in the DX, Downtown Mixed-Use District. Pursuant to Section 17-17-0104-K of the Zoning Ordinance, a tavern is defined as an establishment that is primarily engaged in serving alcoholic liquor for consumption on the premises and in which the serving of prepared food, live entertainment and dancing are permitted. An outdoor patio is also classified as an eating and drinking establishment

Therefore, the proposed Winter's Jazz Club is a permitted use at 445 E. Illinois St., within Subarea D of PD 368. If you have any questions, or need additional information, please contact Teresa McLaughlin at (312) 744-3509.

Sincerely,



Patricia A. Scudiero  
Zoning Administrator

PAS:HG:tm

C: Vicki Lozano, Janice Hill, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

November 16, 2015

Edward J. Kus  
Taft Stettinius & Hollister LLP  
111 East Wacker Drive  
Suite 2800  
Chicago, Illinois 60602

RE: Site Plan Approval for Residential-Business Planned Development No. 368, as amended – Subarea A

Location: 401 North Michigan Avenue

Dear Mr. Kus:

We have reviewed the plans submitted on behalf of Zeller-401 Property L.L.C., for the construction of a new glass-enclosed retail structure with descending stairs that will provide access from the southern portion of Pioneer Court, a privately-owned plaza, to existing space located below the plaza (concourse level). The proposed retail space will replace existing food service and commercial space that currently occupies the concourse level. As depicted on the drawings, the glass-enclosed entrance extends to the Riverwalk level. The submission includes the following drawings prepared by Foster and Partners dated November 3, 2015:

- General Site Plan;
- Existing Site Plan at the Plaza Level;
- Existing Site Plan at the Concourse Level;
- Proposed Site Plan at the Plaza Level;
- Proposed Site Plan at the Concourse Level;
- Proposed Tree Planting down to the Riverwalk;
- Proposed Cross Section;
- Perspective View from the Plaza Level;
- Perspective View from the Riverwalk Level;
- Perspective – “Bird’s-eye-view;”
- Existing Public Space;
- Removed/Added Public Space; and
- New Public Space.

The materials are submitted in accordance with Statement No. 16 of Residential-Business Planned Development No. 368, as amended.

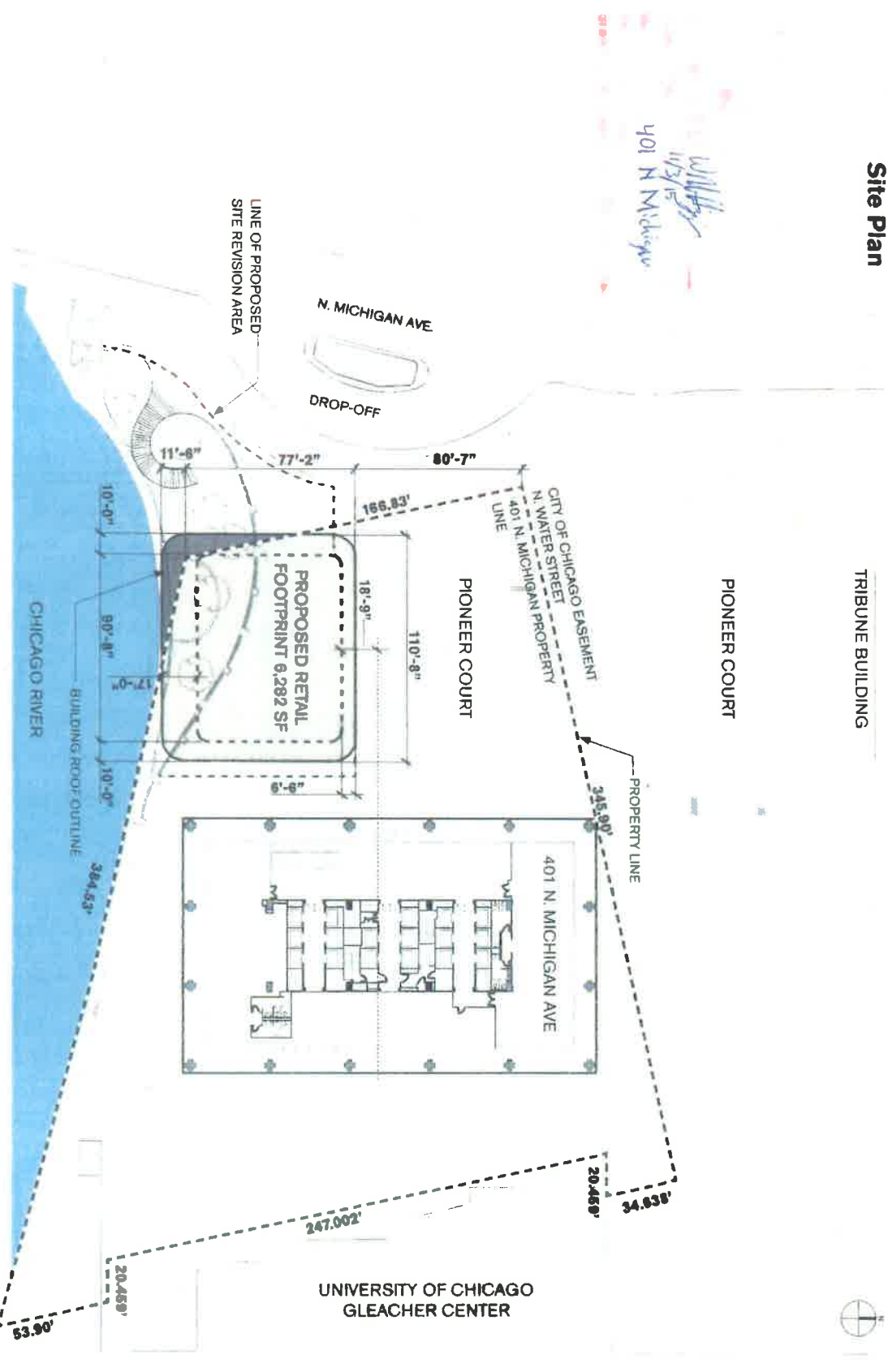
Upon review of the materials submitted, the Department of Planning and Development has determined that these plans are consistent with, and satisfy, the requirements of the Plan of Development. Accordingly, the Site Plan submittal for 401 North Michigan Avenue, for the construction of a new glass-enclosed entrance located on the southern portion of Pioneer Court with descending stairs to the Riverwalk Level, is hereby approved as conforming to the provisions of Residential-Business Planned Development No. 368, as amended. The drawings by Foster and Partners dated November 3, 2015 are hereby made a part of this approval.

Sincerely,

Patricia A. Scudiero  
Zoning Administrator

cc: Heather Gleason  
Michael Marmo  
Planned Development File

# Site Plan



Zeller Realty Group  
401 North Michigan Avenue, Chicago

November 3, 2015

Foster and Partners  
300 W. 119th Street, New York



Edward J. Kus

Direct: 312.836.4080  
Facsimile: 312.275.7586  
E-mail: ekus@taftlaw.com

111 East Wacker, Suite 2800  
Chicago, Illinois 60601  
Tel 312.527.4000 / Fax 312.527.4011  
www.taftlaw.com

November 5, 2015

Patricia A. Scudiero  
Zoning Administrator  
Department of Planning and Development  
121 North LaSalle Street  
Room 905, City Hall  
Chicago, Illinois 60602

RE: Request for Site Plan Approval at 401 North Michigan Avenue  
Residential-Business Planned Development No. 368, as amended -- Subarea A

Dear Ms. Scudiero:

Our firm represents Zeller Realty Group, the owner of the property located at 401 North Michigan Avenue (the "Property"). The Property is governed by the provisions of Residential-Business Planned Development No. 368, as amended, and is located within Subarea A ("PD 368"). Pursuant to Statement 16 of PD 368, we write to request Site Plan review and approval for a new glass-enclosed retail entrance structure with descending stairs that will provide access from the southern portion of the privately-owned plaza to existing space located below the plaza (concourse level). The proposed retail space will replace existing food service and retail space which currently occupies the area below the plaza. There will be a reconfigured transition between the plaza and Riverwalk levels with wide-terraced stairways on the east and west sides of the retail store. As depicted on the enclosed drawings, the glass entrance extends to the Riverwalk level.

This Site Plan review submittal includes all relevant information describing the proposed improvements. This includes exhibits which depict the improvements including data to be considered in determining compliance. Enclosed exhibits include the following:

- General Site Plan;
- Existing Site Plan at the Plaza Level;
- Existing Site Plan at the Concourse Level;
- Proposed Site Plan at the Plaza Level;
- Proposed Site Plan at the Concourse Level;
- Proposed Tree Planting down to the Riverwalk;
- Proposed Cross Section;

- Perspective View from the Plaza Level;
- Perspective View from the Riverwalk Level;
- Perspective – “Bird’s-eye view;”
- Existing Public Space;
- Removed/Added Public Space; and
- New Public Space.

### Technical Data

#### Floor Area Maximums

Pursuant to the definitions contained in the Chicago Zoning Ordinance (“CZO”), floor area of any floor located below grade or partially below-grade when the floor-to-ceiling height is more than one-half below grade, is excluded from FAR calculations (CZO, §17-17-0305-A). PD 368 expressly provides in Statement 6 that “in Subarea A, grade is herein established at plus thirty-five feet (+35) feet Chicago City Datum, plus or minus six ( $\pm 6$ ) feet in respect of design conditions (Plaza Level).” The majority of the floor area for the proposed retail tenant currently exists and is located below grade. As depicted on the cross-section exhibit, the height of the entrance structure from the concourse level to the underside of the roof is 32'-1½". The height of the structure above grade is 14' to the underside of the roof. Thus, more than one-half of the floor-to-ceiling height is below-grade and that floor area is excluded from the FAR calculations.

A portion of the glass entrance is located at the Plaza level, along with stairs and a small landing as depicted on the “Proposed Site Plan – Plaza Level” exhibit. The total square footage for this area is approximately 2,127 square feet, a *de minimis* amount of floor area. There is more than sufficient floor area available in Subarea A. PD 368 provides a maximum FAR of 13.81 for Subarea A. Based on a net site area of 380,796 square feet, Subarea A is allowed a maximum of 5,258,792.70 square feet of buildable floor area. Based on an assessment obtained from the Department of Planning and Development (“DPD”), approximately 3,624,736.50 square feet have been accounted for, thus leaving approximately 1,634,056.20 square feet of floor area remaining in Subarea A.

#### Use

PD 368 provides that uses below the Plaza Level shall be in general conformity with the permitted and special uses of the DX-12 Downtown Mixed-Use District, or the DX-16 District if within 200' of Michigan Avenue. The DX districts allow “general retail sales” as a permitted use, thus the proposed retail use of the below-grade space is permitted. There is no retail use proposed at the Plaza Level.

### **Parking and Loading**

PD 368 requires one parking space for each 5,000 square feet of business uses. PD 368 assumes an allocation of 760,241 square feet of floor area to the Property. Based upon this allocation, 152 parking spaces are required for the Property. No additional parking is required for the proposed retail entrance structure as it does not increase the floor area by more than 5,000 square feet. The Property has 210 parking spaces located below-grade.

PD 368 imposes an off-street loading requirement in accord with the DX-12 requirements. Minimum off-street loading ratios in the DX-12 district are as follows: one loading berth for retail uses up to 24,999 square feet; and two loading berths for retail uses of between 25,000 and 49,999 square feet. The Property currently has approximately 10,388 square feet of retail space at grade in the 401 Tower. The concourse level space for the proposed tenant contains a total of 19,253 square feet. The concourse level space includes a 7,500 square foot sales floor; back-of-house space; and a dedicated mechanical room. Even if the entire concourse level was counted as retail, the total square footage is 29,641 square feet, thus requiring two loading berths. Commercial uses (including office use) require one loading berth per 500,000 square feet or portion thereof. The Property contains over 760,000 square feet, thus requiring two loading berths. The Property as constructed and completed in approximately 1965, is served by six loading berths located below-grade. Accordingly, there is no requirement for an additional loading berth.

### **Retail Area Maximums**

PD 368 allows a maximum of 540,000 square feet of retail space among all of the properties in Subarea A, and assumes an allocation of 410,000 square feet to Parcels 4 and 5 and the residual 130,000 square feet to the remaining parcels, including the Property. PD 368 provides no direction as to how the 130,000 square feet of retail space is allocated to the individual parcels, and we are not aware of any private agreements between the parties. Moreover, based upon public records, Parcels 4 and 5 are well under their allocation of 410,000 square feet. The Property currently has approximately 10,388 square feet of retail space at grade in the 401 Tower and the proposed retail space located below-grade is 7,500 square feet as indicated on the enclosed "Proposed Site Plan – Concourse Level." Thus, this additional retail space does not exceed the maximum permitted in Subarea A. The remaining concourse level space of approximately 11,753 square feet will be utilized for back-of-house and a dedicated mechanical room for the proposed tenant.

**Additional Information**

The proposed plan and configuration of the glass-enclosed entrance structure will provide a new transition from the Plaza Level to the Riverwalk. There will be an increase of 60% more public area at the Riverwalk than currently exists. There is currently 5,200 square feet of public space and 1,100 square feet will be removed. There will be 4,300 square feet of public space added, thus producing 8,400 square feet of public space. A minimum 10' Riverwalk setback will be maintained. There will be new publicly accessible cascading stairs and seating areas at either side of the glass-enclosed structure connecting Michigan Avenue and the Chicago River, thus complementing the City's revitalization efforts of the Chicago River. There will also be improvements to the Michigan Avenue sidewalk area and to the Riverwalk Level on both the publicly-owned and 401-owned property. The improvements on the publicly-owned property are being coordinated with CDOT.

All of the improvements described above are depicted on the enclosed drawings and site plans. We suggest to you that this proposal conforms to PD 368 and is compatible with the character of the proposed improvements within PD 368. Accordingly, we request approval of the new glass-enclosed entrance located on the south portion of the Plaza Level with descending stairs to the Riverwalk Level.

Please feel free to contact the undersigned if you have any questions or if you require additional information.

Very truly yours,

TAFT STETTINIUS & HOLLISTER LLP

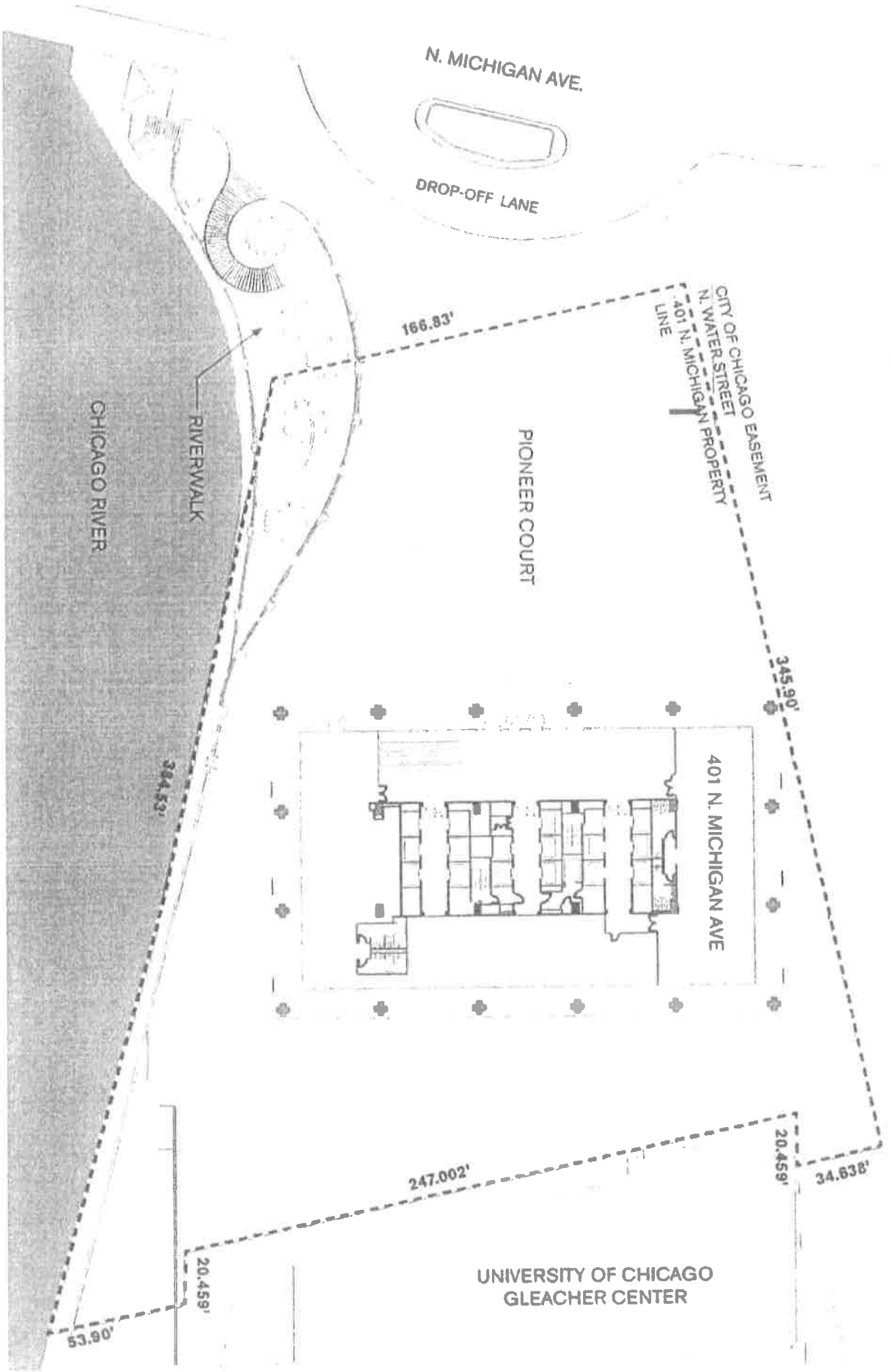


Edward J. Kus

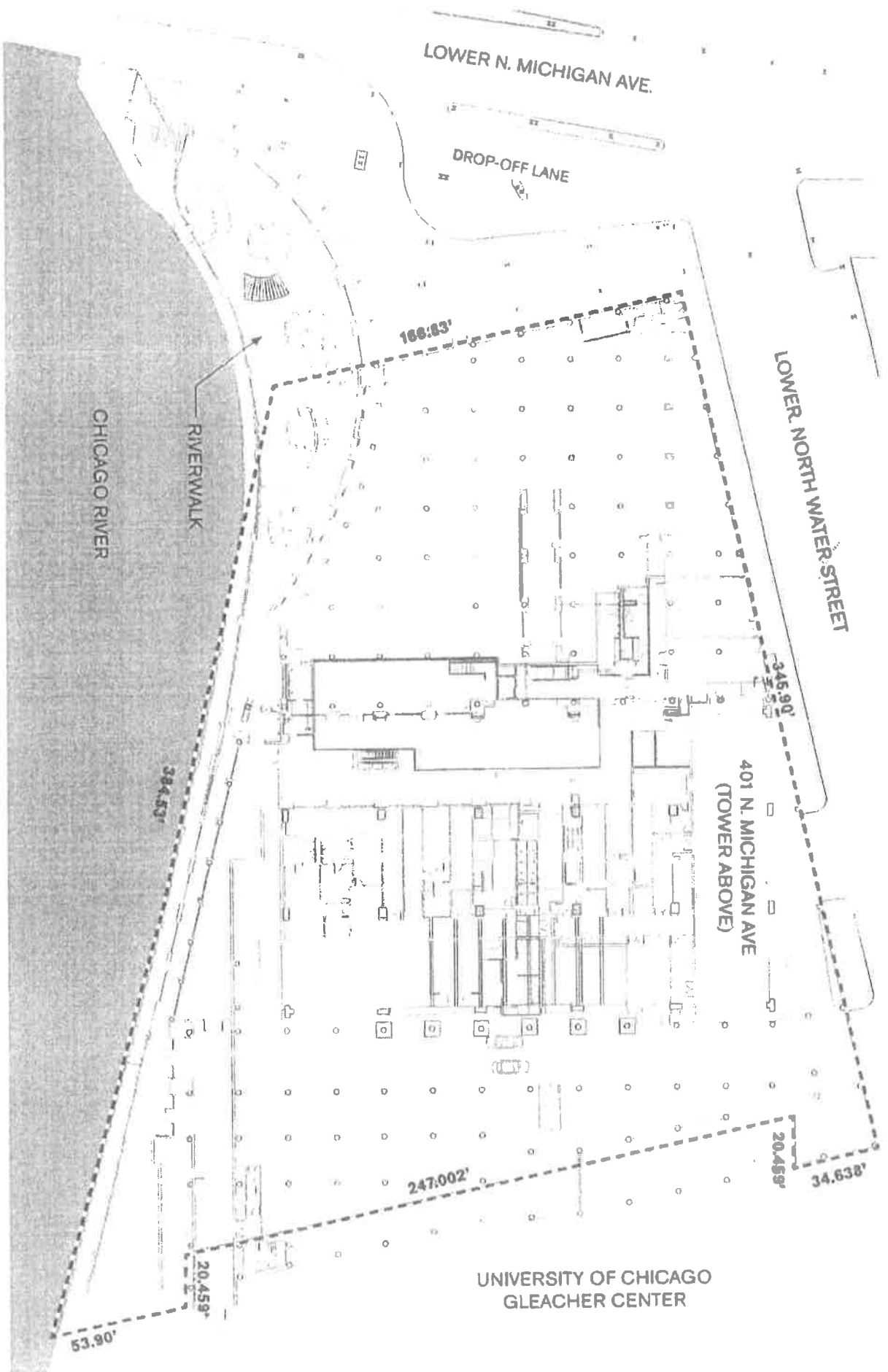
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Enclosures

cc: Commissioner David Reifman  
Jan Goldsmith  
Peter Scales  
Ted Novak

# Existing Site Plan Plaza Level



# Existing Site Plan Concourse Level



Zeller Realty Group  
401 North Michigan Avenue, Chicago

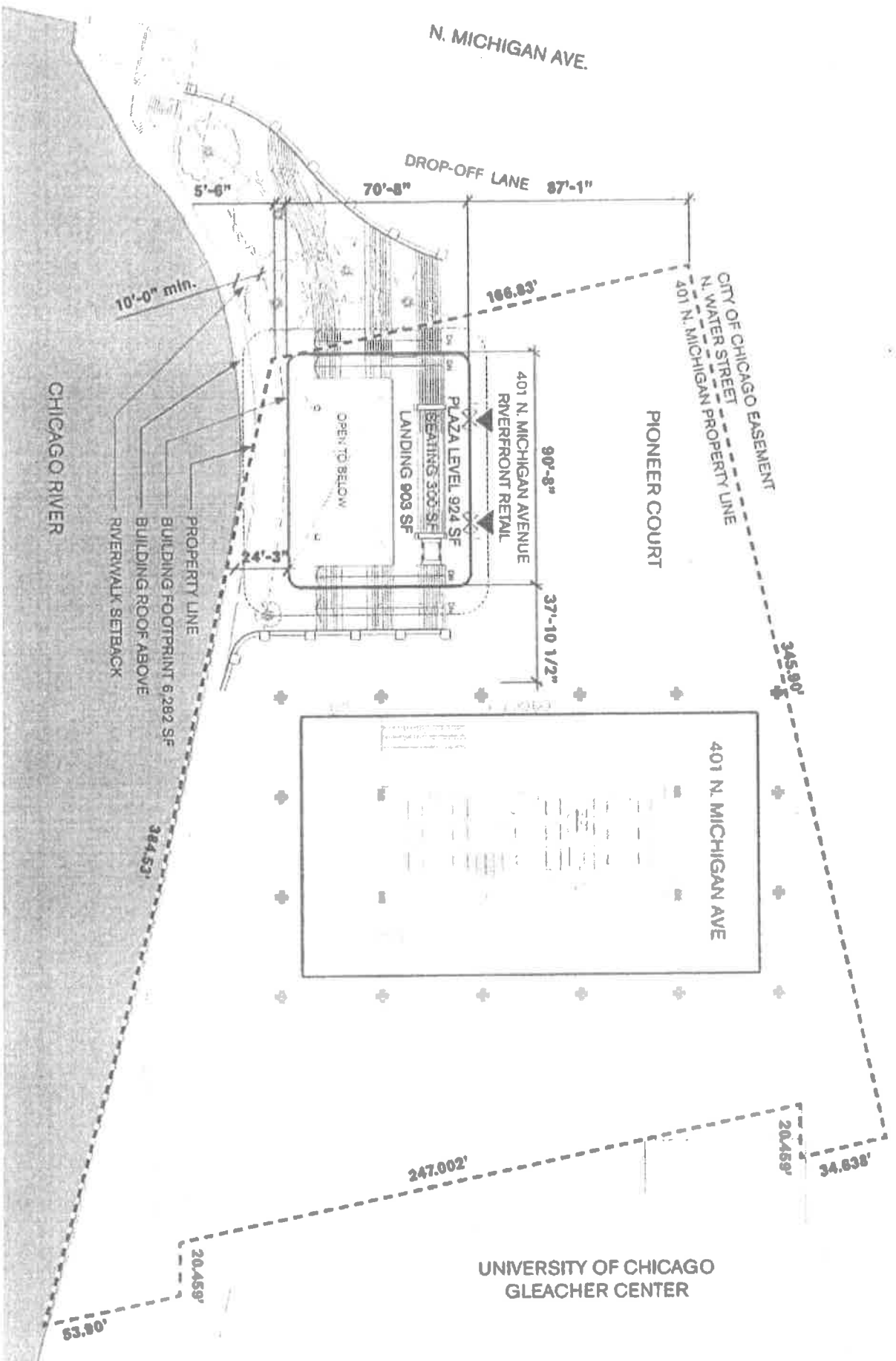
November 3, 2015

Foster and Partners  
200 West 57th Street, New York

# Proposed Site Plan

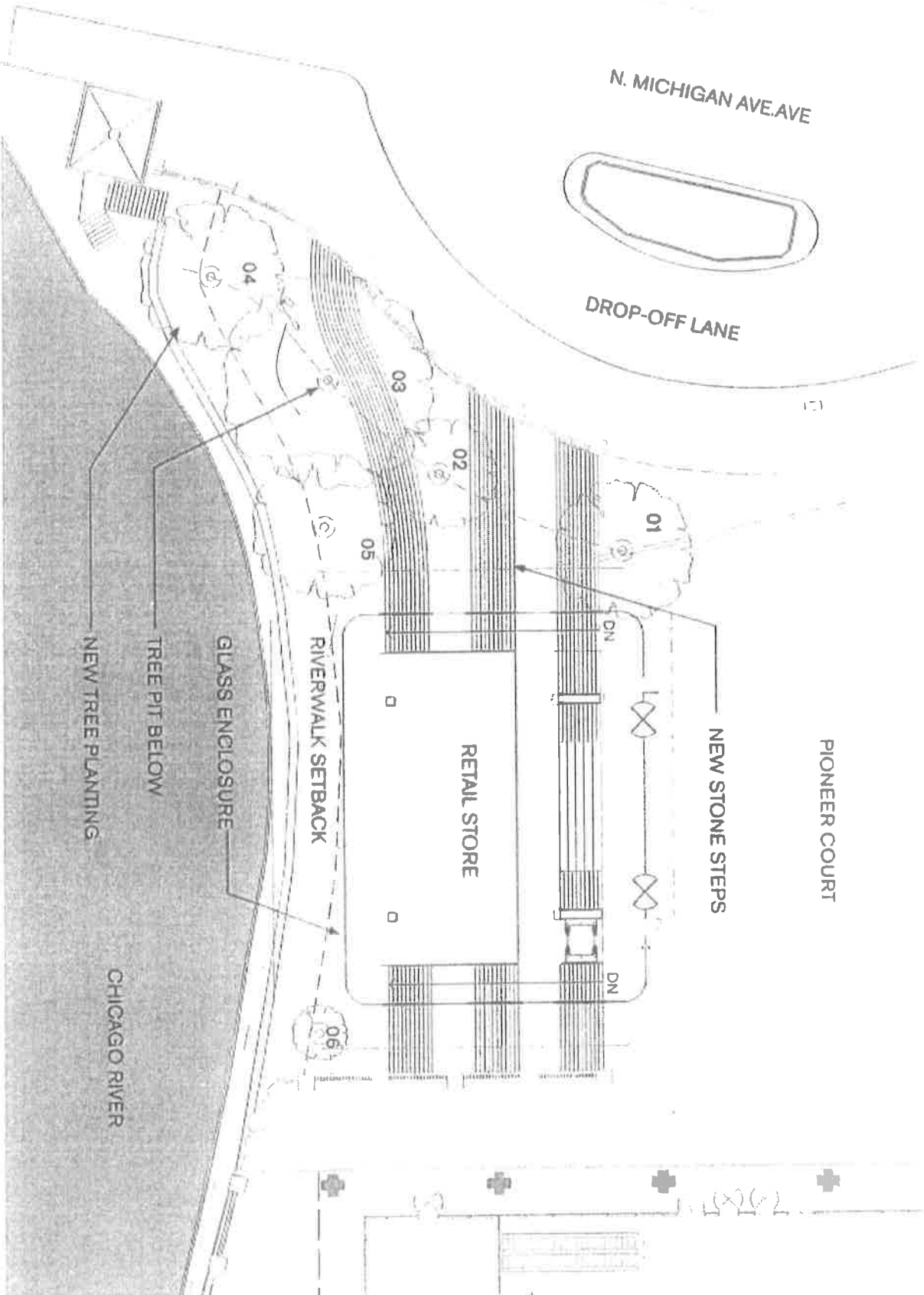
## Plaza Level

-  NEW ENTRANCE
-  NEW OPEN PUBLIC SPACE



# Proposed Tree Planting

## Plaza Down to Riverwalk



Zeller Realty Group  
 401 North Michigan Avenue, Chicago

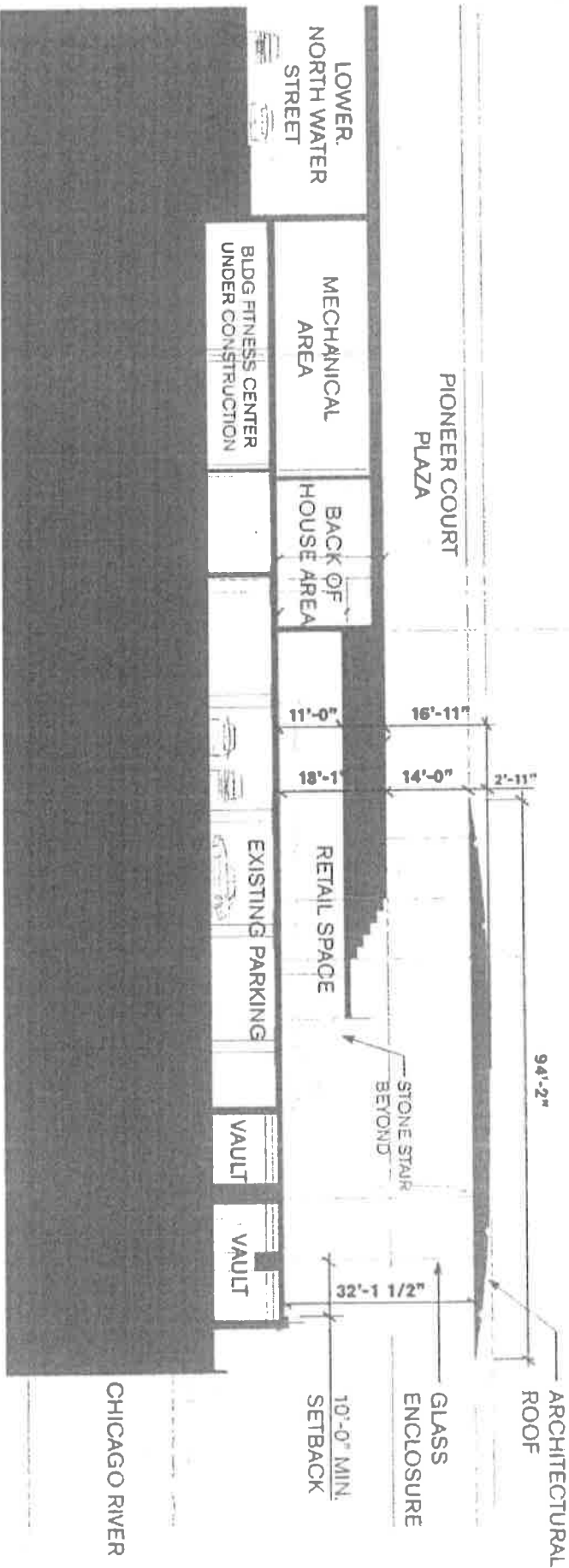
November 3, 2015

Foster and Partners  
 500 West Erie Street

# Proposed Section

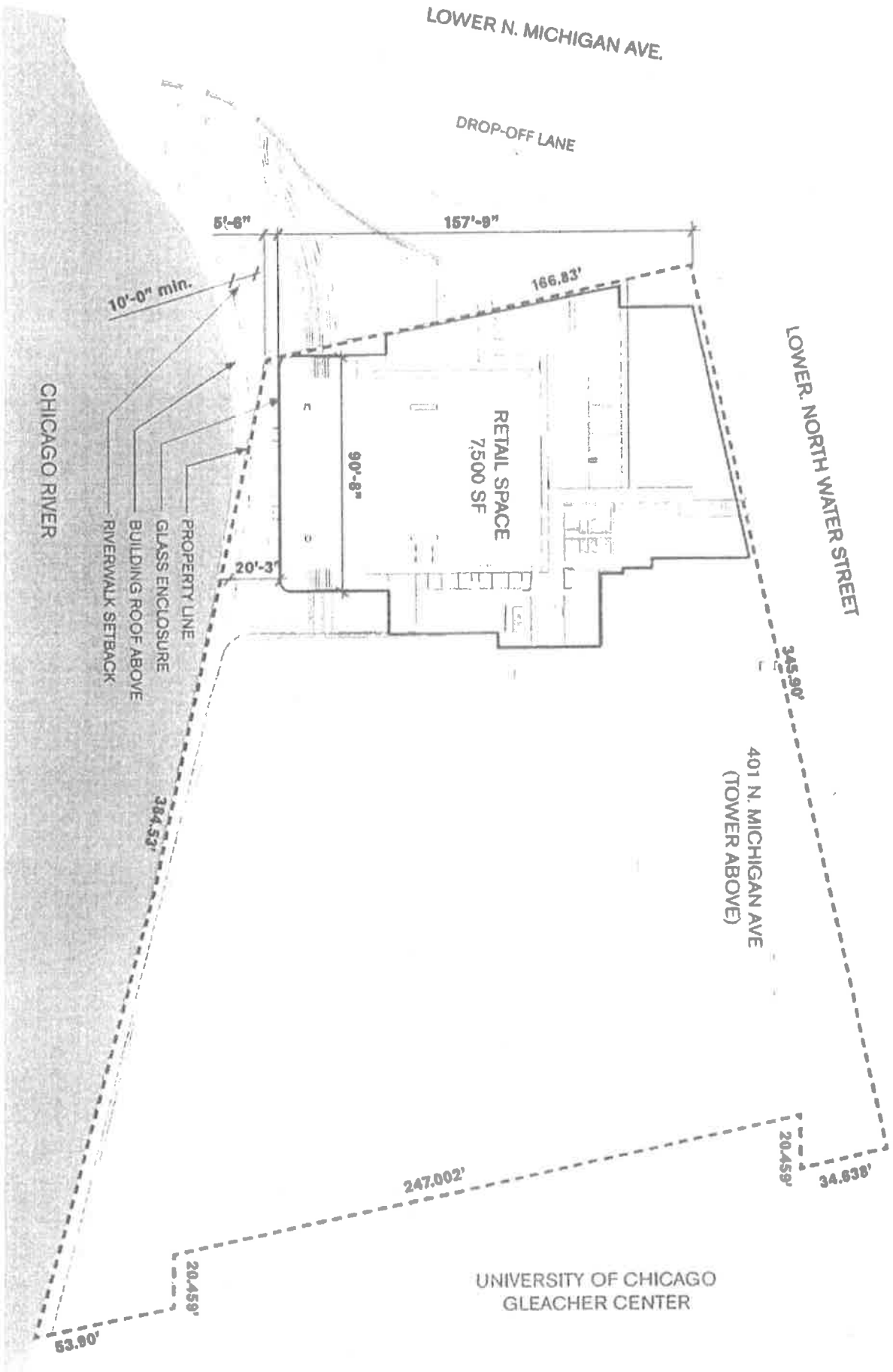
## Cross Section

401 N. MICHIGAN AVENUE BEYOND

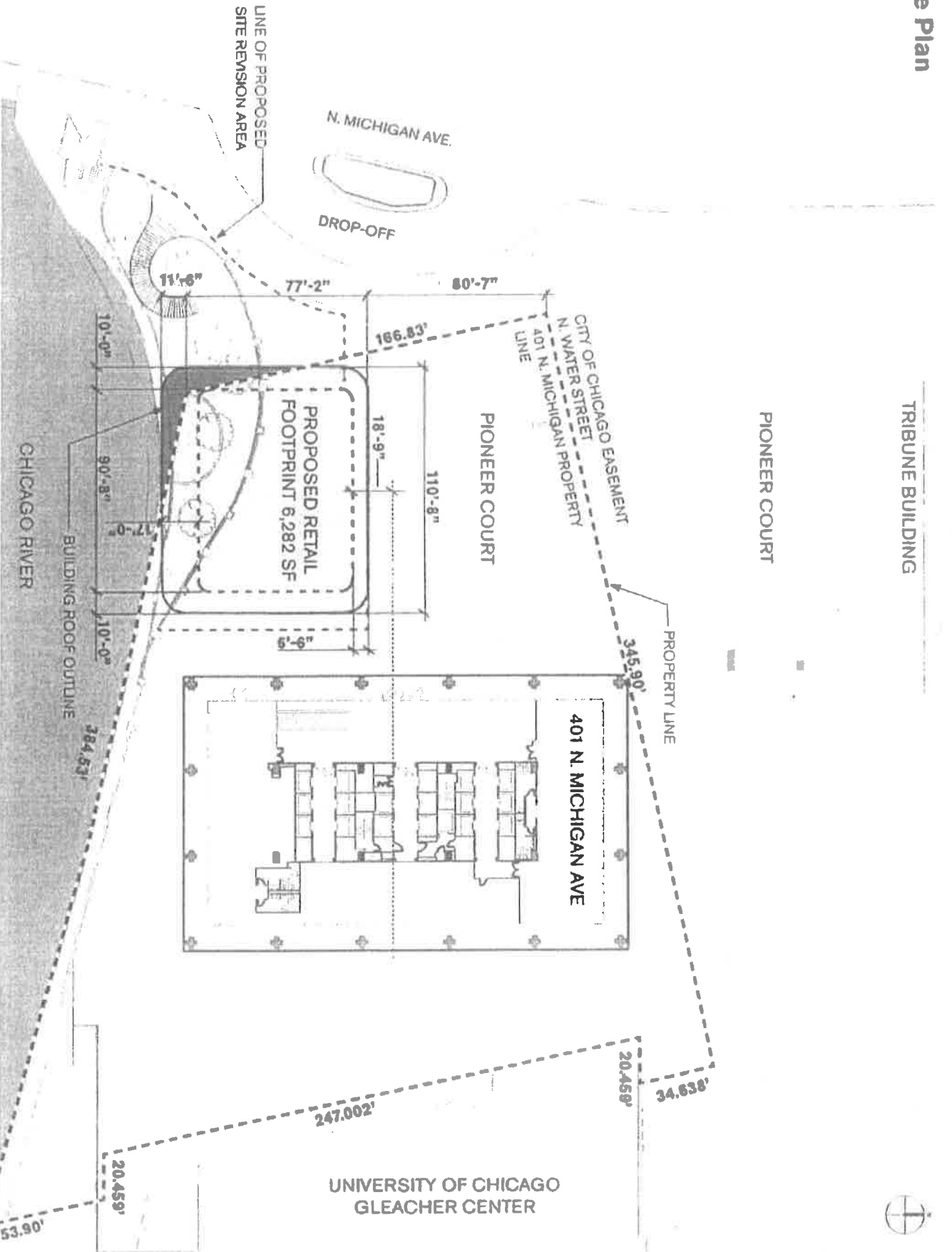


# Proposed Site Plan Concourse Level

 NEW OPEN PUBLIC SPACE



# Site Plan

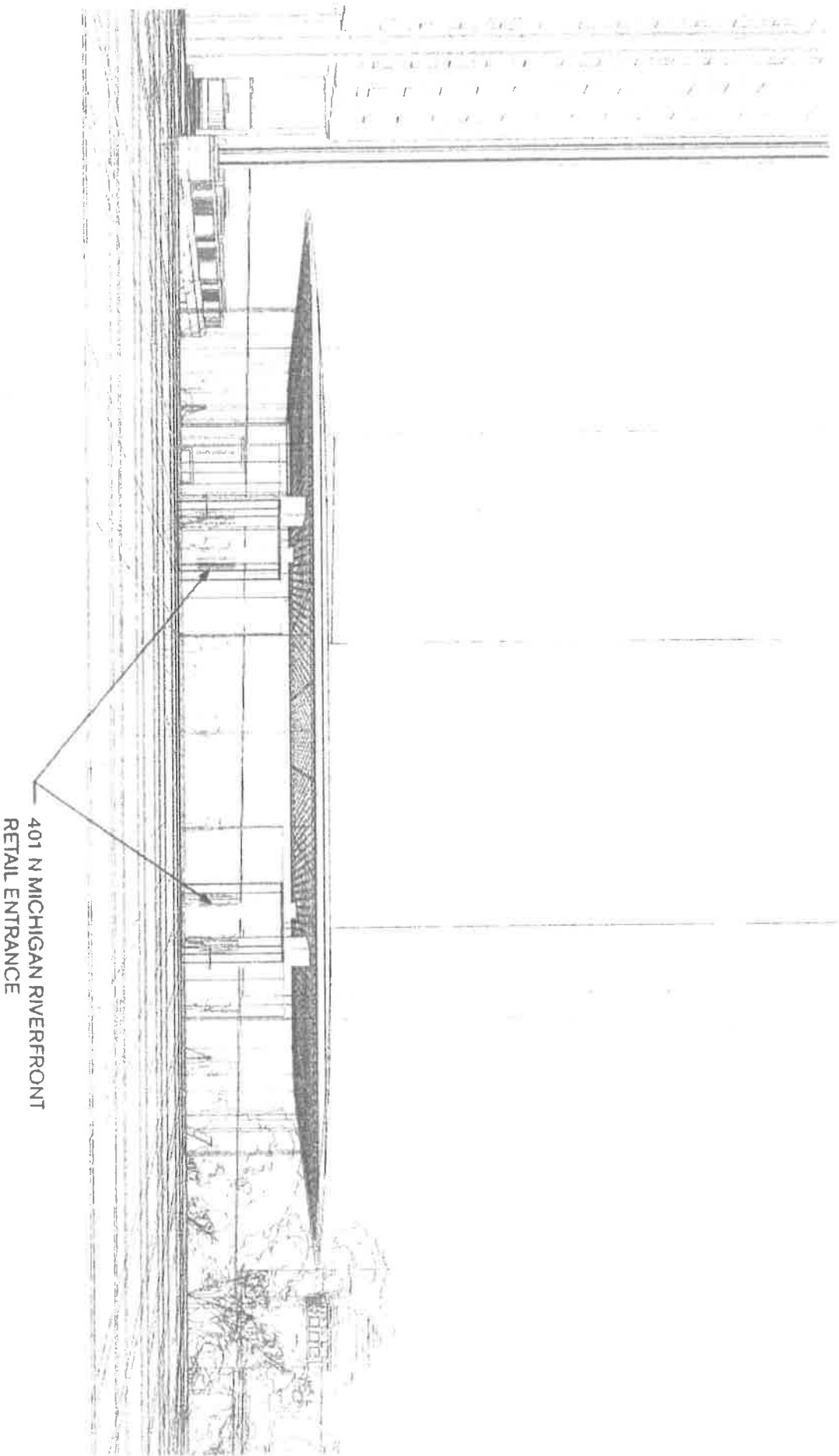


Zeller Realty Group  
401 North Michigan Avenue, Chicago

November 3, 2015

Foster and Partners  
320 EAST 57th STREET, 4th FL

**Perspective View**  
View From Plaza



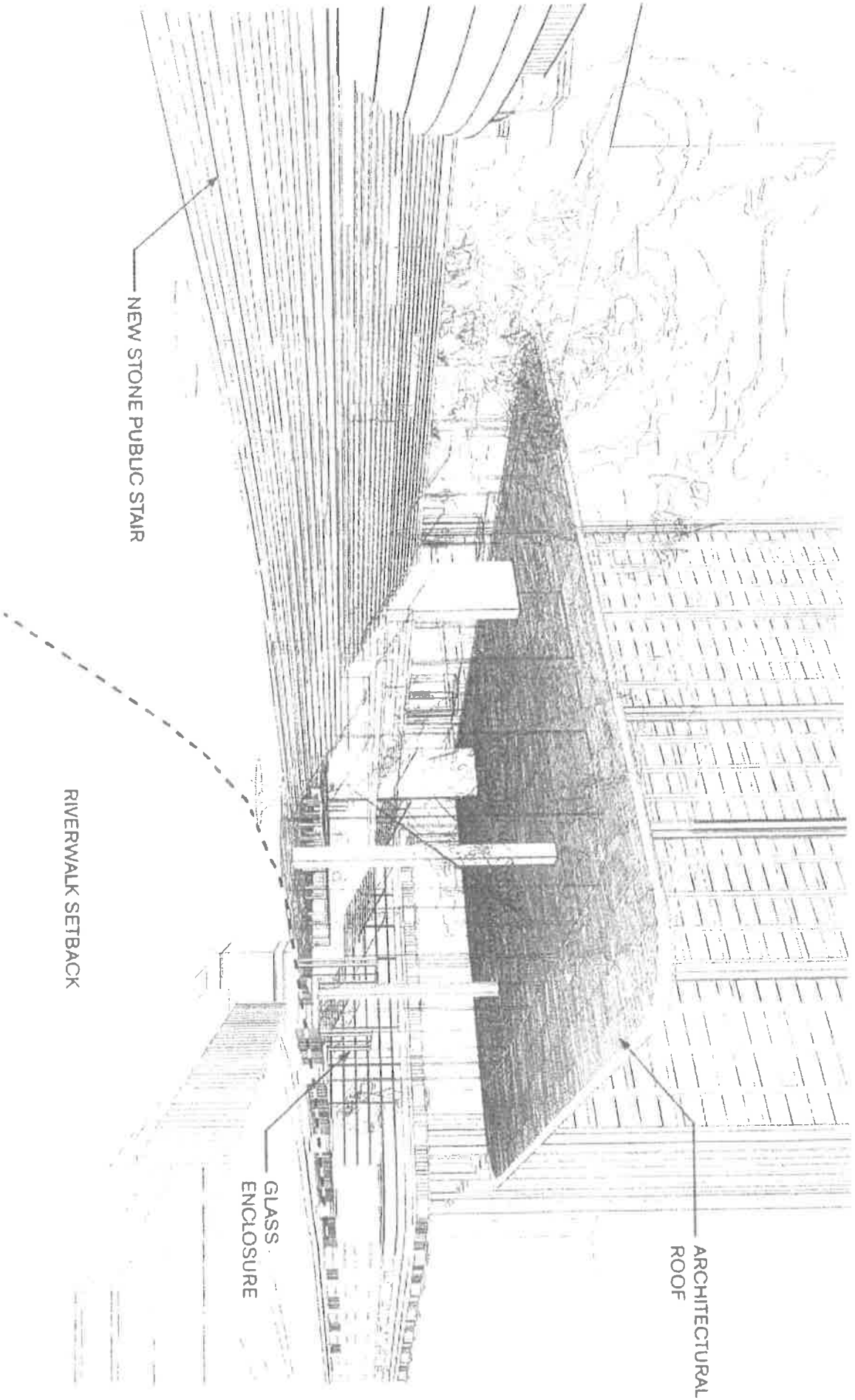
401 N MICHIGAN RIVERFRONT  
RETAIL ENTRANCE

Zeller Realty Group  
401 North Michigan Avenue, Chicago

November 3, 2015

Foster and Partners  
200 East 57th Street, New York

**Perspective View**  
View From Riverwalk

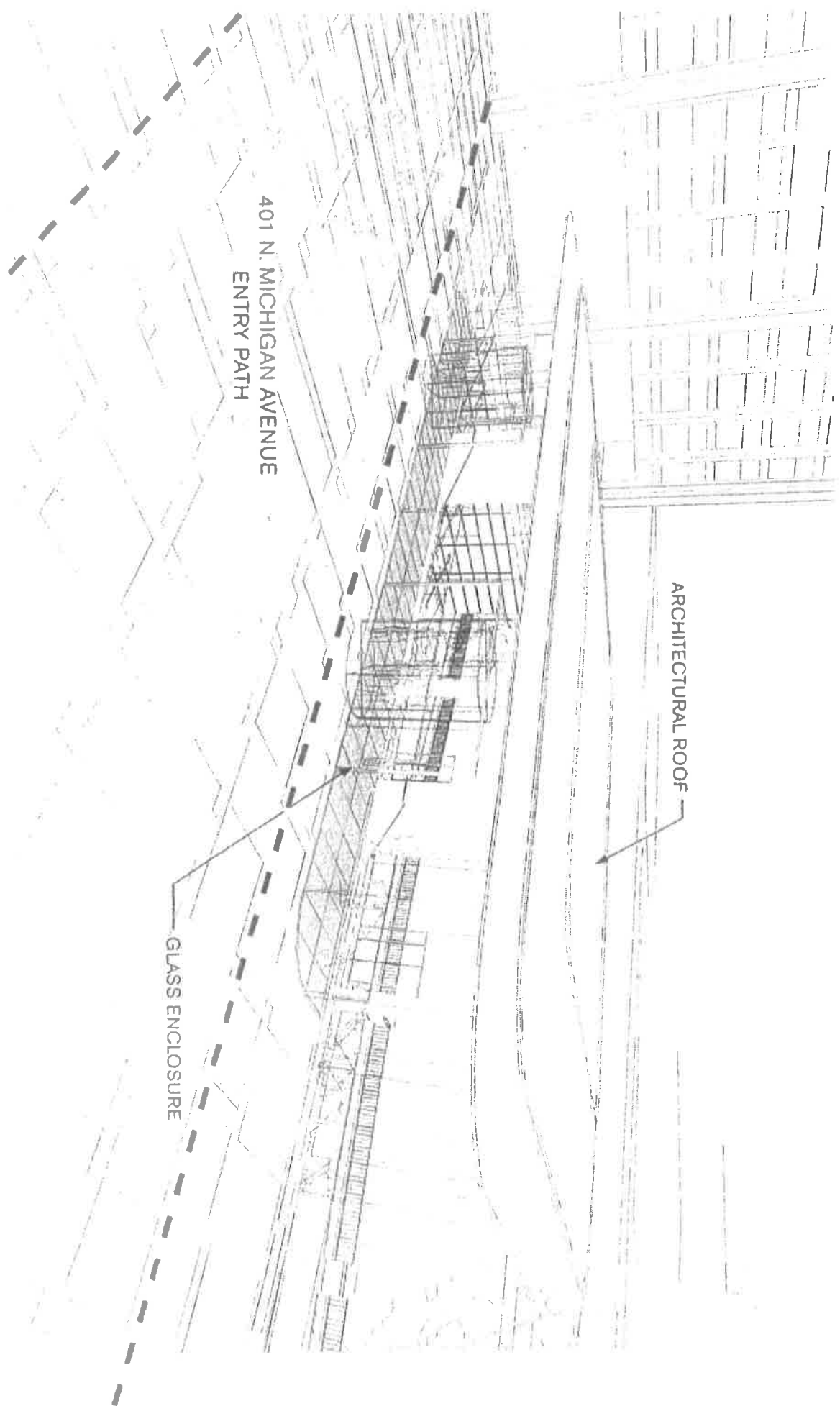


Zeller Realty Group  
401 North Main Street, Chicago

November 3, 2015

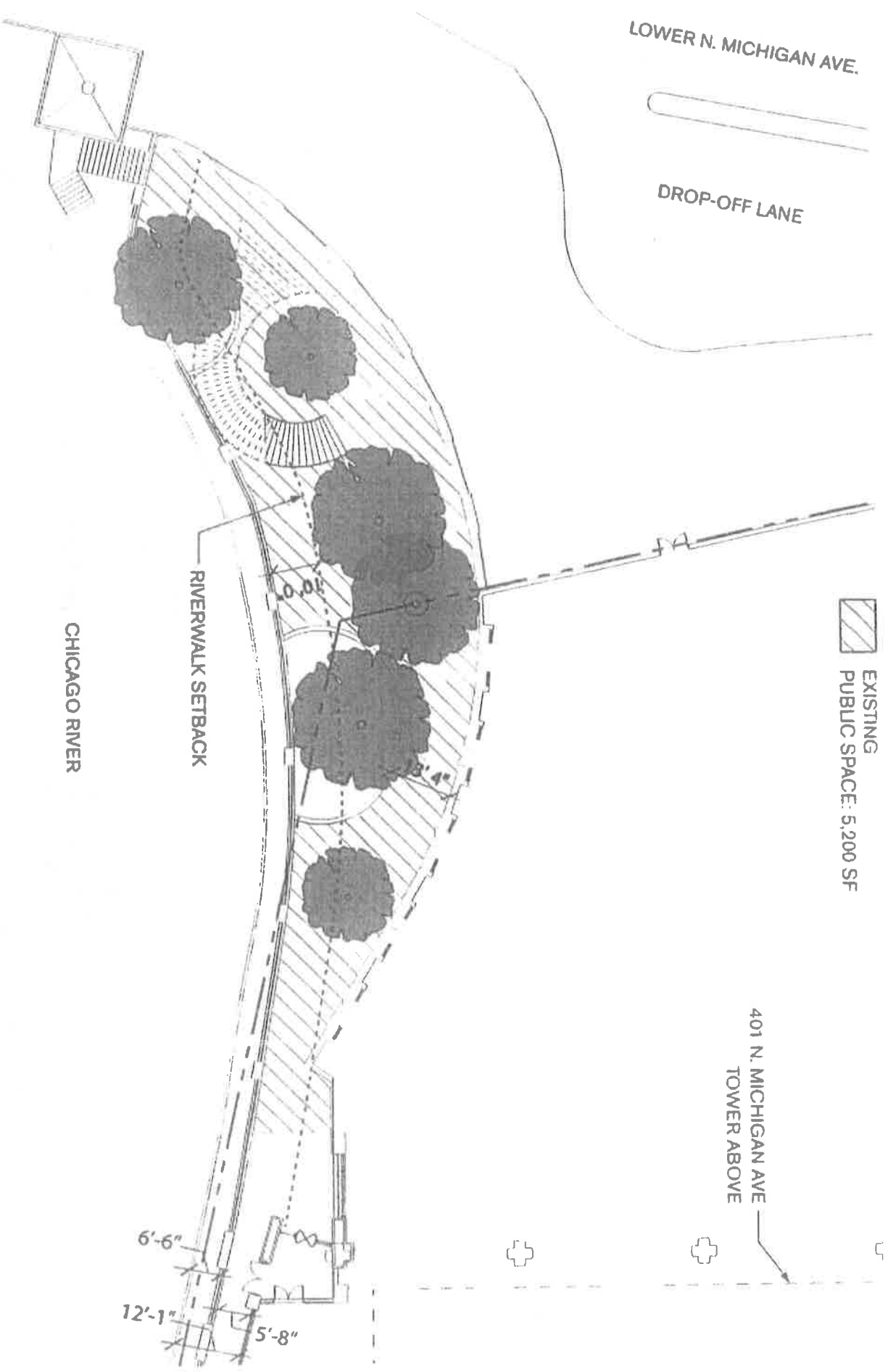
Foster and Partners  
600 West 57th Street, New York

**Perspective View**  
Bird's Eye View



# Riverwalk Area Diagram

## Existing Public Space



EXISTING PUBLIC SPACE: 5,200 SF

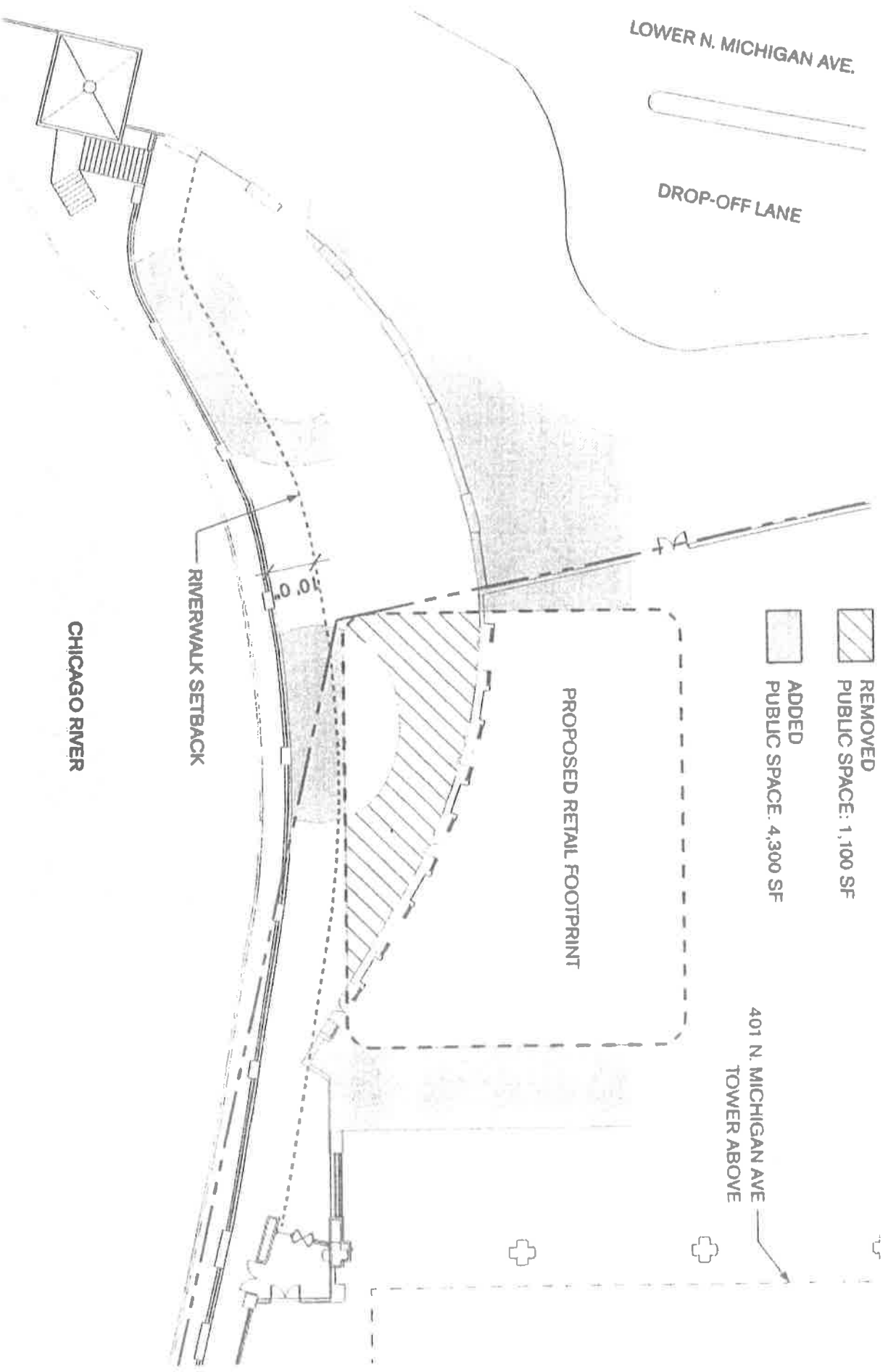
Zeller Realty Group  
 401 North Michigan Avenue Chicago

November 3, 2015

Foster and Partners  
 200 West Street, Suite 1000

# Riverwalk Area Diagram

Removed / Added Public Space



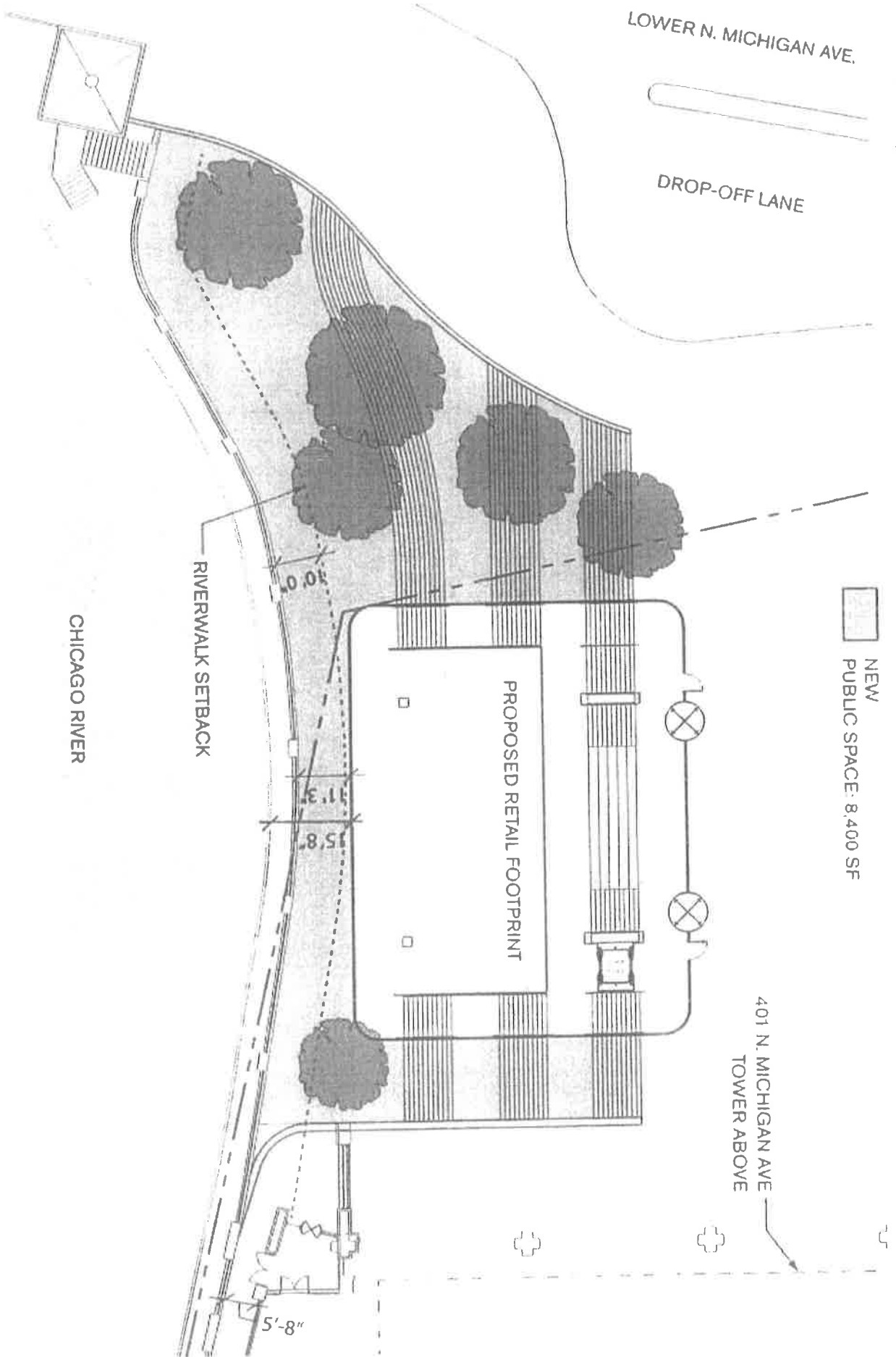
Zeller Realty Group  
401 North Michigan Avenue Chicago

November 3, 2015

Foster and Partners  
300 West Superior Street Chicago

# Riverwalk Area Diagram

## New Public Space





DEPARTMENT OF PLANNING AND DEVELOPMENT

October 27, 2015

CITY OF CHICAGO

John J. George  
Schuyler, Roche & Crisham, P.C.  
Two Prudential Plaza  
180 N. Stetson St., Suite 3700  
Chicago, IL 60601

**Re: Administrative Relief request for Residential Business Planned Development No. 368,  
Subarea B, Parcel 8, 465 North Park Drive, Illinois-Grand Corridor Traffic Management  
Association requirements**

Dear Mr. George:

Please be advised that your request for a minor change to Residential Business Planned Development No. 368 ("PD 368"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of PD 368.

Your firm represents 465 N. Park Drive, LLC, who owns or controls Subarea B, Parcel 8 within PD 368. They are also the applicant of a pending zoning amendment application and intend to construct a residential tower on Parcel 8. They are seeking administrative relief from the requirement in Statement No. 15 of the Planned Development which requires membership and participation in the Illinois-Grand Corridor Transportation Management Association ("TMA") prior to the issuance of any Part II approval. Since TMA is no longer a functioning organization, it is impossible to comply with this requirement.

With regard to your request, the Department of Planning and Development has determined that compliance with the last sentence of Statement No. 15 requiring membership and participation in the TMA is not required, and that compliance shall not be a condition of Part II approval, until and unless the TMA is reinstated or reconstituted pursuant to applicable law. This relief will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 368, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

Patricia A. Scudiero  
Zoning Administrator

C: Fred Deters, Mike Marmo, Erik Glass, Main file

I hereby move for passage of the proposed ordinances and substitute ordinances transmitted herewith.

Respectfully submitted,

(Signed) DANIEL S. SOLIS,  
Chairman.

R BPD 368,99

On motion of Alderman Solis, the said proposed ordinances and substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Moreno, Hopkins, Dowell, Burns, Hairston, Sawyer, Mitchell, Harris, Beale, Sadlowski Garza, Thompson, Cárdenas, Quinn, Lopez, Foulkes, D. Moore, Curtis, O'Shea, Cochran, Brookins, Muñoz, Zalewski, Scott, Solis, Maldonado, Burnett, Ervin, Taliaferro, Reboyras, Santiago, Waguespack, Mell, Austin, Ramirez-Rosa, Villegas, Mitts, Sposato, Laurino, O'Connor, Napolitano, Reilly, Smith, Tunney, Arena, Cappleman, Pawar, Osterman, J. Moore, Silverstein -- 49.

Nays -- None.

Alderman Beale moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to this ordinance in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map No. 1-E.*  
(As Amended)  
(Application No. 18410)  
(Common Address: 465 -- 479 N. Park Dr., 315 -- 335 E. Illinois St.  
And 464 -- 478 N. New St.)

[SO2015-4630]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Business Planned Development Number 368 symbols and indications as shown on Map Number 1-E in the area bounded by:

a line 150 feet east of and parallel to North St. Clair Street; East Grand Avenue; North Lake Shore Drive; the centerline of Ogden Slip to a point 439.74 feet east of North Lake Shore Drive; the centerline of the Turning Basin; the north bank of the Chicago River and the line thereof extended eastward where said bank does not exist; North Michigan Avenue; East North Water Street; North St. Clair Street (as now located); East Illinois Street; North St. Clair Street; and the alley next south of East Grand Avenue,

to the designation of a Residential-Business Planned Development Number 368, as amended, which is hereby established in the area above described, subject to the provisions at the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development No. 368, As Amended.*

*Plan Of Development Statements.*

1. The area delineated herein as "Residential-Business Planned Development Number 368", as amended, consists of approximately 1,560,904 square feet or 35.83 acres (exclusive of public rights-of-way and dedicated public open space) of real property as shown on the attached Planned Development Boundary Map (the "Property").
2. This plan of development consists of these twenty-one (21) statements and the following exhibits for the entire Planned Development: Bulk Regulations and Data Table for the entire Planned Development; an Existing Zoning Map; Planned Development Boundary and Subareas Map; Development Parcels Map; Maximum Height Zones; Existing and Planned Open Spaces; Pattern of Vehicular Roadways; and Recommended Traffic Improvements. This plan of development is in conformity with the intent and purpose of the Chicago Zoning Ordinance and all requirements hereof, and satisfies the established criteria for approval as a planned development. In any instance where a provision of the planned development conflicts with the Chicago Building Code, the Building Code shall control.

This plan of development consists of the following exhibits related to the development of Subparcel E.3: Bulk Regulations and Data Table Note 10; Site Landscape Plan; DuSable Landscape Plan; Ground Floor Plan Overview; Lower Lake Shore Drive Plan Overview; Building Elevations; South Building Elevation; Partial Enlarged South Elevation; Partial East/West Site Section; Partial Enlarged East Elevation; North/South Site Section at Lake Shore Drive; North/South Tower and Parking Section; East/West Parking Section; North/South Overview Section; and Lake Front Trail Alignment Alternate 1 and Alternate 2.

This plan of development consists of the following exhibits related to the development of Subarea B Parcels 7 and 7A: Bulk Regulations and Data Table Note 11; View Corridor Program; Overall Site Plan; Lower East North Water Street Plan, North Park Drive Street Plan, North Park Drive Wayfinding Plan; Upper East North Water Street Plan; Upper East North Water Street Wayfinding Plan; Terrace Level Plan; Landscape Plan; Green Roof Plan; Overall Section A Plan and Partial North Elevation; West Elevation at tower and Partial North/South Section B Plan; Building Elevations (North, South, East and West) prepared by Solomon Cordwell Buenz dated May 24, 2012.

This plan of development consists of the following plans and exhibits related to the development of Parcels P21B and P21C (the Kraft Parcel): Bulk Regulations and Data Table Note 12; Site Plan; Ground Floor Plan; Recreation Deck Level Plan; Green Roof Plan; Building Elevations (North and East, and South and West); Landscape Plan; Pocket Park Bonus Landscape Plan; Landscape Sections (A/B and C/D); and Landscape Plant List prepared by GREC Architects LLC and dated December 18, 2014 (the "Plans"). 465 North Park Drive LLC (the "Applicant") owns or controls Subarea B Parcel 8 within this Planned Development. This Plan of Development consists of the following exhibits related to the development of Subarea B Parcel 8: Bulk Regulations and Data Table Note 13; Site Plan; Landscape Plan; Mezzanine, Second Floor, Third Floor, Fourth Floor, and Fourth Floor Mezzanine Plans; 5<sup>th</sup> Floor Amenity Landscape Plan; 6<sup>th</sup> Floor Balcony Landscape Plan; 37<sup>th</sup> Floor Sky Deck Landscape Plan; Plant List and Landscape Details; Green Roof Plan; and Building Elevations (North, South, East and West) prepared by Pappageorge Haymes Partners dated October 15, 2015.

3. The current property owner or an authorized agent shall obtain all required reviews, approvals, licenses and permits in connection with this plan of development. The dedication or vacation of any streets or alleys shall require a separate submittal and approval by the City Council.
4. The requirements, obligations and conditions contained within this planned development shall be binding upon each property owner, its successors and assigns (including any condominium association which is formed) and the legal titleholders and any ground lessors. All rights granted hereunder shall inure to the benefit of each property owner, its successors and assigns (including any condominium association which is formed) and the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Subject to the subarea/subparcel control provisions of Section 17-8-0400 of the Chicago Zoning Ordinance, single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the Equitable Life Assurance Society of the United States or all its successors and assigns as zoning control party for property located west of Columbus Drive, and by all the successors and assigns to the Chicago Dock and Canal Trust, as zoning control parties for the property located east of Columbus Drive. The board of directors of any condominium association shall represent individual condominium owners.

5. Several subareas are delineated on the attached planned development Subarea Map for the purposes of establishing use and density controls in connection with this Plan of Development. Uses permitted below plus thirty-five (+35) feet Chicago City Datum, plus or minus six ( $\pm 6$ ) feet in respect of design conditions, ("Plaza Level") shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District classification; uses permitted at and above the Plaza Level in the area hereinbefore defined shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District classification, except that in that part of the subject area lying within 200 feet of North Michigan Avenue uses shall be in general conformity with the Permitted and Special Uses of the DX-16, Downtown Mixed-Use District classification; uses permitted where no Plaza Level exists shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District Classification. Earth station receiving and transmitting dishes, microwave relay dishes and transmitting or receiving dishes shall be permitted. Residential support services, physical fitness/indoor recreation center, and small venue theater are expressly permitted in Subparcel E.3. Non-accessory parking shall be a permitted use in Subarea F only. Underground accessory parking related to the improvements constructed upon Subparcel E.3 shall be a permitted use in Subparcel E.2. All other controls and regulations set forth herein are made applicable within the general application of this statement. Uses permitted in DuSable Park (Subparcel E.1) shall be recreational and related uses including but not limited to marinas; tennis courts; and similar facilities. Temporary staging of construction materials and related equipment shall be a permitted use in Subparcel E.1 subject to the review and approval of the Commissioner of the Department of Planning and Development and the Chicago Park District. Daycare and other community-oriented uses are expressly permitted and strongly encouraged in all areas of the planned development. Agreement on how space for a minimum of one new daycare center shall be provided within Subareas B, D or Subparcel E.3 to service new residents and employees of those subareas must be submitted and approved by the Department of Planning and Development prior to the issuance of any Part II Approval for any improvement on Parcels P1, P3, P7, P7A, P8, P18, or P19.
6. For purposes of Floor Area Ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply, with the following exceptions: (1) in Subarea A, grade is herein established at plus thirty-five (+35) feet Chicago City Datum, plus or minus six ( $\pm 6$ ) feet in respect of design conditions ("Plaza Level"); (2) in Subarea B, grade is herein established as the curb level of the building entrance on upper East North Water Street plus or minus six ( $\pm 6$ ) feet in respect of design conditions; and (3) space devoted to heating, ventilation, and air-conditioning equipment shall not be included in FAR regardless of location.
7. Any service drives or other ingress or egress lanes shall be adequately designed and paved in accordance with the regulations of the Chicago Department of Transportation and in compliance with the Municipal Code of the City of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of the City of Chicago and

shall have a minimum of 20 feet to provide ingress and egress for emergency vehicles. There shall be no parking within established fire lanes. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the Public Way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

8. Off-street parking and loading facilities shall be provided in compliance with this plan of development, subject to the review of the Chicago Department of Transportation and approval by the Department of Planning and Development. All parking spaces required to serve buildings or uses shall be located on the same parcel as the building or use served, or (i) if a residential use, within 600 feet walking distance, or (ii) if a non-residential use, within 1,200 feet walking distance. Parking to serve uses in Subarea E.1 or E.3 may be located underneath or west of Lake Shore Drive.
9. Business and business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development and to the conditions of Statement 11(e). Off-premises signage is prohibited. Temporary signs such as construction and marketing signs may be permitted subject to the aforesaid approvals. Signage for retail and movie theater uses is a special concern. A general signage plan indicating the locations and dimensions of signage for these uses, including all interior signage which is visible from public streets, shall be submitted prior to Part II Approval in accord with Statement 16 hereof (Site Plan Review).
10. The height of buildings within the planned development and any appurtenance attached thereto shall be subject to the limitations on the attached exhibit labeled "Maximum Height Zones". Where maximum height zones have been established, building height shall be defined as follows:

"Building height" is the vertical distance from the curb level, grade, or its equivalent, opposite the center of the front of a building to the highest point of the underside of the ceiling beams of the highest habitable floor, in the case of a flat roof; to the deck line of a mansard roof; and, to the mean level of the underside of the rafters between the eaves and the ridge of a gable, hip or gambrel roof. For the purpose of determining height in Subarea B Parcels 7 and 7A, grade is herein established as the curb level of the building entrance on upper East North Water Street plus or minus 6 feet in respect of design conditions. (For the purpose of determining height, building tops of other configurations may be considered to be the type described herein which most closely approximates the shape of the proposed design). However, in no case shall the "actual" height of a building exceed the "maximum height" by more than 65 feet.
11. The improvements on individual development sites shall be designed, constructed and maintained in accordance with the exhibits attached hereto and the following general design standards:

- (a) Buildings along Lake Shore Drive shall be designed to minimize building mass directly facing the Drive. The base along Lake Shore Drive of any such structure shall be limited to the height of Lake Shore Drive. The tower of such structures shall be set back a minimum of 40 feet from Lake Shore Drive although encroachments into such setback area for design reasons may be allowed by the Commissioner of Planning and Development as a minor change pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance. This 40-foot setback area shall be heavily landscaped with trees and other greenery so as to be visible from the drive.
- (b) Landscaping of buildings at terraces, rooftops, and balconies shall be provided wherever possible and appropriate. Buildings shall be designed with upper-level architectural features that are lit at night wherever possible. Mechanical equipment on rooftops shall be screened with quality materials, and made a feature of the building design, where appropriate. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this planned development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
- (c) Buildings shall be setback from the property line, if necessary, to achieve a minimum of 12 feet, 6 inches (except the building column may be setback 10 feet, 0 inches in Subarea E-3 along Ogden Slip and the building located in Subarea B, Parcels 7 and 7A, may be located at the property line along North New Street, North Park Drive, Upper East North Water Street and Lower East North Water Street and the building located in Subarea B, Parcel 8, may be located at the property line along North New Street, North Park Drive, and East Illinois Street) in sidewalk width to accommodate street trees. No awnings, canopies, or other building projections shall be allowed that would interfere with street tree canopies except at entrances to hotels, residential entrances or movie theaters.
- (d) Building designs that reflect divisions into base, middle, and top, that have setbacks, cornice lines, changes in plane or materials, articulated surfaces, or other methods of reducing the scale and mass are encouraged. Preferred building materials shall be stone, manufactured stone, brick, finished metal such as stainless steel, or articulated pre-cast concrete in combination with glass at the base. Exposed structural concrete, dryvit or other stucco-like material, or reflective glass shall not be allowed. Materials of upper stories shall be similar to those of the lower; however, the level of detailing may be simplified.
- (e) Buildings shall be designed with clearly delineated signage bands. The quality and amount of signage shall be strictly controlled. The total square footage

displayed on any building shall be limited to no more than six times the street frontage on any given street. Preference shall be given to pin-mounted back lit signs with individual letters that are externally lit. Signs behind glass that are visible from the sidewalk shall count toward the permitted sign area. The area of a sign that consists of individual letters shall be measured by drawing a box around the letters. Graphic images which depict tenant logos or products or which may otherwise be construed as advertising shall count as signage in their entirety. Signage on awnings shall be allowed on the valance only, with a maximum of 5-inch high letters limited to tenant identification or logos only. No electronic moving message board signs shall be allowed. Rooftop signs shall be prohibited.

- (f) No new surface parking lots, except interim lots approved by the Zoning Administrator, shall be allowed. No surface parking lot shall be allowed on the Parcel P21B ("Kraft") park site in Subarea F. The maximum effort shall be made to contain parking in below-ground structures. Above-grade parking structures shall be enclosed, fronted by habitable space, or otherwise designed so as to have a similar appearance to habitable spaces in terms of finish materials, the shape and scale of openings, and the screening of ramps, car lights and ceiling fixtures. Any parking structures facing the Chicago River must be fronted by habitable space or completely enclosed and well-articulated at all levels. The first floor of all structures facing Illinois Street, Grand Avenue, McClurg Court, Park Drive, or Columbus Drive shall maximize space with active uses such as retail, daycare, restaurants, et cetera. Parking structures shall also contain provisions for planting at the base, the roof, or at mid-height ledges.
- (g) Loading docks shall be concealed from public view through screening or landscaping. Curb cuts for loading docks shall be minimized.
- (h) The new roadway structure at upper level Illinois Street shall be finished in highly articulated stone, pre-cast concrete, or other quality material, with particular attention given to views of the structure from Columbus Drive. Terraced planting, pedestrian lighting, decorative railings, banners, and other features shall be used to create a major pedestrian amenity. A major water feature shall be installed at the intersection of upper-level Illinois Street and the NBC Plaza. The underside of upper Illinois shall be appropriately lit, structural columns shall be covered, and other elements shall be added to create a safe, well-lit connection to Michigan Avenue.
- (i) The completion of the riveredge esplanade shall be required of the developers of Parcels 14 and 16, and Parcel 18. Such public spaces shall be developed with the same quality and character of amenities as the existing esplanade adjacent to these areas. In addition, the developer of Parcel 18 shall be responsible for the development of pedestrian access to DuSable Park under Lake Shore Drive. Such access shall be well lit, suitably paved, and finished so

as to provide safe, attractive, and convenient access to the park from the river esplanade. All plans for pedestrian access to DuSable Park from Parcel 18 shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any superstructure Part II Approval letters.

- (j) The developer of Parcel 19 shall develop the following public improvements indicated on Exhibit 6 Existing and Planned Open Spaces concurrently with the development of Parcel 19: a pedestrian walkway from East North Water Street to Ogden Slip and an extension of the Ogden Slip promenade to Lake Shore Drive. The pedestrian walkway from East North Water Street to Ogden Slip shall be developed with the same quality and character of amenities as the existing walkway from the River Esplanade to East North Water Street. The extension of the Ogden Slip promenade shall be developed with the same quality and character of amenities as the existing promenade adjacent to it. In the event that DuSable Park is developed before Parcel 19 is developed, the owner(s) of Parcel 19 shall construct and maintain a temporary pedestrian connection along the slip. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 20 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the slip edge and on the side adjacent to Parcel 19. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development.

In addition, pedestrian access along Ogden Slip under Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 19 shall be solely responsible for the cost of improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the Ogden Slip promenade. However, if Parcel 19 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 19 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the Developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) below provides otherwise. All plans for these improvements shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any Part II Approval letters.

- (k) All improvements to be constructed within this planned development for which Part II Approval letters are issued after the March 29, 2006, date of City Council approval of the amended planned development shall comply with the Department of Planning and Development Chicago Sustainable Development Policy in effect at the time of application for Part II Approval, and the owners shall use best and reasonable efforts to design, construct and maintain all

buildings located within this Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System (LEED). A dog-run shall be located within or adjacent to Subparcel E.3. As a result of the architectural design of the tower to be constructed within Subparcel E.3, a green roof is not feasible. The development of the improvements on Parcel P21C contemplated by this Planned Development amendment shall be LEED certified and have a green roof of approximately 2,177 square feet and a rain water collection system as described in the attached Green Roof Plan.

- (l) Pursuant to the Affordable Housing provision of the City of Chicago Zoning Ordinance, Title 17, Section 17-4-1004, et seq. ("Zoning Ordinance"), Developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of 3.00 FAR for the Property. The Developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1004D of the Zoning Ordinance, the total floor area devoted to affordable housing units must equal at least 25 percent of the total increase in floor area allowed under the Affordable Housing Bonus or a cash payment must be made to the City of Chicago Affordable Housing Opportunity Fund based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1004D, the Developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago Affordable Housing Opportunity Fund in the amount of \$5,700,300.00. Prior to the issuance of permits, the Developer of Parcel E.3 will enter into an Affordable Housing Agreement with the Chicago Department of Planning and Development or provide a letter of credit or other security device in an amount equal to the cash contribution. The Developer of Parcel E.3 must comply with all of the applicable sections of the Affordable Housing Provision of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Affordable Housing Agreement required by Section 17-4-1004-E9 is also incorporated into this planned development.

Pursuant to the Off-Site Park and Open Space Contributions provision of the City of Chicago Zoning Ordinance, Title 17, Section 17-4-1018, et seq., the Developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of 2.16 FAR for the Property. The Developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1018-C of the Zoning Ordinance, a cash payment must be made to the City of Chicago based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1018-C, the Developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago in the amount of \$4,104,216.00. Prior to the issuance of permits, the Developer of Parcel E.3 will provide a letter of credit or other security device in an amount equal to the cash contribution. The Developer of Parcel E.3 must comply with all of the sections of the Off-site Park and Open Space Contributions provisions of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Off-Site Park and Open Space Contribution Agreement required by Section 17-4-1018-B3 is also incorporated into this planned development.

- (m) The Developer of Parcel E.3, the City of Chicago, and the Chicago Park District shall enter into an agreement relating, in part, to the responsibility for the design, funding and construction phasing of DuSable Park, the pedestrian connections to DuSable Park and the Lakefront Trail.
- (n) The improvements contemplated for DuSable Park (Subparcel E.1) must be substantially completed by the Developer of Parcel E.3 prior to the issuance of Certificate of Occupancy for any dwelling unit exceeding the three hundredth (300<sup>th</sup>) dwelling unit constructed with Subparcel E.3.
- (o) The amendment of this Planned Development concerning development of Parcels P21B and P21C triggers the requirements of Section 2-45-110 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a "residential housing project" within the meaning of the Affordable Requirements Ordinance ("Residential Project") must: (i) develop affordable housing units as part of the Residential Project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). Further, the amendment of this Planned Development is subject to Section 17-4-1004-D of the Zoning Code, which also requires on-site affordable housing or payment of a fee in lieu of providing affordable housing for rezonings in DC, DX and DR districts that increase the base floor area ratio. If a planned development is subject to the requirements of both sections (2-45-110 and 17-4-1004-D), the developer may elect to satisfy the ARO requirements by complying with the affordable housing floor area bonus provided for in Section 17-4-1004. The owner of Parcels P21B and P21C has elected to comply with Section 17-4-1004. Pursuant to Section 17-4-1004-B of the Zoning Ordinance, the owner of Parcels P21B and P21C has requested an increase in the floor area ratio for the Property, as set forth in the bonus worksheet required under Section 17-4-1003-D and attached hereto as an Exhibit ("Bonus Worksheet"). In accordance with the formulas set forth in Section 17-4-1004-C and the Bonus Worksheet, the owner of Parcels P21B and P21C acknowledges and agrees that it must provide either a minimum of at least 21,680 square feet of floor area (the "Affordable Units") in the building receiving the affordable housing floor area bonus ("Eligible Building"), with an affordable unit mix comparable to the overall mix and approved by the Department of Planning and Development prior to issuance of the first building permit, or make a cash payment in lieu of providing affordable housing in the amount of \$2,983,168 ("Cash Payment"), or \$100,000 per unit ("Pro Rata Amount"). Prior to the issuance of any building permits for the Eligible Building, including, without limitation, excavation or foundation permits, the owner of Parcels P21B and P21C must either make the required Cash Payment or provide a performance bond or other security in the amount of the Cash Payment ensuring construction of the Affordable Units. If the owner of Parcels P21B and P21C elects to construct the Affordable Units, it must also enter into an Affordable Housing Agreement with the City pursuant to Section 17-4-1004-E9 prior to the issuance of any building permits for the

Eligible Building, including, without limitation, excavation or foundation permits. The terms of the Affordable Housing Agreement and any amendments thereto would be incorporated herein by this reference. The owner of Parcels P21B and P21C acknowledges and agrees that the Affordable Housing Agreement would be recorded against the Eligible Building and would constitute a lien against each Affordable Unit in an amount equal to the Pro Rata Amount. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. In addition to the Affordable Housing Agreement, the owner of Parcels P21B and P21C acknowledges and agrees that, pursuant to Section 17-4-1003-D3, the Bonus Worksheet will serve as an official record of bonuses and amenities. The owner of Parcels P21B and P21C must comply with the applicable affordable housing standards and requirements set forth in Section 17-4-1004, the terms of which are incorporated herein by this reference. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of the Department of Planning and Development may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development.

12. Publicly dedicated improvements, including streets, sidewalks, transit and open space amenities shall be designed, constructed and maintained in accordance with the exhibits described in Statement 2 hereof and the "Cityfront Center Internal Design Standards: Section I", dated September 12, 1986.
13. The property owner(s) adjacent to the Chicago River shall develop a continuous pedestrian esplanade along the Chicago River's edge. Completion of the esplanade will occur as follows:
  - (a) The east right-of-way line of McClurg Court to the west right-of-way line of Lake Shore Drive shall be improved concurrently with development of adjacent parcels south of East North Water Street (Parcels 14, 16, and 18). In the event that DuSable Park is developed before Parcel 18 is developed, the owner(s) of Parcel 18 shall construct and maintain a temporary pedestrian connection along the river. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 10 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the river's edge and on the side adjacent to the development parcel. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development; and
  - (b) The west right-of-way line of Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s)

of Parcel 18 shall be solely responsible for improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river edge esplanade. However, if Parcel 18 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 18 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the Developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) above provides otherwise.

14. The developer of Parcels P21B and P21C (the Kraft Parcel), shall substantially renovate the existing 70,000 square foot park on Parcel P21B in accordance with the Landscape Plan, the Landscape Sections, and the Landscape Plant list. Such renovation shall be commenced no later than three (3) months following issuance of the first occupancy permit for the residential building to be constructed on Parcel P21C as permitted by this Planned Development, and shall be completed no later than one (1) year thereafter. The park, as renovated, shall continue to be privately owned, maintained and subject to occasional partial closure for private use but, subject to the foregoing, shall remain accessible to the public during hours in which public parks are accessible to the public. The public shall have use of the Dog Run indicated on the Landscape Plan subject to any regulations, if imposed, that conform to the protocols of the Chicago Park District for Dog Friendly Areas. The owner(s) of Parcels P21B and P21C (the Kraft Parcel) shall be responsible for the costs and performance of maintenance of the park in conformance with the Landscape Plan and the Open Space Plan. Nothing contained herein shall preclude residents or other individuals from using the park for other private uses, provided that they obtain permission from the owner(s) of the Kraft Parcel and all necessary governmental approvals and permits.
15. Traffic studies completed by developers and the City of Chicago project significant peak hour traffic volume increases on Illinois Street and Grand Avenue in particular as a result of new development. Some excess roadway capacity is available to handle this increased traffic, but a number of geometric, signal timing and parking control measures are recommended in addition to active transportation management in the Illinois-Grand corridor. Accordingly, no Part II submittal shall be approved without a firm agreement between the developer and the Chicago Department of Transportation regarding the timing and responsibility for any recommended traffic improvements described in Exhibit 8 hereof for streets adjoining the development site. Membership and participation in the Illinois-Grand Corridor Transportation Management Association shall also be required prior to the issuance of any Part II Development Approval.
16. Prior to the issuance by the Department of Planning and Development of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II Approval") for development or redevelopment of any development parcels within the planned development, other than alterations to existing buildings which do not increase their height or alter their footprint or construction in accordance with the Plans approved herein, a site plan for the proposed development, including parking areas,

shall be submitted to the Zoning Administrator for approval. Review and approval of the site plan by the Zoning Administrator is intended to assure that specific development proposals conform with the general design standards in Statement 11 and to ensure coordination of public improvements described in Statements 12 through 15 at an early stage. No Part II Approval for work for which a Site Plan must be submitted to the Zoning Administrator shall be granted until the Site Plan has been approved by the Zoning Administrator. Further, all Part II submittals shall be in compliance with the Chicago Landscape Ordinance. At least thirty (30) days prior to the filing of the Developer of Parcel E.3's request for Part II Approval for the construction of the superstructure upon Subparcel E.3, the Developer of Parcel E.3 applicant shall submit a detailed Landscape Plan and Elevations for the Subparcel E.3 property to the Department of Planning and Development for review and approval.

Following approval of a Site Plan by the Zoning Administrator, the approved plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this planned development. The approved Site Plan may be changed or modified pursuant to the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

A Site Plan shall, at a minimum, provide the following information with respect to the proposed improvements:

- (1) the boundaries of the Property;
- (2) the footprint of the improvements;
- (3) location and dimensions of all loading berths;
- (4) preliminary landscaping plan prepared by a landscape architect with final landscaping plan to be approved at Part II stage;
- (5) all pedestrian circulation routes;
- (6) the location of any adjacent public improvements;
- (7) a signage plan for any building where retail or theater uses would be present above the ground level;
- (8) preliminary elevations of the improvements; and
- (9) statistical information applicable to the Property limited to the following:
  - (a) floor area and floor area ratio;
  - (b) uses to be established;
  - (c) building heights; and
  - (d) all setbacks, required and provided.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this planned development.

17. If any provision of this planned development amendment shall, to any extent, be invalid or unenforceable, the remainder of this planned development amendment shall not be affected thereby, and each provision of the planned development amendment shall be valid and enforceable to the fullest extent of the law.
18. The terms, conditions and exhibits of this planned development ordinance or of an approved Site Plan may be modified administratively by the Zoning Administrator upon the request of the applicant and after a determination by the Zoning Administrator that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in the planned development and the purposes underlying the provisions hereof. Any such modification shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
19. It is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvement on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
20. It is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. All improvements to be constructed within this planned development for which Part II Approval letters are issued after the March 29, 2006, date of the City Council approval of the amended planned development shall comply with the Department of Planning and Development Chicago Sustainable Development Policy in effect at the time of application for Part II Approval. The owners of all such improvements shall use best and reasonable efforts to design, construct and maintain all buildings located within the planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development. The development of the improvements on Parcel P21C contemplated by this planned development amendment shall be LEED certified and have a green roof of approximately 2,177 square feet and a rain water collection system as described in the attached Green Roof Plan. The development of the improvements on Parcel P8 contemplated by this planned development amendment shall be LEED certified and have a Total Green Roof Area of approximately 13,482 square feet, including approximately 1,350 square feet of roof-top pool surface area, as described in the attached Green Roof Plan.
21. Unless substantial construction of the improvements contemplated within Subparcel E.3 has commenced within three (3) years following adoption of Residential-Business Planned Development Number 368, as amended May 6, 2015, and unless

completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcel E.3 and the zoning of Subparcel E.3 of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on March 29, 2006. Unless substantial construction of the improvements contemplated within Parcels 7 and 7A has commenced within six (6) years following adoption of Residential-Business Planned Development Number 368, as amended on June 6, 2012, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Parcels 7 and 7A and the zoning of Parcels 7 and 7A of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on July 9, 2008. Unless substantial construction of the improvements contemplated within Parcels 21B and 21C (the Kraft Parcel) has commenced within three (3) years following adoption of Residential-Business Planned Development Number 368, as amended on January 21, 2015, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Parcels 21B and 21C (the Kraft Parcel) and the zoning of Parcels 21B and 21C (the Kraft Parcel) shall automatically revert to Residential-Business Planned Development Number 368, as amended on June 6, 2012. Unless substantial construction of the improvements contemplated within Subarea B Parcel 8 has commenced within six (6) years following adoption of this planned development amendment, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subarea B Parcel 8 and the zoning of Subarea B Parcel 8 of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on May 6, 2015.

[Existing Zoning Map; Boundary and Subarea Map; Parcels Map; Maximum Height Zones; Existing and Planned Open Spaces; Pattern of Vehicular Roadways; Site Plans; Selected Plant Schedule; Building Elevations; Building Sections; North, South, East and West Parking Sections; North and South Tower and Parking Section; Lake Front Trail Alternate One and Two; Overall Site Plan; Lower East North Water Street Plan; North Park Drive Street Plan; North Park Drive Street Wayfinding Plan; Upper East North Water Street Plan; Upper East North Water Street Wayfinding Plan; Terrace Level and Landscape Plan; Plant List and Landscape Details; Green Roof Plan; Proposed Lower East North Water Street Plan and Elevation with Lighting Concept; Ground Floor Plans; Rec Deck Level Plus 44 Feet Plans; and Pocket Park Landscape Plan; and Landscape Sections referred to in these Plan of Development Statements printed on pages 12825 through 12879 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Exhibit 1.**Bulk Regulations And Data Table.*Exhibit 1**Bulk Regulations and Data Table**

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Sub Area	Net Site Area See Note (1) Sq. Ft. Acres	Maximum Retail Sq.Ft. (1000's)	Maximum Commercial Sq.Ft. (1000's)	Maximum Hotel Rooms	Maximum Dwelling Units	Maximum F.A.R.
A	<u>380,796</u> 8.74	540 <i>See Note (5)</i>	5,259	1,800	Permitted <i>See Notes (2 &amp; 3)</i>	13.81 <i>See Note (6)</i>
B <i>See Notes (11&amp;13)</i>	<u>183,449</u> 4.21	40	2,482 <i>See Note (8)</i>	1,606 <i>See Note (8)</i>	842 <i>See Note (8)</i>	13.53 <i>See Note (7)</i>
C	<u>122,303</u> 2.81	140	850	540	630	12.72
D	<u>361,234</u> 8.29	170	500	0	2,350	8.60
E	<u>346,038</u> 7.94	110 <i>See Note (9)</i>	5 <i>See Note (4)</i>	0	1,200	6.83
E.1	<u>232,841</u> 5.34	0	5 <i>See Note (4)</i>	Not Permitted	Not Permitted	0.02
E.2	<u>18,191.63</u> 0.42	0	0	0	0	0
E.3	<u>95,005</u> 2.18	110 <i>See Note (9)</i>	0	0	1,200	25.000 <i>See Note (10)</i>
F <i>See Note (12)</i>	<u>167,084</u> 3.83 <i>See Note (12)</i>	150	0	0	1,118 <i>See Note (12)</i>	11.57 <i>See Note (12)</i>
<b>TOTAL</b>	<b><u>1,560,904</u></b> <b>35.83</b>	<b>1,040</b>	<b>9,096</b>	<b>3,946</b> <i>See Note (8)</i>	<b>6,140</b> <i>See Note (2)</i>	<b>10.84</b>
Gross Site Area = Net Site Area: 1,560,904 sq. ft. (35.83 acres) plus area in or proposed to be in public right of way: 940,843 sq. ft. (21.60 acres) plus area in or proposed to be in public parks or open space: 302,479 sq. ft. (6.94 acres) = 2,804,226 sq. ft. (64.38 acres).						

<u>OFF STREET PARKING</u>	<u>MINIMUM</u>	<u>MAXIMUM</u>
BUSINESS USES	1:5,000 sq. ft.	As determined by DPD in consultation with CDOT
HOTEL USES	1:4 Rooms	
RESIDENTIAL USES	55% d. u.	
NON-ACCESSORY PARKING (allowed in Sub-area F only)	200 spaces	600 spaces
OFF STREET LOADING:		Per DX-12 requirements
MINIMUM PERIPHERAL SETBACKS		Sufficient to allow for street trees and pedestrian walkways (min. 12'-6" from building to curb face)
MINIMUM UPPER LEVEL SETBACKS		40' from Lake Shore Drive at level of Upper Lake Shore Drive

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- Note (1): For the purpose of this Planned Development, Net Site Area" shall equal the entire land area (at Plaza Level where such is established, and otherwise at grade) within the boundaries of the planned development, less the area now dedicated or proposed to be dedicated to public use.
- Note (2): Dwelling units shall be permitted in Sub-Area A of this Planned Development subject to the provisions of the DX-16, Downtown Mixed-Use district classification. Any such units so built will not affect the total of 6,140 dwelling units permitted in Sub-Areas B, C, D, E and F. Dwelling units are permitted below the second floor in all sub-areas except Sub-Area E.
- Note (3): For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units. The permissible number of hotel rooms within the planned development shall not exceed 3,946 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses.
- Note (4): Although Sub-Area E.1 (DuSable Park) has been dedicated to public park uses, it is included in Net Site Area because a maximum of 5,000 square feet of park and recreation-related floor area may be constructed within its boundaries.
- Note (5): Assumes 410,000 sf allocated to development Parcels 4 and 5 and the remaining 130,000 sf allocated to remaining development parcels within Sub-Area A.
- Note (6): Assumes floor area allocated to existing buildings as follows: 401 North Michigan (760,241 sf), University of Chicago Gleacher Center (240,000 sf), NBC Tower (912,000 sf); and, to future development as follows: Parcel 1 (776,250 sf); Parcel 3 (970,000 sf) and Parcels 4/5 (1,600,000 sf)
- Note (7): Assumes floor area allocated to existing Sheraton Hotel (Parcels P6A and P6B) at 860,379 sf and to Parcels P7 and P7A at 847,290 sf. pursuant to June 6, 2012 amendment.
- Note (8): For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units. The number of dwelling units listed for Subarea B (842) includes 197 dwelling units converted from 394 hotel rooms. The permissible number of hotel rooms within the planned development shall not exceed 3,946 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses. Accessory hotel uses on Parcels 7, 7A and 8 combined shall not exceed 50,000 square feet.
- Note (9): Residential support services, physical fitness/indoor recreation center, and small venue theater (for building residents only) are expressly permitted in Sub-Area E.3.

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**FAR Bonus Calculations**

Note (10): **Sub-Area E.3 (Parcels 18 and 19, combined)**  
**Net Site Area = 95,005 square feet**

Base FAR	10.00
Downtown Affordable Housing Zoning Bonus	3.00 (a)
Offsite contribution to DuSable Park	2.16 (b)
Public Plazas	5.44 (c)
Chicago Riverwalk	0.40 (d)
Water Features	1.00 (e)
Underground Parking and Loading	<u>3.00 (f)</u>
<b>Total FAR</b>	<b>25.00</b>

- a) Based on a contribution of \$5,700,300.00 to the City of Chicago Affordable Housing Opportunity Fund.
- b) Based on a contribution of \$4,104,216.00 to City of Chicago for Off-Site Park Improvements (to DuSable Park).
- c) Based on the provision of 51,730 square feet of on-site public plaza.
- d) Based on the provision of improvements to 3,800 square feet at off-site open spaces.
- e) Based on the provision of 48,669 square feet of water features in on-site public open spaces.
- f) Based on the provision of 171 underground parking spaces on Lower Levels 1 and 2, at least 265 underground parking spaces on Lower Level 3 and lower, and 7 underground loading docks on lower level.

**Bulk Regulations and Data Table**

Note (11): **Sub-Area B (Parcels 7 & 7A)**  
**Net Site Area = 68,385 square feet**

Maximum Floor Area Ratio (FAR):	12.39
Maximum Percentage of Land Coverage:	Per Site Plans
Maximum Number of Dwelling Units:	398
Maximum Number of Hotel Keys:	400
Maximum Number of Off-Street Parking Spaces (Residential):	219
Maximum Number of Off-Street Parking Spaces (Hotel):	11
Minimum Number of Bike Parking Spaces:	50
Minimum Periphery Setbacks:	Per Site Plans
Maximum Building Height:	590' (plus 45' for mechanical penthouse, roof mechanical units, roof access stairs, architectural elements and similar appurtenances)
Minimum Number of Off-Street Loading Berths, Residential:	2 (10' x 25') spaces
Minimum Number of Off-Street Loading Berths, Hotel:	2 (10' x 25') spaces

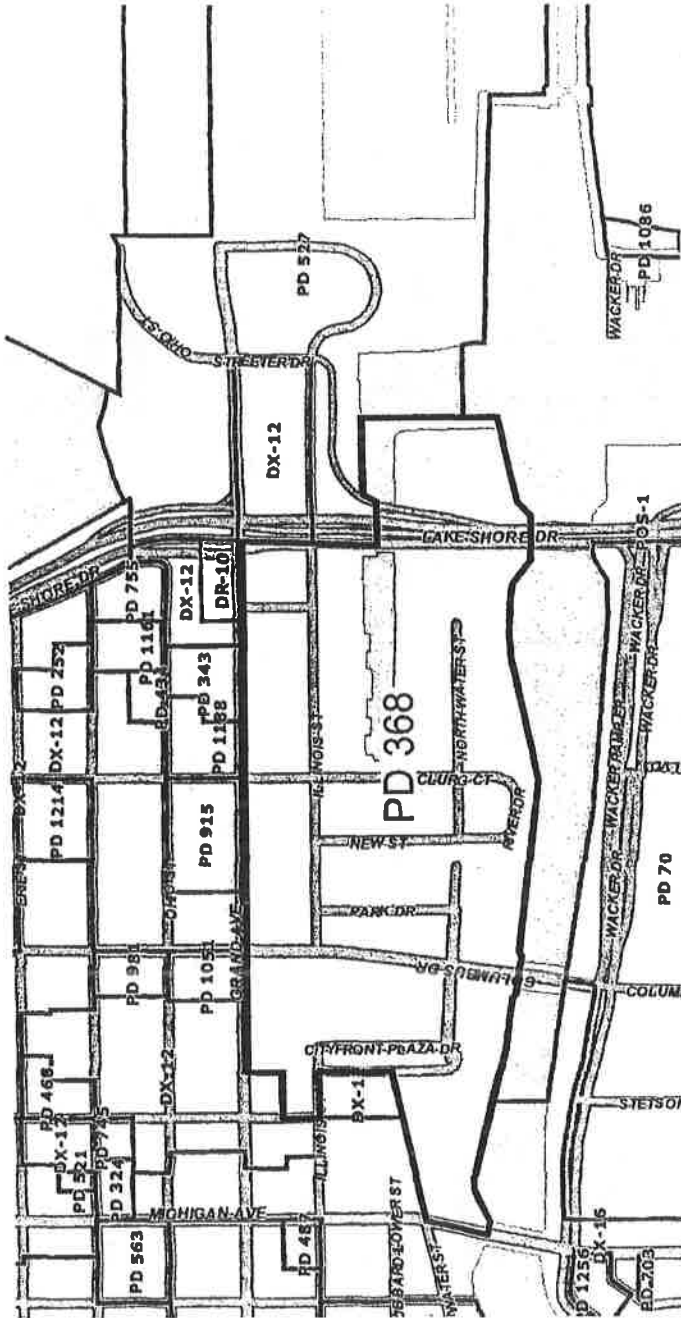
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<b>Note (12): Sub-Area F</b>	
<b>Net Site Area = 167,104 sq. ft. (overall)</b>	
Maximum Floor Area Ratio (FAR):	11.57 (overall Sub-area F after Floor Area Bonuses)
Base FAR	8.98 (overall Sub-area F; see note (a) below)
Affordable Housing Bonus:	0.52 (See note (b) below)
Underground Parking Bonus:	1.00 (See note (c) below)
Plaza/Pocket Park Bonus:	<u>1.07</u> (See note (d) below)
Total FAR	11.57
<b>Bulk Regulations and Data Table For Parcel 21C:</b>	
Maximum Number of Dwelling Units:	350
Minimum Number of Accessory Parking Spaces:	296
Minimum Number of Bike Parking Spaces:	50
Minimum Periphery Setbacks and Site Coverage:	Per site plan
Maximum Building Height:	785 feet
Minimum Number of Off-Street Loading Berths:	3 (10' x 25')
a)	Base FAR of 8.98 results from an increase in net site area from 100,456 sf. to 167,104 sf. for the inclusion of Parcel P21B into the net site area by this amendment and a commensurate reduction of FAR from 14.93.
b)	86,720 sf. bonus floor area based on a contribution of \$2,983,168 to the City of Chicago Housing Opportunity Fund as set forth in Statement 11(o).
c)	167,208 sf. bonus floor area based on 120 underground parking spaces on Levels -1 and -2 and 176 unground parking spaces on Levels -3 and -4.
d)	179,670 sf. bonus floor area based on providing or reconstructing 20,008 square feet of plaza/pocket park area on Parcel P21B in accordance with the Pocket Park Bonus Landscape Plan.

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<b>Bulk Regulations and Data Table</b>	
<b>Note (13):</b>	<b>Sub-Area B (Parcel 8)</b>
	<b>Net Site Area = 34,400 SF</b>
Maximum Floor Area Ratio (FAR):	14.50
Maximum Percentage of Land Coverage:	Per Site Plan
Maximum Number of Dwelling Units:	444
Minimum Number of Off-Street Parking Spaces (Residential):	181
Minimum Number of Bike Parking Spaces:	50
Minimum Periphery Setbacks	Per Site Plans
Maximum Building Height:	535' (Includes 35' for mechanical penthouse, roof mechanical units, roof access stairs, architectural elements and similar appurtenances)
Minimum Number of Off-Street Loading Berths, Residential:	1 (10' x 25')
Minimum Number of Off-Street Loading Berths, Retail:	1 (10' x 25')

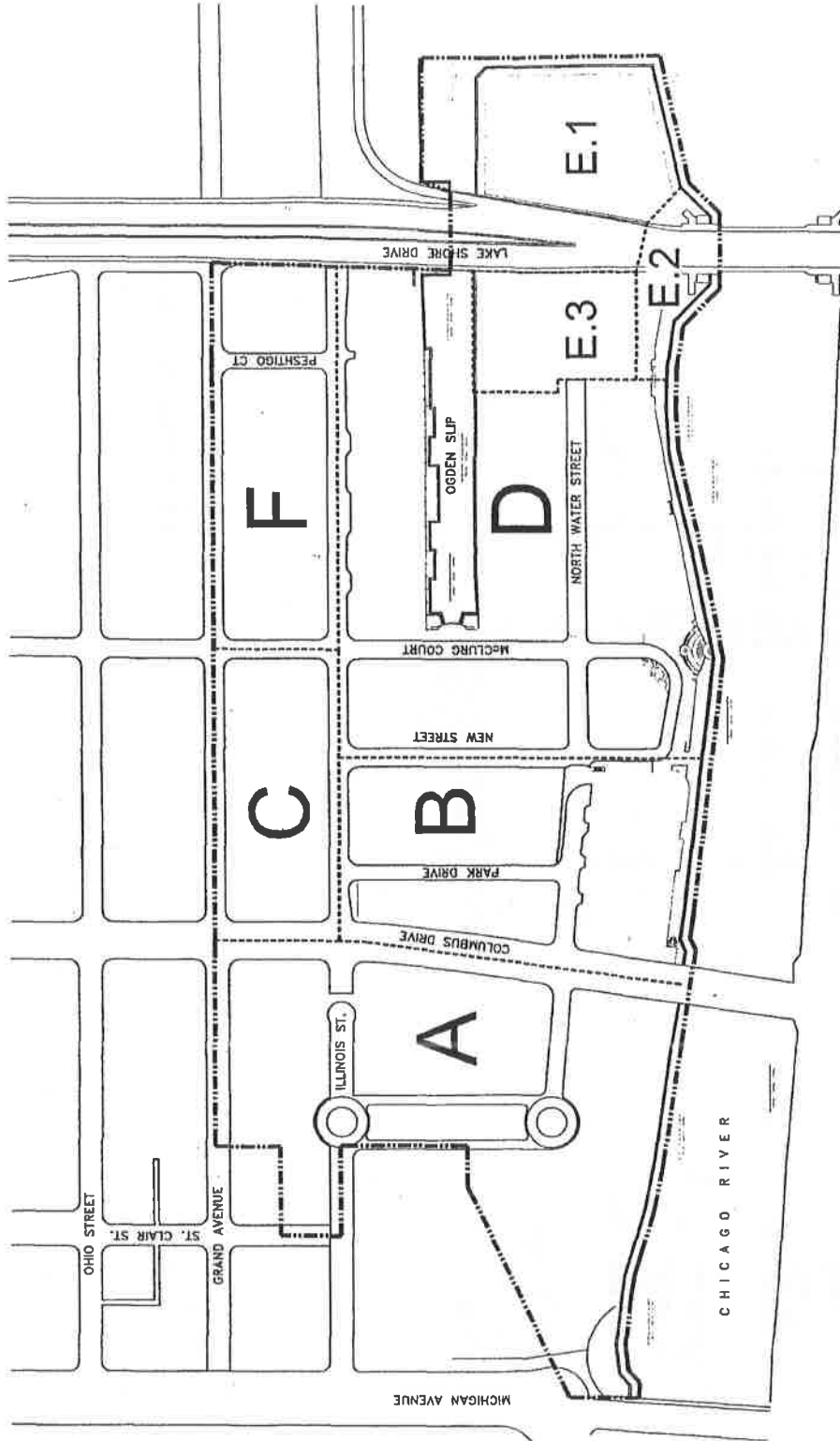
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**EXHIBIT 2**  
**EXISTING ZONING MAP**  
 SCALE: NTS

Applicant: RMW Streetville, LLC  
 Address: 451 East Grand Avenue, Chicago, IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

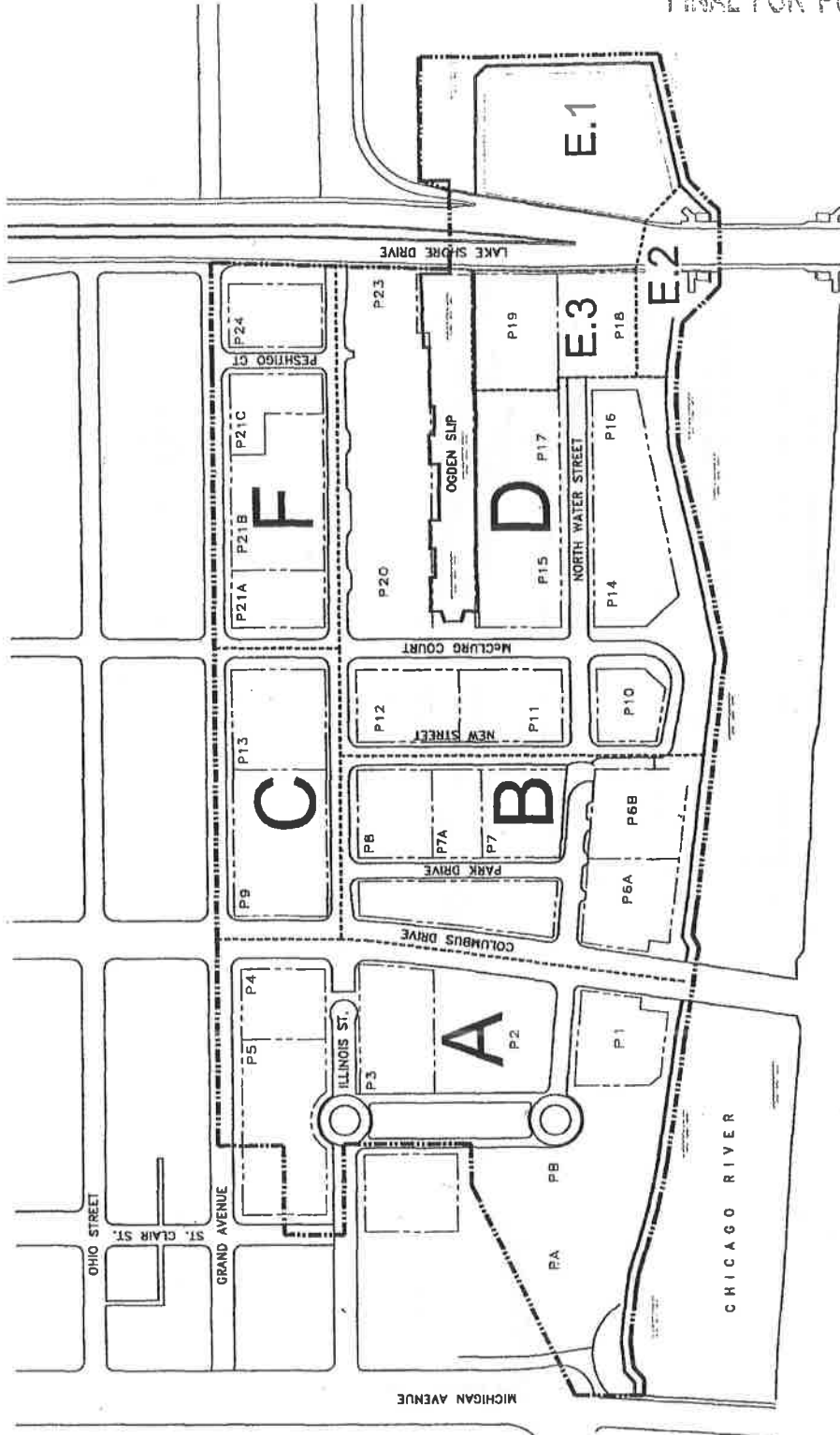
FINAL FOR PUBLICATION



**EXHIBIT 3**  
**PD BOUNDARY & SUB AREA MAP**  
 SCALE: NTS

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago, IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

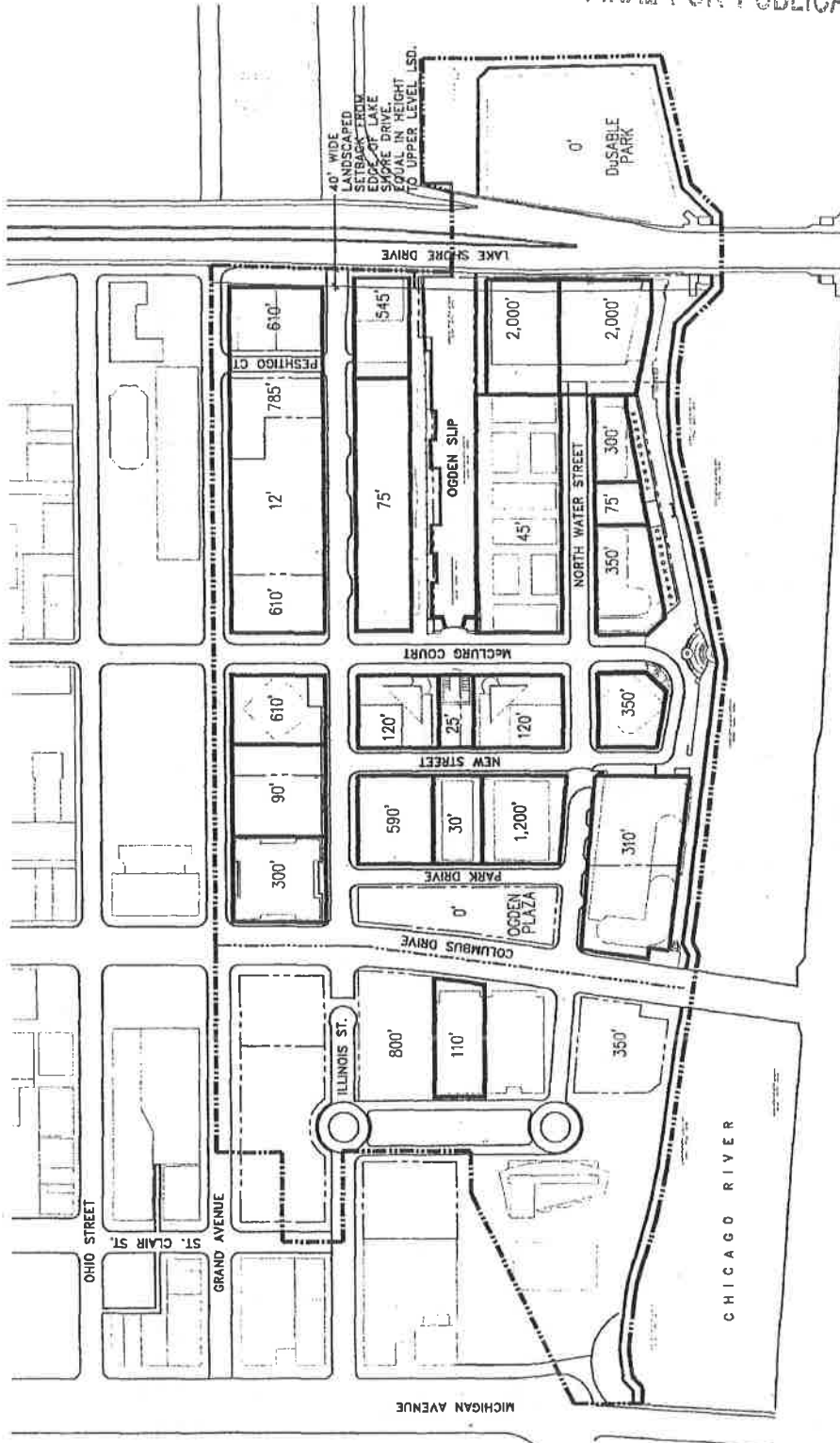
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**EXHIBIT 4**  
**PD PARCELS MAP**  
 SCALE: NTS

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

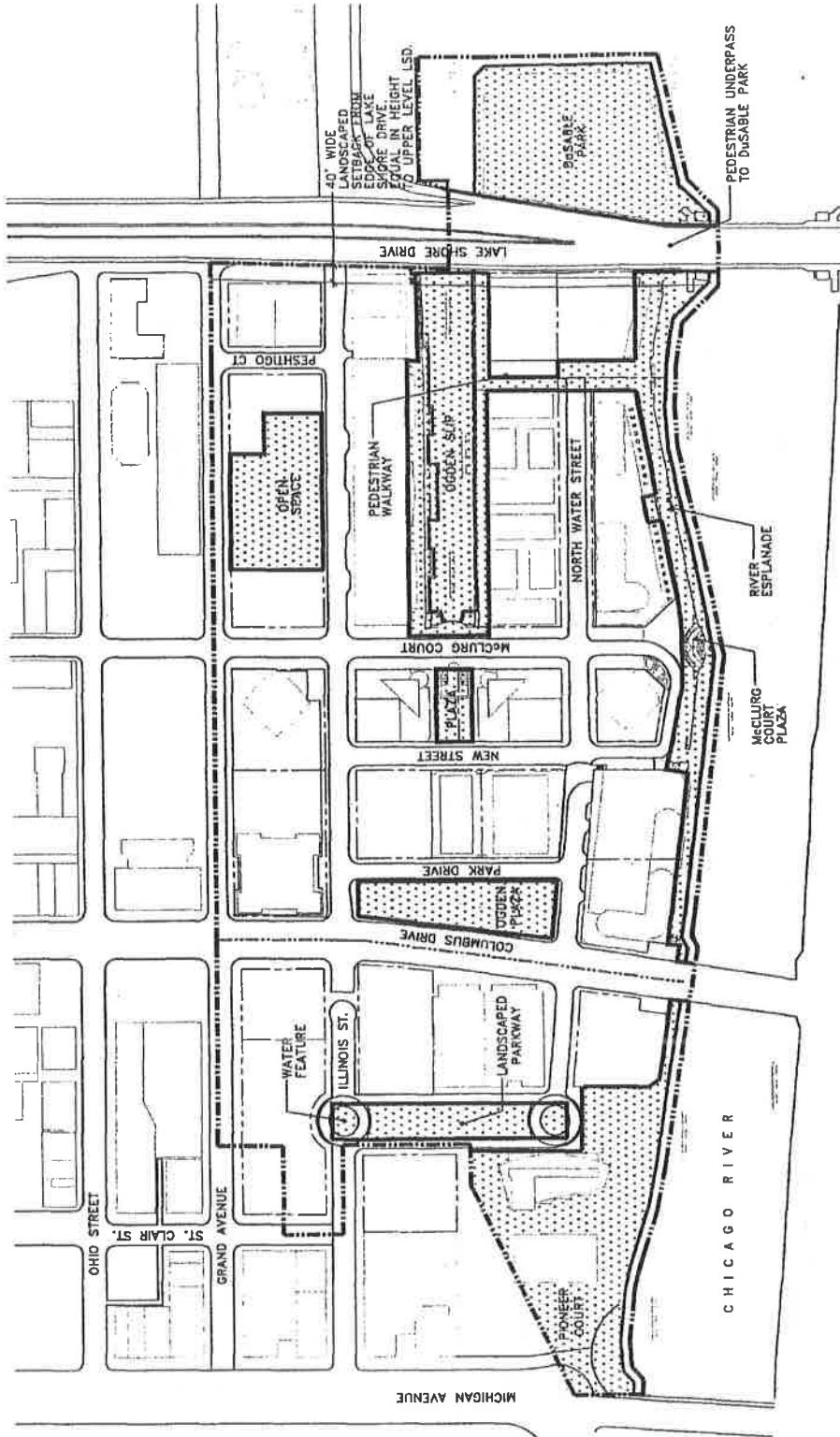
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**EXHIBIT 5**  
**MAXIMUM HEIGHT ZONES**  
 SCALE: NTS

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

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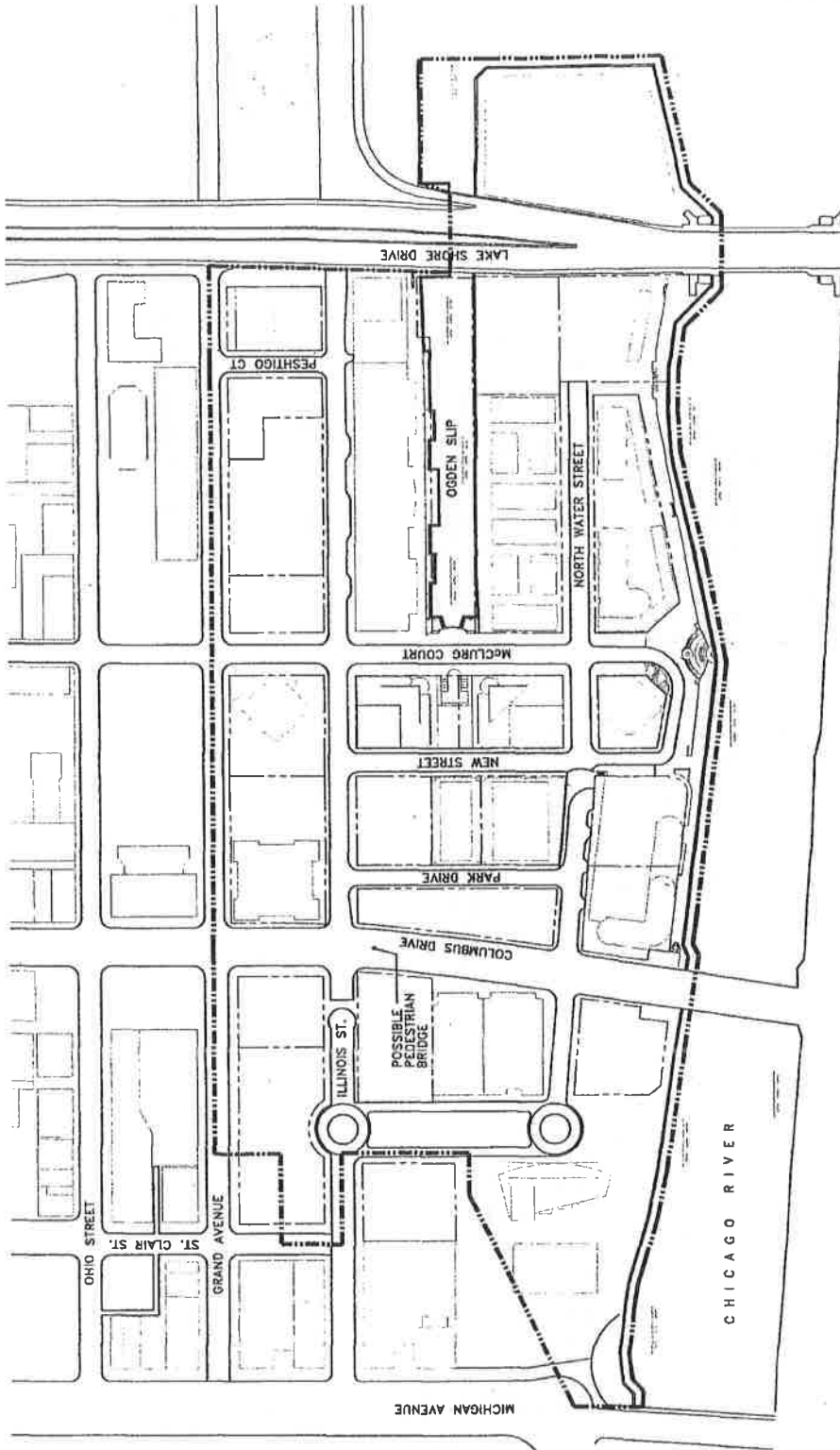


**EXHIBIT 6**  
**EXISTING AND PLANNED OPEN SPACES**

SCALE: NTS

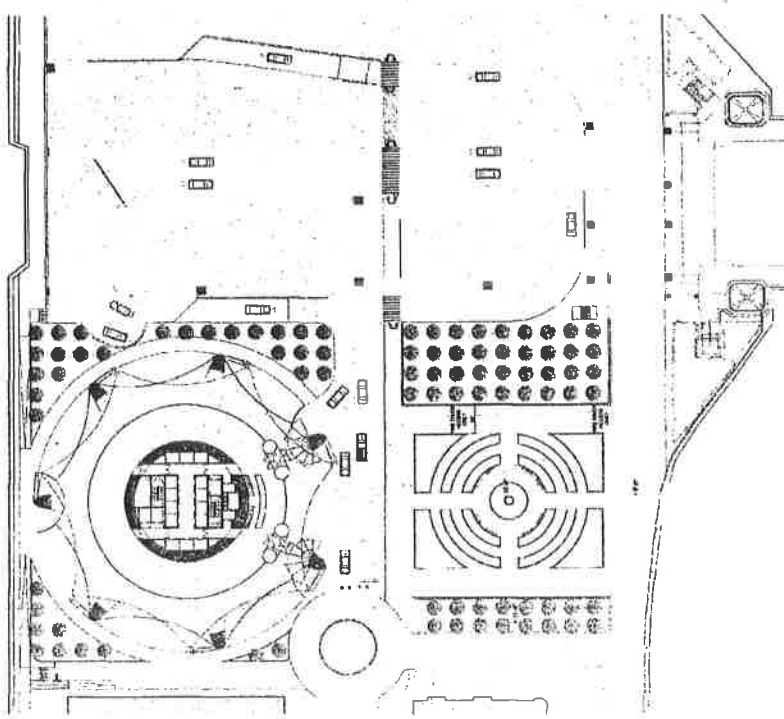
Applicant: BMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago, IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

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**EXHIBIT 7**  
**PATTERN OF VEHICULAR ROADWAYS**  
 SCALE: NTS

Applicant: BMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago, IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD



**SITE PLAN**  
GROUND LEVEL  
Scale: 1/32" = 1'-0"


**SELECTED PLANT SCHEDULE**

NO.	PLANT	QUANTITY	NOTES
1	...	...	...
2	...	...	...
3	...	...	...
4	...	...	...
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45	...	...	...
46	...	...	...
47	...	...	...
48	...	...	...
49	...	...	...
50	...	...	...

**GENERAL NOTES:**

1. Existing Utility and Service Lines to be retained and protected in accordance with the City of Chicago Department of Public Works.
2. All work shall be in accordance with the City of Chicago Department of Public Works.
3. All work shall be in accordance with the City of Chicago Department of Public Works.
4. All work shall be in accordance with the City of Chicago Department of Public Works.

**LOCATION MAP PROJECT SITE**



**LANDSCAPE ARCHITECTURE:**

**Shelbourne**  
**CHICAGO SPIRE**  
CHICAGO, ILL.

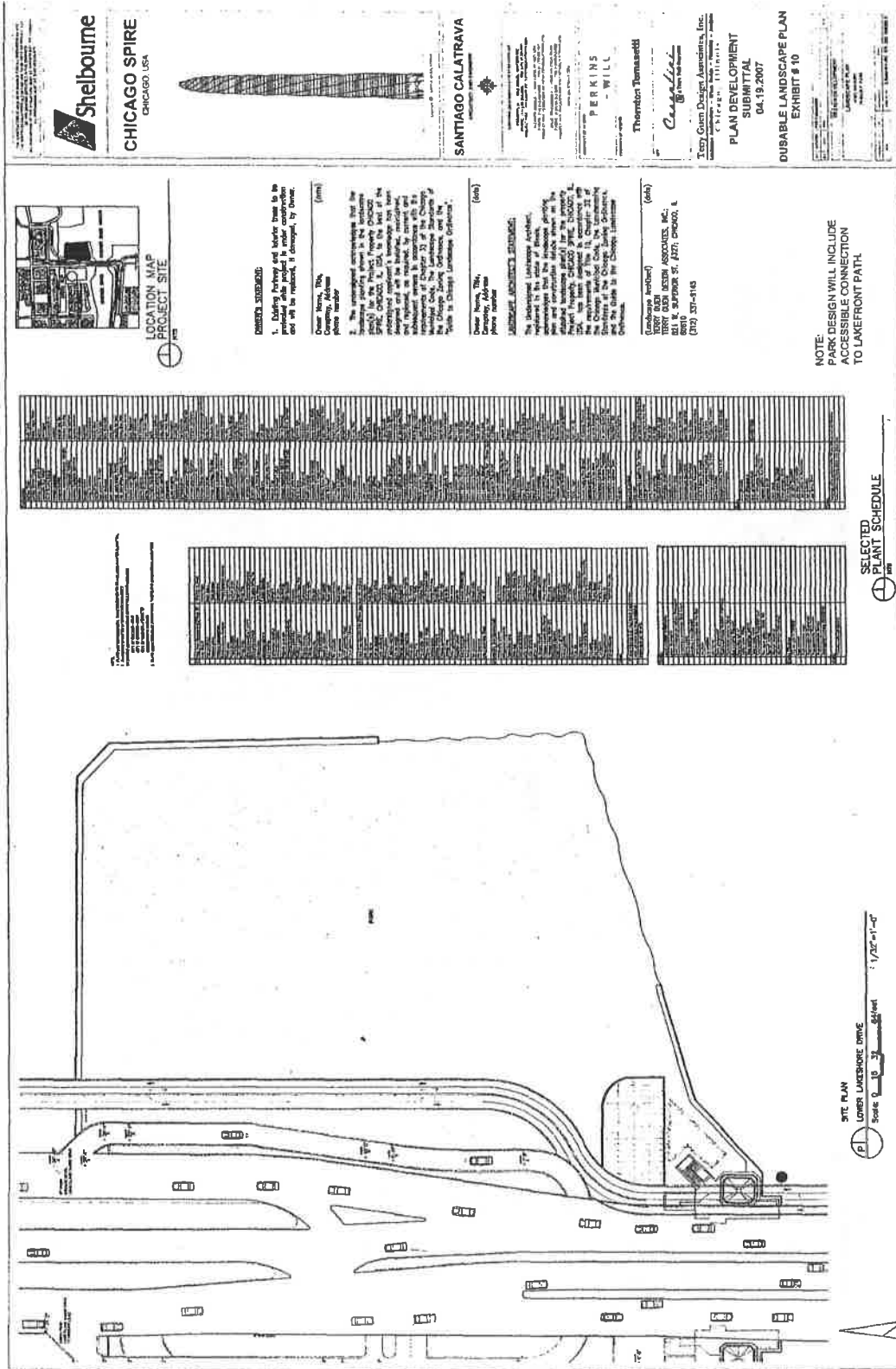
**SANTIAGO CALATRAVA**  
ARCHITECTS AND PLANNERS

**PERKINS+WILL**  
Thermon Tomaszewski

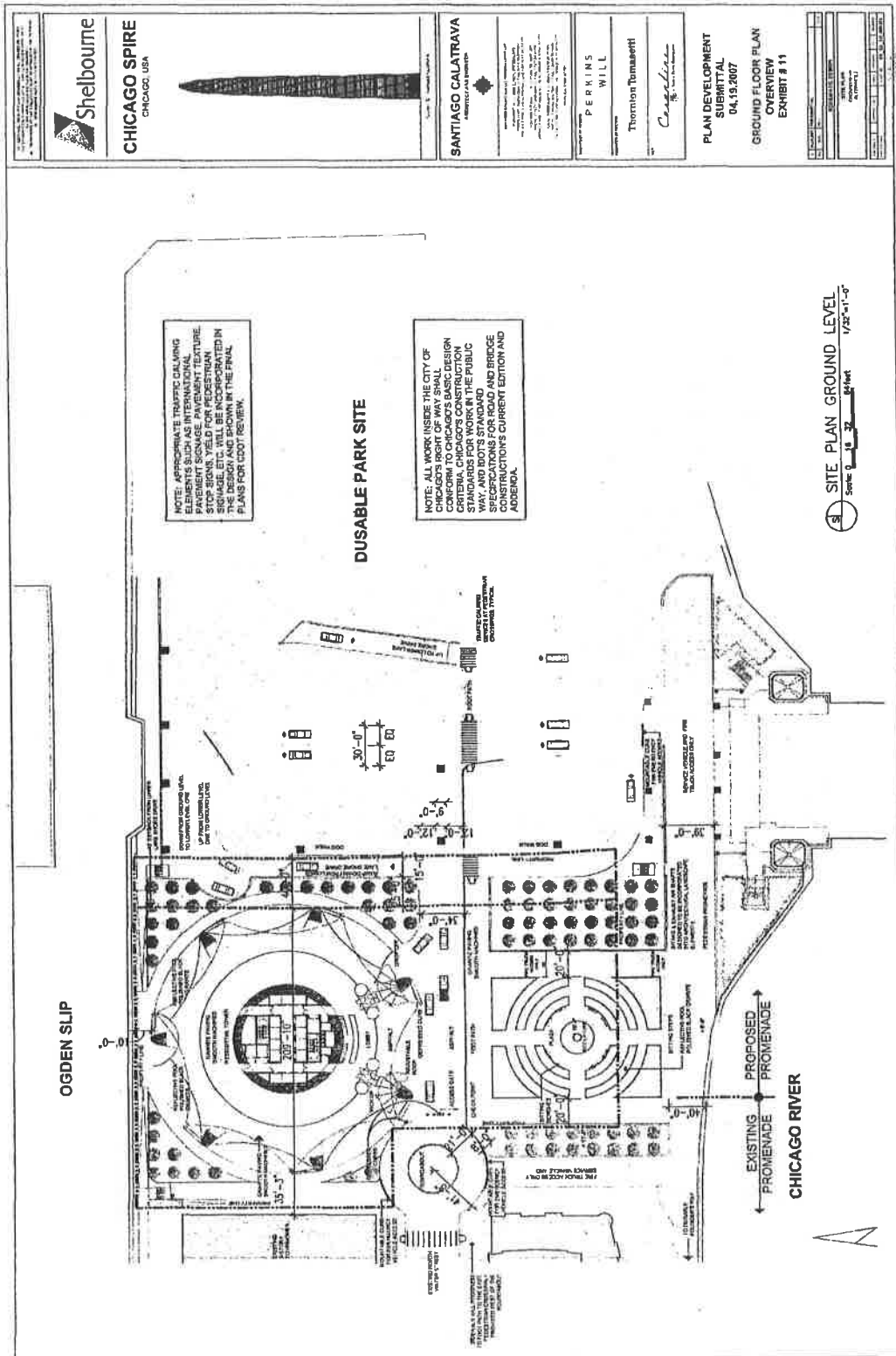
**Capella**  
Terry Cuen Design Associates, Inc.  
1015 N. LaSalle Ave., Suite 1111, Chicago, IL 60610  
Tel: 312.329.1100

**PLAN DEVELOPMENT SUBMITTAL**  
04.19.2007

**SITE LANDSCAPE PLAN EXHIBIT # 9**



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**Shelbourne**  
CHICAGO SPIRE  
CHICAGO, USA



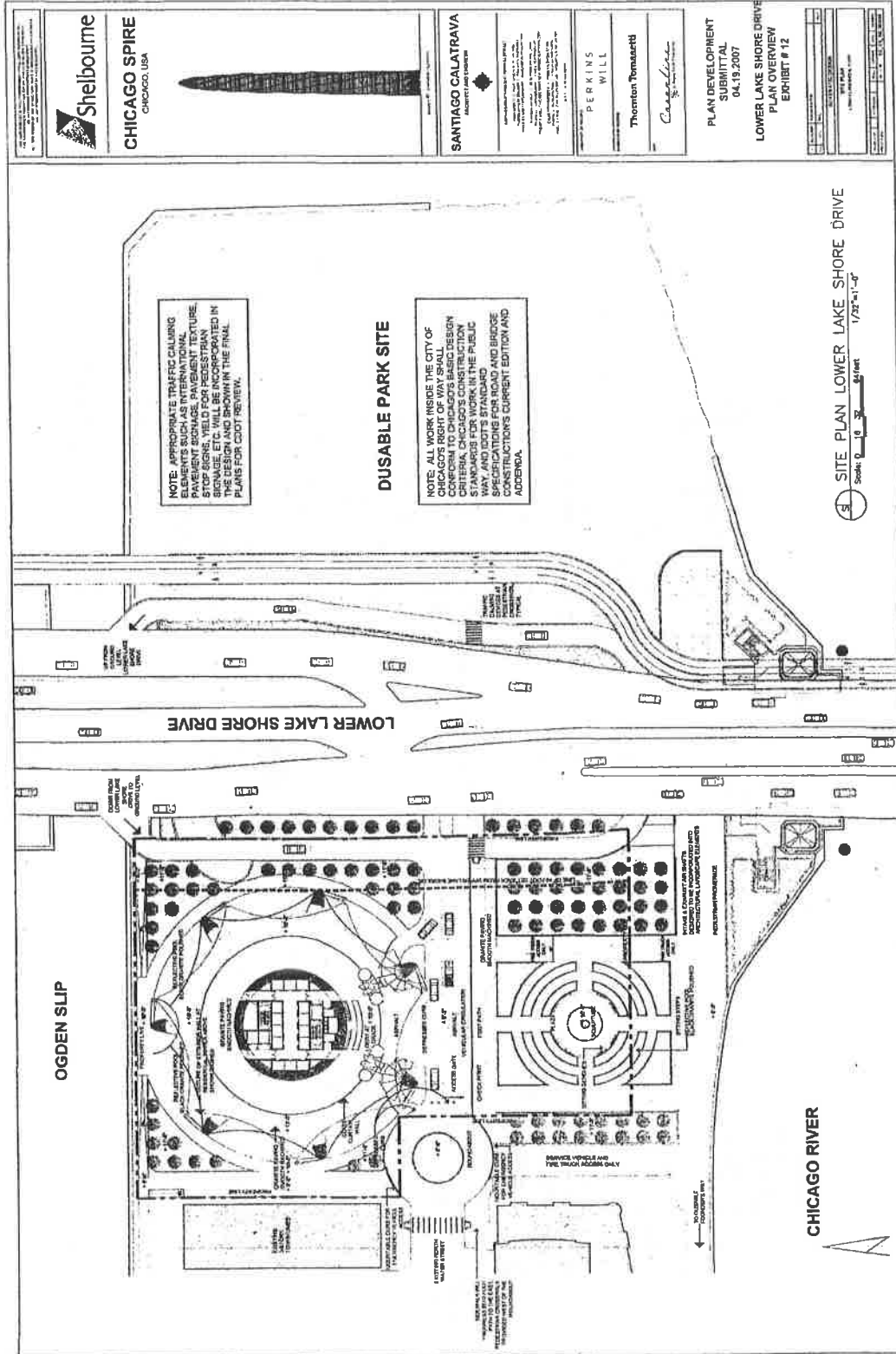
**SANTIAGO CALATRAVA**  
ARCHITECT & PLANNERS

**PERKINS WILL**  
Thornton Tomasetti  
*Capella*

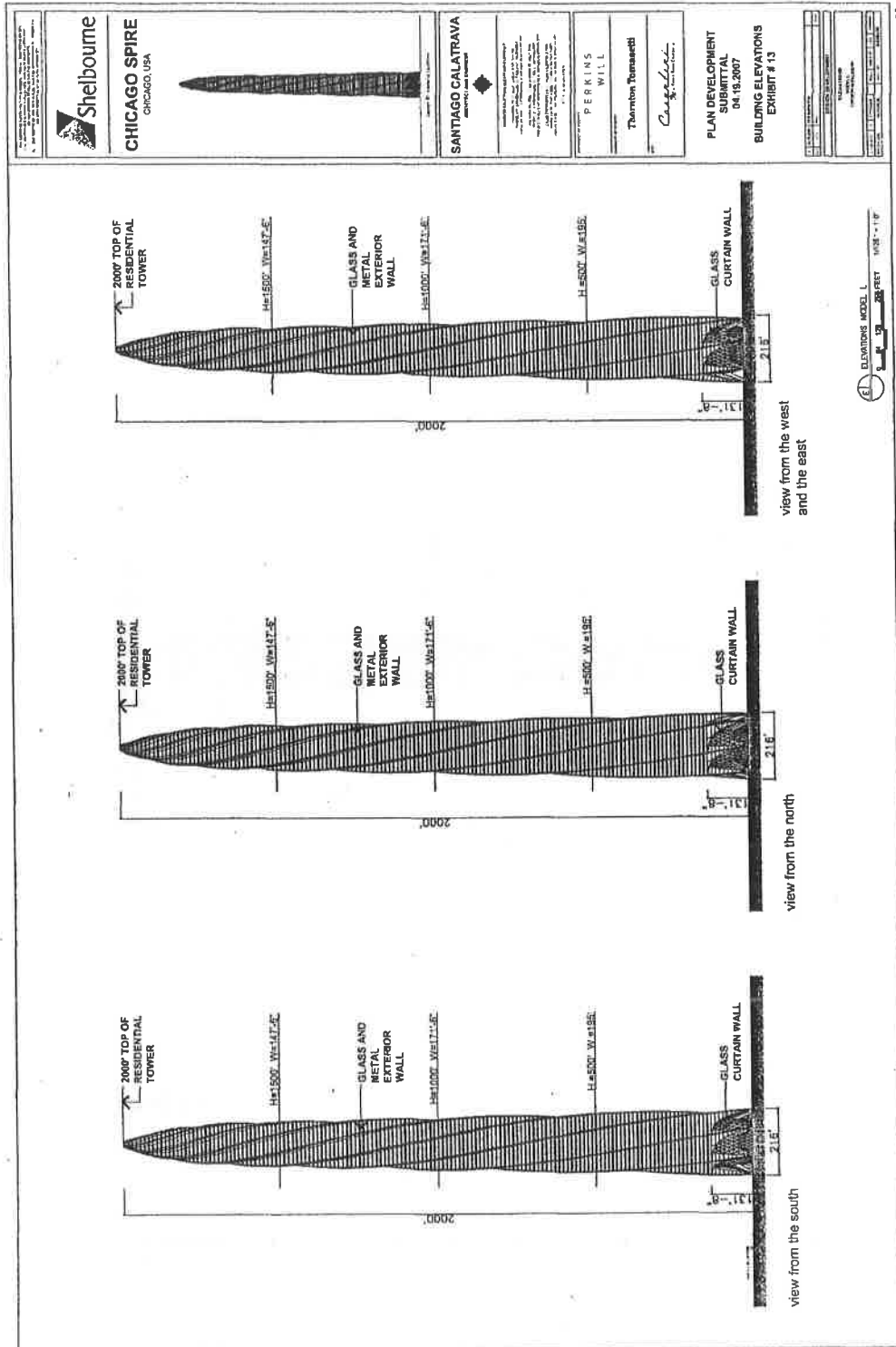
**PLAN DEVELOPMENT SUBMITTAL 04.19.2007**  
**GROUND FLOOR PLAN OVERVIEW EXHIBIT # 11**

DATE	DESCRIPTION
04/19/07	PLAN DEVELOPMENT SUBMITTAL
04/19/07	GROUND FLOOR PLAN OVERVIEW EXHIBIT # 11

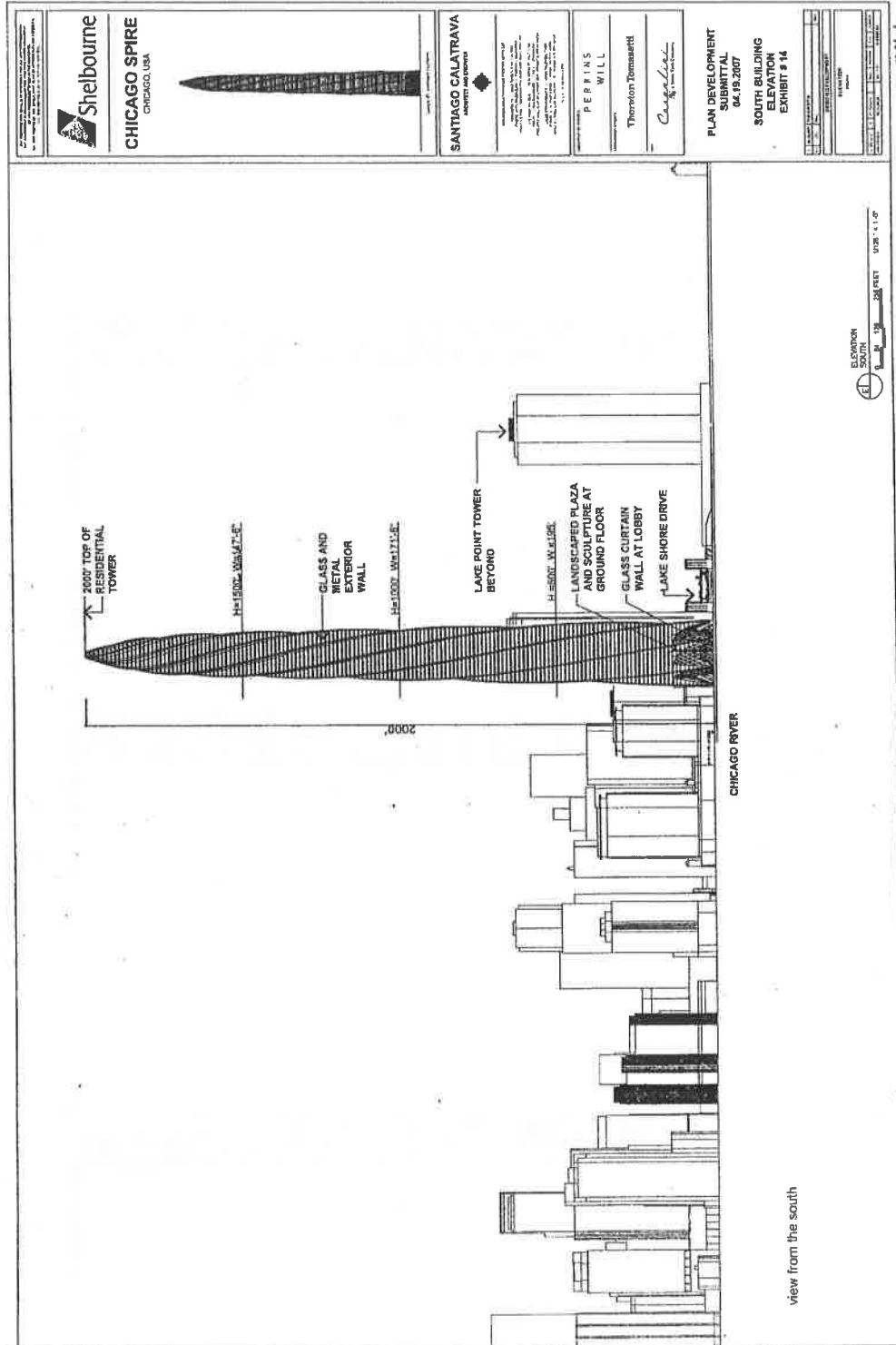
**FINAL FOR PUBLICATION**



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**Shelbourne**  
**CHICAGO SPIRE**  
 CHICAGO, USA



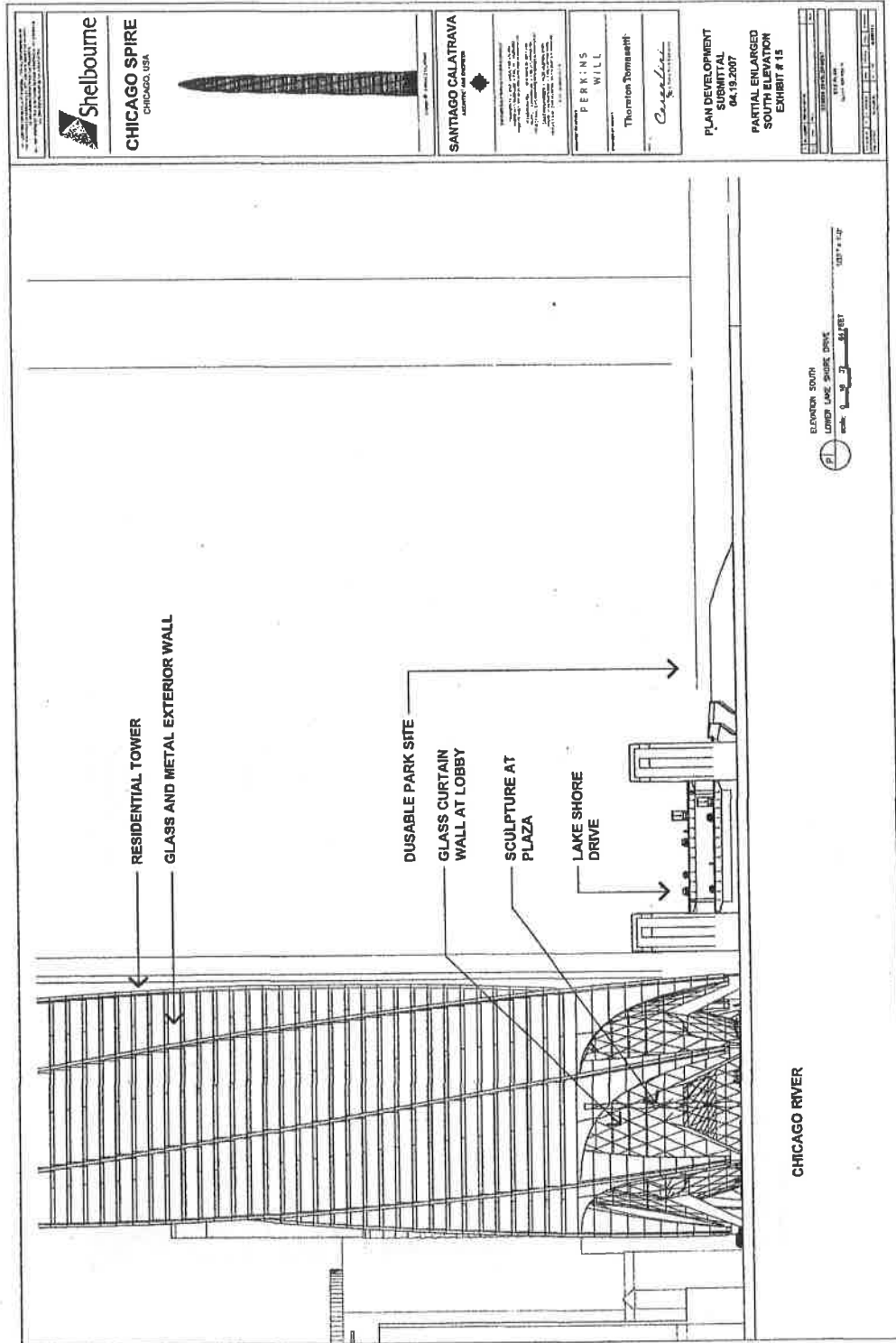
**SANTIAGO CALATRAVA**  
 ARCHITECT AND SCULPTOR

**PERKINS  
 WILL**  
 Thornton Tomasetti

**PLAN DEVELOPMENT**  
 SUBMITTAL  
 04.19.2007  
**SOUTH BUILDING**  
 ELEVATION  
 EXHIBIT 9 14

DATE	DESCRIPTION
04.19.2007	PLAN DEVELOPMENT SUBMITTAL
04.19.2007	SOUTH BUILDING ELEVATION EXHIBIT 9 14
04.19.2007	LAKE SHORE DRIVE
04.19.2007	LANDSCAPED PLAZA AND SCULPTURE AT GROUND FLOOR
04.19.2007	GLASS CURTAIN WALL AT LOBBY
04.19.2007	GLASS AND METAL EXTERIOR WALL
04.19.2007	H=1800' WALL @ 2'-0"
04.19.2007	H=1000' METAL @ 2'-0"
04.19.2007	H=500' WALL @ 2'-0"
04.19.2007	LAKE POINT TOWER BEYOND
04.19.2007	2000' TOP OF RESIDENTIAL TOWER

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**Shelbourne**  
CHICAGO SPIRE  
Chicago, USA



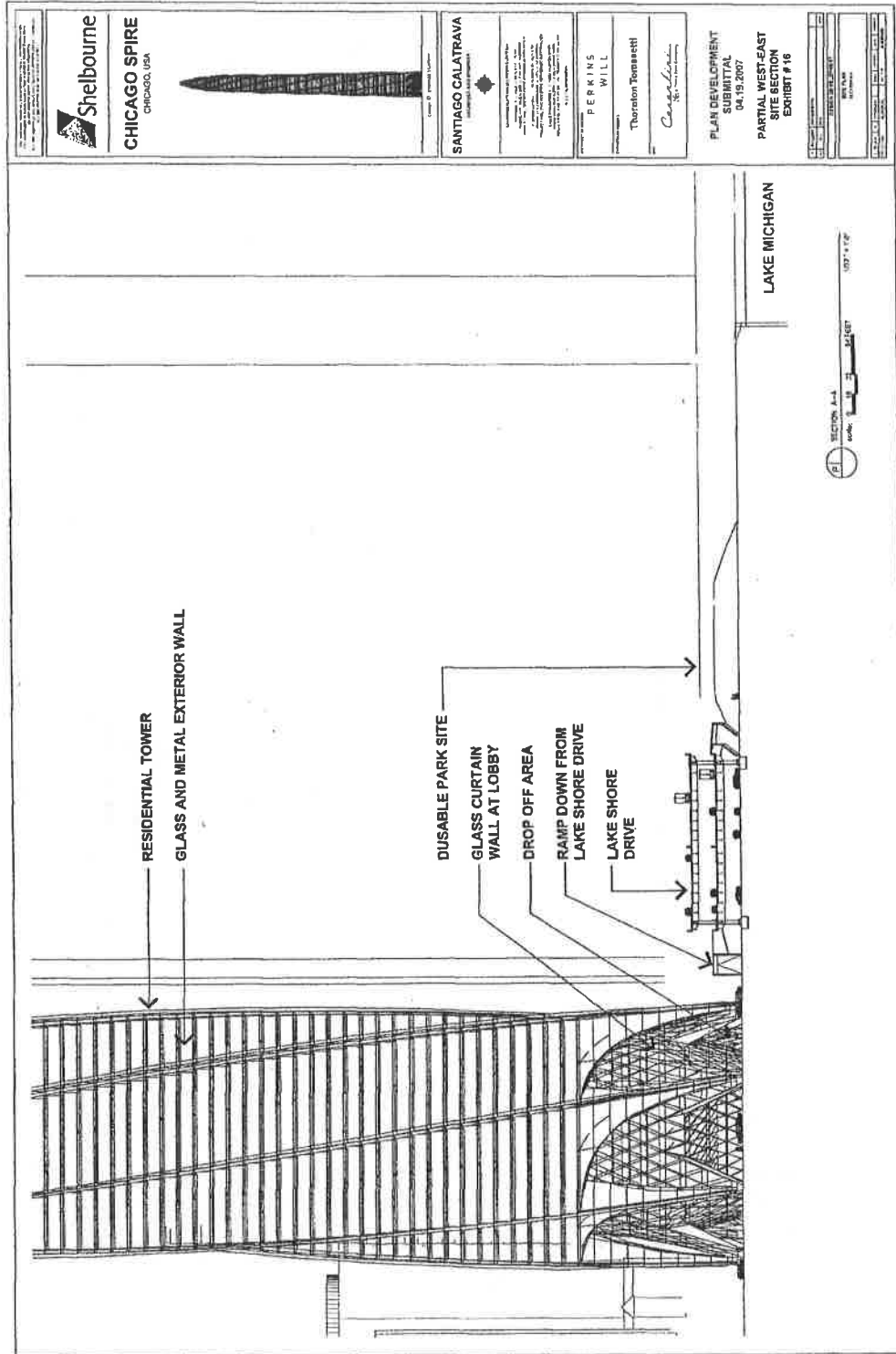
**SANTIAGO CALATRAVA**  
ARCHITECT

PERKINS  
WILL  
Thornton Tomasetti  
*Chicago*

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007  
PARTIAL ENLARGED  
SECTION  
EXHIBIT # 15

DATE	DESCRIPTION
04.19.2007	PLAN DEVELOPMENT SUBMITTAL
04.19.2007	PARTIAL ENLARGED SECTION EXHIBIT # 15

10/28/2015



**Shelbourne**  
CHICAGO SPIRE  
CHICAGO, USA

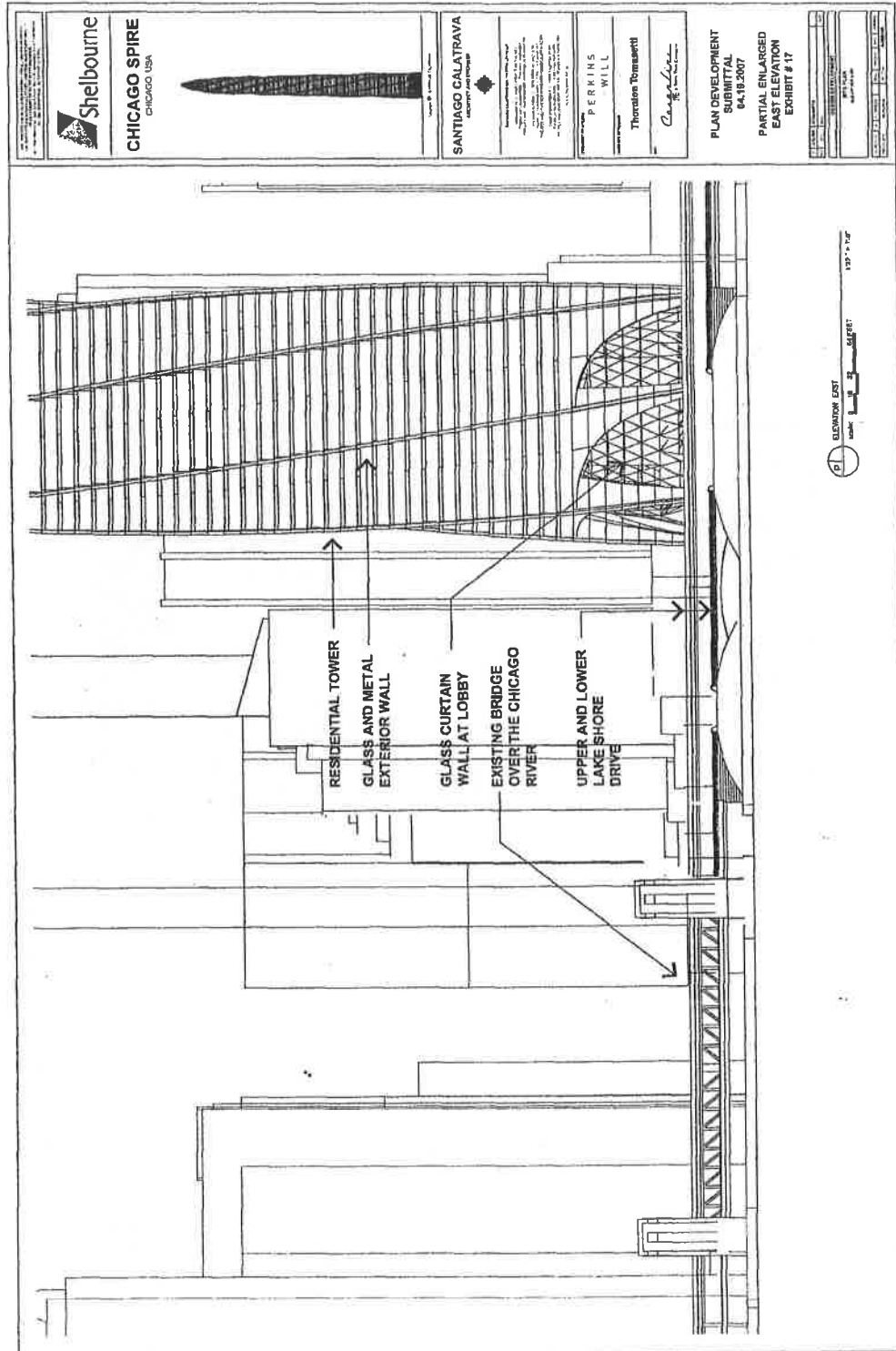


**SANTIAGO CALATRAVA**  
ARCHITECT

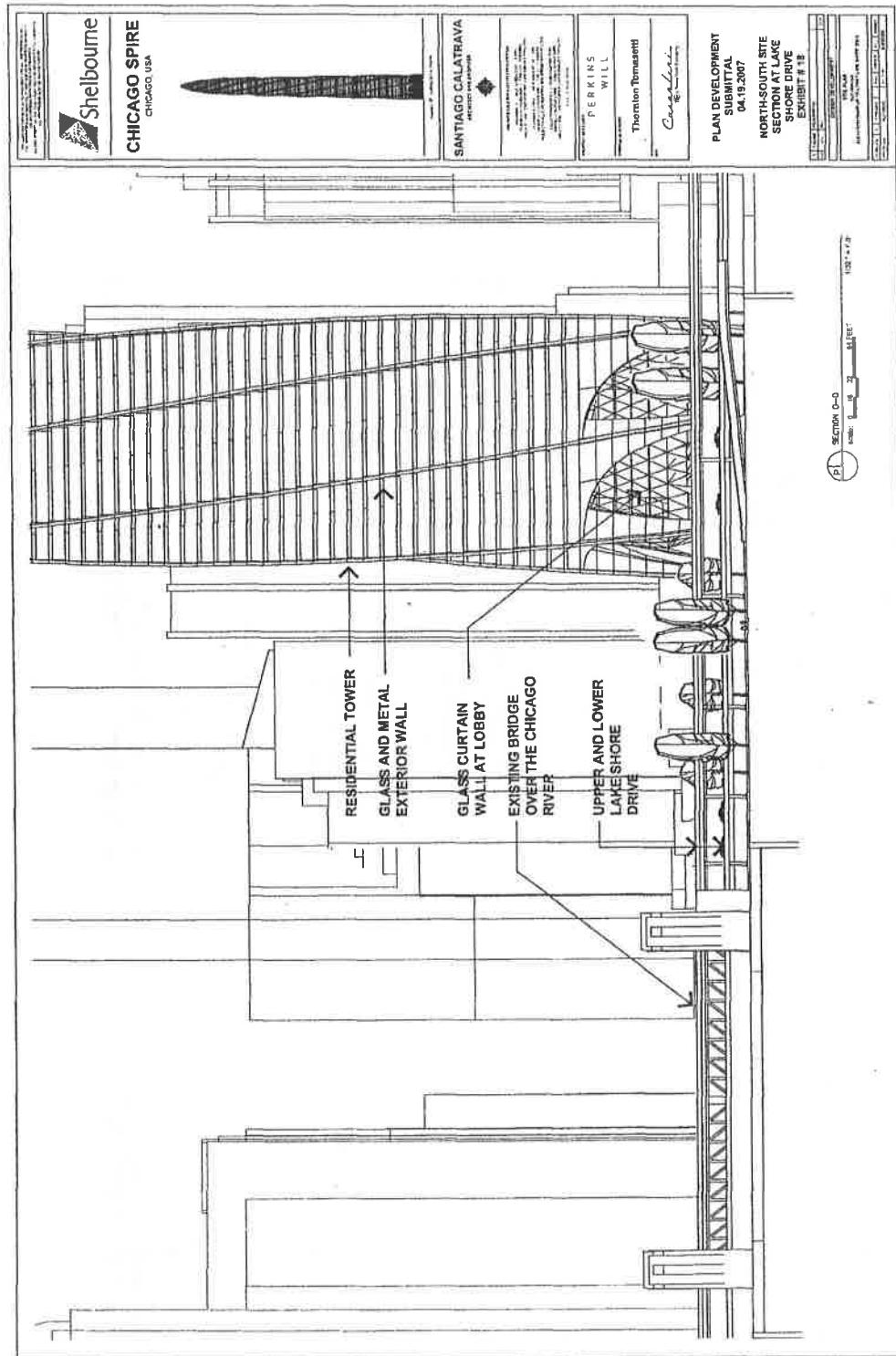
**PERKINS  
WILL**  
Thornton Tomasetti

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007  
PARTIAL WEST-EAST  
SITE SECTION  
EXHIBIT # 16

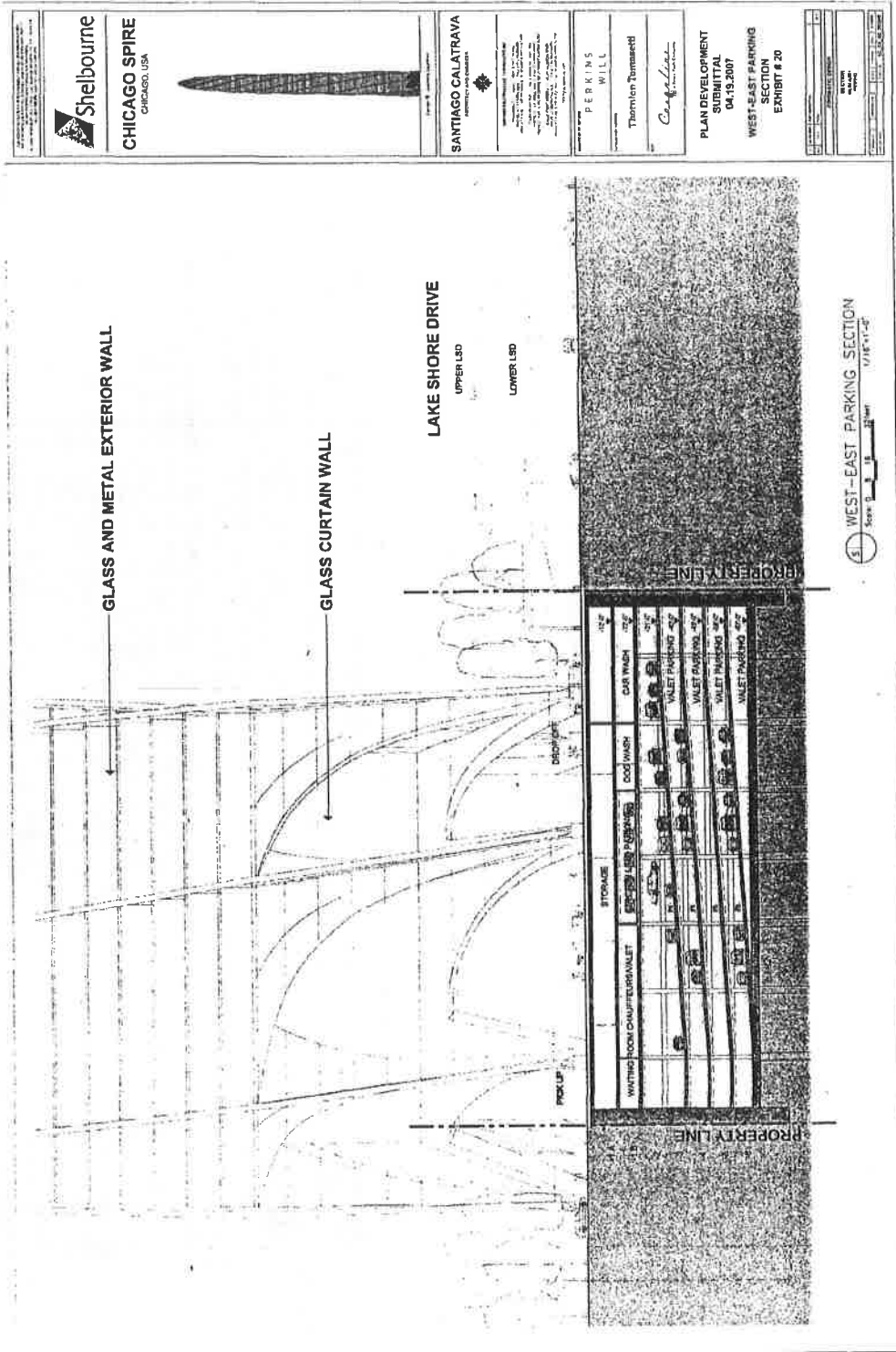
NO.	DATE	REVISION

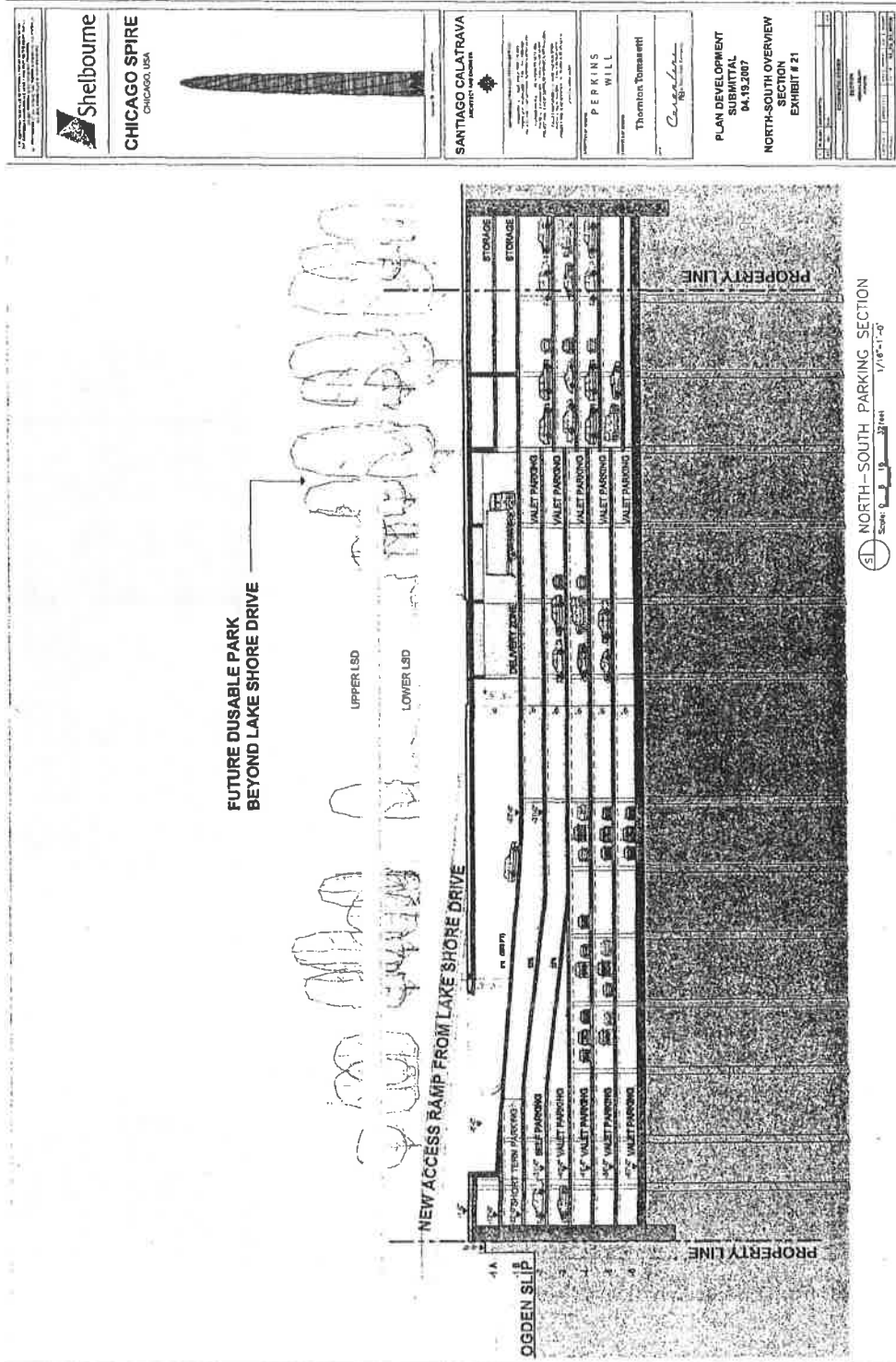


10/28/2015 1:10:11 PM



PLAN DEVELOPMENT SUBMITTAL





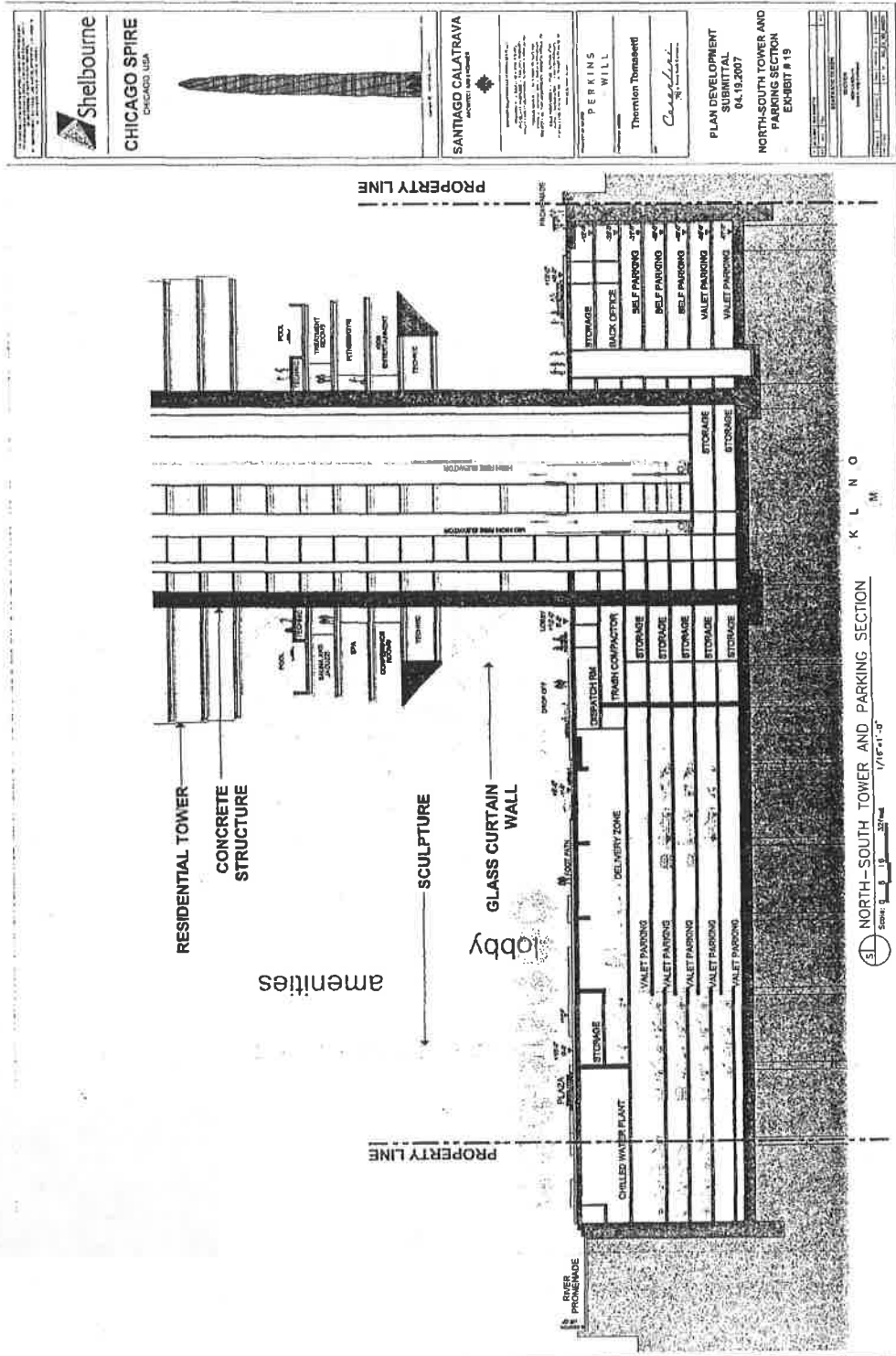
**Shelbourne**  
CHICAGO SPIRE  
CHICAGO, USA

**SANTIAGO CALATRAVA**  
ARCHITECTS

PLAN DEVELOPMENT  
DATE: 04.18.2015  
NORTH-SOUTH OVERVIEW  
SECTION  
EXHIBIT # 21

PERKINS  
WILL  
Thomson Tomasetti  
Chicago, IL

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**Shelbourne**  
 CHICAGO SPIRE  
 CHICAGO, USA



**SANTIAGO CALATRAVA**  
 ARCHITECT

PERKINS  
 WILL

Thornton Tomasetti

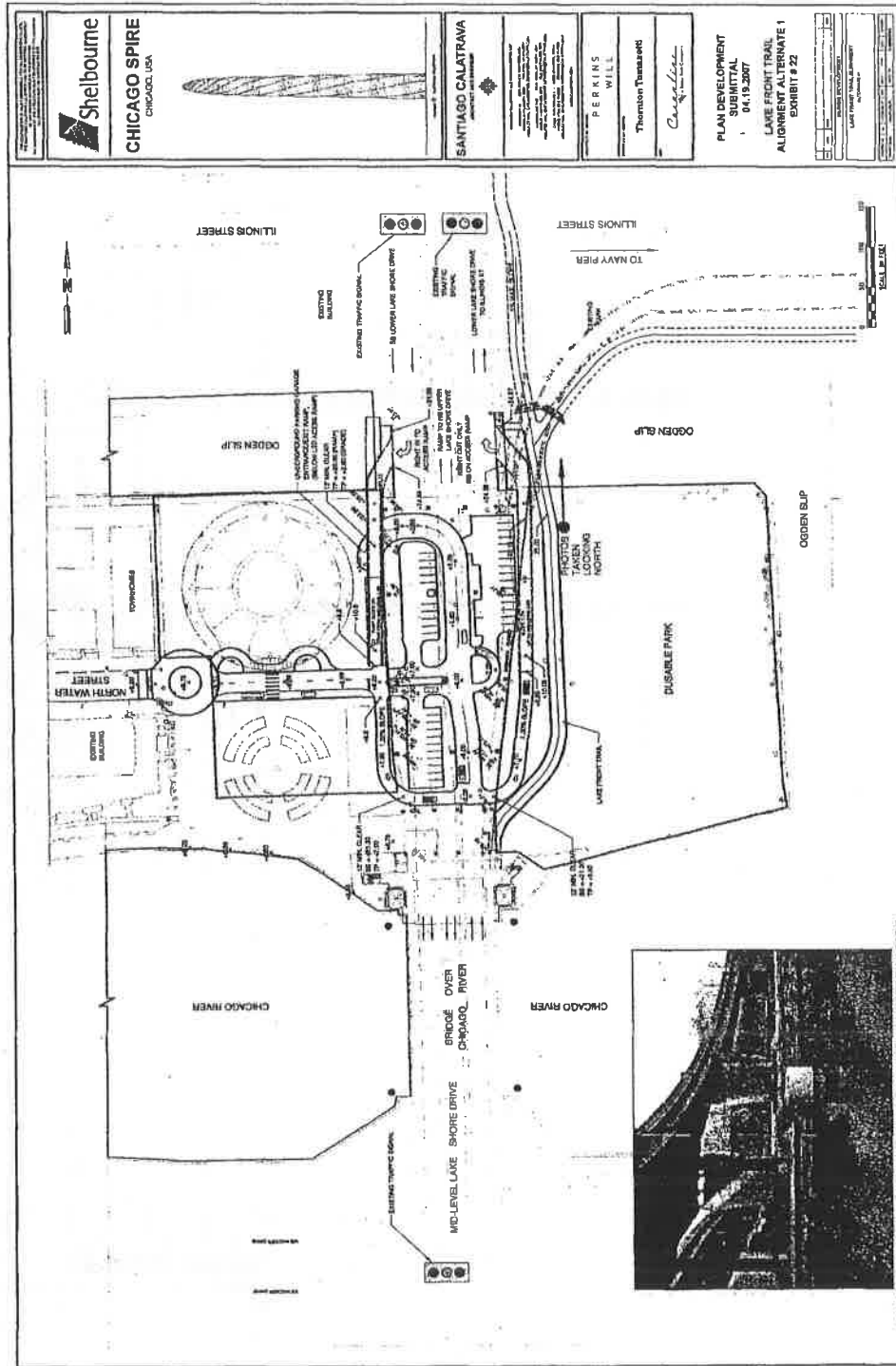
*Castelli*

PLAN DEVELOPMENT  
 SUBMITTAL  
 04.19.2007

NORTH-SOUTH TOWER AND  
 PARKING SECTION  
 EXHIBIT # 19

DATE	DESCRIPTION

51 NORTH-SOUTH TOWER AND PARKING SECTION K L N O  
 Scale: 1/16" = 1'-0"



**Shelbourne**  
**CHICAGO SPIRE**  
 CHICAGO, USA



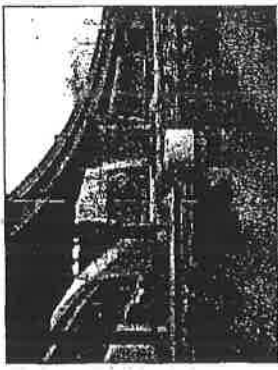
**SANTIAGO CALATRAVA**  
 ARCHITECT

PERKINS  
 WILLL  
 Thornton Tomasetti

PLAN DEVELOPMENT  
 SUBMITTAL  
 04.13.2017  
 LAKE FRONT TRAIL  
 ALIGNMENT ALTERNATE 1  
 EXHIBIT # 22

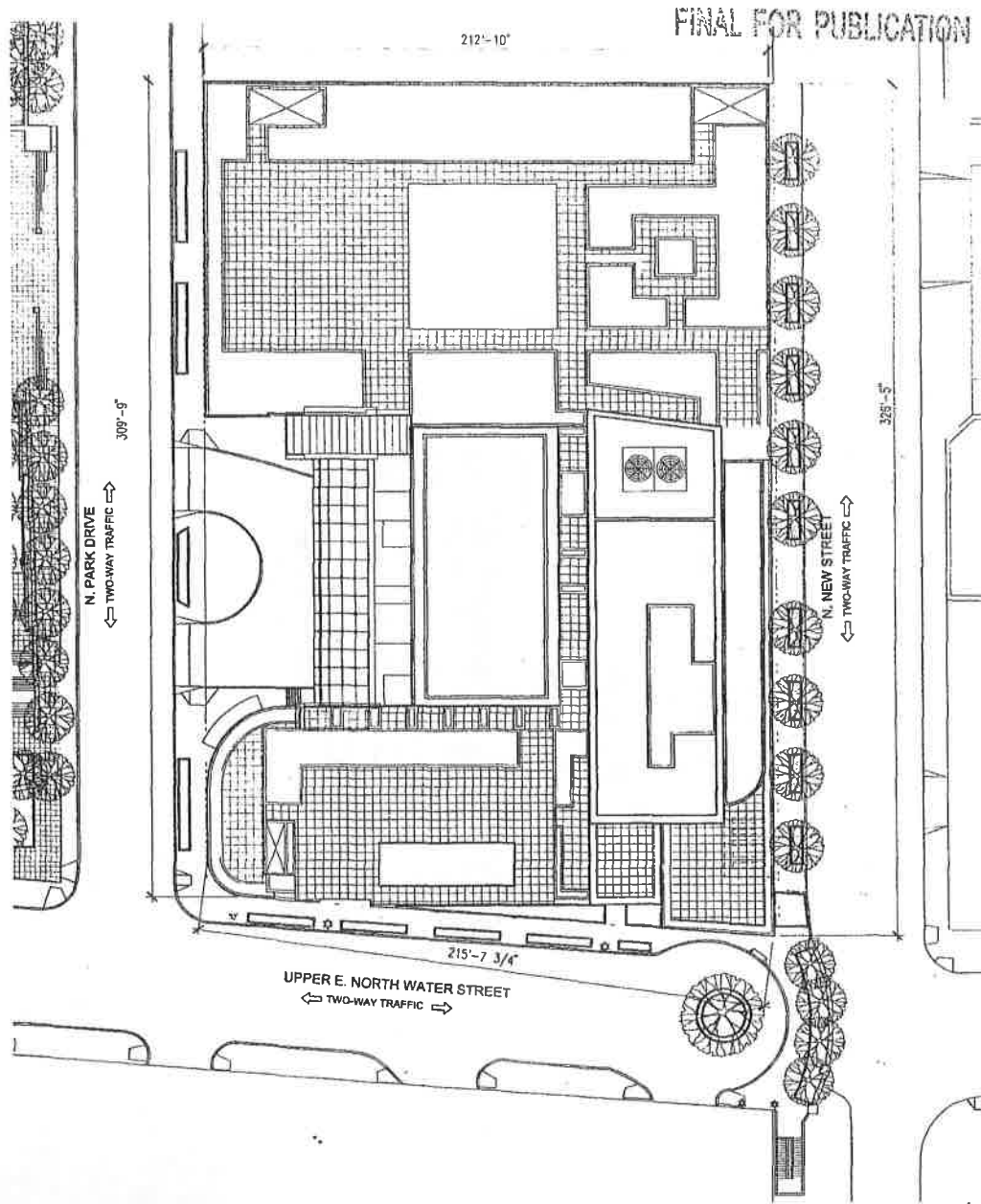
DATE	DESCRIPTION
04.13.2017	PLAN DEVELOPMENT SUBMITTAL
04.13.2017	LAKE FRONT TRAIL ALIGNMENT ALTERNATE 1 EXHIBIT # 22

CHICAGO SPIRE VIA ILLINOIS STREET



AERIAL PHOTOGRAPH OF THE PROJECT SITE, SHOWING THE LOCATION OF THE CHICAGO SPIRE AND THE LAKE FRONT TRAIL.





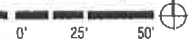
**OVERALL SITE PLAN**



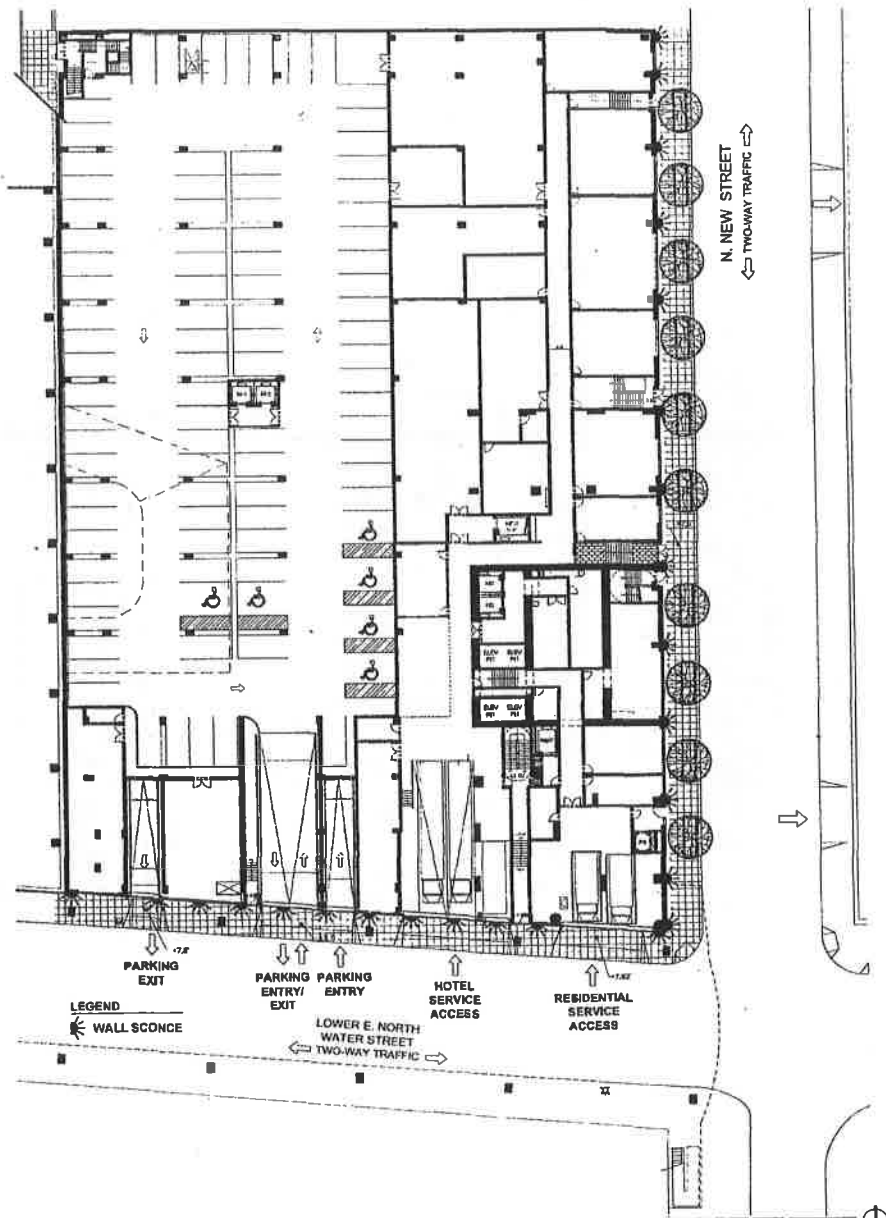
© 2012 Solomon Cordwell Buenz

**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



FINAL FOR PUBLICATION



**LOWER E. NORTH WATER STREET PLAN**

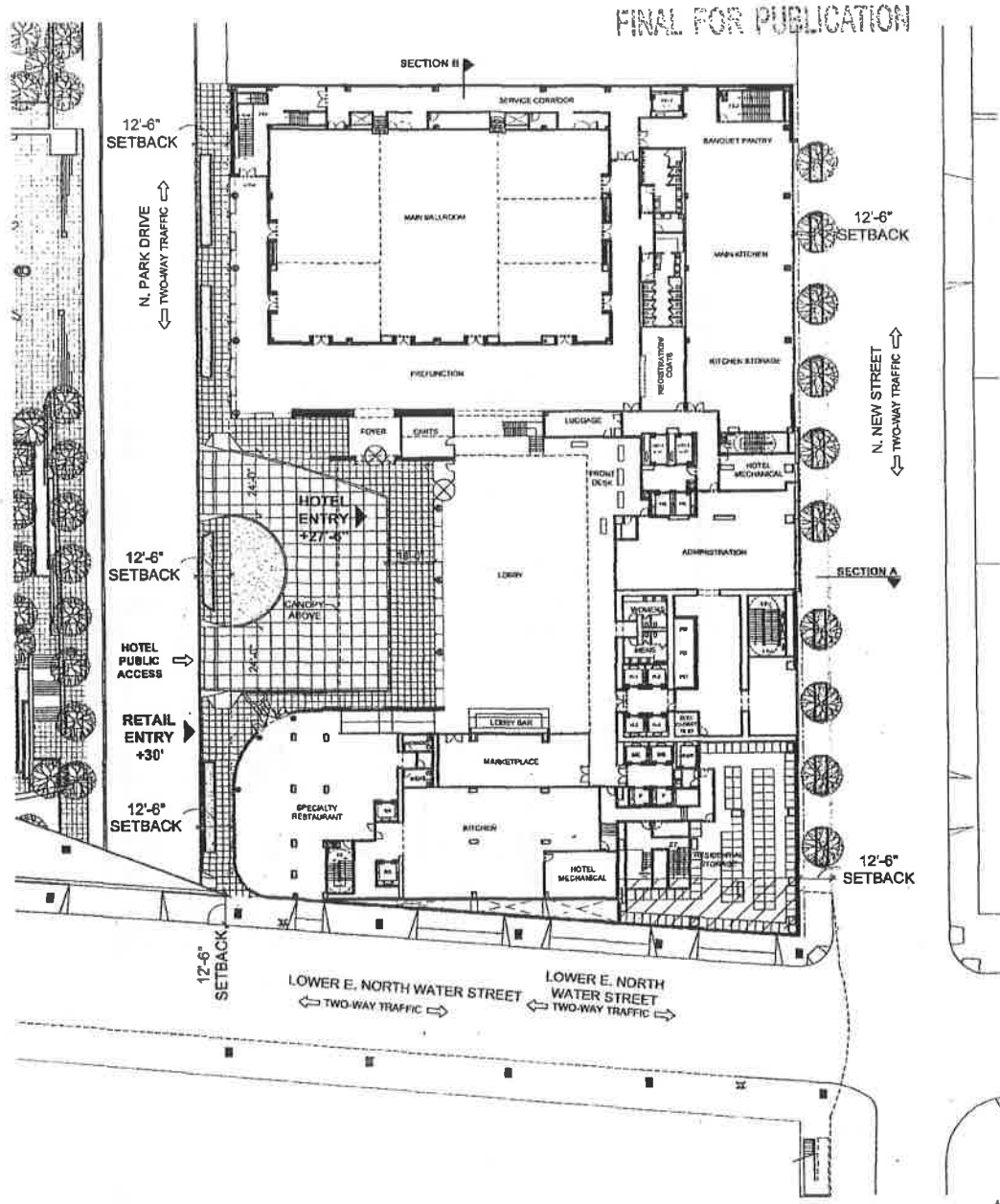


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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





**NORTH PARK DRIVE  
STREET PLAN**



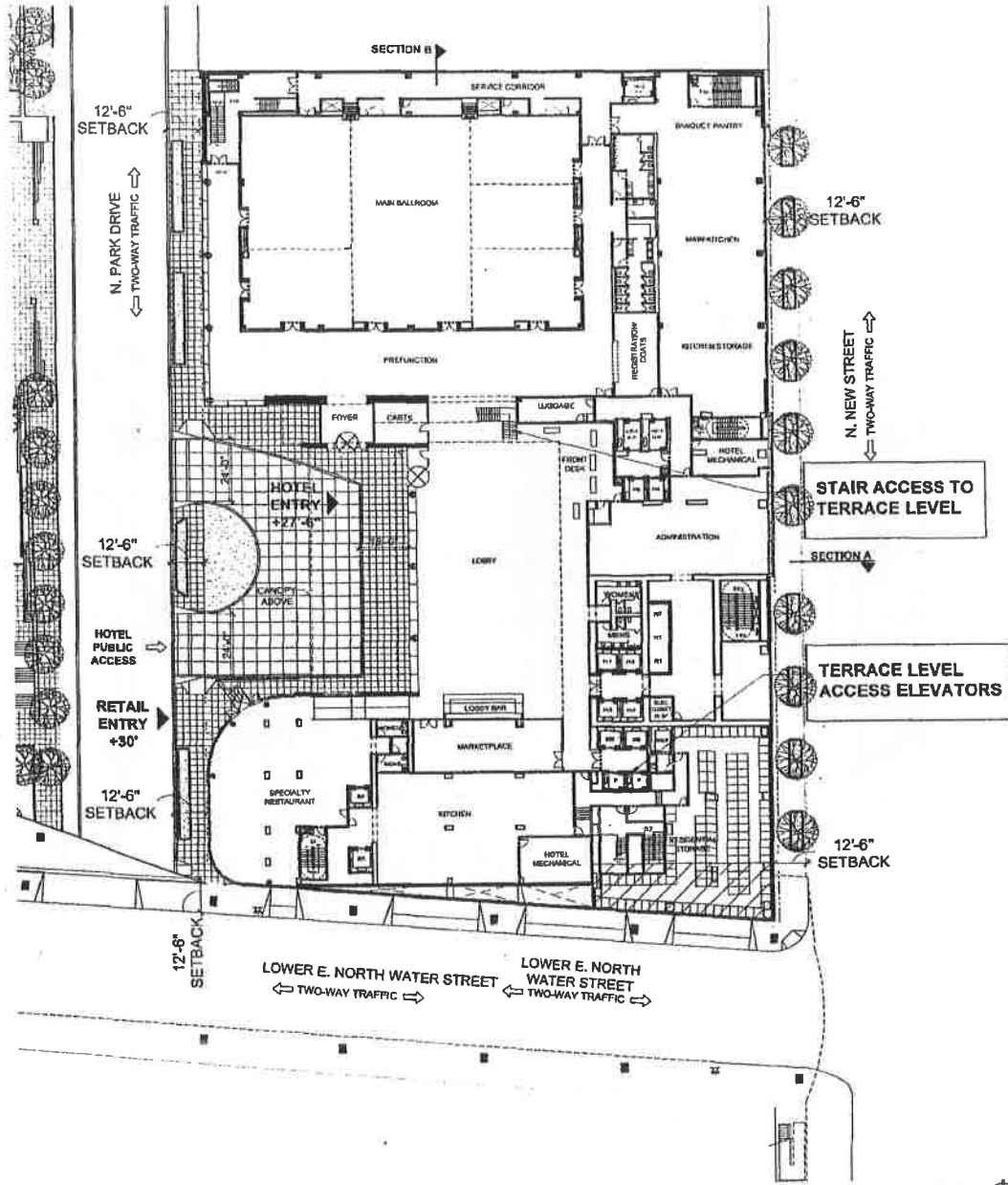
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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



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**NORTH PARK DRIVE STREET  
WAYFINDING PLAN**



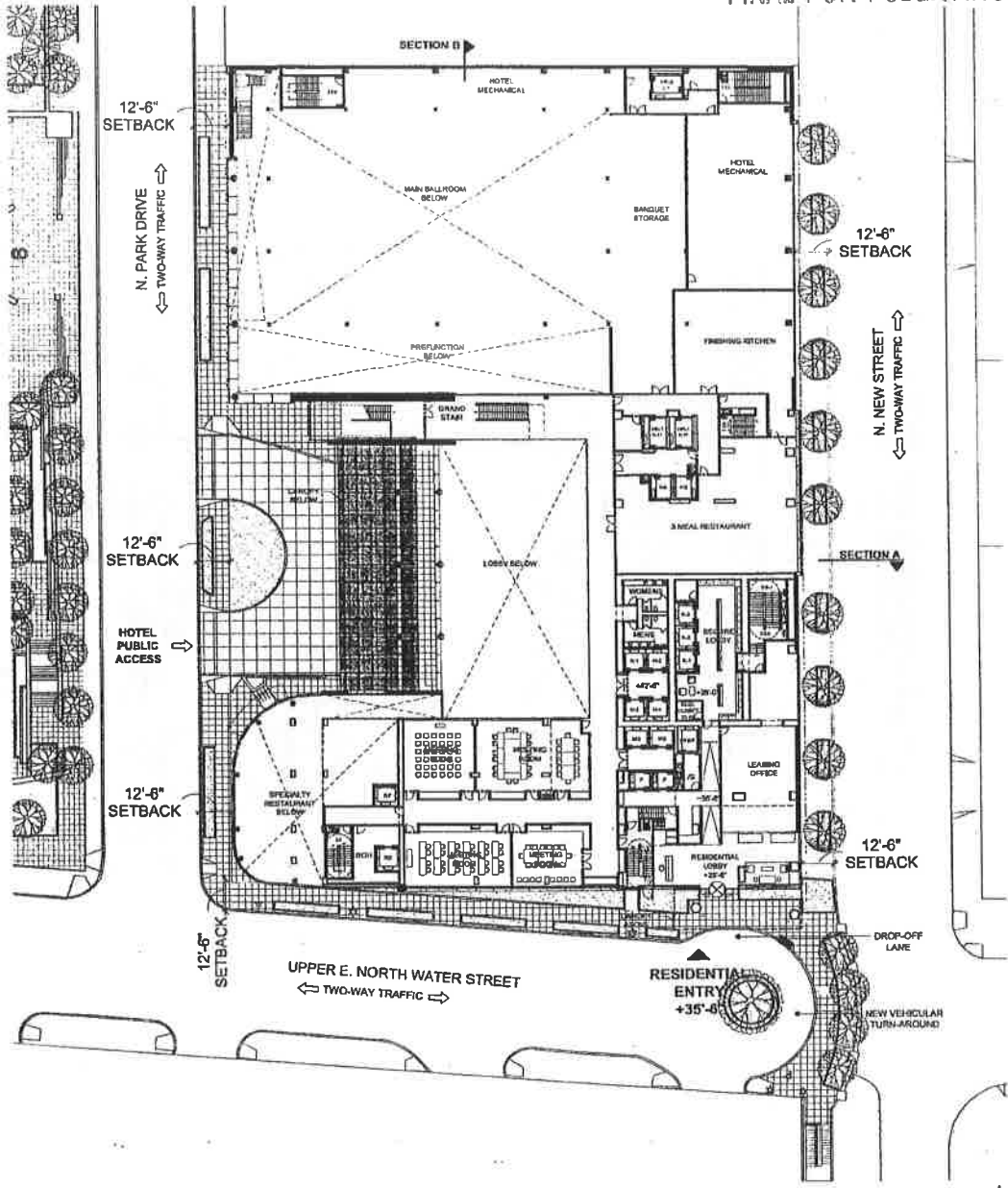
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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



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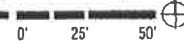
**UPPER E. NORTH WATER STREET PLAN**



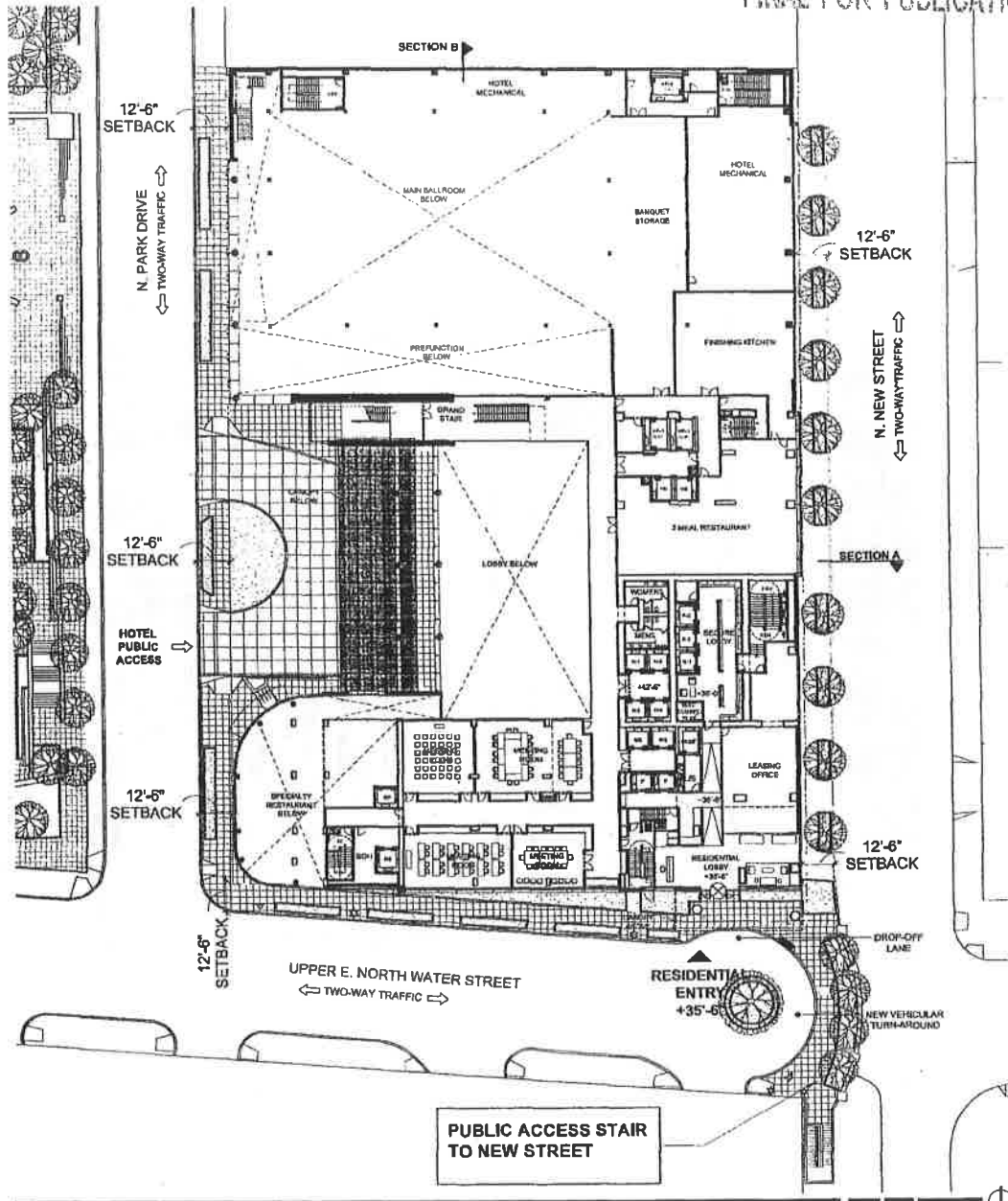
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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



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PUBLIC ACCESS STAIR TO NEW STREET

UPPER E. NORTH WATER STREET WAYFINDING PLAN

Applicant: NEW WATER PARK, LLC  
Address: 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

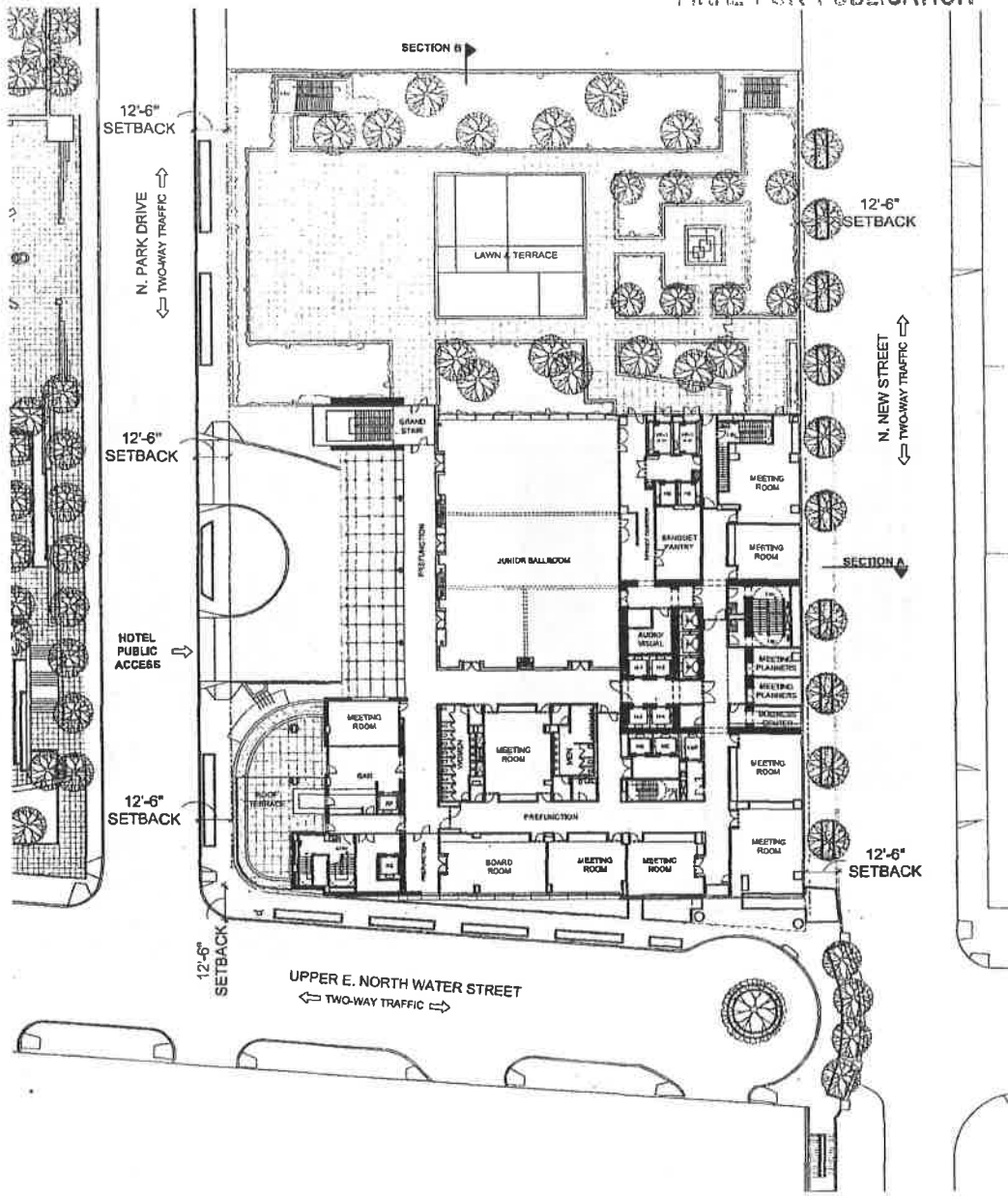
Date: May 24, 2012  
Revised:



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**TERRACE LEVEL PLAN**

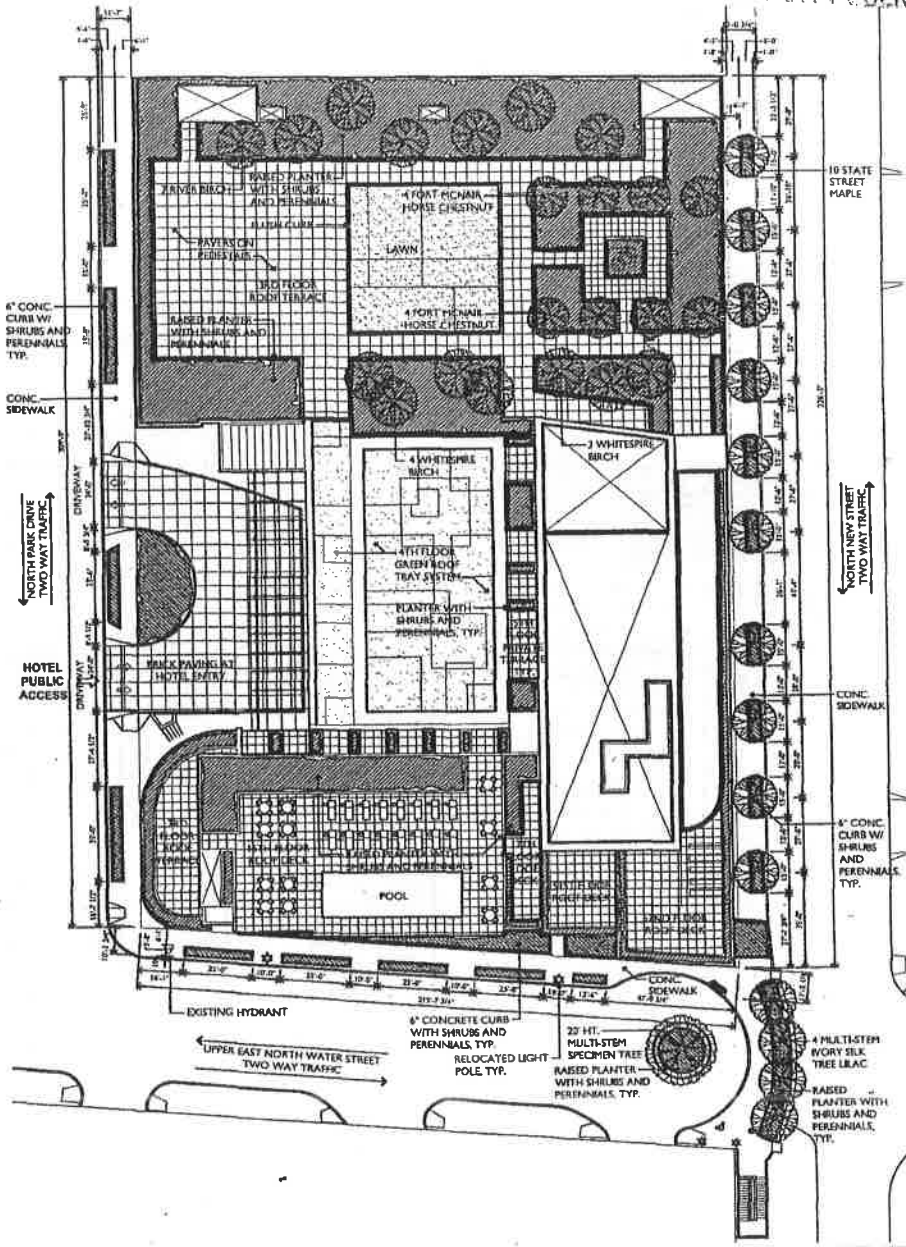


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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

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LANDSCAPE PLAN

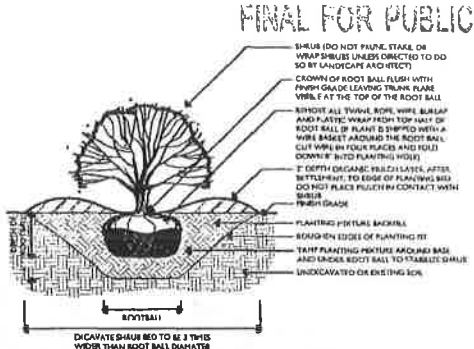
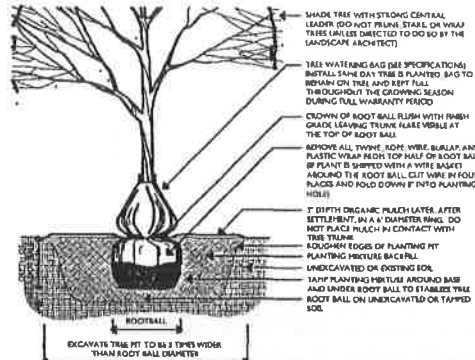


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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

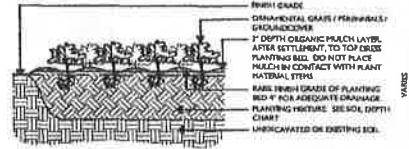
**Date:** May 24, 2012  
**Revised:**





2 SHRUB INSTALLATION DETAIL

3 TREE INSTALLATION DETAIL



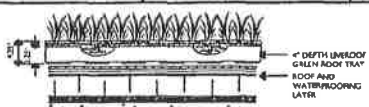
NOTE: THE CONTRACTOR IS TO SUPPLY SOIL FILL MATERIAL TO THE DEPTHS INDICATED ON THE CHART BELOW.

LANDSCAPE AREAS	DEPTH IN INCHES
LAWN AREAS (SOD)	12
LAWN AREAS (SEED)	NA
PLANTING BEDS - PERENNIALS & RAISED PLANTERS	18 PLANTING MIX
PLANTING BEDS - MEDIUM AND SMALL SHRUBS	18 PLANTING MIX
RAISED PLANTERS	48 PLANTING MIX
SHRUB AND ORNAMENTAL TREES	PER TREE INSTALLATION DETAIL

3 GROUND COVER AND PERENNIAL INSTALLATION DETAIL

PLANT LIST NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
ACM	ABUTILON X CANINA 'TORT MCNAIN'	FOOT MCNAIN HORSECHENUT	8	4"	-	-	B&B	SINGLE STRAIGHT
AMHO	ACER HYABRI 'MORTON'	STATE STREET MAPLE	10	4"	-	-	B&B	TRUNK, SPECIFIC QUALITY
AFEQ	ACER FRAXINOIDES 'EMERALD QUEEN'	EMERALD QUEEN NORWAY MAPLE	-	4"	-	-	B&B	
BRN	BETULA NIGRA	RIVER BIRCH	7	-	16'	-	B&B	MULTI-STEM
BPW	BETULA PLATYPHYLLA VAR. 'JAPONICA 'WHITESPIRE'	WHITESPIRE JAPANESE WHITE BIRCH	7	-	16'	-	B&B	4-5 STEMS
SRS	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	4	-	12'	-	B&B	PRUNING
DS	DIERVILLA SESSILIFOLIA	SOUTHERN BUSH HONEYSUCKLE	-	-	24"	-	#5	4'-0" ON CENTER
JCSG	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	-	-	24"	-	#5	4'-0" ON CENTER
JHP	JUNIPERUS HORIZONTALIS	ANDORRA COMPACT JUNIPER	-	-	18"	-	#5	2'-0" ON CENTER
PCS	PHYSCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE NINEBARK	-	-	36"	-	#5	4'-0" ON CENTER
RAE	ROSA ALPINA	ALPINE CURRANT	-	-	24"	-	#5	4'-0" ON CENTER
RGLG	ROSA ALPINA 'SING-LOW'	GRO-LOW ROSA	-	-	24"	-	#5	2'-0" ON CENTER
BRKO	ROSA X 'RED KNOCK OUT'	PINK KNOCKOUT ROSE	-	-	24"	-	#3	2'-0" ON CENTER
BRKO	ROSA X 'RED KNOCK OUT'	RED KNOCKOUT ROSE	-	-	24"	-	#3	2'-0" ON CENTER
SBL	SPREA X 'BURNING BUSH'	GOLDFLAME SPREA	-	-	24"	-	#3	2'-0" ON CENTER
THW	TAXUS X MEDIA 'WARDE'	WARDS YEW	-	-	30"	-	B&B	2'-0" ON CENTER
CAKF	CALAMAGROSTE ACUTIFLORA 'KARL FORESTER'	KARL FORESTER FEATHER REED GRASS	-	-	-	-	#3	2'-0" ON CENTER
MCH	MOLINIA CAERULEA 'MOORFLAMME'	MOORFLAMME PURPLE MOOR GRASS	-	-	-	-	#1	1'-6" ON CENTER
MSP	MISCANTHUS SINENSIS 'PURPURASCENS'	PURPLE PARDEN GRASS	-	-	-	-	#3	2'-0" ON CENTER
PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH RED SWITCH GRASS	-	-	-	-	#1	2'-0" ON CENTER
PAH	PENNISETUM ALOPECUROIDES 'HARLEIN'	HARLEIN DWARF FOUNTAIN GRASS	-	-	-	-	#1	2'-0" ON CENTER
SH	SPOROBOLUS HETEROLEPIS	RAVINE DROPSID	-	-	-	-	#1	2'-0" ON CENTER
ERC	EUCHONIA FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	-	-	-	-	CT	1'-0" ON CENTER
EPH	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	-	-	-	-	#1	1'-6" ON CENTER
HSH	HEMEROCALLIS SPECIES MIX	DAYLILY	-	-	-	-	#1	1'-6" ON CENTER
NF	NETPETA X FAASSENII	CATMINT	-	-	-	-	#1	1'-6" ON CENTER
PQ	PARTENOCISSUS QUINQUEFOIDA	VIRGINIA CREEPER	-	-	-	-	#1	2'-0" ON CENTER



4 4" DEPTH LIVEROOF GREEN ROOF TRAY

L-2  
PLANT LIST  
AND DETAILS



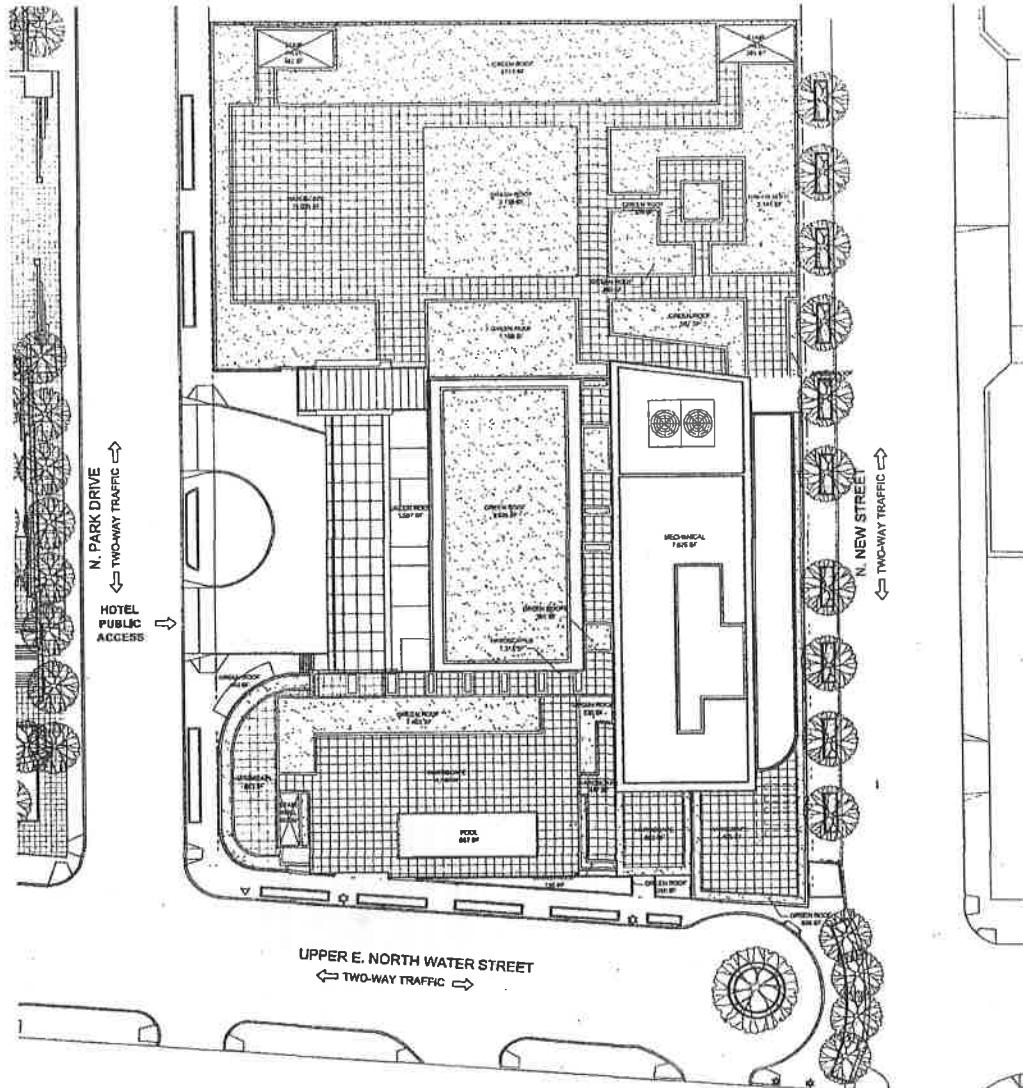
PLANT LIST & LANDSCAPE DETAILS

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

Applicant: NEW WATER PARK, LLC  
Address: 320-42 E. Upper North Water St.; 435-463 N. Park Dr.; & 432-62 N. New St.

Date: May 24, 2012  
Revised:

FINAL FOR PUBLICATION



TOTAL GREEN ROOF AREA: 26,900 SF  
 PERCENTAGE OF GREEN ROOF AREA: 61.6%

-  DENOTES GREEN AREA
-  DENOTES HARDSCAPE AREA

**GREEN ROOF PLAN**

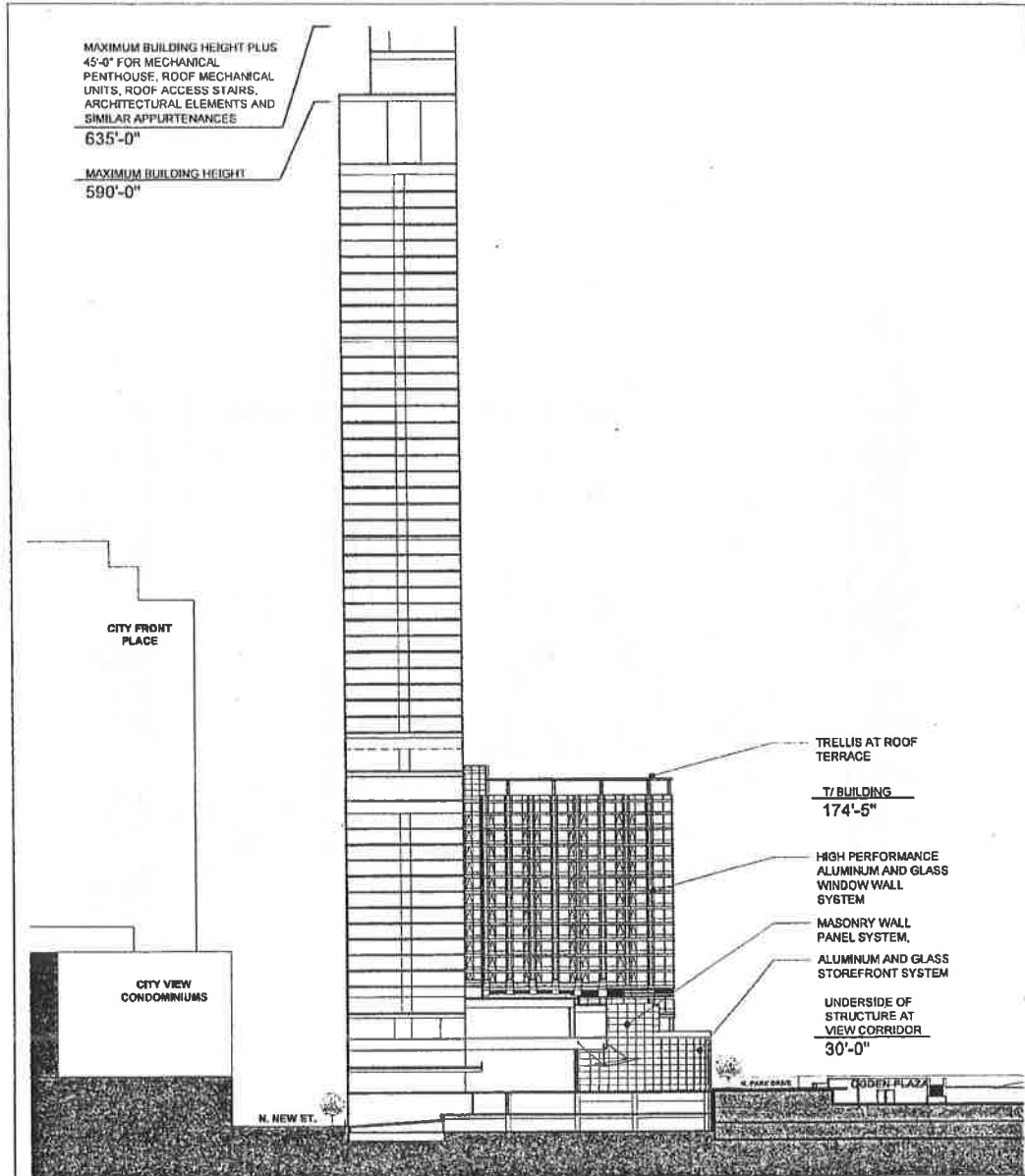


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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

FINAL FOR PUBLICATION



**OVERALL SECTION A AND PARTIAL NORTH ELEVATION**

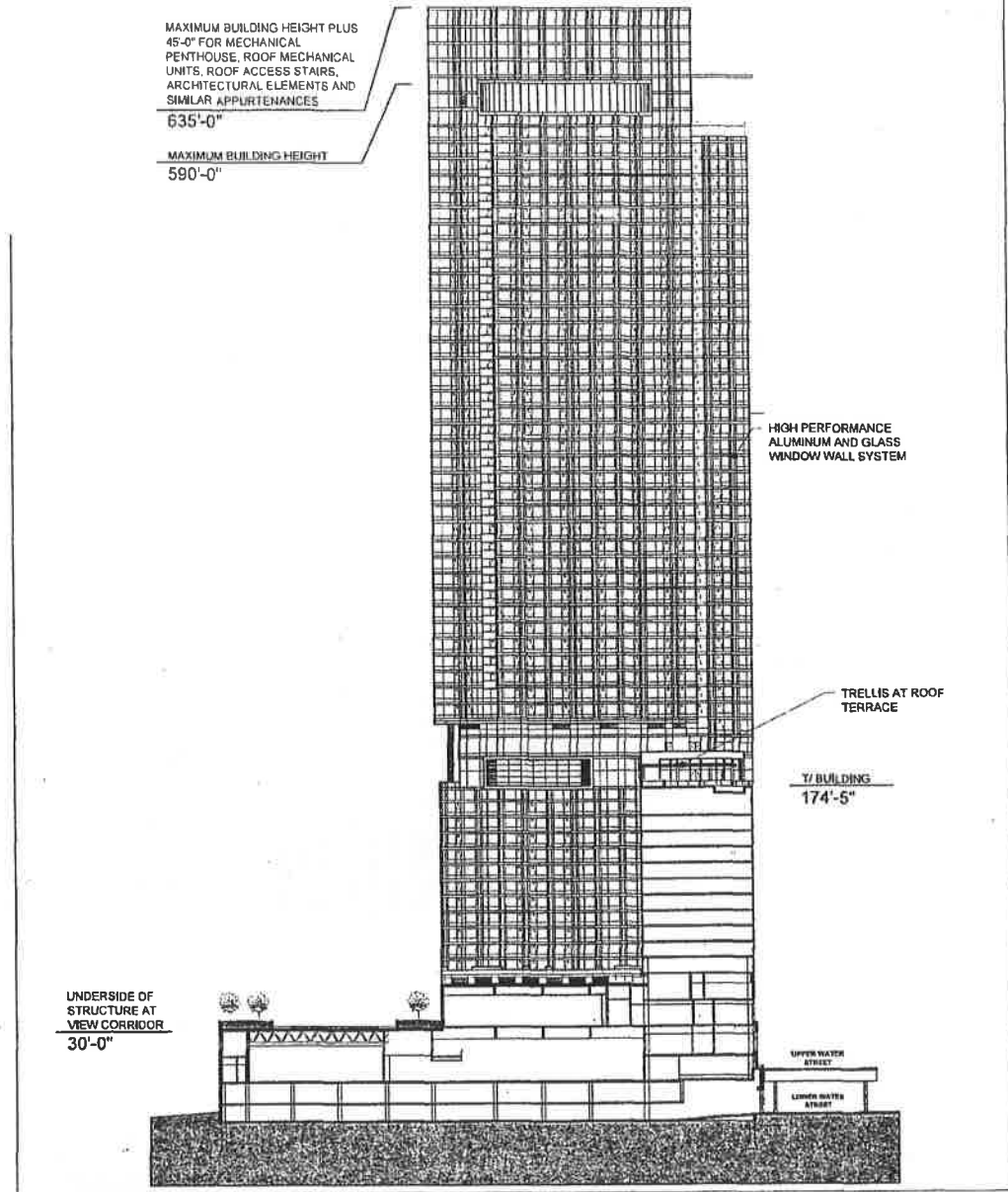
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



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**WEST ELEVATION AT  
TOWER AND PARTIAL  
NORTH-SOUTH SECTION B**



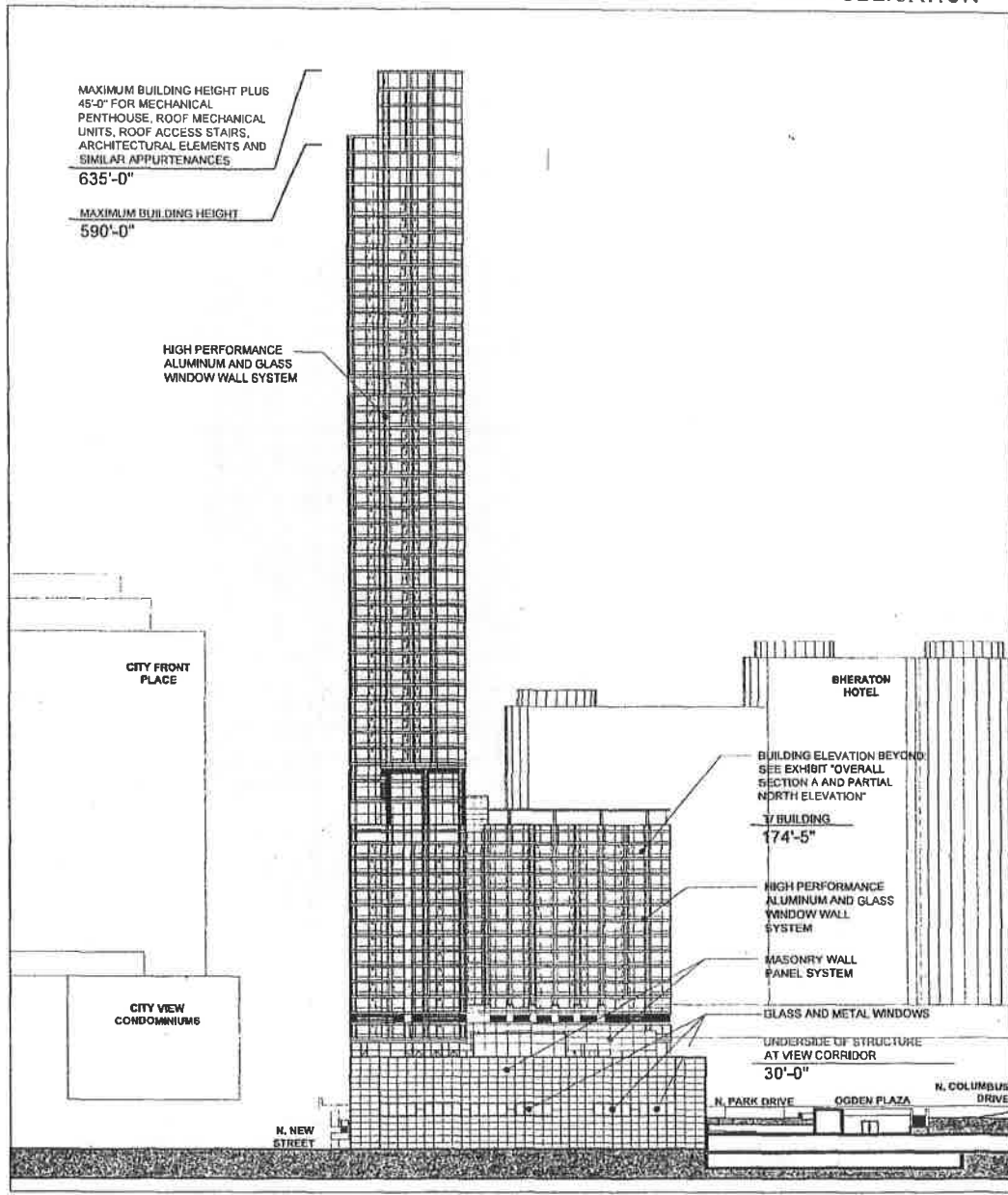
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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0' 40' 80'

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**NORTH ELEVATION**

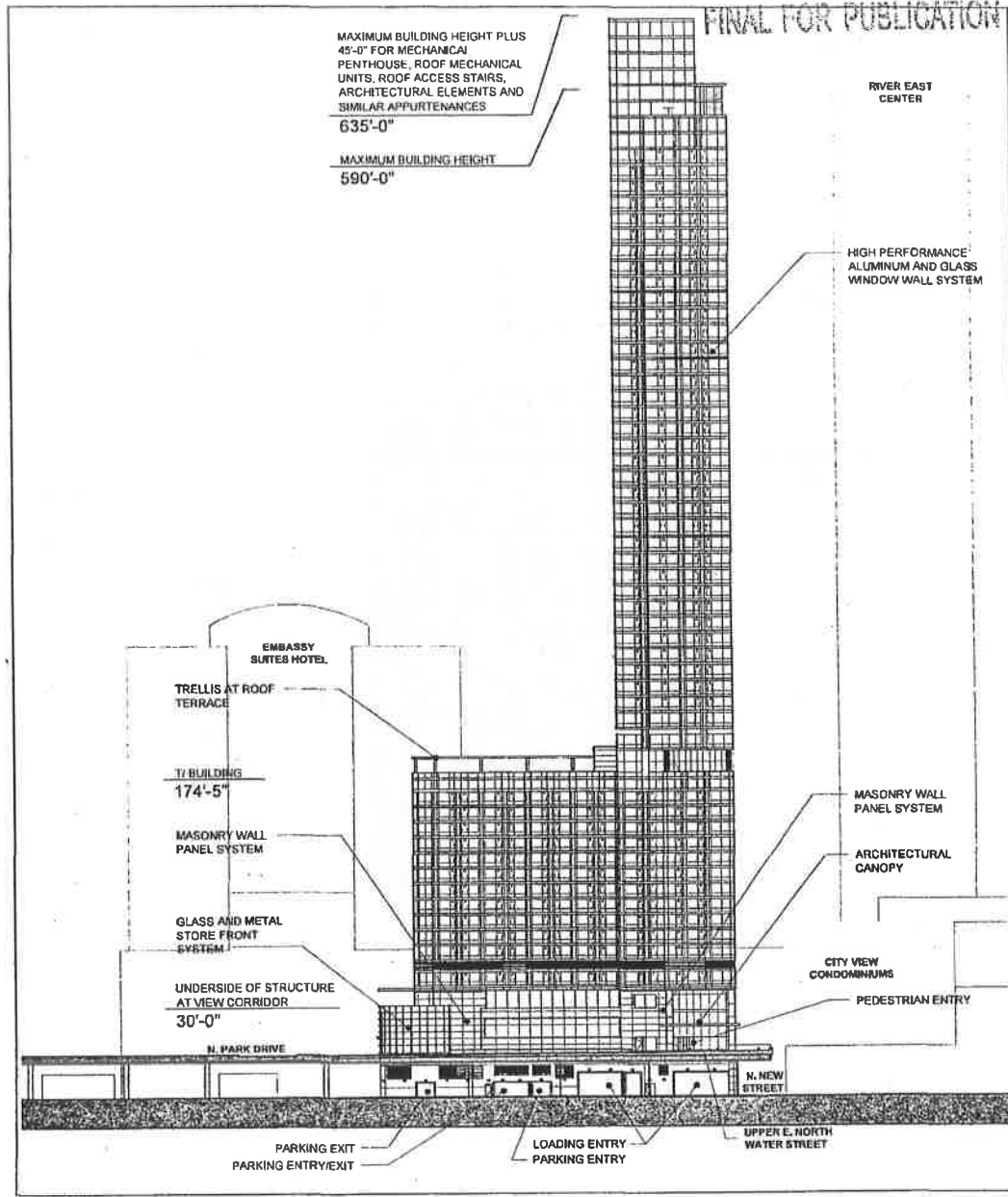


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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0' 40' 80'



**SOUTH ELEVATION**



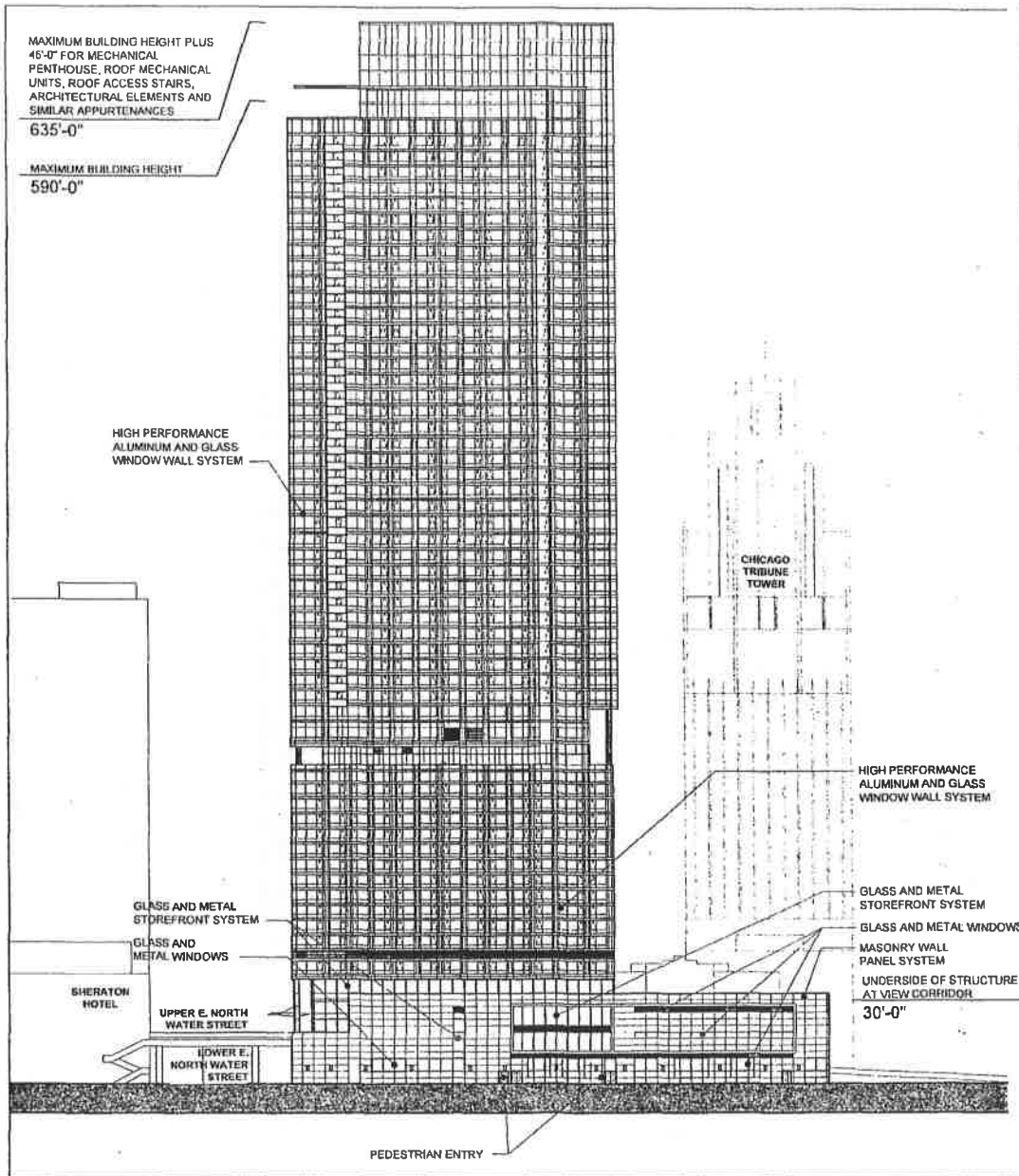
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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0' 40' 80'

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MAXIMUM BUILDING HEIGHT PLUS  
46'-0" FOR MECHANICAL  
PENTHOUSE, ROOF MECHANICAL  
UNITS, ROOF ACCESS STAIRS,  
ARCHITECTURAL ELEMENTS AND  
SIMILAR APPURTENANCES  
635'-0"

MAXIMUM BUILDING HEIGHT  
590'-0"

HIGH PERFORMANCE  
ALUMINUM AND GLASS  
WINDOW WALL SYSTEM

GLASS AND METAL  
STOREFRONT SYSTEM

GLASS AND  
METAL WINDOWS

SHERATON  
HOTEL

UPPER E. NORTH  
WATER STREET

LOWER E.  
NORTH WATER  
STREET

PEDESTRIAN ENTRY

CHICAGO  
TRIBUNE  
TOWER

HIGH PERFORMANCE  
ALUMINUM AND GLASS  
WINDOW WALL SYSTEM

GLASS AND METAL  
STOREFRONT SYSTEM

GLASS AND METAL WINDOWS

MASONRY WALL  
PANEL SYSTEM

UNDERSIDE OF STRUCTURE  
AT VIEW CORRIDOR  
30'-0"

0' 40' 80'

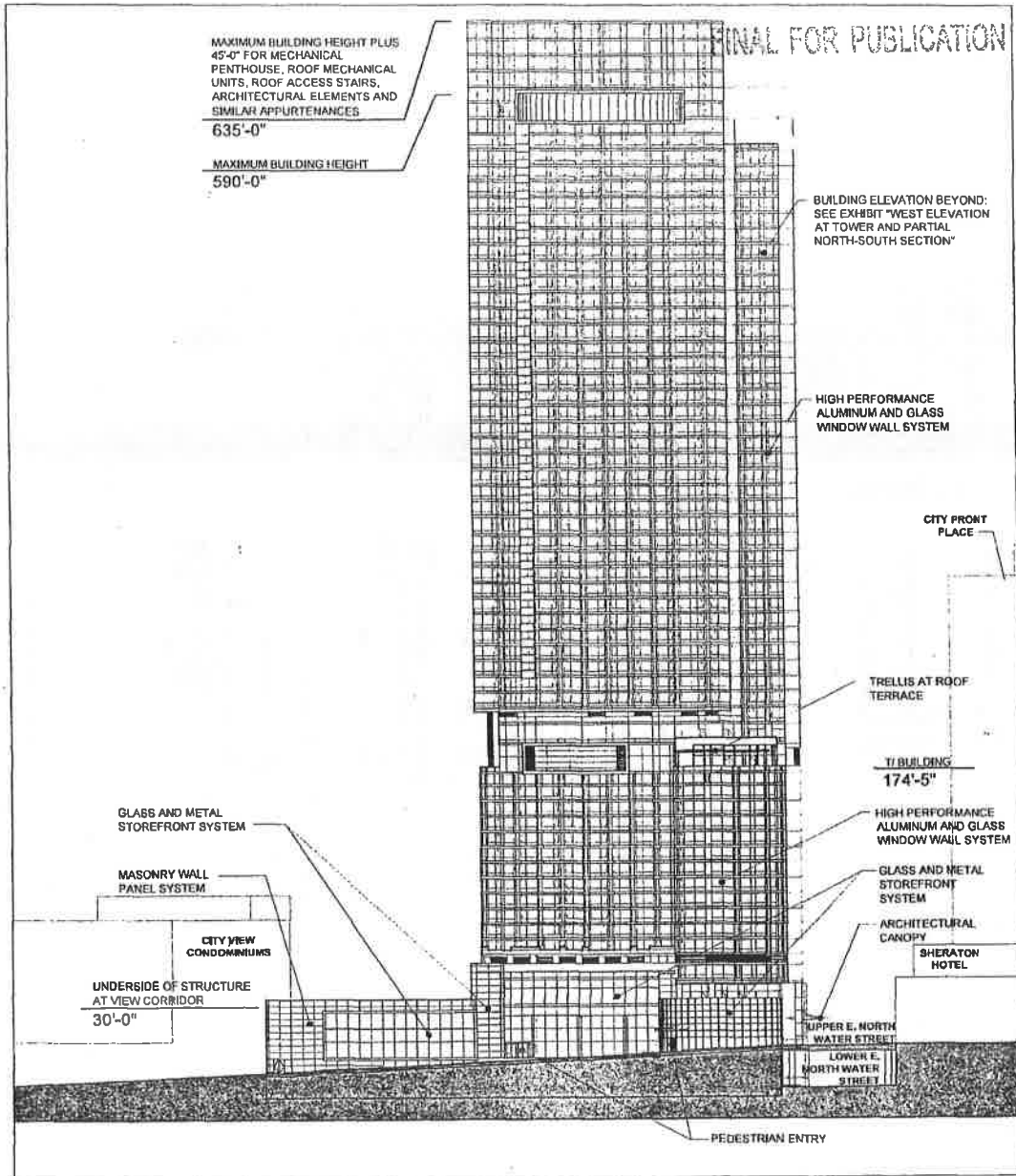
**EAST ELEVATION**



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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



**WEST ELEVATION AT  
NORTH PARK DRIVE**

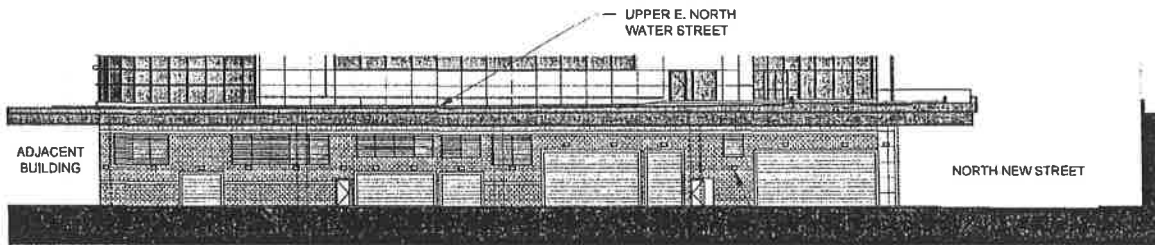


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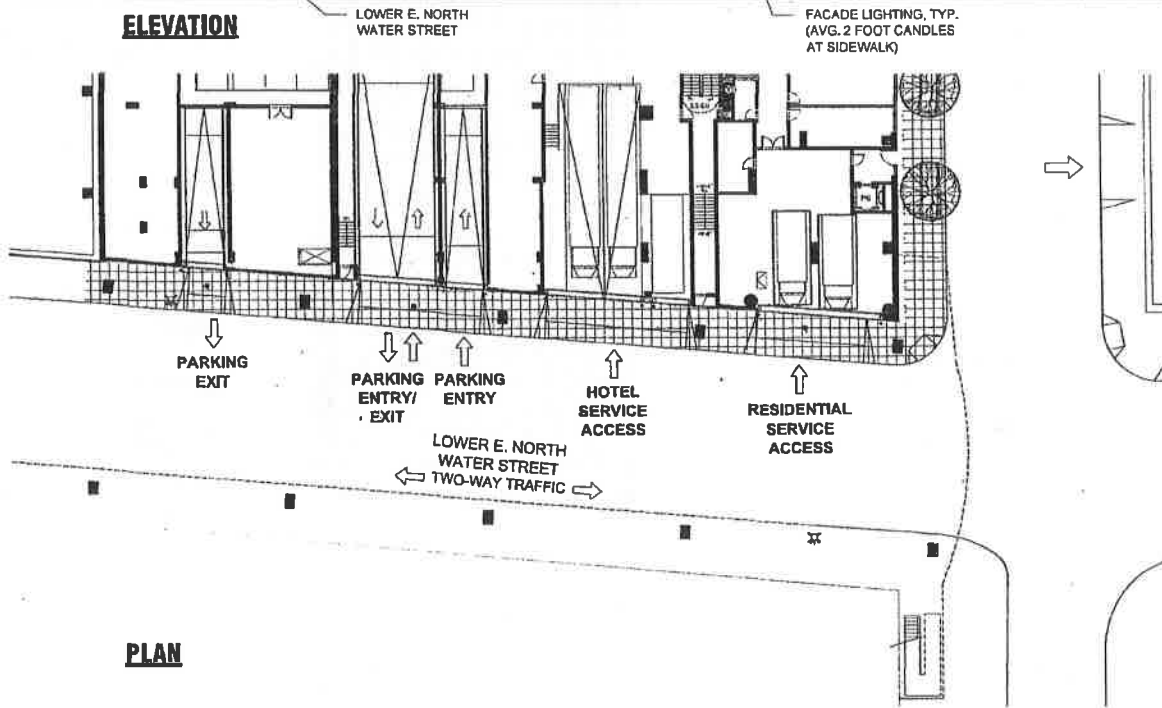
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





**ELEVATION**



**PLAN**



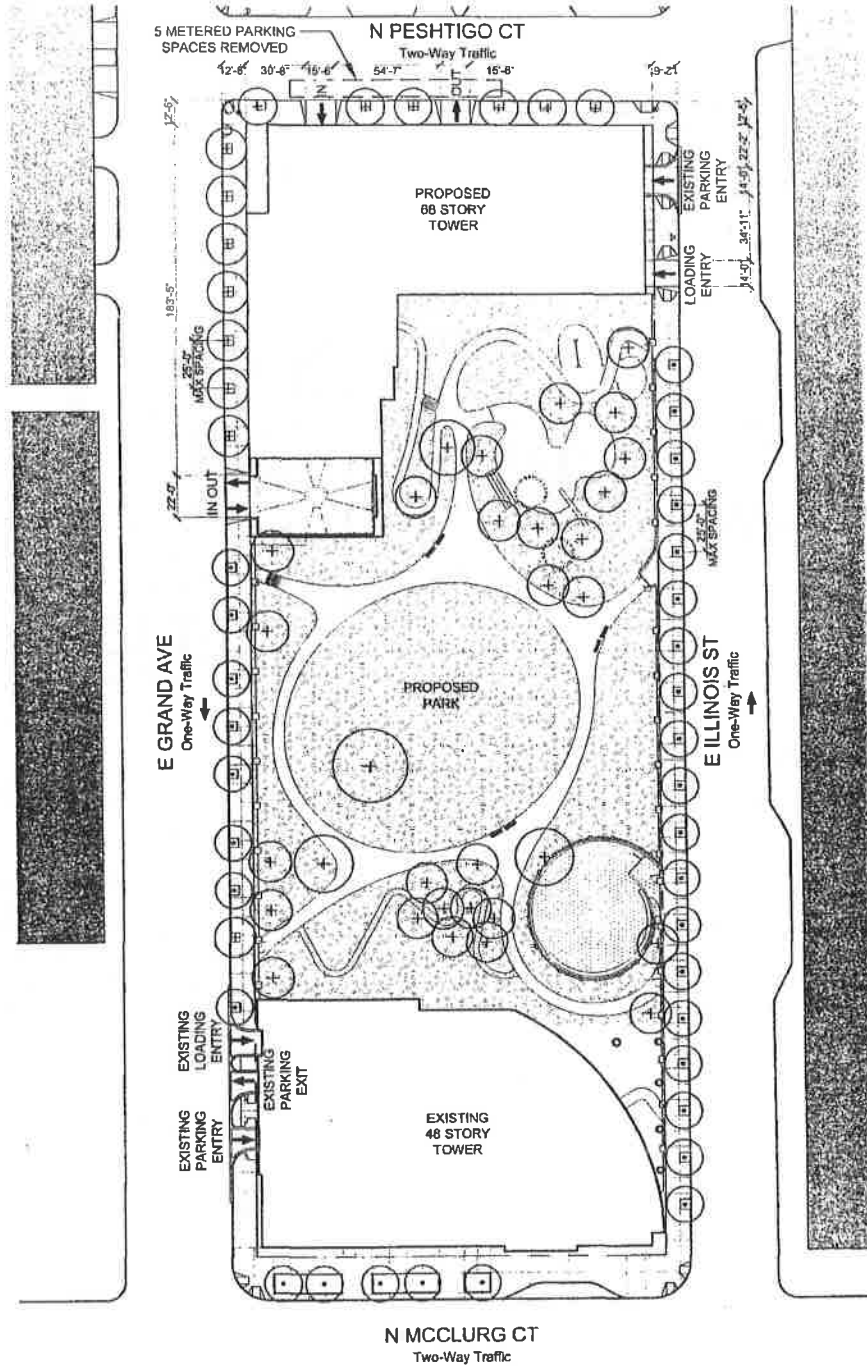
**PROPOSED LOWER E.  
NORTH WATER STREET  
PLAN & ELEVATION  
WITH LIGHTING CONCEPT**

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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

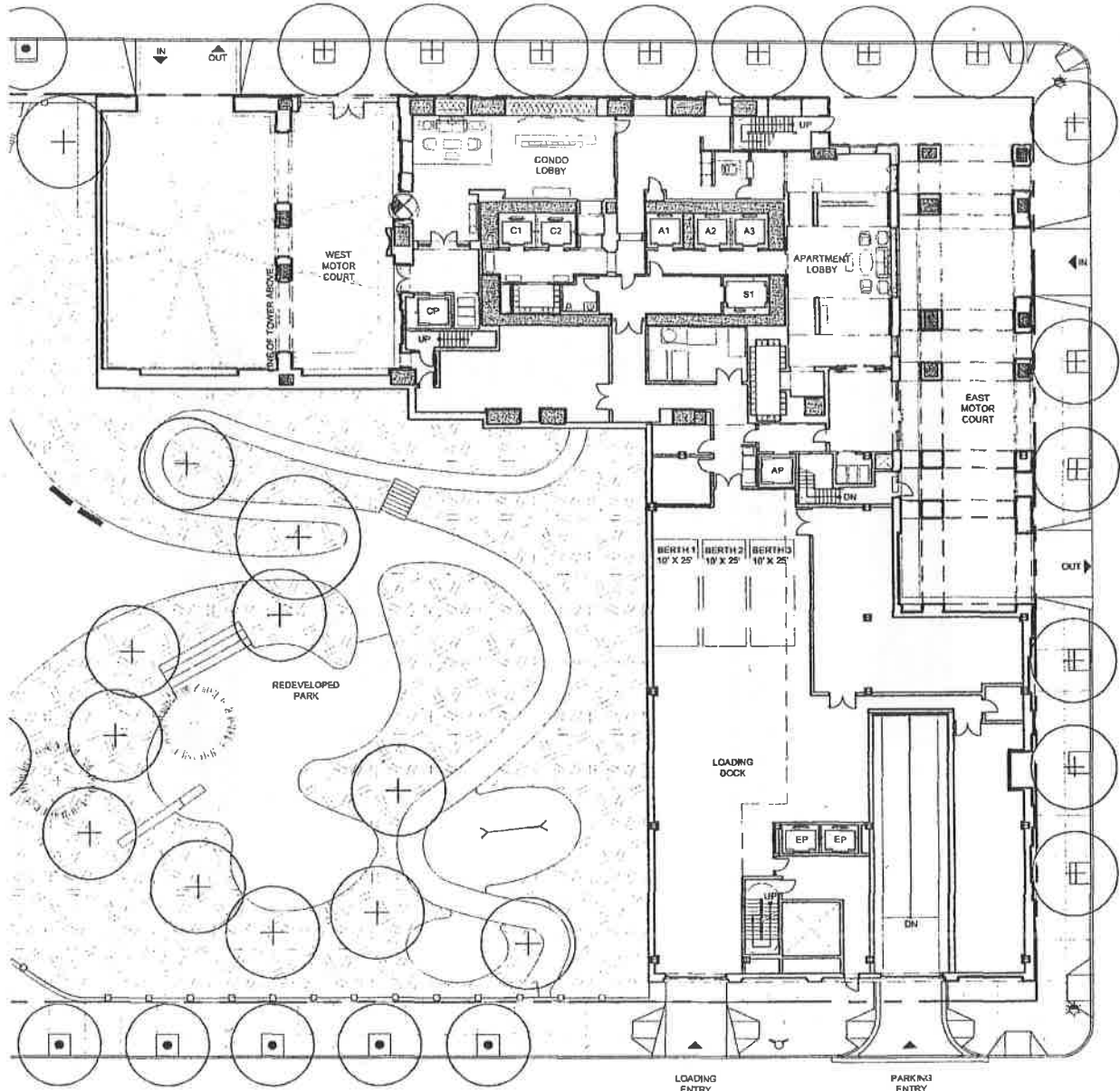




Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

**SITE PLAN**  
 SCALE: NTS





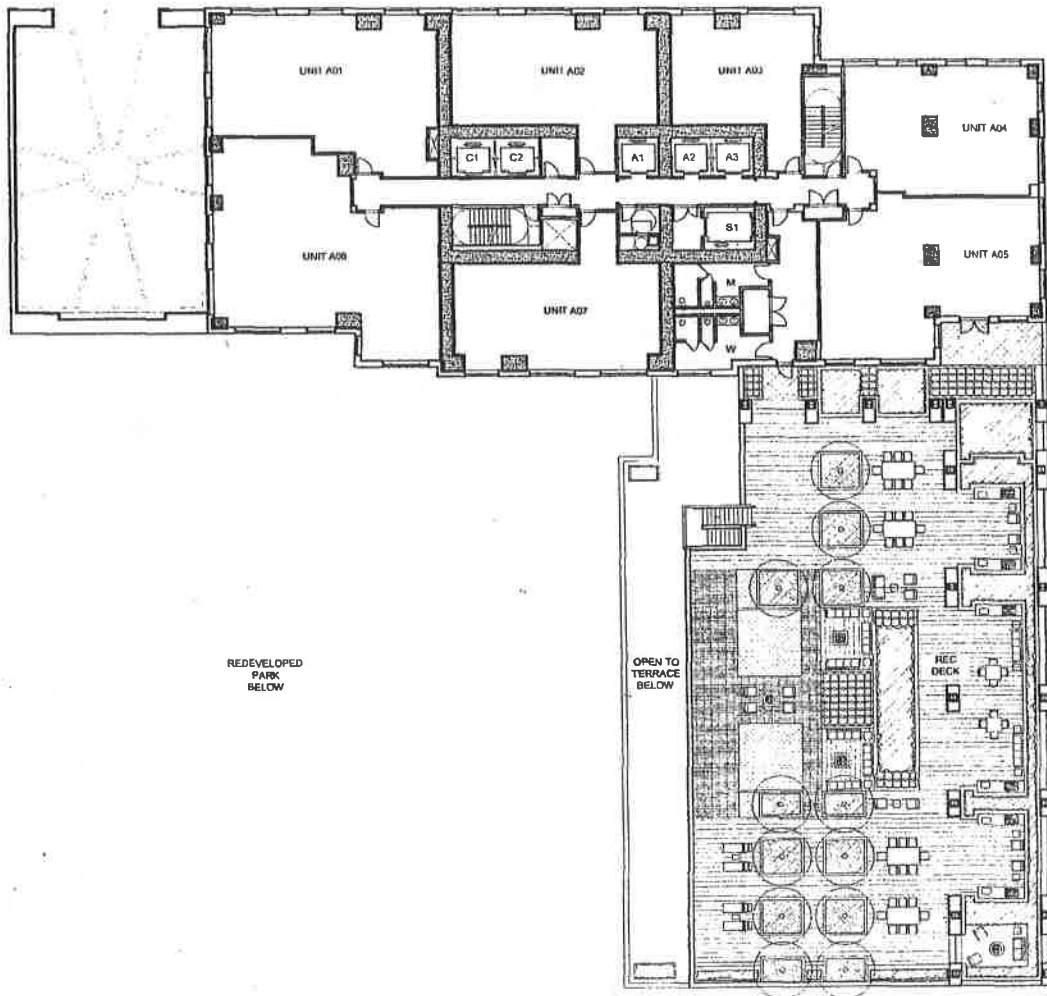
Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014

### GROUND FLOOR

SCALE: 1/32" = 1'-0"



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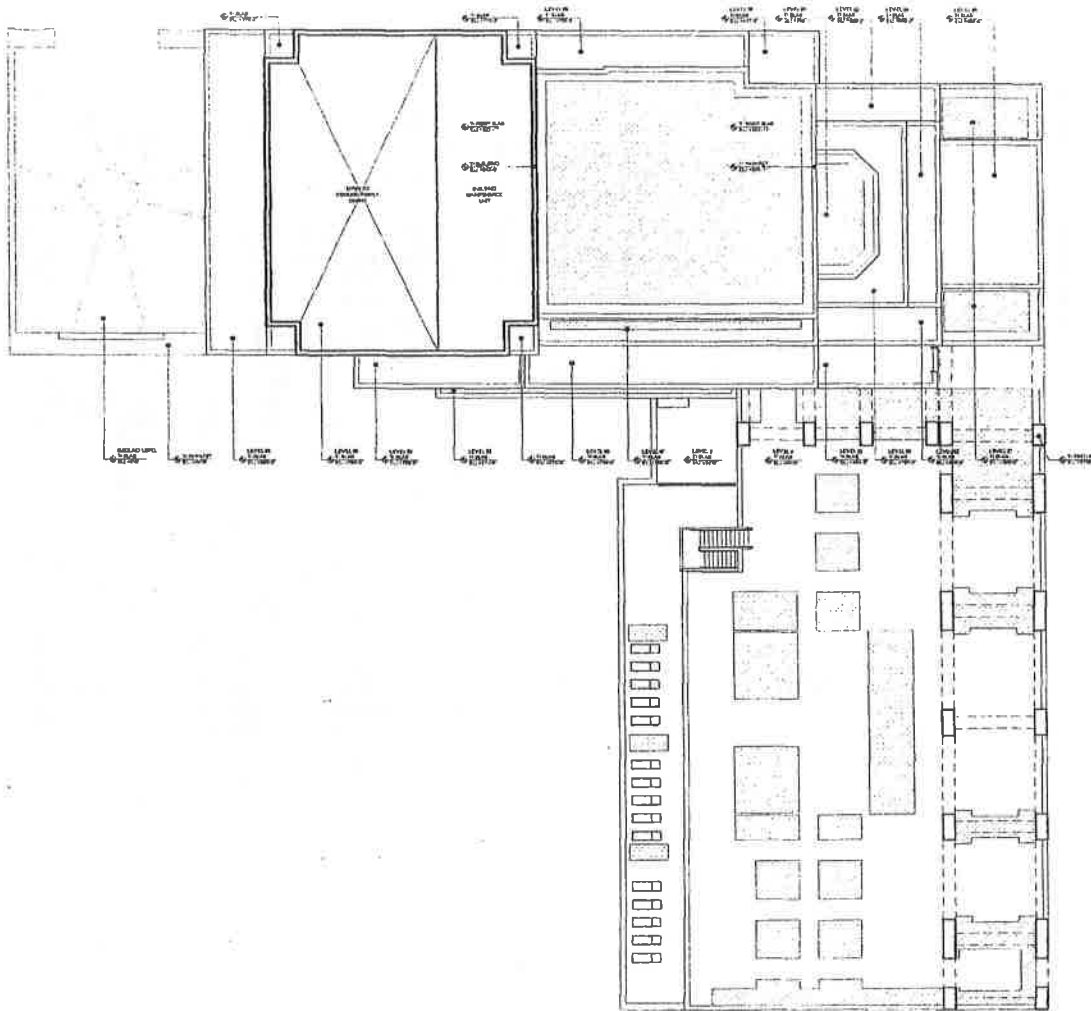


Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014

**REC DECK LEVEL +44'**  
SCALE: 1/32"=1'-0"



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**GREEN ROOF CALCULATION FOR TOWER**

TOTAL GROSS AREA OF ROOF = 21,325 SF

NET AREA OF ROOF = 16,589 SF

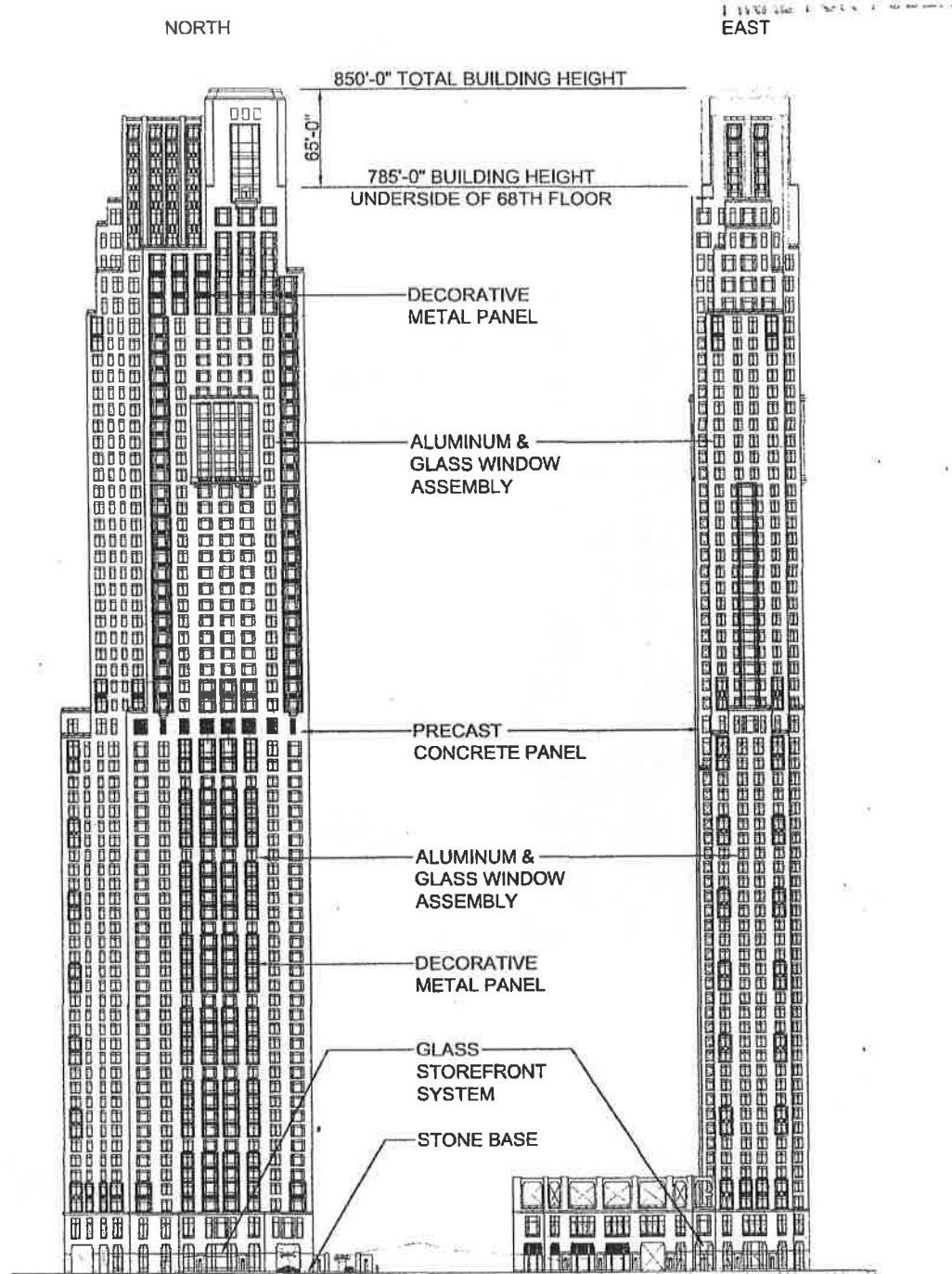
TOTAL AREA OF GREEN ROOF PROVIDED ON TOWER = 5,805 SF  
(FOR GARAGE GREEN ROOF, SEE LANDSCAPE PLAN)

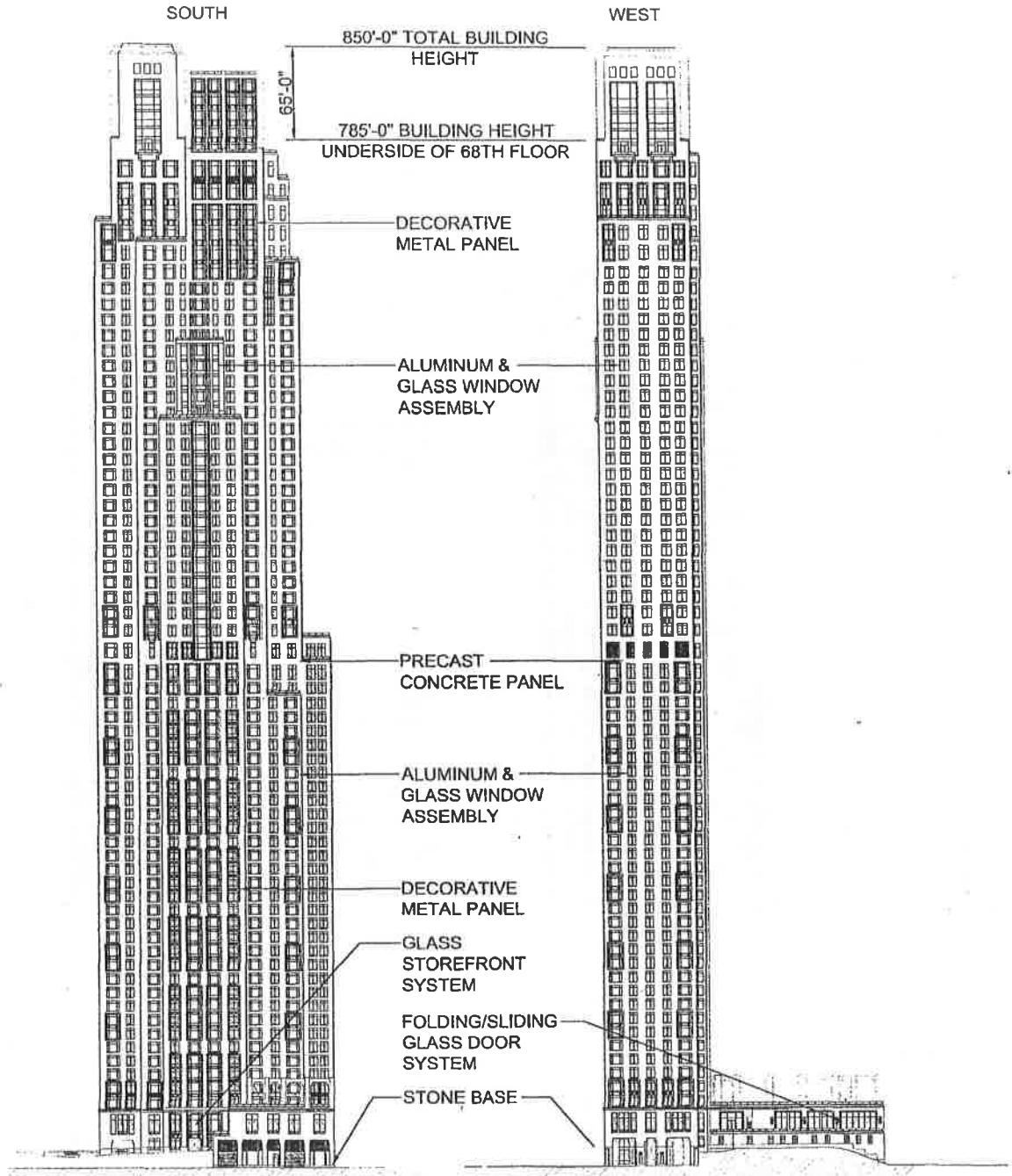
Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014

**GREEN ROOF PLAN**

SCALE: 1/32"=1'-0"



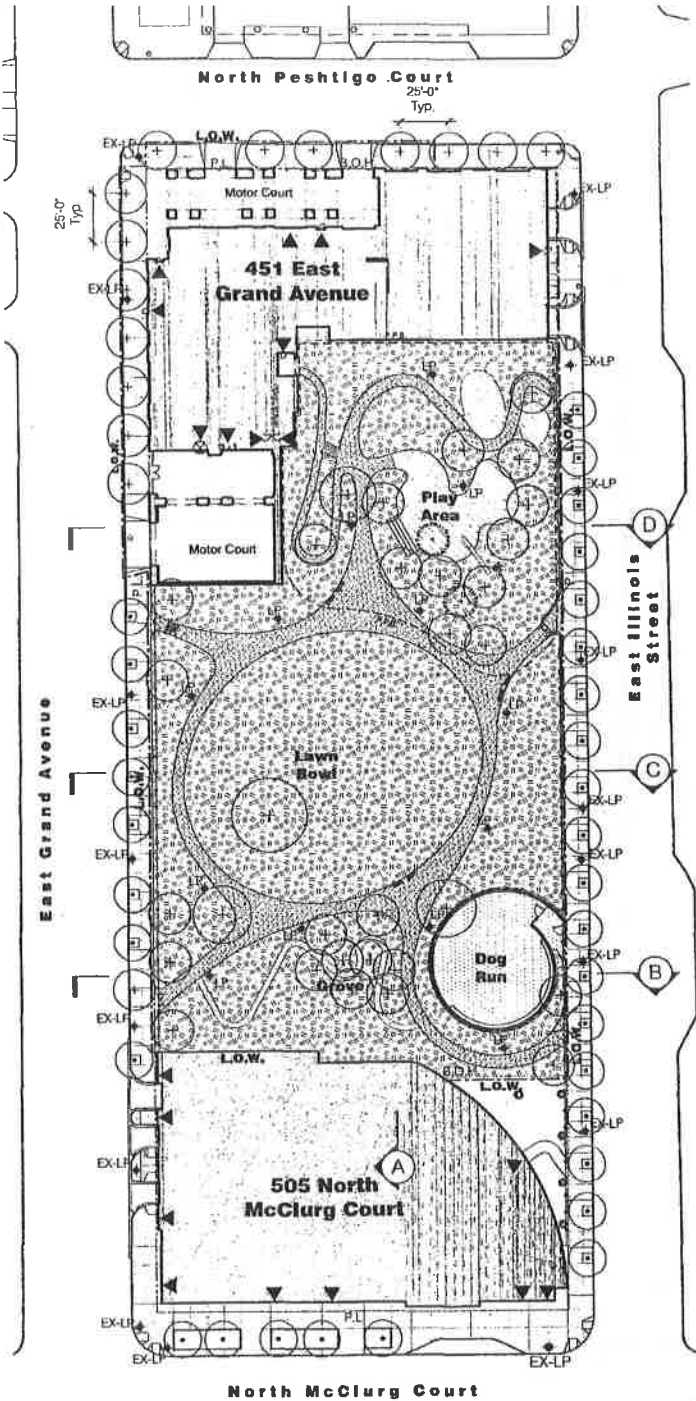




Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014

**SOUTH & WEST ELEVATIONS**  
SCALE: 1"=100'-0"

FINAL FOR FUNDATION



**Landscape Plan Legend**

- L.O.W. — Limit of Work
- P.L. --- Property Line
- B.O.H. Building Overhang
- - - P.P.B. - - - Pocket Park Boundary
- 4'H Metal Fence
- J \ / 4'H Metal Gate
- Dog Run Chain Link Fence
- J \ / Dog Run Chain Link Gate
- ▼ Building Entry
- \* Play Equipment - Slide
- ≡ Steps
- ||| Bike Racks
- EX-LP Existing Light Pole
- LP Light Pole
- ≡ Bleacher Seating
- ≡ Bench Seating
- Asphalt Pavement, <5% Slope
- Concrete Pavement
- Decomposed Granite Pavement
- Play Mulch
- Lawn
- Existing Street Tree
- Proposed Deciduous Tree (48 Trees)
- Proposed Coniferous Tree (2 Trees)

**Landscape Information**

Total Site Area: 70,250 SF  
 Landscape Area: 50,950 SF

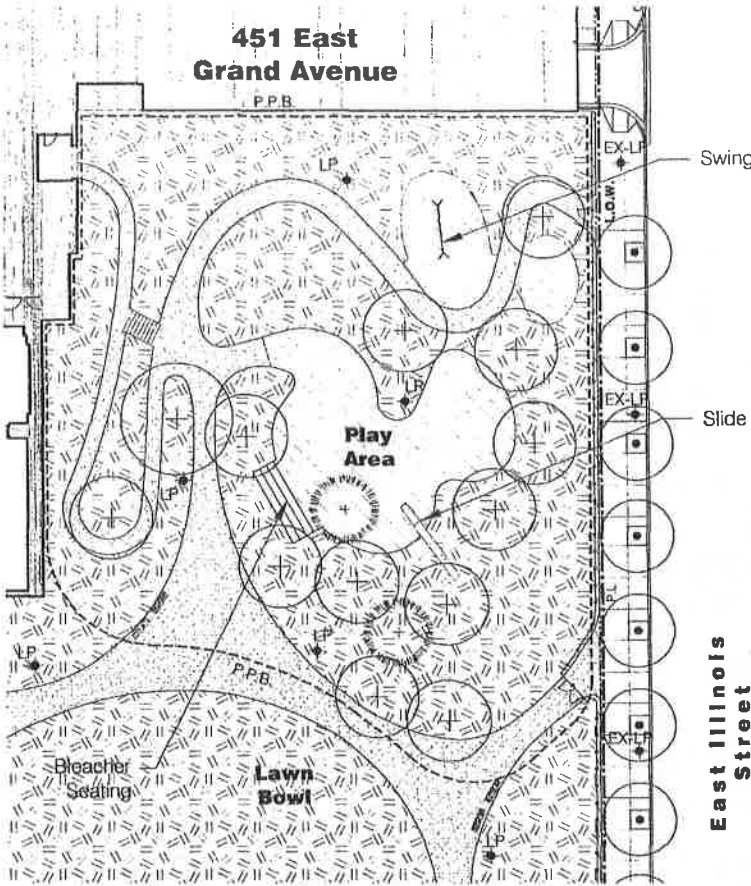


Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

**LANDSCAPE PLAN**  
 SCALE: 1"=80'



FINAL FOR PUBLICATION



**Pocket Park Legend**

- L.O.W. — Limit of Work
- P.P. --- Property Line
- B.O.H. --- Building Overhang
- P.P.B. --- Pocket Park Boundary
- 4'H Metal Fence
- 4'H Metal Gate
- ▼ Building Entry
- Steps
- Bike Racks
- EX-LP Existing Light Pole
- LP Light Pole
- Bench Seating
- Asphalt Pavement, <5% Slope
- Concrete Pavement
- Decomposed Granite Pavement
- Play Mulch
- Lawn
- Existing Street Tree
- Proposed Deciduous Tree (13 Trees)
- Proposed Coniferous Tree (2 Trees)

**Pocket Park Information**

- Size: 20,608 SF
- Landscape Area: 13,300 SF (64%)
- Tree Quantity: 15
- Seating: 100 LF
- Perimeter: 575 LF
- Street Frontage: 154 LF (27% of Perimeter)
- Length: 160 LF
- Width: 140 LF

**Design Description**

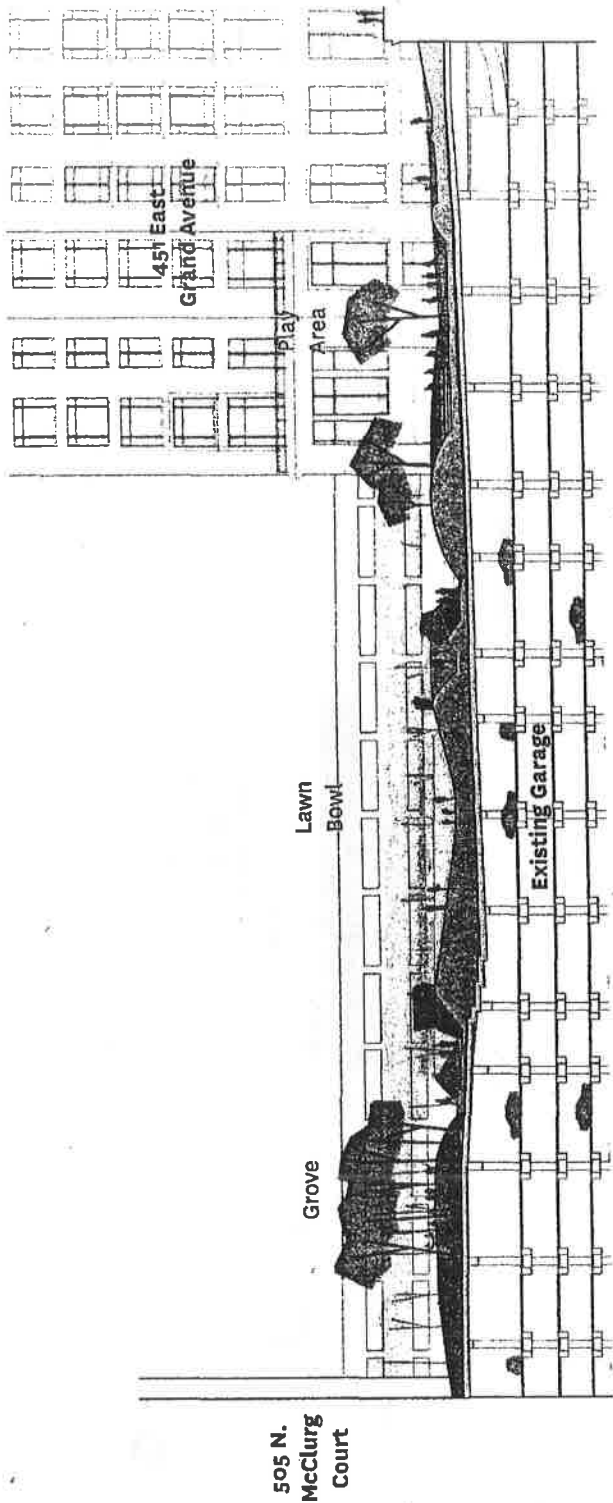
Containing a series of interconnected play areas for children of all ages and their families, the pocket park along E. Illinois Street will be an amenity for residents of the Streeterville neighborhood and for visitors. Conventional play equipment including swings and a slide will be coupled with opportunities for sensory play that engages children with the nature that surrounds the play area. Some areas will have topography to encourage different ways to play, while bleacher-style seating will provide a place for all to stop and rest or to gather groups together for more structured activities. Planting is integrated to provide seasonal interest and shade.

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

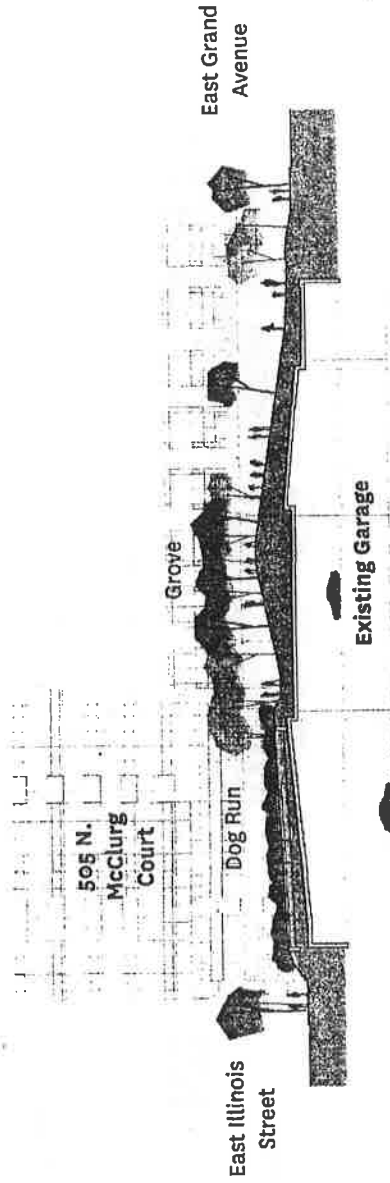
**POCKET PARK LANDSCAPE PLAN**

SCALE: 1" = 40'





A - section

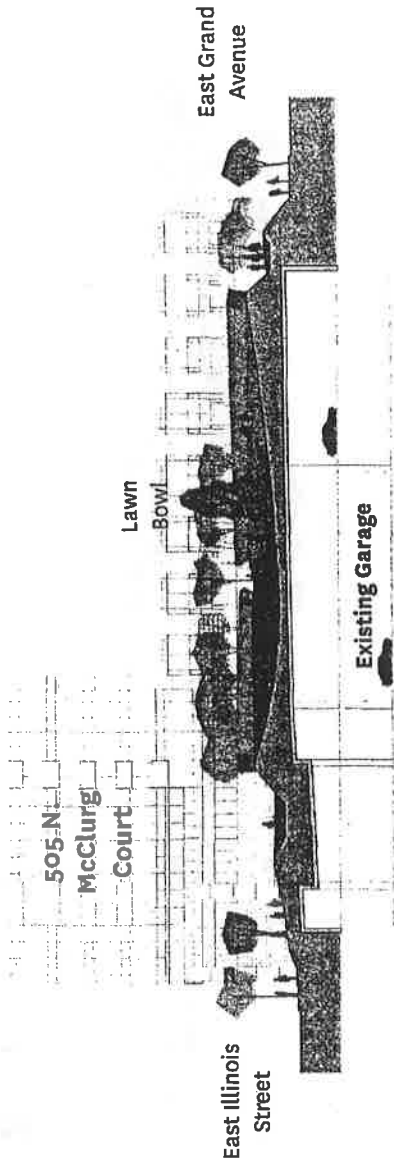


B - section

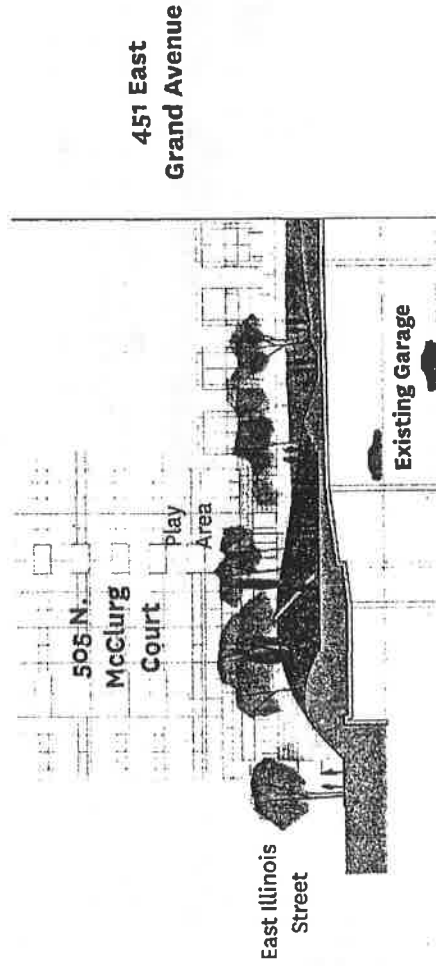
Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

**LANDSCAPE SECTIONS**  
 SCALE: 1" = 40'

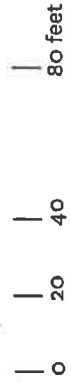
PROPOSED FOR PUBLICATION



**C - section**



**D - section**



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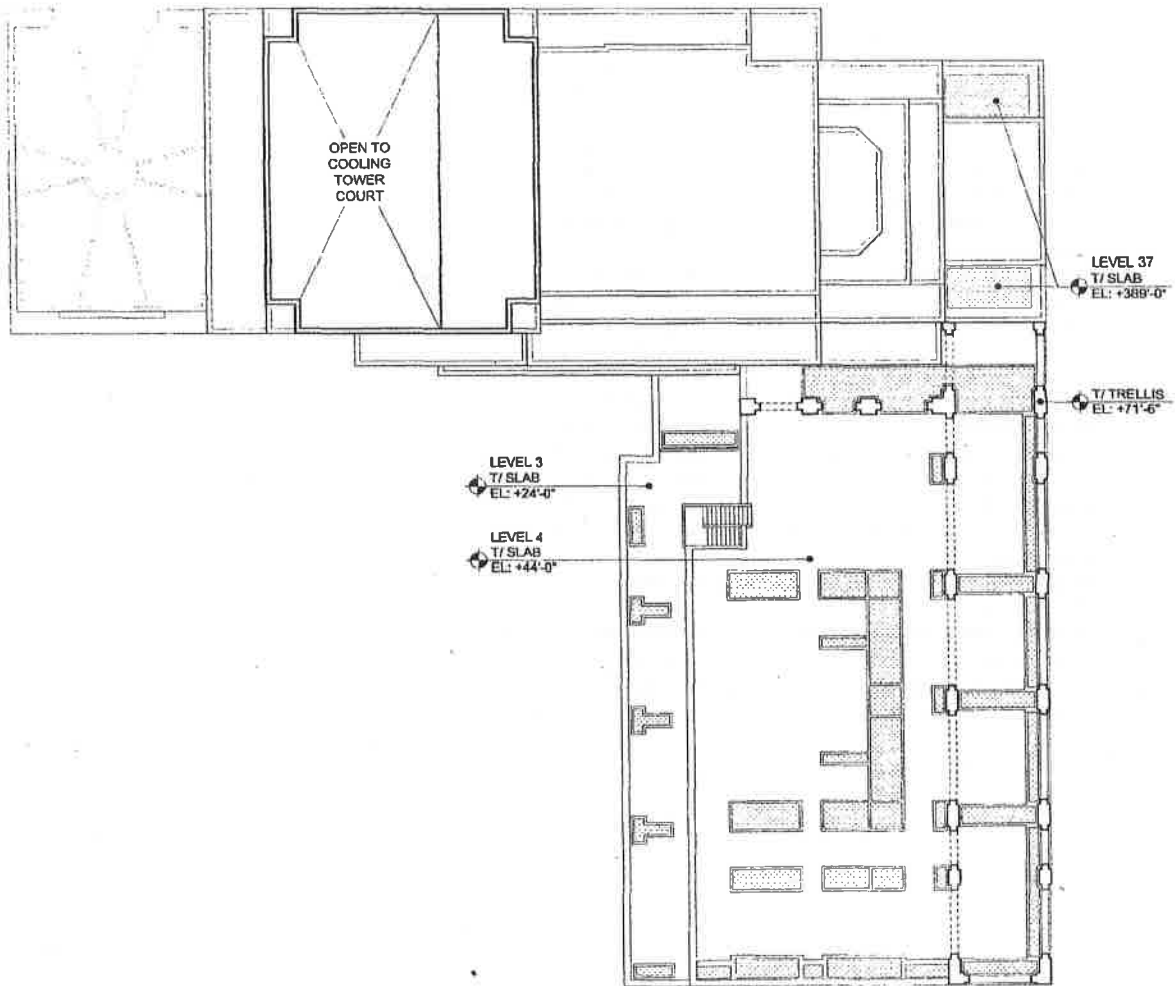
**LIST OF POSSIBLE TREE SPECIES****Shade Trees**

Scientific Name	Common Name
<i>Quercus robur</i> 'Pyramich'	Skymaster English Oak
<i>Acer campestre</i>	Hedge Maple
<i>Acer ginnala</i>	Amur Maple
<i>Acer saccharum</i> 'Fall Fiesta'	Fall Fiesta Sugar Maple
<i>Aesculus hippocastanum</i> 'Baumannii'	Baumann Horsechestnut
<i>Aesculus octandra</i>	Yellow Buckeye
<i>Carpinus caroliniana</i>	American Hornbeam
<i>Catalpa ovata</i>	Chinese Catalpa
<i>Catalpa speciosa</i>	Northern Catalpa
<i>Celtis laevigata</i>	Sugarberry
<i>Celtis occidentalis</i> 'Chicagoland'	Chicagoland Hackberry
<i>Cladrastis kentukea</i>	American Yellowwood
<i>Fagus grandifolia</i>	American Beech
<i>Fagus sylvatica</i> 'Purpurea'	Copper Beech
<i>Ginkgo biloba</i>	Ginkgo (Male Only)
<i>Ginkgo biloba</i> 'Magyar'	Magyar Ginkgo
<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline Honeylocust
<i>Gymnocladus dioica</i>	Kentucky Coffeetree
<i>Nyssa sylvatica</i>	Black Gum, Tupelo
<i>Platanus occidentalis</i>	American Sycamore
<i>Platanus x acerifolia</i> 'Morton Euclid'	Ovation London Planetree
<i>Populus tremuloides</i>	Quaking Aspen
<i>Quercus bicolor</i>	Swamp White Oak
<i>Quercus</i> 'Fastigiata' x <i>Q. bicolor</i> 'Long'	Regal Prince English Oak
<i>Quercus macrocarpa</i>	Bur Oak
<i>Quercus prinus</i>	Chesnut Oak
<i>Quercus robur</i>	English Oak
<i>Robinia pseudoacacia</i> 'Chicago Blues'	Chicago Blues Black Locust
<i>Tilia americana</i>	American Linden
<i>Ulmus americana</i> 'Princeton'	Princeton Elm
<i>Zelkova serrata</i> 'Musashino'	Village Green Japanese Zelkova

**Coniferous Trees**

Scientific Name	Common Name
<i>Abies concolor</i>	White Fir
<i>Larix decidua</i>	European Larch
<i>Taxodium distichum</i>	Baldcypress
<i>Thuja occidentalis</i>	Eastern Arborvitae

FINAL FOR PUBLICATION



**GREEN ROOF CALCULATION**

TOTAL GROSS AREA OF ROOF = 21,325 SF

NET AREA OF ROOF = 16,589 SF

TOTAL AREA OF GREEN ROOF PROVIDED ON TOWER = 2,177 SF

RAINWATER HARVESTING WILL BE AN INTEGRAL PART OF PROJECT IRRIGATION. A SEPARATE RAINWATER COLLECTION TANK WILL BE PROVIDED AND WILL PROVIDE WATER FOR THE IRRIGATION OF THE AMENITY DECK LANDSCAPE.

Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014

**GREEN ROOF PLAN**

SCALE: 1/32" = 1'-0"



The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map No. 1-E.*  
(As Amended)  
(Application No. MA-192)  
(Common Address: 400 N. Lake Shore Dr.)

RBPD 368, 0A

[SO2015-1419]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION. 1 That the Chicago Zoning Ordinance be amended by changing all the Residential Business Planned Development Number 368 symbols and indications as shown on Map Number 1-E in the area bounded by:

a line 150 feet east of and parallel to North St. Clair Street; East Grand Avenue; North Lake Shore Drive; the centerline of Ogden Slip to a point 439.74 feet east of North Lake Shore Drive; the centerline of the Turning Basin; the north bank of the Chicago River and the line thereof extended eastward where said bank does not exist; North Michigan Avenue; East North Water Street; North St. Clair Street (as now located); East Illinois Street; North St. Clair Street; and the alley next south of East Grand Avenue,

to the designation of Residential-Business Planned Development Number 368, as amended, which is hereby established in the area above described, subject to the provisions at the Plan of Development Statements herewith attached and made a part thereof and to the Bulk Regulations and Data Table and Planned Development Exhibits approved and attached to Residential-Business Planned Development Number 368, as amended January 21, 2015, to no others.

SECTION. 2 This ordinance shall be in force and effect from and after its passage and due publication.

Planned Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development No 368, As Amended.*

*Plan Of Development Statements.*

1. The area delineated herein as "Residential-Business Planned Development Number 368", as amended, consists of approximately 1,560,904 square feet or 35.83 acres (exclusive of public rights-of-way and dedicated public open space) of real property as shown on the attached Planned Development Boundary Map (the "Property").

2. This plan of development consists of these twenty-one (21) statements and the following exhibits for the entire Planned Development: Bulk Regulations and Data Table for the entire Planned Development; an Existing Zoning Map; Planned Development Boundary and Subareas Map; Development Parcels Map; Maximum Height Zones; Existing and Planned Open Spaces; Pattern of Vehicular Roadways; and Recommended Traffic Improvements. This plan of development is in conformity with the intent and purpose of the Chicago Zoning Ordinance and all requirements hereof, and satisfies the established criteria for approval as a planned development. In any instance where a provision of the planned development conflicts with the Chicago Building Code, the Building Code shall control.

This plan of development consists of the following exhibits related to the development of Subparcel E.3: Bulk Regulations and Data Table Note 10; Site Landscape Plan; DuSable Landscape Plan; Ground Floor Plan Overview; Lower Lake Shore Drive Plan Overview; Building Elevations; South Building Elevation; Partial Enlarged South Elevation; Partial East/West Site Section; Partial Enlarged East Elevation; North/South Site Section at Lake Shore Drive; North/South Tower and Parking Section; East/West Parking Section; North/South Overview Section; and Lake Front Trail Alignment Alternate 1 and Alternate 2.

This plan of development consists of the following exhibits related to the development of Subarea B Parcels 7 and 7A: Bulk Regulations and Data Table Note 11; View Corridor Program; Overall Site Plan; Lower East North Water Street Plan, North Park Drive Street Plan, North Park Drive Wayfinding Plan; Upper East North Water Street Plan; Upper East North Water Street Wayfinding Plan; Terrace Level Plan; Landscape Plan; Green Roof Plan; Overall Section A Plan and Partial North Elevation; West Elevation at tower and Partial North/South Section B Plan; Building Elevations (North, South, East and West) prepared by Solomon Cordwell Buenz dated May 24, 2012.

This plan of development consists of the following plans and exhibits related to the development of Parcels P21B and P21C (the Kraft Parcel): Bulk Regulations and Data Table Note 12; Site Plan; Ground Floor Plan; Recreation Deck Level Plan; Green Roof Plan; Building Elevations (North and East, and South and West); Landscape Plan; Pocket Park Bonus Landscape Plan; Landscape Sections (A/B and C/D); and Landscape Plant List prepared by GREC Architects, LLC and dated December 18, 2014 (the "Plans").

All of the exhibits cited, above, shall be those approved with Residential-Business Planned Development Number 368, as amended January 21, 2015.

3. The current property owner or an authorized agent shall obtain all required reviews, approvals, licenses and permits in connection with this plan of development. The dedication or vacation of any streets or alleys shall require a separate submittal and approval by the City Council.
4. The requirements, obligations and conditions contained within this planned development shall be binding upon each property owner, its successors and assigns

(including any condominium association which is formed) and the legal titleholders and any ground lessors. All rights granted hereunder shall inure to the benefit of each property owner, its successors and assigns (including any condominium association which is formed) and the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Subject to the subarea/subparcel control provisions of Section 17-8-0400 of the Chicago Zoning Ordinance, single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the Equitable Life Assurance Society of the United States or all its successors and assigns as zoning control party for property located west of Columbus Drive, and by all the successors and assigns to the Chicago Dock and Canal Trust, as zoning control parties for the property located east of Columbus Drive. The board of directors of any condominium association shall represent individual condominium owners.

5. Several subareas are delineated on the attached planned development Subarea Map for the purposes of establishing use and density controls in connection with this plan of development. Uses permitted below +35 feet Chicago City Datum plus or minus 6 feet in respect of design conditions ("Plaza Level") shall be in general conformity with the Permitted and Special Uses of the DX12, Downtown Mixed-Use District classification; uses permitted at and above the Plaza Level in the area hereinbefore defined shall be in general conformity with the Permitted and Special Uses of the DX12, Downtown Mixed-Use District classification, except that in that part of the subject area lying within 200 feet of North Michigan Avenue uses shall be in general conformity with the Permitted and Special Uses of the DX16, Downtown Mixed-Use District classification; uses permitted where no Plaza Level exists shall be in general conformity with the Permitted and Special Uses of the DX12, Downtown Mixed-Use District Classification. Earth station receiving and transmitting dishes, microwave relay dishes and transmitting or receiving dishes shall be permitted. Residential support services, physical fitness/indoor recreation center, and small venue theater are expressly permitted in Subparcel E.3. Non-accessory parking shall be a permitted use in Subarea F only.

Underground accessory parking related to the improvements constructed upon Subparcel E.3 shall be a permitted use in Subparcel E.2. All other controls and regulations set forth herein are made applicable within the general application of this statement. Uses permitted in DuSable Park (Subparcel E.1) shall be recreational and related uses including but not limited to marinas; tennis courts; and similar facilities. Temporary staging of construction materials and related equipment shall be a permitted use in Subparcel E.1 subject to the review and approval of the Commissioner of the Department of Planning and Development and the Chicago Park District. Daycare and other community-oriented uses are expressly permitted and strongly encouraged in all areas of the planned development. Agreement on how space for a minimum of one new daycare center shall be provided within Subareas B, D or Subparcel E.3 to service new

residents and employees of those subareas must be submitted and approved by the Department of Planning and Development prior to the issuance of any Part II Approval for any improvement on Parcels P1, P3, P7, P7A, P8, P18, or P19.

6. For purposes of Floor Area Ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply, with the following exceptions: (1) in Subarea A, grade is herein established at plus thirty-five (+35) feet Chicago City Datum, plus or minus six ( $\pm 6$ ) feet in respect of design conditions ("Plaza Level"); (2) in Subarea B, grade is herein established as the curb level of the building entrance on upper East North Water Street plus or minus six ( $\pm 6$ ) feet in respect of design conditions; and (3) space devoted to heating, ventilation, and air-conditioning equipment shall not be included in FAR regardless of location.
7. Any service drives or other ingress or egress lanes shall be adequately designed and paved in accordance with the regulations of the Chicago Department of Transportation and in compliance with the Municipal Code of the City of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of the City of Chicago and shall have a minimum of 20 feet to provide ingress and egress for emergency vehicles. There shall be no parking within established fire lanes. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the Public Way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
8. Off-street parking and loading facilities shall be provided in compliance with this plan of development, subject to the review of the Chicago Department of Transportation and approval by the Department of Planning and Development. All parking spaces required to serve buildings or uses shall be located on the same parcel as the building or use served, or (i) if a residential use, within 600 feet walking distance, or (ii) if a non-residential use, within 1,200 feet walking distance. Parking to serve uses in Subarea E.1 or E.3 may be located underneath or west of Lake Shore Drive.
9. Business and business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development and to the conditions of Statement 11(e). Off-premises signage is prohibited. Temporary signs such as construction and marketing signs may be permitted subject to the aforesaid approvals. Signage for retail and movie theater uses is a special concern. A general signage plan indicating the locations and dimensions of signage for these uses, including all interior signage which is visible from public streets, shall be submitted prior to Part II Approval in accord with Statement 16 hereof (Site Plan Review).
10. The height of buildings within the planned development and any appurtenance attached thereto shall be subject to the limitations on the attached exhibit labeled "Maximum Height Zones". Where maximum height zones have been established, building height shall be defined as follows:

"Building height" is the vertical distance from the curb level, grade, or its equivalent, opposite the center of the front of a building to the highest point of the underside of the ceiling beams of the highest habitable floor, in the case of a flat roof; to the deck line of a mansard roof; and, to the mean level of the underside of the rafters between the eaves and the ridge of a gable, hip or gambrel roof. For the purpose of determining height in Subarea B Parcels 7 and 7A, grade is herein established as the curb level of the building entrance on upper East North Water Street plus or minus 6 feet in respect of design conditions. (For the purpose of determining height, building tops of other configurations may be considered to be the type described herein which most closely approximates the shape of the proposed design). However, in no case shall the "actual" height of a building exceed the "maximum height" by more than 65 feet.

11. The improvements on individual development sites shall be designed, constructed and maintained in accordance with the exhibits attached hereto and the following general design standards:
  - (a) Buildings along Lake Shore Drive shall be designed to minimize building mass directly facing the Drive. The base along Lake Shore Drive of any such structure shall be limited to the height of Lake Shore Drive. The tower of such structures shall be set back a minimum of 40 feet from Lake Shore Drive although encroachments into such setback area for design reasons may be allowed by the Commissioner of Planning and Development as a minor change pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance. This 40-foot setback area shall be heavily landscaped with trees and other greenery so as to be visible from the drive.
  - (b) Landscaping of buildings at terraces, rooftops, and balconies shall be provided wherever possible and appropriate. Buildings shall be designed with upper-level architectural features that are lit at night wherever possible. Mechanical equipment on rooftops shall be screened with quality materials, and made a feature of the building design, where appropriate. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this planned development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
  - (c) Buildings shall be setback from the property line, if necessary, to achieve a minimum of 12 feet, 6 inches (except the building column may be setback 10 feet, 0 inches in Subarea E-3 along Ogden Slip and the building located in Subarea B, Parcels 7 and 7A, may be located at the property line along North New Street, North Park Drive, Upper East North Water Street and Lower East North Water Street) in sidewalk width to accommodate street trees. No awnings, canopies, or other building projections shall be allowed that would interfere with street tree canopies except at entrances to hotels, residential entrances or movie theaters.

- (d) Building designs that reflect divisions into base, middle, and top, that have setbacks, cornice lines, changes in plane or materials, articulated surfaces, or other methods of reducing the scale and mass are encouraged. Preferred building materials shall be stone, manufactured stone, brick, finished metal such as stainless steel, or articulated pre-cast concrete in combination with glass at the base. Exposed structural concrete, dryvit or other stucco-like material, or reflective glass shall not be allowed. Materials of upper stories shall be similar to those of the lower; however, the level of detailing may be simplified.
- (e) Buildings shall be designed with clearly delineated signage bands. The quality and amount of signage shall be strictly controlled. The total square footage displayed on any building shall be limited to no more than six (6) times the street frontage on any given street. Preference shall be given to pin-mounted back lit signs with individual letters that are externally lit. Signs behind glass that are visible from the sidewalk shall count toward the permitted sign area. The area of a sign that consists of individual letters shall be measured by drawing a box around the letters. Graphic images which depict tenant logos or products or which may otherwise be construed as advertising shall count as signage in their entirety. Signage on awnings shall be allowed on the valance only, with a maximum of 5-inch high letters limited to tenant identification or logos only. No electronic moving message board signs shall be allowed. Rooftop signs shall be prohibited.
- (f) No new surface parking lots, except interim lots approved by the Zoning Administrator, shall be allowed. No surface parking lot shall be allowed on the Parcel P21B ("Kraft") park site in Subarea F. The maximum effort shall be made to contain parking in below-ground structures. Above-grade parking structures shall be enclosed, fronted by habitable space, or otherwise designed so as to have a similar appearance to habitable spaces in terms of finish materials, the shape and scale of openings, and the screening of ramps, car lights and ceiling fixtures. Any parking structures facing the Chicago River must be fronted by habitable space or completely enclosed and well-articulated at all levels. The first floor of all structures facing Illinois Street, Grand Avenue, McClurg Court, Park Drive, or Columbus Drive shall maximize space with active uses such as retail, daycare, restaurants, et cetera. Parking structures shall also contain provisions for planting at the base, the roof, or at mid-height ledges.
- (g) Loading docks shall be concealed from public view through screening or landscaping. Curb cuts for loading docks shall be minimized.
- (h) The new roadway structure at upper level Illinois Street shall be finished in highly articulated stone, pre-cast concrete, or other quality material, with particular attention given to views of the structure from Columbus Drive. Terraced planting, pedestrian lighting, decorative railings, banners, and other features shall be used to create a major pedestrian amenity. A major water feature shall be installed at the intersection of upper-level Illinois Street and the

NBC Plaza. The underside of upper Illinois shall be appropriately lit, structural columns shall be covered, and other elements shall be added to create a safe, well-lit connection to Michigan Avenue.

- (i) The completion of the riveredge esplanade shall be required of the developers of Parcels 14 and 16, and Parcel 18. Such public spaces shall be developed with the same quality and character of amenities as the existing esplanade adjacent to these areas. In addition, the developer of Parcel 18 shall be responsible for the development of pedestrian access to DuSable Park under Lake Shore Drive. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river esplanade. All plans for pedestrian access to DuSable Park from Parcel 18 shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any superstructure Part II Approval letters.
- (j) The developer of Parcel 19 shall develop the following public improvements indicated on Exhibit 6 Existing and Planned Open Spaces concurrently with the development of Parcel 19: a pedestrian walkway from East North Water Street to Ogden Slip and an extension of the Ogden Slip promenade to Lake Shore Drive. The pedestrian walkway from East North Water Street to Ogden Slip shall be developed with the same quality and character of amenities as the existing walkway from the River Esplanade to East North Water Street. The extension of the Ogden Slip promenade shall be developed with the same quality and character of amenities as the existing promenade adjacent to it. In the event that DuSable Park is developed before Parcel 19 is developed, the owner(s) of Parcel 19 shall construct and maintain a temporary pedestrian connection along the slip. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 20 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the slip edge and on the side adjacent to Parcel 19. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development.

In addition, pedestrian access along Ogden Slip under Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 19 shall be solely responsible for the cost of improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the Ogden Slip promenade. However, if Parcel 19 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 19 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the Developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) below provides otherwise.

All plans for these improvements shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any Part II Approval letters.

- (k) All improvements to be constructed within this planned development for which Part II Approval letters are issued after the March 29, 2006 date of City Council approval of the amended planned development shall comply with the Department of Planning and Development Chicago Sustainable Development Policy in effect at the time of application for Part II Approval, and the owners shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System (LEED). A dog-run shall be located within or adjacent to Subparcel E.3. As a result of the architectural design of the tower to be constructed within Subparcel E.3, a green roof is not feasible. The development of the improvements on Parcel P21C contemplated by this Planned Development amendment shall be LEED certified and have a green roof of approximately 2,177 square feet and a rain water collection system as described in the attached Green Roof Plan.
- (l) Pursuant to the Affordable Housing provision of the City of Chicago Zoning Ordinance, Title 17, Section 17-4-1004, et seq. ("Zoning Ordinance") Developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of 3.00 FAR for the Property. The Developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1004D of the Zoning Ordinance, the total floor area devoted to affordable housing units must equal at least 25 percent of the total increase in floor area allowed under the Affordable Housing Bonus or a cash payment must be made to the City of Chicago Affordable Housing Opportunity Fund based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1004D, the Developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago Affordable Housing Opportunity Fund in the amount of \$5,700,300.00. Prior to the issuance of permits, the Developer of Parcel E.3 will enter into an Affordable Housing Agreement with the Chicago Department of Planning and Development or provide a letter of credit or other security device in an amount equal to the cash contribution. The Developer of Parcel E.3 must comply with all of the applicable sections of the Affordable Housing Provision of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Affordable Housing Agreement required by Section 17-4-1004-E9 is also incorporated into this planned development.

Pursuant to the Off-Site Park and Open Space Contributions provision of the City of Chicago Zoning Ordinance, Title 17, Section 17-4-1018, et seq., the Developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of 2.16 FAR for the Property. The Developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1018-C of the Zoning Ordinance, a cash payment

must be made to the City of Chicago based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1018-C, the Developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago in the amount of \$4,104,216.00. Prior to the issuance of permits, the Developer of Parcel E.3 will provide a letter of credit or other security device in an amount equal to the cash contribution. The Developer of Parcel E.3 must comply with all of the sections of the Off-Site Park and Open Space Contributions provisions of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Off-Site Park and Open Space Contribution Agreement required by Section 17-4-1018-B3 is also incorporated into this planned development.

- (m) The Developer of Parcel E.3, the City of Chicago, and the Chicago Park District shall enter into an agreement relating, in part, to the responsibility for the design, funding and construction phasing of DuSable Park, the pedestrian connections to DuSable Park and the Lakefront Trail.
- (n) The improvements contemplated for DuSable Park (Subparcel E.1) must be substantially completed by the Developer of Parcel E.3 prior to the issuance of Certificate of Occupancy for any dwelling unit exceeding the three hundredth (300<sup>th</sup>) dwelling unit constructed with Subparcel E.3.
- (o) The amendment of this Planned Development concerning development of Parcels P21B and P21C triggers the requirements of Section 2-45-110 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a "residential housing project" within the meaning of the Affordable Requirements Ordinance ("Residential Project") must: (i) develop affordable housing units as part of the Residential Project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). Further, the amendment of this Planned Development is subject to Section 17-4-1004-D of the Zoning Code, which also requires on-site affordable housing or payment of a fee in lieu of providing affordable housing for rezonings in DC, DX and DR districts that increase the base floor area ratio. If a planned development is subject to the requirements of both sections (2-45-110 and 17-4-1004-D), the developer may elect to satisfy the ARO requirements by complying with the affordable housing floor area bonus provided for in Section 17-4-1004. The owner of Parcels P21B and P21C has elected to comply with Section 17-4-1004. Pursuant to Section 17-4-1004-B of the Zoning Ordinance, the owner of Parcels P21B and P21C has requested an increase in the floor area ratio for the Property, as set forth in the bonus worksheet required under Section 17-4-1003-D and attached hereto as an Exhibit ("Bonus Worksheet"). In accordance with the formulas set forth in Section 17-4-1004-C and the Bonus Worksheet, the owner of Parcels P21B and P21C acknowledges and agrees

that it must provide either a minimum of at least 21,680 square feet of floor area (the "Affordable Units") in the building receiving the affordable housing floor area bonus ("Eligible Building"), with an affordable unit mix comparable to the overall mix and approved by the Department of Planning and Development prior to issuance of the first building permit, or make a cash payment in lieu of providing affordable housing in the amount of \$2,983,168 ("Cash Payment"), or \$100,000 per unit ("Pro Rata Amount"). Prior to the issuance of any building permits for the Eligible Building, including, without limitation, excavation or foundation permits, the owner of Parcels P21B and P21C must either make the required Cash Payment or provide a performance bond or other security in the amount of the Cash Payment ensuring construction of the Affordable Units. If the owner of Parcels P21B and P21C elects to construct the Affordable Units, it must also enter into an Affordable Housing Agreement with the City pursuant to Section 17-4-1004-E9 prior to the issuance of any building permits for the Eligible Building, including, without limitation, excavation or foundation permits. The terms of the Affordable Housing Agreement and any amendments thereto would be incorporated herein by this reference. The owner of Parcels P21B and P21C acknowledges and agrees that the Affordable Housing Agreement would be recorded against the Eligible Building and would constitute a lien against each Affordable Unit in an amount equal to the Pro Rata Amount. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. In addition to the Affordable Housing Agreement, the owner of Parcels P21B and P21C acknowledges and agrees that, pursuant to Section 17-4-1003-D3, the Bonus Worksheet will serve as an official record of bonuses and amenities. The owner of Parcels P21B and P21C must comply with the applicable affordable housing standards and requirements set forth in Section 17-4-1004, the terms of which are incorporated herein by Ibis reference. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of the Department of Planning and Development may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development.

12. Publicly dedicated improvements, including streets, sidewalks, transit and open space amenities shall be designed, constructed and maintained in accordance with the exhibits described in Statement 2 hereof and the "Cityfront Center Internal Design Standards: Section I", dated September 12, 1986.
13. The property owner(s) adjacent to the Chicago River shall develop a continuous pedestrian esplanade along the Chicago River's edge. Completion of the esplanade will occur as follows:

- (a) The east right-of-way line of McClurg Court to the west right-of-way line of Lake Shore Drive shall be improved concurrently with development of adjacent parcels south of East North Water Street (Parcels 14, 16, and 18). In the event that DuSable Park is developed before Parcel 18 is developed, the owner(s) of Parcel 18 shall construct and maintain a temporary pedestrian connection along the river. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 10 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the river's edge and on the side adjacent to the development parcel. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development; and
  - (b) The west right-of-way line of Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 18 shall be solely responsible for improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river edge esplanade. However, if Parcel 18 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 18 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the Developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) above provides otherwise.
14. The developer of Parcels P21B and P21C (the Kraft Parcel), shall substantially renovate the existing 70,000 square foot park on Parcel P21B in accordance with the Landscape Plan, the Landscape Sections, and the Landscape Plant list. Such renovation shall be commenced no later than three (3) months following issuance of the first occupancy permit for the residential building to be constructed on Parcel P21C as permitted by this Planned Development, and shall be completed no later than one (1) year thereafter. The park, as renovated, shall continue to be privately owned, maintained and subject to occasional partial closure for private use but, subject to the foregoing, shall remain accessible to the public during hours in which public parks are accessible to the public. The public shall have use of the Dog Run indicated on the Landscape Plan subject to any regulations, if imposed, that conform to the protocols of the Chicago Park District for Dog Friendly Areas. The owner(s) of Parcels P21B and P21C (the Kraft Parcel) shall be responsible for the costs and performance of maintenance of the park in conformance with the Landscape Plan and the Open Space Plan. Nothing contained herein shall preclude residents or other individuals from using the park for other private uses, provided that they obtain permission from the owner(s) of the Kraft Parcel and all necessary governmental approvals and permits.

15. Traffic studies completed by developers and the City of Chicago project significant peak hour traffic volume increases on Illinois Street and Grand Avenue in particular as a result of new development. Some excess roadway capacity is available to handle this increased traffic, but a number of geometric, signal timing and parking control measures are recommended in addition to active transportation management in the Illinois-Grand corridor. Accordingly, no Part II submittal shall be approved without a firm agreement between the developer and the Chicago Department of Transportation regarding the timing and responsibility for any recommended traffic improvements described in Exhibit 8 hereof for streets adjoining the development site. Membership and participation in the Illinois-Grand Corridor Transportation Management Association shall also be required prior to the issuance of any Part II development approval.
16. Prior to the issuance by the Department of Planning and Development of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II approval") for development or redevelopment of any development parcels within the planned development, other than alterations to existing buildings which do not increase their height or alter their footprint or construction in accordance with the Plans approved herein, a site plan for the proposed development, including parking areas, shall be submitted to the Zoning Administrator for approval. Review and approval of the site plan by the Zoning Administrator is intended to assure that specific development proposals conform with the general design standards in Statement 11 and to ensure coordination of public improvements described in Statements 12 through 15 at an early stage. No Part II approval for work for which a Site Plan must be submitted to the Zoning Administrator shall be granted until the Site Plan has been approved by the Zoning Administrator. Further, all Part II submittals shall be in compliance with the Chicago Landscape Ordinance. At least thirty (30) days prior to the filing of the Developer of Parcel E.3's request for Part II approval for the construction of the superstructure upon Subparcel E.3, the Developer of Parcel E.3 Applicant shall submit a detailed Landscape Plan and Elevations for the Subparcel E.3 property to the Department of Planning and Development for review and approval.

Following approval of a Site Plan by the Zoning Administrator, the approved plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this planned development. The approved Site Plan may be changed or modified pursuant to the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

A Site Plan shall, at a minimum, provide the following information with respect to the proposed improvements:

- (1) the boundaries of the Property;
- (2) the footprint of the improvements;
- (3) location and dimensions of all loading berths;

- (4) preliminary landscaping plan prepared by a landscape architect with final landscaping plan to be approved at Part II stage;
- (5) all pedestrian circulation routes;
- (6) the location of any adjacent public improvements;
- (7) a signage plan for any building where retail or theater uses would be present above the ground level;
- (8) preliminary elevations of the improvements; and
- (9) statistical information applicable to the Property limited to the following:
  - (a) floor area and floor area ratio;
  - (b) uses to be established;
  - (c) building heights; and
  - (d) all setbacks, required and provided.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this planned development.

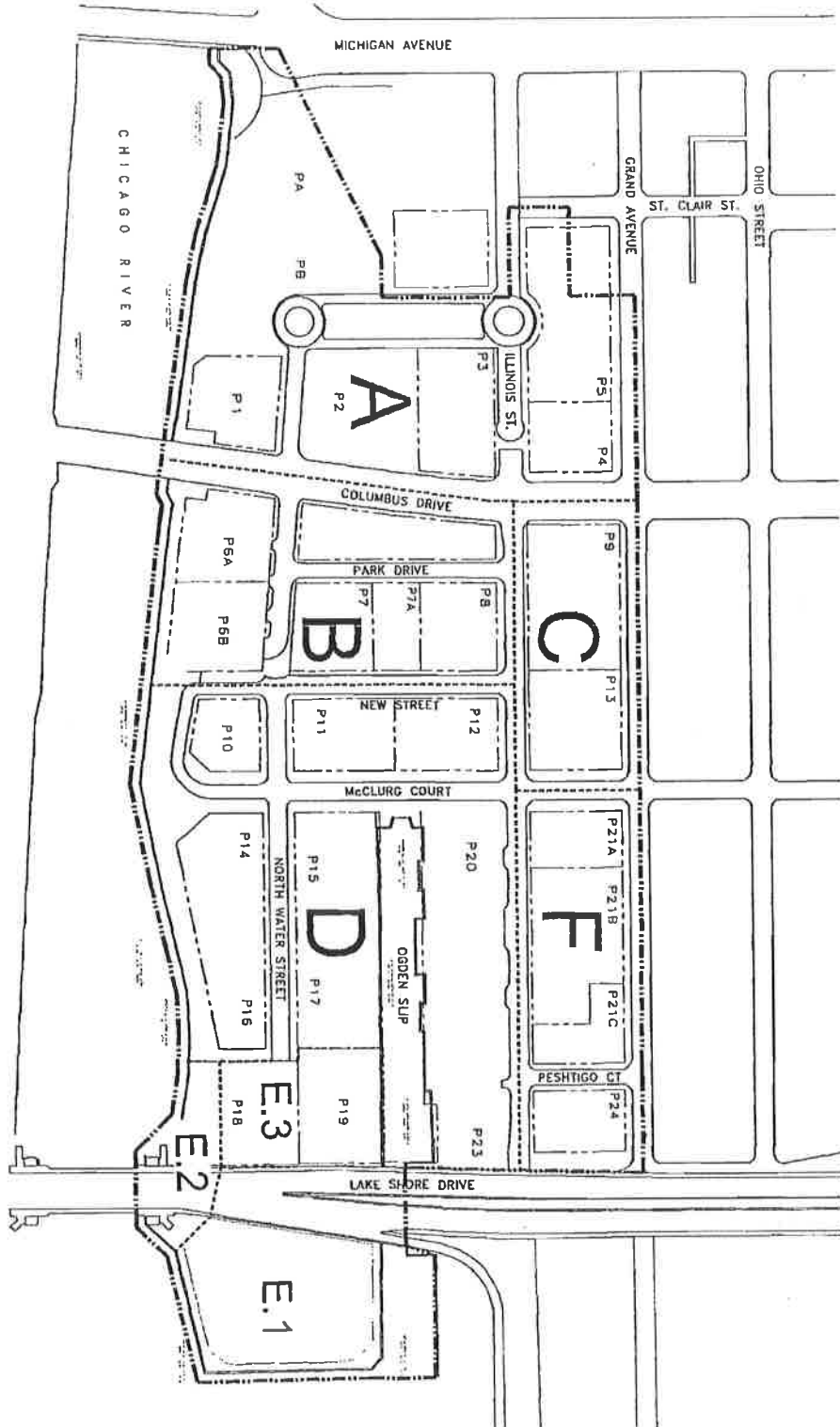
17. If any provision of this planned development amendment shall, to any extent, be invalid or unenforceable, the remainder of this planned development amendment shall not be affected thereby, and each provision of the planned development amendment shall be valid and enforceable to the fullest extent of the law.
18. The terms, conditions and exhibits of this Planned Development Ordinance or of an approved Site Plan may be modified administratively by the Zoning Administrator upon the request of the applicant and after a determination by the Zoning Administrator that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in the planned development and the purposes underlying the provisions hereof. Any such modification shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
19. It is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvement on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

20. It is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. All improvements to be constructed within this Planned Development for which Part II Approval letters are issued after the March 29, 2006, date of the City Council approval of the amended Planned Development shall comply with the Department of Planning and Development Chicago Sustainable Development Policy in effect at the time of application for Part II Approval. The owners of all such improvements shall use best and reasonable efforts to design, construct and maintain all buildings located within the Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development. The development of the improvements on Parcel P21C contemplated by this Planned Development amendment shall be LEED certified and have a green roof of approximately 2,177 square feet and a rain water collection system as described in the attached Green Roof Plan.
  
21. Unless substantial construction of the improvements contemplated within Subparcel E.3 has commenced within three (3) years following adoption of this planned development amendment, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcel E.3 and the zoning of Subparcel E.3 of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on March 29, 2006. Unless substantial construction of the improvements contemplated within Subparcels 7 and 7A has commenced within six (6) years following adoption of this planned development on May 6, 2012, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcels 7 and 7A and the zoning of Subparcels 7 and 7A of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on July 9, 2008. Unless substantial construction of the improvements contemplated within Parcels P21B and P21C (the Kraft Parcel) has commenced within three (3) years following adoption of this planned development on January 21, 2015, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Parcels P21B and P21C (the Kraft Parcel) and the zoning of Parcels P21B and P21C (the Kraft Parcel) shall automatically revert to Residential-Business Planned Development Number 368, as amended on May 6, 2012.

(Exhibits referred to in this Residential-Business Planned Development Number 368, as amended (Statement 2) printed in the *Journal of the Proceedings of the City Council of the City of Chicago* of January 21, 2015, pages 102108 -- 102182.)

[Exhibit 4 -- Parcels Map referred to in these Plan of Development Statements printed on page 109093 of this *Journal*.]

Applicant: RWX Streetville, LLC  
Address: 451 East Grand Avenue, Chicago, IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: TBD



**EXHIBIT 4**  
**PD PARCELS MAP**  
SCALE: NTS



FINAL FOR PUBLICATION



Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map No. 1-E.*  
 (As Amended)  
 (Application No. 18163)  
 (Common Address: 451 E. Grand Ave.)

R B P D 368, 09

[SO2014-6807]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the Residential Business Planned Development Number 368 symbols and indications as shown on Map Number 1-E in the area bounded by:

a line 150 feet east of and parallel to North St. Clair Street; East Grand Avenue; North Lake Shore Drive; the centerline of Ogden Slip to a point 439.74 feet east of North Lake Shore Drive, the centerline of the turning basin; the north bank of the Chicago River and the line thereof extended eastward where said bank does not exist; North Michigan Avenue; East North Water Street; North St. Clair Street (as now located); East Illinois Street; North St. Clair Street; and the alley next south of East Grand Avenue,

to those of Residential-Business Planned Development Number 368, as amended.

SECTION 2. This ordinance shall be in force and effect from and after its passage.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development No. 368, As Amended.*

*Plan Of Development Statements.*

1. The area delineated herein as "Residential-Business Planned Development Number 368", as amended, consists of approximately 1,560,904 square feet or 35.83 acres (exclusive of public rights-of-way and dedicated public open space) of real property as shown on the attached Planned Development Boundary Map (the "Property").

2. This plan of development consists of these twenty-one (21) Statements and the following exhibits for the entire Planned Development: Bulk Regulations and Data Table for the entire Planned Development; an Existing Zoning Map; Planned Development Boundary and Subareas Map; Development Parcels Map; Maximum Height Zones; Existing and Planned Open Spaces; Pattern of Vehicular Roadways; and Recommended Traffic Improvements. This plan of development is in conformity with the intent and purpose of the Chicago Zoning Ordinance and all requirements hereof, and satisfies the established criteria for approval as a planned development. In any instance where a provision of the planned development conflicts with the Chicago Building Code, the Building Code shall control.

This plan of development consists of the following exhibits related to the development of Subparcel E.3: Bulk Regulations and Data Table Note 10; Site Landscape Plan; DuSable Landscape Plan; Ground Floor Plan Overview; Lower Lake Shore Drive Plan Overview; Building Elevations; South Building Elevation; Partial Enlarged South Elevation; Partial East/West Site Section; Partial Enlarged East Elevation; North/South Site Section at Lake Shore Drive; North/South Tower and Parking Section; East/West Parking Section; North/South Overview Section; and Lake Front Trail Alignment Alternate 1 and Alternate 2.

This plan of development consists of the following exhibits related to the development of Subarea B Parcels 7 and 7A: Bulk Regulations and Data Table Note 11; View Corridor Program; Overall Site Plan; Lower East North Water Street Plan; North Park Drive Street Plan; North Park Drive Wayfinding Plan; Upper East North Water Street Plan; Upper East North Water Street Wayfinding Plan; Terrace Level Plan; Landscape Plan; Green Roof Plan; Overall Section A Plan and Partial North Elevation; West Elevation at tower and Partial North/South Section B Plan; Building Elevations (North, South, East and West) prepared by Solomon Cordwell Buenz dated May 24, 2012.

The applicant for purposes of this amendment, RMW Streeterville LLC (the "Applicant"), owns or controls Parcels P21B and P21C, also known as the Kraft Parcel, in Subarea F within this planned development (the "Kraft Parcel"). This plan of development consists of the following plans and exhibits related to the development of Parcels P21B and P21C (the Kraft Parcel): Bulk Regulations and Data Table Note 12; Site Plan; Ground Floor Plan; Recreation Deck Level Plan; Green Roof Plan; Building Elevations (North and East, and South and West); Landscape Plan; Pocket Park Bonus Landscape Plan; Landscape Sections (A/B and C/D); and Landscape Plant List prepared by GREC Architects, LLC and dated December 18, 2014 (the "Plans").

3. The current property owner or an authorized agent shall obtain all required reviews, approvals, licenses and permits in connection with this plan of development. The dedication or vacation of any streets or alleys shall require a separate submittal and approval by the City Council.

4. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns (including any condominium association which is formed) and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns (including any condominium association which is formed) and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Subject to the subarea/subparcel control provisions of Section 17-8-0400 of the Chicago Zoning Ordinance, single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the Equitable Life Assurance Society of the United States or all its successors and assigns as zoning control party for property located west of Columbus Drive, and by all the successors and assigns to the Chicago Dock and Canal Trust, as zoning control parties for the property located east of Columbus Drive. The board of directors of any condominium association shall represent individual condominium owners.
5. Several subareas are delineated on the attached planned development Subarea Map for the purposes of establishing use and density controls in connection with this plan of development. Uses permitted below +35 feet Chicago City Datum plus or minus 6 feet in respect of design conditions ("Plaza Level") shall be in general conformity with the Permitted and Special Uses of the DX-12 Downtown Mixed-Use District classification; uses permitted at and above the Plaza Level in the area hereinbefore defined shall be in general conformity with the Permitted and Special Uses of the DX-12 Downtown Mixed-Use District classification, except that in that part of the subject area lying within 200 feet of North Michigan Avenue uses shall be in general conformity with the Permitted and Special Uses of the DX-16 Downtown Mixed-Use District classification; uses permitted where no Plaza Level exists shall be in general conformity with the Permitted and Special Uses of the DX-12 Downtown Mixed-Use District Classification. Earth station receiving and transmitting dishes, microwave relay dishes and transmitting or receiving dishes shall be permitted. Residential support services, physical fitness/indoor recreation center, and small venue theater are expressly permitted in Subparcel E.3. Non-accessory parking shall be a permitted use in Subarea F only. Underground accessory parking related to the improvements constructed upon Subparcel E.3 shall be a permitted use in Subparcel E.2. All other controls and regulations set forth herein are made applicable within the general application of this statement. Uses permitted in DuSable Park (Subparcel E.1) shall be recreational and related uses including but not limited to marinas; tennis courts; and similar facilities. Temporary staging of construction materials and related equipment shall be a permitted use in Subparcel E.1 subject to the review and approval of the Commissioner of the Department of Planning and Development and the Chicago Park District. Daycare and other community-oriented uses are expressly permitted and strongly encouraged in all

areas of the planned development. Agreement on how space for a minimum of one new daycare center shall be provided within Subareas B, D or Subparcel E.3 to service new residents and employees of those subareas must be submitted and approved by the Department of Planning and Development prior to the issuance of any Part II Approval for any improvement on Parcels P1, P3, P7, P7A, P8, P18, or P19.

6. For purposes of Floor Area Ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply, with the following exceptions: (1) in Subarea A, grade is herein established at plus thirty-five (+35) feet Chicago City Datum, plus or minus six ( $\pm 6$ ) feet in respect of design conditions ("Plaza Level"); (2) in Subarea B, grade is herein established as the curb level of the building entrance on upper East North Water Street plus or minus six ( $\pm 6$ ) feet in respect of design conditions; and (3) space devoted to heating, ventilation, and air-conditioning equipment shall not be included in FAR regardless of location.
7. Any service drives or other ingress or egress lanes shall be adequately designed and paved in accordance with the regulations of the Chicago Department of Transportation and in compliance with the Municipal Code of the City of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of the City of Chicago and shall have a minimum of 20 feet to provide ingress and egress for emergency vehicles. There shall be no parking within established fire lanes. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
8. Off-street parking and loading facilities shall be provided in compliance with this plan of development, subject to the review of the Chicago Department of Transportation and approval by the Department of Planning and Development. All parking spaces required to serve buildings or uses shall be located on the same parcel as the building or use served, or (i) if a residential use, within 600 feet walking distance, or (ii) if a non-residential use, within 1,200 feet walking distance. Parking to serve uses in Subarea E.1 or E.3 may be located underneath or west of Lake Shore Drive.
9. Business and business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development and to the conditions of Statement 11(e). Off-premises signage is prohibited. Temporary signs such as construction and marketing signs may be permitted subject to the aforesaid approvals. Signage for retail and movie theater uses is a special concern. A general signage plan indicating the locations and dimensions of signage for these uses, including all interior signage which is visible from public streets, shall be submitted prior to Part II Approval in accord with Statement 16 hereof (Site Plan Review).

10. The height of buildings within the planned development and any appurtenance attached thereto shall be subject to the limitations on the attached exhibit labeled "Maximum Height Zones". Where maximum height zones have been established, building height shall be defined as follows:

"Building height" is the vertical distance from the curb level, grade, or its equivalent, opposite the center of the front of a building to the highest point of the underside of the ceiling beams of the highest habitable floor, in the case of a flat roof; to the deck line of a mansard roof; and, to the mean level of the underside of the rafters between the eaves and the ridge of a gable, hip or gambrel roof. For the purpose of determining height in Subarea B Parcels 7 and 7A, grade is herein established as the curb level of the building entrance on upper East North Water Street plus or minus 6 feet in respect of design conditions. (For the purpose of determining height, building tops of other configurations may be considered to be the type described herein which most closely approximates the shape of the proposed design). However, in no case shall the "actual" height of a building exceed the "maximum height" by more than 65 feet.

11. The improvements on individual development sites shall be designed, constructed and maintained in accordance with the exhibits attached hereto and the following general design standards:
  - (a) Buildings along Lake Shore Drive shall be designed to minimize building mass directly facing the drive. The base along Lake Shore Drive of any such structure shall be limited to the height of Lake Shore Drive. The tower of such structures shall be set back a minimum of 40 feet from Lake Shore Drive although encroachments into such setback area for design reasons may be allowed by the Commissioner of Planning and Development as a minor change pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance. This 40-foot setback area shall be heavily landscaped with trees and other greenery so as to be visible from the drive.
  - (b) Landscaping of buildings at terraces, rooftops, and balconies shall be provided wherever possible and appropriate. Buildings shall be designed with upper level architectural features that are lit at night wherever possible. Mechanical equipment on rooftops shall be screened with quality materials, and made a feature of the building design, where appropriate. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this planned development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.

- (c) Buildings shall be setback from the Property line, if necessary, to achieve a minimum of 12 feet, 6 inches (except the building column may be setback 10 feet, 0 inches in Subarea E.3 along Ogden Slip and the building located in Subarea B, Parcels 7 and 7A, may be located at the property line along North New Street, North Park Drive, Upper East North Water Street and Lower East North Water Street) in sidewalk width to accommodate street trees. No awnings, canopies, or other building projections shall be allowed that would interfere with street tree canopies except at entrances to hotels, residential entrances or movie theaters.
- (d) Building designs that reflect divisions into base, middle, and top, that have setbacks, cornice lines, changes in plane or materials, articulated surfaces, or other methods of reducing the scale and mass are encouraged. Preferred building materials shall be stone, manufactured stone, brick, finished metal such as stainless steel, or articulated pre-cast concrete in combination with glass at the base. Exposed structural concrete, dryvit or other stucco-like material, or reflective glass shall not be allowed. Materials of upper stories shall be similar to those of the lower; however, the level of detailing may be simplified.
- (e) Buildings shall be designed with clearly delineated signage bands. The quality and amount of signage shall be strictly controlled. The total square footage displayed on any building shall be limited to no more than six (6) times the street frontage on any given street. Preference shall be given to pin-mounted back lit signs with individual letters that are externally lit. Signs behind glass that are visible from the sidewalk shall count toward the permitted sign area. The area of a sign that consists of individual letters shall be measured by drawing a box around the letters. Graphic images which depict tenant logos or products or which may otherwise be construed as advertising shall count as signage in their entirety. Signage on awnings shall be allowed on the valance only, with a maximum of 5-inch high letters limited to tenant identification or logos only. No electronic moving message board signs shall be allowed. Rooftop signs shall be prohibited.
- (f) No new surface parking lots, except interim lots approved by the Zoning Administrator, shall be allowed. No surface parking lot shall be allowed on the Parcel P21B ("Kraft") park site in Subarea F. The maximum effort shall be made to contain parking in below-ground structures. Above-grade parking structures shall be enclosed, fronted by habitable space, or otherwise designed so as to have a similar appearance to habitable spaces in terms of finish materials, the shape and scale of openings, and the screening of ramps, car lights and ceiling fixtures. Any parking structures facing the Chicago River must be fronted by habitable space or completely enclosed and well-articulated at all levels. The first floor of all structures facing Illinois Street, Grand Avenue, McClurg Court, Park Drive, or Columbus Drive shall maximize space with active uses such as retail, daycare, restaurants, et cetera. Parking structures shall also contain provisions for planting at the base, the roof, or at mid-height ledges.

- (g) Loading docks shall be concealed from public view through screening or landscaping. Curb cuts for loading docks shall be minimized.
- (h) The new roadway structure at upper level Illinois Street shall be finished in highly articulated stone, pre-cast concrete, or other quality material, with particular attention given to views of the structure from Columbus Drive. Terraced planting, pedestrian lighting, decorative railings, banners, and other features shall be used to create a major pedestrian amenity. A major water feature shall be installed at the intersection of upper-level Illinois Street and the NBC Plaza. The underside of upper Illinois Street shall be appropriately lit, structural columns shall be covered, and other elements shall be added to create a safe, well-lit connection to Michigan Avenue.
- (i) The completion of the river edge esplanade shall be required of the developers of Parcels 14 and 16, and Parcel 18. Such public spaces shall be developed with the same quality and character of amenities as the existing esplanade adjacent to these areas. In addition, the developer of Parcel 18 shall be responsible for the development of pedestrian access to DuSable Park under Lake Shore Drive. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river esplanade. All plans for pedestrian access to DuSable Park from Parcel 18 shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any superstructure Part II Approval letters.
- (j) The developer of Parcel 19 shall develop the following public improvements indicated on Exhibit 6 Existing and Planned Open Spaces concurrently with the development of Parcel 19: a pedestrian walkway from East North Water Street to Ogden Slip and an extension of the Ogden Slip promenade to Lake Shore Drive. The pedestrian walkway from East North Water Street to Ogden Slip shall be developed with the same quality and character of amenities as the existing walkway from the river esplanade to East North Water Street. The extension of the Ogden Slip promenade shall be developed with the same quality and character of amenities as the existing promenade adjacent to it. In the event that DuSable Park is developed before Parcel 19 is developed, the owner(s) of Parcel 19 shall construct and maintain a temporary pedestrian connection along the slip. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 20 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the slip edge and on the side adjacent to Parcel 19. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development.

In addition, pedestrian access along Ogden Slip under Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 19 shall be solely responsible for the cost of improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the Ogden Slip promenade. However, if Parcel 19

should be developed before the construction of DuSable Park, then the owner(s) of Parcel 19 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) below provides otherwise.

All plans for these improvements shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any Part II Approval letters.

- (k) All improvements to be constructed within this planned development for which Part II Approval letters are issued after the March 29, 2006 date of City Council Approval of the amended planned development shall comply with the Department of Planning and Development Chicago Sustainable Development Policy in effect at the time of application for Part II Approval, and the owners shall use best and reasonable efforts to design, construct and maintain all buildings located within this planned development in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System (LEED). A dog-run shall be located within or adjacent to Subparcel E.3. As a result of the architectural design of the tower to be constructed within Subparcel E.3, a green roof is not feasible. The development of the improvements on Parcel P21C contemplated by this planned development amendment shall be LEED certified and have a green roof of approximately 2,177 square feet and a rain water collection system as described in the attached Green Roof Plan.
- (l) Pursuant to the Affordable Housing Provision of the City of Chicago Zoning Ordinance, Title 17, Chapter 17-4-1004, et seq. ("Zoning Ordinance") developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of 3.00 FAR for the Property. The developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1004D of the Zoning Ordinance, the total floor area devoted to affordable housing units must equal at least 25 percent of the total increase in floor area allowed under the Affordable Housing Bonus or a cash payment must be made to the City of Chicago Affordable Housing Opportunity Fund based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1004D, the developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago Affordable Housing Opportunity Fund in the amount of \$5,700,300.00. Prior to the issuance of permits, the developer of Parcel E.3 will enter into an Affordable Housing Agreement with the Chicago Department of Planning and Development or provide a letter of credit or other security device in an amount equal to the cash contribution. The developer of Parcel E.3 must comply with all of the applicable sections of the Affordable Housing Provision of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Affordable Housing Agreement required by Section 17-4-1004-E9 is also incorporated into this planned development.

Pursuant to the Off-Site Park and Open Space Contributions provision of the City of Chicago Zoning Ordinance, Title 17, Chapter 17-4-1018, et seq., the developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of 2.16 FAR for the Property. The developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1018-C of the Zoning Ordinance, a cash payment must be made to the City of Chicago based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1018-C, the developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago in the amount of \$4,104,216.00. Prior to the issuance of permits, the developer of Parcel E.3 will provide a letter of credit or other security device in an amount equal to the cash contribution. The developer of Parcel E.3 must comply with all of the sections of the Off-Site Park and Open Space Contributions provisions of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Off-Site Park and Open Space Contribution Agreement required by Section 17-4-1018-B3 is also incorporated into this planned development.

- (m) The developer of Parcel E.3, the City of Chicago, and the Chicago Park District shall enter into an agreement relating, in part, to the responsibility for the design, funding and construction phasing of DuSable Park, the pedestrian connections to DuSable Park and the Lakefront Trail.
- (n) The improvements contemplated for DuSable Park (Subparcel E.1) must be substantially completed by the developer of Parcel E.3 prior to the issuance of Certificate of Occupancy for any dwelling unit exceeding the three hundredth (300<sup>th</sup>) dwelling unit constructed with Subparcel E.3.
- (o) The Applicant acknowledges and agrees that the amendment of this planned development concerning development of Parcels P21B and P21C triggers the requirements of Section 2-45-110 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a "residential housing project" within the meaning of the Affordable Requirements Ordinance ("Residential Project") must: (i) develop affordable housing units as part of the Residential Project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). The Applicant further acknowledges and agrees that the amendment is subject to Section 17-4-1004-D of the Zoning Code, which also requires on-site affordable housing or payment of a fee in lieu of providing affordable housing for rezonings in DC, DX and DR districts that increase the base floor area ratio. If a planned development is subject to the requirements of both sections (2-45-110 and 17-4-1004-D), the developer may elect to satisfy the ARO requirements by complying with the affordable housing floor area bonus provided for in Section 17-4-1004. Applicant has elected to comply with Section 17-4-1004. Pursuant to Section 17-4-1004-B of the Zoning Ordinance, the Applicant has requested an increase in the floor area ratio for the Property, as set forth in the

bonus worksheet required under Section 17-4-1003-D and attached hereto as an exhibit ("Bonus Worksheet"). In accordance with the formulas set forth in Section 17-4-1004-C and the Bonus Worksheet, the Applicant acknowledges and agrees that it must provide either a minimum of at least 21,680 square feet of floor area (the "Affordable Units") in the building receiving the affordable housing floor area bonus ("Eligible Building"), with an affordable unit mix comparable to the overall mix and approved by the Department of Planning and Development prior to issuance of the first building permit, or make a cash payment in lieu of providing affordable housing in the amount of \$2,983,168 ("Cash Payment"), or \$100,000 per unit ("Pro Rata Amount"). Prior to the issuance of any building permits for the Eligible Building, including, without limitation, excavation or foundation permits, the Applicant must either make the required Cash Payment or provide a performance bond or other security in the amount of the Cash Payment ensuring construction of the Affordable Units. If the Applicant elects to construct the Affordable Units, it must also enter into an Affordable Housing Agreement with the City pursuant to Section 17-4-1004-E9 prior to the issuance of any building permits for the Eligible Building, including, without limitation, excavation or foundation permits. The terms of the Affordable Housing Agreement and any amendments thereto would be incorporated herein by this reference. The Applicant acknowledges and agrees that the Affordable Housing Agreement would be recorded against the Eligible Building and would constitute a lien against each Affordable Unit in an amount equal to the Pro Rata Amount. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. In addition to the Affordable Housing Agreement, the Applicant acknowledges and agrees that, pursuant to Section 17-4-1003-D3, the Bonus Worksheet will serve as an official record of bonuses and amenities. The Applicant must comply with the applicable affordable housing standards and requirements set forth in Section 17-4-1004, the terms of which are incorporated herein by this reference. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of the Department of Planning and Development may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the planned development.

12. Publicly dedicated improvements, including streets, sidewalks, transit and open space amenities shall be designed, constructed and maintained in accordance with the exhibits described in Statement 2 hereof and the "Cityfront Center Internal Design Standards: Section I", dated September 12, 1986.
13. The property owner(s) adjacent to the Chicago River shall develop a continuous pedestrian esplanade along the Chicago River's edge. Completion of the esplanade will occur as follows:

- (a) The east right-of-way line of McClurg Court to the west right-of-way line of Lake Shore Drive shall be improved concurrently with development of adjacent parcels south of East North Water Street (Parcels 14, 16 and 18). In the event that DuSable Park is developed before Parcel 18 is developed, the owner(s) of Parcel 18 shall construct and maintain a temporary pedestrian connection along the river. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 10 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the river's edge and on the side adjacent to the development parcel. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development; and
  - (b) The west right-of-way line of Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 18 shall be solely responsible for improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river edge esplanade. However, if Parcel 18 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 18 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) above provides otherwise.
14. Applicant, as developer of Parcels P21B and P21C (the Kraft Parcel), shall substantially renovate the existing 70,000-square foot park on Parcel P21B in accordance with the Landscape Plan, the Landscape Sections, and the Landscape Plant list. Such renovation shall be commenced no later than three (3) months following issuance of the first occupancy permit for the residential building to be constructed on Parcel P21C as permitted by this amendment, and shall be completed no later than one (1) year thereafter. The park, as renovated, shall continue to be privately owned, maintained and subject to occasional partial closure for private use but, subject to the foregoing, shall remain accessible to the public during hours in which public parks are accessible to the public. The public shall have use of the Dog Run indicated on the Landscape Plan subject to any regulations, if imposed, that conform to the protocols of the Chicago Park District for Dog Friendly Areas. The owner(s) of Parcels P21B and P21C (the Kraft Parcel) shall be responsible for the costs and performance of maintenance of the park in conformance with the Landscape Plan and the Open Space Plan. Nothing contained herein shall preclude residents or other individuals from using the park for other private uses, provided that they obtain permission from the owner(s) of the Kraft Parcel and all necessary governmental approvals and permits.

15. Traffic studies completed by developers and the City of Chicago project significant peak hour traffic volume increases on Illinois Street and Grand Avenue in particular as a result of new development. Some excess roadway capacity is available to handle this increased traffic, but a number of geometric, signal timing and parking control measures are recommended in addition to active transportation management in the Illinois-Grand corridor. Accordingly, no Part II Submittal shall be approved without a firm agreement between the developer and the Chicago Department of Transportation regarding the timing and responsibility for any recommended traffic improvements described in Exhibit 8 hereof for streets adjoining the development site. Membership and participation in the Illinois-Grand Corridor Transportation Management Association shall also be required prior to the issuance of any Part II Development Approval.
16. Prior to the issuance by the Department of Planning and Development of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II Approval") for development or redevelopment of any development parcels within the planned development, other than alterations to existing buildings which do not increase their height or alter their footprint or construction in accordance with the plans approved herein, a site plan for the proposed development, including parking areas, shall be submitted to the Zoning Administrator for approval. Review and approval of the site plan by the Zoning Administrator is intended to assure that specific development proposals conform with the general design standards in Statement 11 and to ensure coordination of public improvements described in Statements 12 through 15 at an early stage. No Part II Approval for work for which a Site Plan must be submitted to the Zoning Administrator shall be granted until the Site Plan has been approved by the Zoning Administrator. Further, all Part II Submittals shall be in compliance with the Chicago Landscape Ordinance. At least thirty (30) days prior to the filing of the developer of Parcel E.3's request for Part II Approval for the construction of the superstructure upon Subparcel E.3, the developer of Parcel E.3 Applicant shall submit a detailed Landscape Plan and Elevations for the Subparcel E.3 property to the Department of Planning and Development for review and approval.

Following approval of a Site Plan by the Zoning Administrator, the approved plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this planned development. The approved Site Plan may be changed or modified pursuant to the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

A Site Plan shall, at a minimum, provide the following information with respect to the proposed improvements:

- (1) the boundaries of the Property;
- (2) the footprint of the improvements;
- (3) location and dimensions of all loading berths;

- (4) preliminary landscaping plan prepared by a landscape architect with final landscaping plan to be approved at Part II stage;
- (5) all pedestrian circulation routes;
- (6) the location of any adjacent public improvements;
- (7) a signage plan for any building where retail or theater uses would be present above the ground level;
- (8) preliminary elevations of the improvements; and
- (9) statistical information applicable to the Property limited to the following:
  - (a) floor area and floor area ratio;
  - (b) uses to be established;
  - (c) building heights; and
  - (d) all setbacks, required and provided.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this planned development.

17. If any provision of this planned development amendment shall, to any extent, be invalid or unenforceable, the remainder of this planned development amendment shall not be affected thereby, and each provision of the planned development amendment shall be valid and enforceable to the fullest extent of the law.
18. The terms, conditions and exhibits of this planned development ordinance or of an approved Site Plan may be modified administratively by the Zoning Administrator upon the request of the Applicant and after a determination by the Zoning Administrator that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in the planned development and the purposes underlying the provisions hereof. Any such modification shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
19. It is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvement on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

20. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. All improvements to be constructed within this planned development for which Part II Approval letters are issued after the March 29, 2006 date of the City Council approval of the amended planned development shall comply with the Department of Planning and Development Chicago Sustainable Development Policy in effect at the time of application for Part II Approval. The owners of all such improvements shall use best and reasonable efforts to design, construct and maintain all buildings located within the planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development. The development of the improvements on Parcel P21C contemplated by this planned development amendment shall be LEED certified and have a green roof of approximately 2,177 square feet and a rain water collection system as described in the attached Green Roof Plan.
21. Unless substantial construction of the improvements contemplated within Subparcel E.3 has commenced within six years following adoption of this planned development on July 9, 2008, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcel E.3 and the zoning of Subparcel E.3 of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on March 29, 2006. Unless substantial construction of the improvements contemplated within Subparcels 7 and 7A has commenced within six years following adoption of this planned development on May 6, 2012, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcels 7 and 7A and the zoning of Subparcels 7 and 7A of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on July 9, 2008. Unless substantial construction of the improvements contemplated within Parcels P21B and P21C (the Kraft Parcel) has commenced within three (3) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Parcels P21B and P21C (the Kraft Parcel) and the zoning of Parcels P21B and P21C (the Kraft Parcel) shall automatically revert to Residential-Business Planned Development Number 368, as amended on May 6, 2012.

[Exhibits 2, 3, 4, 5, 6, 7, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22 and 23; View Corridor Program; Overall Site Plan; Street Plans; Wayfinding Plans; Terrace Level Plan; Landscape Plans; Plant List and Landscape Details; Green Roof Plan; Building Elevations; Plan and Elevations with Lighting Concept; Site Plan; Ground Floor, Rec Deck Level+44 and Green Roof Plans; and Application for Zoning Bonus Review referred to in these Plan of Development Statements printed on pages 102131 through 102182 of this *Journal*.]

Exhibit 1 -- Bulk Regulation and Data Table and Exhibit 8 -- Recommended Traffic Improvements referred to in these Plan of Development Statements read as follows:

*Exhibit 1.*  
(To Plan Of Development Statements)

*Bulk Regulations And Data Table.*

Subarea	Net Site Area See Note (1) Square Feet Acres	Maximum Retail Square Feet (1000s)	Maximum Commercial Square Feet (1000s)	Maximum Hotel Rooms	Maximum Dwelling Units	Maximum F.A.R.
A	<u>380,796</u> 8.74	5.40 See Note (5)	5,259	1,800	Permitted See Notes (2) & (3)	13.81 See Note (6)
B See Note (11)	<u>183,449</u> 4.21	40	2,482	1,606	671 See Note (8)	13.53 See Note (7)
C	<u>122,303</u> 2.81	140	850	540	630	12.72
D	<u>361,234</u> 8.29	170	500	0	2,350	8.60
E	<u>346,038</u> 7.94	110 See Note (9)	5 See Note (4)	0	1,200	6.83
E.1	<u>232,841</u> 5.34	0	5 See Note (4)	Not Permitted	Not Permitted	0.02
E.2	18,191.63 0.42	0	0	0	0	0
E.3	95,005 2.18	110 See Note (9)	0	0	1,200	25,000 See Note (10)
F See Note (12)	167,104 3.83	150	0	0	1,118	11.57
Total	1,560,904 35.83	1,040	9,096	3,946	5,969 See Note (2)	10.84

Gross Site Area = Net Site Area: 1,560,904 square feet (35.83 acres) plus area in or proposed to be in public right-of-way: 940,843 square feet (21.60 acres) plus area in or proposed to be in public parks or open space: 302,531 square feet (6.94 acres) = 2,804,226 square feet (64.38 acres).

Off-Street Parking	Minimum	Maximum
Business Uses	1:5,000 square feet	As determined by DHED in consultation with CDOT
Hotel Uses	1:4 Rooms	
Residential Uses	55% dwelling units	
Non-accessory Parking (Allowed in Subarea F only)	200 spaces	600 spaces
Off-Street Loading:	Per DX12 requirements	
Minimum Peripheral Setbacks:	Sufficient to allow for street trees and pedestrian walkways (minimum 12 feet, 6 inches from building to curb face)	
Minimum Upper Level Setbacks:	40 feet from Lake Shore Drive at level of Upper Lake Shore Drive	
Note (1):	For the purpose of this Planned Development Net Site Area shall equal the entire land area (at Plaza Level where such is established, and otherwise at grade) within the boundaries of the planned development, less the area now dedicated or proposed to be dedicated to public use.	
Note (2):	Dwelling units shall be permitted in Subarea A of this planned development subject to the provisions of the DX-16 Downtown Mixed-Use district classification. Any such units so built will not affect the total of 5,654 dwelling units permitted in Subareas B, C, D, E and F. Dwelling units are permitted below the second floor in all subareas except Subarea E.	
Note (3):	For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units. This permissible number of hotel rooms within the planned development shall not exceed 3,946 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses.	
Note (4):	Although Subarea E (DuSable Park) has been dedicated to public park uses, it is included in Net Site Area because a maximum of 5,000 square feet of park and recreation-related floor area may be constructed within its boundaries.	

Note (5): Assumes 410,000 square feet allocated to development Parcels 4 and 5 and the remaining 130,000 square feet allocated to remaining development parcels within Subarea A.

Note (6): Assumes floor area allocated to existing buildings as follows: 401 North Michigan Avenue (760,241 square feet), University of Chicago Gleacher Center (240,000 square feet), NBC Tower (912,000 square feet); and, to future development as follows: Parcel 1 (776,250 square feet); Parcel 3 (970,000 square feet) and Parcels 4/5 (1,600,000 square feet).

Note (7): Assumes floor area allocated to existing Sheraton Hotel at 860,379 square feet and 497,634 square feet allocated to Parcel 8 pursuant to a Part II Approval dated August 19, 2008 and 847,290 square feet allocated, via the May 24, 2012 amendment to Parcels 7 and 7A.

Note (8): For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units above 400. The permissible number of hotel rooms within the planned development shall not exceed 3,946 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses. Accessory hotel uses on Parcels 7, 7A and 8 combined shall not exceed 50,000 square feet.

Note (9): Residential support services, physical fitness/indoor recreation center, and small venue theater (for building residents only) are expressly permitted in Subarea E.3.

Note (10): FAR Bonus Calculations

Subarea E.3 (Parcels 18 and 19, combined)

Net Site Area = 95,005 square feet

Base FAR	10.00
Downtown Affordable Housing Zoning Bonus	3.00 (a)
Offsite contribution to DuSable Park	2.16 (b)
Public Plazas	5.44 (c)
Chicago Riverwalk	0.40 (d)
Water Features	1.00 (e)
Underground Parking and Loading	<u>3.00 (f)</u>
Total FAR:	25.00

- a) Based on a contribution of \$5,700,300.00 to the City of Chicago Affordable Housing Opportunity Fund.
- b) Based on a contribution of \$4,104,216.00 to City of Chicago for Off-Site Park Improvements (to DuSable Park).
- c) Based on the provision of 51,730 square feet of on-site public plaza.
- d) Based on the provision of improvements to 3,800 square feet at off-site open spaces.
- e) Based on the provision of 48,669 square feet of water features in on-site public open spaces.
- f) Based on the provision of 171 underground parking spaces on Lower Levels 1 and 2, at least 265 underground parking spaces on Lower Level 3 and lower, and 7 underground loading docks on lower level.

Note (11): Bulk Regulations and Data Table Subarea B (Parcels 7 and 7A) Net Site Area = 68,385 square feet

Maximum Floor Area Ratio (FAR):	12.39
Maximum Percentage of Land Coverage:	Per Site Plans
Maximum Number of Dwelling Units:	398
Maximum Number of Hotel Keys:	400
Maximum Number of Off-Street Parking Spaces (Residential):	219
Maximum Number of Off-Street Parking Spaces (Hotel):	11
Minimum Number of Bike Parking Spaces:	50
Minimum Periphery Setbacks:	Per Site Plans
Maximum Building Height:	590 feet (plus 45 feet for mechanical penthouse, roof mechanical units, roof access stairs, architectural elements and similar appurtenances)

Minimum Number of Off-Street Loading Berths, Residential:	2 (10 feet by 25 feet) spaces
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Minimum Number of Off-Street Loading Berths, Hotel:	2 (10 feet by 25 feet) spaces
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Note (12): Bulk Regulations and Data Table

Subarea F Net Site Area:	167,104 square feet (overall)
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Maximum Floor Area Ratio (FAR):	11.57 (overall Subarea F after Floor Area Bonuses)
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Base FAR:	8.98 (overall Subarea F; see note (a) below)
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Affordable Housing Bonus:	0.52 (See note (b) below)
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Underground Parking Bonus:	1.00 (See note (c) below)
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Plaza/Pocket Park Bonus:	1.07 (See note (d) below)
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Total FAR:	11.57
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For Parcel P21C:

Maximum Number of Dwelling Units:	350
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Minimum Number of Accessory Parking Spaces:	296
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Minimum Number of Bike Parking Spaces:	50
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Minimum Periphery Setbacks and Site Coverage:	Per Site Plan
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Maximum Building Height:	785 feet
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Minimum Number of Off-Street Loading Berths:	3 (10 feet by 25 feet)
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- a) Base FAR of 8.98 results from an increase in net site area from 100,456 square feet to 167,104 square feet for the inclusion of Parcel P21B into the net site area by this amendment and a commensurate reduction of FAR from 14.93.
- b) 86,720 square feet bonus floor area based on a contribution of \$2,983,168 to the City of Chicago Housing Opportunity Fund as set forth in Statement 11(o).
- c) 167,208 square feet bonus floor area based on 120 underground parking spaces on Levels -1 and -2 and 176 underground parking spaces on Levels -3 and -4.
- d) 179,670 square feet bonus floor area based on providing or reconstructing 20,008 square feet of plaza/pocket park area on Parcel P21B in accordance with the Pocket Park Bonus Landscape Plan.

*Exhibit 8.*

(To Plan Of Development Statements)

*Recommended Traffic Improvements.*

The following is a summary prepared by the Chicago Department of Transportation of the traffic impacts and proposed mitigation efforts for the River East, Grand Pier and North Bridge developments along the Illinois-Grand corridor, as described in traffic studies prepared by traffic consultants for the developers and the City (KLOA and Barlon-Aschman, respectively):

General Impacts:

The three developments will generate roughly 3,000 trips (1,600 inbound and 1,400 outbound) during the PM peak hour. About 1,350 trips (750 inbound, 600 outbound) will be generated during AM peak hour.

There will be traffic volume increases on Illinois and Grand, between State Street and Lake Shore Drive, of roughly 500 to 700 vehicles per hour during the PM peak hour. During the AM peak hour, traffic volume will increase on Illinois and Grand by roughly 200 to 300 vehicles per hour. Existing peak volumes on Illinois and Grand range between 1,000 and 1,500 vehicles per hour; with these developments, volumes would range between 1,500 and 2,000 vehicles per hour.

Some excess capacity is available to handle this increased demand, but a number of geometric, signal timing, and parking control measures are recommended to further accommodate this increase in traffic.

#### Geometric And Signal Operations Improvements:

In order to increase overall intersection capacity and address heavy traffic circulation demand, it is proposed to widen McClurg Court between Illinois and Grand to provide double left turn lanes northbound at Grand and southbound at Illinois. McClurg would be further widened on the west side to provide a drop-off lane at the proposed residential building.

It is also proposed to widen McClurg between Ohio and Grand to provide separate southbound right turn and through traffic lanes, and to provide a smoother northbound alignment through the Grand Avenue intersection. The right-of-way for this widening would need to be obtained from the adjacent property owners.

The traffic signals at McClurg-Grand and at McClurg-Illinois would be modified to accommodate the street widening and to provide left turn arrow signal indications for northbound traffic at Grand and southbound traffic at Illinois.

On Grand Avenue at State Street, the CTA subway entrances at the northeast and northwest corners will be relocated out of the Grand Avenue right-of-way. This will allow the widening of Grand Avenue at this intersection to provide four westbound lanes compared with the three lanes currently available at this "bottleneck" location.

Restriping of various street segments is proposed in an effort to make more efficient use of pavement space and increase traffic capacity. Striping of left turn lanes, where appropriate, would be done on State, Wabash, and Rush at their intersections with Illinois, Grand, Ohio, and Ontario. Illinois would be restriped at Columbus to provide three through lanes, and separate left turn and right turn lanes.

#### Parking Controls:

Metered on-street parking generally will need to be eliminated on Illinois and Grand, from State Street to Lake Shore Drive in order to provide additional traffic capacity or to make the curb lane available for various pickup/dropoff activities. Sufficient off-street parking, provided as part of these developments, is intended to satisfy the demand for parking in the corridor.

It is proposed to eliminate parking on Illinois Street, from State Street to Michigan Avenue in order to provide three eastbound traffic lanes, compared with the two existing lanes. This increase in traffic capacity is needed to handle the increased demand on this segment of Illinois Street.

It is proposed to eliminate parking on the south side of Grand Avenue east of Columbus Drive to provide a separate left turn lane on Grand Avenue at the approach to the Columbus Drive signal. This would increase the through traffic capacity by removing the turning movements from the adjacent through traffic lane.

Parking would also be eliminated on both sides of Grand Avenue east of McClurg Court, in order to provide separate left turn and right turn lanes on the approach to the traffic signal. Again, traffic capacity would be increased by segregating the through and turning traffic movements.

The elimination of parking is also proposed on the south side of Ontario Street at Fairbanks Court in order to provide a westbound left turn lane on Ontario Street. The striping of an optional through-left lane was also recommended as a further capacity improvement, although conflicts between turning vehicles and pedestrians in the south crosswalk will require further analysis.

#### Transportation Management:

Active traffic management in the corridor will be undertaken by the Transportation Management Association which has been established. The Transportation Management Association will meet to exchange information on traffic operations needs and problems, changing development conditions, construction activities, special events, and other factors which may affect transportation in the corridor. Various City agencies, including Chicago Department of Transportation, Planning, Police, Streets and Sanitation, and the CTA, will coordinate efforts with corridor property managers to address evolving transportation demands.

Strict enforcement of existing and proposed parking restrictions will be necessary to ensure that street space needed for traffic capacity is available. Of particular concern is the need to keep Illinois Street clear, east of Columbus Drive; Grand Avenue, west of Michigan Avenue; Ohio Street, west of Michigan Avenue; and Ontario Street, west of St. Clair Street.

Improved public transit service as appropriate to serve the needs of the corridor will be developed. Chicago Department of Transportation and the Transportation Management Association will be reviewing service needs and developing strategies for best providing public transportation, whether through modifications of CTA service or additional shuttle bus operations.

#### Site Specific Improvements:

##### Parcels 4 And 5:

The proposed lower level loading dock layout requires a number of traffic control measures in order to mitigate the potential effect on Illinois Street traffic. These measures include prohibition of on-street loading, provision of a dock master during loading dock hours, limitation on loading dock hours to prohibit backing maneuvers between 7:00 A.M. and 9:00 A.M. and between 4:00 P.M. and 7:00 P.M., Monday through Friday, and implementation of loading dock control as part of an overall Traffic Management Plan to be implemented by the Illinois-Grand Corridor Transportation Management Association.

Parcels P7, P7A And P8:

There should be no curb cuts on Illinois Street. Curb cuts providing access to loading docks should be located only on Lower North Water Street or New Street.

Parcels P9 And P13:

The increase in hotel development along Columbus Drive between Grand Avenue and Illinois Street and along Park Drive between Illinois and North Water Streets will concentrate taxi and other traffic movement in this area. Signing and striping is needed to prevent traffic from driving across Illinois Street in order to access Park Drive rather than turning left onto eastbound Illinois Street. Vaulted sidewalks are also indicated in the public way on both Grand Avenue and Illinois Street. Although vaulted sidewalks are not generally recommended, they are acceptable in this instance to allow for the placement of parking underground.

Parcels P14 And P16:

The vacation of River Drive east of McClurg Court may result in hundreds of residential units being accessed from a single cul-de-sac street, North Water Street east of McClurg Court. The sewer on North Water Street is seven to eight feet below the pavement, and its reconstruction at some time in the future, or any other significant utility maintenance, could severely restrict access to these residences. Widening of North Water Street to 44 feet from its existing 40-foot width is recommended in order to provide more flexibility to maintain two-way traffic in the event of any future construction activities.

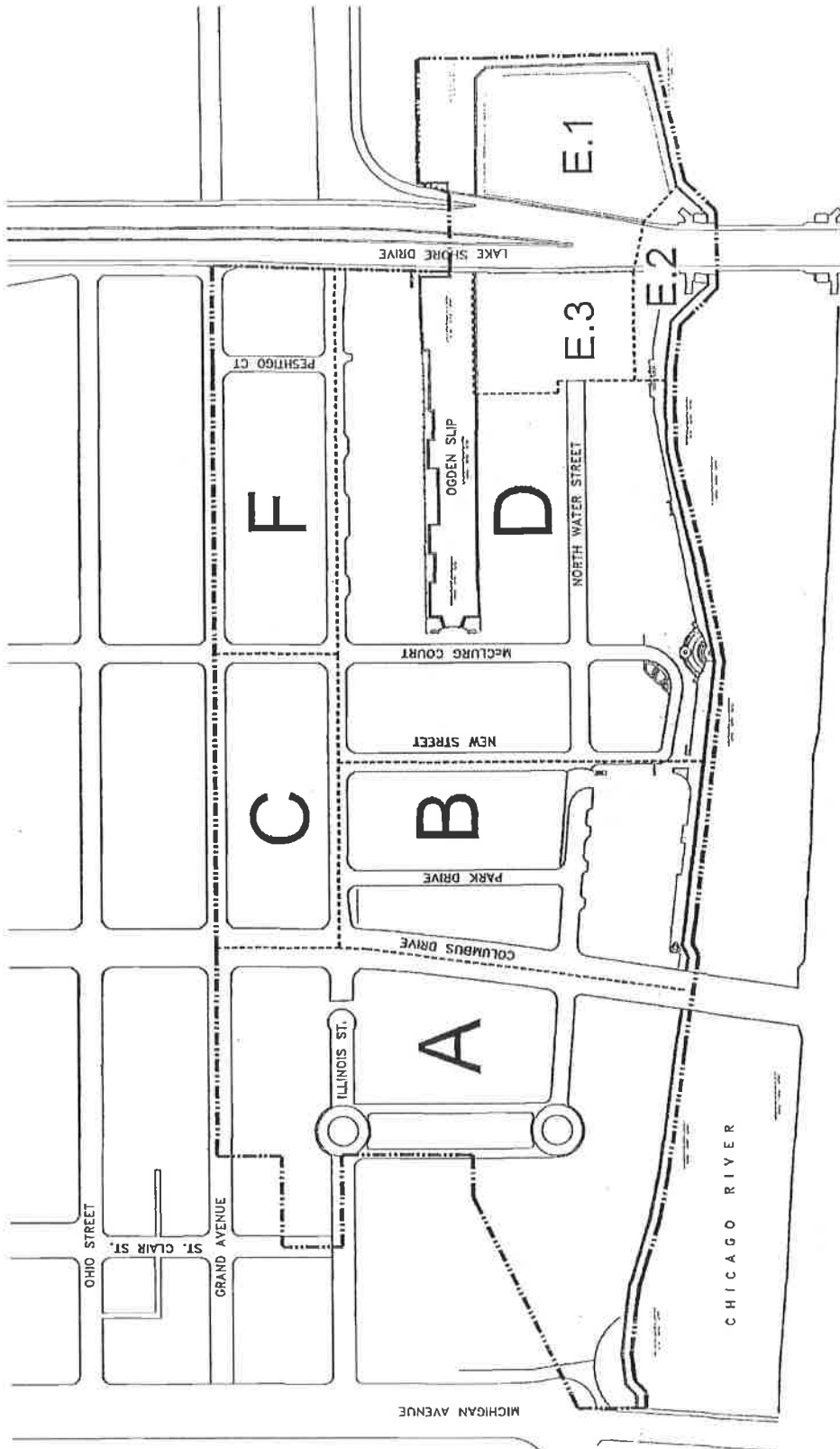
The Kraft Building Site:

There is no objection to vacating Peshtigo Court in the future. If Peshtigo Court is eliminated and another north/south street is added, its location must be checked with respect to the location of the drop-off lanes on Illinois Street at North Pier terminal. If Peshtigo Court is retained, adding another north/south street between Peshtigo Court and McClurg Court is not recommended.

Parcels P18 And P19:

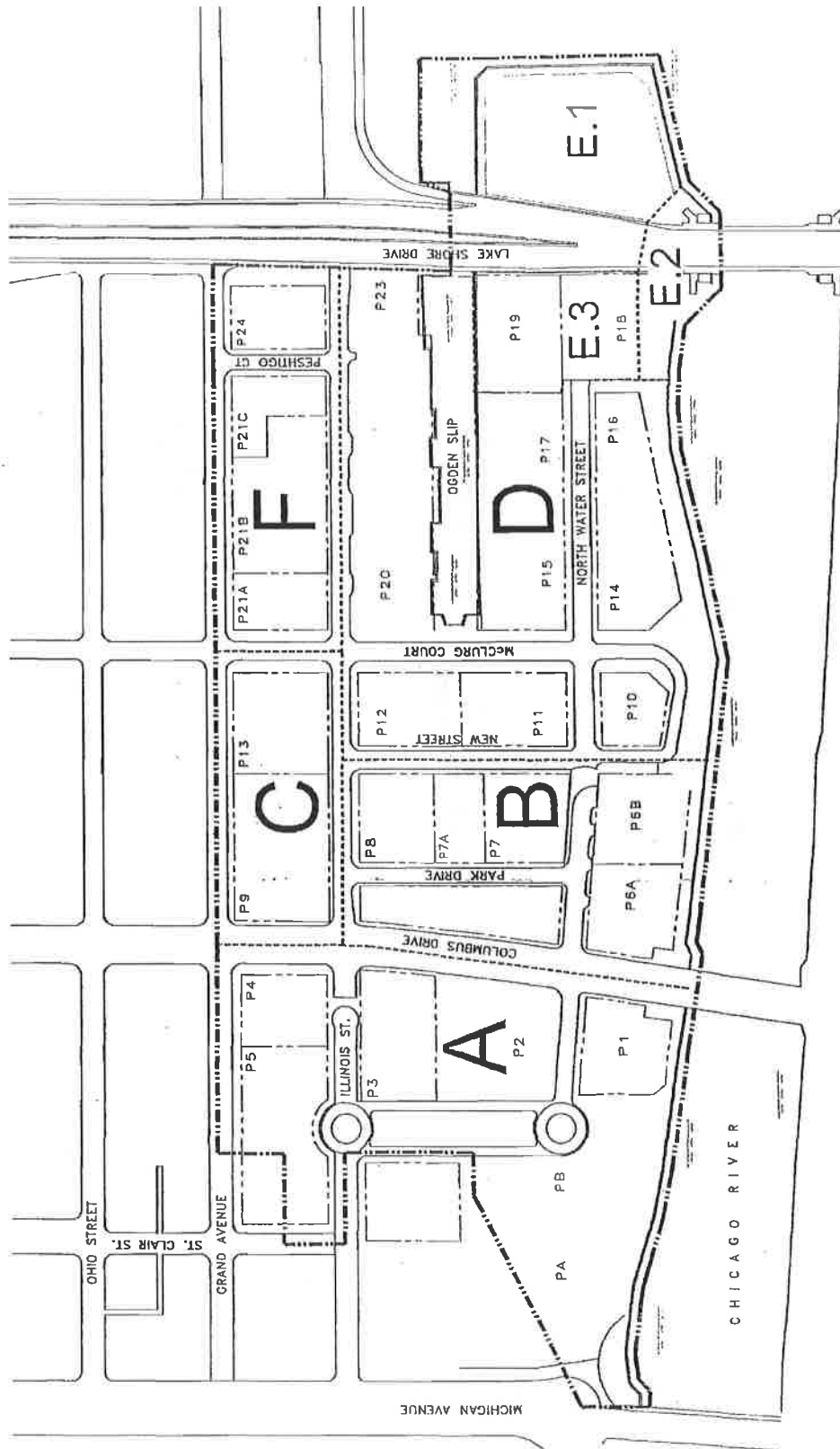
Although it is physically feasible to add signalized access to these sites from intermediate level Lake Shore Drive, access from this roadway is not recommended. Also, the ADA accessibility of any pedestrian bridge built across Ogden Slip should be reviewed.





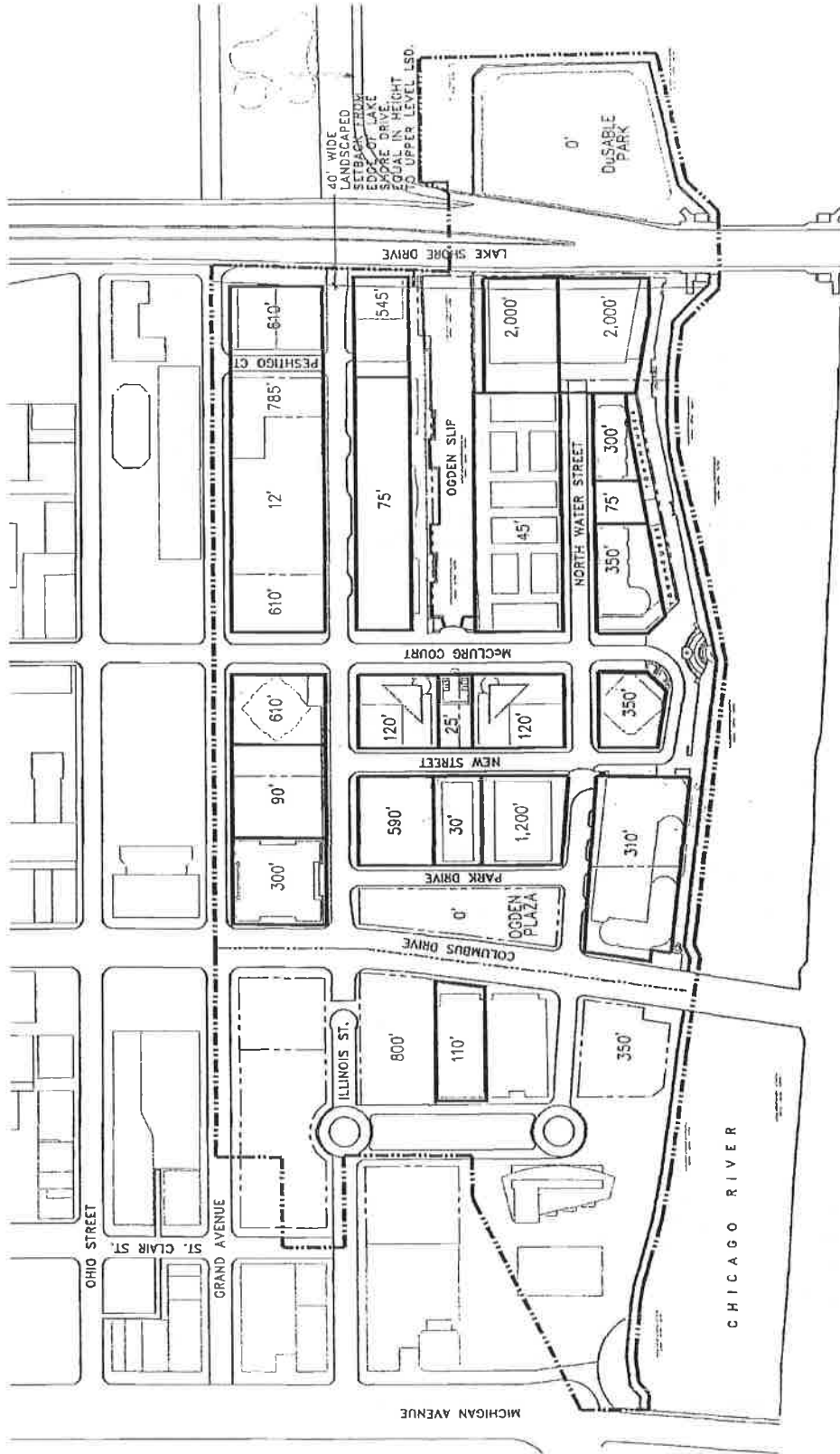
**EXHIBIT 3**  
**PD BOUNDARY & SUB AREA MAP**  
 SCALE: NTS

Applicant: R/VW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD



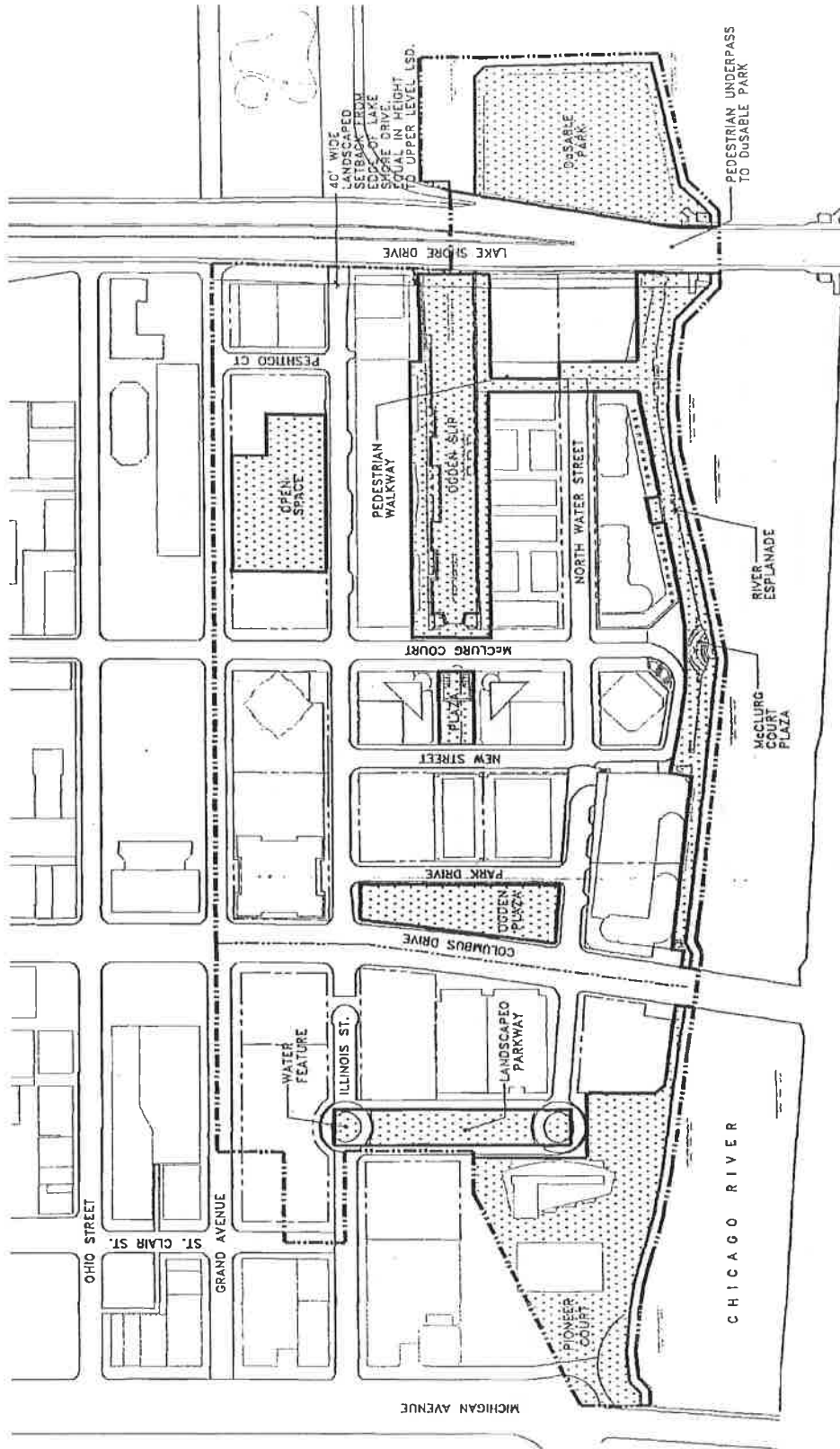
**EXHIBIT 4**  
**PD PARCELS MAP**  
 SCALE: NTS

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD



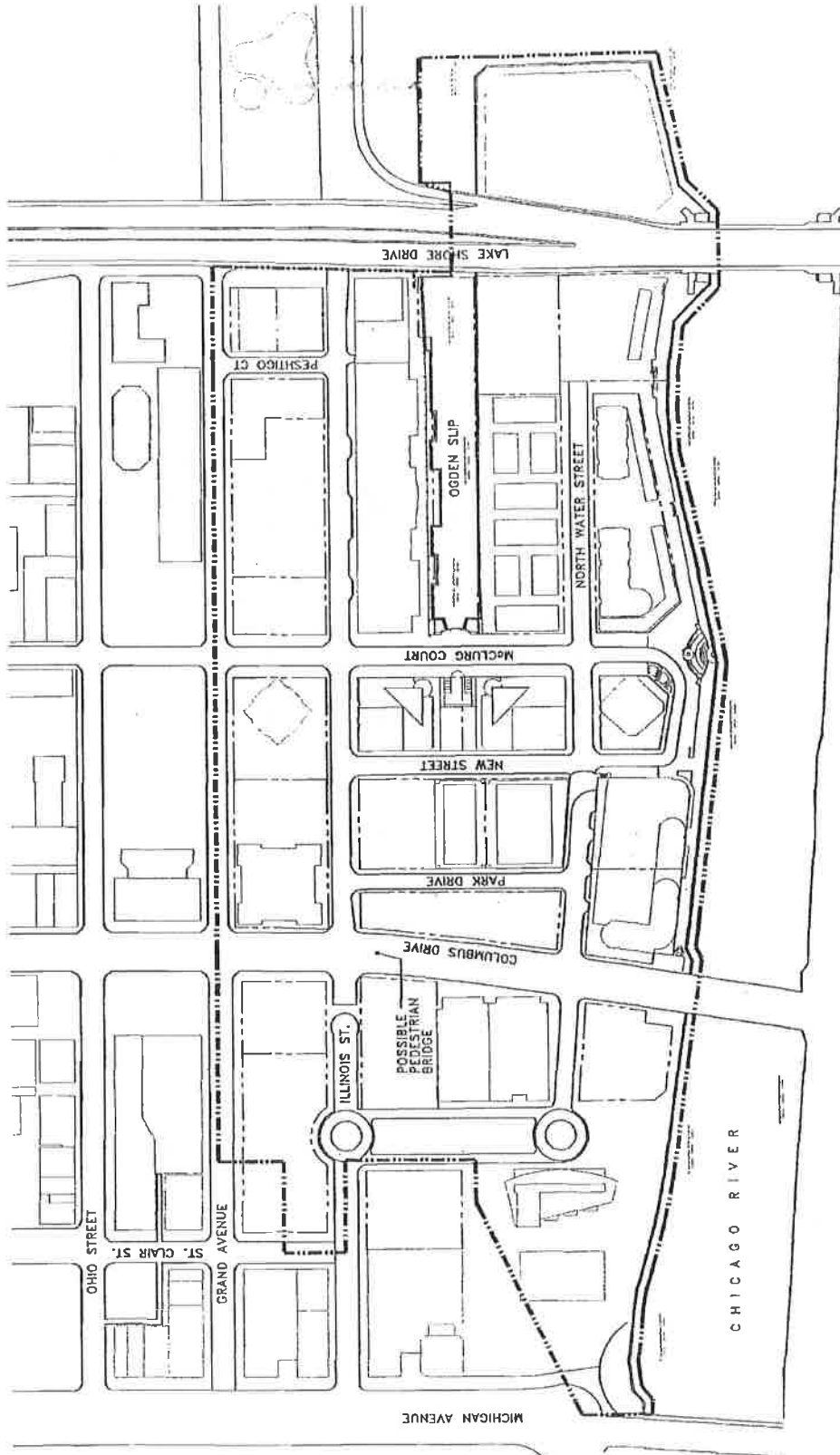
**EXHIBIT 5**  
**MAXIMUM HEIGHT ZONES**  
 SCALE: NTS

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD



**EXHIBIT 6**  
**EXISTING AND PLANNED OPEN SPACES**  
 SCALE: NTS

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago, IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD



**EXHIBIT 7**  
**PATTERN OF VEHICULAR ROADWAYS**  
SCALE: NTS

Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September, 10, 2014  
Plan Commission: TBD



CHICAGO SPIRE  
CHICAGO, USA



SANTIAGO CALATRAVA

PERKINS  
+ WILL

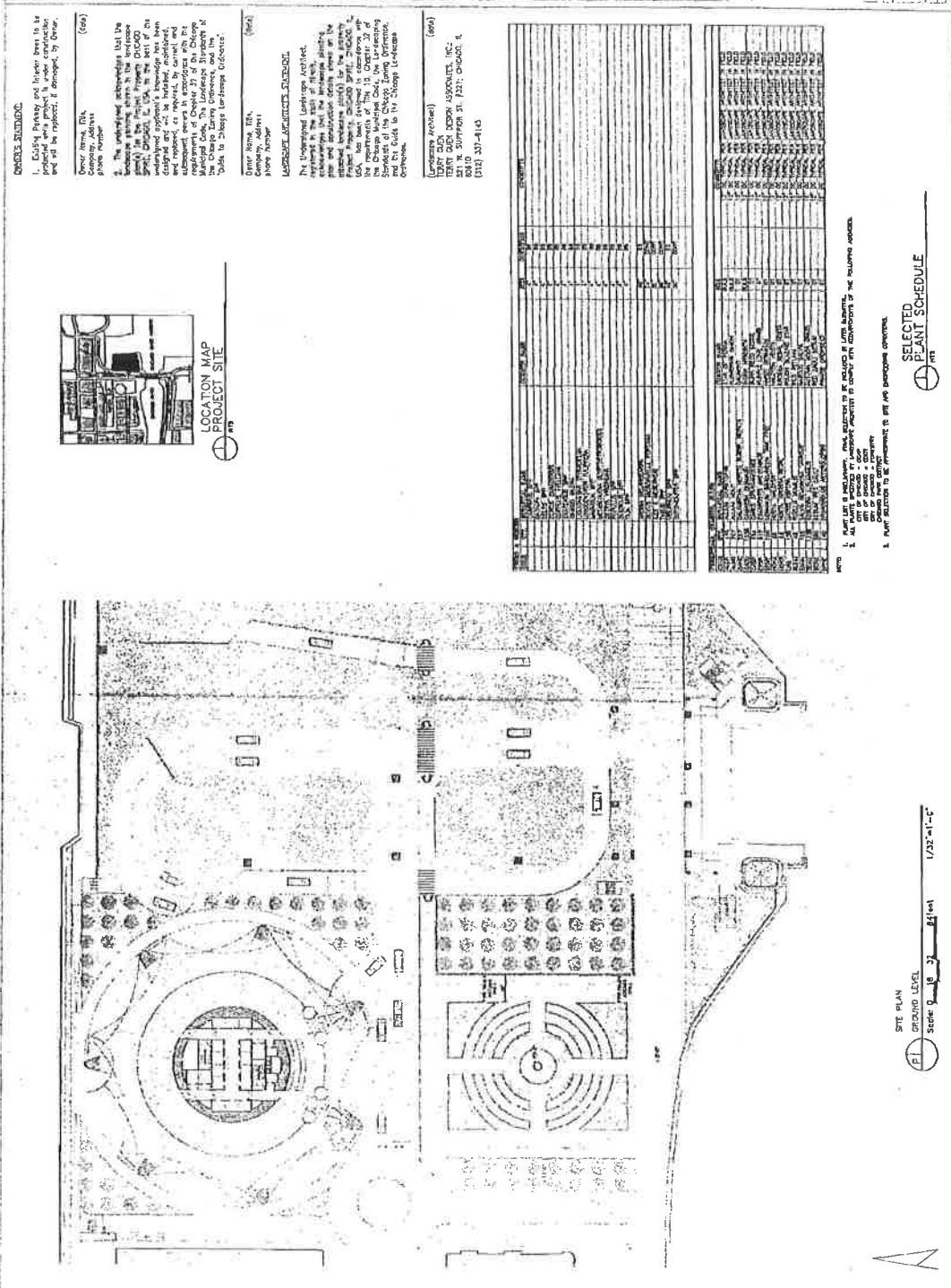
Thorsten Tomasetti

Thorsten Tomasetti

Thorsten Tomasetti

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007

SITE LANDSCAPE PLAN  
EXHIBIT # 9



LOCATION MAP  
PROJECT SITE

**DESIGNS SUBMITTED**

1. Existing Parking and Access Areas to be protected until project is under construction and will be replaced, if damaged, by Owner.

(060)

Owner Name: SHL  
Company: Shelbourne  
Project Address:  
Phone Number:

2. The undersigned acknowledges that the design is the property of the undersigned and that the undersigned shall retain all rights in the design, including the right to use the design in any other project. The undersigned shall be held harmless for any and all claims, damages, and expenses, including reasonable attorneys' fees, that may be incurred by the undersigned as a result of the design. The undersigned shall be held harmless for any and all claims, damages, and expenses, including reasonable attorneys' fees, that may be incurred by the undersigned as a result of the design.

(060)

Owner Name: SHL  
Company: Shelbourne  
Project Address:  
Phone Number:

**LANDSCAPE ARCHITECT'S CERTIFICATE**

The undersigned Landscape Architect, THORSTEN TOMASETTI, has reviewed the site plan and construction details shown on the drawings and finds them to be in accordance with the requirements of the City of Chicago, Illinois, and the requirements of the Chicago Municipal Code, the Landscape Site Plan Ordinance, and the Chicago Landmarks Ordinance.

(060)

(Landscape Architect)

THORSTEN TOMASETTI, INC.  
251 N. SUPERIOR ST. 1207, CHICAGO, IL  
(312) 307-4100

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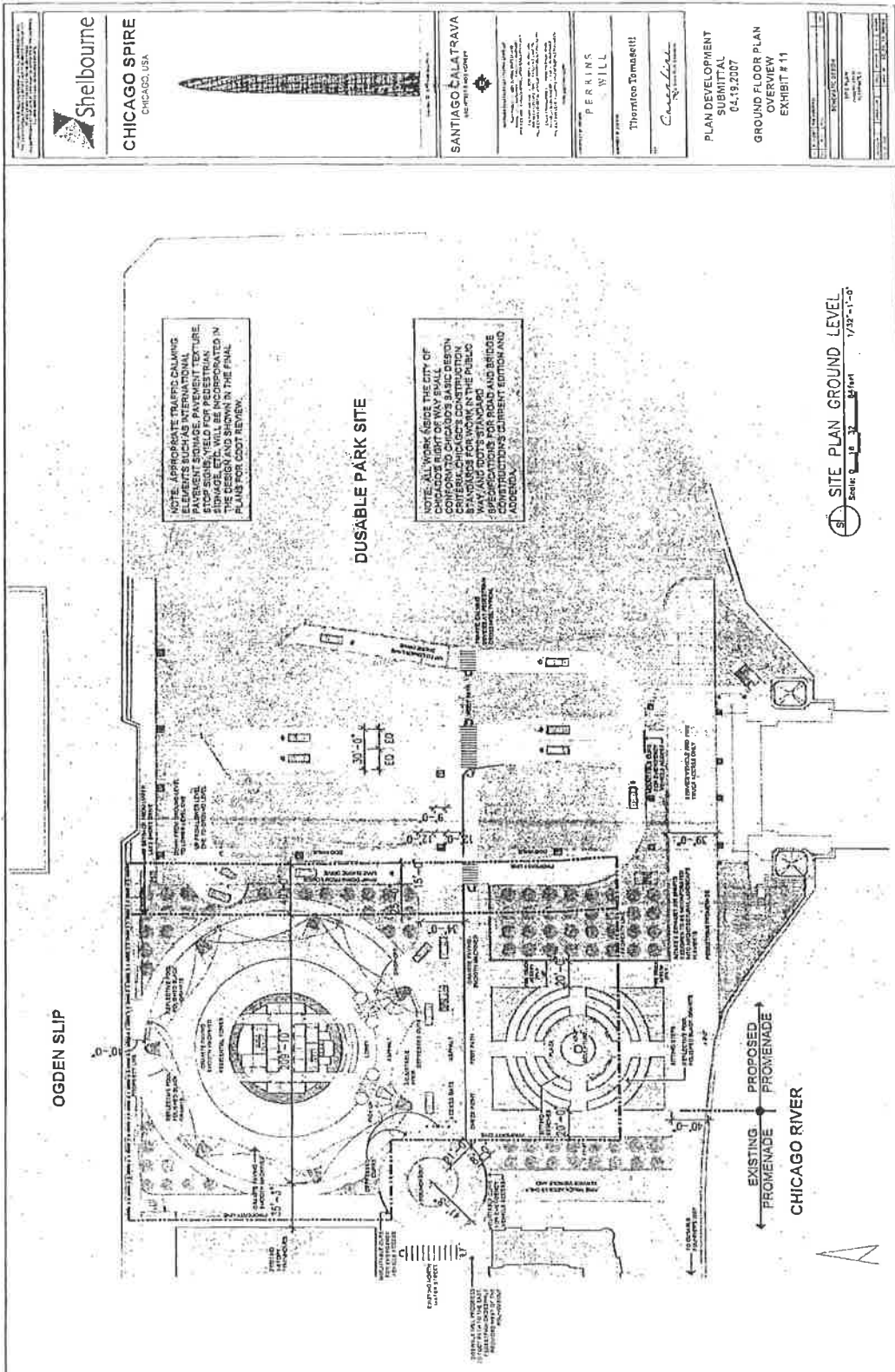
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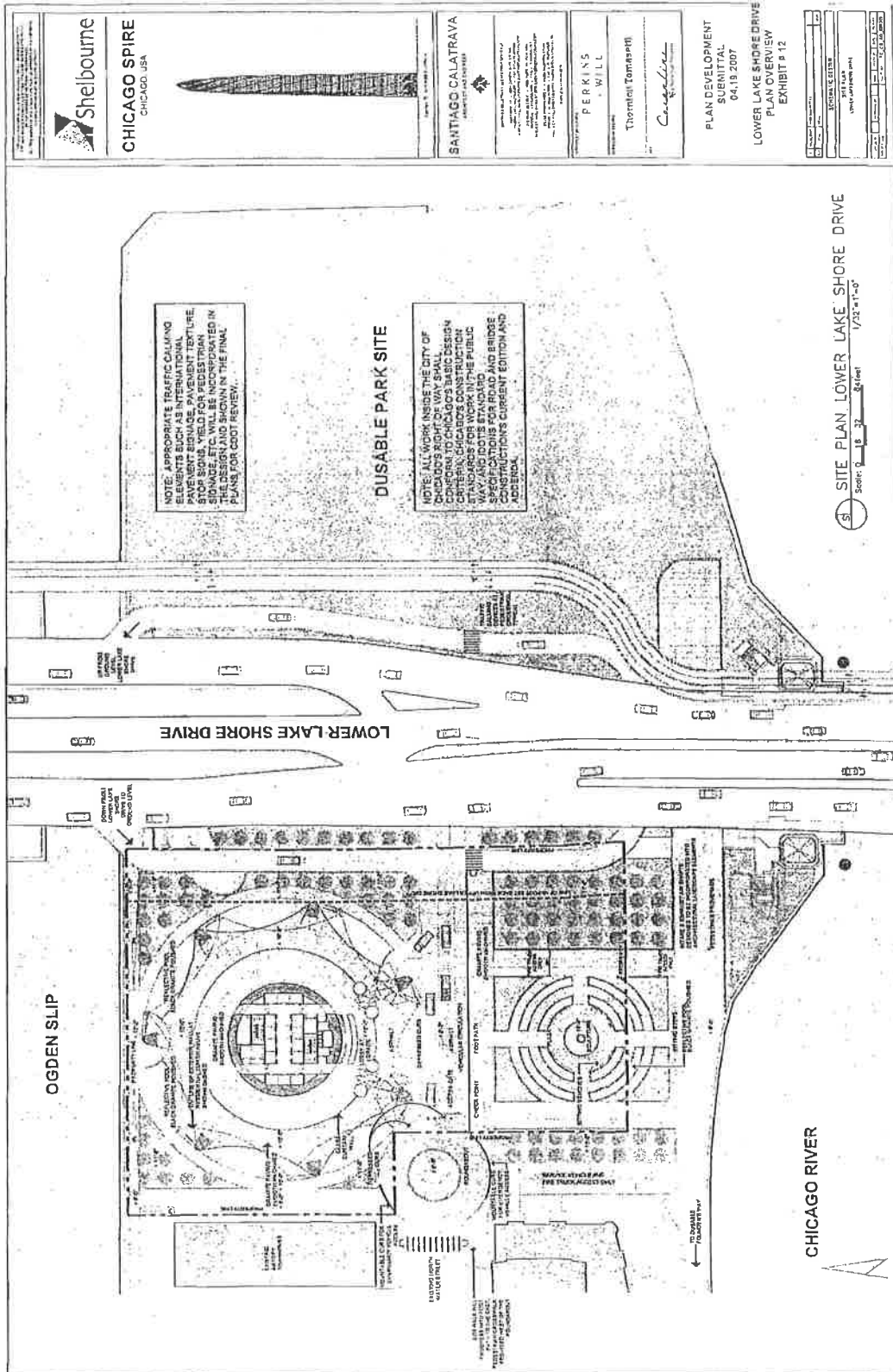
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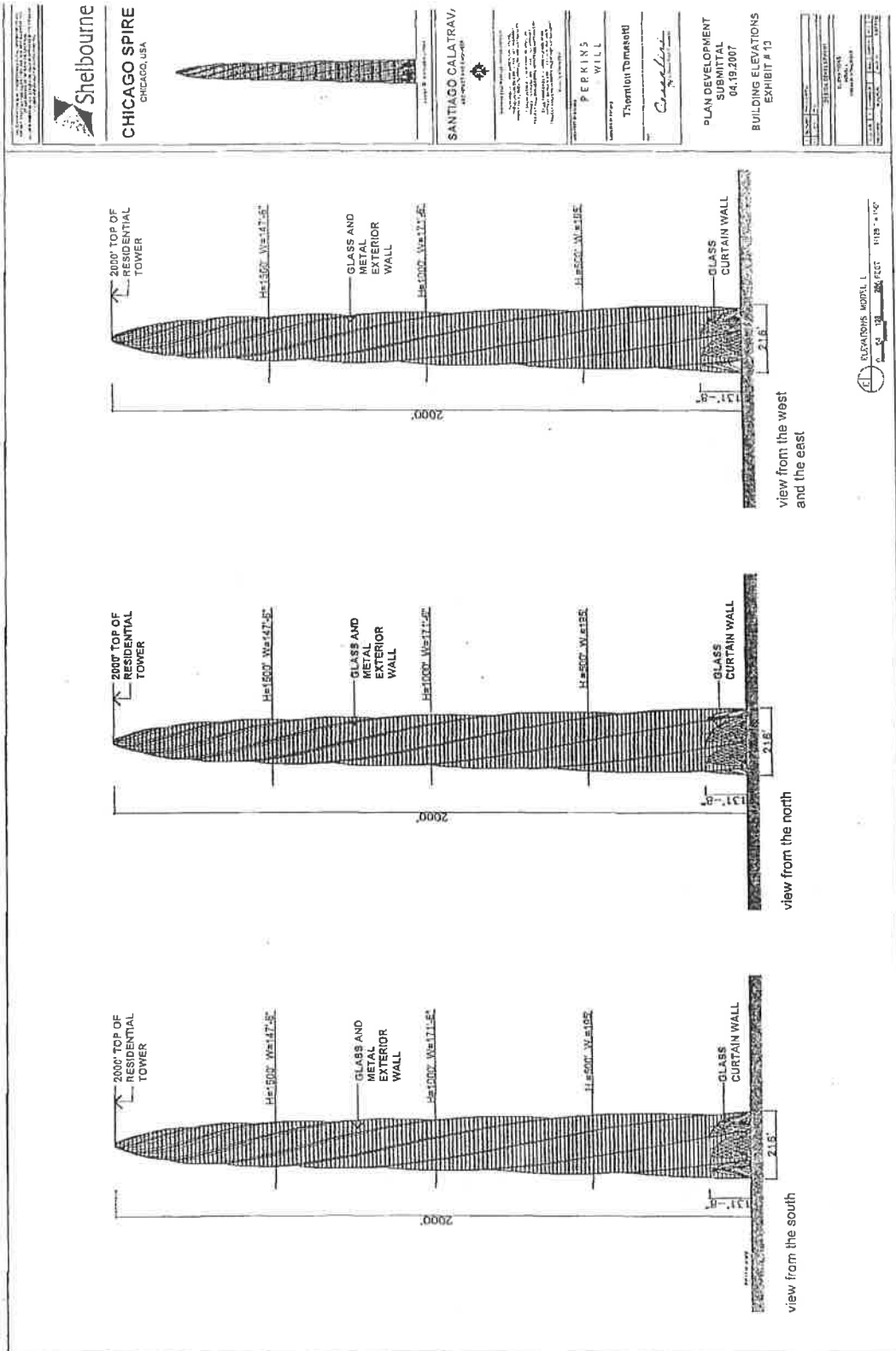
SELECTED  
PLANT SCHEDULE

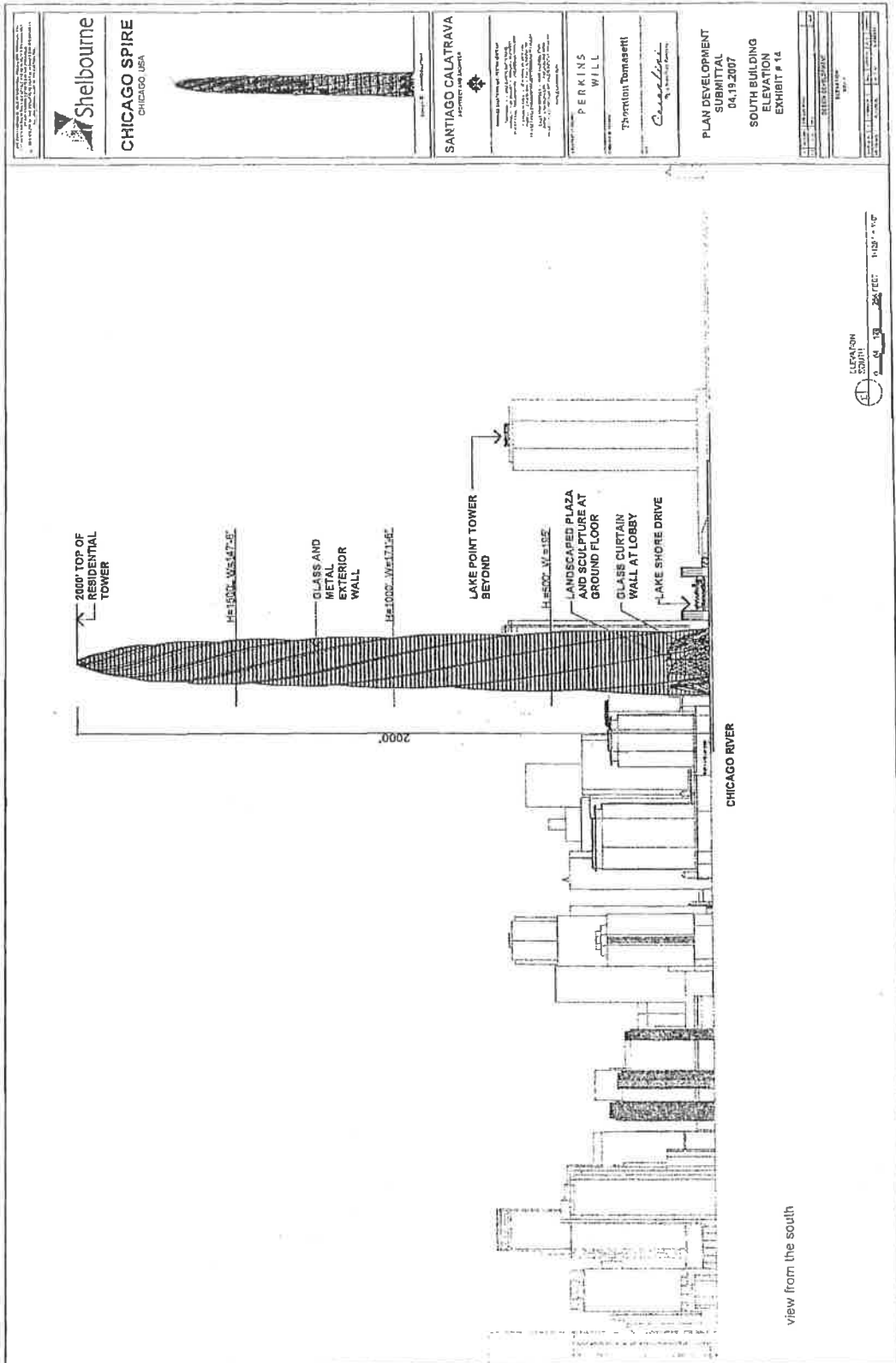
SITE PLAN  
GROUND LEVEL  
Scale: 1/8" = 1'-0"  
1/32" = 1'-0"

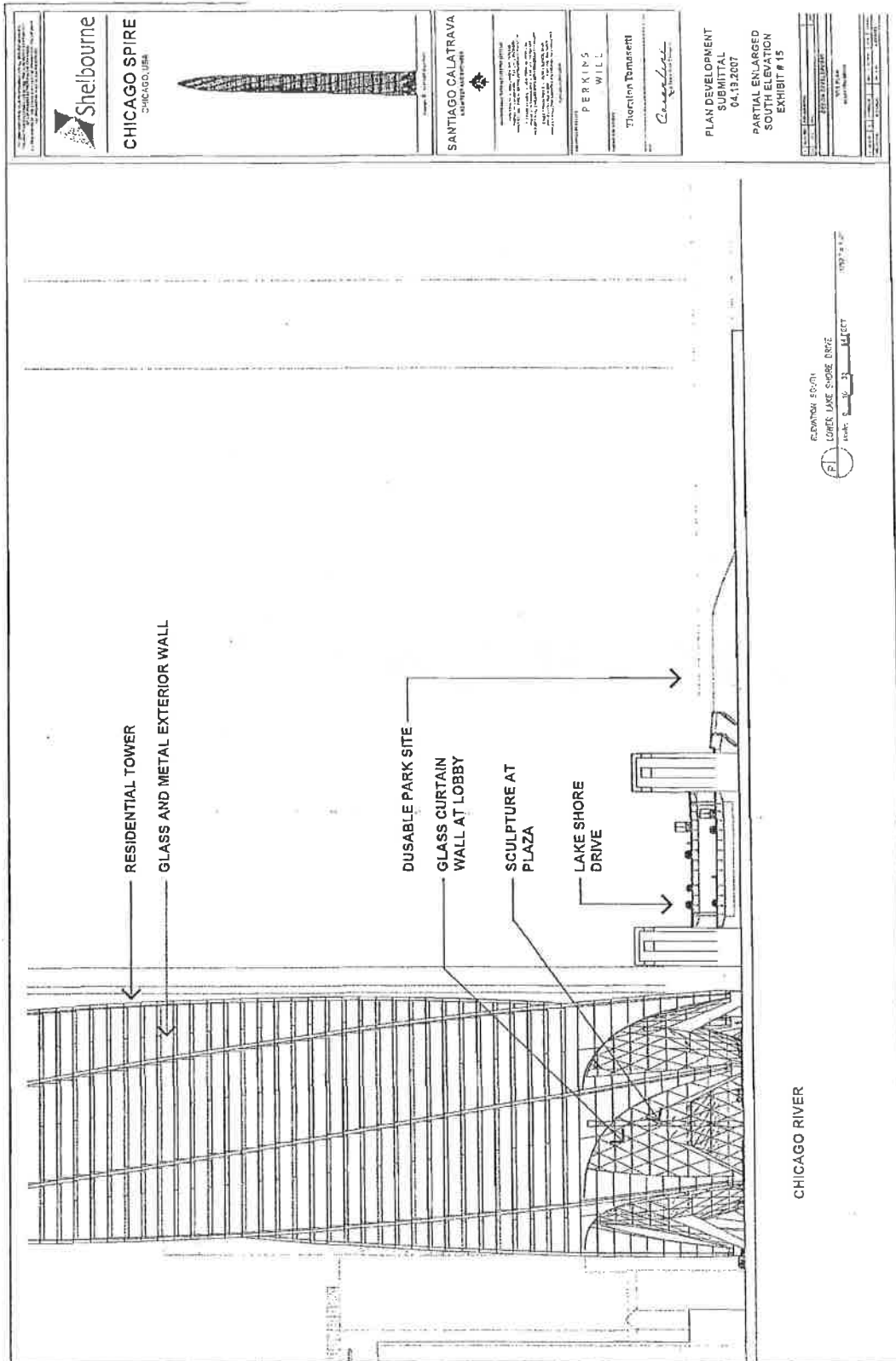


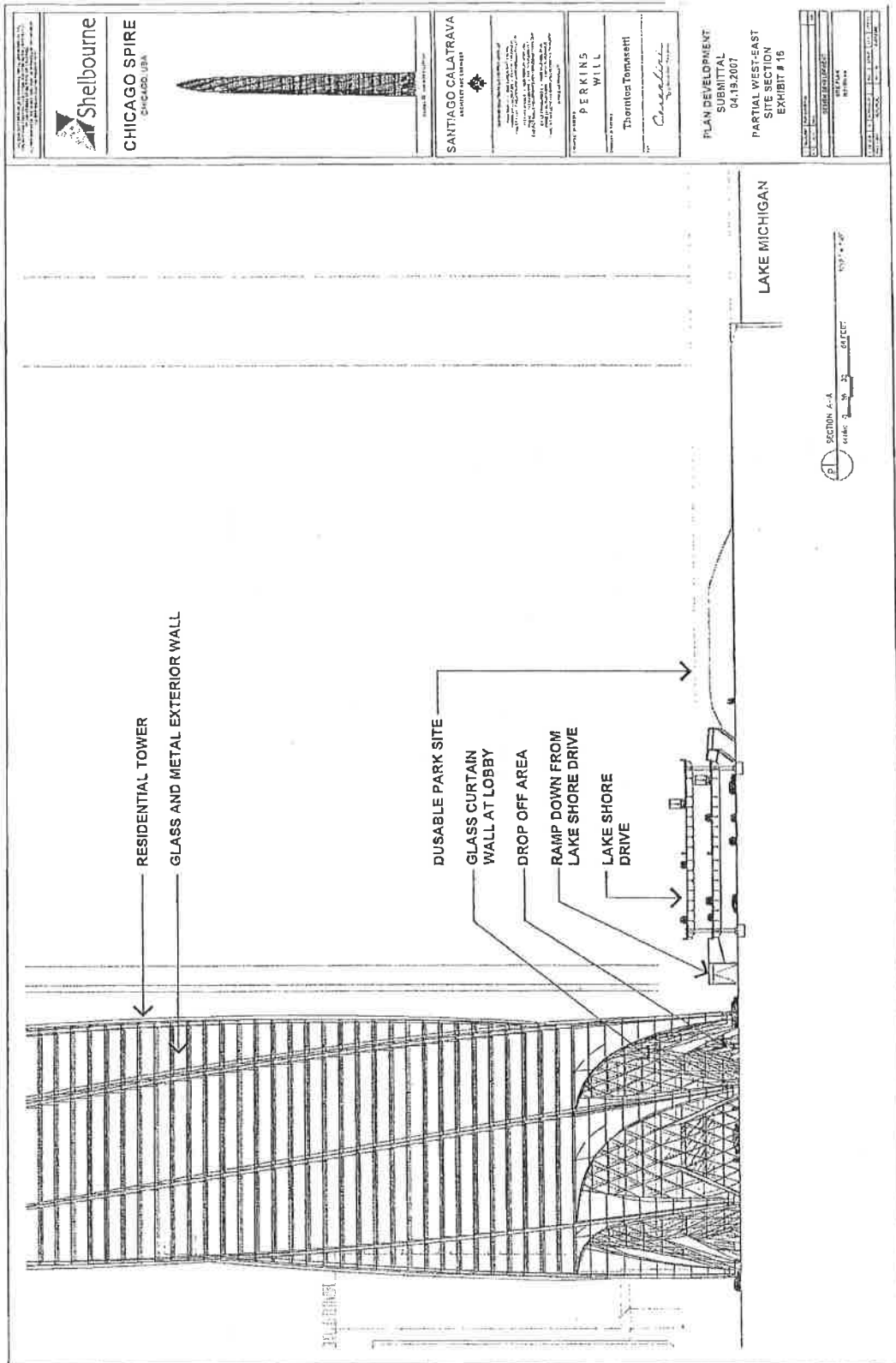


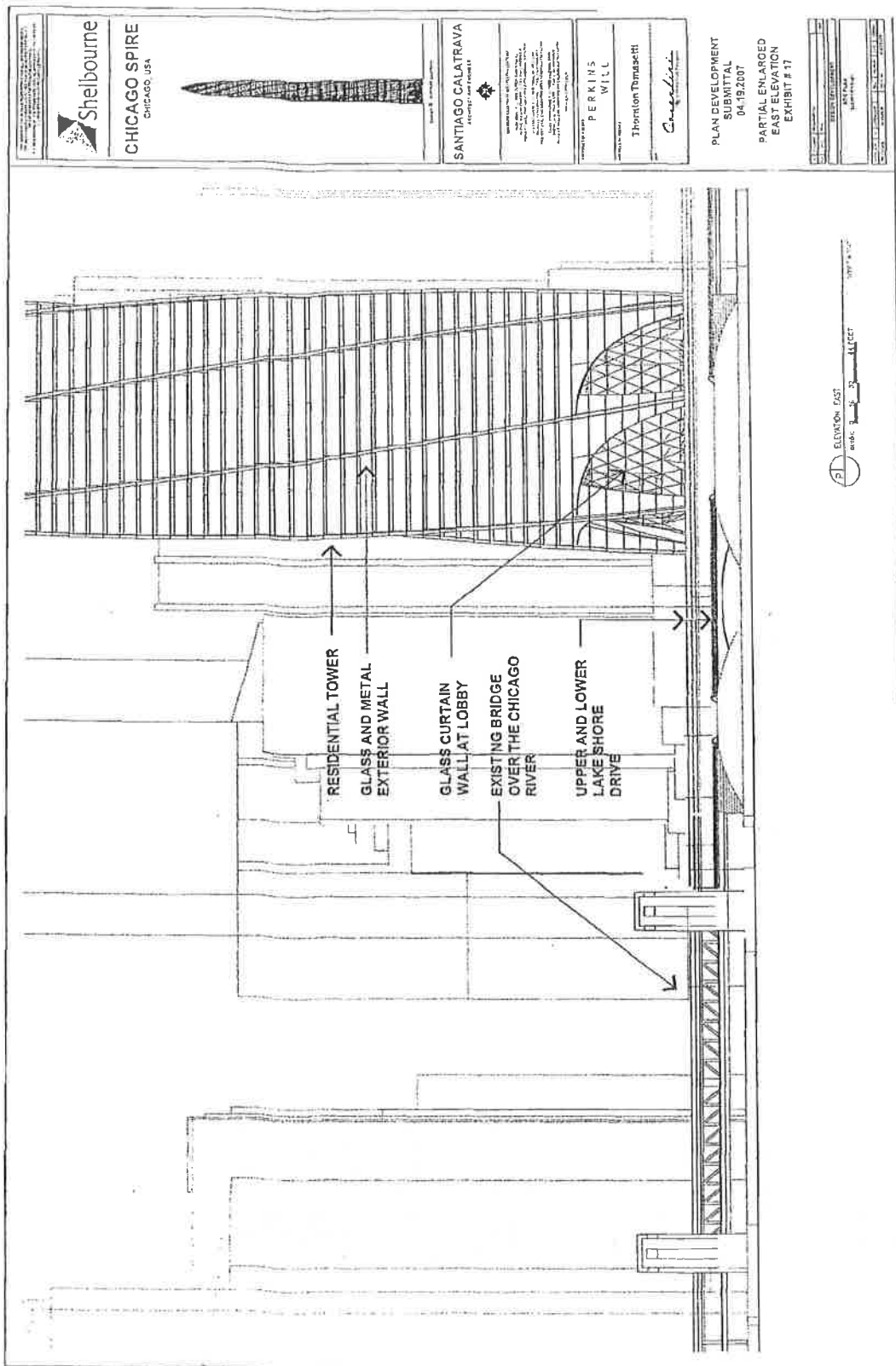


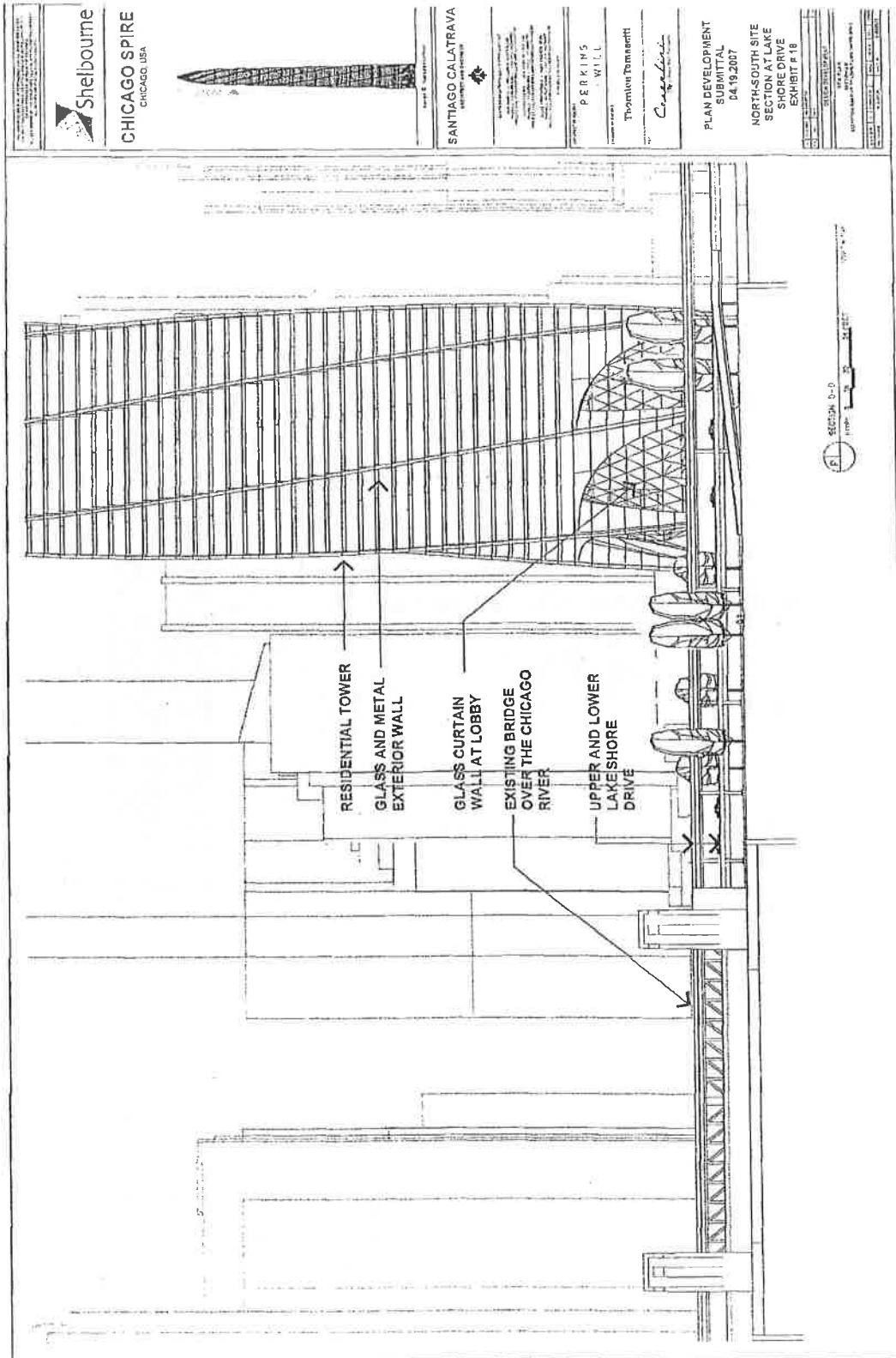


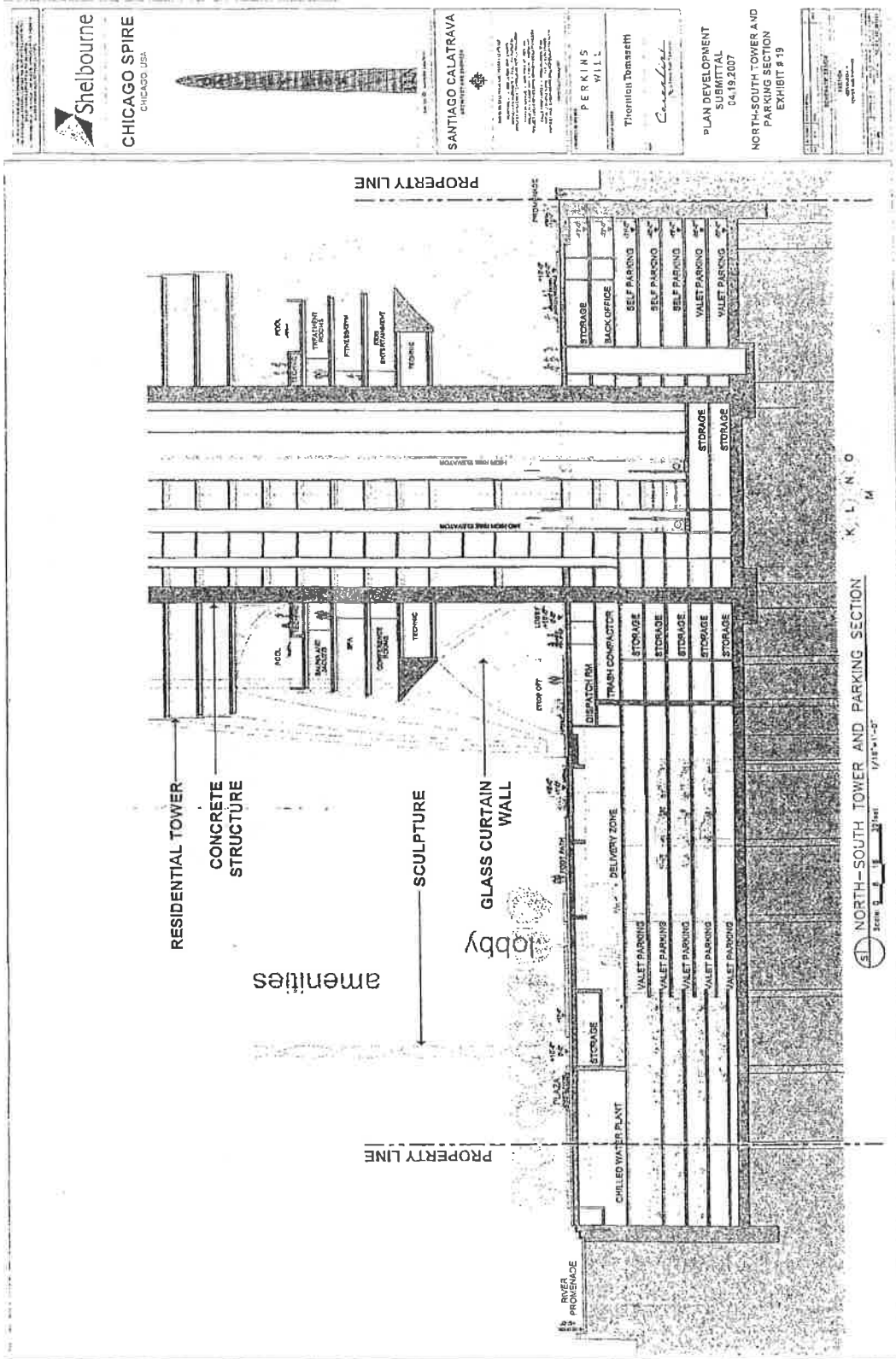












Shelbourne  
CHICAGO SPIRE  
CHICAGO, ILL.

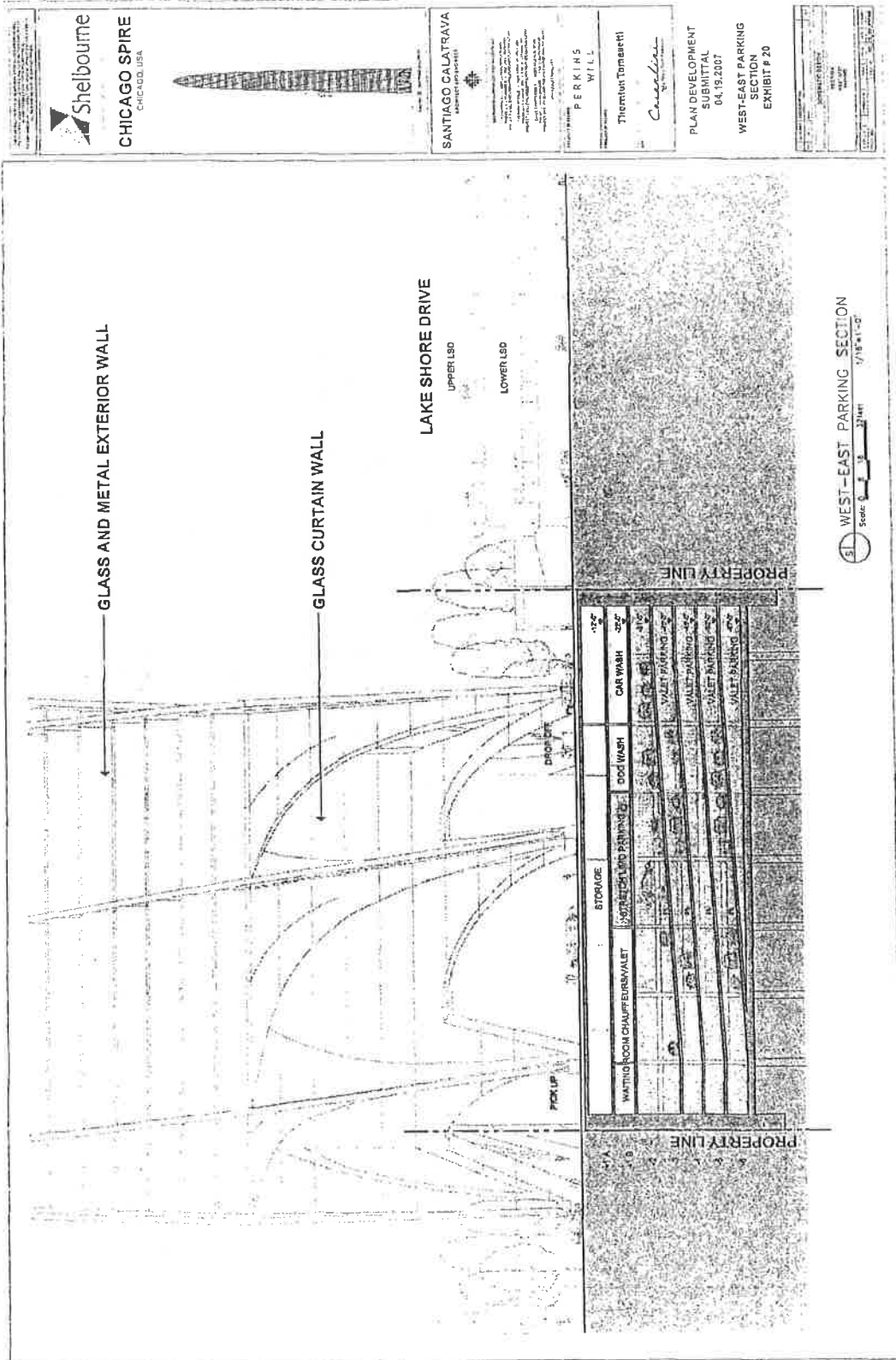


SANTIAGO CALATRAVA  
ARCHITECT

PERKINS  
WILL  
Theodore Tomasek  
Principal

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007  
NORTH-SOUTH TOWER AND  
PARKING SECTION  
EXHIBIT # 19

DATE	DESCRIPTION
04.19.2007	PLAN DEVELOPMENT SUBMITTAL
04.19.2007	PLAN DEVELOPMENT SUBMITTAL
04.19.2007	PLAN DEVELOPMENT SUBMITTAL
04.19.2007	PLAN DEVELOPMENT SUBMITTAL



Shelbourne  
CHICAGO SPIRE  
CHICAGO, USA

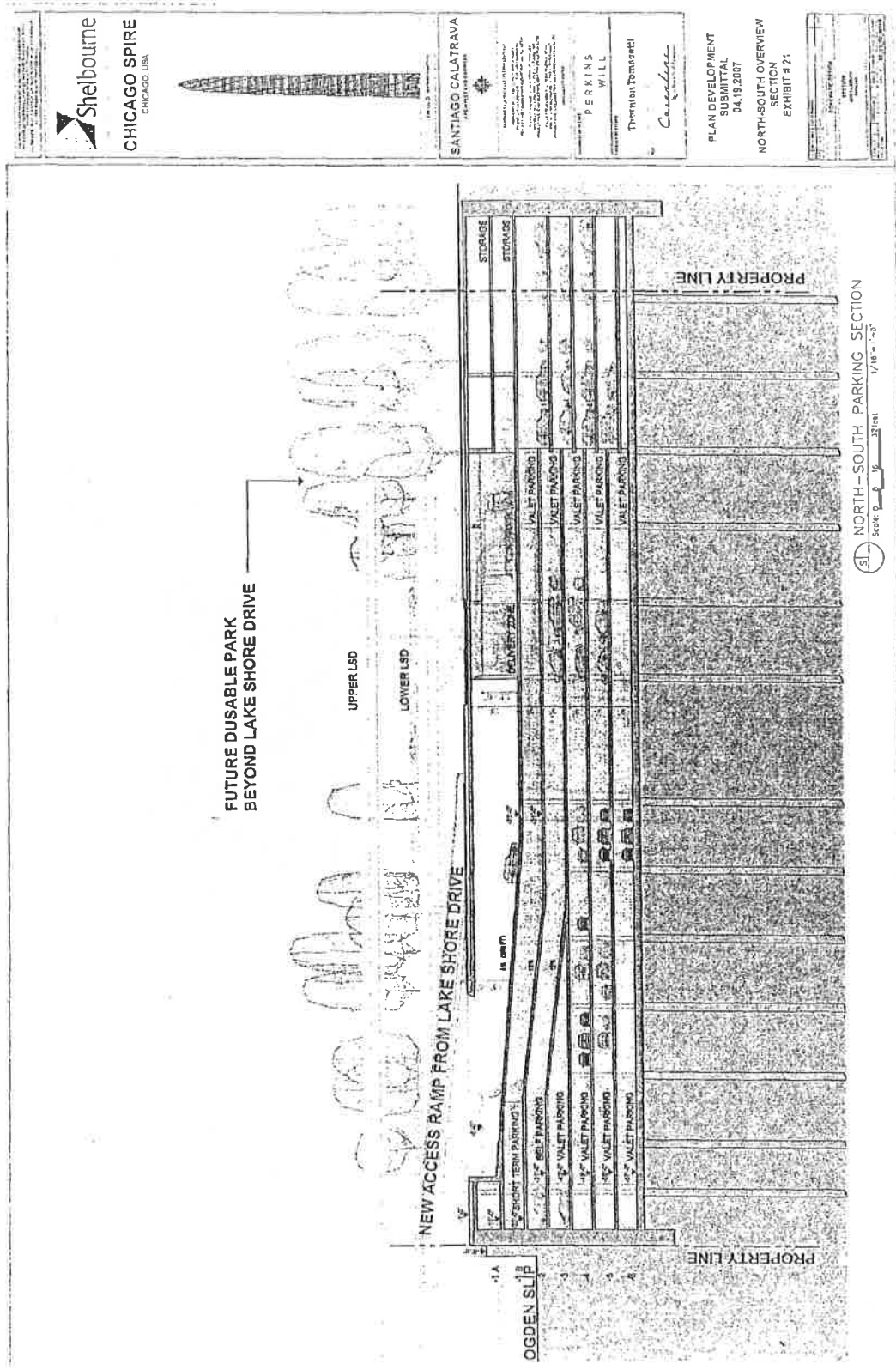


SANTIAGO CALATRAVA  
ARCHITECT  
CHICAGO, IL

PERKINS  
WILL  
Therese Tomarelli  
*Cherlin*

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007  
WEST-EAST PARKING  
SECTION  
EXHIBIT # 20

DATE	DESCRIPTION
04.19.2007	PLAN DEVELOPMENT SUBMITTAL
04.19.2007	WEST-EAST PARKING SECTION EXHIBIT # 20



Shelbourne  
CHICAGO SPIRE  
CHICAGO, USA

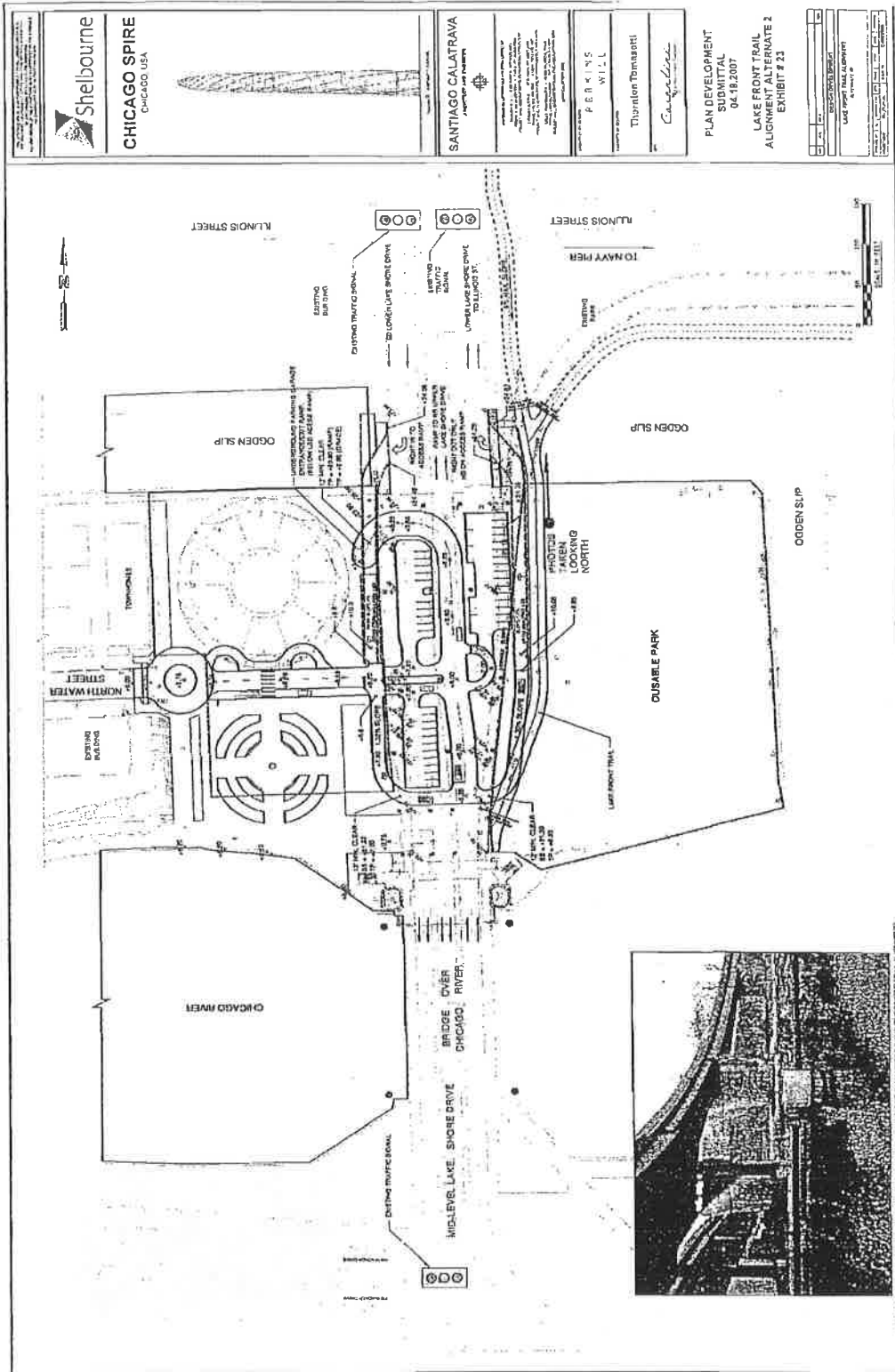


SANTIAGO CALATRAVA  
ARCHITECTURAL PARTNERS  
PERKINS  
WILL  
Thornton Tomasetti  
Creech

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007  
NORTH-SOUTH OVERVIEW  
SECTION  
EXHIBIT # 21

DATE	04/19/2007
BY	[Signature]
CHECKED BY	[Signature]
SCALE	1/16" = 1'-0"
SECTION	NORTH-SOUTH OVERVIEW SECTION
EXHIBIT	# 21





**Shelbourne**  
 CHICAGO SPIRE  
 CHICAGO, USA



**SANTIAGO CALATRAVA**  
 ARCHITECT

PERKINS+WILL  
 THORNTON TOMASETTI  
 ENGINEERS

PLAN DEVELOPMENT  
 SUBMITTAL  
 04-18-2007  
 LAKE FRONT TRAIL  
 ALIGNMENT ALTERNATE 2  
 EXHIBIT #21

NO.	DATE	DESCRIPTION
1	04-18-2007	LAKE FRONT TRAIL ALIGNMENT ALTERNATE 2 EXHIBIT #21

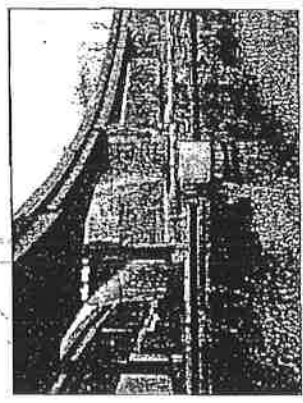
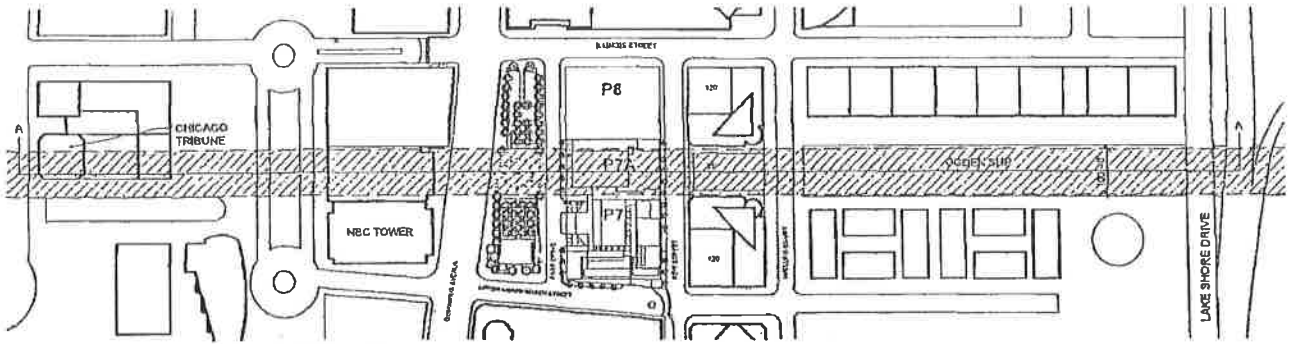
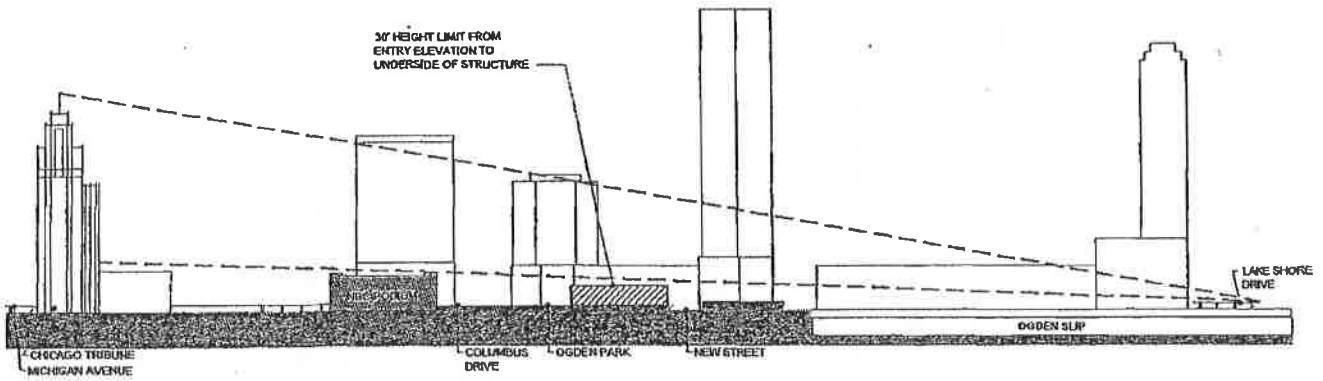


EXHIBIT #21 - AERIAL PHOTOGRAPH OF THE DEVELOPMENT SITE



SITE PLAN INDICATING 100' VIEW CORRIDOR



SITE SECTION "A" THROUGH VIEW CORRIDOR

**VIEW CORRIDOR PROGRAM**

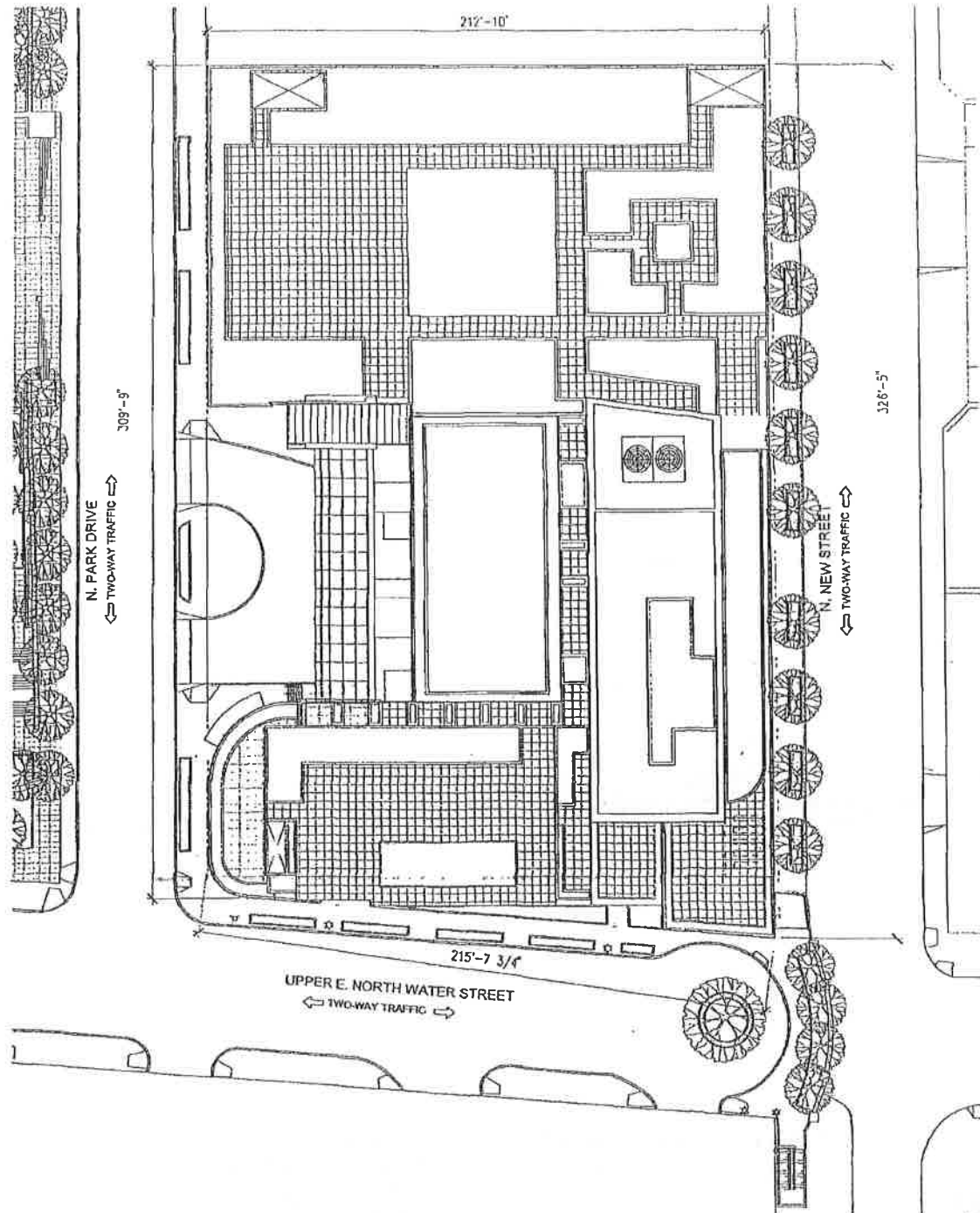
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

NTS



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**Date:** May 24, 2012  
**Revised:**



**OVERALL SITE PLAN**

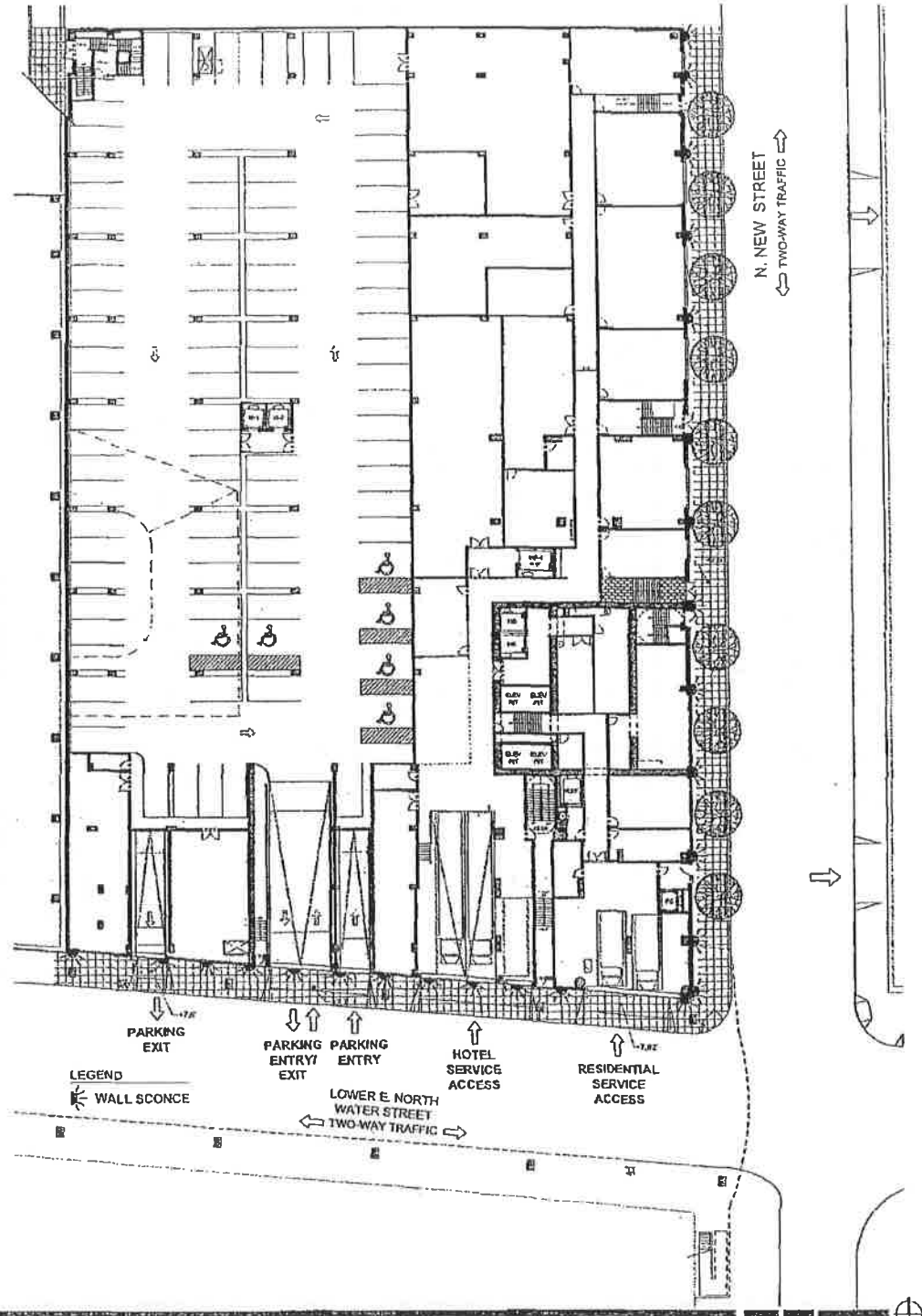


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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





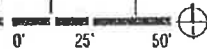
**LOWER E. NORTH  
WATER STREET PLAN**

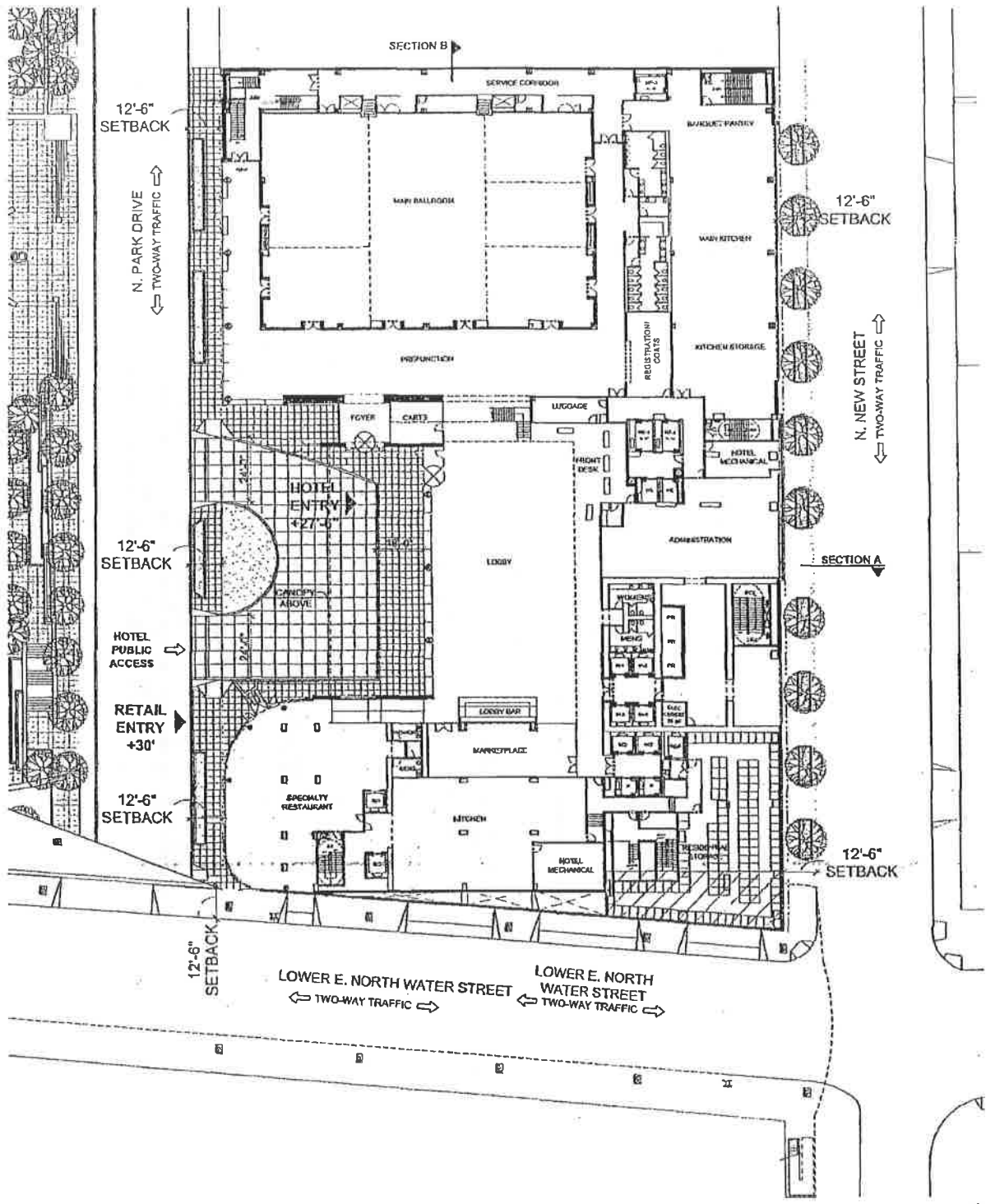


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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





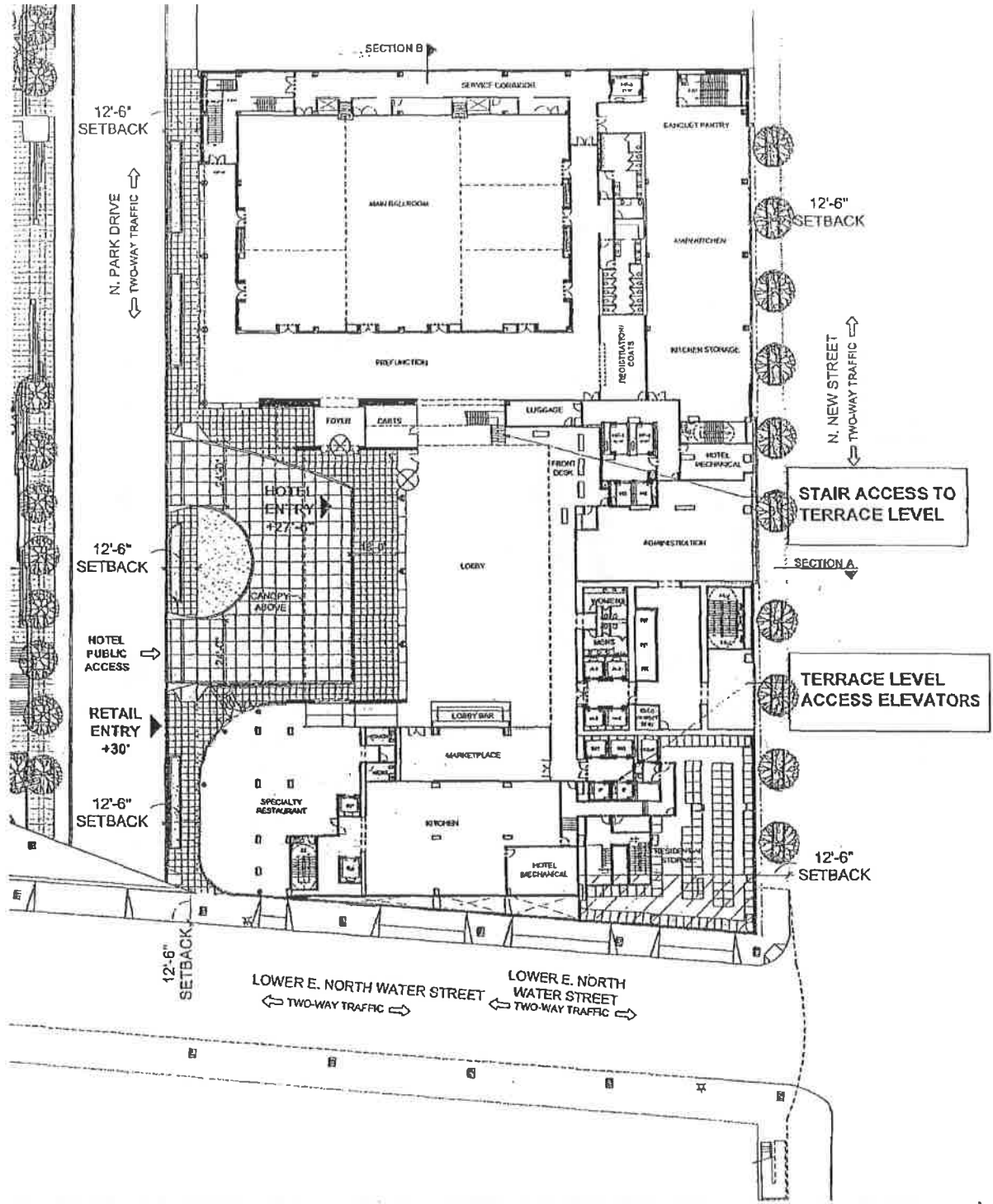
**NORTH PARK DRIVE  
STREET PLAN**

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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





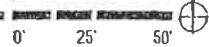
**NORTH PARK DRIVE STREET WAYFINDING PLAN**

**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

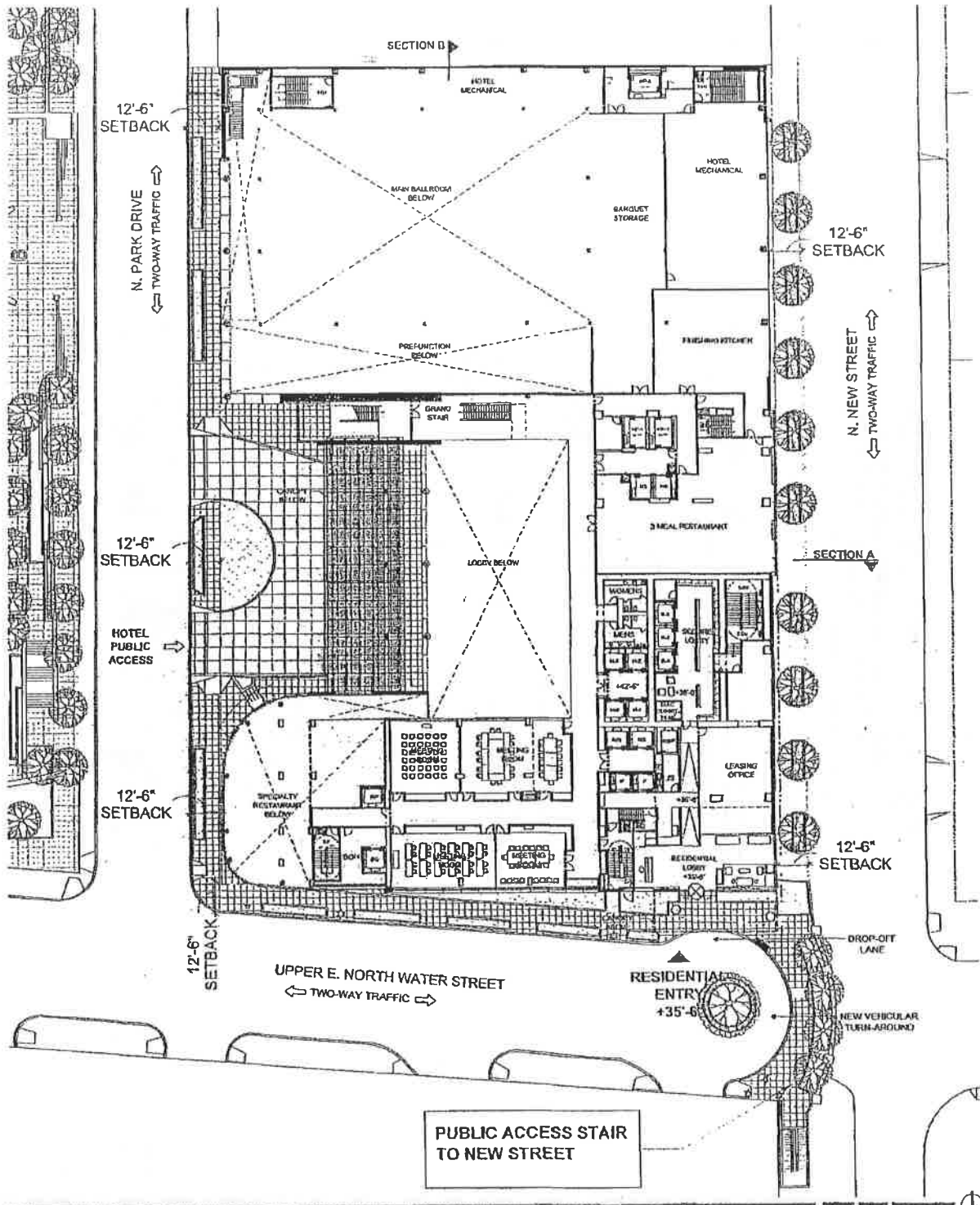
**Date:** May 24, 2012  
**Revised:**



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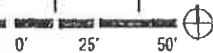
**UPPER E. NORTH WATER STREET WAYFINDING PLAN**

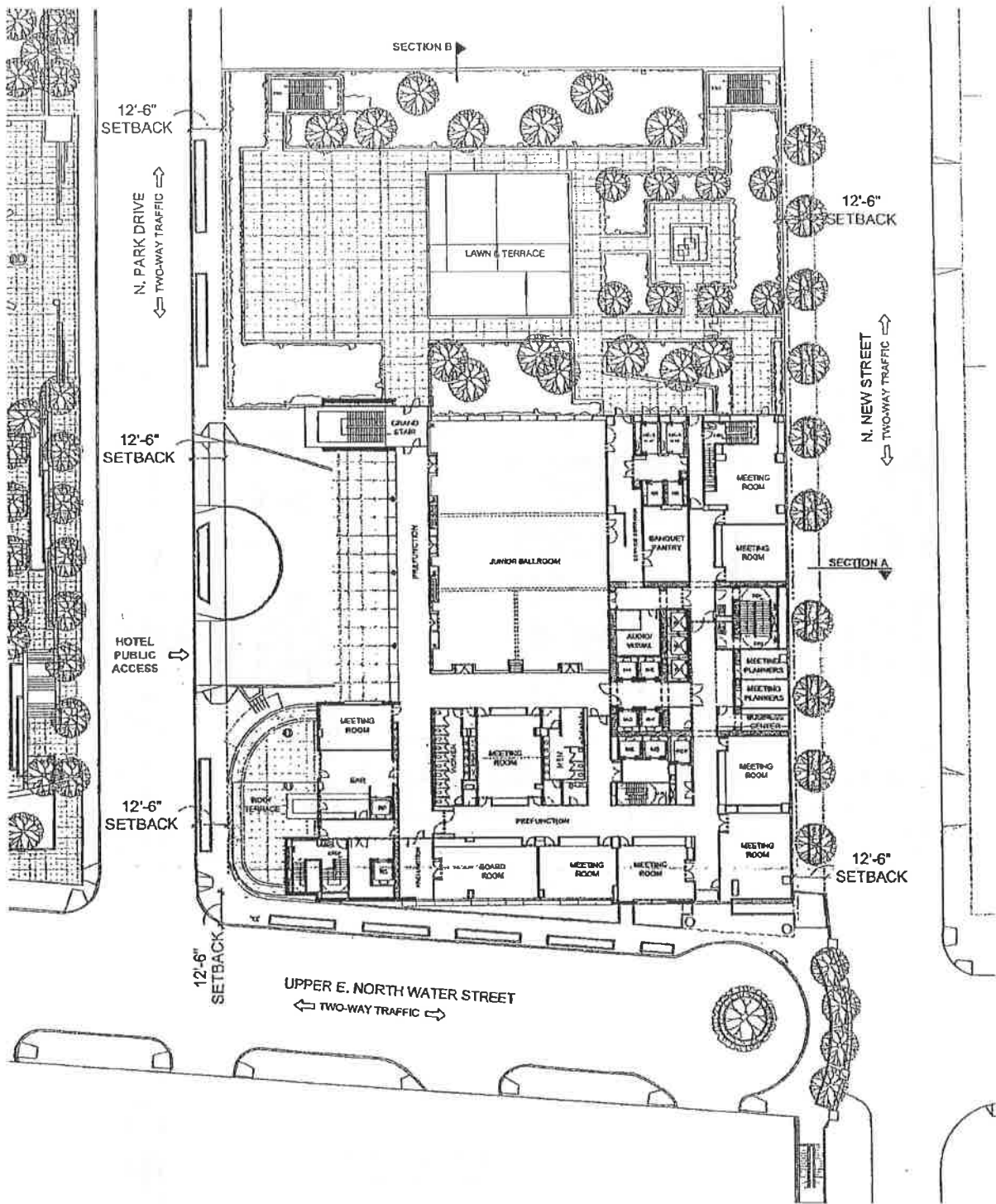


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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





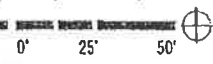
**TERRACE LEVEL PLAN**

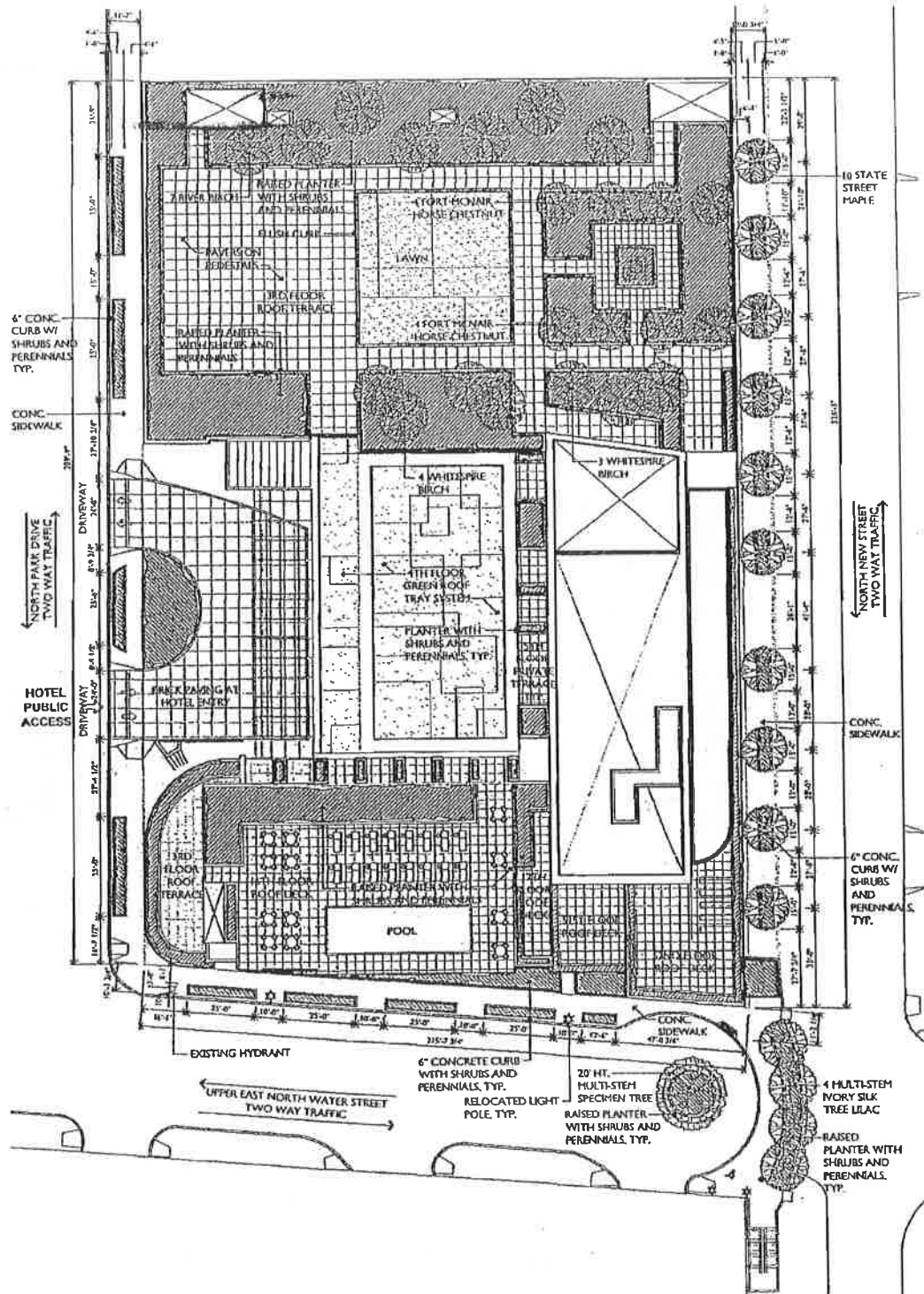
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



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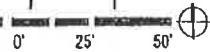
**LANDSCAPE PLAN**

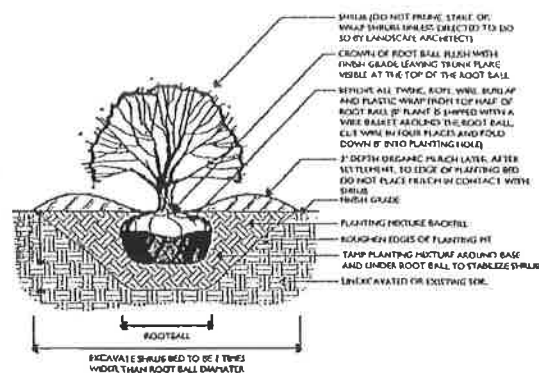
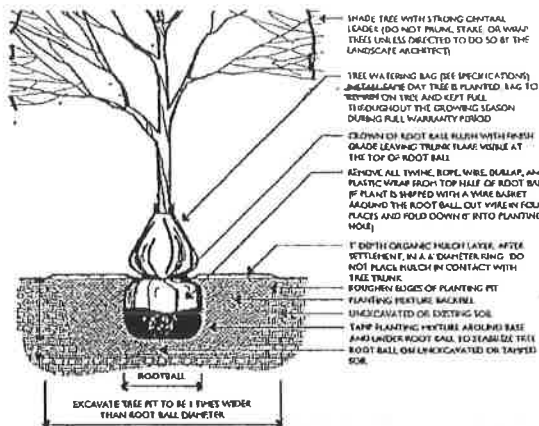
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



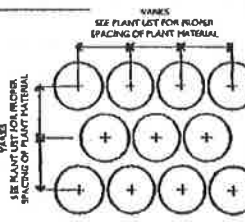
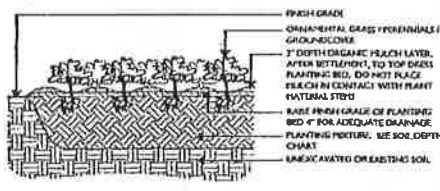
© 2012 Solomon Cordwell Buenz





**2 SHRUB INSTALLATION DETAIL**

**TREE INSTALLATION DETAIL**



**SOIL DEPTH CHART**

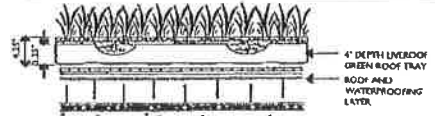
LANDSCAPE AREAS	DEPTH IN INCHES
LAWN AREAS (SOIL)	12
LAWN AREAS (SEED)	N/A
PLANTING BEDS - PERENNIALS	18 PLANTING MIX
PLANTING BEDS - PERENNIALS AND SMALL SHRUBS	18 PLANTING MIX
RAISED PLANTERS	48 PLANTING MIX
SHADE AND ORNAMENTAL TREES	PER TREE INSTALLATION DETAIL

NOTE: THE CONTRACTOR IS TO SUPPLY SOIL FILL MATERIAL TO THE DEPTHS INDICATED ON THE CHART BELOW.

**3 GROUNDCOVER AND PERENNIAL INSTALLATION DETAIL**

**PLANT LIST** NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

	CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
TREES	ACFM	AESCLULUS X CARNEA 'FORT MCNAIR'	FORT MCNAIR HORSECHESTNUT	8	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
	AFMD	ACER NITABEI 'HORTON'	STATE STREET MAPLE	10	4"	-	-	B&B	
	APEQ	ACER PLATANOIDES 'EMERALD QUEEN'	EMERALD QUEEN NORWAY MAPLE	-	4"	-	-	B&B	
	BN	BETULA NIGRA	RIVER BIRCH	7	-	16'	-	B&B	MULTI-STEM
	BJW	BETULA PLATYPHYLLA VAR. JAPONICA 'WHITESPIRE'	WHITESPIRE JAPANESE WHITE BIRCH	7	-	16'	-	B&B	4-5 STEMS
SHRUBS	SRIS	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	4	-	12'	-	B&B	
	DS	DIERVILLA SESSILIFOLIA	SOUTHERN BUSH HONEYSUCKLE	-	-	24"	-	#5	4'-0" ON CENTER
	ICSG	JUNIPERUS CHINENSIS SEA GREEN	SEA GREEN JUNIPER	-	-	24"	#5		4'-0" ON CENTER
	JHP	JUNIPERUS HORIZONTALIS	ANDORRA COMPACT JUNIPER	-	-	18"	#5		3'-0" ON CENTER
	POS	PHYSCARPUS OPULENSIS 'SEWARD'	SUMMER WINE NINEBARK	-	-	36"	#5		4'-0" ON CENTER
	RAE	RIBES ALPIMUM	ALPINE CURRANT	-	-	24"	#5		4'-0" ON CENTER
	RAGL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	-	-	24"	#5		3'-0" ON CENTER
	RPKO	ROSA X 'PINK KNOCK OUT'	PINK KNOCKOUT ROSE	-	-	24"	#3		3'-0" ON CENTER
	RRKO	ROSA X 'RED KNOCK OUT'	RED KNOCKOUT ROSE	-	-	24"	#3		3'-0" ON CENTER
	SBG	SPIREA X BURHALDA 'GOLDFLAME'	GOLDFLAME SPIREA	-	-	24"	#3		3'-0" ON CENTER
THW	TAXUS X MEDIA 'WARDEN'	WARDEN YEW	-	-	30"	B&B		3'-0" ON CENTER	
GRASSES	CAFK	CALAMAGROSTIS ACUTIFLORA 'KAIL FORESTER'	KAIL FORESTER FEATHER REED GRASS	-	-	-	-	#1	2'-0" ON CENTER
	MCP	MOORILLA CAERULEA 'MOORFLAMME'	MOORFLAMME PURPLE MOOR GRASS	-	-	-	-	#1	1'-6" ON CENTER
	HP3	HYSCANTHUS SENENSIS 'PURPURASCENS'	PURPLE MAIDEN GRASS	-	-	-	-	#1	3'-0" ON CENTER
	PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH REED SWITCH GRASS	-	-	-	-	#1	2'-0" ON CENTER
	PAI	PENASETUM ALOPECUROIDES 'HAFELN'	HAFELN DWARF FOUNTAIN GRASS	-	-	-	-	#1	2'-0" ON CENTER
PERENNIALS / GROUND COVER	SH	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSIDE	-	-	-	-	#1	1'-6" ON CENTER
	EFC	EUONYMUS FORTUNO 'COLORATUS'	PURPLE LEAF WINTER CREEPER	-	-	-	-	Q1	1'-0" ON CENTER
	EPH	ECHEINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	-	-	-	-	#1	1'-6" ON CENTER
	HSM	HIMEROCALLIS SPECIES MIX	DAYLILY	-	-	-	-	#1	1'-6" ON CENTER
	INF	NEPETA X FAASSENI	CATMINT	-	-	-	-	#1	1'-6" ON CENTER
IQ	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	-	-	-	-	#1	3'-0" ON CENTER	



**4 4" DEPTH LIVEROOF GREEN ROOF TRAY**

L-2  
PLANT LIST  
AND DETAILS

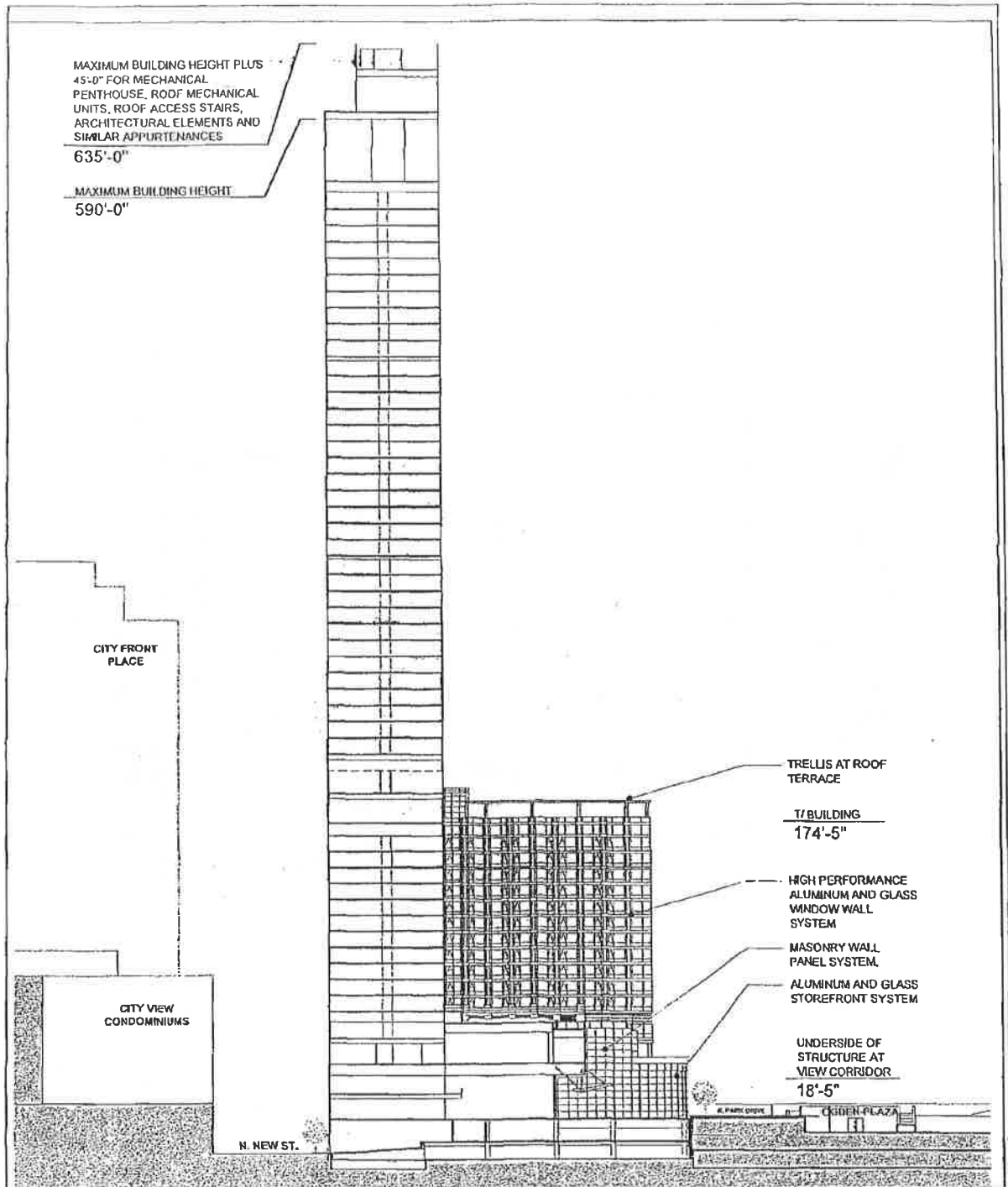


**PLANT LIST & LANDSCAPE DETAILS**

**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





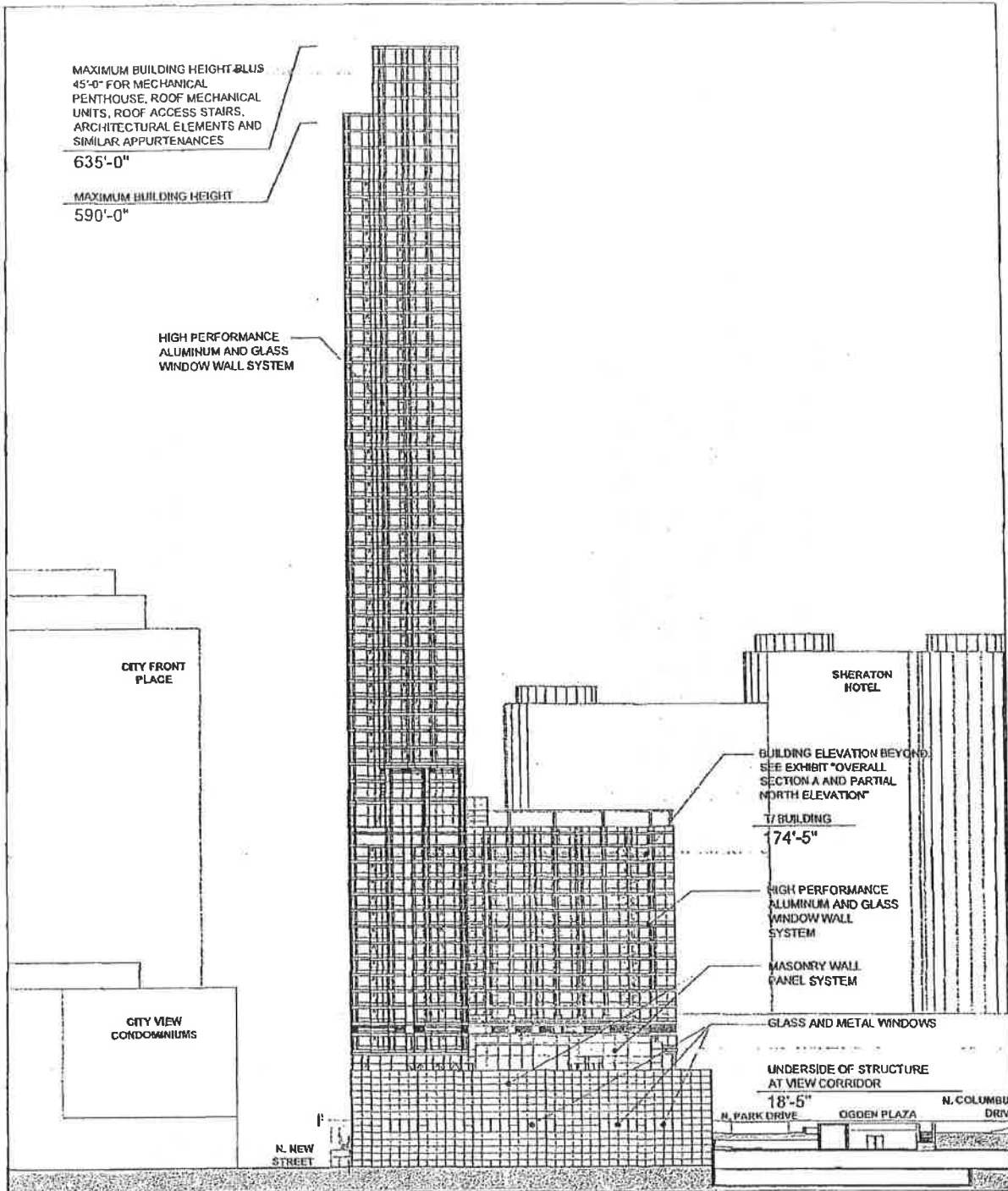
**OVERALL SECTION A AND PARTIAL NORTH ELEVATION**



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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



**NORTH ELEVATION**

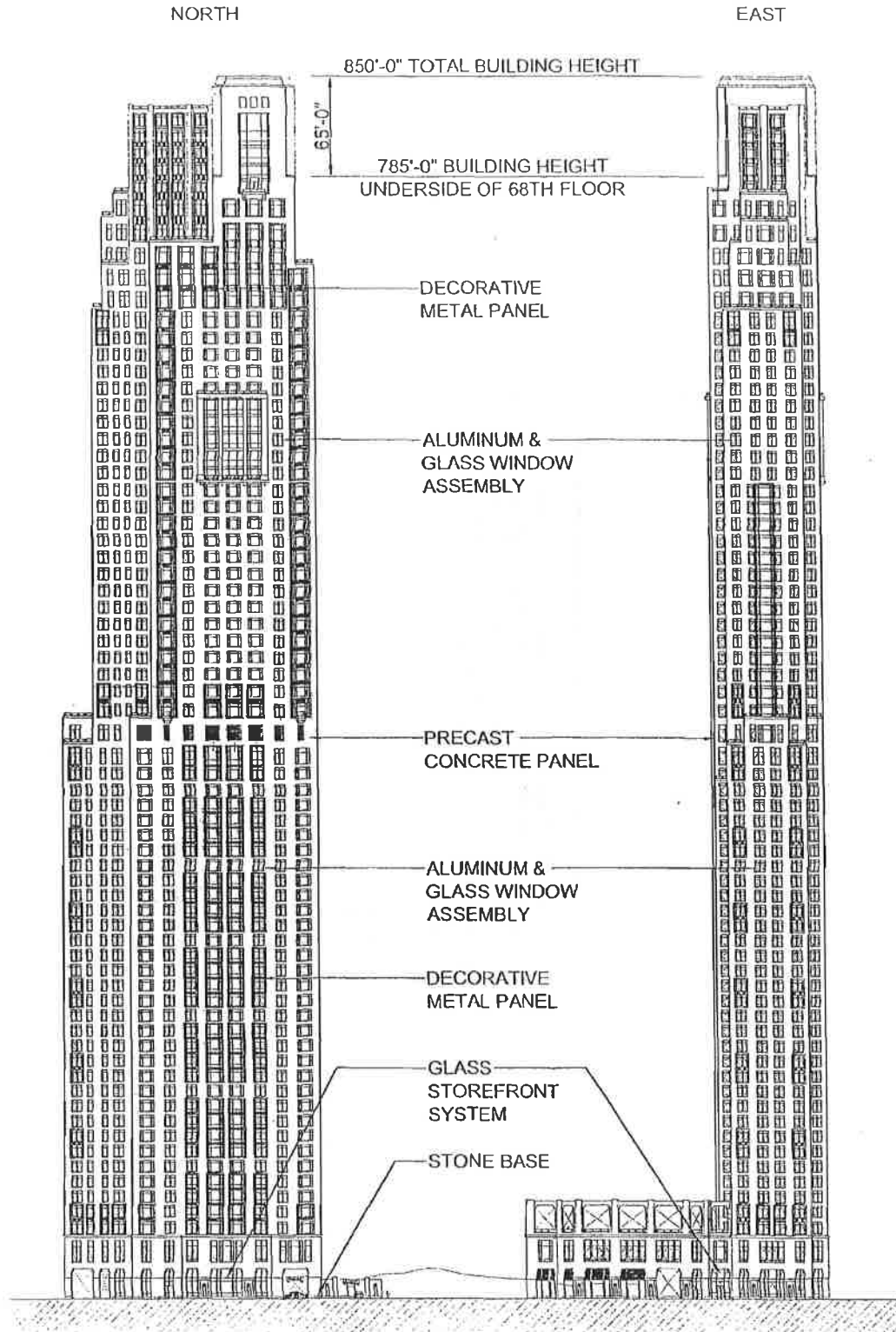


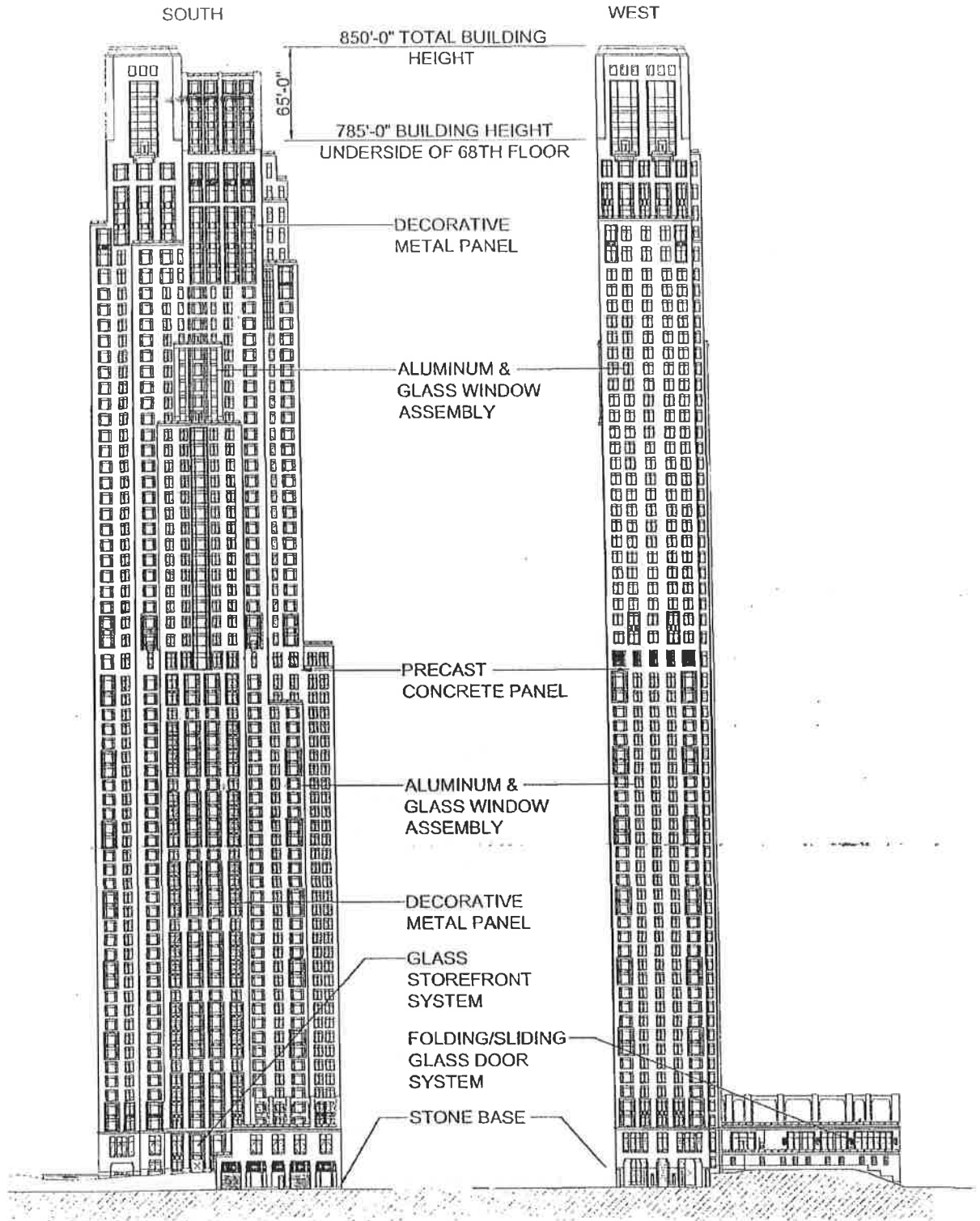
© 2012 Solomon Cordwell Buenz

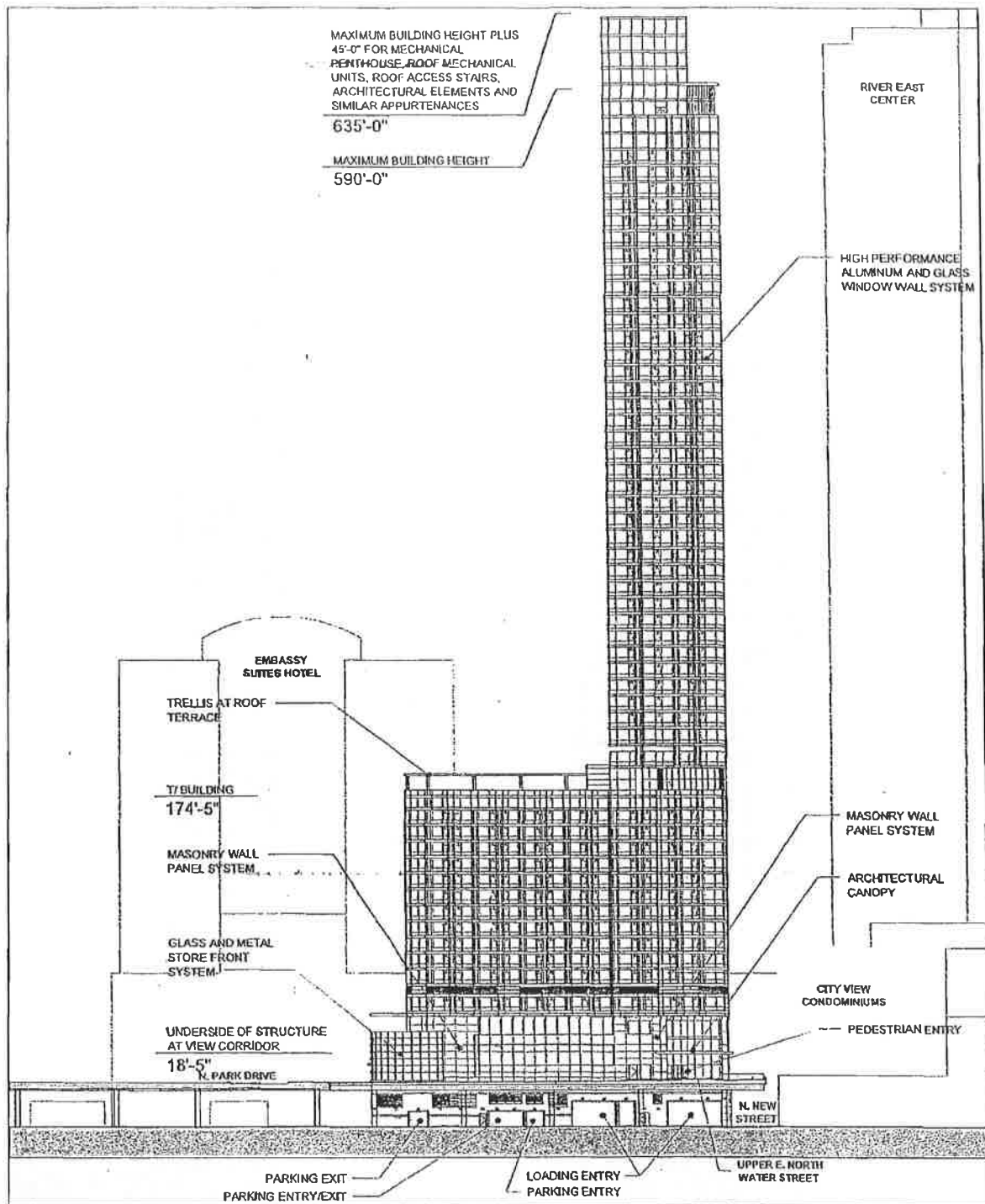
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0 40 80'







**SOUTH ELEVATION**

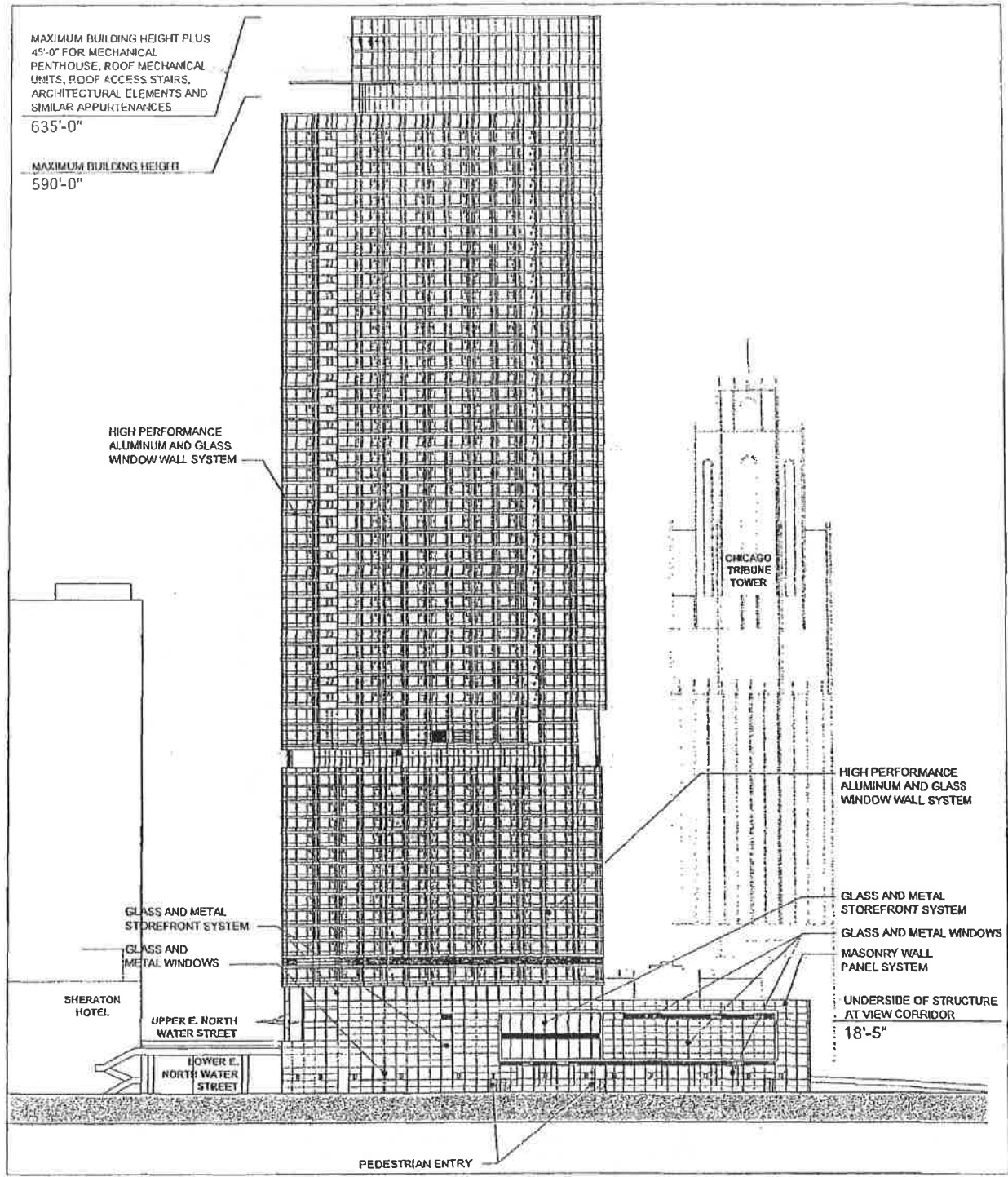
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

0' 40' 80'



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**Date:** May 24, 2012  
**Revised:**



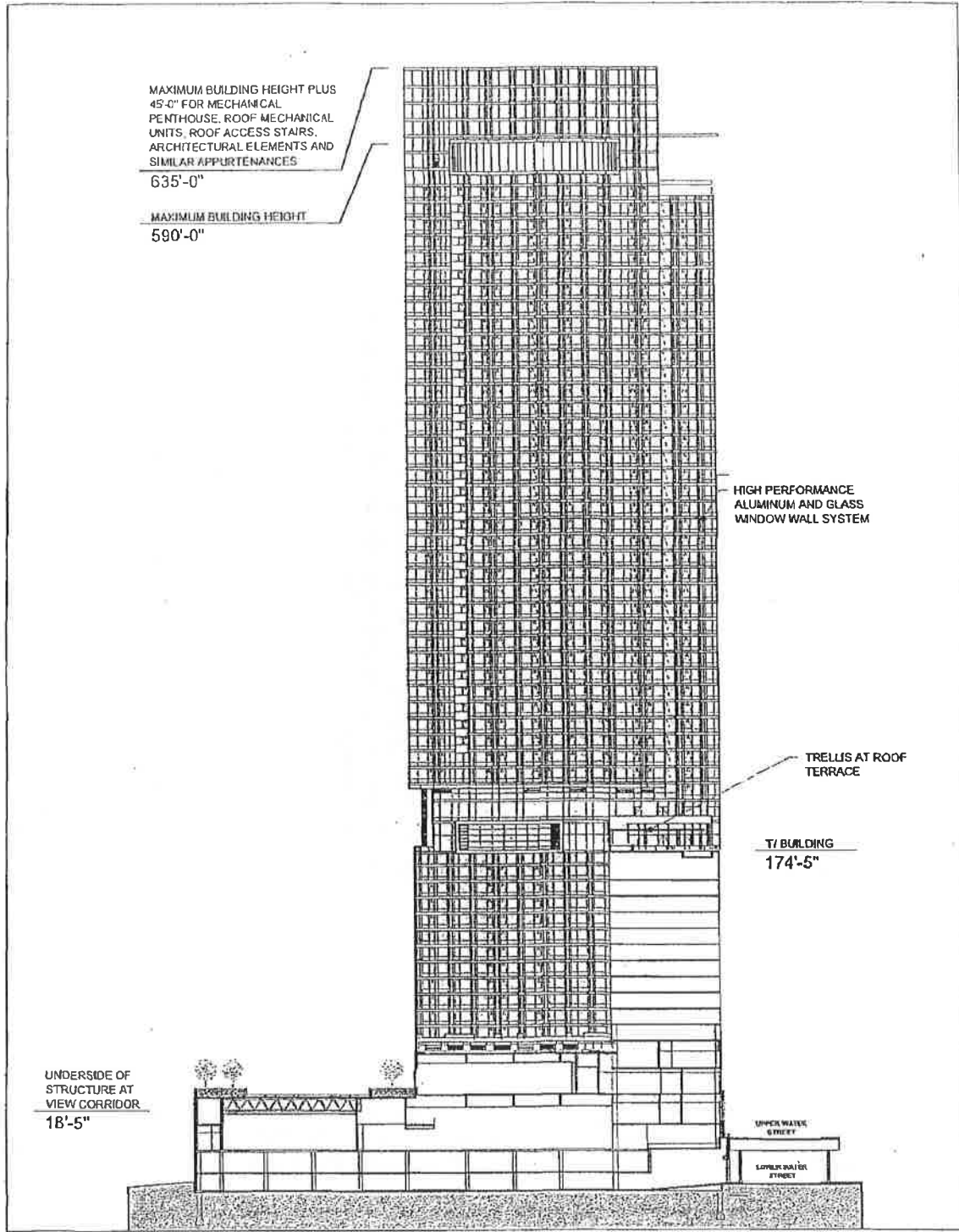
**EAST ELEVATION**

**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0' 40' 80'





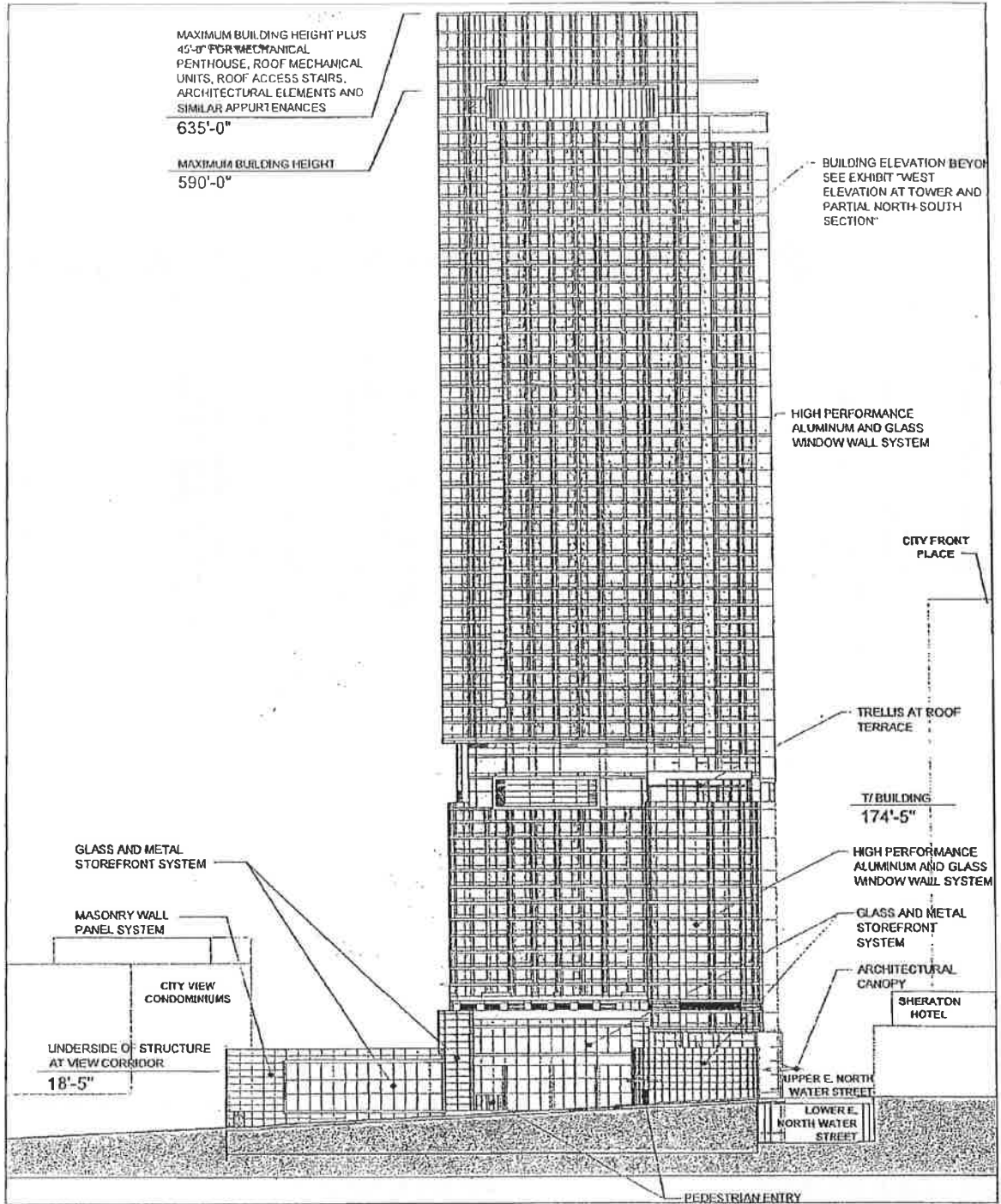
**WEST ELEVATION AT  
TOWER AND PARTIAL  
NORTH-SOUTH SECTION B**

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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0' 40' 80'



**WEST ELEVATION AT NORTH PARK DRIVE**

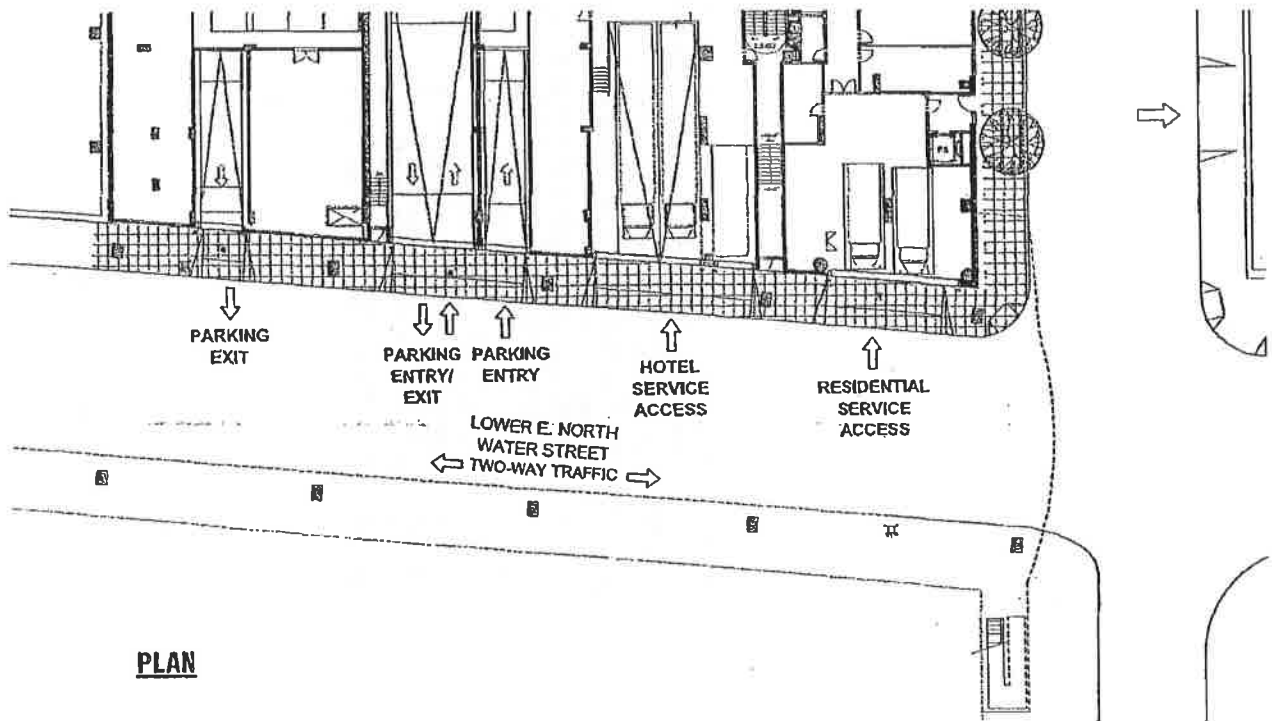
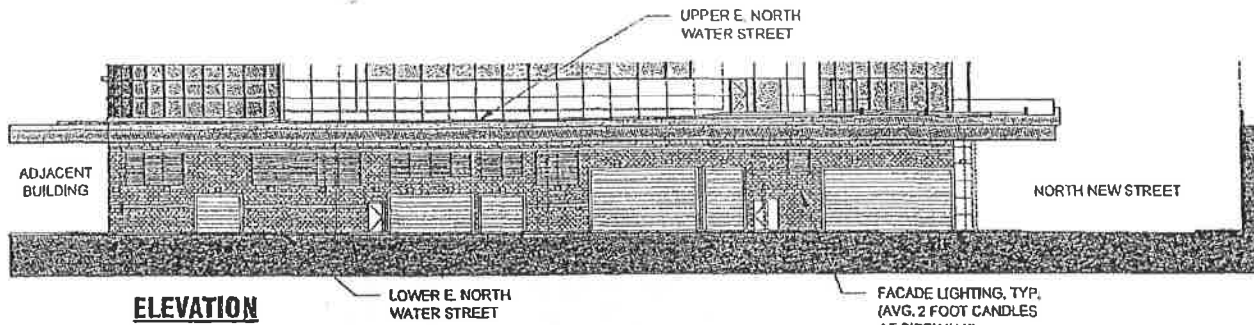
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
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432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



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0' 40' 80'



**PROPOSED LOWER E.  
NORTH WATER STREET  
PLAN & ELEVATION  
WITH LIGHTING CONCEPT**

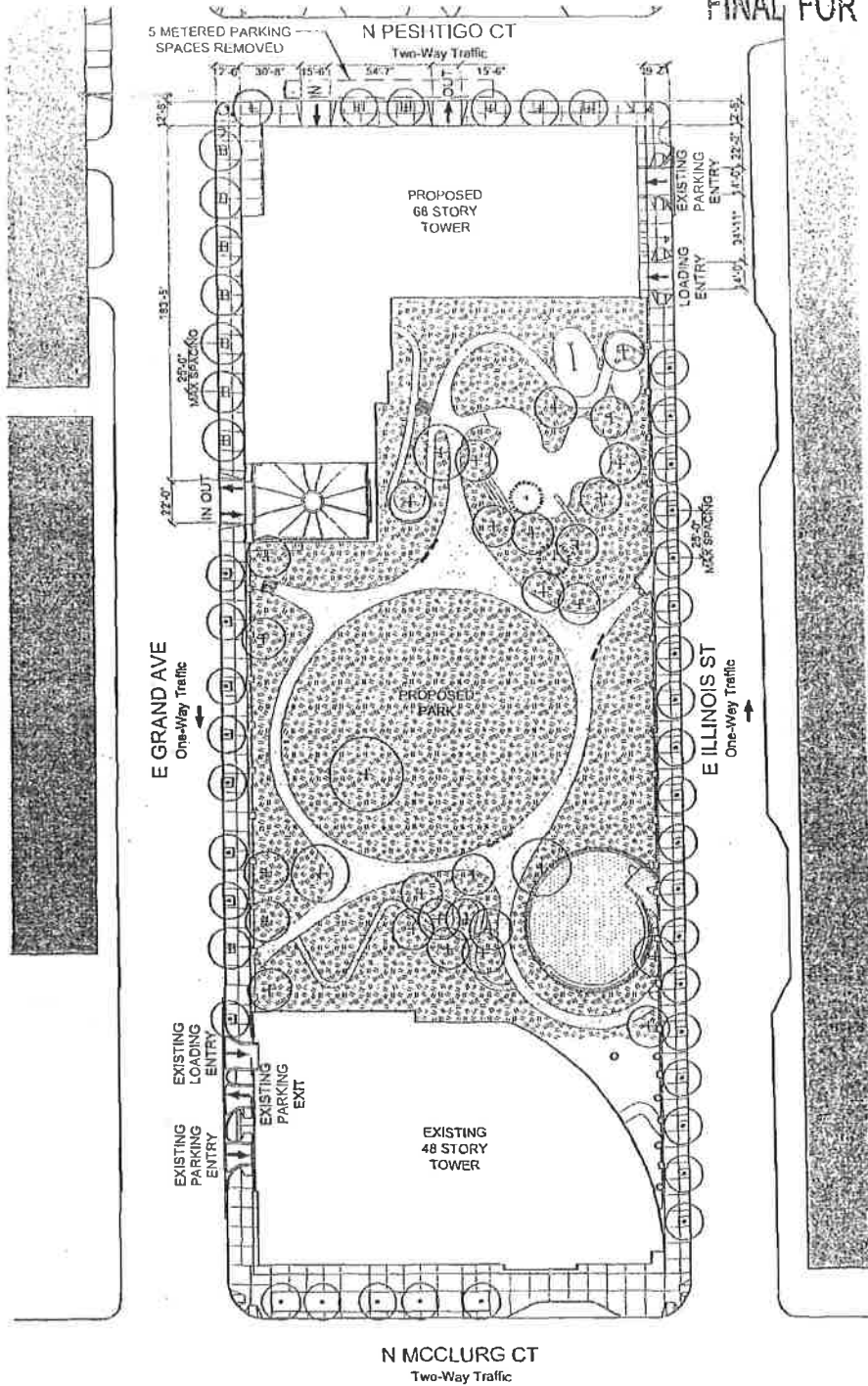
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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
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**Date:** May 24, 2012  
**Revised:**

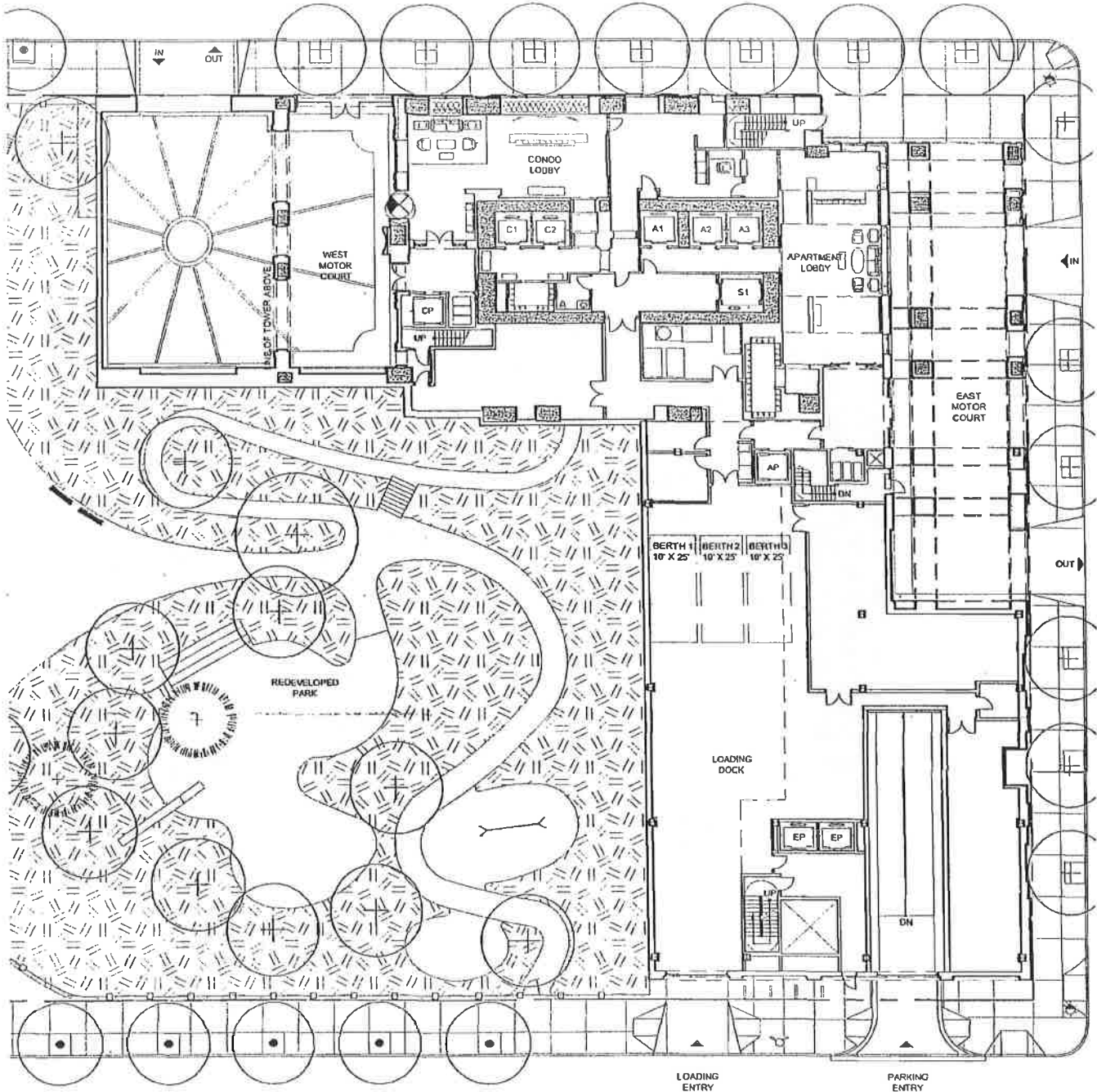


FINAL FOR PUBLICATION



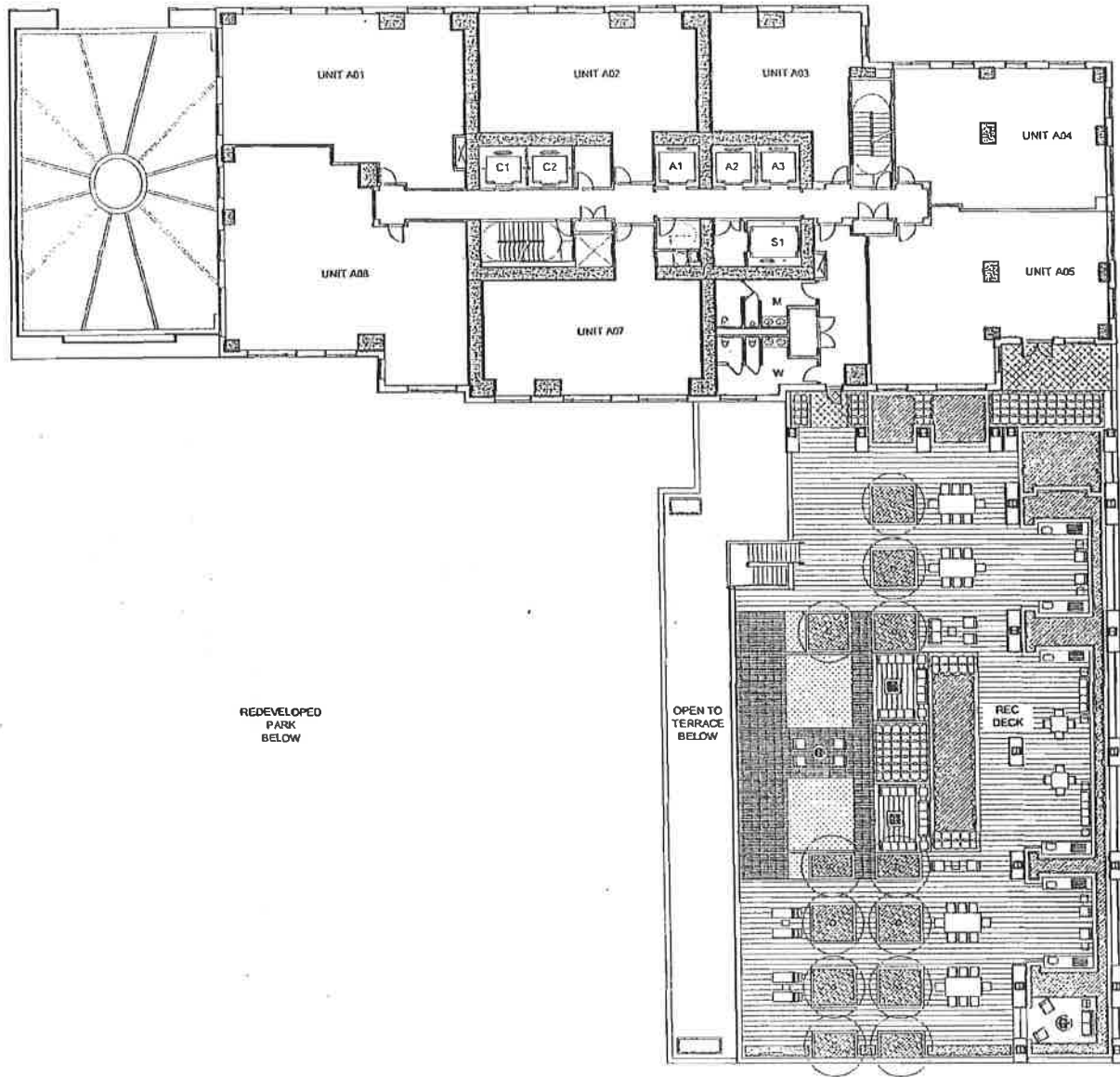
Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

**SITE PLAN**  
 SCALE: NTS



Applicant: RMW Streetworks, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014

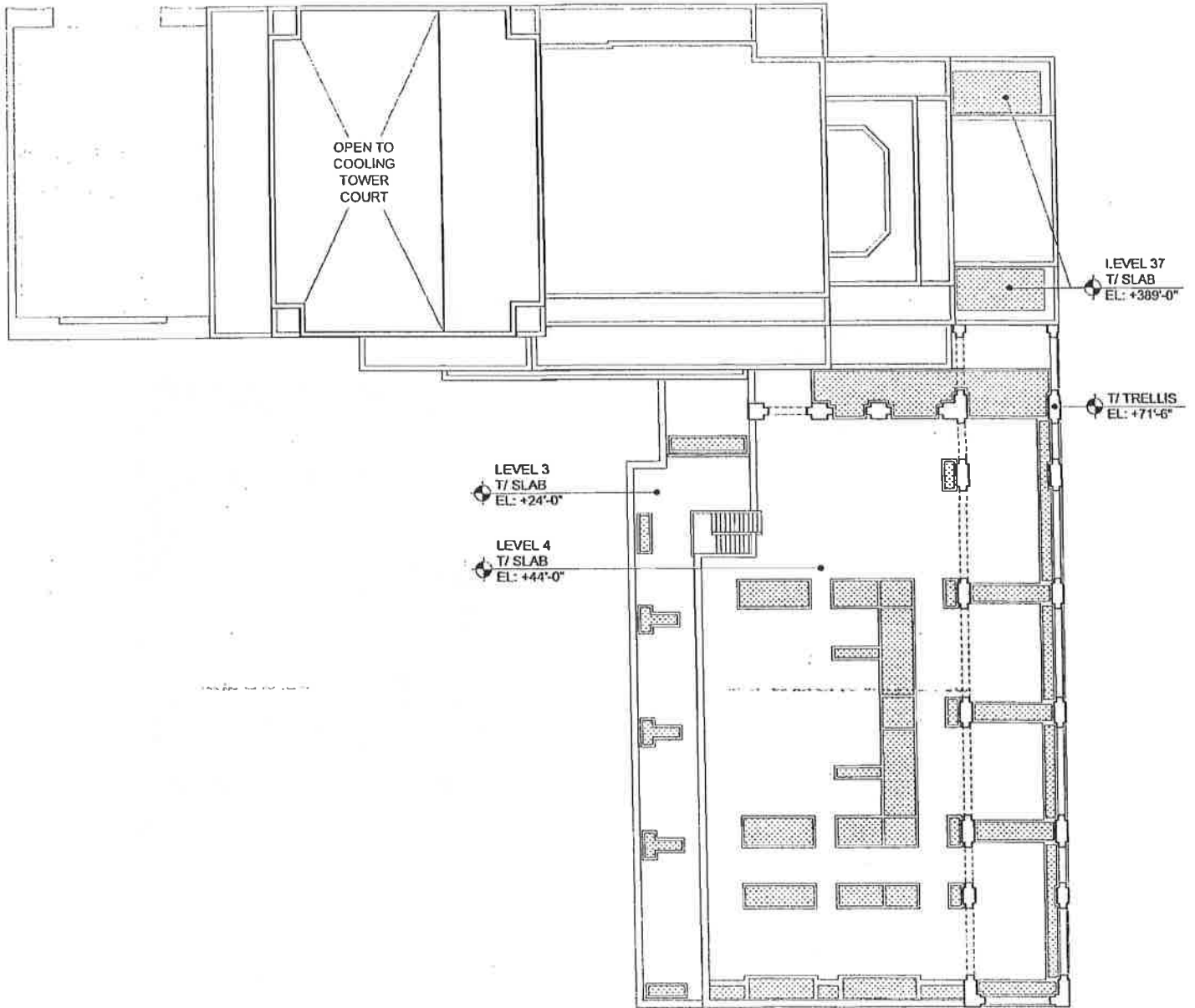
**GROUND FLOOR**  
SCALE: 1/2" = 1'-0"



Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014

**REC DECK LEVEL +44'**  
SCALE: 1/32"=1'-0"





**GREEN ROOF CALCULATION**

TOTAL GROSS AREA OF ROOF = 21,325 SF

NET AREA OF ROOF = 16,589 SF

TOTAL AREA OF GREEN ROOF PROVIDED ON TOWER = 2,177 SF

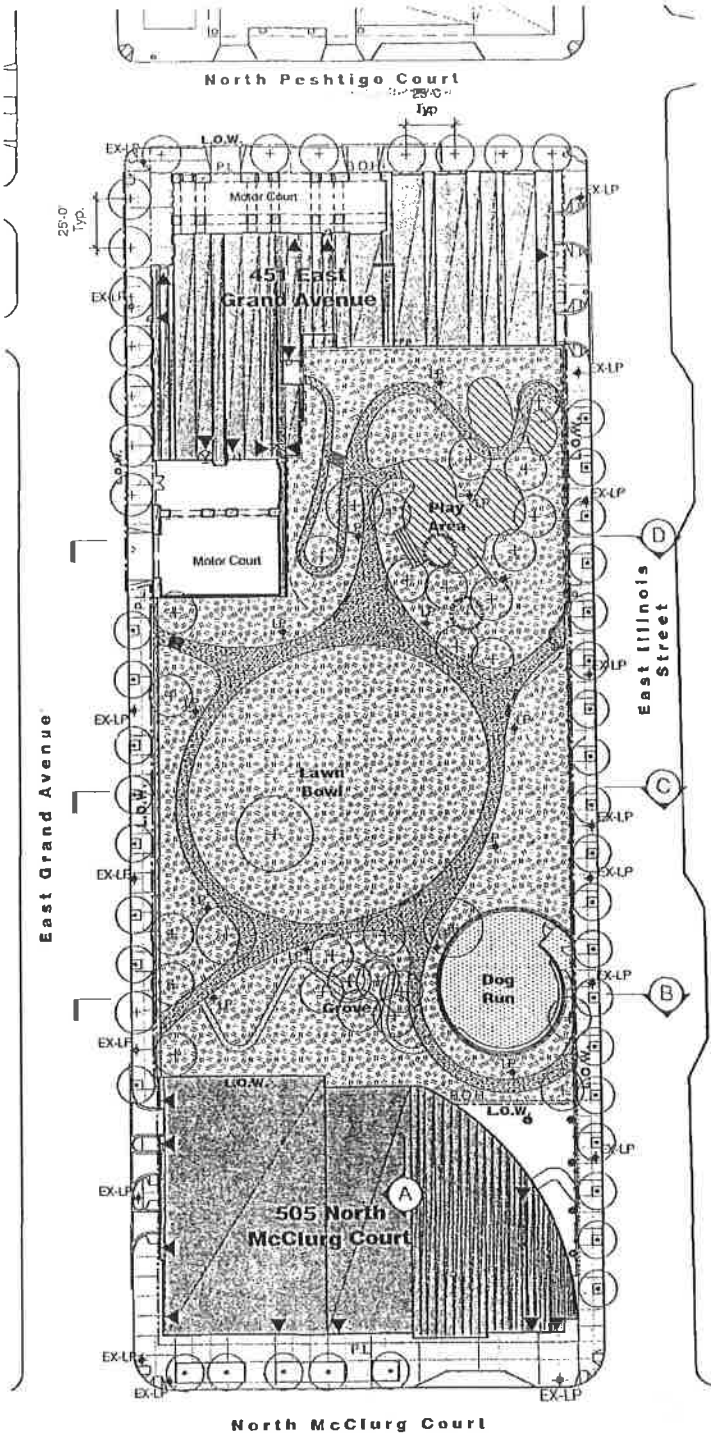
RAINWATER HARVESTING WILL BE AN INTEGRAL PART OF PROJECT IRRIGATION. A SEPARATE RAINWATER COLLECTION TANK WILL BE PROVIDED AND WILL PROVIDE WATER FOR THE IRRIGATION OF THE AMENITY DECK LANDSCAPE.

Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Production Date: September 10, 2014  
In Commission: December 18, 2014

**GREEN ROOF PLAN**

SCALE: 1/32" = 1'-0"



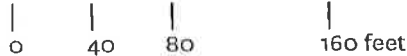


**Landscape Plan Legend**

- L.O.W. — Limit of Work
- P.L. --- Property Line
- B.O.H. --- Building Overhang
- P.P.B. --- Pocket Park Boundary
- 4'H Metal Fence
- M 4'H Metal Gate
- Dog Run Chain Link Fence
- Dog Run Chain Link Gate
- ▼ Building Entry
- \* Play Equipment - Slide
- ≡ Steps
- ... Bike Racks
- EX-LP Existing Light Pole
- LP Light Pole
- ≡ Bleacher Seating
- ≡ Bench Seating
- Asphalt Pavement, <5% Slope
- Concrete Pavement
- Decomposed Granite Pavement
- Play Mulch
- Lawn
- Existing Street Tree
- + Proposed Deciduous Tree (48 Trees)
- Proposed Coniferous Tree (2 Trees)

**Landscape Information**

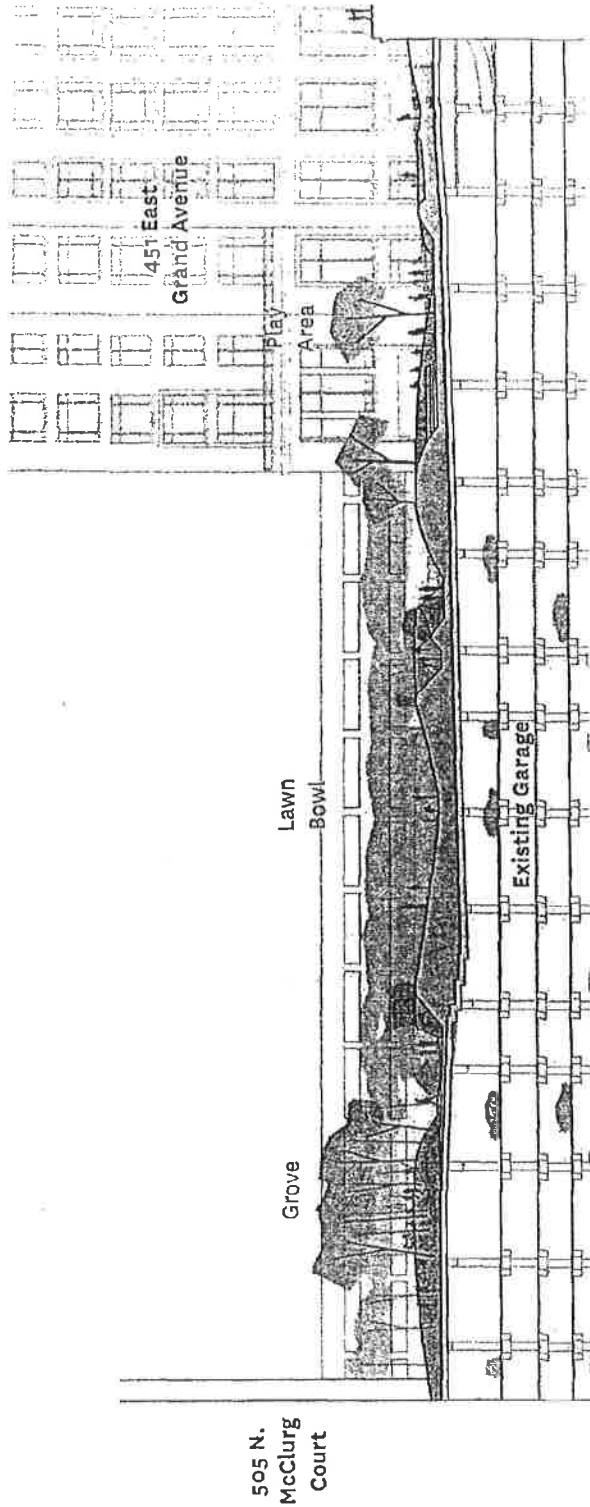
Total Site Area: 70,250 SF  
 Landscape Area: 50,950 SF



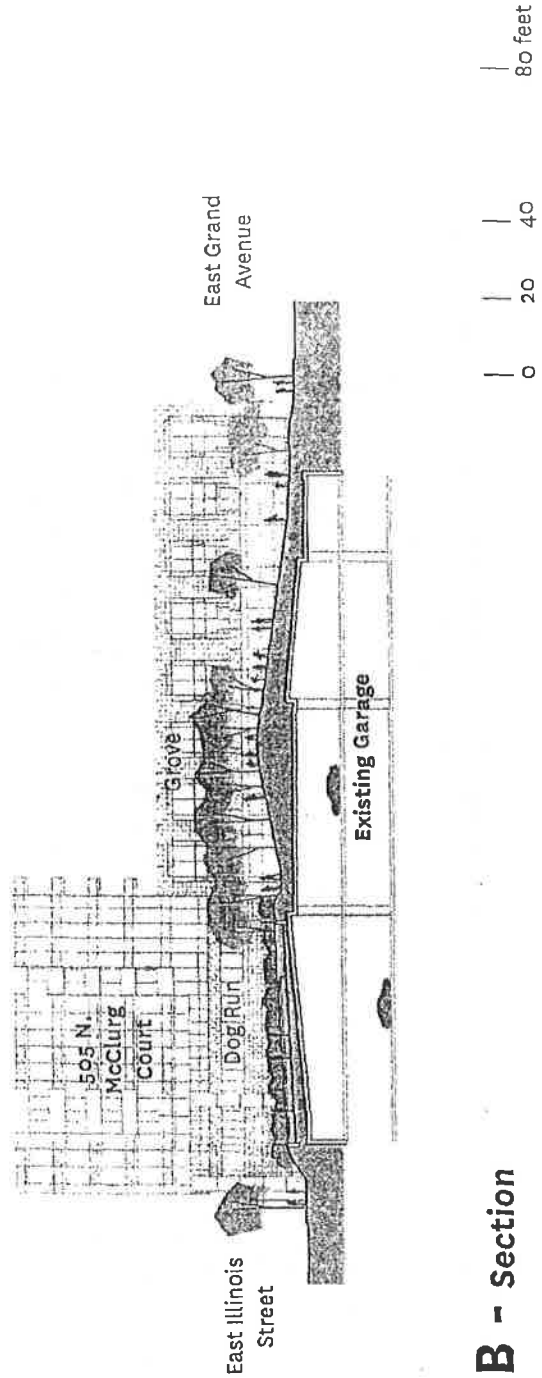
Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission, December 18, 2014

**LANDSCAPE PLAN**  
 SCALE: 1"=80'





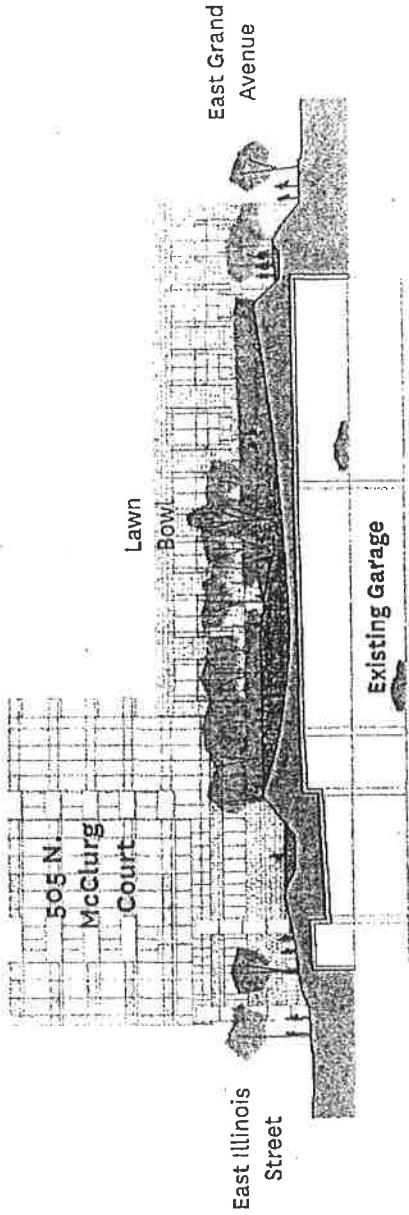
**A - Section**



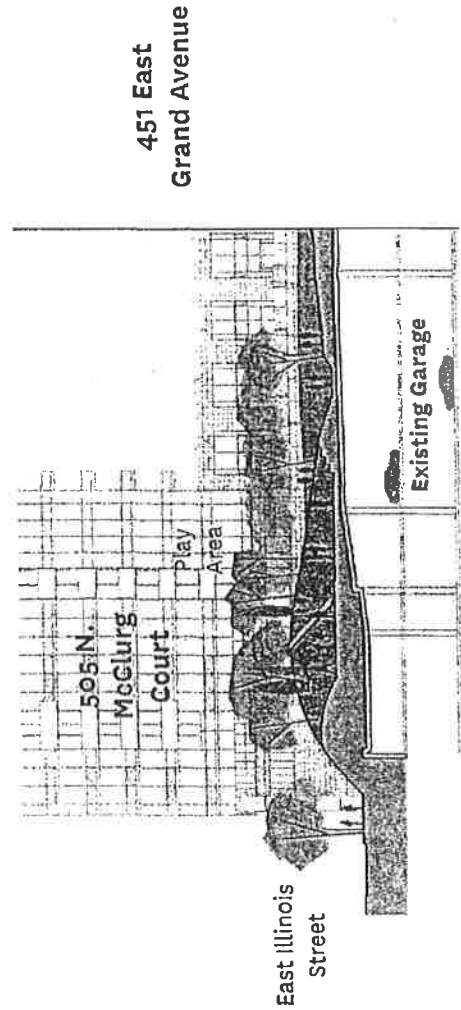
**B - Section**

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

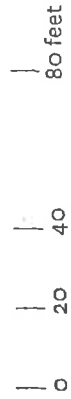
**LANDSCAPE SECTIONS**  
 SCALE: 1" = 40'



**C - section**



**D - section**

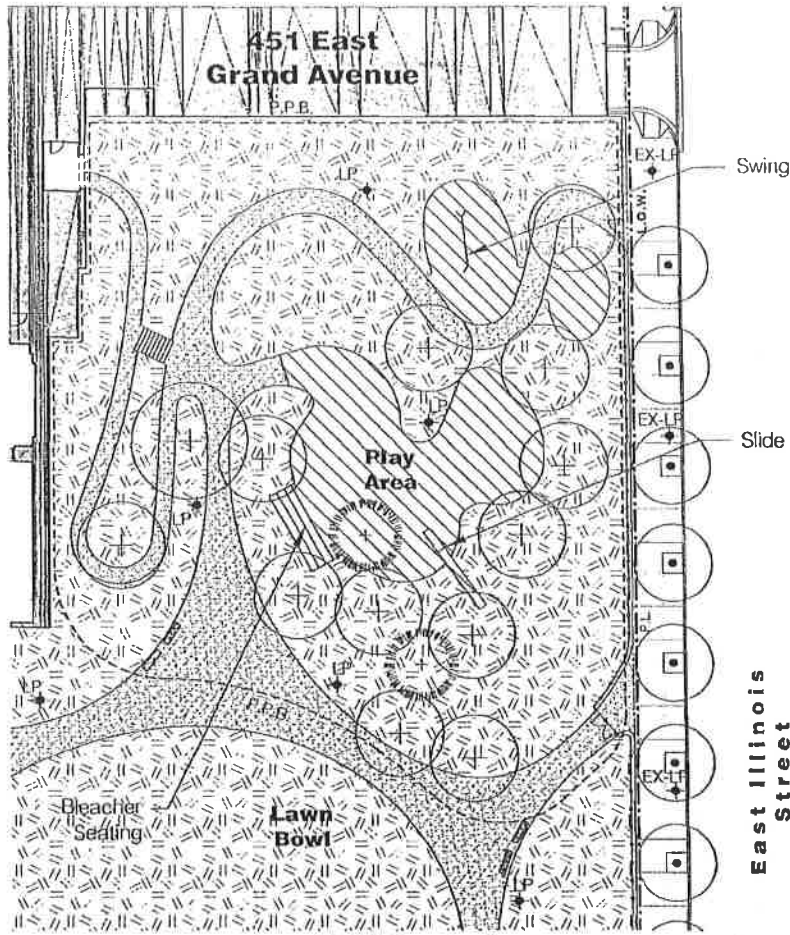


LIST OF POSSIBLE TREE SPECIESShade Trees

Scientific Name	Common Name
<i>Quercus robur</i> 'Pyramich'	Skymaster English Oak
<i>Acer campestre</i>	Hedge Maple
<i>Acer ginnala</i>	Amur Maple
<i>Acer saccharum</i> 'Fall Fiesta'	Fall Fiesta Sugar Maple
<i>Aesculus hippocastanum</i> 'Baumannii'	Baumann Horsechestnut
<i>Aesculus octandra</i>	Yellow Buckeye
<i>Carpinus caroliniana</i>	American Hornbeam
<i>Catalpa ovata</i>	Chinese Catalpa
<i>Catalpa speciosa</i>	Northern Catalpa
<i>Celtis laevigata</i>	Sugarberry
<i>Celtis occidentalis</i> 'Chicagoland'	Chicagoland Hackberry
<i>Cladrastis kentukea</i>	American Yellowwood
<i>Fagus grandifolia</i>	American Beech
<i>Fagus sylvatica</i> 'Purpurea'	Copper Beech
<i>Ginkgo biloba</i>	Ginkgo (Male Only)
<i>Ginkgo biloba</i> 'Magyar'	Magyar Ginkgo
<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline Honeylocust
<i>Gymnocladus dioica</i>	Kentucky Coffeetree
<i>Nyssa sylvatica</i>	Black Gum, Tupelo
<i>Platanus occidentalis</i>	American Sycamore
<i>Platanus x acerifolia</i> 'Morton Euclid'	Ovation London Planetree
<i>Populus tremuloides</i>	Quaking Aspen
<i>Quercus bicolor</i>	Swamp White Oak
<i>Quercus</i> 'Fastigiata' x <i>Q. bicolor</i> 'Long'	Regal Prince English Oak
<i>Quercus macrocarpa</i>	Bur Oak
<i>Quercus prinus</i>	Chesnut Oak
<i>Quercus robur</i>	English Oak
<i>Robinia pseudoacacia</i> 'Chicago Blues'	Chicago Blues Black Locust
<i>Tilia americana</i>	American Linden
<i>Ulmus americano</i> 'Princeton'	Princeton Elm
<i>Zelkova serrata</i> 'Musashino'	Village Green Japanese Zelkova

Coniferous Trees

Scientific Name	Common Name
<i>Abies concolor</i>	White Fir
<i>Larix decidua</i>	European Larch
<i>Toxodium distichum</i>	Baldcypress
<i>Thuja occidentalis</i>	Eastern Arborvitae



**Pocket Park Legend**

- L.O.W. --- Limit of Work
- P.L. --- Property Line
- B.O.H. --- Building Overhang
- P.P.B. --- Pocket Park Boundary
- 4'H Metal Fence --- 4'H Metal Fence
- 4'H Metal Gate --- 4'H Metal Gate
- ▼ Building Entry
- ≡ Steps
- ⋯ Bike Racks
- ◆ EX-LP Existing Light Pole
- ◆ LP Light Pole
- ▭ Bench Seating
- ▨ Asphalt Pavement, <5% Slope
- ▩ Concrete Pavement
- ▧ Decomposed Granite Pavement
- ▨ Play Mulch
- ▩ Lawn
- Existing Street Tree
- ⊕ Proposed Deciduous Tree (13 Trees)
- ⊕ Proposed Coniferous Tree (2 Trees)

**Pocket Park Information**

- Size: 20,608 SF
- Landscape Area: 13,300 SF (64%)
- Tree Quantity: 15
- Seating: 100 LF
- Perimeter: 575 LF
- Street Frontage: 154 LF (27% of Perimeter)
- Length: 160 LF
- Width: 140 LF



**Design Description**

Containing a series of interconnected play areas for children of all ages and their families, the pocket park along E. Illinois Street will be an amenity for residents of the Streeterville neighborhood and for visitors. Conventional play equipment including swings and a slide will be coupled with opportunities for sensory play that engages children with the nature that surrounds the play area. Some areas will have topography to encourage different ways to play, while bleacher-style seating will provide a place for all to stop and rest or to gather groups together for more structured activities. Planting is integrated to provide seasonal interest and shade.

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

**POCKET PARK LANDSCAPE PLAN**

SCALE: 1" = 40'





CITY OF CHICAGO  
 DEPARTMENT OF PLANNING AND DEVELOPMENT  
 BUREAU OF ZONING AND LAND USE  
 APPLICATION FOR ZONING BONUS REVIEW

**WORKSHEET: FAR BONUS CALCULATION**

Property Address: 451 East Grand Zoning District: RBPD No. 368 (Underlying DX-12)

**ON-SITE BONUSES**

Amenity	Amenity area (in sq.ft.)	Lot area (in sq.ft.)	Premium Factor	Base FAR	FAR Bonus calculated	FAR Bonus Cap compare with
Formula:	A	B	C	D	(A/B) * C * D	
Affordable Housing – On-Site			4	(1)		1.00 (-5) 1.75 (-7) 2.50 (-10) 3.60 (-12) 4.80 (-16)
Public Plaza and Pocket Park	20,008	167,104	1	8.98	1.07	6
Chicago Riverwalk			1			–
Winter Garden			1			3
Through-Block Connection (Indoor)			0.66			–
Through-Block Connection (Outdoor)			1			–
Sidewalk Widening			2			–
Arcade			1.25			2
Water Feature			0.3			1
Upper-Level Setbacks (-7 & -10 Districts)			0.3			1
Upper-Level Setbacks (-12 & -16 Districts)			0.4			25% of D
Lower-Level Planting Terrace			1			–
Green Roofs			0.3			2
Underground Parking (Levels -1 & -2)	42,000	167,104	0.15	8.98	0.3	30% of D
Underground Parking (Level -3 or lower)	61,600	167,104	0.2	8.98	0.7	30% of D
Underground Loading			0.15			30% of D
Parking Concealed by Occupiable Space			0.4			25% of D
Total FAR Bonus On-Site Improvements					2.08	

<b>OFF-SITE BONUSES</b>
-------------------------

**Calculation of Financial Contribution**

Formula: Cash contribution for 1 sq.ft. of FAR bonus = 0.8 x median cost of 1 sq. ft. of buildable floor area

Amenity	Bonused Square Feet Desired	Discount Factor	median cost of 1 sq.ft. of buildable floor area (in \$): See City Survey of Land Cost	Base FAR	Financial Contribution
Formula:	A	B	C	D	E=A*B*C
Off-Site Park or Riverwalk		0.8			
Street Lighting and Landscaping		0.8			
Transit Station Improvements		0.8			
Pedway Improvements		0.8			
Adopt-A-Landmark		0.8			
Affordable Housing	86,720	0.8	\$43	8.98	\$2,983,168
Education		0.8			
<b>Totals</b>	<b>86,720</b>				<b>\$2,983,168</b>

**Comparison to FAR Bonus Cap**

Amenity	Total Bonused Square Feet Desired	Lot Area (in sq. ft.)	Base FAR	FAR Bonus calculated	FAR Bonus Cap:
Formula:	F	G	H	I = (F/G) * H	Compare with
Off-Site Park or Riverwalk					20% of H
Street Lighting and Landscaping					20% of H
Transit Station Improvements					20% of H
Pedway Improvements					20% of H
Adopt-A-Landmark					20% of H
Affordable Housing	86,720	167,104	8.98	0.52	20% of H (-5) 25% of H (-7, -10) 30% of H (-12, -16)
Education					25% of H (-10) 30% of H (-12, -16)

If FAR Bonus calculated exceeds FAR Bonus Cap, the effective FAR Bonus for Off-Site Improvements is equal to the FAR Bonus Cap

<b>Summary</b>
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Base FAR	8.98
FAR Bonus for On-Site Improvements	2.07
FAR Bonus for Off-Site Improvements	0.52
<b>Total FAR</b>	<b>11.57</b>
<b>Total Financial Contribution</b>	<b>\$2,983,168</b>

Maximum Floor Area with Base FAR	1,499,510
Floor Area with FAR Bonus On-Site Improvements	346,878
Floor Area with FAR Bonus Off-Site Improvements	86,720
<b>Total Maximum Floor Area</b>	<b>1,933,108</b>

Signature of Applicant

Date

Received by (Dept. of Planning &amp; Dev.)

Date

Rev. May 2014

Page 2 of 2

EAST87014636.1





DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

January 7, 2015

Mitchel A. Carrel  
Freeborn & Peters LLP  
311 South Wacker Drive; Suite 3000  
Chicago, IL 60606

**Re: Request for Minor Change to the April 22, 2005 Site Plan Approval for Parcels P4 and P5 of Subarea A of Residential Business Planned Development No. 368, as it pertains to Subparcels C/D (214-236 East Illinois Street/215-237 East Grand Avenue) thereof. Commonly known as 220 East Illinois Street and 221 East Grand Avenue.**

Dear Mr. Carrel:

Please be advised that your request on behalf of Optima, Inc. and the applicant hereunder, Optima Center Chicago II, LLC, for Minor Change approval in connection with the development of Subparcels C/D has been considered by the Department of Planning and Development. This Minor Change letter would supersede that approved on September 9, 2014.

On April 22, 2005, the Department of Planning and Development, pursuant to the provisions of the Statement No. 16 of the Planned Development #368, issued a Site Plan Approval letter pertaining to Parcels P4 and P5 of Subarea A, setting forth development parameters and requirements for three high-rise buildings to be constructed on Subparcels A, B and C/D. Subparcel A, the easternmost of the three parcels, Subparcel B, the westernmost of the three parcels, and Subparcel C below Upper Illinois Street have since been developed.

Optima seeks changes to the approved Site Plan as it pertains to Subparcel C at Upper Illinois Street, and above, and to Subparcel D, both in the middle development parcel. Optima's proposed building consists of a tower atop a parking base, both enclosed with a glass exterior to be constructed in accordance with the plans, elevations and project data (collectively, the "Plans") prepared by Optima, Inc., and dated October 24, 2014.

The project involves a mixed-use residential/commercial tower that is approximately 560 feet tall, as measured from Upper Illinois Street to the underside of the top ceiling joist which is exclusive of non-habitable rooftop improvements, a maximum of 710,000 square feet of floor area, a maximum of 498 residential units, approximately 65,000 square feet of commercial/retail/office space located above and below Upper Illinois Street (exclusive of existing grocery or other uses), 353 accessory parking spaces, two loading spaces, and 50 bicycle parking spaces. This is generally smaller than the building for Subparcels C/D approved on

April 22, 2005. That building was 694 feet high and contained 350 residential units and 300 hotel keys.

Features of the proposal for Subparcels C/D (220 East Illinois Street/221 East Grand Avenue) include:

- A tower generally located on Subparcel D along East Grand Avenue extending fifty-three habitable floors above Upper East Illinois Street; a plaza on Subparcel C fronting on Upper East Illinois Street; and an eight-level plus mezzanine wing along the east side of Subparcels C/D abutting the parking structure on Subparcel A.
- A landscaped plaza at Upper East Illinois Street with a curbside drop-off lane.
- Plaza-level residential, commercial/office, and/or retail space.
- Five levels of accessory parking spaces for the residential, hotel and related retail, commercial, and office uses accessed from the existing parking structure to the east on Subparcel A and from an existing curb cut on East Grand Avenue.
- Forty-three residential unit floors, two full and two partial amenity floors, as well as mechanical penthouses and other uses.
- Glass cladding on all four sides: gray with red-colored ceramic frit on the five parking floors, clear, opaque or other colored glass on the other floors.
- 498 residential dwelling units, at least 63 of which must be efficiency units.
- Approximately 65,000 total square feet of commercial/office/retail floor space.
- 353 accessory parking spaces (which equates to 0.68 spaces per residential unit and 1 space per 5000 square feet of commercial/retail/office space).
- 2 loading docks @ 10' x 25' accessible from the alley north of Lower East Illinois Street.
- 50 bicycle storage spaces.
- A dog run located on the Level 8 terrace along the west side of the building.
- A green roof of approximately 8,059 square feet (exceeding 50% of net roof area) and LEED certification.
- Common open space on the first (Upper Illinois) and eighth floors, containing a total 24,982 square feet (which equates to approximately 50 square feet per dwelling unit).

I have reviewed the Plans, the 2005 Site Plan Letter and the applicable requirements of the Planned Development, as amended, and find that:

(i) The Plans substantially conform with the 2005 Site Plan Letter and the applicable provisions of the Planned Development.

(ii) As required by Statement No. 11(f) of the Planned Development, the materials of the exterior enclosure of the structure's parking base are similar in terms of finish materials, the shape and scale of openings and the screening of ramps, car lights and ceiling fixtures to the exterior enclosure of the habitable spaces of the tower above.

(iii) Approval of the proposed Plans is permitted as a Minor Change pursuant to 17-13-0611 because it does not change the character of the approved Planned Development, does not increase the floor area ratio or number of dwelling units permitted in the overall Planned Development or Subarea A of the Planned Development, does not reduce the minimum distance between buildings and does not reduce the periphery setbacks.

Accordingly, for the reasons stated above, I hereby approve the requested Minor Changes to the April 22, 2005, Site Plan Approval Letter for Subparcels C/D of Parcels P4 and P5 of Subarea A of Planned Development No. 368, but no others. These Minor Changes supersede those approved on September 9, 2014. The following Plans, prepared by Optima, Inc., dated October 24, 2014, are hereby made part of the Parcel P4 and P5 Site Plan Approval:

- SPD-A102 Landscape Plan;
- SPD-A103 Landscape Plan;
- SPD-A104 Landscape Plan;
- SPD-A201 Site Plan – Roof Level;
- SPD-A202 Level 1 – Upper Illinois;
- SPD-A203 Lower Illinois Level;
- SPD-A204 Level 2 – Hotel Parking;
- SPD-A205 Level 3 - Parking;
- SPD-A206 Level 4-5 - Parking;
- SPD-A207 Level 6 - Parking;
- SPD-A208 Level 9;
- SPD-A209 Level 20;
- SPD-A210 Level 53;
- SPD-A401 South Elevation;
- SPD-A402 North Elevation;
- SPD-A403 East Elevation;
- SPD-A404 West Elevation;
- SPD-A405 West Elevation Hotel Entrance; and
- SPD-A406 South Elevation at Courtyard.

In addition to granting amended Site Plan approval to the above described building, I hereby grant amended Site Plan approval to the following:

- a) Revision of the phase-related scheduling in the April 22, 2005 Site Plan Approval letter to allow combination of the project improvements of Subparcels C and D into Phase III;
- b) Substitution of the proposed building façade to allow the materials and articulation consistent with the adjacent 200 E. Illinois project (Subparcel B) including glass cladding on all sides: gray glass with red-colored ceramic frit on the parking floors and clear, opaque, or other colored glass on the other floors as shown on the plans, notwithstanding Statements No. 11 (d) and (f) in the Planned Development;
- c) Retention and permanent continued operation of the E. Grand Avenue parking ramps and curb cut, notwithstanding the Minor Change letter of May 19, 2004;
- d) Provision of a building setback along E. Grand Avenue which allows a sidewalk of 10'-2", more nearly matching the sidewalks provided at buildings to either side, approximately 9'-4", or less; although this sidewalk would be less than the 12'-6" called for in the Planned Development, it would still allow for street trees and would provide a consistent sidewalk width on this block; and
- e) Creation of a drop-off zone along Upper Illinois Street and relocation, subject to all applicable City of Chicago approvals, of nine existing landscape planters to a location along Upper Illinois Street west of the property.

This Minor Change approval to the April 22, 2005 Site Plan Approval for Parcels P4 & P5 supersedes that issued on September 9, 2014, and is subject to the following provisions:

- 1) The development of Subparcels C/D shall have a green roof of at least 8,059 square feet and shall be LEED certified.
- 2) The 498 dwelling units on Subparcels C/D must include at least 63 efficiency units as defined by Section 17-17-0249 of the Zoning Code.
- 3) Signage on all Subparcels (A, B, C, & D), including temporary signs for construction and marketing, shall be reviewed and approved separately subject to Statements No. 9 and 11(e) of the Planned Development. This supersedes any signage provisions of the April 22, 2005 Site Plan Approval letter.
- 4) A maximum of 281 non-accessory parking spaces may remain as a legal non-conforming use in the above-Plaza-level parking garage on Subparcel A as permitted by the Minor Change letter dated July 12, 2000.
- 5) On a Planned Development Minor Change letter, dated June 6, 2014, I waived the requirement of the Planned Development's Statement No. 15 for membership and participation in the Illinois-Grand Corridor Traffic Management Association (the "TMA") until and unless the TMA is reinstated or reconstituted pursuant to applicable law.

The following table summarizes the development on Parcels P4 & P5, as authorized by PD #368, the Site Plan Minor Change of April 22, 2005, subsequent revisions, and Part II approvals:

Parameter	PD #368 requirements	Existing and Proposed Actual Total – Parcels P4 & P5	Existing and Proposed Actual Total – Subparcels A-D		
			A and C (below Plaza level)	B	C (Plaza level & above) and D
Net Site Area		108,215 s.f.			
FAR	14.785	14.100			
FAR Floor Area	1,600,000 s.f. a)	1,525,846 s.f.	420,947 s.f.	394,899 s.f.	710,000 s.f.
Building Height	na	na	420'	410'	560'
Dwelling Units	1,082 b)	1,104	281	325	498 b)
Hotel Keys	1,800 c)	none	na	na	None
Commercial Floor Area	5,259,000 s.f. d)	136,422 s.f.	0	0	65,000 s.f. g)
Retail Floor Area	410,000 e)		62,000 s.f.	9,422 s.f. f)	
Accessory Parking Spaces	635 h)	931	340	238	353
Non-accessory Parking Spaces	281 i)	281	281	0	0
Loading Berths		11	7	2	2
Bicycle Parking Spaces		313	83	180	50

Notes:

- a) As per Bulk Regulations and Data Table, Note (6).
- b) As per Bulk Regulations and Data Table, Notes (2) and (3), units are allowed on DX-16 standards: 1 unit per 100 square feet of Net Site Area for non-efficiency units and 1 unit per 65 square feet of Net Site Area for efficiency units as defined by Section 17-17-0249 of the Zoning Code. Hotel rooms may be interchanged at the rate of 0.5 residential unit per hotel room.
- c) Maximum hotel rooms for the entire Subarea A, absent any hotel room/residential unit conversions.
- d) Maximum commercial/office floor area for the entire Subarea A.
- e) As per Bulk Regulations and Data Table, Note (5).
- f) As per Part II of Dec. 11, 2011. Up to 26,500 s.f. permitted by Site Plan Minor Change of Dec. 5, 2011.
- g) This square footage may be split between commercial, office and retail uses.
- h) 1,104 residential units @ 0.55 spaces per unit; 136,422 s.f. business (commercial & retail) @ 1 space per 5,000 s.f..
- i) Although non-accessory parking has not been permitted in Subarea A since the Feb. 27, 2002, approval of the amended Planned Development, up to 281 non-accessory parking spaces as permitted by the Minor Change letter of July 12, 2000, may continue in Subarea A, Parcel P4/P5 as a legal nonconforming use.

Sincerely,



Patricia A. Scudiero  
Zoning Administrator

PAS:HG.f.d

cc: Heather Gleason, Mike Marmo, Erik Glass, Planned Development Files



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

October 28, 2014

Mara S. Georges  
Daley and Georges, Ltd.  
20 South Clark Street  
Suite 400  
Chicago, IL 60603-1835

**Re: Advisory Opinion for Residential Business Planned Development No. 368  
Built and remaining floor Area within Sub area A**

Dear Ms. Georges:

This letter is in response to your recent request regarding the remaining floor area available within Sub area A of Planned Development No. 368, ("PD 368") as amended. You also state in your request that you are particularly interested in allocations for 401 N. Michigan Avenue, which is located within Sub area A.

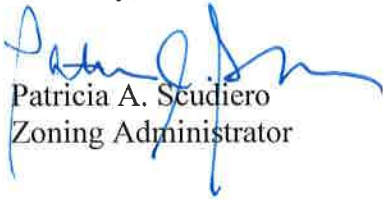
The table below includes several square footage estimates for three existing buildings and one building recently issued a caisson permit. Therefore, the total built and remaining floor area are estimates only. In regards to 401 N. Michigan Ave., we do not know the actual built floor area, therefore, we include the assumed amount of 760,241 square feet ("SF") identified within Note 6 of the Bulk Regulations and Data Table for PD 368, as amended. Also, please note that the building to be located at 214-236 E. Illinois St. and 221 E. Grand Ave. has an estimated total square footage of 710,000 SF. However, a more precise number will be assigned when a Part II is issued for the entire building's construction, rather than just the caissons.

<b>Sub area A Address</b>	<b>Floor Area</b>	<b>Comments</b>
401 N Michigan (Equitable)	760,241.00	*Per PD Bulk Table, Note 6 assumption
455 N Cityfront Plaza Dr. (NBC)	912,000.00	*Per PD Bulk Table, Note 6 assumption
450 N Cityfront Plaza Dr. (U of C)	240,000.00	*Per PD Bulk Table, Note 6 assumption
200 E Illinois (Phase 1 only)	186,649.00	Part II issued 2/11/2004
240 E Illinois (Parcels 4 and 5)	417,737.00	Part II issued 8/31/2005
240 E Illinois (Floor expansion)	3,210.51	Part II issued 7/25/2008
200-215 E IL/500-09 N St Clair	394,899.00	Part II issued 12/5/2011
214-236 E IL/221 E Grand	710,000.00	*Caisson Part II only issued 9/18/2014
<b>Total Estimated Floor Area Used</b>	<b>3,624,736.50</b>	<b>*Estimate only</b>

Sub Area A Total Floor Area Allowed	5,258,792.70	Net site Area x Maximum FAR
Total Estimated Floor Area Used	3,624,736.50	
<b>Total Estimated Floor Area Remaining</b>	<b>1,634,056.20</b>	

Based on a net site area of 380,796 SF and a maximum floor area ratio of 13.81, Sub area A is allowed a total of 5,258,792.7 SF of buildable floor area. Based on an estimate of 3,624,736.50 SF used, there is approximately 1,634,056.2 SF of floor area remaining within Sub area A. If you have any questions or require additional information, please contact Teresa McLaughlin (312 744-4891) or Mike Marmo (312 744-9238) of my staff.

Sincerely,



Patricia A. Scudiero  
Zoning Administrator

PAS:HG:tm

C: Heather Gleason, Mike Marmo, Fred Deters, Vicki Lozano, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

September 9, 2014

Mitchel A. Carrel  
Freeborn & Peters LLP  
311 South Wacker Drive; Suite 3000  
Chicago, IL 60606

**Re: Request for Minor Change to the April 22, 2005 Site Plan Approval for Parcels P4 and P5 of Subarea A of Residential Business Planned Development No. 368, as it pertains to Subparcels C/D (214-236 East Illinois Street/215-237 East Grand Avenue) thereof. Commonly known as 220 East Illinois Street and 221 East Grand Avenue.**

Dear Mr. Carrel:

Please be advised that your request on behalf of Optima, Inc. and the applicant hereunder, Optima Center Chicago II, LLC, for Minor Change approval in connection with the development of Subparcels C/D has been considered by the Department of Planning and Development.

On April 22, 2005, the Department of Planning and Development, pursuant to the provisions of the Statement No. 16 of the Planned Development #368, issued a Site Plan Approval letter pertaining to Parcels P4 and P5 of Subarea A, setting forth development parameters and requirements for three high-rise buildings to be constructed on Subparcels A, B and C/D. Subparcel A, the easternmost of the three parcels, Subparcel B, the westernmost of the three parcels, and Subparcel C below Upper Illinois Street have since been developed.

Optima seeks changes to the approved Site Plan as it pertains to Subparcel C at Upper Illinois Street, and above, and to Subparcel D, both in the middle development parcel. Optima's proposed building consists of a tower atop a parking base, both enclosed with a glass exterior to be constructed in accordance with the plans, elevations and project data (collectively, the "Plans") prepared by Optima, Inc., and dated March 10, 2014.

The project involves a mixed-use hotel/residential/commercial tower that is approximately 560 feet tall, as measured from Upper Illinois Street to the underside of the top ceiling joist which is exclusive of non-habitable rooftop improvements, a maximum of 710,000 square feet of floor area, a maximum of 381 residential units, 270 hotel keys, approximately 37,300 square feet of accessory hotel uses, an additional approximately 10,000 square feet of commercial/retail/office space located above and below Upper Illinois Street (exclusive of existing grocery or other uses), 329 accessory parking spaces, two loading spaces, and 50 bicycle parking spaces. This is generally smaller than the building for Subparcels C/D approved on April 22, 2005. That building was 694 feet high and contained 350 residential units and 300 hotel keys.

Features of the proposal for Subparcels C/D (220 East Illinois Street/221 East Grand Avenue) include:

- A tower generally located on Subparcel D along East Grand Avenue extending fifty-three habitable floors above Upper East Illinois Street; a plaza on Subparcel C fronting on Upper East Illinois Street; and a nine-level wing along the east side of Subparcels C/D abutting the parking structure on Subparcel A.
- A landscaped plaza at Upper East Illinois Street with a curbside drop-off lane and covered walkways to the residential and hotel entrances.
- Plaza-level residential and hotel lobbies, hotel accessory/support spaces and commercial/office and/or retail space.
- Five levels of accessory parking spaces for the residential, hotel and related retail, commercial, and office uses accessed from the existing parking structure to the east on Subparcel A and from an existing curb cut on East Grand Avenue.
- Twelve hotel room floors, 32 residential unit floors, three amenity floors, as well as mechanical penthouses and other uses.
- Glass cladding on all four sides, dark or gray on the five parking floors, clear or opaque on the other floors.
- 381 residential dwelling units and 270 hotel keys.
- Approximately 47,300 total square feet of commercial/office/retail floor space (approximately 37,300 square feet of hotel accessory support space, counted as commercial space; and approximately 10,000 square feet of commercial/retail/office floor space. This number is exclusive of any residential accessory, related or support space.
- 329 accessory parking spaces (which equates to 0.66 spaces per residential unit, 0.25 spaces per hotel key, and 1 space per 5000 square feet of commercial/retail/office space).
- 2 loading docks @ 10' x 25' accessible from the alley north of Lower East Illinois Street.
- 50 bicycle storage spaces.
- A dog run located on the Level 9 terrace along the north side of the building.
- A green roof of approximately 8,187 square feet (approximately 60% of net root area) and LEED certification.
- Common open space on the first (Upper Illinois) and ninth floors, containing a total 16,493 square feet (which equates to approximately 43 square feet per dwelling unit).

I have reviewed the Plans, the 2005 Site Plan Letter and the applicable requirements of the Planned Development, as amended, and find that:

(i) The Plans substantially conform with the 2005 Site Plan Letter and the applicable provisions of the Planned Development.

(ii) As required by Statement No. 11(f) of the Planned Development, the materials of the exterior enclosure of the structure's parking base are similar in terms of finish materials, the shape and scale of openings and the screening of ramps, car lights and ceiling fixtures to the exterior enclosure of the habitable spaces of the tower above.

(iii) Approval of the proposed Plans is permitted as a Minor Change pursuant to 17-13-0611 because it does not change the character of the approved Planned Development, does not

increase the floor area ratio or number of dwelling units permitted in the overall Planned Development or Subarea A of the Planned Development, does not reduce the minimum distance between buildings and does not reduce the periphery setbacks.

Accordingly, for the reasons stated above, I hereby approve the requested Minor Changes to the April 22, 2005, Site Plan Approval Letter for Subparcels C/D of Parcels P4 and P5 of Subarea A of Planned Development No. 368, but no others. The following Plans, prepared by Optima, Inc., dated March 10, 2014, are hereby made part of the Parcel P4 and P5 Site Plan Approval:

- SPD-A102 Landscape Plan;
- SPD-A103 Landscape Plan;
- SPD-A104 Landscape Plan;
- SPD-A201 Site Plan – Roof Level;
- SPD-A202 Level 1 – Upper Illinois;
- SPD-A203 Lower Illinois Level;
- SPD-A204 Level 2 – Hotel Parking;
- SPD-A205 Level 3 - Parking;
- SPD-A206 Level 4-5 - Parking;
- SPD-A207 Level 6 - Parking;
- SPD-A208 Level 9;
- SPD-A209 Level 20;
- SPD-A210 Level 53;
- SPD-A401 South Elevation;
- SPD-A402 North Elevation;
- SPD-A403 East Elevation;
- SPD-A404 West Elevation;
- SPD-A405 West Elevation Hotel Entrance; and
- SPD-A406 South Elevation at Courtyard.

In addition to granting amended Site Plan approval to the above described building, I hereby grant amended Site Plan approval to the following:

- a) Revision of the phase-related scheduling in the April 22, 2005 Site Plan Approval letter to allow combination of the project improvements of Subparcels C and D into Phase III;
- b) Substitution of the proposed building façade to allow the materials and articulation consistent with the adjacent 200 E. Illinois project (Subparcel B) including glass cladding on all sides, gray on the parking floors and clear on the other floors as shown on the plans, notwithstanding Statements No. 11 (d) and (f) in the Planned Development;
- c) Retention and permanent continued operation of the E. Grand Avenue parking ramps and curb cut, notwithstanding the Minor Change letter of May 19, 2004;
- d) Provision of a building setback along E. Grand Avenue which allows a sidewalk of 10'-2", more nearly matching the sidewalks provided at buildings to either side, approximately 9'-4", or less; although this sidewalk would be less than the 12'-6" called for in the Planned Development, it would still allow for street trees and would provide a consistent sidewalk width on this block; and

- e) Creation of a drop-off zone along Upper Illinois Street and relocation, subject to all applicable City of Chicago approvals, of nine existing landscape planters to the median strip along Upper Illinois Street east of the property.

This Minor Change approval to the April 22, 2005 Site Plan Approval for Parcels P4 & P5 is subject to the following provisions:

- 1) The development of Subparcels C/D shall have a green roof of at least 8,187 square feet and shall be LEED certified.
- 2) Signage on all Subparcels (A, B, C, & D), including temporary signs for construction and marketing, shall be reviewed and approved separately subject to Statements No. 9 and 11(e) of the Planned Development. This supersedes any signage provisions of the April 22, 2005 Site Plan Approval letter.
- 3) A maximum of 281 non-accessory parking spaces may remain as a legal non-conforming use in the above-Plaza-level parking garage on Subparcel A as permitted by the Minor Change letter dated July 12, 2000.
- 4) On a Planned Development Minor Change letter, dated June 6, 2014, I waived the requirement of the Planned Development's Statement No. 15 for membership and participation in the Illinois-Grand Corridor Traffic Management Association (the "TMA") until and unless the TMA is reinstated or reconstituted pursuant to applicable law.


The following table summarizes the development on Parcels P4 & P5, as authorized by PD # 368, the Site Plan Minor Change of April 22, 2005, subsequent revisions, and Part II approvals:

Parameter	PD #368 requirements	Existing and Proposed Actual Total – Parcels P4 & P5	Existing and Proposed Actual Total – Subparcels A-D		
			A and C (below Plaza level)	B	C (Plaza level & above) and D
Net Site Area		108,215 s.f.			
FAR	14.785	14.100			
FAR Floor Area	1,600,000 s.f. a)	1,525,846 s.f.	420,947 s.f.	394,899 s.f.	710,000 s.f.
Building Height	na	na	420'	410'	560'
Dwelling Units	1,082 b)	987	281	325	381
Hotel Keys	1,800 c)	270	na	na	270
Commercial Floor Area	5,259,000 s.f. d)	37,300 s.f.	0	0	37,300 s.f. f)
Retail Floor Area	410,000 e)	81,422 s.f.	62,000 s.f.	9,422 s.f. g)	10,000 s.f. h)
Accessory Parking Spaces	635 i)	907	340	238	329
Non-accessory Parking Spaces	281 j)	281	281	0	0
Loading Berths		11	7	2	2
Bicycle Parking Spaces		313	83	180	50

Notes:

- a) As per Bulk Regulations and Data Table, Note (6).
- b) As per Bulk Regulations and Data Table, Notes (2) and (3), units are allowed on DX-16 standards, 1 unit per 100 square feet of Net Site Area and residential units and hotel rooms may be interchanged at the rate of 0.5 residential unit per hotel room.
- c) Maximum hotel rooms for the entire Subarea A, absent any hotel room/residential unit conversions.
- d) Maximum commercial/office floor area for the entire Subarea A.
- e) As per Bulk Regulations and Data Table, Note (5).
- f) Accessory hotel uses charged against Commercial space, as per Bulk Regulations and Data Table, Note (3).
- g) As per Part II of Dec. 11, 2011. Up to 26,500 s.f. permitted by Site Plan Minor Change of Dec. 5, 2011.
- h) This square footage may be split between commercial, office and retail uses.
- i) 987 residential units @ 0.55 spaces per unit; 118,722 s.f. business (commercial & retail) @ 1 space per 5,000 s.f.; 270 hotel rooms @ 0.25 space per room.
- j) Although non-accessory parking has not been permitted in Subarea A since the Feb. 27, 2002, approval of the amended Planned Development, up to 281 non-accessory parking spaces as permitted by the Minor Change letter of July 12, 2000, may continue in Subarea A, Parcel P4/P5 as a legal nonconforming use.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

PAS:HG.fd

cc: Heather Gleason, Mike Marmo, Erik Glass, Planned Development Files



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

June 20, 2014

Thomas J. Murphy, P.C.  
111 West Washington Street  
Suite 1920  
Chicago, IL 60602

**Re: One-year sunset extension for Residential Business Planned Development Number 368  
Subarea E.3, 400 North Lake Shore Drive, Chicago Spire Site**

Dear Mr. Murphy:


Please be advised that your request for a one-year sunset extension to the six-year construction period for Subarea E.3 of Residential Business Planned Development No. 368 has been considered by the Department of Planning and Development pursuant to Section 17-13-0612-B of the Chicago Zoning Ordinance and Statement No. 21 of the Planned Development.

Residential Business Planned Development No. 368 was last amended by the Chicago City Council on June 6, 2012. Statement No. 21 of the Planned Development states that unless substantial construction of the improvements contemplated within Subarea E.3 has commenced within six (6) years following adoption of this planned development on July 9, 2008, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subarea E.3 and the zoning of Subarea E.3 of the planned development shall automatically revert to Residential Business Planned Development Number 368, as amended on March 29, 2006.

You are requesting, on behalf of the property owner of Subarea E.3, Shelbourne North Water Street LP, a one year extension as it relates to Subarea E.3, 400 N. Lake Shore Drive, and the site of the Chicago Spire. According to your request letter, \$135 million in funds have been pledged under a Planned Investment Agreement that will allow the owner to emerge from bankruptcy and resume construction in 12 months.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 368, I hereby approve a one-year sunset extension from July 9, 2014 to July 9, 2015 for Subarea E.3 only.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

PAS:HG:tm

C: Patti Scudiero, Heather Gleason, Fred Deters, Mike Marmo, Erik Glass, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

June 6, 2014

Mitchell A. Carrel  
Freeborn & Peters LLP  
311 South Wacker Drive  
Suite 3000  
Chicago, IL 60606

**Re: Administrative Relief request for Residential Business Planned Development No. 368, Sub parcels C and D within Subarea A, 214-236 E. Illinois St./215-237 E. Grand Ave.; Illinois-Grand Corridor Traffic Management Association**

Dear Mr. Carrel:

Please be advised that your request for a minor change to Residential Business Planned Development No. 368 ("PD 368"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of PD 368.

Your firm represents Optima, Inc. and the applicant, Optima Center Chicago II, LLC. You are seeking administrative relief from the requirement in Statement No. 15 of the Planned Development which requires membership and participation in the Illinois-Grand Corridor Transportation Management Association ("TMA") prior to the issuance of any Part II approval. You are also seeking acknowledgement that the TMA cannot carry out the public functions identified within Exhibit 8 of the PD. To the best of everyone's knowledge, TMA is no longer a functioning organization.

Optima Center Chicago II, LLC, is the owner of all the land within Sub parcels C and D that comprise the project as identified in a related, revised Site Plan Approval request dated May 29, 2014. The project and ownership does not include those portions of Sub parcel C that comprise the existing grocery store's parking and loading area lying between +11.34 and +25.67 CCD and below +36 CCD, serving the adjacent grocery store located on the adjacent property. Optima is the zoning control party for its project and no consents are required pursuant to submitted excerpts of the Declaration of Covenants, Conditions, Restrictions, and Easements. While there is also a Declaration of Zoning Rights, dated October 3, 2008, the parties to that agreement are both Optima-related entities (the agreement was executed prior to the time that Optima purchased the property that comprises the current project).

With regard to your request, the Department of Planning and Development has determined that compliance with the last sentence of Statement No. 15 requiring membership and participation in the TMA is not required, and that compliance shall not be a condition of Part II approval, until and unless the TMA is reinstated or reconstituted pursuant to applicable law. We also acknowledge that the TMA cannot carry out the functions identified within Exhibit 8 of the PD. If the TMA is reconstituted, Optima Center Chicago II, LLC, or its successors shall join as full participating members. This relief and acknowledgement will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 368, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Patricia A. Soudiero  
Zoning Administrator

PAS:HG:tm

C: Fred Deters, Mike Marmo, Erik Glass, Main file



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

November 2, 2012

John J. George  
Daley and George, Ltd.  
Two First National Plaza, Suite 400  
20 South Clark Street  
Chicago, IL 60603-1835

**Re: Administrative Relief request for Residential Business Planned Development No. 368 Sub-Area B, Parcel 7 and 7A, Proposed hotel at 455 North Park Drive**

Dear Mr. George:

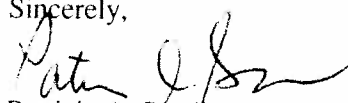
Please be advised that your request for a minor change to Residential Business Planned Development No. 368, as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of the Planned Development ("PD").

You are requesting, on behalf of the property owner, New West Park LLC (the "Applicant"), to decrease the amount of hotel meeting space from 26,000 square feet to 20,470 square feet and a corresponding reduction from 11 hotel parking spaces to 6 spaces. The space which was to be used for the additional parking shall be used for a larger tenant storage area, bicycle storage and repair area. The following drawings, prepared by Solomon Cordwell Buenz, and dated October 19, 2012, shall be inserted into the main file: Level 1 Floor Plan-Hotel Lobby and Main Ballroom, Level 2 Floor Plan-Residential Lobby & Meeting Rooms, Level B1-Floor Plan-Hotel BOH & Parking, and Level B2-Floor Plan-Parking.

With regard to your request, the Department of Housing and Economic Development has determined that allowing these reductions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 368, I hereby approve the foregoing minor change, but no other changes to this Planned Development. **This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.**

Sincerely,

  
Patricia A. Scudero  
Zoning Administrator

C: Mike Marmo, Erik Glass, Main file



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

August 31, 2012

Donna J. Pugh  
Foley & Lardner LLP  
321 North Clark Street  
Suite 2800  
Chicago, IL 60654-5313

**Re: REVISED Administrative Relief request for Residential Business Planned Development No. 368 Sub area D, Pedestrian circulation between McClurg Court Boulevard and New Street**

Dear Ms. Pugh:

Please be advised that your request for a minor change to Residential Business Planned Development No. 368, as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of the Planned Development ("PD").

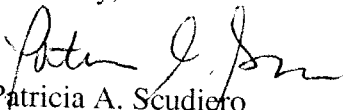
You are requesting, on behalf of the property owner, City View Condominium Association, ("City View"), located at 440 N. McClurg Court, to eliminate the pedestrian circulation from McClurg Court Boulevard to the pedestrian connection that spans New Street. The circulation was to be provided to the public after the pedestrian bridge above New Street was open, however, the once proposed pedestrian bridge will no longer be built. In addition, as a result of this circulation requirement, City View has experienced security and maintenance issues. In lieu of the pedestrian circulation, City View will provide landscaping improvements along the entire length of New Street as shown on the attached.

With regard to your request, the Department of Housing and Economic Development has determined that allowing the elimination of the above-referenced pedestrian connection will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 368, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

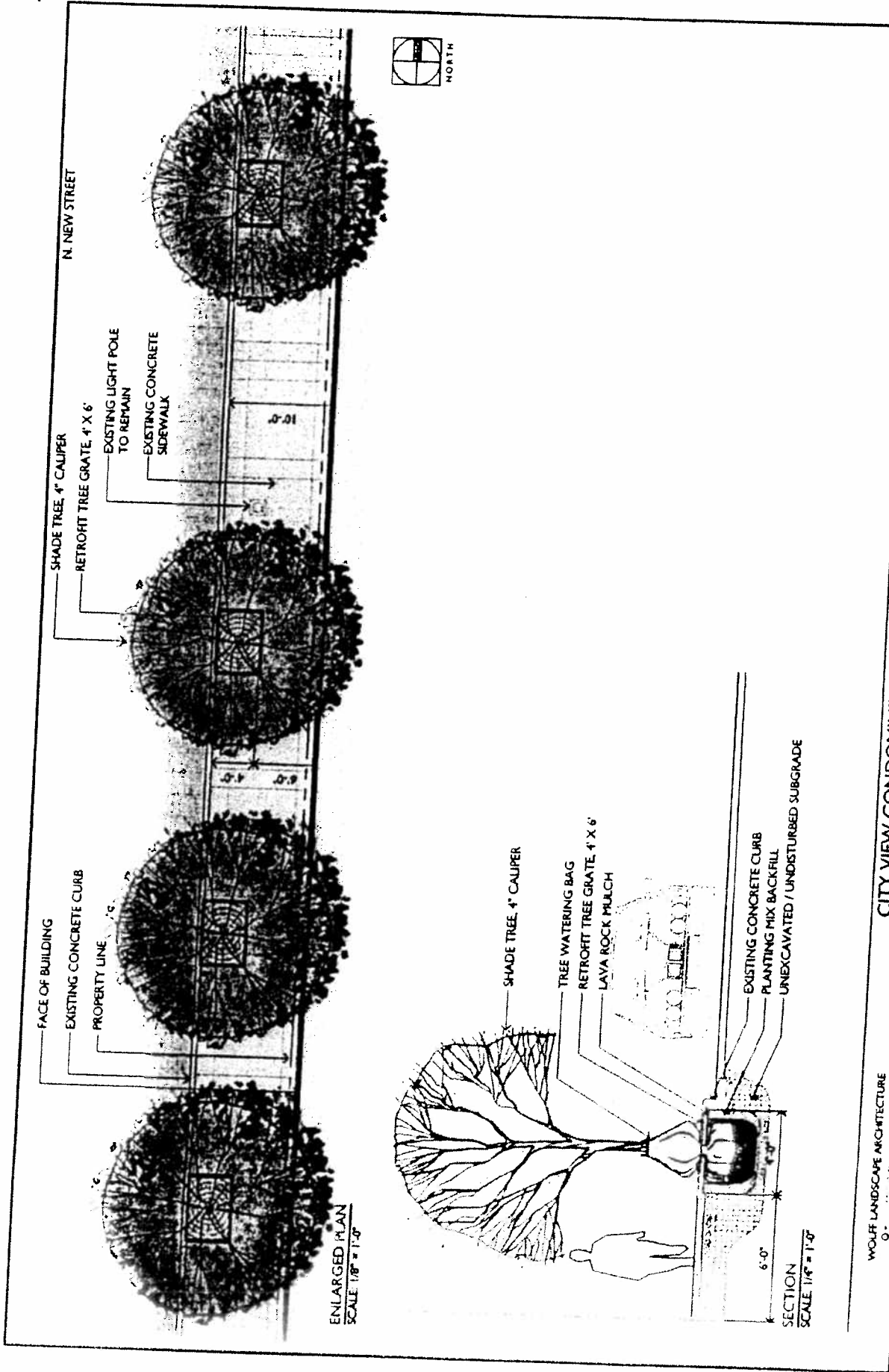
Sincerely,



Patricia A. Scudiero  
Zoning Administrator

PAS: HG: tm

C: Mike Marmo, Erik Glass, Main file



WOLFF LANDSCAPE ARCHITECTURE  
0.0

CITY VIEW CONDOMINIUMS, NEW STREET STREETSCAPE

JUNE 25, 2012



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

August 20, 2012

Donna J. Pugh  
Foley & Lardner LLP  
321 North Clark Street  
Suite 2800  
Chicago, IL 60654-5313

**Re: Administrative Relief request for Residential Business Planned Development No. 368  
Sub area D, Pedestrian circulation between McClurg Court Boulevard and New  
Street**

Dear Ms. Pugh:

Please be advised that your request for a minor change to Residential Business Planned Development No. 368, as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of the Planned Development ("PD").

You are requesting, on behalf of the property owner, City View Condominium Association, ("City View"), located at 440 N. McClurg Court, to eliminate the pedestrian circulation from McClurg Court Boulevard to the pedestrian connection that spans New Street. The circulation was to be provided to the public after the pedestrian bridge above New Street was open, however, the once proposed pedestrian bridge will no longer be built. In addition, as a result of this circulation requirement, City View has experienced security and maintenance issues. In lieu of the pedestrian circulation, City View will provide landscaping improvements along the entire length of New Street as shown on the attached. Also, to avoid confusion, please replace any existing gates with a fence and remove any identification which indicates the existence of a pedestrian connection.

With regard to your request, the Department of Housing and Economic Development has determined that allowing the elimination of the above-referenced pedestrian connection will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 368, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

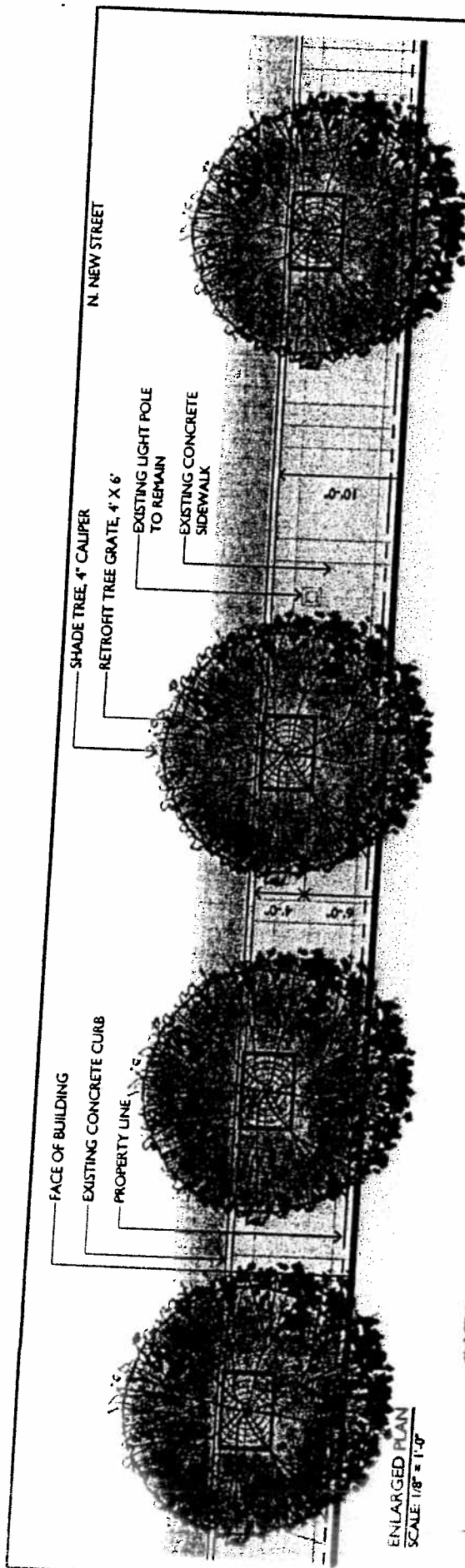
Sincerely,

A handwritten signature in black ink, appearing to read 'Patricia A. Scudiero', written over a horizontal line.

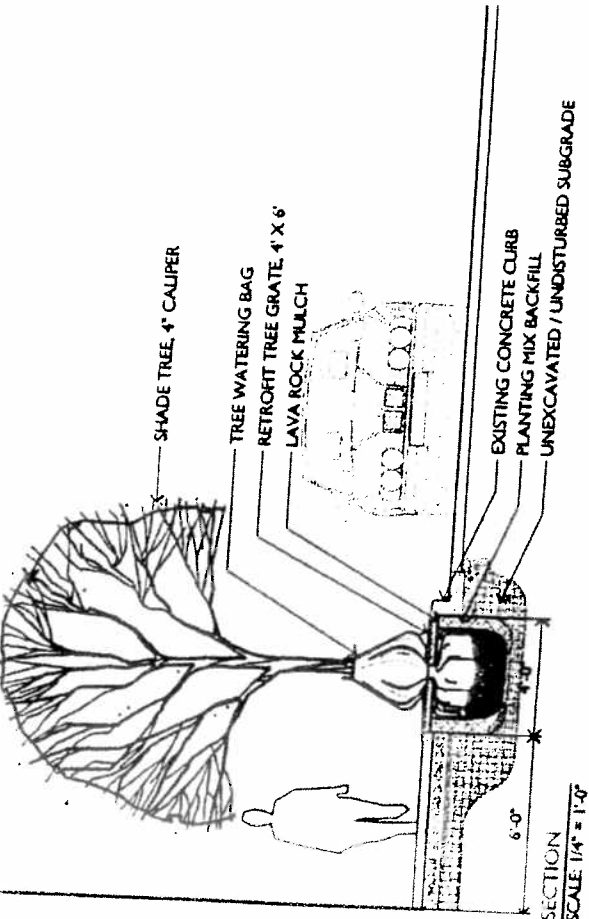
Patricia A. Scudiero  
Zoning Administrator

PAS: HG: tm

C: Mike Marmo, Erik Glass, Main file



ENLARGED PLAN  
SCALE: 1/8" = 1'-0"



SECTION  
SCALE: 1/4" = 1'-0"



WOLF LANDSCAPE ARCHITECTURE  
G-

CITY VIEW CONDOMINIUMS, NEW STREET STREETSCAPE

JUNE 25, 2012



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

December 2, 2011

Richard A. Wendy  
Freeborn & Peters  
311 South Wacker Drive  
Suite 3000  
Chicago, IL 60606

**Re: Request for a Minor Change to the May 17, 2011 Minor Change to the April 22, 2005 Site Plan Approval for Parcels P4 and P5 of Subarea A of Residential Business Planned Development No. 368, as it pertains to Subparcel B (200-212 East Illinois Street/500-509 North St. Clair Street**

Dear Mr. Wendy:

Please be advised that your request on behalf of Optima, Inc. and the applicant hereunder, Optima Center Chicago, LLC, for a minor change to the May 17, 2011 minor change to the April 22, 2005 Site Plan Approval for Residential Business Planned Development No. 368, Subarea A has been considered by the Department of Housing and Economic Development.

On May 17, 2011, the Department issued a minor change to the April 22, 2005 Site Plan Approval Letter for Subparcel B of Parcels P4 and P5 of Subarea A of the Planned Development. The proposed building consists of a tower atop a parking base, both enclosed with a glass exterior. Optima now seeks changes to the May 17<sup>th</sup> approval to allow an increase in the amount of floor area associated with retail uses from 6,000 square feet to a maximum of 26,500 square feet in order to better accommodate its anticipated development.

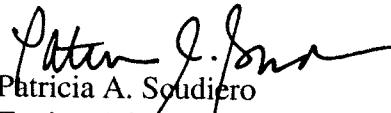
Optima's plans include retail and its accessory uses located at Upper Level Illinois Street and also at the two levels below (B-1 and B-2), which face Lower East Illinois Street and North St. Clair Street. Retail uses are permitted in Subparcel B pursuant to the Planned Development and under the 2005 approval, Subparcel B was allowed retail uses up to a maximum of 29,685 square feet.

The limitation to 26,500 square feet would apply only to retail and its accessory uses; it will not apply to residential or its accessory uses such as, among other uses, property management offices; common and other areas limited to residents only; loading, mechanical and storage areas; and lobby, front desk, and mail/receiving areas.

A revised Site Plan-Roof Level, Level 1-Upper Illinois, Level B2-Lower Illinois, and Level B1 Plans, dated November 22, 2011 shall be inserted into the main file.

With regard to your request, the proposed modifications would not create an adverse impact on the Planned Development or surrounding neighborhood, would not change the character of the development, would not result in an increase in the bulk or density, and therefore, would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 368, I hereby approve these changes but no other changes to this Planned Development.

Sincerely,

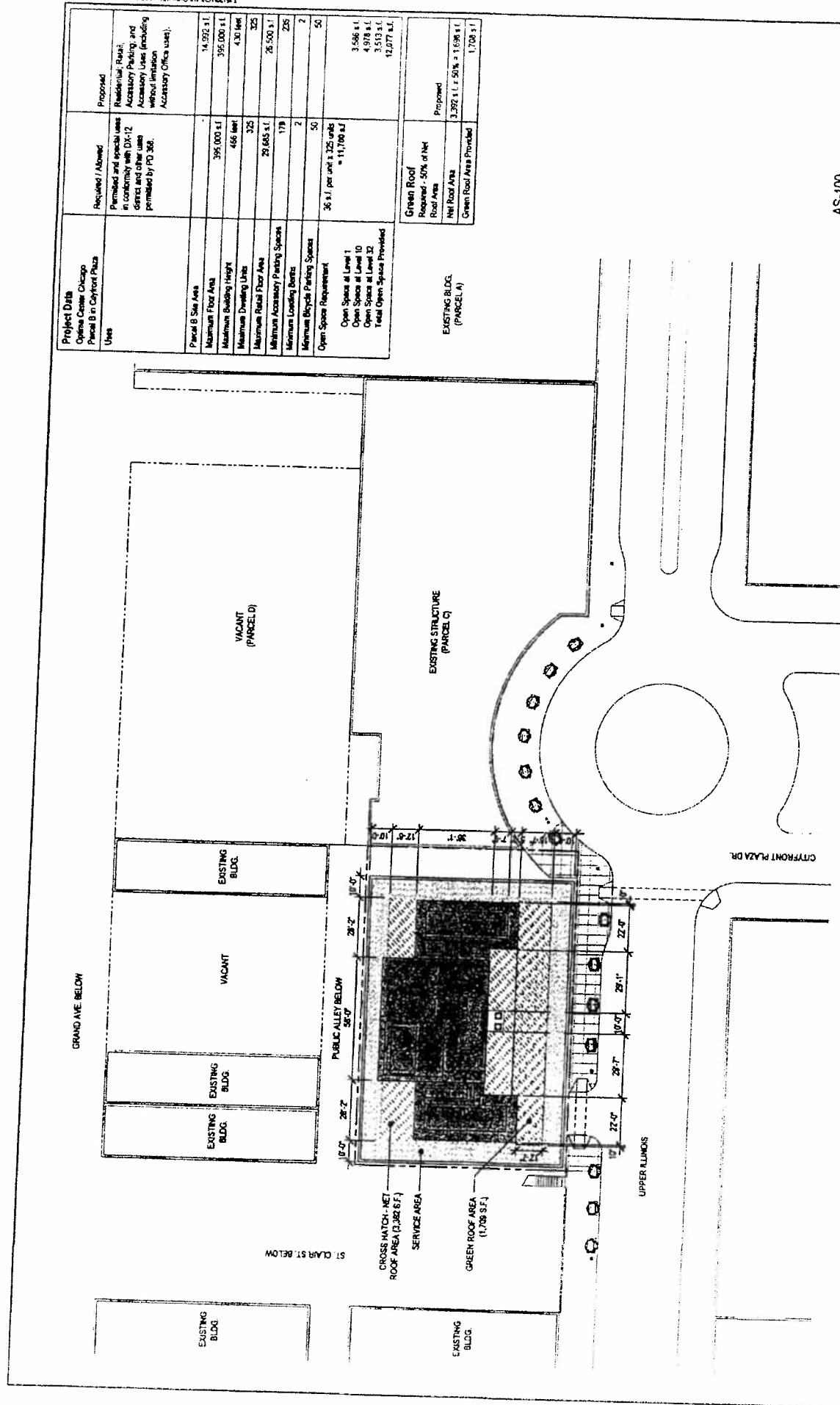
  
Patricia A. Soudiero  
Zoning Administrator

PAS: HG: tm

C: Mike Marmo, Erik Glass, Fred Deters, Main file

Project Data	Required / Allowed	Proposed
Optima Center Chicago Parcel B in Confront Plaza	Permitted and specialty uses in conformity with DCA-12 District and other uses permitted by PD 386.	Residential, Retail, Accessory Parking, and Accessory Uses (including without limitation Accessory Office uses).
Uses		
Parcel B Site Area		14,972 s.f.
Maximum Floor Area	396,000 s.f.	395,000 s.f.
Maximum Building Height	468 feet	430 feet
Maximum Dwelling Units	325	325
Maximum Retail Floor Area	28,685 s.f.	28,500 s.f.
Minimum Accessory Parking Spaces	179	235
Minimum Loading Berths	2	2
Minimum Bicycle Parking Spaces	50	50
Open Space Requirement	36 s.f. per unit x 325 units = 11,700 s.f.	
Open Space at Level 1		3,586 s.f.
Open Space at Level 10		4,978 s.f.
Open Space at Level 32		3,513 s.f.
Total Open Space Provided		12,077 s.f.

Green Roof	Proposed
Required - 50% of Net Roof Area	
Net Roof Area	3,392 s.f. (50% = 1,696 s.f.)
Green Roof Area Provided	1,708 s.f.



EXISTING BLDG.  
(PARCEL A)

EXISTING STRUCTURE  
(PARCEL C)

VACANT  
(PARCEL D)

EXISTING BLDG.

VACANT

EXISTING BLDG.

EXISTING BLDG.

EXISTING BLDG.

EXISTING BLDG.

CROSS HATCH - NET  
ROOF AREA (1,382 SF)

SERVICE AREA

GREEN ROOF AREA  
(1,708 SF)

AS-100

N SITE PLAN - ROOF LEVEL

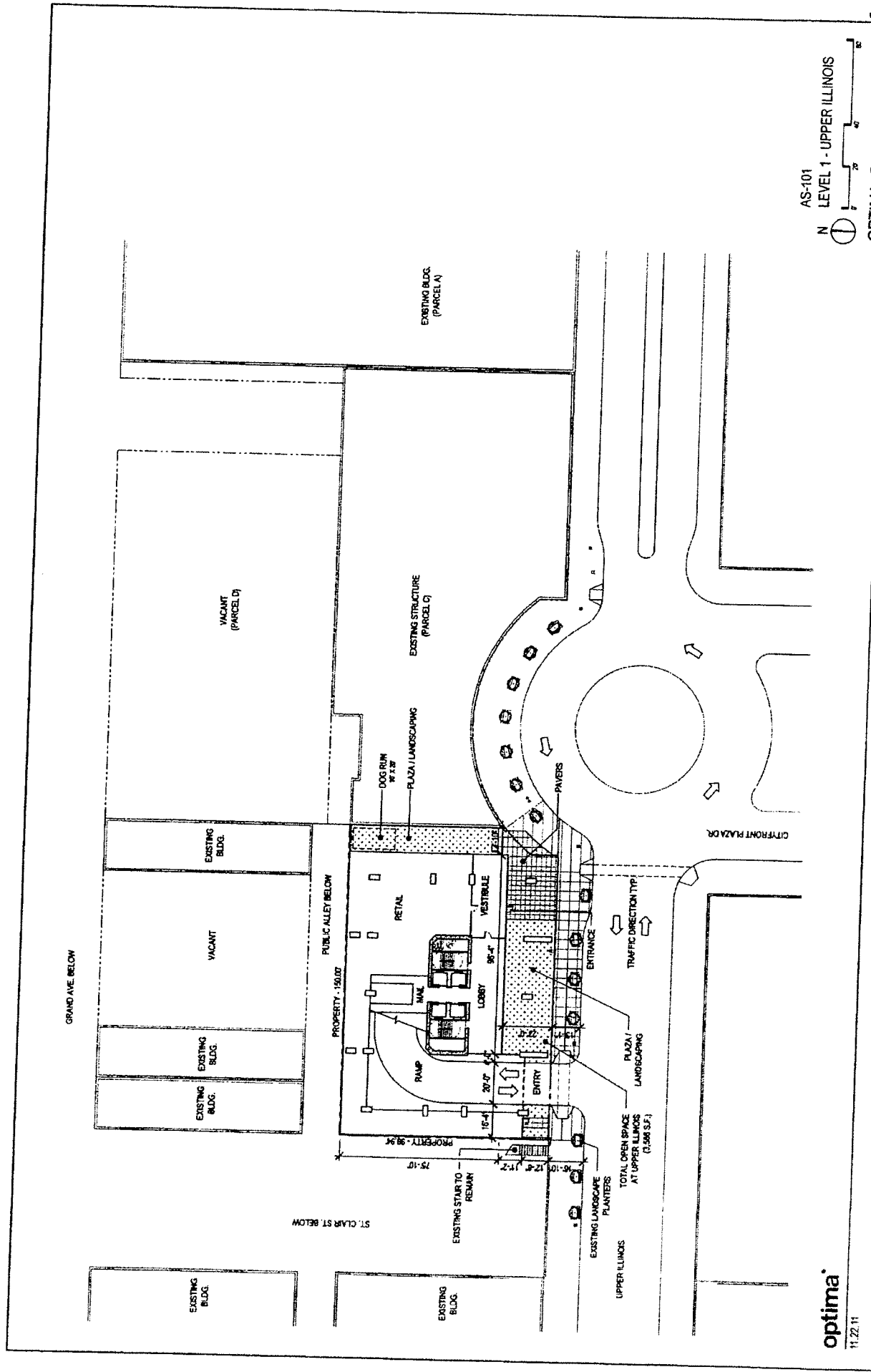


OPTIMA CENTER CHICAGO

Optima Inc. 630 Vernon Ave. Glencoe, IL 60022 - 847.533.8400

optima

11.22.11



AS-101

N LEVEL 1 - UPPER ILLINOIS

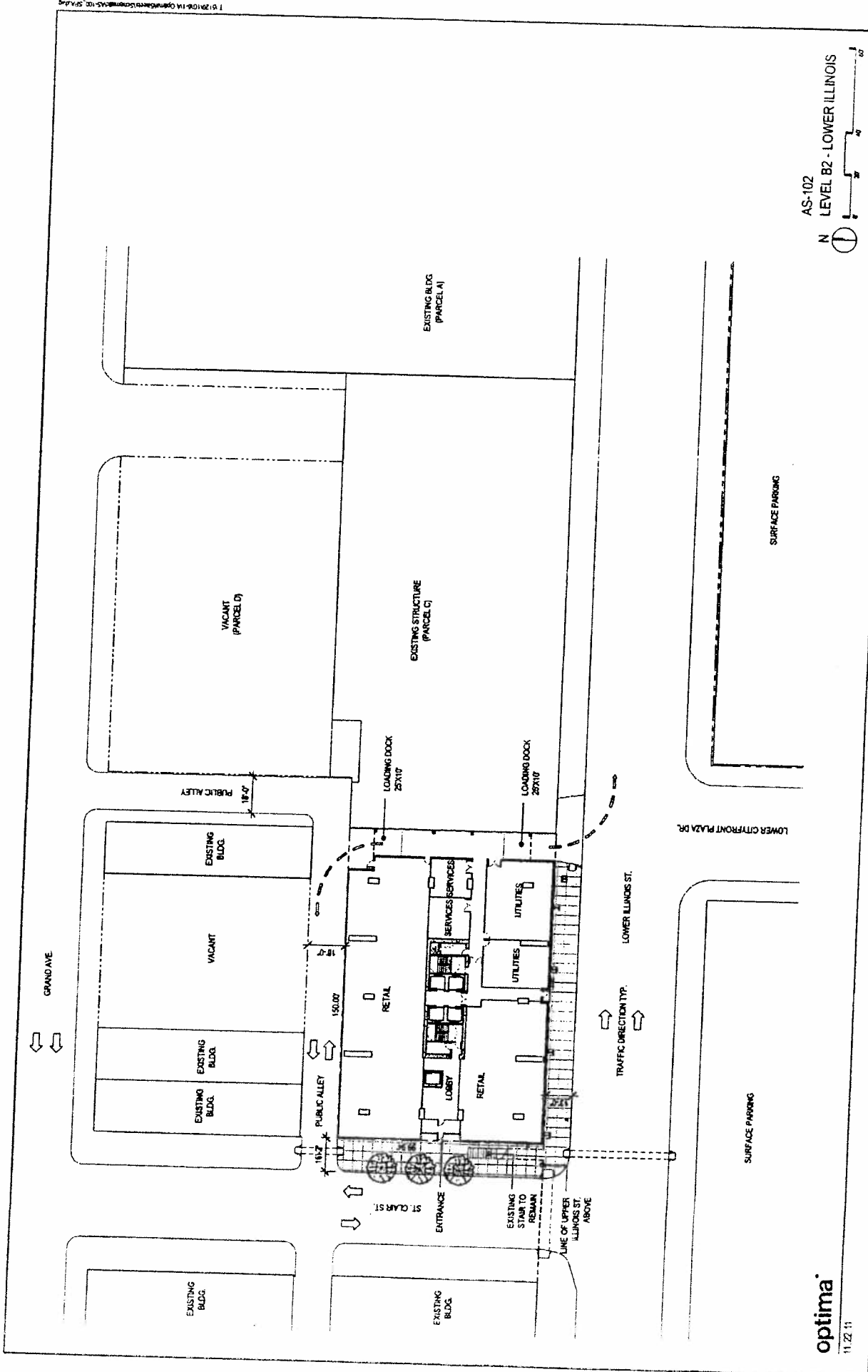


OPTIMA CENTER CHICAGO

Optima Inc. 630 Vernon Ave. Glenview, IL 60022 - 647835-8400

optima

11.22.11



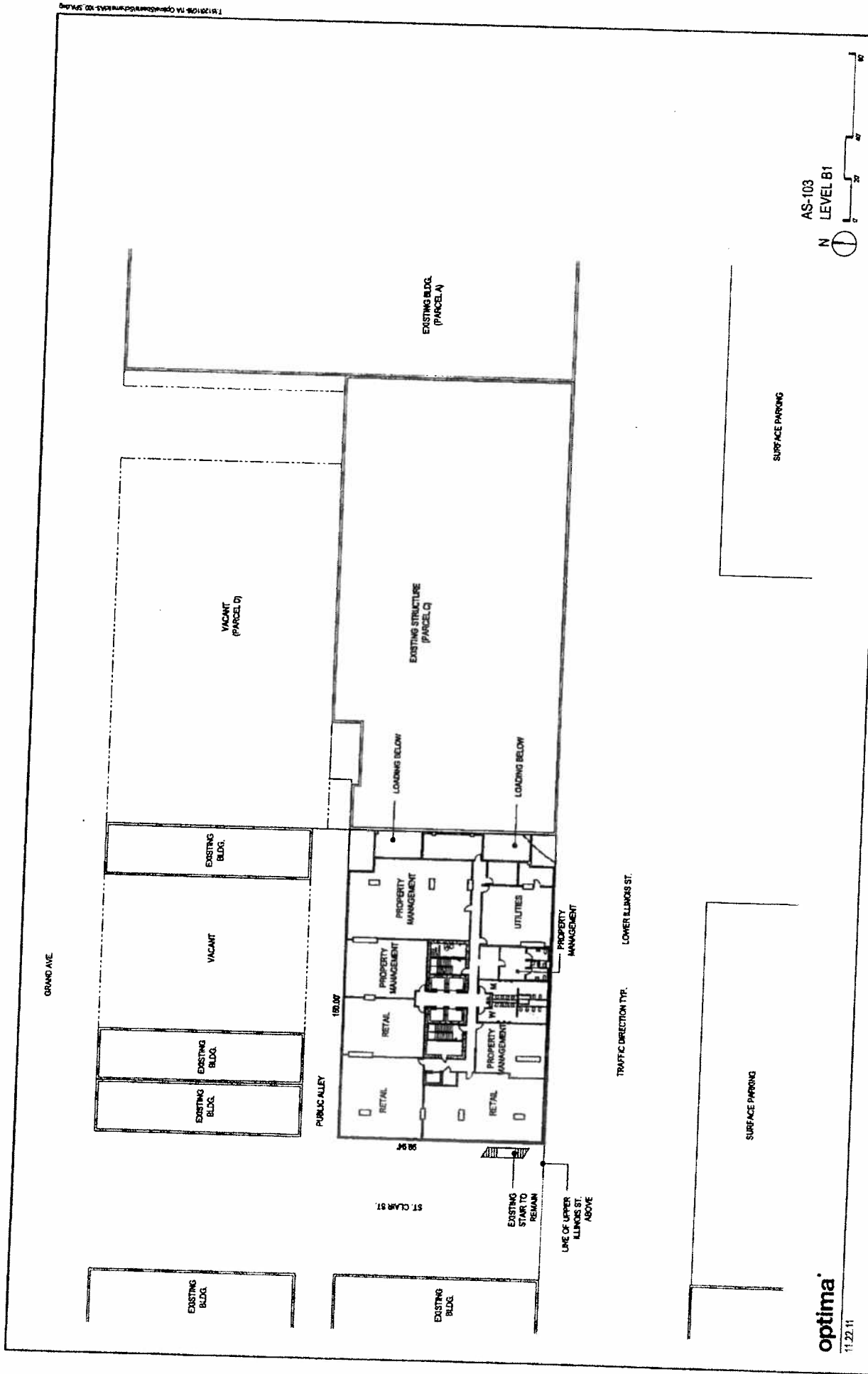
AS-102  
 N LEVEL B2 - LOWER ILLINOIS

OPTIMA CENTER CHICAGO  
 Optima Inc 600 Vermont Ave Chicago IL 60602 847.635.8400

optima  
 11.22.11

1 01/20/10-14 OptimaCenterChicago-AS-102-574.dwg

01.11.11 - 2:28 PM



AS-103  
N LEVEL B1



OPTIMA CENTER CHICAGO  
Optima Inc. 600 Vermont Ave. Glenview, IL 60022 - 847.835.5400

optima  
11.22.11

6/6/2012

REPORTS OF COMMITTEES

17419  
28867

*Reclassification Of Area Shown On Map No. 1-E.*  
(As Amended)  
(Application No. 17419)  
(Common Address: 320 E. Upper North Water St.)

R B P D 368, 22

[SO2012-603]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Business Planned Development Number 368 symbols and indications as shown on Map Number 1-E in the area bounded by:

a line 150 feet east of and parallel to North St. Clair Street; East Grand Avenue; North Lake Shore Drive; the centerline of Ogden slip to a point 439.74 feet east of North Lake Shore Drive, the centerline of the turning basin; the north bank of the Chicago River and the line thereof extended eastward where said bank does not exist; North Michigan Avenue; East North Water Street; North St. Clair Street (as now located); East Illinois Street; North St. Clair Street; and the alley next south of East Grand Avenue,

to the designation of Residential-Business Planned Development Number 368, as amended, which is hereby established in the area above described, subject to the provisions at the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development No. 368, As Amended.*

*Plan Of Development Statements.*

1. The area delineated herein as "Residential-Business Planned Development Number 368", as amended, consists of approximately 1,494,256 square feet or 34.30 acres (exclusive of public rights-of-way and dedicated public open space) of real property as shown on the attached Planned Development Boundary Map (the "Property").
2. This plan of development consists of these twenty-one (21) statements and the following exhibits: Bulk Regulations and Data Table for the entire Planned Development; an Existing Zoning Map; Planned Development Boundary and Subareas Map; Development Parcels Map; Maximum Height Zones; Existing and Planned Open

Spaces; Pattern of Vehicular Roadways; and Recommended Traffic Improvements. These and no other zoning controls shall apply to the area delineated herein. This plan of development is in conformity with the intent and purpose of the Chicago Zoning Ordinance and all requirements hereof, and satisfies the established criteria for approval as a planned development. In any instance where a provision of the planned development conflicts with the Chicago Building Code, the Building Code shall control.

Shelbourne North Water Street, LP (the "Developer of Parcel E.3") owns or controls Subparcel E.3 within this planned development. This plan of development consists of the following exhibits related to the development of Subparcel E.3: Site Landscape Plan; DuSable Landscape Plan; Ground Floor Plan Overview; Lower Lake Shore Drive Plan Overview; Building Elevations; South Building Elevation; Partial Enlarged South Elevation; Partial East/West Site Section; Partial Enlarged East Elevation; North/South Site Section at Lake Shore Drive; North/South Tower and Parking Section; East/West Parking Section; North/South Overview Section; and Lake Front Trail Alignment Alternate 1 and Alternate 2.

New Water Park, LLC (the "Applicant") owns or controls Subarea B Parcels 7 and 7A within this planned development. This plan of development consists of the following exhibits related to the development of Subarea B Parcels 7 and 7A: Bulk Regulations and Data Table; an Existing Zoning Map; Existing Land-Use Map; a Planned Development Boundary and Subareas Map; Development Parcel Map; View Corridor Program; Overall Site Plan; Lower East North Water Street Plan, North Park Drive Street Plan, North Park Drive Wayfinding Plan; Upper East North Water Street Plan; Upper East North Water Street Wayfinding Plan; Terrace Level Plan; Landscape Plan; Green Roof Plan; Overall Section A Plan and Partial North Elevation; West Elevation at tower and Partial North/South Section B Plan; Building Elevations (North, South, East and West) prepared by Solomon Cordwell Buenz dated May 24, 2012.

3. The current property owner or an authorized agent shall obtain all required reviews, approvals, licenses and permits in connection with this plan of development. The dedication or vacation of any streets or alleys shall require a separate submittal and approval by the City Council.
4. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns (including any condominium association which is formed) and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the applicant's successors and assigns (including any condominium association which is formed) and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Subject to the subarea/subparcel control provisions

of Section 17-8-0400 of the Chicago Zoning Ordinance, single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the Equitable Life Assurance Society of the United States or all its successors and assigns as zoning control party for property located west of Columbus Drive, and by all the successors and assigns to the Chicago Dock and Canal Trust, as zoning control parties for the property located east of Columbus Drive. The board of directors of any condominium association shall represent individual condominium owners.

5. Several subareas are delineated on the attached planned development Subarea Map for the purposes of establishing use and density controls in connection with this Plan of Development. Uses permitted below +35 feet Chicago City Datum plus or minus 6 feet in respect of design conditions ("Plaza Level") shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District classification; uses permitted at and above the Plaza Level in the area hereinbefore defined shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District classification, except that in that part of the subject area lying within 200 feet of North Michigan Avenue uses shall be in general conformity with the Permitted and Special Uses of the DX-16, Downtown Mixed-Use District classification; uses permitted where no Plaza Level exists shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District Classification. Earth station receiving and transmitting dishes, microwave relay dishes and transmitting or receiving dishes shall be permitted. Residential support services, physical fitness/indoor recreation center, and small venue theater are expressly permitted in Subparcel E.3. Non-accessory parking shall be a permitted use in Subarea F only. Underground accessory parking related to the improvements constructed upon Subparcel E.3 shall be a permitted use in Subparcel E.2. All other controls and regulations set forth herein are made applicable within the general application of this statement. Uses permitted in DuSable Park (Subparcel E.1) shall be recreational and related uses including but not limited to marinas; tennis courts; and similar facilities. Temporary staging of construction materials and related equipment shall be a permitted use in Subparcel E.1 subject to the review and approval of the Commissioner of the Department of Planning and Development and the Chicago Park District. Daycare and other community-oriented uses are expressly permitted and strongly encouraged in all areas of the planned development. Agreement on how space for a minimum of one new daycare center shall be provided within Subareas B, D or Subparcel E.3 to service new residents and employees of those subareas must be submitted and approved by the Department of Planning and Development prior to the issuance of any Part II approval for any improvement on Parcels P1, P3, P7, P7A, P8, P18, or P19.
6. For purposes of Floor Area Ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply, with the following exceptions: (1) in Subarea B, grade

is herein established as the curb level of the building entrance on upper East North Water Street plus or minus 6 feet in respect of design conditions; (2) space devoted to heating, ventilation, and air-conditioning equipment shall not be included in FAR regardless of location.

7. Any service drives or other ingress or egress lanes shall be adequately designed and paved in accordance with the regulations of the Chicago Department of Transportation and in compliance with the Municipal Code of the City of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of the City of Chicago and shall have a minimum of 20 feet to provide ingress and egress for emergency vehicles. There shall be no parking within established fire lanes. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the Public Way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
8. Off-street parking and loading facilities shall be provided in compliance with this plan of development, subject to the review of the Chicago Department of Transportation and approval by the Department of Housing and Economic Development. All parking spaces required to serve buildings or uses shall be located on the same parcel as the building or use served, or (i) if a residential use, within 600 feet walking distance, or (ii) if a non-residential use, within 1,200 feet walking distance. Parking to serve uses in Subarea E.1 or E.3 may be located underneath or west of Lake Shore Drive.
9. Business and business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Housing and Economic Development and to the conditions of Statement 11(e). Off-premises signage is prohibited. Temporary signs such as construction and marketing signs may be permitted subject to the aforesaid approvals. Signage for retail and movie theater uses is a special concern. A general signage plan indicating the locations and dimensions of signage for these uses, including all interior signage which is visible from public streets, shall be submitted prior to Part II approval in accord with Statement 16 hereof (Site Plan Review).
10. The height of buildings within the planned development and any appurtenance attached thereto shall be subject to the limitations on the attached exhibit labeled "Maximum Height Zones". Where maximum height zones have been established, building height shall be defined as follows:

"Building height" is the vertical distance from the curb level, grade, or its equivalent, opposite the center of the front of a building to the highest point of the under side of the ceiling beams of the highest habitable floor, in the case of a flat roof; to the deck line of a mansard roof; and, to the mean level of the under side of the rafters between

the eaves and the ridge of a gable, hip or gambrel roof. For the purpose of determining height in Subarea B Parcels 7 and 7A, grade is herein established as the curb level of the building entrance on upper East North Water Street plus or minus 6 feet in respect of design conditions. (For the purpose of determining height, building tops of the other configurations may be considered to be the type described herein which most closely approximates the shape of the proposed design). However, in no case shall the "actual" height of a building exceed the "maximum height" by more than 65 feet.

11. The improvements on individual development sites shall be designed, constructed and maintained in accordance with the exhibits attached hereto and the following general design standards:
  - (a) Buildings along Lake Shore Drive shall be designed to minimize building mass directly facing the Drive. The base along Lake Shore Drive of any such structure shall be limited to the height of Lake Shore Drive. The tower of such structures shall be set back a minimum of 40 feet from Lake Shore Drive although encroachments into such setback area for design reasons may be allowed by the Commissioner of Planning and Development as a minor change pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance. This 40 foot setback area shall be heavily landscaped with trees and other greenery so as to be visible from the drive.
  - (b) Landscaping of buildings at terraces, rooftops, and balconies shall be provided wherever possible and appropriate. Buildings shall be designed with upper level architectural features that are lit at night wherever possible. Mechanical equipment on rooftops shall be screened with quality materials, and made a feature of the building design, where appropriate. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this planned development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
  - (c) Buildings shall be setback from the property line, if necessary, to achieve a minimum of 12 feet, 6 inches (except the building column may be setback 10 feet, 0 inches in Subarea E-3 along Ogden Slip and the building located in Subarea B, Parcels 7 and 7A, may be located at the property line along North New Street, North Park Drive, Upper East North Water Street and Lower East North Water Street) in sidewalk width to accommodate street trees. No awnings, canopies, or other building projections shall be allowed that would interfere with street tree canopies except at entrances to hotels, residential entrances or movie theaters.

- (d) Building designs that reflect divisions into base, middle, and top, that have setbacks, cornice lines, changes in plane or materials, articulated surfaces, or other methods of reducing the scale and mass are encouraged. Preferred building materials shall be stone, manufactured stone, brick, finished metal such as stainless steel, or articulated pre-cast concrete in combination with glass at the base. Exposed structural concrete, dryvit or other stucco-like material, or reflective glass shall not be allowed. Materials of upper stories shall be similar to those of the lower; however, the level of detailing may be simplified.
- (e) Buildings shall be designed with clearly delineated signage bands. The quality and amount of signage shall be strictly controlled. The total square footage displayed on any building shall be limited to no more than six (6) times the street frontage on any given street. Preference shall be given to pin-mounted back lit signs with individual letters that are externally lit. Signs behind glass that are visible from the sidewalk shall count toward the permitted sign area. The area of a sign that consists of individual letters shall be measured by drawing a box around the letters. Graphic images which depict tenant logos or products or which may otherwise be construed as advertising shall count as signage in their entirety. Signage on awnings shall be allowed on the valance only, with a maximum of 5-inch high letters limited to tenant identification or logos only. No electronic moving message board signs shall be allowed. Rooftop signs shall be prohibited.
- (f) No new surface parking lots, except interim lots approved by the Commissioner of Housing and Economic Development, shall be allowed. No surface parking lot shall be allowed on the 70,000 square foot Kraft park site in Subarea F, except for that area not contained within any interim park. The maximum effort shall be made to contain parking in below-ground structures. Above-grade parking structures shall be enclosed, fronted by habitable space, or otherwise designed so as to have a similar appearance to habitable spaces in terms of finish materials, the shape and scale of openings, and the screening of ramps, car lights and ceiling fixtures. Any parking structures facing the Chicago River must be fronted by habitable space or completely enclosed and well articulated at all levels. The first floor of all structures facing Illinois Street, Grand Avenue, McClurg Court, Park Drive, or Columbus Drive shall maximize space with active uses such as retail, daycare, restaurants, et cetera. Parking structures shall also contain provisions for planting at the base, the roof, or at mid-height ledges.
- (g) Loading docks shall be concealed from public view through screening or landscaping. Curb cuts for loading docks shall be minimized.
- (h) The new roadway structure at upper level Illinois Street shall be finished in highly articulated stone, pre-cast concrete, or other quality material, with particular attention given to views of the structure from Columbus Drive. Terraced planting, pedestrian lighting, decorative railings, banners, and other features shall be used

to create a major pedestrian amenity. A major water feature shall be installed at the intersection of upper-level Illinois Street and the NBC Plaza. The underside of upper Illinois shall be appropriately lit, structural columns shall be covered, and other elements shall be added to create a safe, well-lit connection to Michigan Avenue.

- (i) The completion of the riveredge esplanade shall be required of the developers of Parcels 14 and 16, and Parcel 18. Such public spaces shall be developed with the same quality and character of amenities as the existing esplanade adjacent to these areas. In addition, the developer of Parcel 18 shall be responsible for the development of pedestrian access to DuSable Park under Lake Shore Drive. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river esplanade. All plans for pedestrian access to DuSable Park from Parcel 18 shall be subject to detailed review and approval by the Department of Housing and Economic Development before the issuance of any superstructure Part II approval letters.
- (j) The developer of Parcel 19 shall develop the following public improvements indicated on Exhibit 6 Existing and Planned Open Spaces concurrently with the development of Parcel 19: a pedestrian walkway from East North Water Street to Ogden Slip and an extension of the Ogden Slip promenade to Lake Shore Drive. The pedestrian walkway from East North Water Street to Ogden Slip shall be developed with the same quality and character of amenities as the existing walkway from the River Esplanade to East North Water Street. The extension of the Ogden Slip promenade shall be developed with the same quality and character of amenities as the existing promenade adjacent to it. In the event that DuSable Park is developed before Parcel 19 is developed, the owner(s) of Parcel 19 shall construct and maintain a temporary pedestrian connection along the slip. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 20 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the slip edge and on the side adjacent to Parcel 19. The design of these improvements shall be subject to the approval of the Commissioner of Housing and Economic Development.

In addition, pedestrian access along Ogden Slip under Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 19 shall be solely responsible for the cost of improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the Ogden Slip promenade. However, if Parcel 19 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 19 shall, at the time of application for superstructure Part II, place in

escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the Developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) below provides otherwise.

All plans for these improvements shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any Part II approval letters.

- (k) All improvements to be constructed within this planned development for which Part II approval letters are issued after the March 29, 2006 date of City Council approval of the amended planned development shall comply with the Department of Housing and Economic Development Building Green/Green Roof Matrix and the owners shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System (LEED). A dog-run shall be located within or adjacent to Subparcel E.3. As a result of the architectural design of the tower to be constructed within Subparcel E.3, a green roof is not feasible.
- (l) Pursuant to the Affordable Housing provision of the City of Chicago Zoning Ordinance, Title 17, Chapter 17-4-1004, et seq. ("Zoning Ordinance") Developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of the Property. The Developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1004D of the Zoning Ordinance, the total floor area devoted to affordable housing units must equal at least 25 percent of the total increase in floor area allowed under the Affordable Housing Bonus or a cash payment must be made to the City of Chicago Affordable Housing Opportunity Fund based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1004D, the Developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago Affordable Housing Opportunity Fund in the amount of \$5,700,300.00. Prior to the issuance of permits, the Developer of Parcel E.3 will enter into an Affordable Housing Agreement with the Chicago Department of Housing or provide a letter of credit or other security device in an amount equal to the cash contribution. The Developer of Parcel E.3 must comply with all of the applicable sections of the Affordable Housing Provision of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Affordable Housing Agreement required by Section 17-4-1004-E9 is also incorporated into this planned development.

Pursuant to the Off-Site Park and Open Space Contributions provision of the City of Chicago Zoning Ordinance, Title 17, Chapter 17-4-1018, et seq., the

Developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of 2.16 FAR for the Property. The Developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1018-C of the Zoning Ordinance, a cash payment must be made to the City of Chicago based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1018-C, the Developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago in the amount of \$4,104,216.00. Prior to the issuance of permits, the Developer of Parcel E.3 will provide a letter of credit or other security device in an amount equal to the cash contribution. The Developer of Parcel E.3 must comply with all of the sections of the Off-Site Park and Open Space Contributions provisions of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Off-Site Park and Open Space Contribution Agreement required by Section 17-4-1018-B3 is also incorporated into this planned development.

- (m) The Developer of Parcel E.3, the City of Chicago, and the Chicago Park District shall enter into an agreement relating, in part, to the responsibility for the design, funding and construction phasing of DuSable Park, the pedestrian connections to DuSable Park and the Lakefront Trail.
  - (n) The improvements contemplated for DuSable Park (Subparcel E.1) must be substantially completed by the Developer of Parcel E.3 prior to the issuance of Certificate of Occupancy for any dwelling unit exceeding the three hundredth (300<sup>th</sup>) dwelling unit constructed with Subparcel E.3.
12. Publicly dedicated improvements, including streets, sidewalks, transit and open space amenities shall be designed, constructed and maintained in accordance with the exhibits described in Statement 2 hereof and the "Cityfront Center Internal Design Standards: Section I: dated September 12, 1986.
  13. The property owner(s) adjacent to the Chicago River shall develop a continuous pedestrian esplanade along the Chicago River's edge. Completion of the esplanade will occur as follows:
    - (a) The east right-of-way line of McClurg Court to the west right-of-way line of Lake Shore Drive shall be improved concurrently with development of adjacent parcels south of east North Water Street (Parcels 14,16, and 18). In the event that DuSable Park is developed before Parcel 18 is developed, the owner(s) of Parcel 18 shall construct and maintain a temporary pedestrian connection along the river. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 10 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the river's edge and on the side adjacent to the development parcel. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development; and

- (b) The west right-of-way line of Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 18 shall be solely responsible for improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river edge esplanade. However, if Parcel 18 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 18 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the Developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) above provides otherwise.
14. The Open Space Plan attached hereto (Exhibit 6) calls for a new 70,000 square foot park on Peshtigo Court, between Illinois Street and Grand Avenue. The owners of the adjacent development parcel (Parcel P21) shall be responsible for developing this new publicly-accessible park concurrently with Parcel 21. Permanent development of this park shall take place on top of an underground parking garage; however, should such development not be immediately feasible, a fully-appointed interim park shall be installed on the site until such time as the permanent park is constructed. This interim park shall be completed and open to the public by June 1, 2004, unless construction has started on permanent park and underground garage. The interim park may have an impermeable surface of asphalt or other material. The interim park is to be enclosed by a 5 foot decorative metal fence which is to be located in the approximate footprint of the Kraft building, except along North Peshtigo Court where the fence is to be setback 12 feet from the west curb of North Peshtigo Court. The interim park is to be no less than 50,000 square feet in size and is to be covered by at least 75 percent with landscape materials which may be located in raised planter boxes and other containers. The interim park shall be open to the public from sunrise to sunset. Within 45 days of the adoption and publication by City Council of this amendment to the planned development, the owner of the interim park site shall provide to the Commissioner a site plan for the interim park which complies with the provisions of this statement. The owner of the property on which the interim park is located shall be responsible for the maintenance of the interim park. The Commissioner of Planning and Development must approve the site plan for either a permanent or an interim park. The Commissioner of Planning and Development must approve the site plan for a permanent park before Part II approval is granted for Parcel P21. The City will not issue a final certificate of occupancy for Parcel P21 unless construction has started on the permanent park in accord with an approved site plan. After August 1, 2004, all surface parking lots in Subarea F shall be landscaped in accord with the Landscape Ordinance. All sidewalks in Subarea F shall remain open and be maintained in good condition.

15. Traffic studies completed by developers and the City of Chicago project significant peak hour traffic volume increases on Illinois Street and Grand Avenue in particular as a result of new development. Some excess roadway capacity is available to handle this increased traffic, but a number of geometric, signal timing and parking control measures are recommended in addition to active transportation management in the Illinois-Grand corridor. Accordingly, no Part II submittal shall be approved without a firm agreement between the developer and the Chicago Department of Transportation regarding the timing and responsibility for any recommended traffic improvements described in Exhibit 8 hereof for streets adjoining the development site. Membership and participation in the Illinois-Grand Corridor Transportation Management Association shall also be required prior to the issuance of any Part II development approval.
16. Prior to the issuance by the Department of Housing and Development of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II approval") for development or redevelopment of any development parcels within the planned development, other than alterations to existing buildings which do not increase their height or alter their footprint, a site plan for the proposed development, including parking areas, shall be submitted to the Commissioner of the Department of Housing and Economic Development for approval. Review and approval of the site plan by the Commissioner is intended to assure that specific development proposals conform with the general design standards in Statement 11 and to ensure coordination of public improvements described in Statements 12 through 15 at an early stage. No Part II approval for work for which a Site Plan must be submitted to the Commissioner shall be granted until the Site Plan has been approved by the Commissioner. Further, all Part II submittals shall be in compliance with the Chicago Landscape Ordinance. At least thirty (30) days prior to the filing of the Developer of Parcel E.3's request for Part II approval for the construction of the superstructure upon Subparcel E.3, the Developer of Parcel E.3 Applicant shall submit a detailed Landscape Plan and Elevations for the Subparcel E.3 property to the Department of Housing and Economic Development for review and approval.

Following approval of a Site Plan by the Commissioner, the approved plan shall be kept on permanent file with the Department of Housing and Economic Development and shall be deemed to be an integral part of this planned development. The approved Site Plan may be changed or modified pursuant to the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

A Site Plan shall, at a minimum, provide the following information with respect to the proposed improvements:

- (1) the boundaries of the Property;
- (2) the footprint of the improvements;

- (3) location and dimensions of all loading berths;
- (4) preliminary landscaping plan prepared by a landscape architect with final landscaping plan to be approved at Part II stage;
- (5) all pedestrian circulation routes;
- (6) the location of any adjacent public improvements;
- (7) a signage plan for any building where retail or theater uses would be present above the ground level;
- (8) preliminary elevations of the improvements; and
- (9) statistical information applicable to the Property limited to the following:
  - (a) floor area and floor area ratio;
  - (b) uses to be established;
  - (c) building heights; and
  - (d) all setbacks, required and provided.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this planned development.

17. If any provision of this planned development amendment shall, to any extent, be invalid or unenforceable, the remainder of this planned development amendment shall not be affected thereby, and each provision of the planned development amendment shall be valid and enforceable to the fullest extent of the law.
18. The terms, conditions and exhibits of this Planned Development Ordinance or of an approved Site Plan may be modified administratively by the Commissioner of the Department of Housing and Economic Development upon the request of the applicant and after a determination by the Commissioner of the Department of Housing and Economic Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in the planned development and the purposes underlying the provisions hereof. Any such modification shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.

19. It is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvement on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
20. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development.
21. Unless substantial construction of the improvements contemplated within Subparcel E.3 has commenced within six (6) years following adoption of this planned development on July 9, 2008, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcel E.3 and the zoning of Subparcel E.3 of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on March 29, 2006. Unless substantial construction of the improvements contemplated within Subparcels 7 and 7A has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcels 7 and 7A and the zoning of Subparcels 7 and 7A of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on July 9, 2008.

[Exhibit 1: Bulk Regulations and Data Table; Exhibits 2 -- 23; View Corridor Program; Overall Site Plan; Lower East North Water Street Plan; North Park Drive Street Plan; North Park Drive Street Wayfinding Plan; Upper East North Water Street Plan; Upper East North Water Street Wayfinding Plan; Terrace Level Plan; Landscape Plan; Plant List and Landscape Details; Green Roof Plan; Overall Section A and Partial North Elevation; West Elevation at Tower and Partial North/South Section B; North, South and East Elevations; West Elevation at North Park Drive; Proposed Lower East North Water Street Plan and Elevation with Lighting Concept and Chicago Builds Green Form referred to in these Plan of Development Statements printed on pages 28880 through 28927 of this *Journal*.]

Exhibit 1.

Bulk Regulations And Data Table.  
(Page 1 of 3)

Sub Area	Net Site Area See Note (1) Sq. Ft. Acres	Maximum Retail Sq Ft. (1000's)	Maximum Commercial Sq. Ft. (1000's)	Maximum Hotel Rooms	Maximum Dwelling Units	Maximum F.A.R.
A	<u>380,796</u> 8.74	540  See Note (5)	5,259	1,800	Permitted see Notes (2) & (3)	13.81 See Note (6)
B See Note (11)	<u>183,449</u> 4.21	40	2,482	2,000	474 See Note (8)	13.53 See Note (7)
C	<u>122,303</u> 2.81	140	850	540	630	12.72
D	<u>361,234</u> 8.29	170	500	0	2,350	8.60
E	<u>346,038</u> 7.94	110 See Note (9)	5 See Note (4)	0	1,200	6.83
E.1	<u>232,841</u> 5.34	0	5 See Note (4)	Not Permitted	Not Permitted	0.02
E.2	18,191.63 0.42	0	0	0	0	0
E.3	95,005 2.18	110 See Note (9)	0	0	1,200	25.00 See Note (10)
F	100,456 2.31	150	0	0	1,000	14.93
TOTAL	1,494,256 34.30	1,040	9,096	4,340	5,654 See Note (2)	11.03

Gross Site Area = Net Site Area: 1,494,256 sq. ft. (34.30 acres) plus area in or proposed to be in public right of way: 940,843 sq. ft. (21.60 acres) plus area in or proposed to be in public parks or open space: 369,127 sq. ft. (8.48 acres) = 2,804,226 sq. ft. (64.38 acres).

<u>OFF STREET PARKING</u>	<u>MINIMUM</u>	<u>MAXIMUM</u>
BUSINESS USES	1:5,000 sq. ft.	As determined by DHED in consultation with CDOT
HOTEL USES	1:4 Rooms	
RESIDENTIAL USES	55% d. u.	
NON-ACCESSORY PARKING	200 spaces	500 spaces

(Allowed in Sub-area F only)

OFF STREET LOADING: Per DX-12 requirements

MINIMUM PERIPHERAL SETBACKS: Sufficient to allow for street trees and pedestrian walkways  
(min 12'- 6" from building to curb face)

MINIMUM UPPER LEVEL SETBACKS: 40' from Lake Shore Drive at level of Upper Lake Shore Drive

APPLICANT: New Water Park LLC  
DATE: May 24, 2012

## Exhibit 1.

Bulk Regulations And Data Table.  
(Page 2 of 3)

Note (1):	For the purpose of this Planned Development "Net Site Area" shall equal the entire land area (at Plaza Level where such is established, and otherwise at grade) within the boundaries of the planned development, less the area now dedicated or proposed to be dedicated to public use.
Note (2):	Dwelling units shall be permitted in Sub-Area A of this Planned Development subject to the provisions of the DX-16, Downtown Mixed-Use district classification. Any such units so built will not affect the total of 5,654 dwelling units permitted in Sub-Areas B, C, D, E and F dwelling units are permitted below the second floor in all sub-areas except Sub-Area E.
Note (3):	For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units. This permissible number of hotel rooms within the planned development shall not exceed 4,340 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses.
Note (4):	Although Sub-Area E (DuSable Park) has been dedicated to public park uses, it is included in Net Site Area because a maximum of 5,000 square feet of park and recreation-related floor area may be constructed within its boundaries.
Note (5):	Assumes 410,000 sf allocated to development Parcels 4 and 5 and the remaining 130,000 sf allocated to remaining development parcels within Sub-Area A.
Note (6):	Assumes floor area allocated to existing buildings as follows: 401 North Michigan (760,241 sf), University of Chicago Gleacher Center (240,000 sf), NBC Tower (912,000 sf); and, to future development as follows: Parcel 1 (776,250 sf); Parcel 3 (970,000 sf) and Parcels 4/5 (1,600,000 sf).
Note (7):	Assumes floor area allocated to existing Sheraton Hotel at 860,379 sf and 497,634 sf allocated to Parcel 8 pursuant to a Part II Approval dated August 19, 2008 and 847,290 sf allocated, via the May 24, 2012 amendment to Parcels 7 and 7A.
Note (8):	For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units above 400. The permissible number of hotel rooms within the planned development shall not exceed 4,340 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses. Accessory hotel uses on Parcels 7, 7A and 8 combined shall not exceed 50,000 square feet.
Note (9):	Residential support services, physical fitness/indoor recreation center, and small venue theater (for building residents only) are expressly permitted in Sub-Area E.3.
APPLICANT:	New Water Park LLC
DATE:	May 24, 2012

Exhibit 1.

Bulk Regulations And Data Table.  
(Page 3 of 3)

Note (10): FAR Bonus Calculations	
Sub-Area E.3 (Parcels 18 and 19, combined)	
Net Site Area = 95,005 square feet	
Base FAR	10.00
Downtown Affordable Housing Zoning Bonus	3.00 (a)
Offsite contribution to DuSable Park	2.16 (b)
Public Plazas	5.44 (c)
Chicago Riverwalk	0.40 (d)
Water Features	1.00 (e)
<u>Underground Parking and Loading</u>	<u>3.00 (f)</u>
Total FAR	25.00
a) Based on a contribution of \$5,700,300.00 to the city of Chicago Affordable Housing Opportunity Fund.	
b) Based on a contribution of \$4,104,216.00 to City of Chicago for Off-Site Park Improvements (to DuSable Park).	
c) Based on the provision of 51,730 square feet of on-site public plaza.	
d) Based on the provision of improvements to 3,800 square feet at off-site open spaces.	
e) Based on the provision of 48,669 square feet of water features in on-site public open spaces.	
f) Based on the provision of 171 underground parking spaces on Lower Levels 1 and 2, at least 265 underground parking spaces on Lower Level 3 and lower, and 7 underground loading docks on lower level.	
Note (11): Bulk Regulations and Data Table	
Sub-Area B (Parcels 7 & 7A)	
Net Site Area = 68,385 square feet	
Maximum Floor Area Ratio (FAR):	12.39
Maximum Percentage of Land Coverage:	Per Site Plans
Maximum Number of Dwelling Units:	398
Maximum Number of Hotel Keys:	400
Maximum Number of Off-Street Parking Spaces (Residential):	219
Maximum Number of Off-Street Parking Spaces (Hotel):	11
Minimum Number of Bike Parking Spaces:	50
Minimum Periphery Setbacks:	Per Site Plans
Maximum Building Height:	590' (plus 45' for mechanical penthouse, roof mechanical units, roof access stairs, architectural elements and similar appurtenances)
Minimum Number of Off-Street Loading Berths, Residential:	2 (10' x 25') spaces
Minimum Number of Off-Street Loading Berths, Hotel:	2 (10' x 25') spaces
APPLICANT: New Water Park LLC	
DATE: May 24, 2012	

Exhibit 2.

Planned Development No. 368, As Amended.

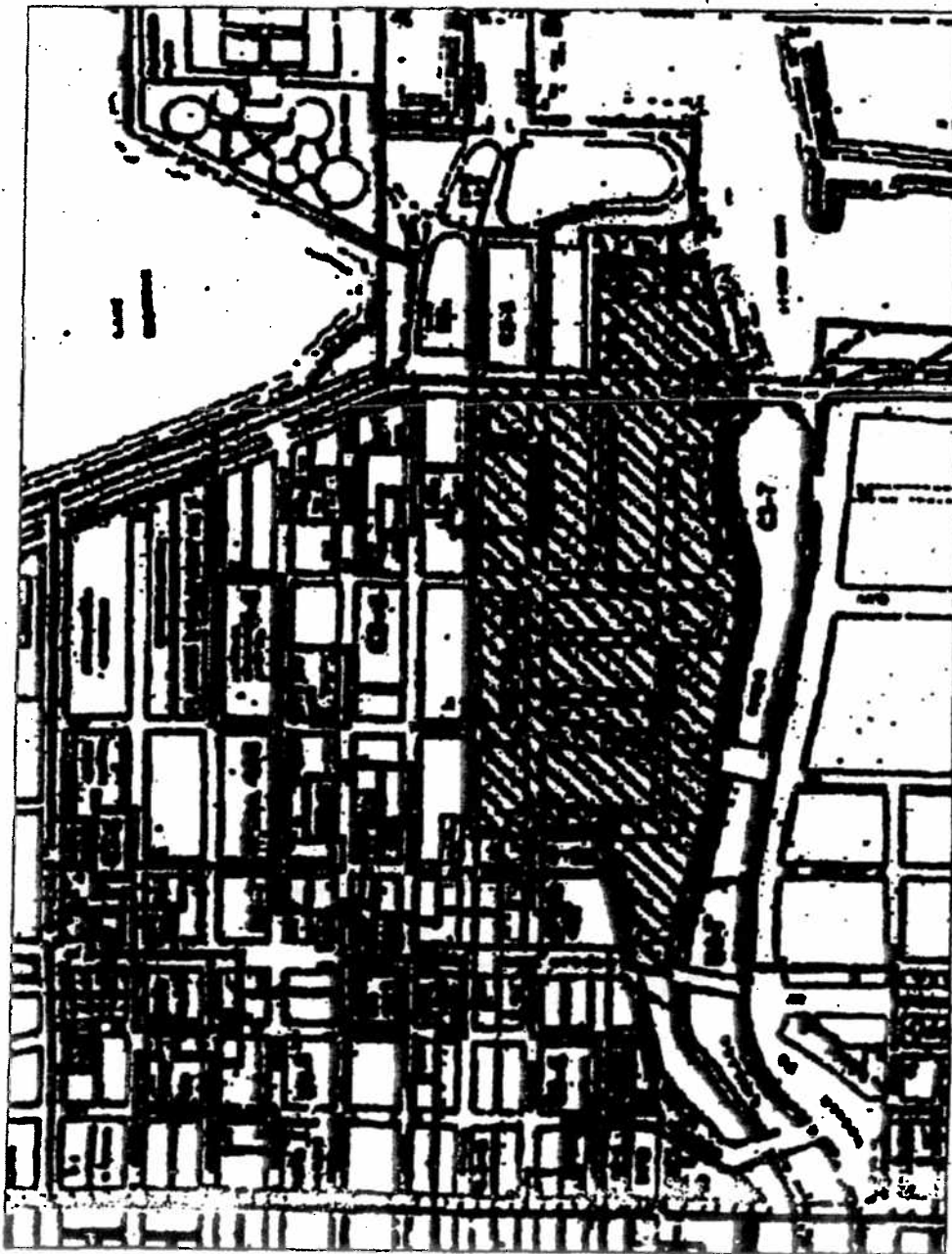


Exhibit 3.

Planned Development Boundary And Subarea Map.

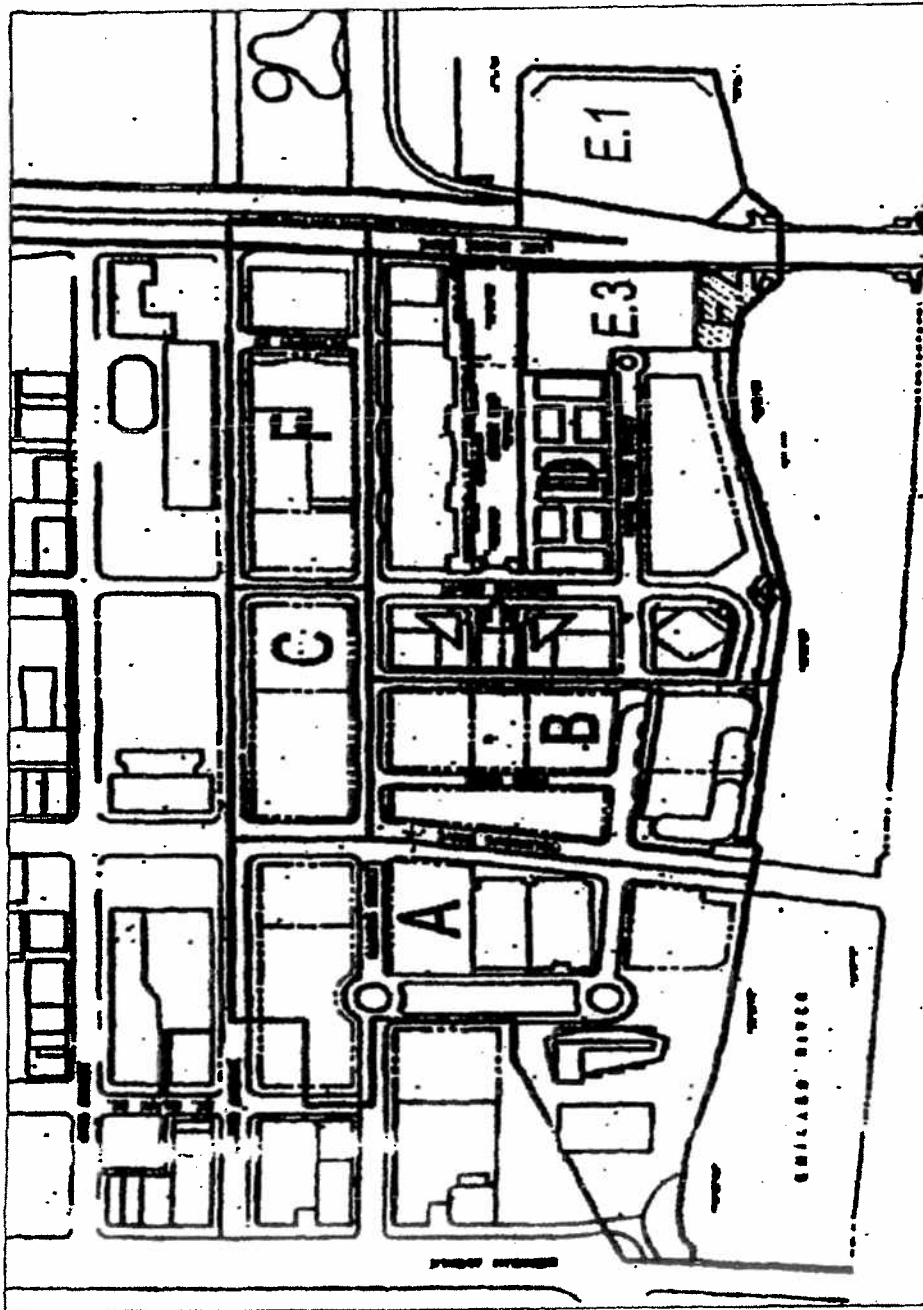


Exhibit 4.

Planned Development Parcels Map.

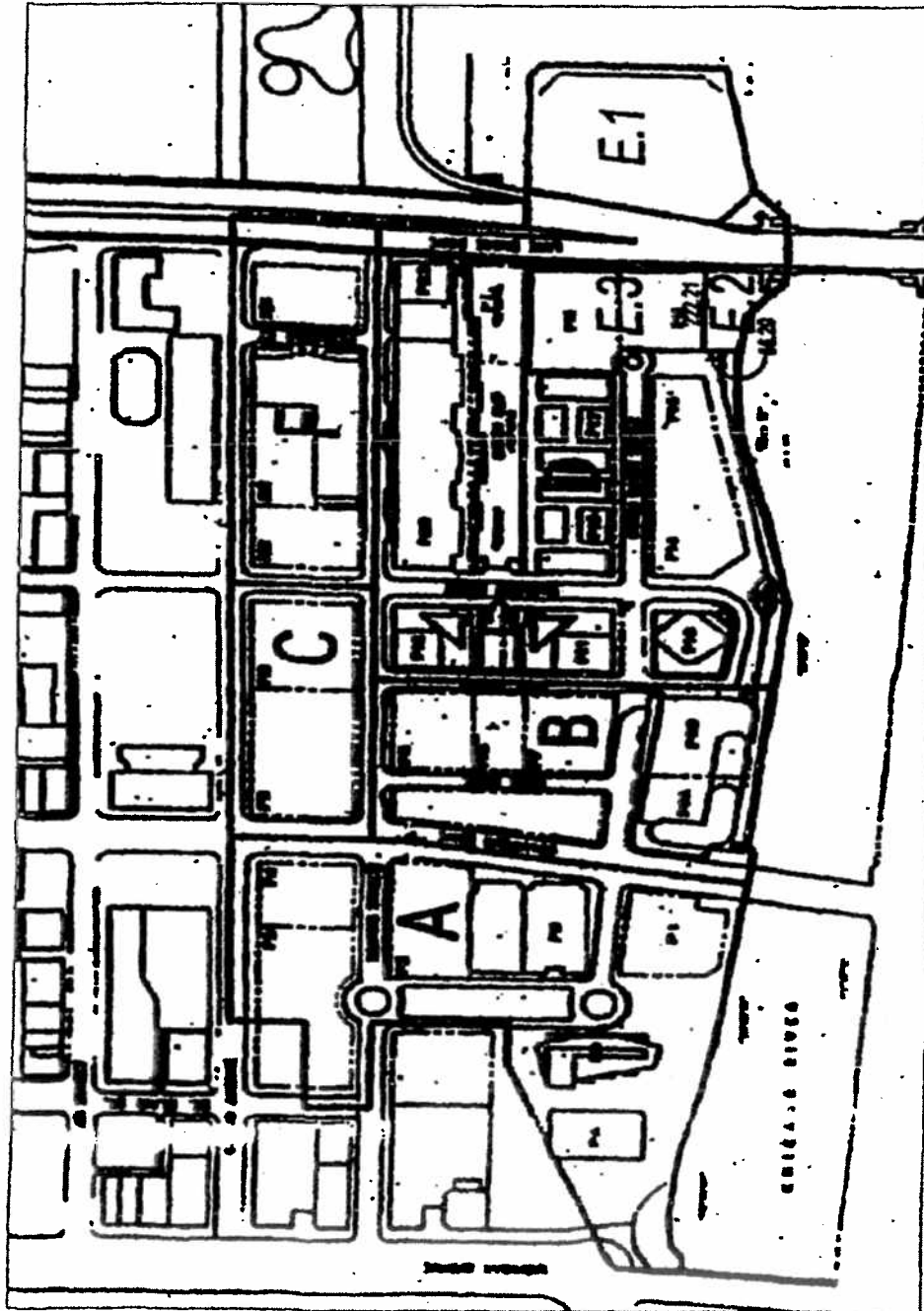




Exhibit 6.

Existing And Planned Open Spaces.

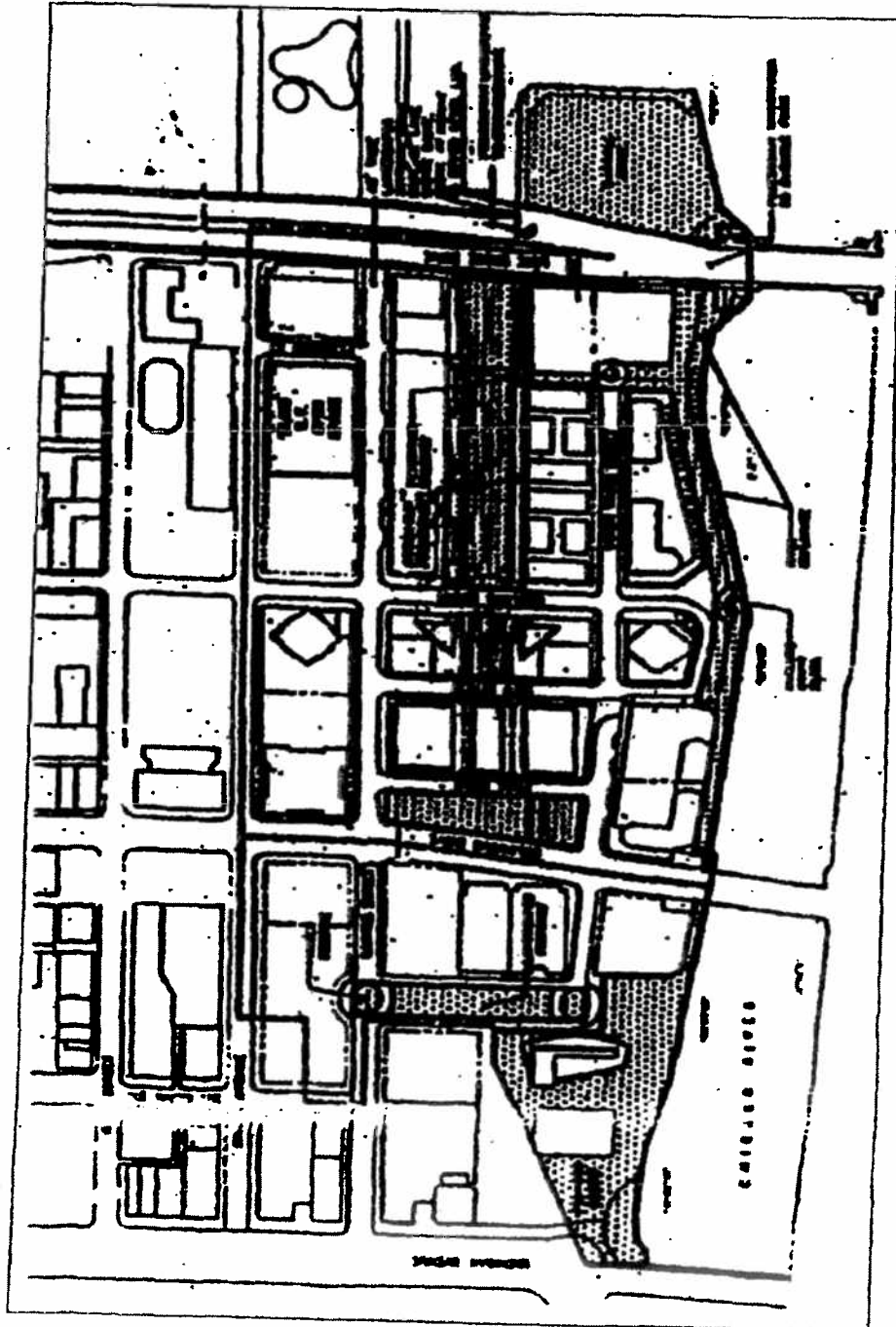
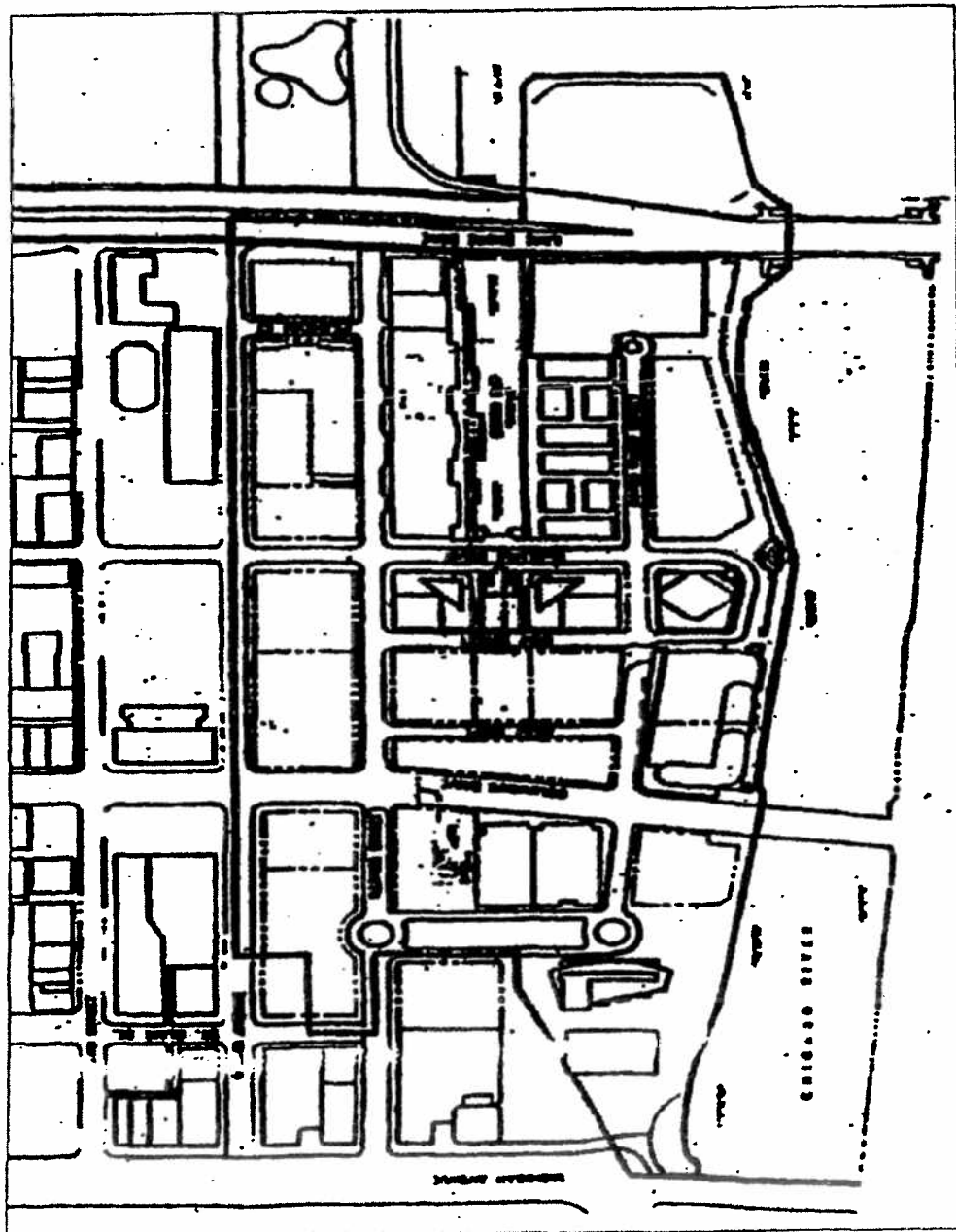


Exhibit 7.

Pattern Of Vehicular Roadways.



## Exhibit 8.

Recommended Traffic Improvements.  
(Page 1 of 3)

The following is a summary prepared by the Chicago Department of Transportation of the traffic impacts and proposed mitigation efforts for the River East, Grand Pier and North Bridge developments along the Illinois-Grand corridor, as described in traffic studies prepared by traffic consultants for the developers and the City (KLOA) and Barton-Aschman, respectively:

**General Impacts:** The three developments will generate roughly 3000 trips (1600 inbound and 1400 outbound) during the PM peak hour. About 1350 trips (750 inbound, 600 outbound) will be generated during AM peak hour.

There will be traffic volume increases on Illinois and Grand, between State Street and Lake Shore Drive, of roughly 500 to 700 vehicles per hour during the PM peak hour. During the AM peak hour, traffic volume will increase on Illinois and Grand by roughly 200 to 300 vehicles per hour. Existing peak volumes on Illinois and Grand range between 1000 and 1500 vehicle per hour; with these developments, volumes would range between 1500 and 2000 vehicles per hour.

Some excess capacity is available to handle this increased demand, but a number of geometric, signal timing, and parking control measures are recommended to further accommodate this increase in traffic.

**Geometric and Signal Operations Improvements:** In order to increase overall intersection capacity and address heavy traffic circulation demand, it is proposed to widen McClurg Court between Illinois and Grand to provide double left turn lanes northbound at Grand and southbound at Illinois. McClurg would be further widened on the west side to provide a drop-off lane at the proposed residential building.

It is also proposed to widen McClurg between Ohio and Grand to provide separate southbound right turn and through traffic lanes, and to provide a smoother northbound alignment through the Grand Avenue intersection. The right-of-way for this widening would need to be obtained from the adjacent property owners.

The traffic signals at McClurg-Grand and McClurg-Illinois would be modified to accommodate the street widening and to provide left turn arrow signal indications for northbound traffic at Grand and southbound traffic at Illinois.

On Grand Avenue at State Street, the CTA subway entrances at the northeast and northwest corners will be relocated out of the Grand Avenue right-of-way. This will allow the widening of Grand Avenue at this intersection to provide four westbound lanes compared with the three lanes currently available at this "bottleneck" location.

## Exhibit 8.

Recommended Traffic Improvements.  
(Page 2 of 3)

Restriping of various street segments is proposed in an effort to make more efficient use of pavement space and increase traffic capacity. Striping of left turn lanes, where appropriate, would be done on State, Wabash, and Rush at their intersections with Illinois, Grand, Ohio, and Ontario. Illinois would be restriped at Columbus to provide three through lanes, and separate left turn and right turn lanes.

**Parking Controls:** Metered on-street parking generally will need to be eliminated on Illinois and Grand from State Street to Lake Shore Drive in order to provide additional traffic capacity or to make the curb lane available for various pickup/drop-off activities. Sufficient off-street parking, provided as part of these developments, is intended to satisfy the demand for parking in the corridor.

It is proposed to eliminate parking on Illinois Street from State Street to Michigan Avenue in order to provide three eastbound traffic lanes, compared with the two existing lanes. This increase in traffic capacity is needed to handle the increased demand on this segment of Illinois Street.

It is proposed to eliminate parking on the south side of Grand Avenue east of Columbus Drive to provide a separate left turn lane on Grand at the approach to the Columbus Drive signal. This would increase the through traffic capacity by removing the turning movements from the adjacent through traffic lane.

Parking would also be eliminated on both sides of Grand Avenue east of McClurg Court, in order to provide separate left turn and right turn lanes on the approach to the traffic signal. Again, traffic capacity would be increased by segregating the through and turning traffic movements.

The elimination of parking is also proposed on the south side of Ontario at Fairbanks in order to provide a westbound left turn lane on Ontario. The striping of an optional through-left lane was also recommended as a further capacity improvement, although conflicts between turning vehicles and pedestrians in the south crosswalk will require further analysis.

**Transportation Management:** Active traffic management in the corridor will be undertaken by the Transportation Management Association which has been established. The TMA will meet to exchange information of traffic operations needs and problems, with changing development conditions, construction activities, special events, and other factors which may affect transportation in the corridor. Various City agencies, including CDOT, Planning, Police, Streets and Sanitation, and the CTA, will coordinate efforts with corridor property managers to address evolving transportation demands.

## Exhibit 8.

Recommended Traffic Improvements.  
(Page 3 of 3)

Strict enforcement of existing and proposed parking restrictions will be necessary to ensure that street space needed for traffic capacity is available. Of particular concern is the need to keep Illinois clear, east of Columbus; Grand Avenue, west of Michigan; Ohio Street, west of Michigan; and Ontario Street, west of St. Clair.

Improved public transit serve as appropriate to serve the needs of the corridor will be developed. CDOT and the TMA will be reviewing service needs and developing strategies for best providing public transportation, whether through modifications of CTA service or additional shuttle bus operations.

**Site Specific Improvements:**

**Parcels 4 and 5:** the proposed lower level loading dock layout requires a number of traffic control measures in order to mitigate the potential effect on Illinois Street traffic. These measures include prohibition of on-street loading, provision of a dock master during loading dock hours, limitation on loading dock hours to prohibit backing maneuvers between 7 a.m. and 9 a.m. and between 4 p.m. and 7 p.m., Monday through Friday, and implementation of loading dock control as part of an overall Traffic Management Plan to be implemented by the Illinois-Grand Corridor Transportation Management Association.

**Parcels P7, P7A, and P8:** There should be no curb cuts on Illinois Street. Curb cuts providing access to loading docks should be located only on Lower North Water Street or New Street.

**Parcels P9 and P13:** The increase in hotel development along Columbus Drive between Grand Avenue and Illinois Street and along Park Drive between Illinois and North Water Streets will concentrate taxi and other traffic movement in this area. Signing and striping is needed to prevent traffic from driving across Illinois Street in order to access Park Drive rather than turning left onto eastbound Illinois Street. Vaulted sidewalks are also indicated in the public way on both Grand and Illinois. Although vaulted sidewalks are not generally recommended, they are acceptable in this instance to allow for the placement of parking underground.

**Parcels P14 and P16:** The vacation of River Drive east of McClurg may result in hundreds of residential units being accessed from a signal cul-de-sac street, North Water Street east of McClurg. The sewer on North Water is seven to eight feet below the pavement, and its reconstruction at some time in the future, or any other significant utility maintenance, could severely restrict access these residences. Widening of North Water to 44 feet from its existing 40-foot width is recommended in order to provide more flexibility to maintain two-way traffic in the event of any future construction activities.

**The Kraft Building Site:** There is no objection to vacating Peshtigo Court in the future. If Peshtigo Court is eliminated and another north-south street is added, its location must be checked with respect to the location of the drop off lanes on Illinois at North Pier terminal. If Peshtigo Court is retained, adding another north-south street between Peshtigo and McClurg is not recommended.

**Parcels P18 and P19:** ADA accessibility of any pedestrian bridge which may be built across Ogden Slip should be reviewed.

Exhibit 9.

Site Landscape Plan.

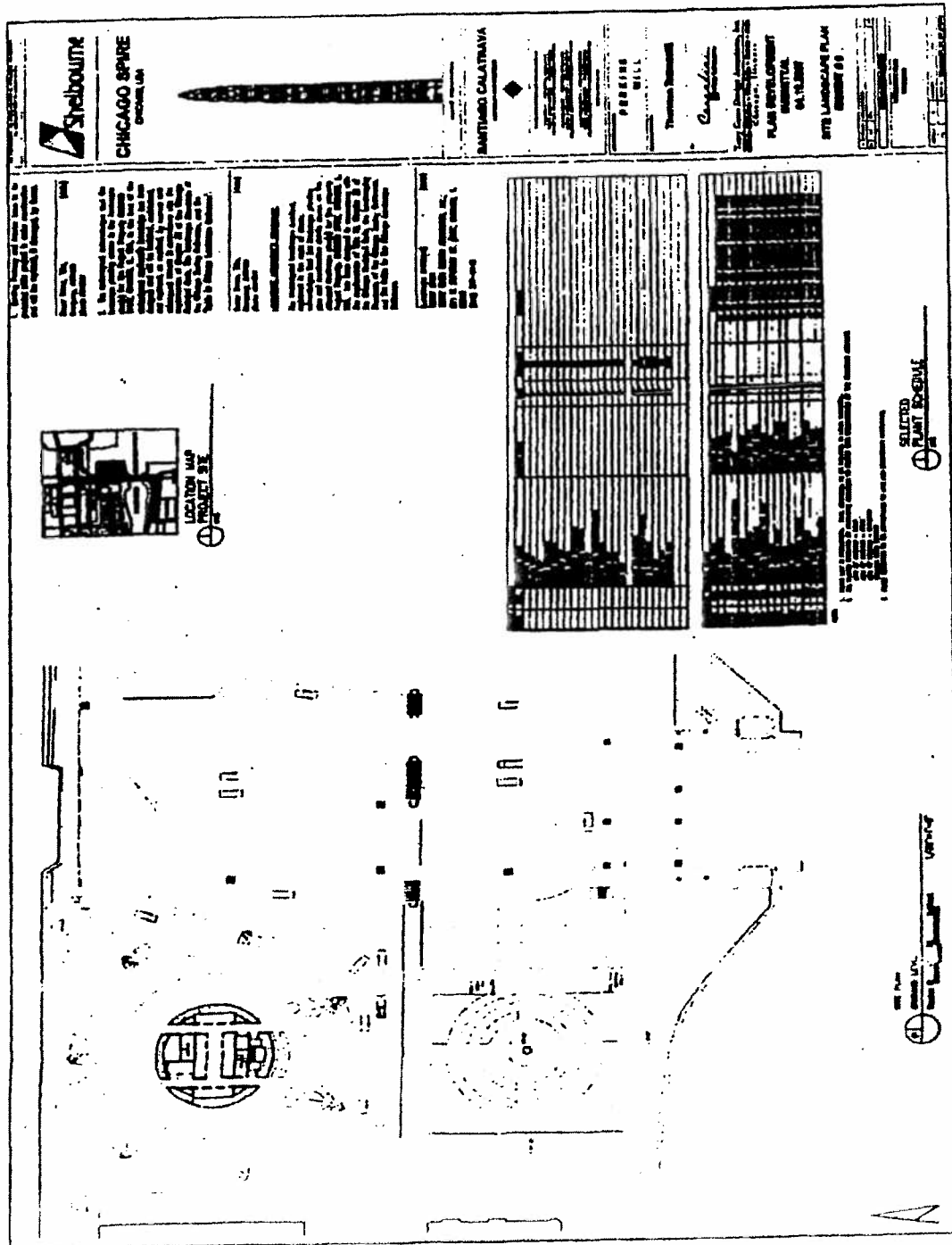


Exhibit 10.

Site Plan And Selected Plant Schedule.

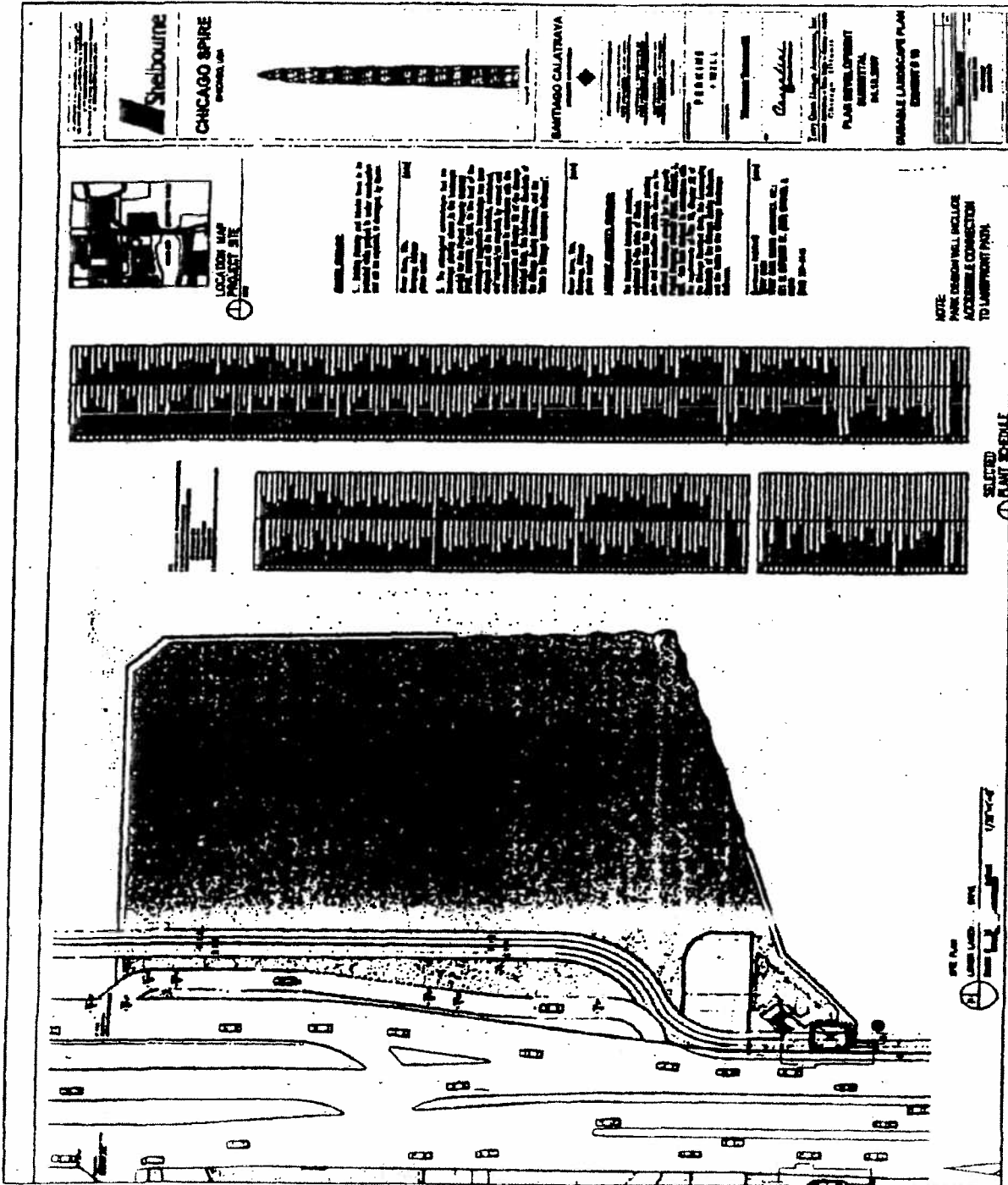


Exhibit 11.

Ground Floor Plan.

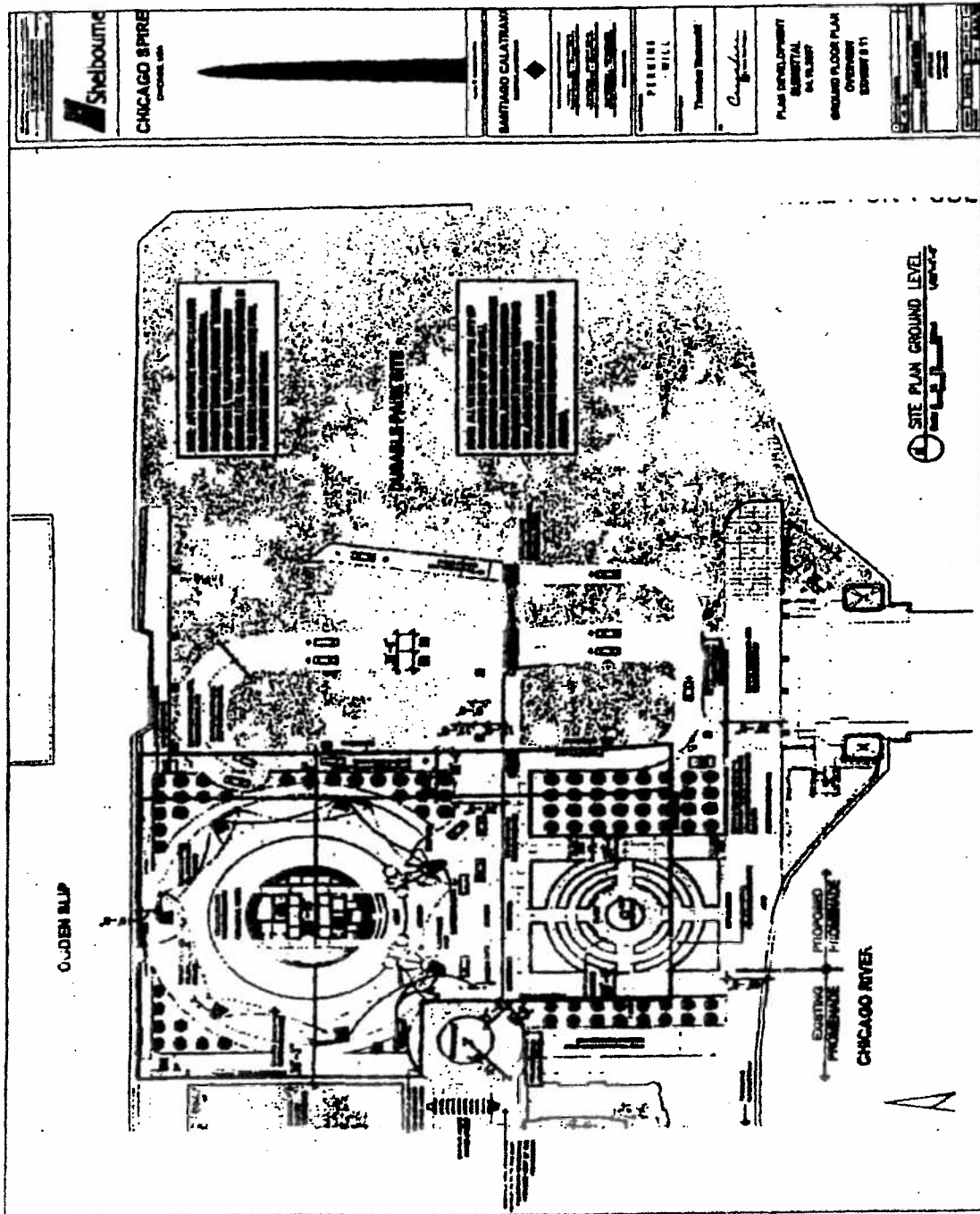


Exhibit 12.

Lower Lake Shore Drive Plan Review.

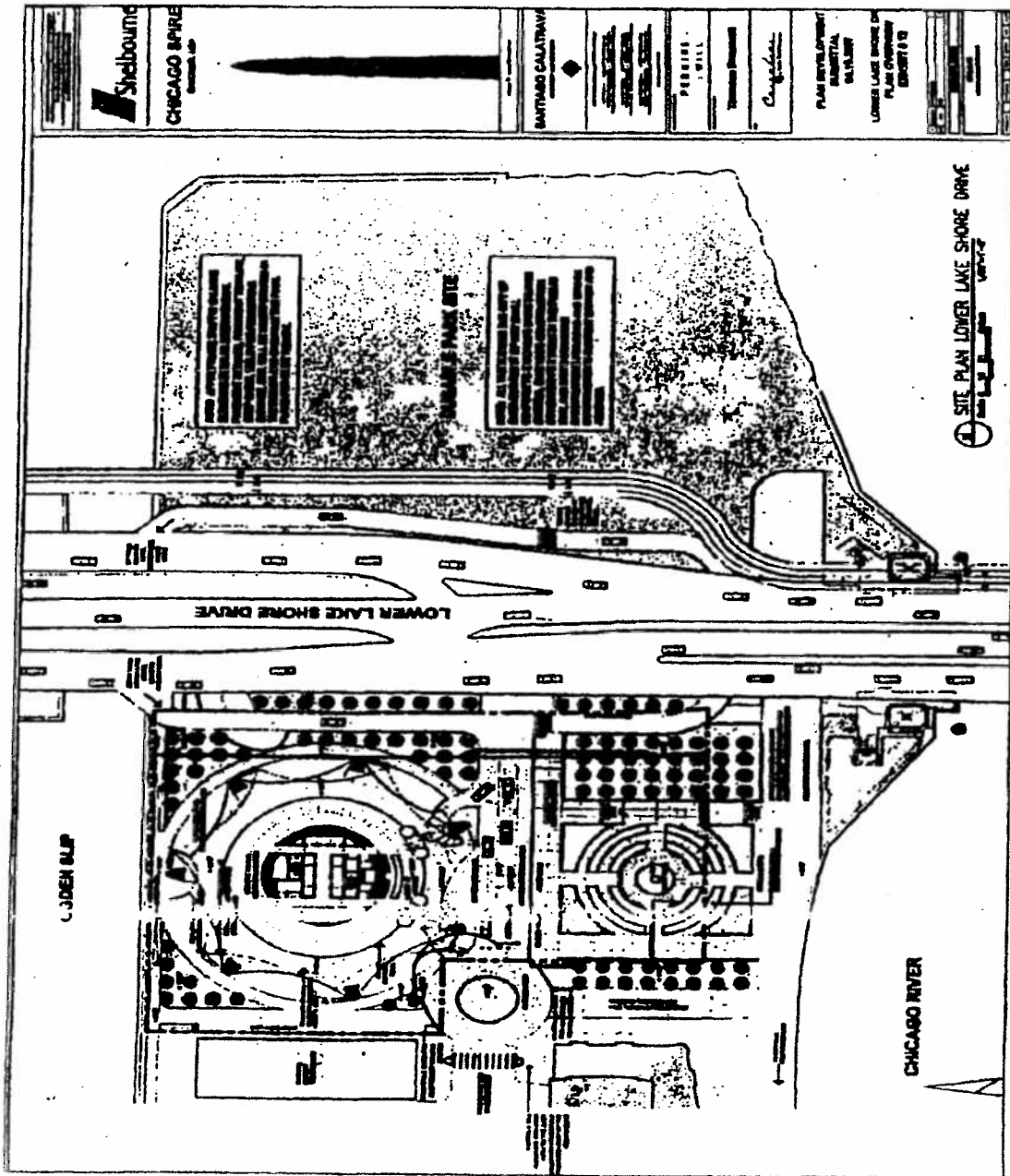


Exhibit 13.

Views From North, South, East And West.

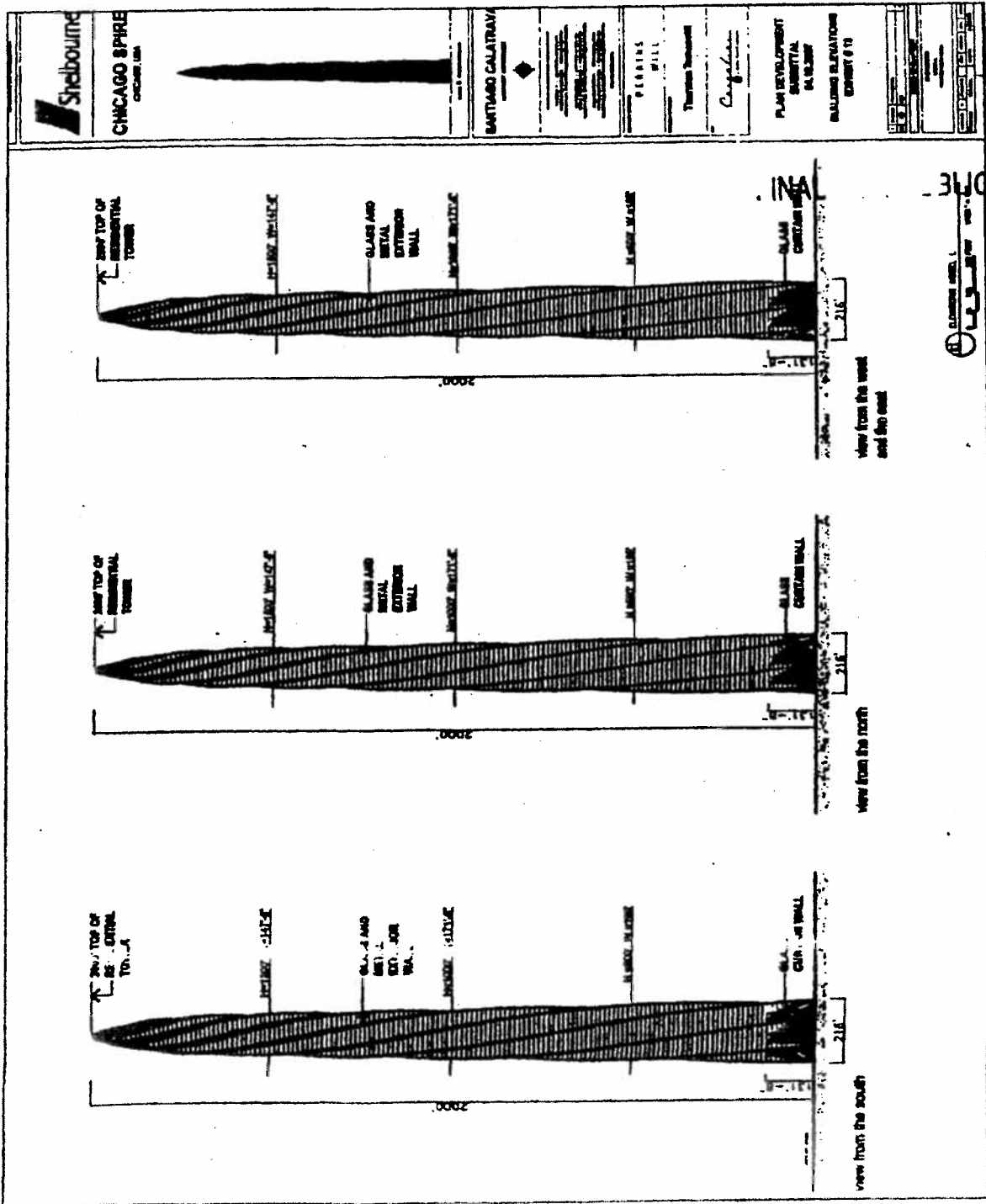


Exhibit 14.

South Building Elevations.

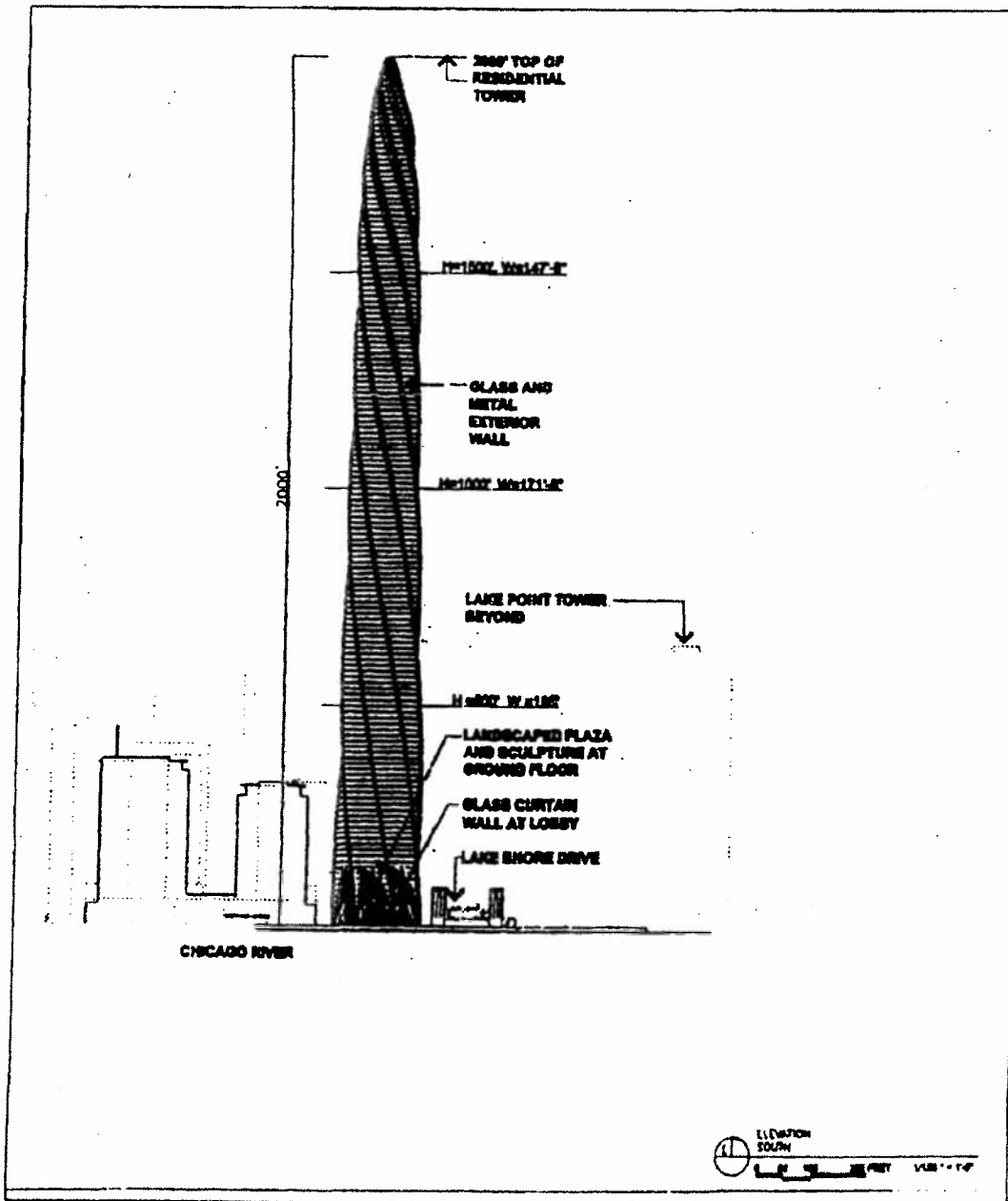


Exhibit 15.

Partial Enlarged South Elevation.

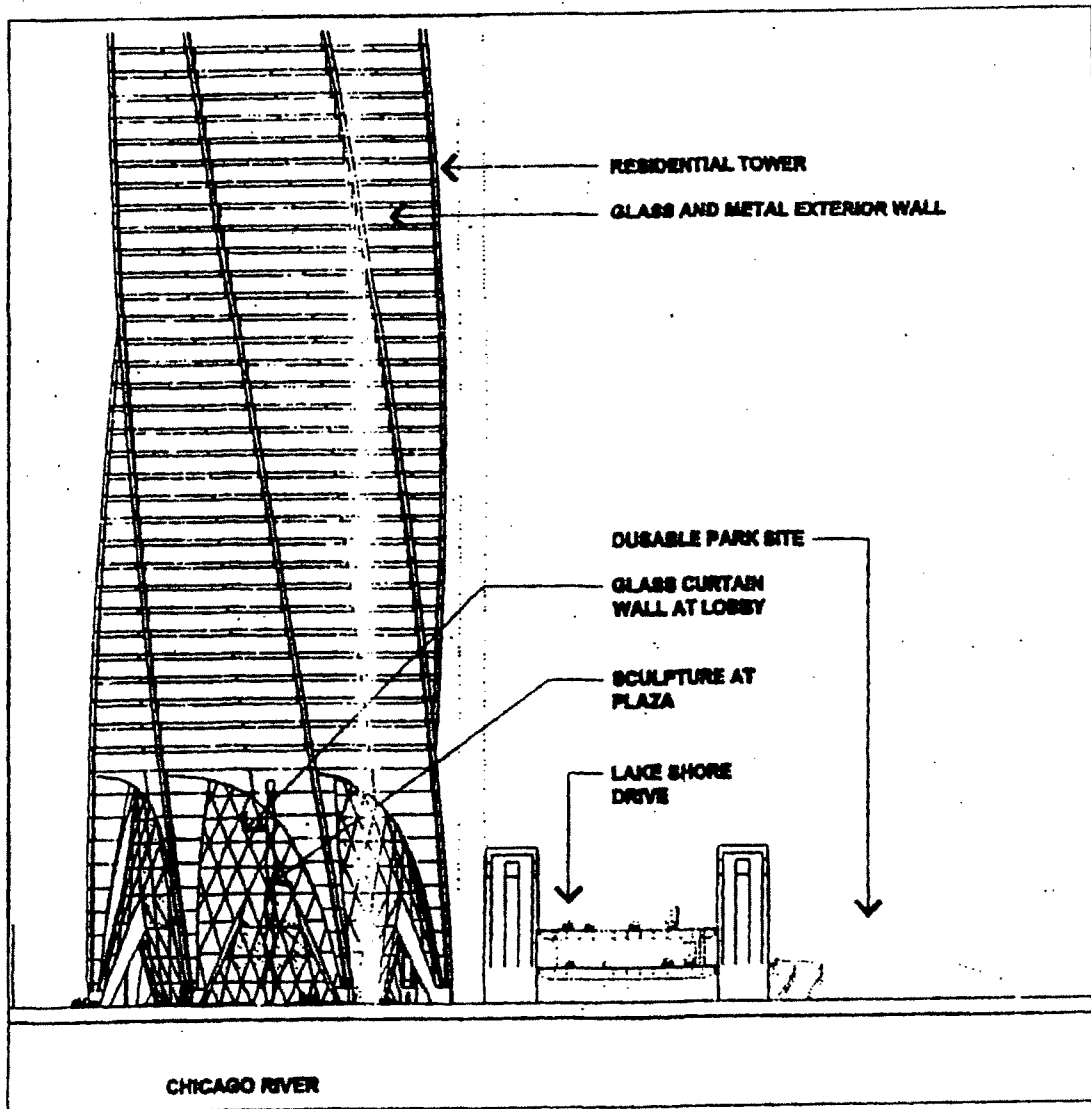


Exhibit 16.

Partial East/West Site Section.

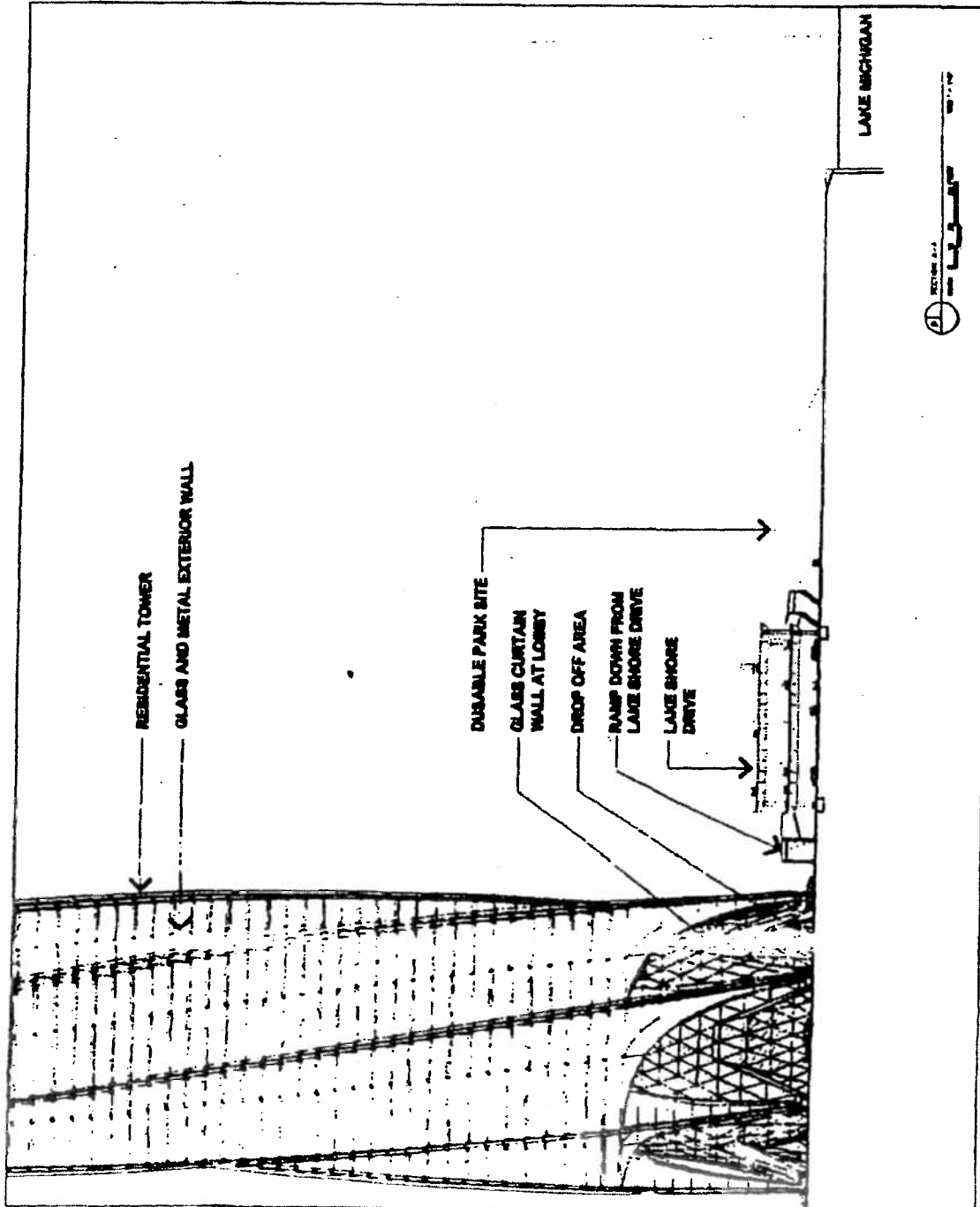


Exhibit 17.

Partial Enlarged East Elevation.

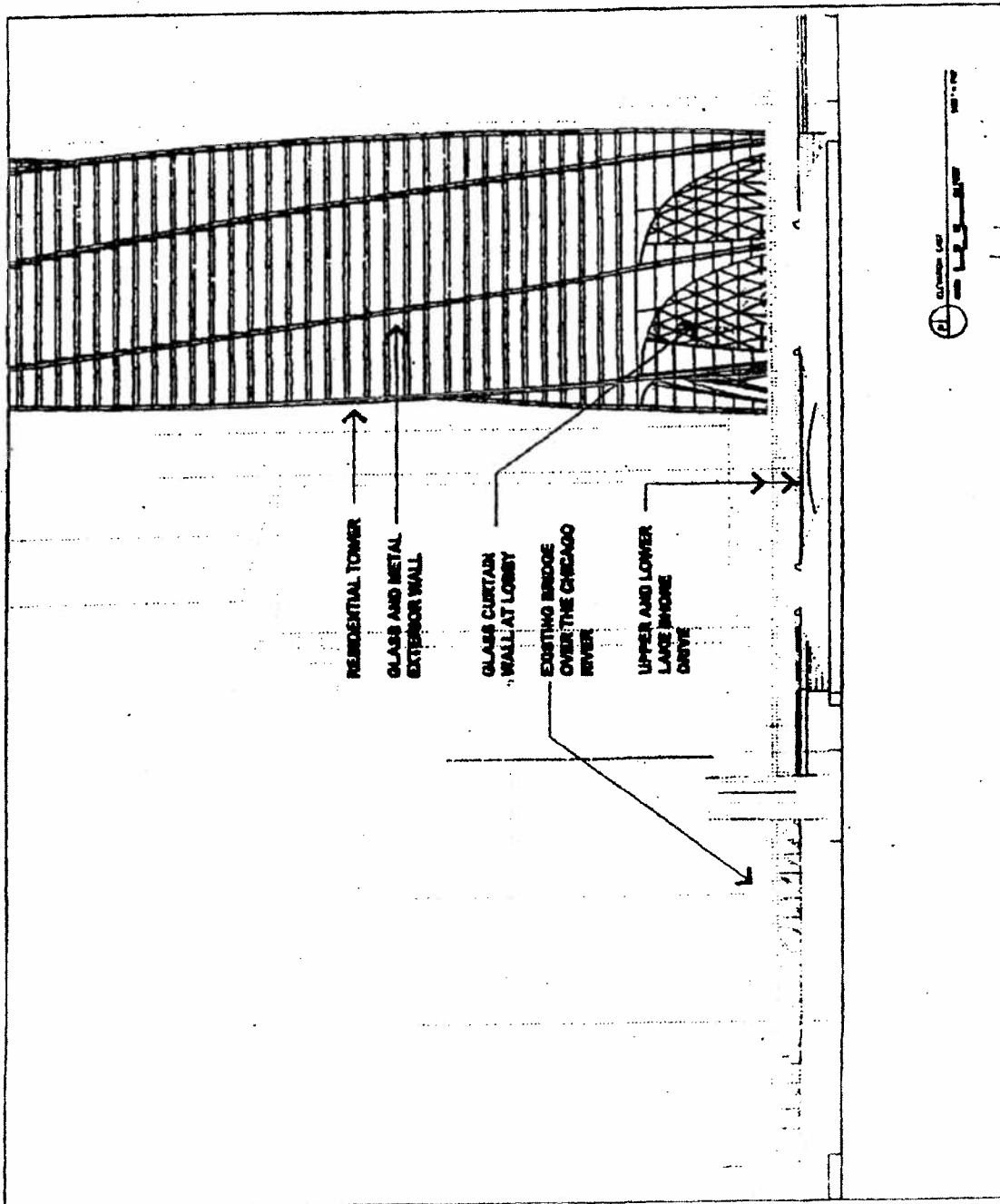


Exhibit 18.

North/South Site Section At Lake Shore Drive.

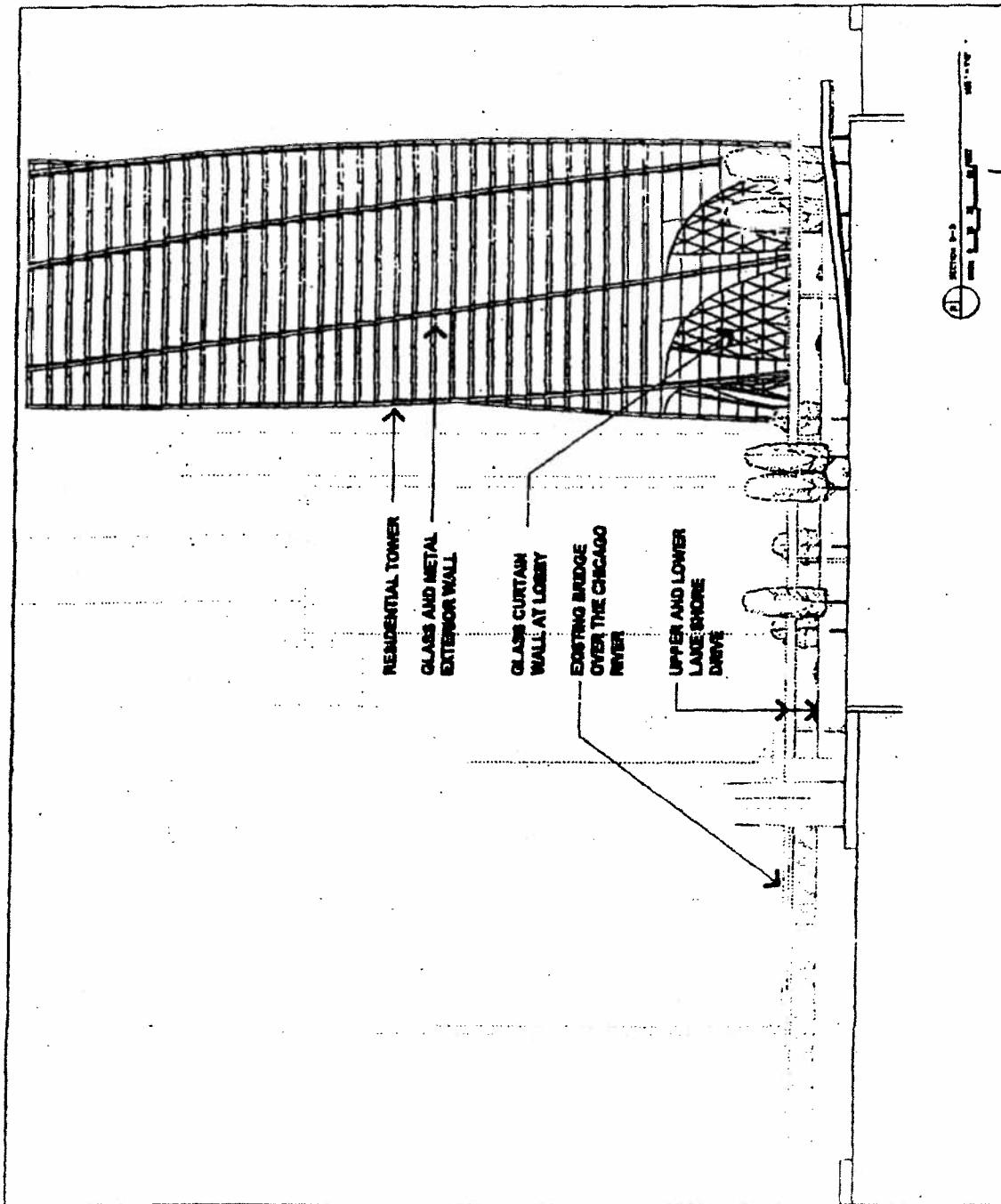




Exhibit 20.

East/West Parking Section.

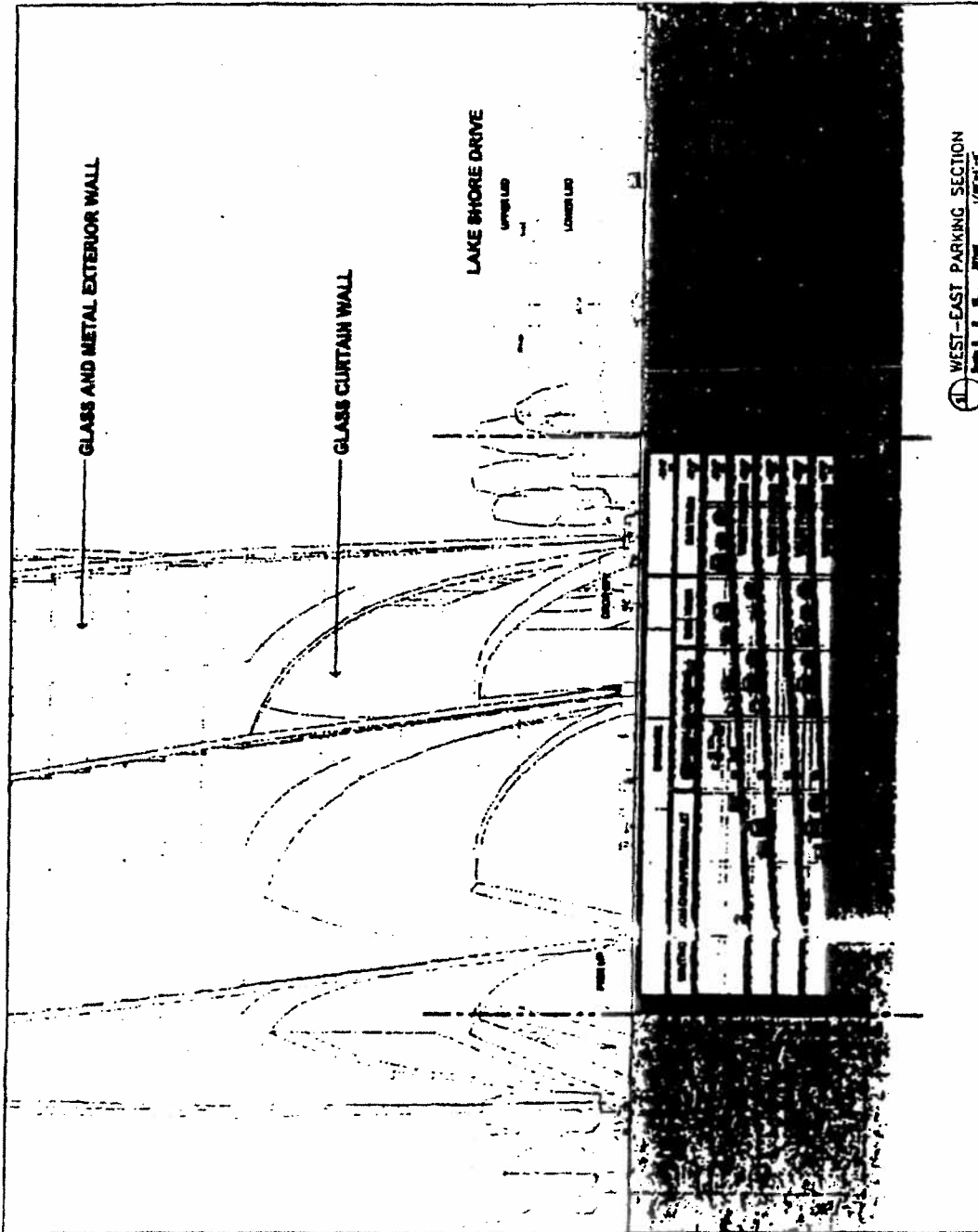


Exhibit 21.

North/South Parking Section.

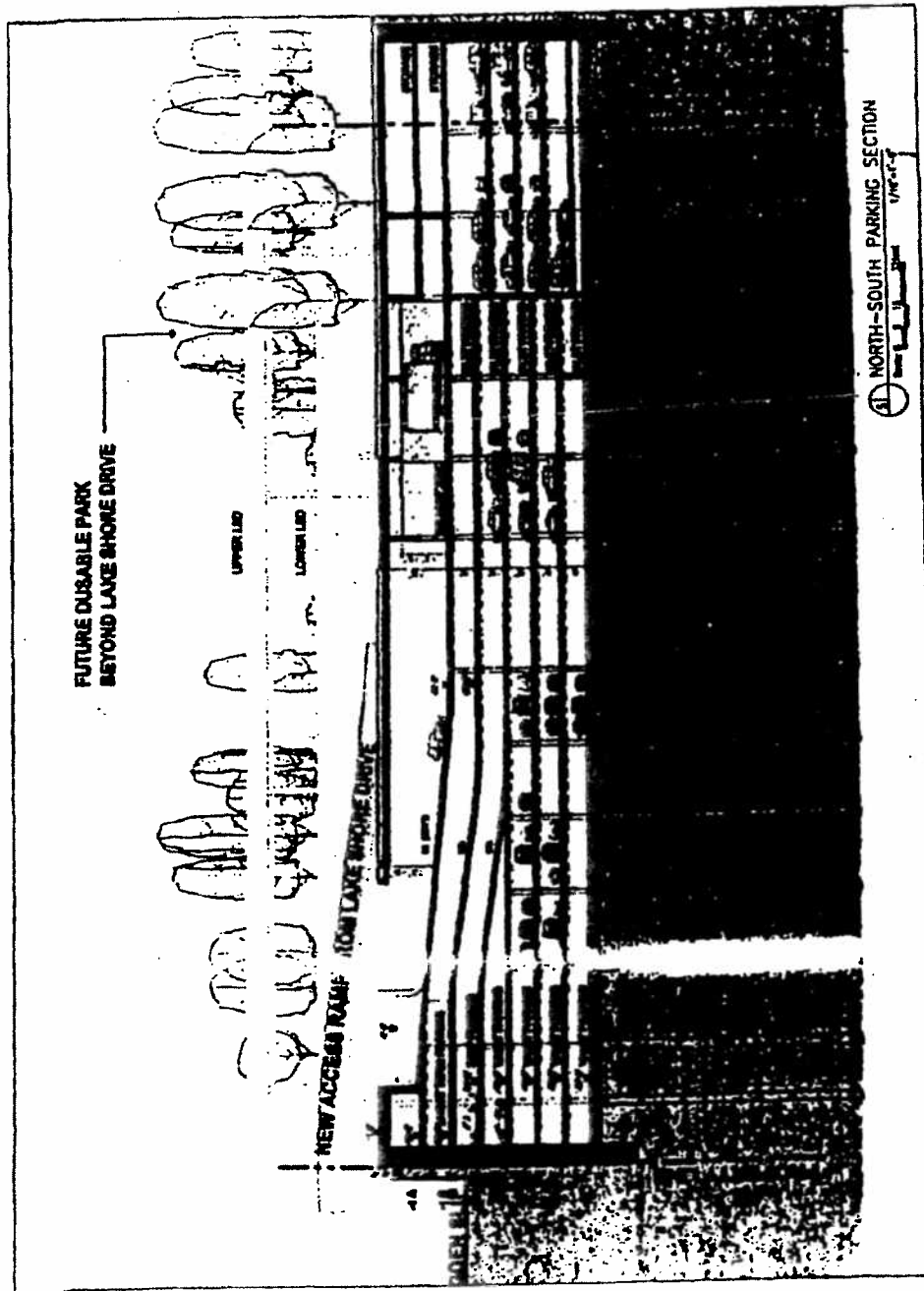
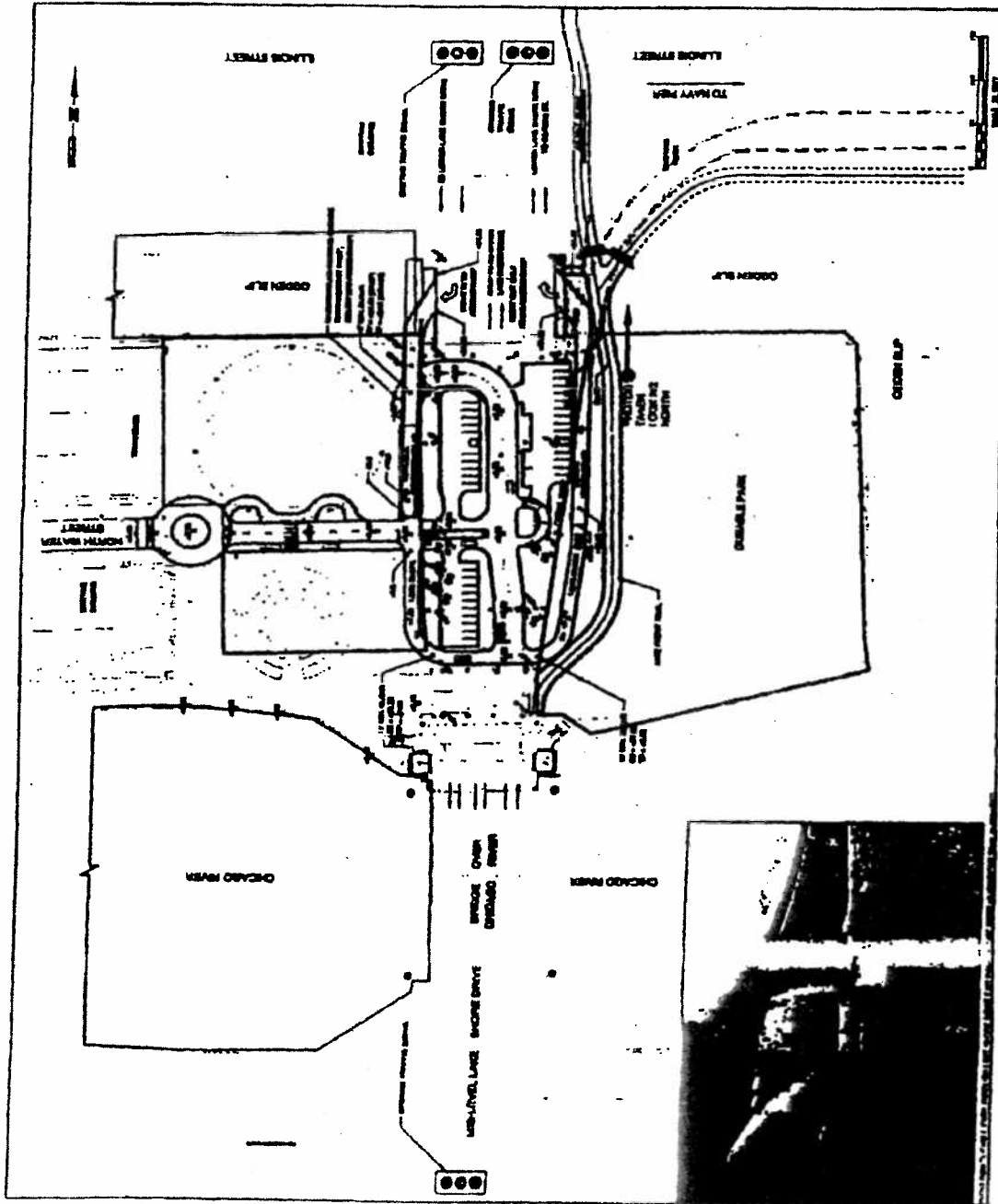


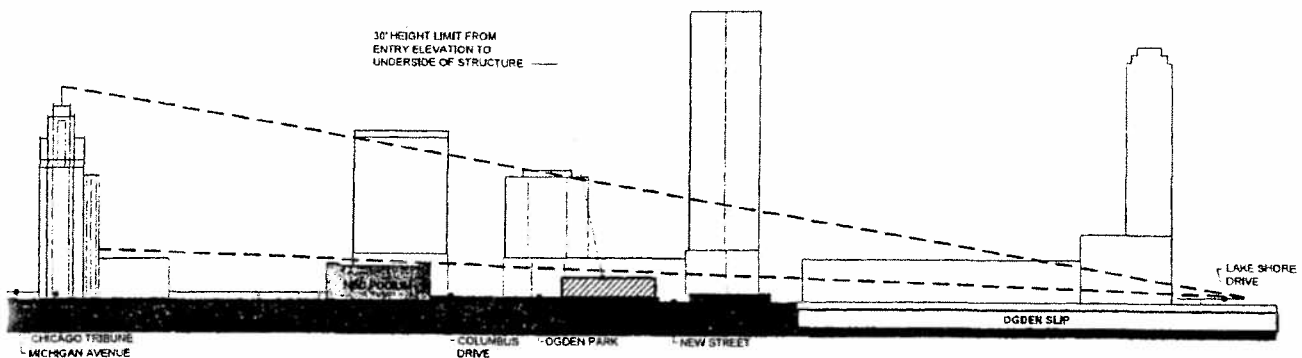
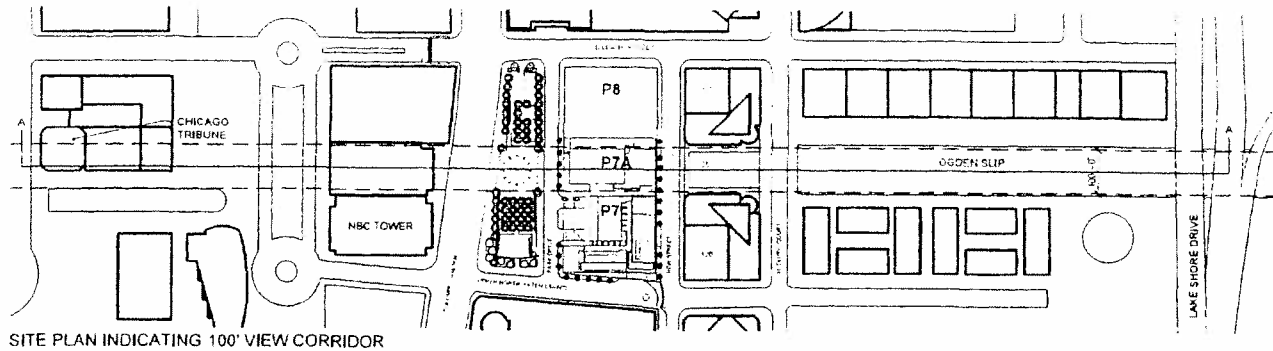
Exhibit 22.

Lake Point Trail Alignment Alternate 1.





View Corridor Program.



**VIEW CORRIDOR PROGRAM**

**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

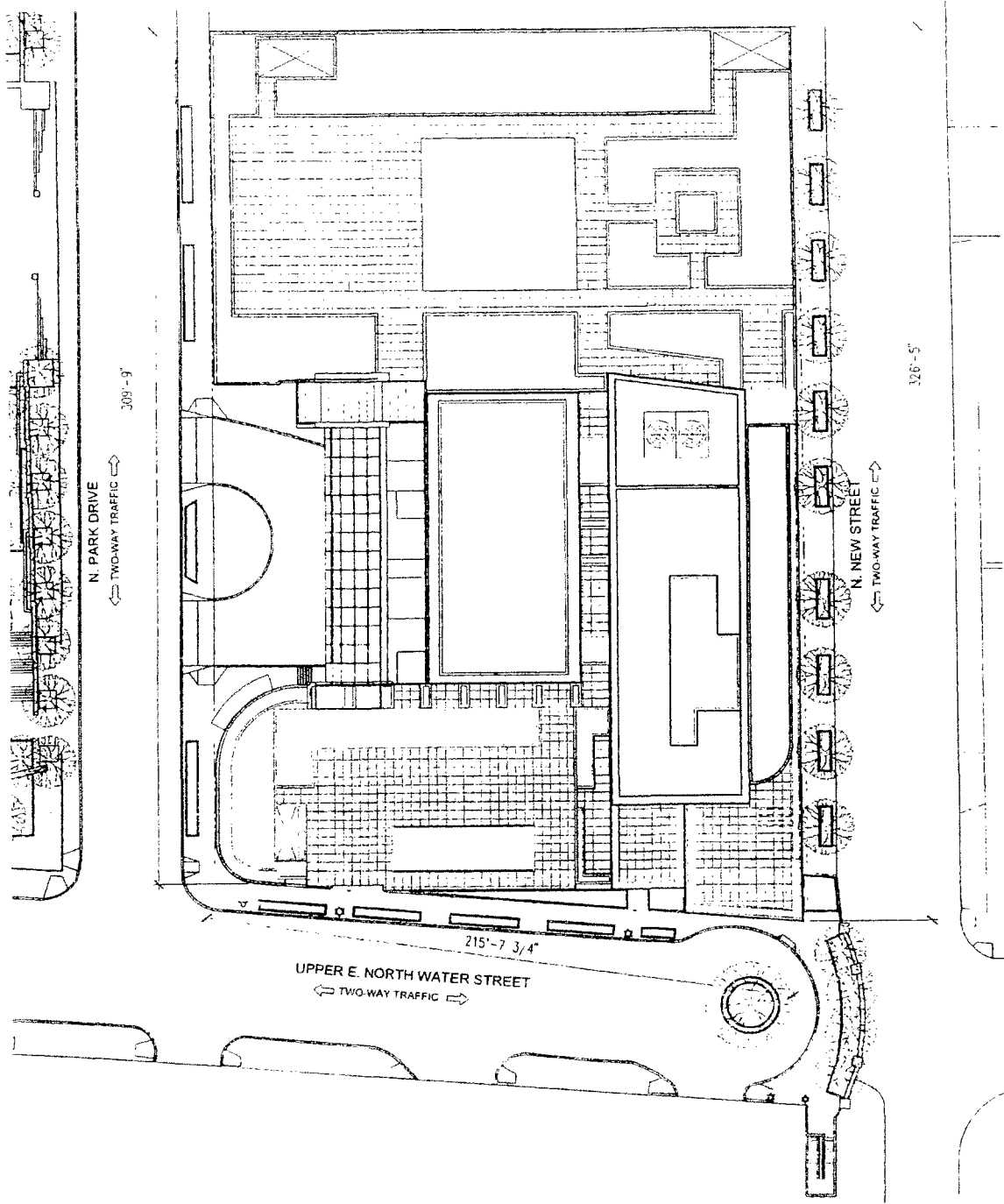
NTS



© 2012 Software: Corbis/Bettmann

**Date:** May 24, 2012  
**Revised:**

Overall Site Plan.



**OVERALL SITE PLAN**



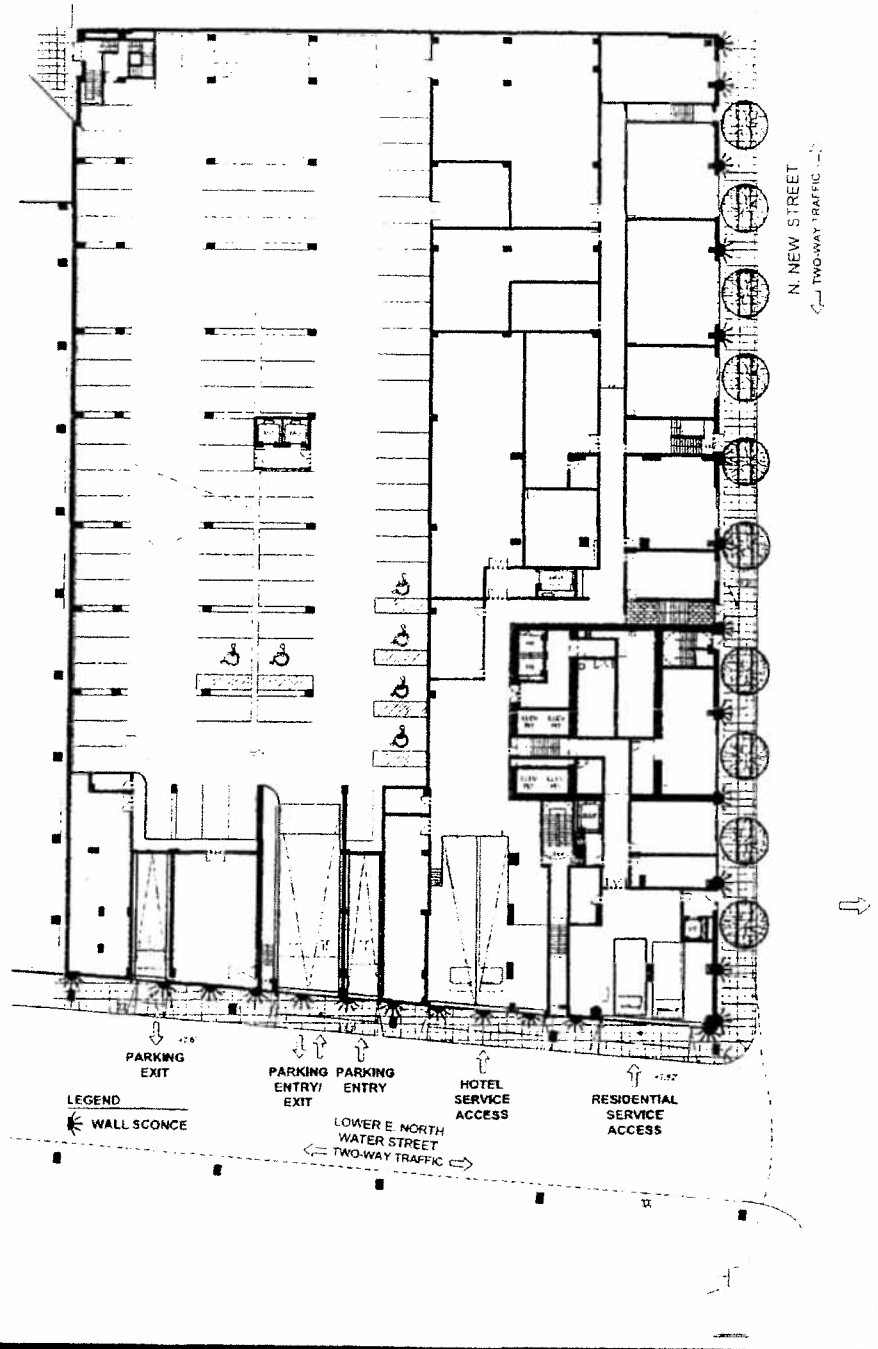
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 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0 25 50

Lower East North Water Street Plan.



**LOWER E. NORTH WATER STREET PLAN**



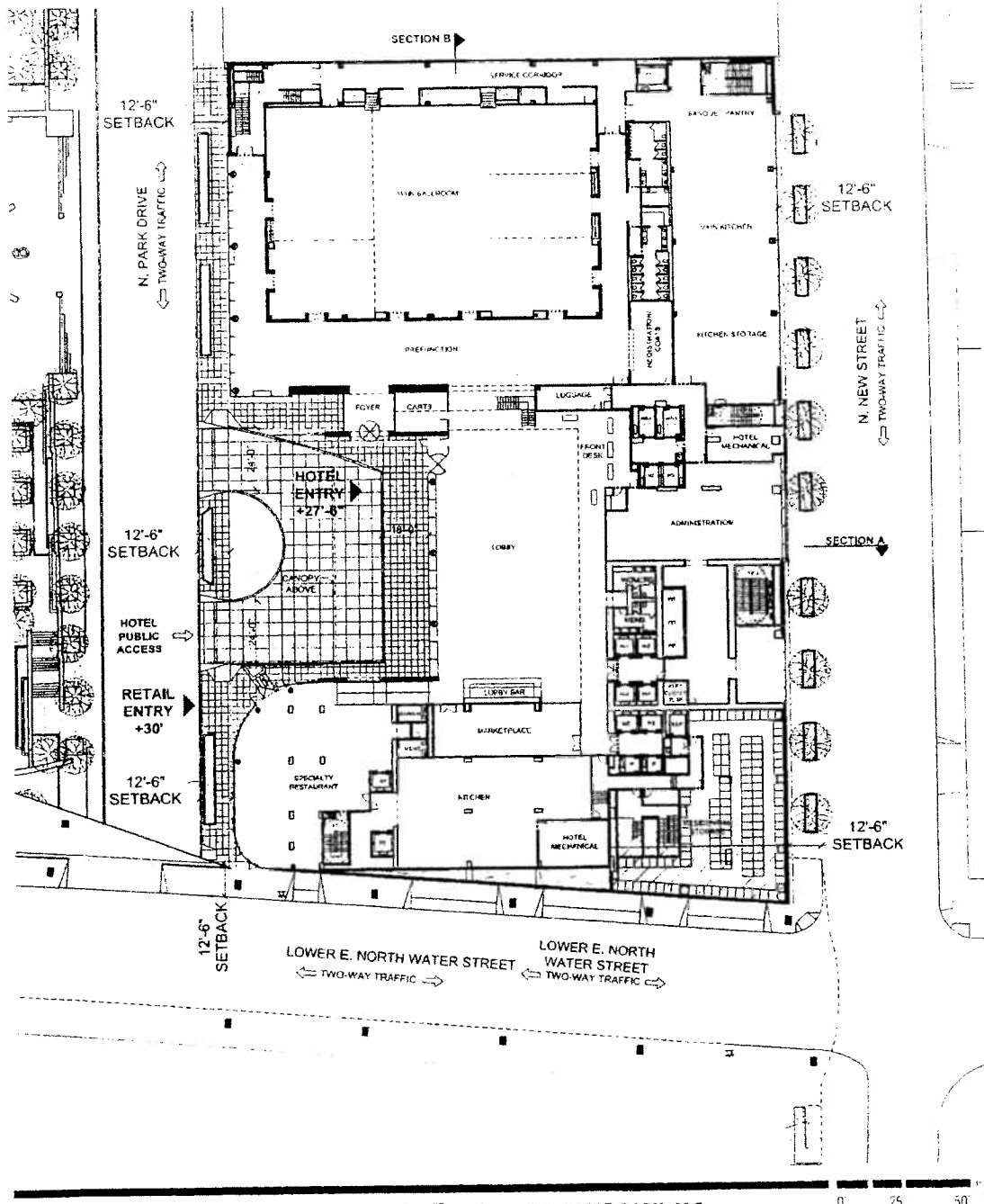
© 2012 Southwestern Concrete Wall Building

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432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0 25'

North Park Drive Street Plan.



**NORTH PARK DRIVE STREET PLAN**



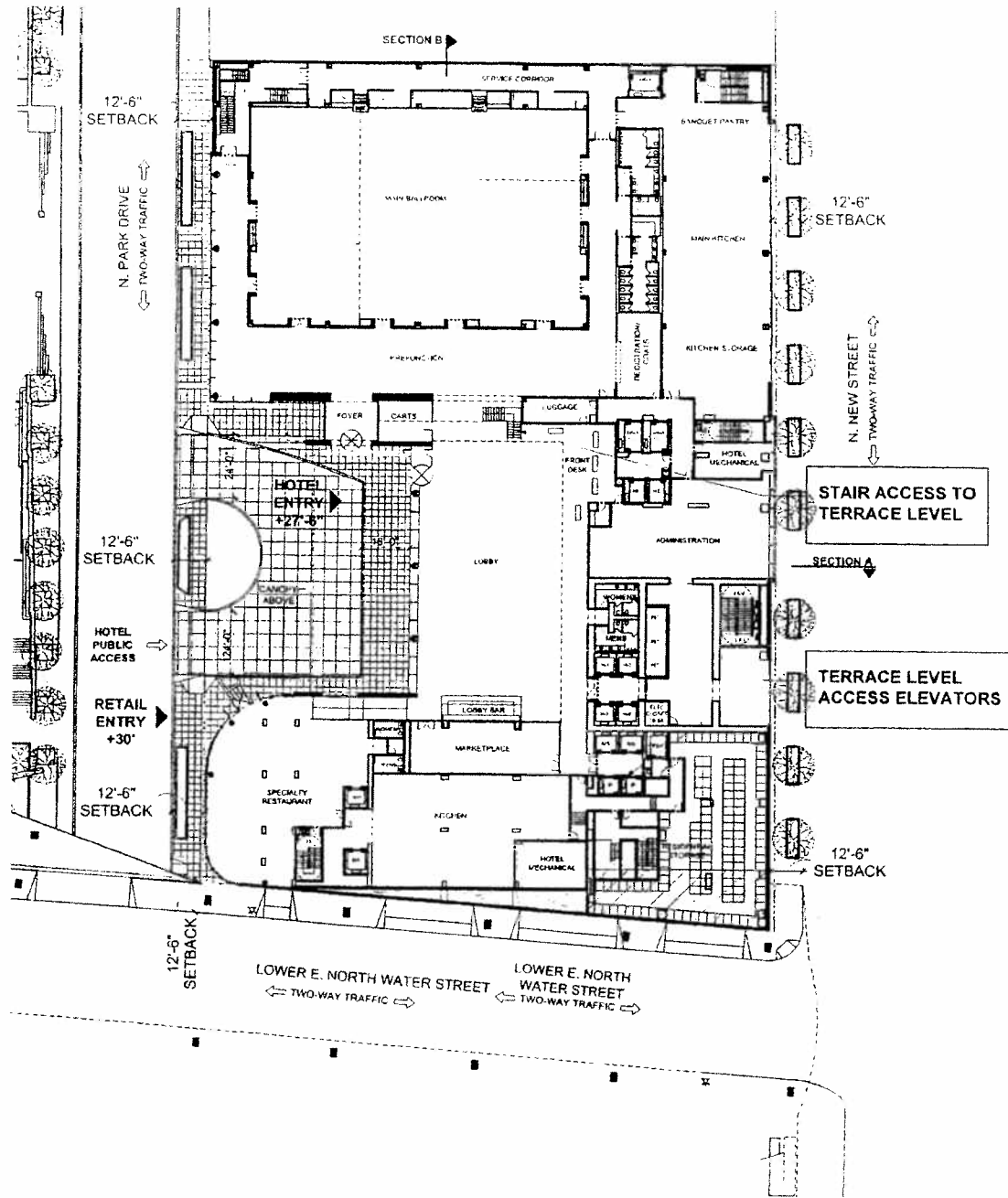
© 2012, Skidmore, Owings & Merrill LLP

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 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

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North Park Drive Street Wayfinding Plan.



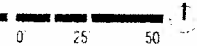
**NORTH PARK DRIVE STREET WAYFINDING PLAN**



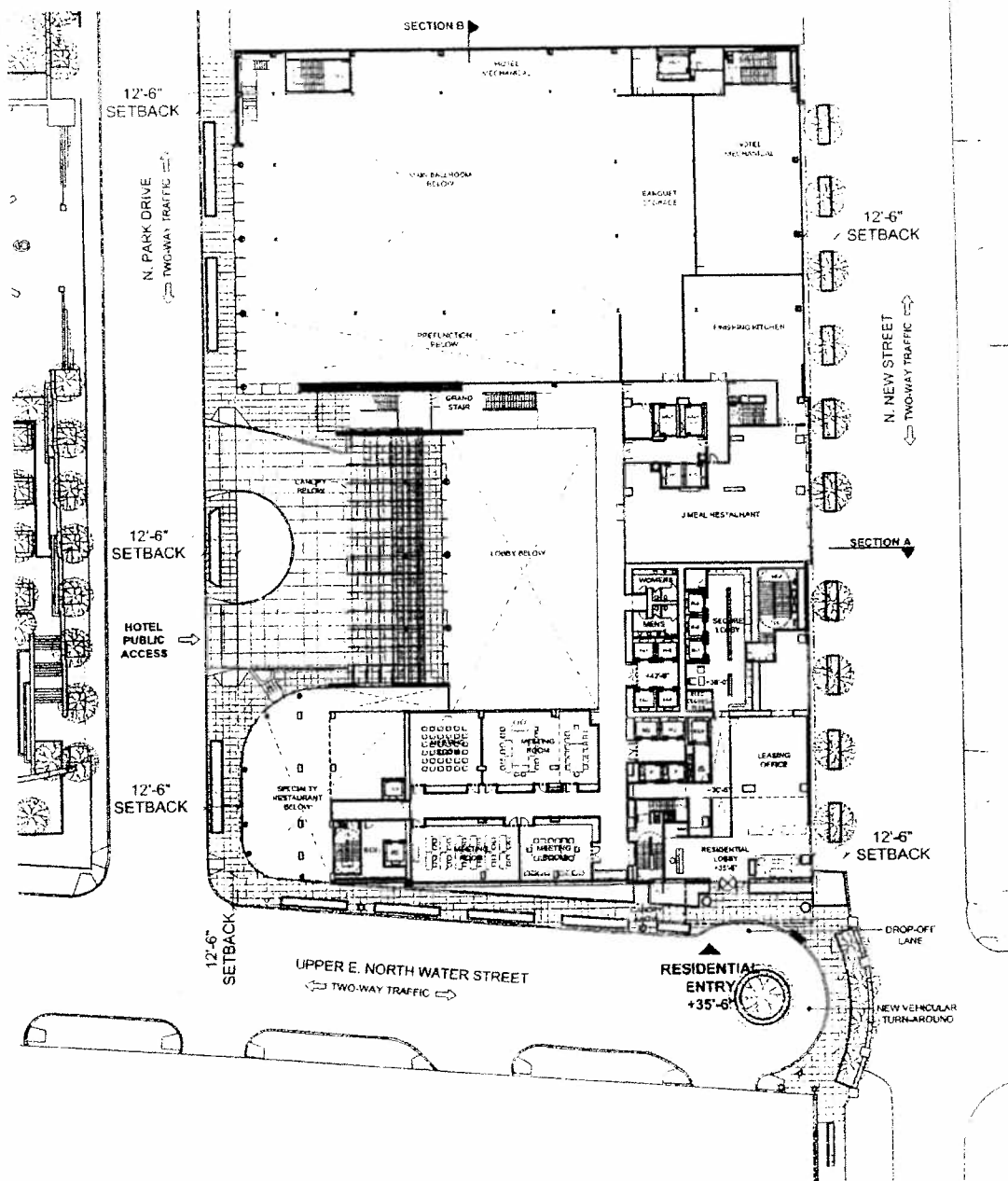
© 2012 Solonius Cordwell Inc.

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Upper East North Water Street Plan.



**UPPER E. NORTH WATER STREET PLAN**

**Applicant:** NEW WATER PARK, LLC  
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432-62 N. New St.

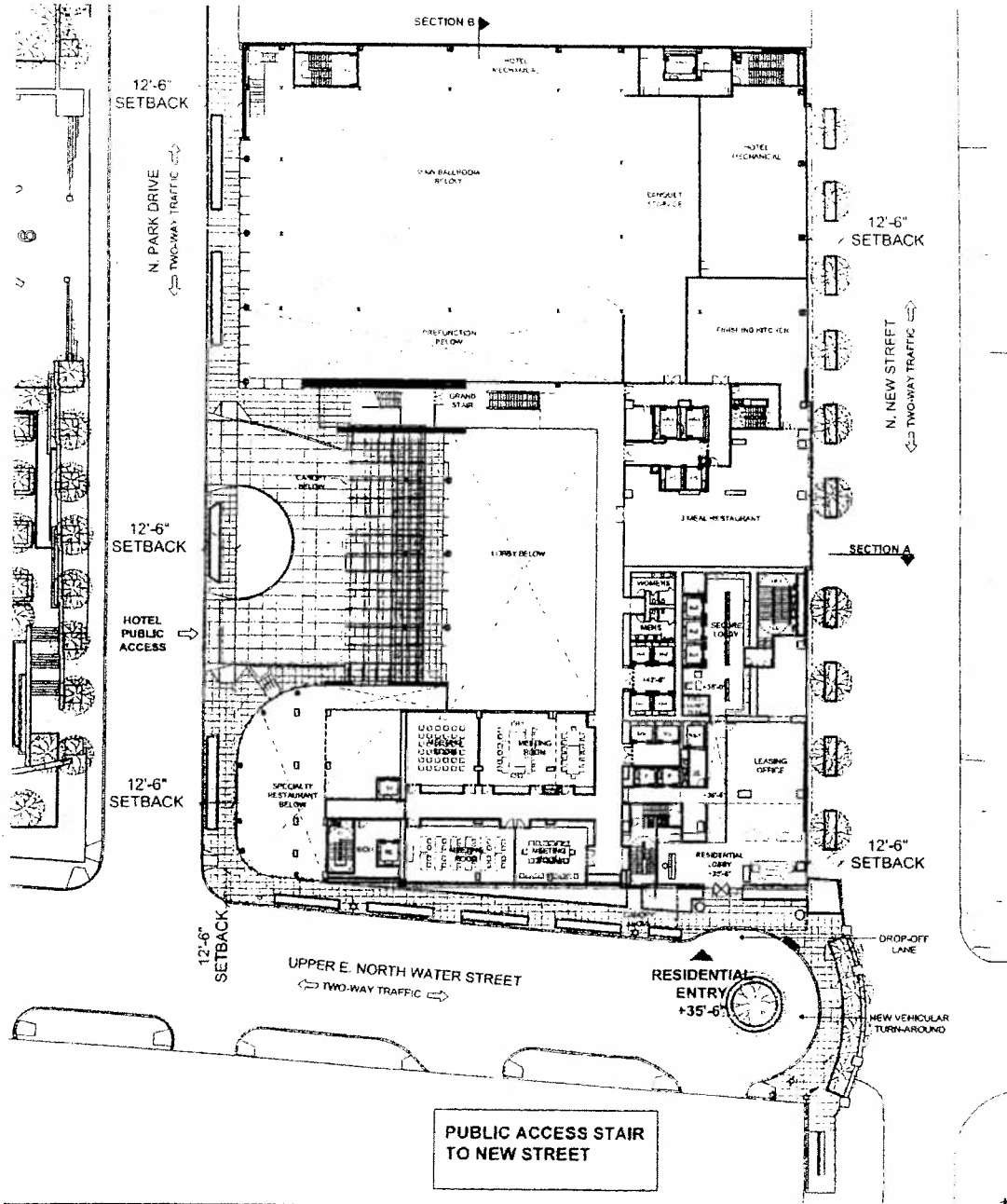
**Date:** May 24, 2012  
**Revised:**



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0 25 50

Upper East North Water Street Wayfinding Plan.



**UPPER E. NORTH WATER STREET WAYFINDING PLAN**

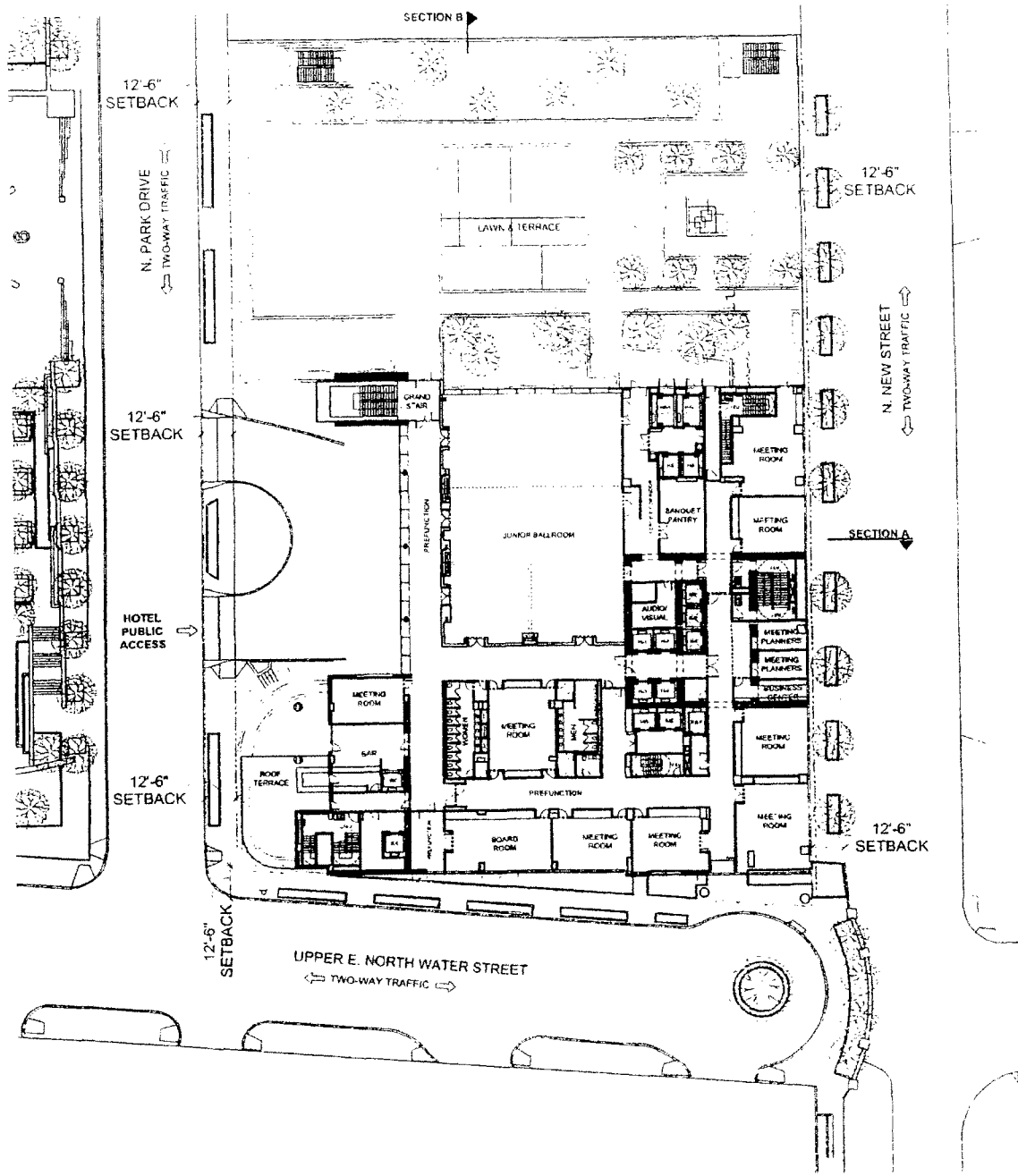
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.; 435-463 N. Park Dr.; & 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



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Terrace Level Plan.



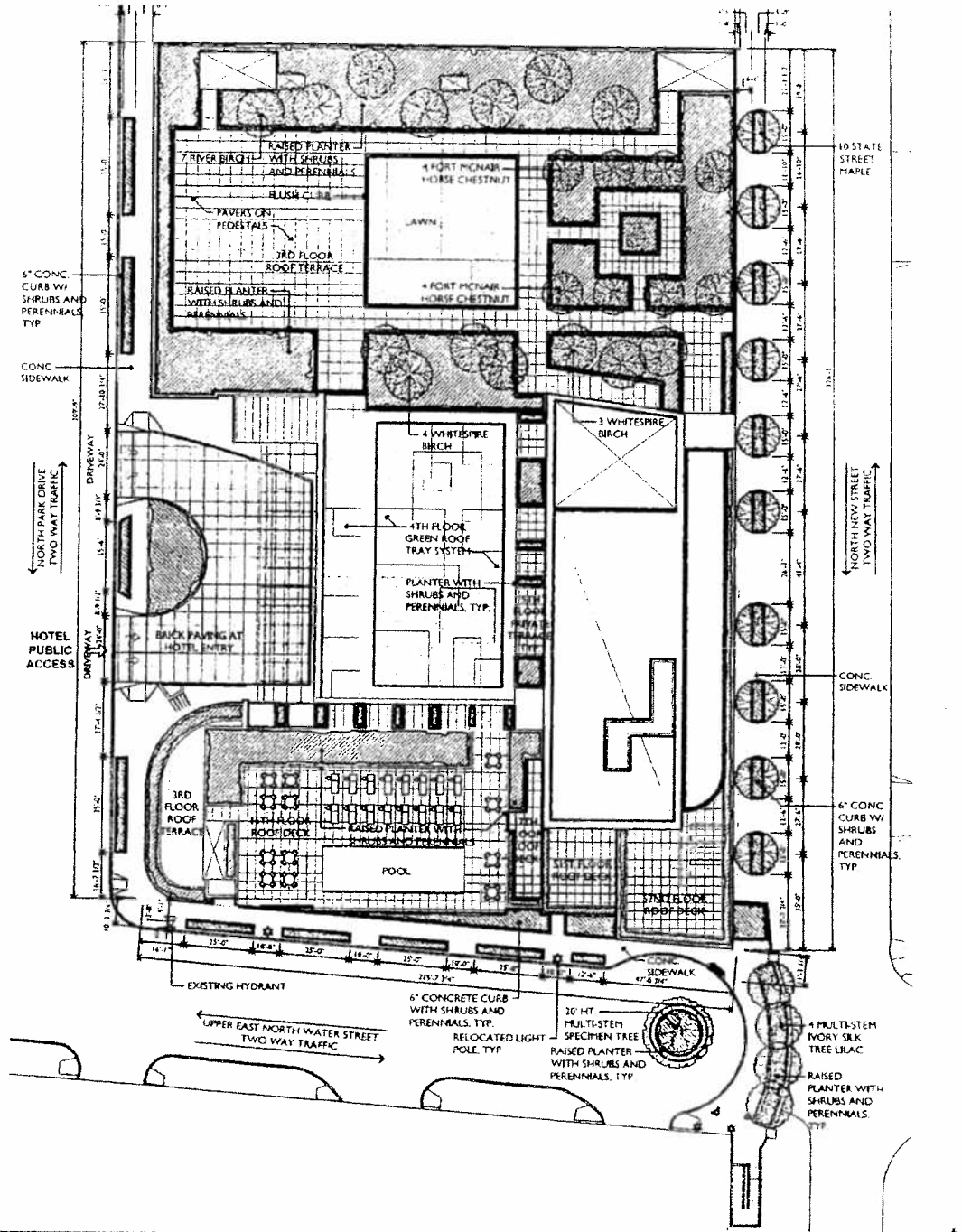
TERRACE LEVEL PLAN

Applicant: **NEW WATER PARK, LLC**  
 Address: **320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.**

Date: **May 24, 2012**  
 Revised:



Landscape Plan.



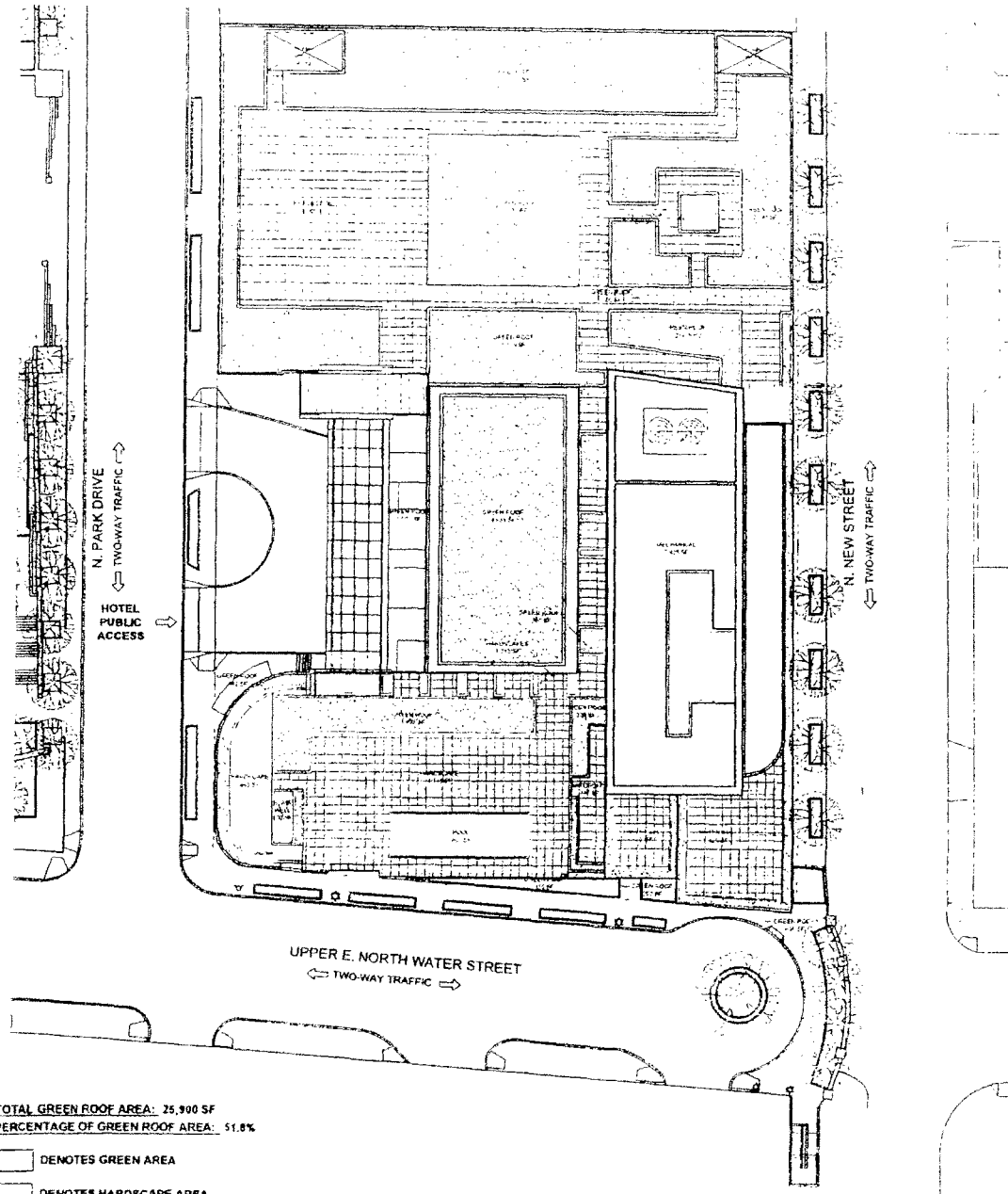
LANDSCAPE PLAN

Applicant: NEW WATER PARK, LLC  
 Address: 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

Date: May 24, 2012  
 Revised:



Green Roof Plan.



TOTAL GREEN ROOF AREA: 25,900 SF  
 PERCENTAGE OF GREEN ROOF AREA: 51.8%

DENOTES GREEN AREA  
 DENOTES HARDSCAPE AREA

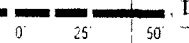
**GREEN ROOF PLAN**



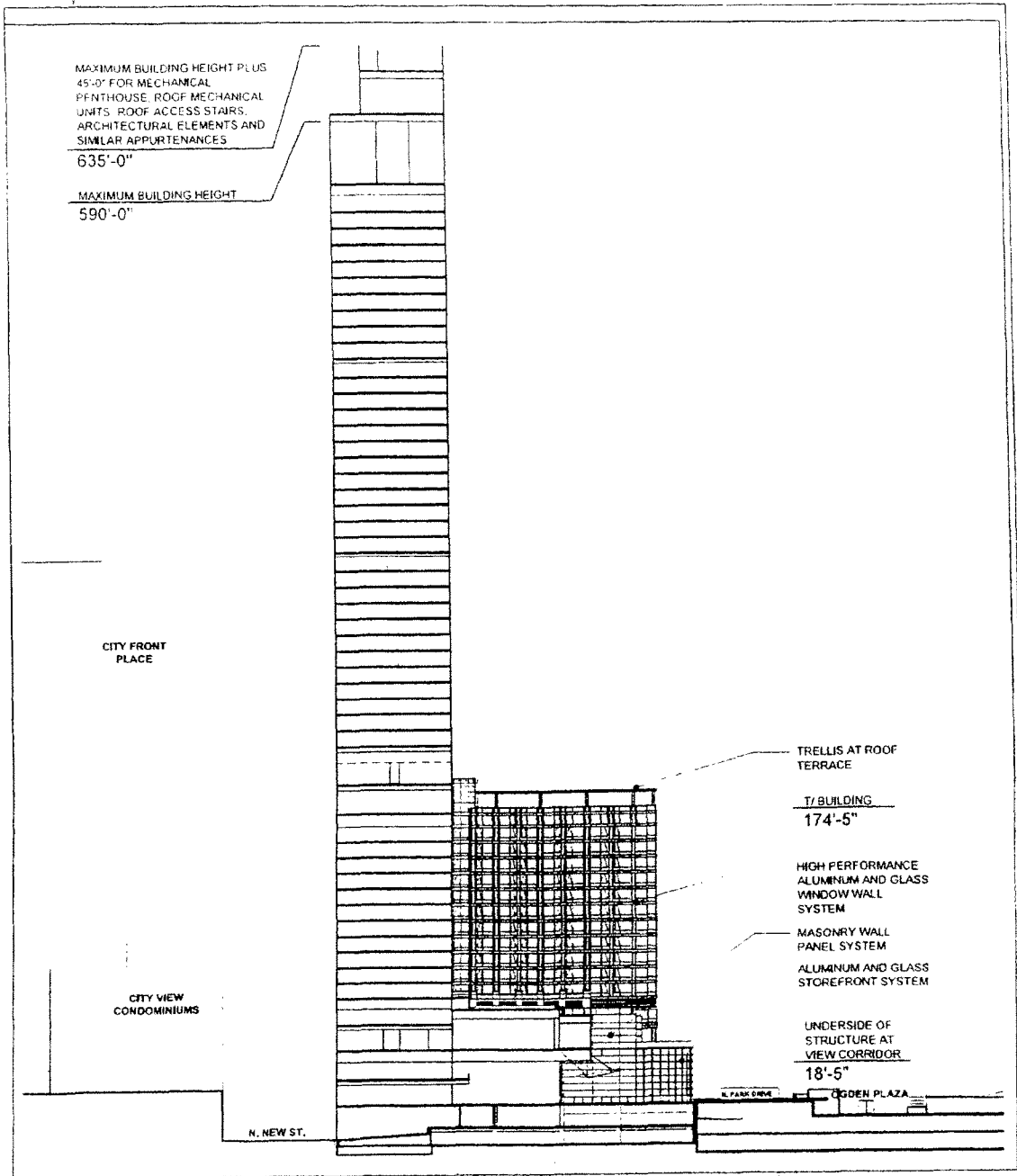
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 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



Overall Section A And Partial North Elevation.



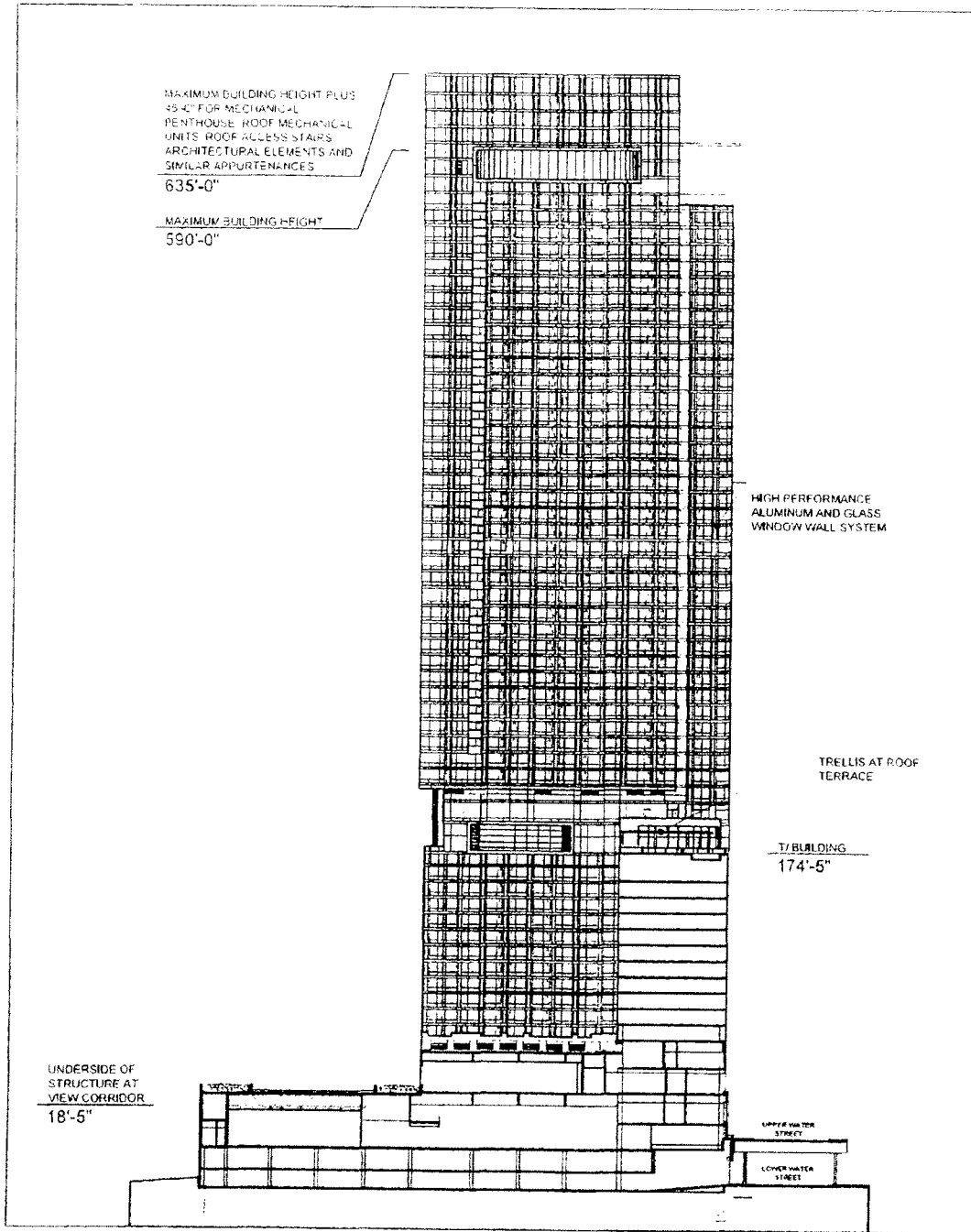
**OVERALL SECTION A AND PARTIAL NORTH ELEVATION**

**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



West Elevation At Tower And Partial North/South Section B.



**WEST ELEVATION AT  
TOWER AND PARTIAL  
NORTH-SOUTH SECTION B**



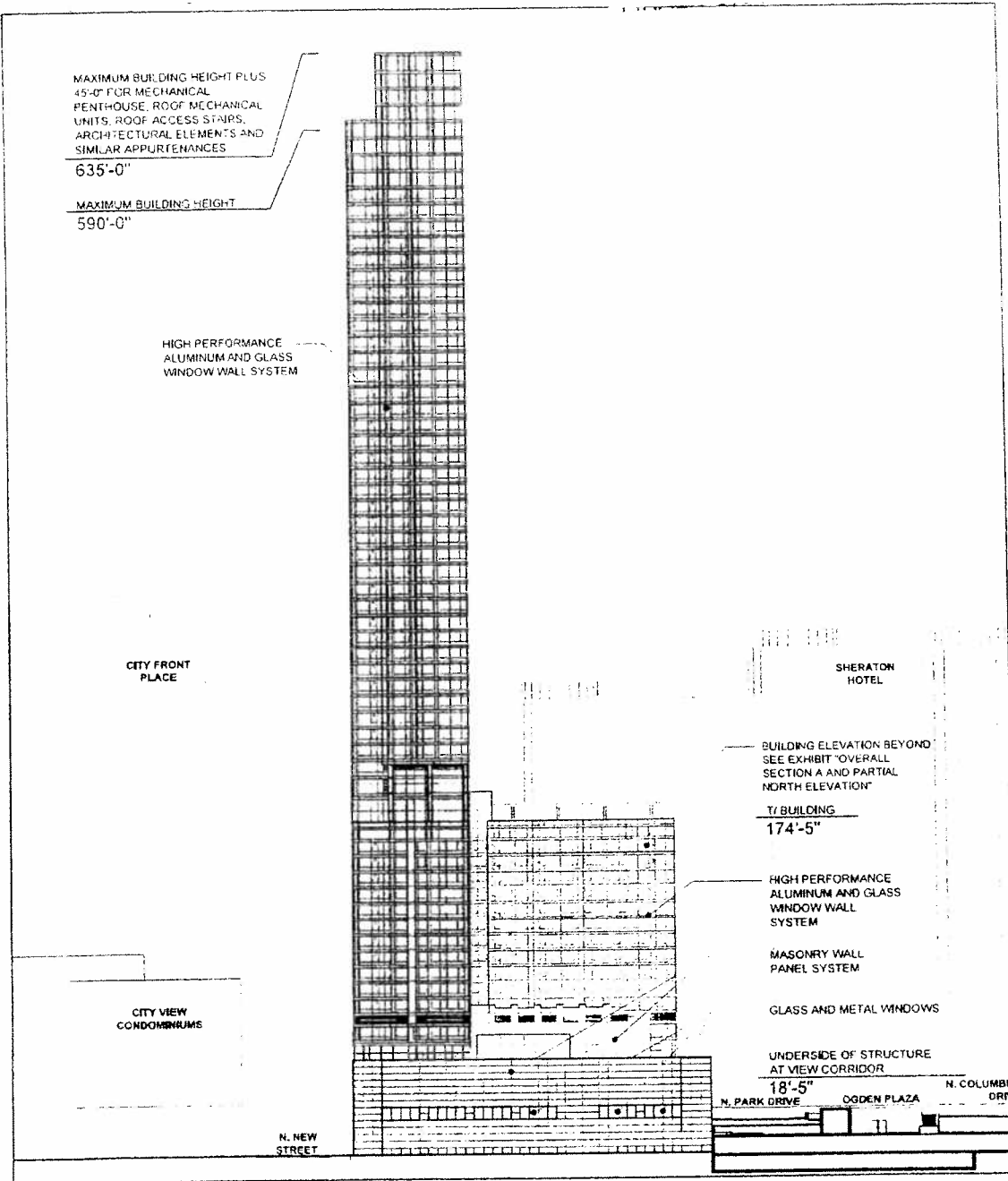
© 2012 Solumon Corvelli Buck

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 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0 40 80

North Elevation.



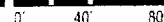
**NORTH ELEVATION**



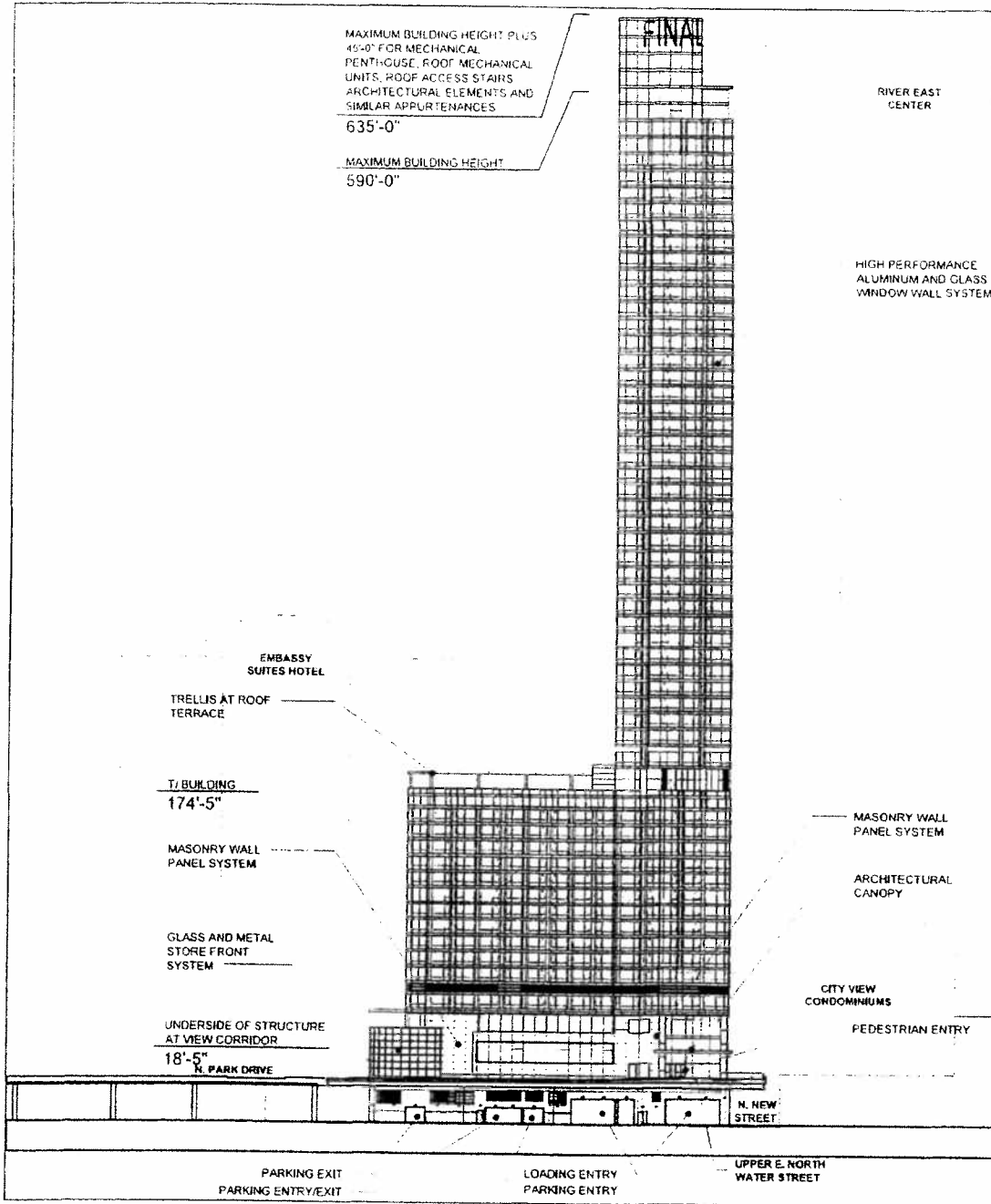
© 2012 Selman, Cohn & Davis

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 435-463 N. Park Dr.; &  
 432-62 N. New St.

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**Revised:**



South Elevation.



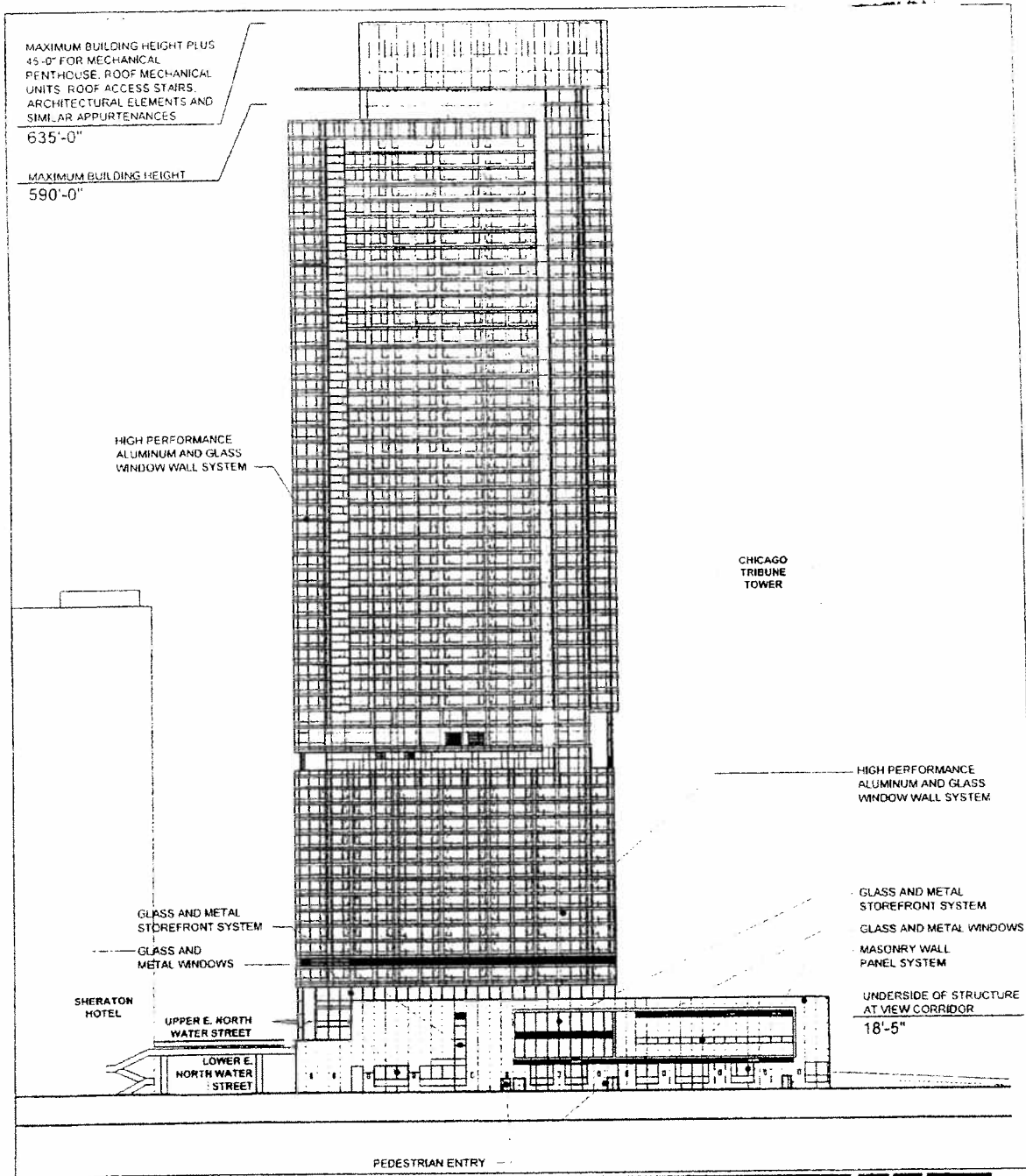
**SOUTH ELEVATION**

**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



East Elevation.



**EAST ELEVATION**



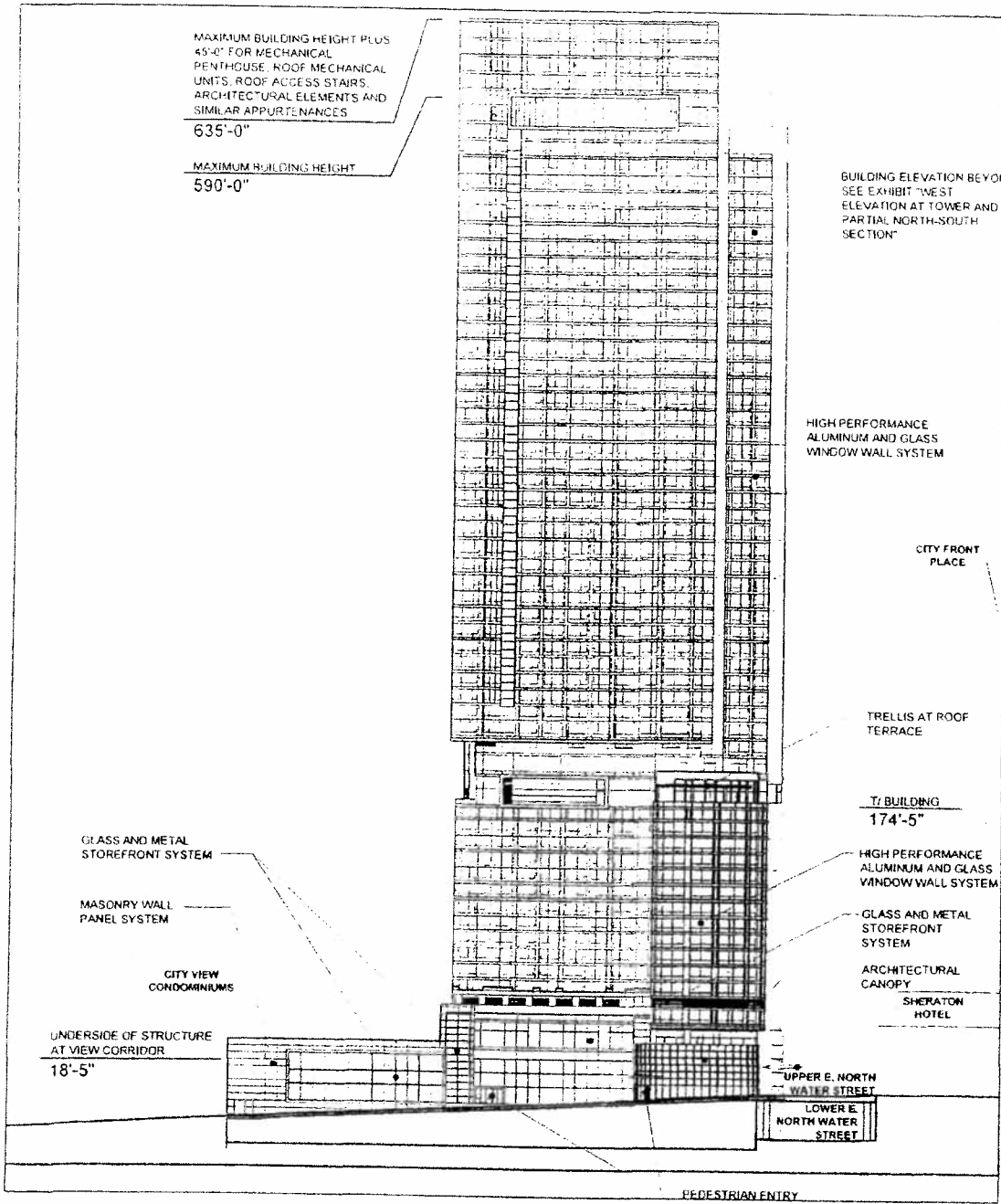
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 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0 40 80

West Elevation At North Park Drive.



**WEST ELEVATION AT  
NORTH PARK DRIVE**



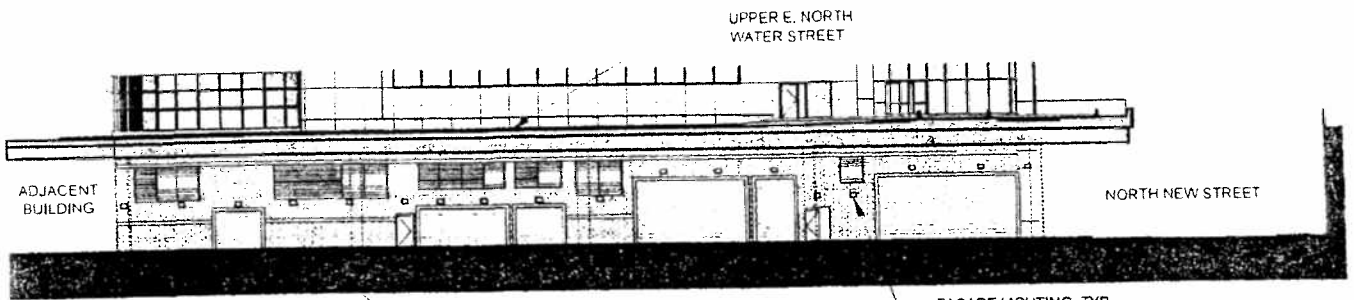
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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

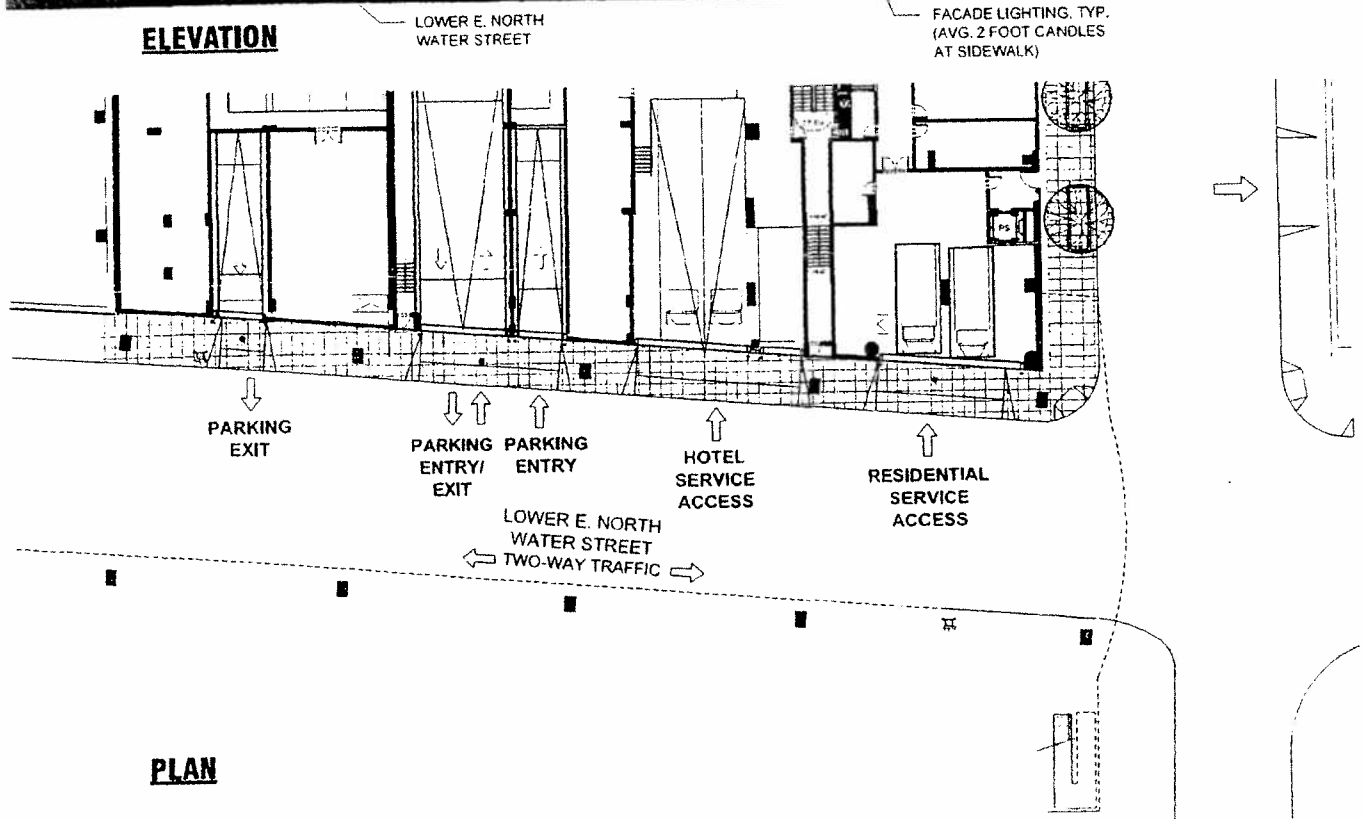
**Date:** May 24, 2012  
**Revised:**

0 40 80

Proposed Lower East North Water Street Plan And Elevation With Lighting Concept.



**ELEVATION**



**PLAN**



**PROPOSED LOWER E.  
NORTH WATER STREET  
PLAN & ELEVATION  
WITH LIGHTING CONCEPT**

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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

Chicago Builds Green.  
(Page 1 of 3)

# GREEN

Project Name: North Park Drive Development

Project Location: \* Street Number (if the address only includes one street number, please list only the cell "From"):  
From\* To\* Direction: Street Name: Select Street Type  
435 463 N Park Dr

Ward No. Community Area No:  
42

Project Type:  Planned Development  Redevelopment Agreement  Zoning Change  
PD No: 368 RDA No: From: To:

Public project  Landmark

Project Size: Total land area in sq. ft.: 68,385 Total building(s) footprint in sq. ft.: 58,917 @ hotel entry level Total vehicular use area in sq. ft.: 80,419

DPD Project Manager: Enter First Name Last Name  
Patrick Murphey

BG/GR Matrix: Select project category:  
Res. 4 or more Market Rate

Financial Incentives: Check applicable:  
 TiF  Empowerment Zone Grant  Class L  
 GRIF  Ind. Dev. Revenue Bonds  Class 6b  
 SBIF  Bank Participation Loan  DOH  
 Land Sale Write Down

Density Bonus: Check applicable:  
 Public plaza & pocket park  Water features in a plaza or pocket park  
 Chicago Riverwalk improvements  Setbacks above the ground floor  
 Winter gardens  Lower level planting terrace  
 Indoor through-block connection  Green roof  
 Sidewalk widening  Underground parking and loading  
 Arcades  Concealed above-ground parking

Chicago Builds Green.  
(Page 2 of 3)

Required per Zoning Code or Green Root-Building Green Matrix  
To be Provided by the development:  
*Please fill, if applicable*

**Landscaping:**

7' Landscape Setback	Square footage:	0	0
Interior Landscape Area	Square footage:	0	0
No. of Interior Trees		0	0
No. of Parkway Trees		8	8

**Open Space:**

River Setback	Square footage:	0	NA
Private Open Space	Square footage:	0	35,324
Privately developed Public Open Space	Square footage:	0	0

**Stormwater Management (At-grade volume control):**

Permeable paving	Square footage:	0
Raingarden	Check applicable:	<input type="checkbox"/>
Filter strip		<input type="checkbox"/>
Bioswale		<input type="checkbox"/>
Detention pond		<input type="checkbox"/>
Native landscaping	Square footage:	0
Rain-water collection cistern/barrel	Gallons:	0
Total impervious area reduction	Square footage:	24,030

**Other sustainable surface treatments:**

Green roof	Square footage:	25,021	25,900
Energy Star roof	Square footage:	0	9,800
High-albedo pavement	Square footage:		20,694

**Transportation:**

No. of accessory parking spaces		230	230
Total no. of parking spaces (Accessory + Non- Acc.)			0
No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)		0	0
No. of bicycle parking		50	50
Within 600 ft of CTA or Metra station entrance	Check if applicable:	<input type="checkbox"/>	



Chicago Builds Green.  
(Page 3 of 3)

Building Certification:

Energy Star building	<input type="checkbox"/>	<input type="checkbox"/>
LEED certification	<input checked="" type="checkbox"/>	
LEED Certified		<input type="checkbox"/>
LEED Silver		<input type="checkbox"/>
LEED Gold		<input type="checkbox"/>
LEED Platinum		<input type="checkbox"/>
Chicago Green Homes	<input type="checkbox"/>	
Chicago Green Homes [one-star]		<input type="checkbox"/>
Chicago Green Homes [two-star]		<input type="checkbox"/>
Chicago Green Homes [three-star]		<input type="checkbox"/>

Energy efficiency strategies  
not captured above:

*-IE: Other than Energy Star Roof - or Energy Star Building Certification-*

The project shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System (LEED).

- High performance exterior enclosure
- Interior Shades
- High SRI light colored roofing reduces heat island effect
- Operable Windows
- Use of zero-CFC based refrigerants for building MEP systems
- Thermostats and operable windows give individuals some thermal control
- Energy Star compliant appliances
- Minimize Exterior Lighting
- Water efficient landscaping

Other sustainable strategies  
and/or Project Notes:

- Secure bike storage
- Recycled and regional materials specified for a minimum of 10% of total materials
- No / low VOC adhesives, sealants, paints, coating and flooring systems specified
- System Commissioning
- Storage/collection of recycling
- Site remediation





DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

June 30, 2011

Mr. Richard F. Klawiter  
DLA Piper LLP (US)  
203 North La Salle Street, Suite 1900  
Chicago, Illinois 60601-1293

**Re:** Site Plan Approval for Residential-Business Planned Development No. 368, as Amended  
**Proposal:** The construction of a forty-five (45) story residential tower with five hundred (500) dwelling units, approximately 5,000 square feet of retail space, and an enclosed four hundred (400) or more space parking garage.  
**Location:** 516 N. Lake Shore Drive (Sub-Area F, Parcel P24)

Dear Mr. Klawiter:

We have reviewed the Project Data Sheet and plans submitted on behalf of River East P24 LLC for the construction of a forty-five (45) story residential tower with five hundred (500) dwelling units, approximately 5,000 square feet of ground-floor retail space, and an enclosed four hundred (400) or more space parking garage within Sub-Area F, Parcel P24 of the Planned Development. This submission consists of the following by Solomon Cordwell Buenz:

- Project Data Comparison Sheet (March 9, 2011);
- Proposed Ground Level Landscape Plan (June 16, 2011);
- Section at East Grand Avenue (June 16, 2011);
- Section at East Illinois Avenue (June 16, 2011);
- Proposed Green Roof/Landscape Plan (June 16, 2011);
- Proposed Ground Floor Plan/Site Plan (June 16, 2011);
- Truck Turning Movement Diagram (June 16, 2011);
- Proposed Mezzanine Plan (June 16, 2011);
- Proposed Lower Tier Plan (June 16, 2011);
- Proposed Amenity Floor Plan (June 16, 2011);
- Proposed Typical Residential Floor Plans (June 16, 2011);
- Proposed Penthouse and Club Level Plan (June 16, 2011);
- Proposed North Elevation (June 16, 2011);
- Proposed South Elevation (June 16, 2011);
- Proposed West Elevation (June 16, 2011);

- Proposed East Elevation (June 16, 2011);
- Proposed Building Section (June 16, 2011); and
- A1.01 Site Plan (April 21, 2011).

The materials are submitted in accordance with Statement No. 16 of Residential-Business Planned Development No. 368, as amended.

The following are features of the plans submitted:

Floor Area and Dwelling Units. The plans represent a building with approximately 550,000 square feet of floor area, 500 dwelling units, and approximately 5,000 square feet of retail floor area. This conforms to the terms of the Development Rights Allocation Agreement, dated February 26, 2004, which allocates to Parcel P24 749,755 square feet of total floor area, 500 dwelling units, and 75,000 square feet of retail floor area from the maximums permitted in Sub-area F by the Planned Development's Bulk Regulations and Data Table (1,499,510 square feet of total floor area; 1,000 dwelling units; and 150,000 square feet of retail floor area).

Parking. A minimum of 275 accessory parking spaces must be maintained for the residential use (55% of the proposed 500 dwelling units). Spaces in excess of the required 275 accessory spaces may be used for non-accessory parking.

Exposed Structural Concrete. The plans indicate that all structural concrete in the building, including the garage, will be covered by either metal panels, metal column covers, metal slab edge covers, metal trellis, metal louvers, or concrete skim coat. This design satisfies the requirements of Statement No 11(d) of the Planned Development.

Above-grade Parking Structure. The plans indicate that the above-grade parking structure is enclosed, is clad with translucent and opaque glass, features ground-floor retail, and incorporates a large green area on the east facade. This design satisfies the requirements of Statement No. 11(f) of the Planned Development.

Height. The ceiling height of the highest habitable floor (45th) is 483 feet; the "actual" height of the building is 490 feet at the top of the elevator machine room. These heights are measured from the floor of the Lobby Level (+11.75' CCD). This conforms to the Planned Development (Exhibit No. 5 Maximum Height Zones and Statement No. 10) which allows a maximum height of 610' and an "actual" height of 675'.


Setback - Lake Shore Drive. Statement No. 11(a) requires a 40-foot setback from Lake Shore Drive above the level of Lake Shore Drive's elevated roadway. These plans show the projections into that 40-foot setback as permitted by the Minor Change letter dated June 30, 2011.

Setbacks - Sidewalk. Statement No. 13 (c) of the amended Planned Development requires a minimum 12' 6"-wide sidewalk to accommodate street trees. Along E. Illinois Street, the plans indicate a 4' 10" building setback, creating a minimum 14' 2"-wide sidewalk as measured from the building face to the curb. Along E. Grand Avenue, the plans indicate a minimum 34' 6" building setback from the property line, which, when combined with the existing 11' 7" parkway, would create a minimum 46' 1"-wide landscaped area as measured from the building face to the curb. Along N. Peshtigo Court, the applicant has committed to a building setback and grant of easement sufficient to provide a 13' 0"-wide sidewalk. While most of the public sidewalk along N. Lake Shore Drive is located beneath the elevated Lake Shore Drive roadway, eliminating the possibility of street trees, the project is providing a building setback of at least 8' 2" from the property line and 20' 7" from the curb line, which will be extensively landscaped.

Other Features. The plans provide for a dog run at ground level along the east side of the building. The Proposed Green Roof/Landscape Plan provides for vegetated ("green") roof area of at least 10,463 square feet, equivalent to 50% of the calculated net roof area. The building will be LEED-certified. As noted on the April 21, 2011, Site Plan, the applicant will make certain specified intersection improvements at the intersections of both E. Grand Avenue and N. Peshtigo Court and at E. Illinois Street and N. Peshtigo Court.

Upon review of the material submitted, the Department of Housing and Economic Development has determined that these plans are consistent with, and satisfy, the requirements of the Plan of Development. Accordingly, the Site Plan submittal for Residential-Business Planned Development No. 368, as amended; Subarea F, Parcel P24, 515 N. Peshtigo Court/ 500 N. Lake Shore Drive for the construction of a forty-five (45) story residential tower with five hundred (500) dwelling units, approximately 5,000 square feet of retail space, and an enclosed four hundred (400) space parking garage, is hereby approved as conforming to the Plan of Development as amended and passed by the Chicago City Council on July 9, 2008. This Site Plan Approval supercedes and replaces the Site Plan Approval dated December 8, 2006.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

Originated by: Fred Deters

cc: Michael Marmo, Planned Development files



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

June 30, 2011

Richard F. Klawiter  
DLA Piper LLP US  
203 North LaSalle Street; Suite 1900  
Chicago, IL 60601-1293

**Re: Minor Change request for Planned Development No. 368, Subarea F, Parcel 24,  
516 North Lake Shore Drive**

Dear Mr. Klawiter:

Please be advised that your request on behalf of River East P24, LLC, for Minor Changes to Planned Development No. 368 for Parcel P24 in Subarea F has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of the Planned Development.

You are seeking minor changes to allow:

1. An encroachment into the required 40-foot setback from Lake Shore Drive;
2. Limited use of exposed structural concrete;
3. An alternative to the requirement that above-grade parking structures be enclosed, fronted by habitable space or designed so as to have a similar appearance to habitable spaces; and
4. Relief from the requirement that the applicant join the Illinois-Grand Corridor Transportation Management Association.

Setback from Lake Shore Drive

Statement No. 11(a) of the Planned Development requires that the base of any structure along Lake Shore Drive be limited to the height of Lake Shore Drive and that any tower be set back at least forty feet from Lake Shore Drive. You have requested that a building protrusion, no higher than 55 feet above Chicago City Datum, be allowed to encroach into that forty-foot setback along approximately the southern half of the parcel's Lake Shore Drive frontage, as illustrated in the attached 40' Setback Diagram, dated March 22, 2011.

The applicant has committed to heavily landscape the proposed protrusion into the setback. This landscaping includes planters around the perimeter parapet of the protrusion so that vines would hang down the front of the structure, metal trellises extending down from the structure to support the hanging vines, and an intensive green roof with several large canopy-type trees on top of the structure. These features are illustrated in the attached Fig. 1 South East Bustle View, Fig. 2 North East Lobby/ Bustle View, and Fig.4 Section and Detail, all dated February 21, 2011.

After reviewing the provided plans and landscape documents, I find that the proposed landscaping, planters, vines, trellises, intensive green roof, and roof-top trees as illustrated would mitigate any negative effects caused by the minor protrusion into the required forty-foot setback. I hereby approved a Minor Change in conformity with the above-referenced plans.

#### Exposed structural concrete

Statement No. 11(d) of the Planned Development states, “Exposed structural concrete, dryvit or other stucco-like material, or reflective glass shall not be allowed.” You have requested that a limited amount of exposed structural concrete be allowed on the lower levels of the parking garage.

The revised North, South, West, and East Building Elevations, prepared by Solomon Cordwell Buenz and dated June 16, 2011, indicate that all structural concrete in the building, including the garage, will be covered by either metal panels, metal column covers, metal slab edge covers, metal trellis, metal louvers, or concrete skim coat. I find that this design satisfies the requirements of Statement No. 11(d) of the Planned Development. No minor change is required and no action is taken.

#### Above-grade parking structures

Statement No. 11(f) of the Planned Development states, “Above-grade parking structures shall be enclosed, fronted by habitable space, or otherwise designed so as to have a similar appearance to habitable spaces in terms of finish materials, the shape and scale of openings, and the screening of ramps, car lights and ceiling fixtures.” You have requested that habitable space not be required to front the proposed parking garage.

The proposed parking structure as illustrated in the North, South, West, and East Building Elevations, prepared by Solomon Cordwell Buenz and dated June 16, 2011, although not fronted by habitable space, is enclosed, is clad with translucent and opaque glass, features ground-floor retail space and incorporates a large green area on the east façade. I find that this design satisfies the requirements of Statement No. 11(f) of the Planned Development. No minor change is required and no action is taken.

#### Membership in the Illinois-Grand Corridor Transportation Management Association

Statement No. 15 of the Planned Development states, “Membership and participation in the Illinois-Grand Corridor Transportation Management Association (TMA) shall be required prior to the issuance of any Part II development approval.” You have requested relief from this requirement since the TMA is not currently an active organization.

The Department acknowledges that the TMA is not a functioning organization at this time and cannot carry out the functions for which it was originally intended. As a result, the requirement of the last sentence of Statement No. 15 of the Planned Development that owners must be members of, and participate in, the TMA cannot be complied with. Moreover, we acknowledge that the TMA cannot carry out the functions to serve the public described in the 15th paragraph of Exhibit 8 to the Planned Development.


I hereby grant the following Minor Change to Planned Development No. 368 pursuant to my authority under Section 17-13-0611 of the Zoning Ordinance and Statement No. 18 of the Planned Development:

Compliance with the last sentence of Statement No. 15 of the Planned Development is not required, and compliance shall not be a condition of Part II approval, until and unless the Illinois-Grand Corridor Transportation Management Association is reinstated or reconstituted pursuant to applicable law, and also carrying out the functions to serve the public intended by the 15th paragraph of Exhibit 8 to the Planned Development. However, if and when the Illinois-Grand Corridor Transportation Management Association is reconstituted, River East P24, LLC, or its successors shall join as full participating members.

With regard to your request, the Department of Housing and Economic Development has determined that allowing the revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not change the character of the development, and therefore, would constitute Minor Changes.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Planned Development No. 368, I hereby approve the foregoing Minor Changes for Parcel P24 of Subarea F of Planned Development No 368, regarding the forty-foot setback from Lake Shore Drive and the requirement for membership and participation in the Illinois-Grand Corridor Transportation Management Association, but no other changes to this Planned Development. This letter supercedes and replaces the Minor Change letter dated October 7, 2005.

Sincerely,

  
Patricia A. Scudero  
Zoning Administrator

PAS: HG: fd

cc: Mike Marmo, Erik Glass, Main file



City of Chicago  
Richard M. Daley, Mayor

Department of Housing  
and Economic Development

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-4190 (Voice)  
(312) 744-2271 (FAX)  
(312) 744-2578 (TTY)  
<http://www.cityofchicago.org>

May 17, 2011

Richard A. Wendy  
Freeborn & Peters  
311 South Wacker Drive; Suite 3000  
Chicago, IL 60606

Re: Request for Minor Change to the April 22, 2005 Site Plan Approval for Parcels P4 and P5 of Subarea A of Residential Business Planned Development No. 368, as it pertains to Subparcel B (200-212 East Illinois Street/500-509 North St. Clair Street) thereof.

Dear Rick:

Please be advised that your request on behalf of Optima, Inc. and the applicant hereunder, Optima Center Chicago, LLC, for Minor Change approval in connection with the development of Subparcel B has been considered by the Department of Housing and Economic Development.

On April 22, 2005, the former Department of Planning and Development, pursuant to the provisions of the Statement No. 16 of the Planned Development #368, issued a Site Plan Approval letter pertaining Parcels P4 and P5 of Subarea A, setting forth development parameters and requirements for three high-rise buildings to be constructed on Subparcels A, B and C/D. Subparcel A, the easternmost of the three parcels, has since been developed.

Optima seeks changes to the approved Site Plan as it pertains to Subparcel B, the westernmost of the development parcels. Optima's proposed building consists of a tower atop a parking base, both enclosed with a glass exterior to be constructed in accordance with the plans, elevations and project data (collectively, the "Plans") prepared by Optima, Inc., and dated March 18, 2011.

The project involves a residential tower that is between 389 and 430 feet tall, as measured from Upper Illinois Street to the underside of the top ceiling joist, a maximum of 395,000 square feet of floor area, a maximum of 325 residential units, approximately 6,000 square feet of retail or office space located on North St. Clair Street and on Lower and Upper East Illinois Street, and 235 parking spaces. This is generally smaller than the building for Subparcel B approved on April 22, 2005. That building was 466 feet high and contained 325 residential units.



Features of the proposal for Subparcel B (200-212 East Illinois Street/500-509 St. Clair Street) include:

- Forty-one floors above Upper East Illinois Street – ground-floor lobby, eight parking levels, twenty-nine residential floors, two amenity floors, and a mechanical penthouse.
- Glass cladding on all four sides, gray on the eight parking floors, clear or opaque on the other floors.
- 325 residential dwelling units.
- Approximately 6,000 square feet of retail/office floor space located on North St. Clair Street and Lower and Upper East Illinois Street.
- 235 accessory parking spaces (0.72 spaces per residential unit).
- 2 loading docks @ 10' x 25' accessible from Lower East Illinois Street and the alley north of Lower East Illinois Street.
- 50 bicycle storage spaces.
- A dog run located at the Upper East Illinois Street level along the east side of the building .
- A 50% green roof, approximately 1,709 square feet, and LEED certification.
- Recessed setbacks at the first, tenth, and thirty-second floors, containing a total 12,077 square feet of common open space (37 square feet per dwelling unit).

I have reviewed the Plans, the 2005 Site Plan Letter and the applicable requirements of the Planned Development, as amended, and find that:

(i) The Plans substantially conform with the 2005 Site Plan Letter and the applicable provisions of the Planned Development.

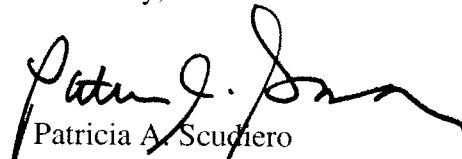
(ii) As required by Statement No. 11(f) of the Planned Development, the materials of the exterior enclosure of the structure's parking base are similar in terms of finish materials, the shape and scale of openings and the screening of ramps, car lights and ceiling fixtures to the exterior enclosure of the habitable spaces of the tower above.

(iii) Approval of the proposed Plans is permitted as a Minor Change pursuant to 17-13-0611 because it does not change the character of the approved Planned Development, does not increase the floor area ratio or number of dwelling units permitted in the overall Planned Development or Subarea A of the Planned Development, does not reduce the minimum distance between buildings and does not reduce the periphery setbacks.

Accordingly, for the reasons stated above, I hereby approve the requested Minor Changes to the April 22, 2005, Site Plan Approval Letter for Subparcel B of Parcels P4 and P5 of Subarea A of Planned Development No. 368, but no others. The following Plans, prepared by Optima, Inc., dated March 18, 2011, are hereby made part of the Parcel P4 and P5 Site Plan Approval:

- AS-100 Site Plan – Roof Level;
- AS-101 Level 1 – Upper Illinois;
- AS-102 Level B2 – Lower Illinois;
- AS-205 Typical Parking Level;
- AS-207 Level 10 Fitness Center;
- AS-209 Level 32 Residence Club;
- AS-400 South Elevation;
- AS-401 East Elevation;
- AS-402 North Elevation; and
- AS-403 West Elevation.

Sincerely,



Patricia A. Scudiero  
Zoning Administrator

PAS:HG.fd

cc: Heather Gleason, Mike Marmo, Erik Glass, Planned Development Files



City of Chicago  
Richard M. Daley, Mayor

Department of Housing  
and Economic Development

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121 North LaSalle Street  
Chicago, Illinois 60602  
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(312) 744-2271 (FAX)  
(312) 744-2578 (TTY)  
<http://www.cityofchicago.org>

May 17, 2011

Richard A. Wendy  
Freeborn & Peters  
311 South Wacker Drive; Suite 3000  
Chicago, IL 60606

Re: Parcel B within Parcels 4 and 5 of Subarea A ("Cityfront Plaza") within Residential Business Planned Development No. 368 ("Planned Development"); Illinois-Grand Corridor Transportation Management Association ("TMA") requirements.

Dear Rick:

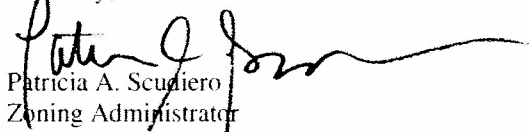
Please be advised that the Department of Housing and Economic Development has considered your request on behalf of Optima, Inc. and the applicant hereunder, Optima Center Chicago, LLC, for acknowledgement and relief regarding the Planned Development's requirement of membership and participation in the Illinois-Grand Corridor Traffic Management Association (the "TMA") as a condition to Part II approval.

The Department acknowledges that the TMA is not a functioning organization at this time and cannot carry out the functions for which it was originally intended. As a result, the requirement of the last sentence of Statement No. 15 of the Planned Development that owners must be members of, and participate in, the TMA cannot be complied with. Moreover, we acknowledge that the TMA cannot carry out the functions to serve the public described in the 15th paragraph of Exhibit 8 to the Planned Development.

Relief from the TMA requirement until, if at all, the TMA becomes operational again is eligible for a Minor Change because it would not result in an increase in the maximum Floor Area Ratio, an increase in the number of dwelling units, a decrease in required building separations or periphery setbacks, or a change in the character of the development. Accordingly, in order to avoid confusion and maintain fairness, I hereby grant the following Minor Change and no others to Planned Development No. 368 pursuant to my authority under Section 17-13-0611 of the Zoning Ordinance and Statement No. 18 of the Planned Development:

Compliance with the last sentence of Statement No. 15 of the Planned Development is not required, and compliance shall not be a condition of Part II approval, until and unless the Illinois-Grand Corridor Traffic Management Association is reinstated or reconstituted pursuant to applicable law, and also carrying out the functions to serve the public intended by the 15th paragraph of Exhibit 8 to the Planned Development. However, if and when the Illinois-Grand Corridor Traffic Management Association is reconstituted, Optima Center Chicago, LLC, or its successors shall join as full participating members.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

PAS: HG, fd  
cc: Heather Gleason, Mike Marmo, Eric Glass, Fred Deters, Main Files





City of Chicago  
Richard M. Daley, Mayor

Department of Zoning and  
Land Use Planning

Patricia A. Scudiero  
Commissioner

City Hall, Room 905  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-5777 (Voice)  
(312) 744-6552 (FAX)  
(312) 744-2950 (TTY)  
<http://www.cityofchicago.org>

April 2, 2010

Mr. Gregory J. Gobel  
Fujikawa Johnson Gobel Architects, Inc.  
111 East Wacker Drive  
Suite 3015  
Chicago, IL 60601

Re: **Administrative Relief request for Residential Business Planned  
Development No. 368, as amended, Subarea A, Cityfront Plaza**

Dear Mr. Gobel:

Please be advised that your request for a minor change to Residential Business Planned Development No. 368, as amended, has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of the Planned Development.

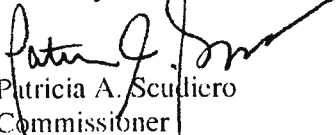
Specifically, you are requesting the following changes:

1. Replace the existing solid pre cast concrete tree pit covers within Cityfront Plaza with new cast iron tree pit covers.
2. Replace the existing perimeter concrete pavement, granite border and waterproofing within Cityfront Plaza with new concrete, waterproofing and drainage mat. The proposed work is shown on the Cityfront Plaza Exterior Maintenance and Renovation Plan, prepared by Fujikawa Johnson Gobel Architects and dated November 12, 2009.

With regard to your request, the replacement of concrete with cast iron tree grates will result in a more durable material which provides greater natural water percolation. In regards to the pavement surface, the existing granite border currently represents approximately 40% of the pavement surface. Since approximately 60% of the plaza is already concrete, replacing the remaining 40% with concrete will result in a more resilient, non-slip surface with fewer joints. It will also be more visually cohesive with the sidewalks across the street to the east and west.

Therefore, the Department of Zoning and Land Use Planning has determined that these material substitutions would not create an adverse impact on the Planned Development or surrounding neighborhood, would not change the character of the development, and would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 368, I hereby approve these changes but no other changes to this Planned Development.

Sincerely,

  
Patricia A. Scudiero  
Commissioner

PAS:HG:tm

c: Mike Marmo, Erik Glass, Mike Hoskins, Noah Szafranec, Main file





City of Chicago  
Richard M. Daley, Mayor

Department of Planning and  
Development

Arnold L. Randall  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
312 744-4190  
312 744-2271 (FAX)  
312 744-2578 (TTY)

<http://www.cityofchicago.org>

December 22, 2008

Carmine Mattozi  
MCL Companies  
401 East Illinois Street  
Suite 210  
Chicago, IL 60611

Re: **Residential Business Planned Development No. 368  
Park View Phase II Design and Construction Schedule**

Dear Mr. Mattozi:

In response to your letter dated December 3, 2008, we look forward to the successful completion of your project. You anticipate marketing and schematic design drawings to begin within the next six to eight months and completion by August 2010. The duration of construction should take approximately thirty months. The Tower and the Phase II portion of the project will be completed in approximately February 2013.

Based on this information you have provided, the Department has no objection you delaying installation of the landscaping in the Phase Two area until after the construction of the Phase Two Tower in order to use the Phase Two area for construction staging. However, please contact Noah Szafraniec at 312-744-6481 in the Department of Zoning to discuss the structure and timing of your landscape bond related to the this project.

If there are any substantial changes to this time line, please let us know. If you need any assistance or have further questions, please contact me at 312.744.0063.

Sincerely,

Heather Gleason  
Assistant Commissioner

cc: DPD files  
Patti Scudiero  
Noah Szafraniec  
Ron Daye



7/9/2008

REPORTS OF COMMITTEES

16430  
33365

Please let the record reflect that I abstain from voting on Application Numbers 16390, 16606, 16607, 16611, 16605, 16604 and 16495 under the provisions of Rule 14 of the City Council's Rules of Order and Procedure.

Respectfully submitted,

(Signed) WILLIAM J. P. BANKS,  
Chairman.

On motion of Alderman Banks, the said proposed ordinances and substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

*Yeas*-- Aldermen Flores, Fioretti, Dowell, Preckwinkle, Hairston, Lyle, Jackson, Harris, Beale, Pope, Balcer, Cárdenas, Olivo, Burke, Foulkes, Thompson, Thomas, Lane, Rugai, Cochran, Brookins, Muñoz, Zalewski, Dixon, Solis, Ocasio, Burnett, E. Smith, Carothers, Reboyras, Suarez, Waguespack, Austin, Colón, Banks, Mitts, Allen, Laurino, Doherty, Reilly, Daley, Tunney, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 48.

*Nays* -- None.

Alderman Carothers moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map Number 1-E.*  
(As Amended)

(Application Number 16430) *RBPD 368, GA*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Business Planned Development Number 368 symbols and indications as shown on Map Number 1-E in the area bounded by:

a line 150 feet east of and parallel to North St. Clair Street; East Grand Avenue; North Lake Shore Drive; the centerline of Ogden Slip to a point 439.74 feet east of North Lake Shore Drive; the centerline of the Turning Basin; the north bank of the Chicago River and the line thereof extended eastward where said bank does not exist; North Michigan Avenue; East North Water Street; North St. Clair Street (as now located); East Illinois Street; North St. Clair Street; and the alley next south of East Grand Avenue,

to the designation of Residential-Business Planned Development Number 368, as amended, which is hereby established in the area above described, subject to the provisions of the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development  
Number 368, As Amended.*

*Plan Of Development Statements.*

1. The area delineated herein as "Residential-Business Planned Development Number 368", as amended, consists of approximately one million four hundred ninety-four thousand two hundred fifty-six (1,494,256) square feet or thirty-four and thirty-hundredths (34.30) acres (exclusive of public rights-of-way and dedicated public open space) of real property as shown on the attached Planned Development Boundary Map ("the Property").
2. This plan of development consists of these twenty-two (22) statements and the following exhibits: Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary and Subareas Map; Development Parcels Map; Maximum Height Zones; Existing and Planned Open Spaces; Pattern of Vehicular Roadways; and Recommended Traffic Improvements. These and no other zoning controls shall apply to the area delineated herein. This plan of development is in conformity with the intent and purpose of the Chicago Zoning Ordinance and all requirements hereof, and satisfies the established criteria for approval as a planned development. In any instance where a provision of the planned development conflicts with the Chicago Building Code, the Building Code shall control.  
  
Shelbourne North Water Street, L.P. (the "Subparcel E.3 Applicant") owns or controls Subparcel E.3 within this planned development. This plan of development consists of the following exhibits related to the development of Subparcel E.3: Site Landscape Plan; DuSable Landscape Plan; Ground Floor Plan Overview; Lower Lake Shore Drive Plan Overview; Building Elevations; South Building Elevation; Partial Enlarged South Elevation; Partial West/East Site Section; Partial Enlarged East Elevation; North/South Site Section at Lake Shore Drive; North/South Tower and Parking Section; West/East Parking Section; and North/South Overview Section.  
  
TFC Park Street L.L.C. (the "Subparcels 7 and 7A Applicant") owns or controls Subparcels 7 and 7A within this planned development. This plan of development consists of the following exhibits related to the development of Subparcels 7 and 7A: Site Plan, Landscape Plan, Building Elevations.
3. The current property owner or an authorized agent shall obtain all required reviews, approvals, licenses and permits in connection with this plan of development. The

dedication or vacation of any streets or alleys shall require a separate submittal and approval by the City Council.

4. The requirements obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns (including any condominium association which is formed) and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns (including any condominium association which is formed) and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes ( administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Subject to the subarea/subparcel control provisions of Section 17-8-0400 of the Chicago Zoning Ordinance, single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the Equitable Life Assurance Society of the United States or all its successors and assigns as zoning control party for Property located west of Columbus Drive, and by all the successors and assigns to the Chicago Dock and Canal Trust, as zoning control parties for the Property located east of Columbus Drive. The board of directors of any condominium association shall represent individual condominium owners.
5. Several subareas are delineated on the attached Planned Development Subarea Map for the purposes of establishing use and density controls in connection with this plan of development. Uses permitted below plus thirty-five (+35) feet Chicago City Datum plus or minus six ( $\pm 6$ ) feet in respect of design conditions ("Plaza Level") shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District classification; uses permitted at and above the Plaza Level in the area hereinbefore defined shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District classification, except that in that part of the subject area lying within two hundred (200) feet of North Michigan Avenue uses shall be in general conformity with the Permitted and Special Uses of the DX-16, Downtown Mixed-Use District classification; uses permitted where no Plaza Level exists shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District classification. Earth station receiving and transmitting dishes, microwave relay dishes and transmitting or receiving dishes shall be permitted. Residential support services, physical fitness/indoor recreation center, and small venue theater are expressly permitted in Subparcel E.3. Non-accessory parking shall be a permitted use in Subarea F only. Underground accessory parking related to the improvements constructed upon Subparcel E.3 shall be a permitted use in Subparcel K2. All other controls and regulations set forth herein are made applicable within the general application of this statement. Uses permitted in

DuSable Park (Subparcel E.1) shall be recreational and related uses including but not limited to marinas; tennis courts; and similar facilities. Temporary staging of construction materials and related equipment shall be a permitted use in Subparcel E.1 subject to the review and approval of the Commissioner of the Department of Planning and Development and the Chicago Park District. Day care and other community-oriented uses are expressly permitted and strongly encouraged in all areas of the planned development. Agreement on how space for a minimum of one new daycare center shall be provided within Subareas B, D or Subparcel E.3 to service new residents and employees of those subareas must be submitted and approved by the Department of Planning and Development prior to the issuance of any Part II approval for any improvement on Parcels P1, P3, P7, P7 A, P8, P18, or P19.

6. For purposes of Floor Area Ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply, with the following exceptions: (1) in Subarea A, grade is herein established at plus thirty-five (+35) feet Chicago City Datum plus or minus six ( $\pm 6$ ) feet in respect of design conditions ("Plaza Level"), (2) in Subarea B, grade is herein established as the curb level of Columbus Drive plus or minus six ( $\pm 6$ ) feet in respect of design conditions and (3) space devoted to heating, ventilation, and air-conditioning equipment shall not be included in F.A.R. regardless of location.
7. Any service drives or other ingress or egress lanes shall be adequately designed and paved in accordance with the regulations of the Chicago Department of Transportation and in compliance with the Municipal Code of the City of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of the City of Chicago and shall have a minimum of twenty feet to provide ingress and egress for emergency vehicles. There shall be no parking within established fire lanes. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
8. Off-street parking and loading facilities shall be provided in compliance with this plan of development, subject to the review of the Chicago Department of Transportation and approval by the Department of Planning and Development. All parking spaces required to serve buildings or uses shall be located on the same parcel as the building or use served, or (i) if a residential use, within six hundred (600) feet walking distance, or (ii) if a nonresidential use, within twelve hundred (1,200) feet walking distance. Parking to serve uses in Subarea E.1 or E.3 may be located underneath or west of Lake Shore Drive.

9. Business and business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development and to the conditions of Statement 11(e). Off-premises signage is prohibited. Temporary signs such as construction and marketing signs may be permitted subject to the aforesaid approvals. Signage for retail and movie theater uses is a special concern. A general signage plan indicating the locations and dimensions of signage for these uses, including all interior signage which is visible from public streets, shall be submitted prior to part II approval in accord with Statement 16 hereof (Site Plan Review).
10. The height of buildings within the planned development and any appurtenance attached thereto shall be subject to the limitations on the attached exhibit labeled "Maximum Height Zones". Where maximum height zones have been established, building height shall be defined as follows: "Building height" is the vertical distance from the curb level, or its equivalent, opposite the center of the front of a building to the highest point of the underside of the ceiling beams of the highest habitable floor, in the case of a flat roof; to the deck line of a mansard roof; and to the mean level of the underside of the rafters between the eaves and the ridge of a gable, hip or gambrel roof. (For the purpose of determining height, building tops of the other configurations may be considered to be the type described herein which most closely approximates the shape of the proposed design). However, in no case shall the "actual" height of a building exceed the "maximum height" by more than sixty-five (65) feet.
11. The improvements on individual development sites shall be designed, constructed and maintained in accordance with the exhibits attached hereto and the following general design standards:
  - (a) Buildings along Lake Shore Drive shall be designed to minimize building mass directly facing the Drive. The base along Lake Shore Drive of any such structure shall be limited to the height of Lake Shore Drive. The tower of such structures shall be set back a minimum of forty (40) feet from Lake Shore Drive although encroachments into such setback area for design reasons may be allowed by the Commissioner of Planning and Development as a minor change pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance. This forty (40) foot setback area shall be heavily landscaped with trees and other greenery so as to be visible from the Drive.
  - (b) Landscaping of buildings at terraces, rooftops, and balconies shall be provided wherever possible and appropriate. Buildings shall be designed with upper level architectural features that are lit at night wherever possible. Mechanical equipment on rooftops shall be screened with quality materials, and made a feature of the building design, where appropriate. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this planned development conflicts with landscape and

screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.

- (c) Buildings shall be setback from the Property line, if necessary, to achieve a minimum of 12 feet, 6 inches (except the building column may be setback 10 feet, 0 inches in Subarea E-3 along Ogden Slip and also except the building located in Subarea B, Parcels 7 and 7A, may be located at the Property line along North New Street and Lower East North Water Street) in sidewalk width to accommodate street trees. No awnings, canopies, or other building projections shall be allowed that would interfere with street tree canopies except at entrances to hotels or movie theaters.
- (d) Building designs that reflect divisions into base, middle, and top, that have setbacks, cornice lines, changes in plane or materials, articulated surfaces, or other methods of reducing the scale and mass are encouraged. Preferred building materials shall be stone, manufactured stone, brick, finished metal such as stainless steel, or articulated pre-cast concrete in combination with glass at the base. Exposed structural concrete, dryvit or other stucco-like material, or reflective glass shall not be allowed. Materials of upper stories shall be similar to those of the lower, however, the level of detailing may be simplified.
- (e) Buildings shall be designed with clearly delineated signage bands. The quality and amount of signage shall be strictly controlled. The total square footage displayed on any building shall be limited to no more than six (6) times the street frontage on any given street. Preference shall be given to pin-mounted back lit signs with individual letters that are externally lit. Signs behind glass that are visible from the sidewalk shall count toward the permitted sign area. The area of a sign that consists of individual letters shall be measured by drawing a box around the letters. Graphic images which depict tenant logos or products or which may otherwise be construed as advertising shall count as signage in their entirety. Signage on awnings shall be allowed on the valance only, with a maximum of five (5) inch high letters limited to tenant identification or logos only. No electronic moving message board signs shall be allowed. Rooftop signs shall be prohibited.
- (f) No new surface parking lots except interim lots approved by the Commissioner of Planning and Development shall be allowed. No surface parking lot shall be allowed on the seventy thousand (70,000) square foot "Kraft" park site in Subarea F, except for that area not contained within any interim park. The maximum effort shall be made to contain parking in below-ground structures. Above-grade parking structures shall be enclosed, fronted by habitable space, or otherwise designed so as to have a similar appearance to habitable spaces in terms of finish materials, the shape and

- scale of openings, and the screening of ramps, car lights and ceiling fixtures. Any parking structures facing the Chicago River must be fronted by habitable space or completely enclosed and well articulated at all levels. The first floor of all structures facing Illinois Street, Grand Avenue, McClurg Court, Park Drive, or Columbus Drive shall maximize space with active uses such as retail, daycare, restaurants, et cetera. Parking structures shall also contain provisions for planting at the base, the roof, or at mid-height ledges.
- (g) Loading docks shall be concealed from public view through screening or landscaping. Curb cuts for loading docks shall be minimized.
  - (h) The new roadway structure at upper level Illinois Street shall be finished in highly articulated stone, pre-cast concrete, or other quality material, with particular attention given to views of the structure from Columbus Drive. Terraced planting, pedestrian lighting, decorative railings, banners, and other features shall be used to create a major pedestrian amenity. A major water feature shall be installed at the intersection of upper-level Illinois Street and the NBC Plaza. The underside of upper Illinois shall be appropriately lit, structural columns shall be covered, and other elements shall be added to create a safe, well-lit connection to Michigan Avenue.
  - (i) The completion of the riveredge esplanade shall be required of the developers of Parcels 14 and 16, and Parcel 18. Such public spaces shall be developed with the same quality and character of amenities as the existing esplanade adjacent to these areas. In addition, the developer of Parcel 18 shall be responsible for the development of pedestrian access to DuSable Park under Lake Shore Drive. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river esplanade. All plans for pedestrian access to DuSable Park from Parcel 18 shall be subject to detailed review and approval by the Department of Planning before the issuance of any superstructure Part II approval letters.
  - (j) The developer of Parcel 19 shall develop the following public improvements indicated on Exhibit 6 Existing and Planned Open Spaces concurrently with the development of Parcel 19: a pedestrian walkway from East North Water Street to Ogden Slip and an extension of the Ogden Slip promenade to Lake Shore Drive. The pedestrian walkway from East North Water Street to Ogden Slip shall be developed with the same quality and character of amenities as the existing walkway from the River Esplanade to East North Water Street. The extension of the Ogden Slip promenade shall be developed with the same quality and character of amenities as the existing promenade adjacent to it. In the event that DuSable Park is developed before Parcel 19 is developed, the owner(s) of Parcel 19 shall construct and maintain a temporary pedestrian connection along the slip. These

improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of twenty (20) feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the slip edge and on the side adjacent to Parcel 19. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development.

In addition, pedestrian access along Ogden Slip under Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 19 shall be solely responsible for the cost of improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the Ogden Slip promenade. However, if Parcel 19 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 19 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the applicant and the Chicago Park District as referenced in Statement Number 11(m) below provides otherwise.

All plans for these improvements shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any Part II approval letters.

- (k) All improvements to be constructed within this planned development for which Part II approval letters are issued after the March 29, 2006, date of City Council approval of the amended planned development shall comply with the Department of Planning and Development Building Green/Green Roof Matrix and the owners shall use best and reasonable efforts to design, construct and maintain all buildings located within this planned development in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System ("L.E.E.D."). A dog-run shall be located within or adjacent to Subparcel E.3. As a result of the architectural design of the tower to be constructed within Subparcel E.3, a green roof is not feasible.
- (l) Pursuant to the Affordable Housing provision of the City of Chicago Zoning Ordinance, Title 17, Chapter 17-4-1004, et seq. ("Zoning Ordinance") the Subparcel E.3 Applicant has asked for an increase in the Floor Area Ratio of the property. The Subparcel E.3 Applicant hereby acknowledges that according to Section 17-4-1004D of the Zoning Ordinance, the total floor area devoted to affordable housing units must equal at least twenty-five percent (25%) of the total increase in floor area allowed under the

Affordable Housing Bonus or a cash payment must be made to the City of Chicago Affordable Housing Opportunity Fund based on the increase in allowable floor area multiplied by eighty percent (80%) of the median cost of land per buildable square foot. Based on Section 17-4-1004D the Subparcel E.3 Applicant has agreed to provide a cash payment of the City of Chicago Affordable Housing Opportunity Fund in the amount of Five Million Seven Thousand Three Hundred and no/100 Dollars (\$5,700,300.00). Prior to the issuance of permits, the Subparcel E.3 Applicant will enter into an Affordable Housing Agreement with the Chicago Department of Housing or provide a letter of credit or other security device in an amount equal to the cash contribution. The Subparcel E.3 Applicant must comply with all of the applicable Sections of the Affordable Housing Provision of the Zoning Ordinance which sections are hereby incorporated into this Planned Development. The Affordable Housing Agreement required by Section 17-4-1004-E9 is also incorporated into this planned development. Pursuant to the Off-Site Park and Open Space Contributions provision of the City of Chicago Zoning Ordinance, Title 17, Chapter 17-4-1018, et seq., the Subparcel E.3 Applicant has asked for an increase in the Floor Area Ratio of 2.16 F.A.R. for the Property. The Subparcel E.3 Applicant hereby acknowledges that according to Section 17-4-1018-C of the Zoning Ordinance, a cash payment must be made to the City of Chicago based on the increase in allowable floor area multiplied by eighty (80%) of the median cost of land per buildable square foot. Based on Section 17-4-1018-C, the Subparcel E.3 Applicant has agreed to provide a cash payment to the City of Chicago in the amount of Four Million One Hundred Four Two Hundred Sixteen and no/100 Dollars (\$4,104,216.00). Prior to the issuance of permits, the Subparcel E.3 Applicant will provide a letter of credit or other security device in an amount equal to the cash contribution. The Subparcel E.3 Applicant must comply with all of the Sections of the Off-Site Park and Open Space contributions provisions of the Zoning Ordinance which Sections are hereby incorporated into this Planned Development. The Off-Site Park and Open Space contribution agreement required by Section 17-4-1018-B3 is also incorporated into this planned development.

- (m) The Subparcel E.3 Applicant, the City of Chicago, and the Chicago Park District shall enter into an agreement relating, in part, to the responsibility for the design, funding and construction phasing of DuSable Park, the pedestrian connections to DuSable Park and the Lakefront Trail.
- (n) The improvements contemplated in Subparcel E.3 for DuSable Park (Subparcel E.1) must be substantially completed by the applicant prior to the issuance of Certificate of Occupancy for any dwelling unit exceeding the three-hundredth (300<sup>th</sup>) dwelling unit constructed with Subparcel E.3.

- (o) The Subparcels 7 and 7A Applicant, or its assignee, shall be responsible for the construction, management and maintenance of the Open Space identified on the Landscape Plan and such construction, management and maintenance shall not be the responsibility of the City of Chicago or any other governmental agency. The Subparcels 7 and 7A Applicant shall permit un gated public access to the Open Space and pedestrian bridge over New Street during typical Chicago Park District hours. All improvements within the Open Space and the pedestrian bridge over New Street must be substantially completed prior to receipt of the occupancy certificate for the principal building on the property, provided that planting may be delayed if consistent with good landscaping practices, but no longer than one year following the receipt of the occupancy certificate. The Subparcels 7 and 7A Applicant acknowledges and agrees that no columns (or other supports) will be allowed in the public way to service the entrance canopy of the hotel entrance lobby structure. The Subparcels 7 and 7A Applicant acknowledges and agrees that it is responsible for the cost of constructing the pedestrian bridge over North New Street depicted upon the Site Plan. The Subparcels 7 and 7A Applicant acknowledges and agrees that the design and construction of the pedestrian bridge shall be subject to the following conditions (1) review and approval of the bridge plans and specifications by the Chicago Department of Transportation to ensure adequate clearance above New Street and to minimize the location of support columns in the public right-of-way; (2) the bridge decking/paving materials shall be consistent with the materials utilized on the Plaza area of the high-rise building; and (3) the bridge should contain an open-metal railing system consistent with the railings utilized on the high-rise Plaza.
12. Publicly dedicated improvements, including streets, sidewalks, transit and open space amenities shall be designed, constructed and maintained in accordance with the exhibits described in Statement 2 hereof and the Cityfront Center Internal Design Standards: Section I: dated September 12, 1986.
13. The property owner(s) adjacent to the Chicago River shall develop a continuous pedestrian esplanade along the Chicago River's edge. Completion of the esplanade will occur as follows:
- (a) The east right-of-way line of McClurg Court to the west right-of-way line of Lake Shore Drive shall be improved concurrently with development of adjacent parcels south of east North Water Street (Parcels 14, 16, and 18). In the event that DuSable Park is developed before Parcel 18 is developed, the owner(s) of Parcel 18 shall construct and maintain a temporary pedestrian connection along the river. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of ten (10) feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the river's edge and on the side adjacent to the development

parcel. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development; and

- (b) The west right-of-way line of Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 18 shall be solely responsible for improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river edge esplanade. However, if Parcel 18 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 18 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the applicant and the Chicago Park District as referenced in Statement Number 11(m) above provides otherwise.
14. The Open Space Plan attached hereto (Exhibit 6) calls for a new seventy thousand (70,000) square foot park on Peshtigo Court between Illinois Street and Grand Avenue. The owners of the adjacent development parcel (Parcel P21) shall be responsible for developing this new publicly-accessible park concurrently with Parcel 21. Permanent development of this park shall take place on top of an underground parking garage; however, should such development not be immediately feasible, a fully-appointed interim park shall be installed on the site until such time as the permanent park is constructed. This interim park shall be completed and open to the public by June 1, 2004, unless construction has started on permanent park and underground garage. The interim park may have an impermeable surface of asphalt or other material. The interim park is to be enclosed by a five (5) foot decorative metal fence which is to be located in the approximate footprint of the Kraft building, except along North Peshtigo Court where the fence is to be setback twelve (12) feet from the west curb of North Peshtigo Court. The interim park is to be no less than fifty thousand (50,000) square feet in size and is to be covered by at least seventy-five percent (75%) with landscape materials which may be located in raised planter boxes and other containers. The interim park shall be open to the public from sunrise to sunset. Within forty-five (45) days of the adoption and publication by City Council of this amendment to the planned development, the owner of the interim park site shall provide to the Commissioner a site plan for the interim park which complies with the provisions of this statement. The owner of the property on which the interim park is located shall be responsible for the maintenance of the interim park. The Commissioner of Planning and Development must approve the site plan for either a permanent or a interim park. The Commissioner of Planning and Development must approve the site plan for a permanent park before Part II approval is granted for Parcel P21. The City will not issue a final certificate of occupancy for Parcel P21 unless construction has started on the permanent park in accord with an approved site plan. After August 1, 2004,

all surface parking lots in Subarea F shall be landscaped in accord with the Landscape Ordinance. All sidewalks in Subarea F shall remain open and be maintained in good condition.

15. Traffic studies completed by developers and the City of Chicago project significant peak hour traffic volume increases on Illinois Street and Grand Avenue in particular as a result of new development. Some excess roadway capacity is available to handle this increased traffic, but a number of geometric, signal timing and parking control measures are recommended in addition to active transportation management in the Illinois-Grand Corridor. Accordingly, no Part II submittal shall be approved without a firm agreement between the developer and the Chicago Department of Transportation regarding the timing and responsibility for any recommended traffic improvements described in Exhibit 8 hereof for streets adjoining the development site. Membership and participation in the Illinois-Grand Corridor Transportation Management Association shall also be required prior to the issuance of any Part II development approval.
16. Prior to the issuance by the Department of Planning and Development of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II approval") for development or redevelopment of any development parcels within the Planned Development, other than alterations to existing buildings which do not increase their height or alter their footprint, a site plan for the proposed development, including parking areas, shall be submitted to the Commissioner of the Department of Planning and Development for approval. Review and approval of the site plan by the Commissioner is intended to assure that specific development proposals conform with the general design standards in Statement 11 and to ensure coordination of public improvements described in Statements 12 through 15 at an early stage. No Part II approval for work for which a Site Plan must be submitted to the Commissioner shall be granted until the Site Plan has been approved by the Commissioner. Further, all Part II submittals shall be in compliance with the Chicago Landscape Ordinance. At least thirty (30) days prior to the filing of the Subparcel E.3 Applicant's request for Part II approval for the construction of the superstructure upon Subparcel E.3, the Subparcel E.3 Applicant shall submit a detailed Landscape Plan and Elevations for the Subparcel E.3 property to the Department of Planning and Development for review and approval.

Following approval of a Site Plan by the Commissioner, the approved plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this planned development. The approved Site Plan may be changed or modified pursuant to the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

A Site Plan shall, at a minimum, provide the following information with respect to the proposed improvements:

- (1) the boundaries of the Property;

- (2) the footprint of the improvements;
- (3) location and dimensions of all loading berths;
- (4) preliminary landscaping plan prepared by a landscape architect with final landscaping plan to be approved at Part II stage;
- (5) all pedestrian circulation routes;
- (6) the location of any adjacent public improvements;
- (7) a signage plan for any building where retail or theater uses would be present above the ground level;
- (8) preliminary elevations of the improvements; and
- (9) Statistical information applicable to the Property limited to the following:
  - (a) floor area and floor area ratio;
  - (b) uses to be established;
  - (c) building heights; and
  - (d) all setbacks, required and provided.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this Planned Development.

17. If any provision of this planned development amendment shall, to any extent, be invalid or unenforceable, the remainder of this planned development amendment shall not be affected thereby, and each provision of the planned development amendment shall be valid and enforceable to the fullest extent of the law.
18. The terms, conditions and exhibits of this planned development ordinance or of an approved Site Plan may be modified administratively by the Commissioner of the Department of Planning and Development upon the request of the applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in the planned development and the purposes underlying the provisions hereof. Any such modification shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
19. It is in the public interest to design, construct and maintain the project in a manner, which promotes, enables, and maximizes universal access throughout the property.

Plans for all buildings and improvement on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

20. The Subparcel E.3 Applicant and the Subparcels 7 and 7A Applicant acknowledge that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Subparcel E.3 Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. All principal buildings located on Subparcels 7 and 7A shall be Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System certified. Copies of these standards maybe obtained from the Department of Planning and Development.
21. Unless substantial construction of the improvements contemplated within Subparcel 3E has commenced within six (6) years from May 9, 2007 and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcel E.3 and the zoning of Subparcel E.3 of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on March 29, 2006.
22. Unless substantial construction of the improvements contemplated within Subparcels 7 and 7A has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcels 7 and 7A and the zoning of Subparcels 7 and 7A of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on May 9, 2007.

[Existing Zoning Map referred to in these Plan of Development Statements unavailable at time of printing.]

[Exhibits 1 through 23; Building Elevations; Tower Parking Sections; Lake Front Trail Alignment Alternate Maps; View Corridor Diagram; Landscape Plan; Lower and Upper Water Street Maps; Building Sections Map; and E.D.S. Recertification referred to in these Plan of Development Statements printed on pages 33379 through 33417 of this *Journal*.]

Exhibit 1.

Bulk Regulations And Data Table.  
(Page 1 of 3)

Sub Area	Net Site Area See note (1) Sq.Ft. Acres	Maximum Retail Sq.Ft. (1000's)	Maximum Commercial Sq. Ft. (1000's)	Maximum Hotel Rooms	Maximum Dwelling Units	Maximum F.A.R
A	<u>380,796</u> 8.74	540 See note (5)	5,259	1,800	Permitted see Notes (2) & (3)	13.81 See note (6)
B	<u>183,449</u> 4.21	40	2,482	2,000	400 See note (8)	13.53 See note (7)
C	<u>122,303</u> 2.81	140	850	540	630	12.72
D	<u>361,234</u> 8.29	170	500	0	2,350	8.60
E	<u>346,038</u> 7.94	110 See note (9)	5 See note (4)	0	1,200	6.88
E.1	<u>232,841</u> 5.34	0	5 See note (4)	Not permitted	Not permitted	0.02
E.2	<u>18,191.63</u> 0.42	0	0	0	0	0
E.3	<u>95,005</u> 2.18	110 See note (9)	0	0	1,200	25.00 See note (10)
F	<u>100,436</u> 2.31	150	0	0	1,000	14.93
Total	<u>1,494,256</u> 34.30	1,040	9,096	4,340	5,580 See note (2)	11.03

Gross site Area = Net Site Area: 1,494,256 sq. ft. (34.30 acres) plus area in or proposed to be in public right of way: 940,843 sq. ft. (21.60 acres) plus area in or proposed to be in public parks or open space: 369,127 sq. ft. (8.48 acres) = 2,804,226 sq. ft. (64.38 acres).

<b>OFF STREET PARKING</b>	<b>MINIMUM</b>	<b>MAXIMUM</b>
BUSINESS USES	1:5,000 sq. ft.	As determined by DPD in consultation with CDOT
HOTEL USES	1:4 Rooms	
RESIDENTIAL USES	55% d.u.	
NON-ACCESSORY PARKING (Allowed in Sub-area F only)	200 spaces	500 spaces

OFF STREET LANDSCAPING:  
MINIMUM PERIPHERAL SETBACKS: Per DX-12 Requirements  
Sufficient to allow for street trees and pedestrian walkways (min 12'-6" from building to curb face)  
MINIMUM UPPER LEVEL SETBACKS: 40' from Lake Shore Drive at level of Upper Lake Shore Drive

APPLICANT: Shelbourne North Water Street, LP  
DATE: Decemer 8, 2006  
REVISED: March 15, 2007  
April 19, 2007

## Exhibit 1.

Bulk Regulations And Data Table.  
(Page 2 of 3)

## Exhibit 1: Bulk Regulations and Data Table ----cont.

- Note (1): For the purpose of this Planned Development "Net Site Area" shall equal the entire land area (at Plaza Level where such is established, and otherwise at grade) within the boundaries of the planned development, less the area now dedicated or proposed to be dedicated to public use.
- Note (2): Dwelling units shall be permitted in Sub-Area A of this Planned Development subject to the provisions of the DX-16, Downtown Mixed-Use district classification. Any such units so built will not affect the total of 5,580 dwelling units permitted in Sub-Areas B, C, D, E and F Dwelling units are permitted below the second floor in all sub-areas except Sub-Area E.
- Note (3): For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units. This permissible number of hotel rooms within the planned development shall not exceed 4,340 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses.
- Note (4): Although Sub-Area E. (DuSable Park) has been dedicated to public park use, it is included in Net Site Area because a maximum of 5,000 square feet of park and recreation-related floor area may be constructed within its boundaries.
- Note (5): Assumes 410,000 square feet allocated to development parcels P4 and P5 and the remaining 130,000 square feet allocated to remaining development parcels within Sub-Area A.
- Note (6): Assumes floor area allocated to existing buildings as follows: 401 North Michigan (760,241 s.f.), University of Chicago Gleacher Center (240,000 s.f.), NBC Tower (912,000 s.f.); and to future development parcels as follows: P1 (776,250 s.f.); P3 (970,000 s.f.) and P4/P5 (1,600,000 s.f.).
- Note (7): Assumes floor area allocated to existing Sheraton Hotel at 860,379 s.f. and future development parcels P7, P7A and P8 at 1,621,290 s.f.
- Note (8): For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units above the 400 permitted. The permissible number of hotel rooms within the planned development shall not exceed 4,340 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses. Accessory hotel uses on Parcels P7, P7A, and P8 combined shall not exceed 50,000 s.f.
- Note (9): Residential support services, physical fitness/indoor recreation center, and small venue theater (for building residents only) are expressly permitted in Sub-Area E.3.

APPLICANT: Shelbourne North Water Street, LP

DATE: December 8, 2006

REVISED: March 15, 2007

April 19, 2007

## Exhibit 1.

Bulk Regulations And Data Table.  
(Page 3 of 3)

## Exhibit 1: Bulk Regulations and Data Table ----cont.

Note (10)	FAR Bonus Calculations Sub-Area E.3 (Parcels P18 and P 19, combined) Net Site Area = 95,005 square feet	
	Base FAR	10.00
	Downtown Affordable Housing Zoning Bonus	3.00 (a)
	Offsite contribution to DuSable Park	2.16 (b)
	Public Plazas	5.44 (c)
	Chicago Riverwalk	0.40 (d)
	Water Features	1.00 (e)
	<u>Underground Parking and Loading</u>	<u>3.00 (f)</u>
	<b>Total FAR</b>	<b>25.00</b>

- a) Based on a contribution of \$5,700,300.00 to the City of Chicago Affordable Housing Opportunity Fund.
- b) Based on a contribution of \$4,104,216.00 to City of Chicago for Off-Site Park Improvements (to DuSable Park).
- c) Based on the provision of 51,730 square feet of on-site public plaza.
- d) Based on the provision of improvements to 3,800 square feet at off-site open spaces.
- e) Based on the provision of 48,669 square feet of water features in on-site public open spaces.
- f) Based on the provision of 171 underground parking spaces on Lower Levels 1 and 2, at least 265 underground parking spaces on Lower Level 3 and lower, and 7 underground loading docks on Lower Level.1

APPLICANT: Shelbourne North Water Street. LP  
 DATE: December 8, 2006  
 REVISED: April 19, 2007

Exhibit 2.

Planned Development Number 368, As Amended.

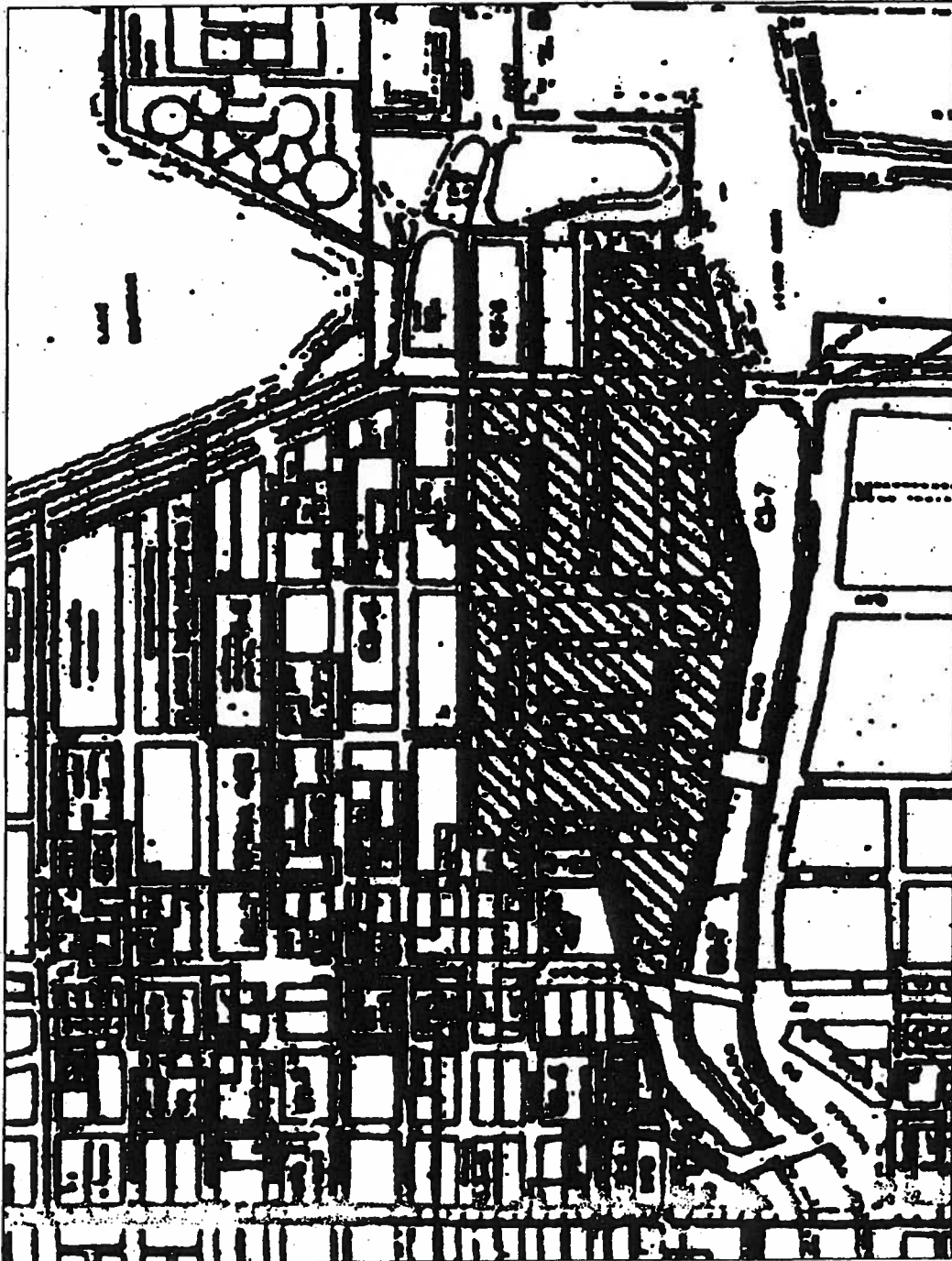


Exhibit 3.

Planned Development Boundary And Subarea Map.

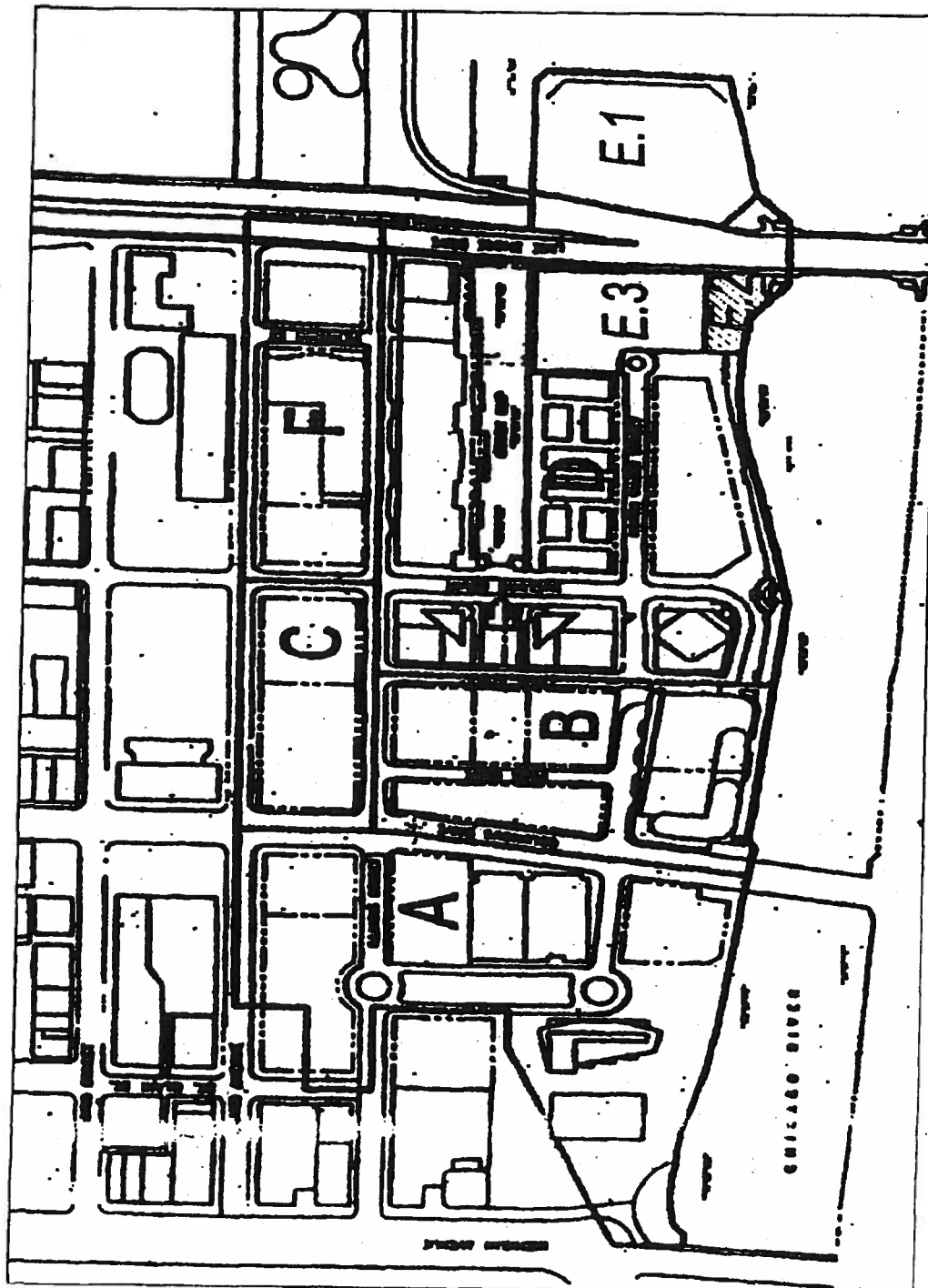


Exhibit 4.

Planned Development Parcels Map.

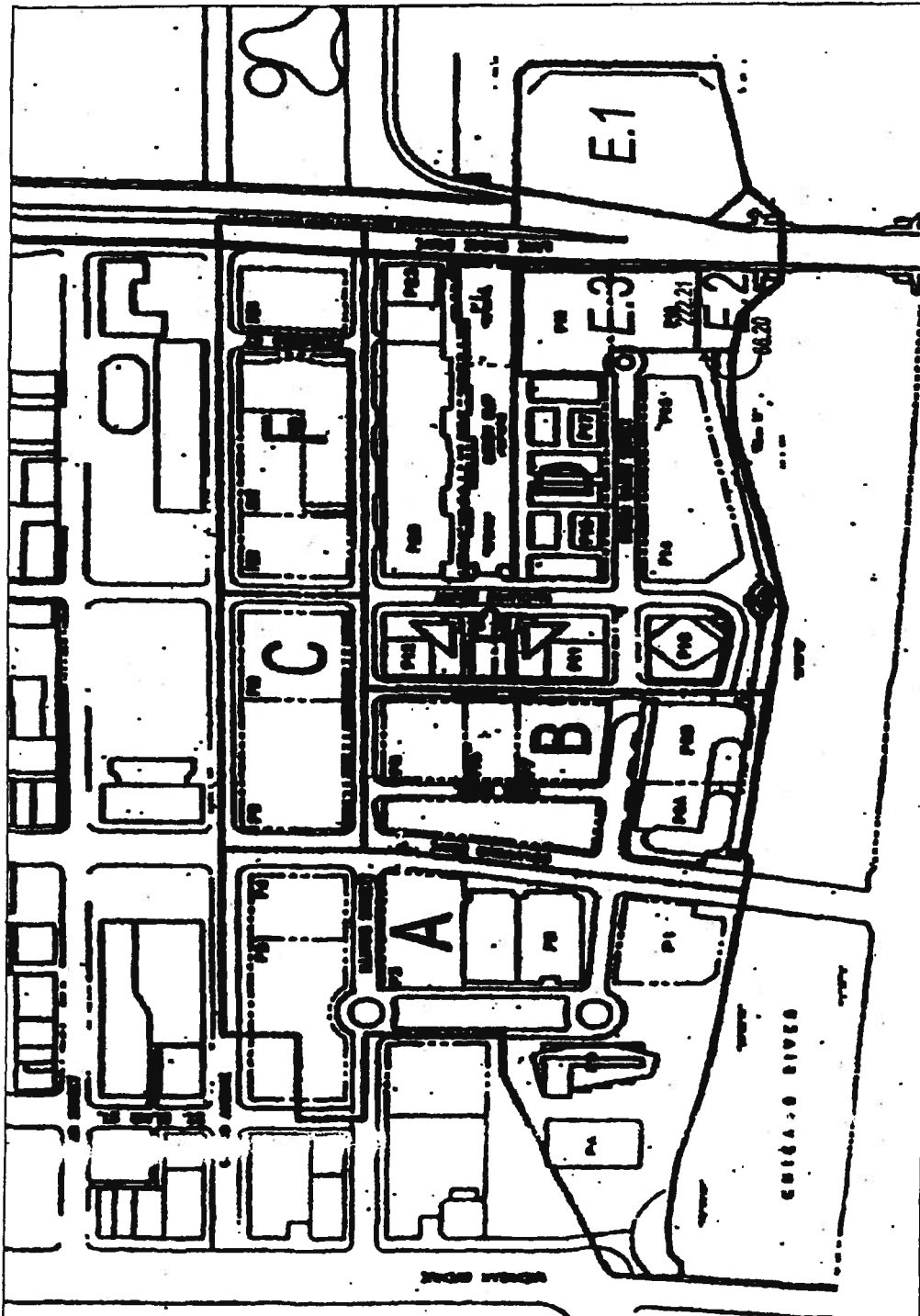




Exhibit 6.

Existing And Planned Open Spaces.

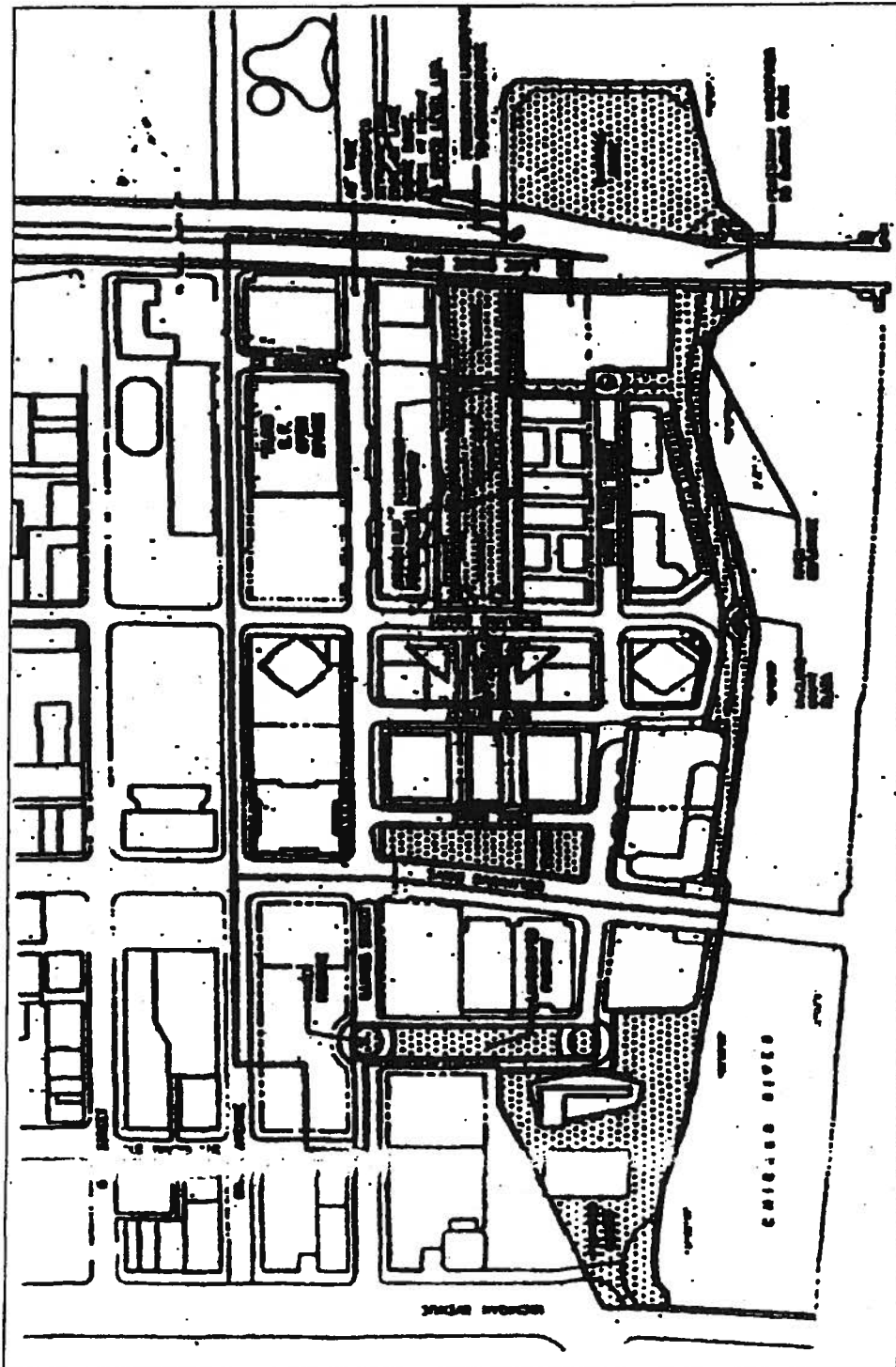
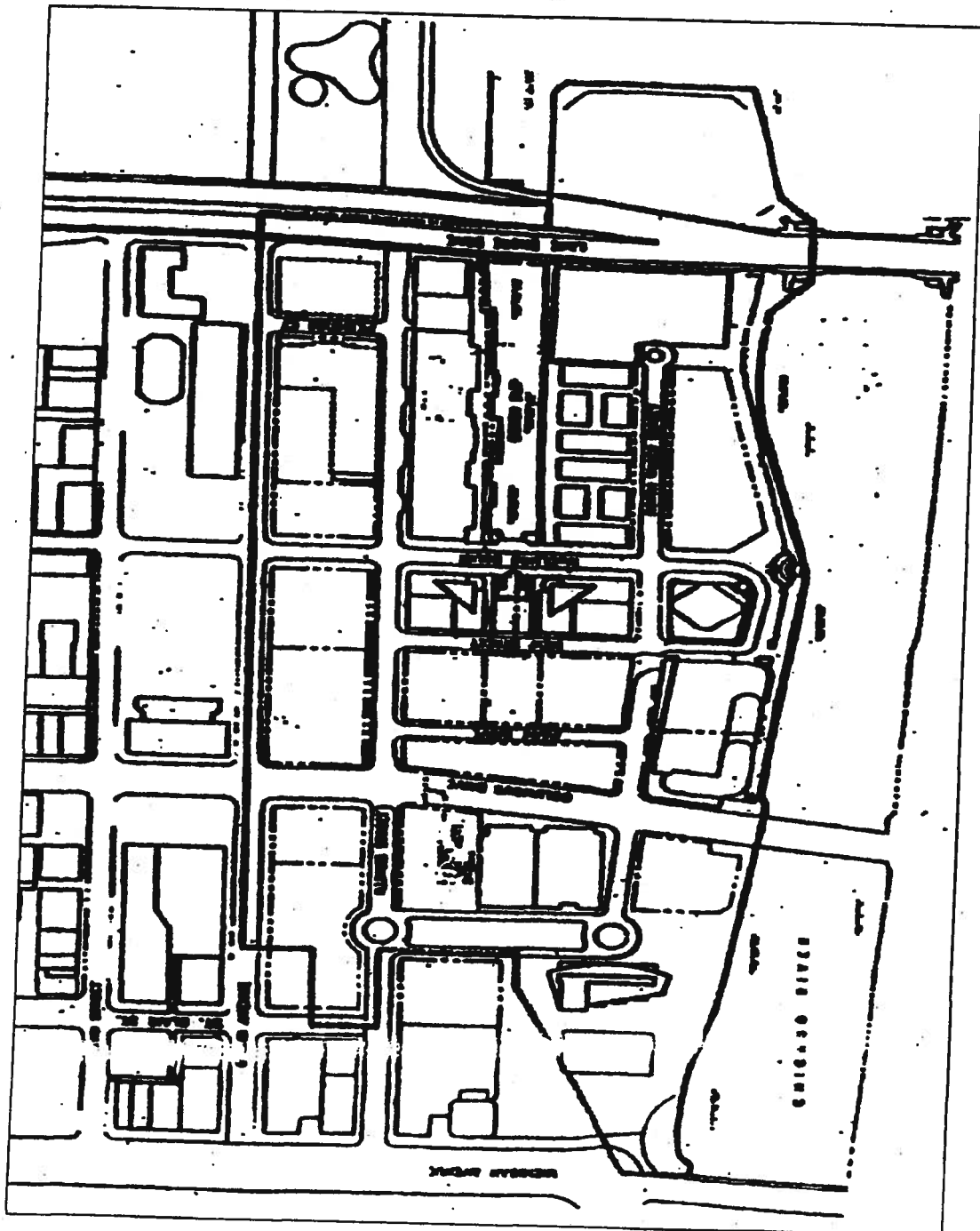


Exhibit 7.

Pattern Of Vehicular Roadways.



## Exhibit 8.

Recommended Traffic Improvements.  
(Page 1 of 3)

The following is a summary prepared by the Chicago Department of Transportation of the traffic impacts and proposed mitigation efforts for the River East, Grand Pier and North Bridge developments along the Illinois-Grand corridor, as described in traffic studies prepared by traffic consultants for the developers and the City (KLOA) and Barton-Aschman, respectively):

**General Impacts:** The three developments will generate roughly 3000 trips (1600 inbound and 1400 outbound) during the PM peak hour. About 1350 trips (750 inbound, 600 outbound) will be generated during AM peak hour.

There will be traffic volume increases on Illinois and Grand, between State Street and Lake Shore Drive, of roughly 500 to 700 vehicles per hour during the PM peak hour. During the AM peak hour, traffic volume will increase on Illinois and Grand by roughly 200 to 300 vehicles per hour. Existing peak volumes on Illinois and Grand range between 1000 and 1500 vehicle per hour; with these developments, volumes would range between 1500 and 2000 vehicle per hour.

Some excess capacity is available to handle this increased demand, but a number of geometric, signal timing, and parking control measures are recommended to further accommodate this increase in traffic.

**Geometric and Signal Operations Improvements:** In order to increase overall intersection capacity and address heavy traffic circulation demand, it is proposed to widen McClurg Court between Illinois and Grand to provide double left turn lanes northbound at Grand and southbound at Illinois. McClurg would be further widened on the west side to provide a drop-off lane at the proposed residential building.

It is also proposed to widen McClurg between Ohio and Grand to provide separate southbound right turn and through traffic lanes, and to provide a smoother northbound alignment through the Grand Avenue intersection. The right-of-way for this widening would need to be obtained from the adjacent property owners.

The traffic signals at McClurg-Grand and McClurg-Illinois would be modified to accommodate the street widening and to provide left turn arrow signal indications for northbound traffic at Grand and southbound traffic at Illinois.

On Grand Avenue at State Street, the CTA subway entrances at the northeast and northwest corners will be relocated out of the Grand Avenue right-of-way. This will allow the widening of Grand Avenue at this intersection to provide four westbound lanes compared with the three lanes currently available at this "bottleneck" location.

## Exhibit 8.

Recommended Traffic Improvements.  
(Page 2 of 3)

Restriping of various street segments is proposed in an effort to make more efficient use of pavement space and increase traffic capacity. Striping of left turn lanes, where appropriate, would be done on State, Wabash, and Rush at their intersections with Illinois, Grand, Ohio, and Ontario. Illinois would be restriped at Columbus to provide three through lanes, and separate left turn and right turn lanes.

**Parking Controls:** Metered on-street parking generally will need to be eliminated on Illinois and Grand from State Street to Lake Shore Drive in order to provide additional traffic capacity or to make the curb lane available for various pickup/drop-off activities. Sufficient off-street parking, provided as part of these developments, is intended to satisfy the demand for parking in the corridor.

It is proposed to eliminate parking on Illinois Street from State Street to Michigan Avenue in order to provide three eastbound traffic lanes, compared with the two existing lanes. This increase in traffic capacity is needed to handle the increased demand on this segment of Illinois Street.

It is proposed to eliminate parking on the south side of Grand Avenue east of Columbus Drive to provide a separate left turn lane on Grand at the approach to the Columbus Drive signal. This would increase the through traffic capacity by removing the turning movements from the adjacent through traffic lane.

Parking would also be eliminated on both sides of Grand Avenue east of McClurg Court, in order to provide separate left turn and right turn lanes on the approach to the traffic signal. Again, traffic capacity would be increased by segregating the through and turning traffic movements.

The elimination of parking is also proposed on the south side of Ontario at Fairbanks in order to provide a westbound left turn lane on Ontario. The striping of an optional through-left lane was also recommended as a further capacity improvement, although conflicts between turning vehicles and pedestrians in the south crosswalk will require further analysis.

**Transportation Management:** Active traffic management in the corridor will be undertaken by the Transportation Management Association which has been established. The TMA will meet to exchange information of traffic operations needs and problems, with changing development conditions, construction activities, special events, and other factors which may affect transportation in the corridor. Various City agencies, including CDOT, Planning, Police, Streets and Sanitation, and the CTA, will coordinate efforts with corridor property managers to address evolving transportation demands.

## Exhibit 8.

Strict enforcement of existing and proposed parking restrictions will be necessary to ensure that street space needed for traffic capacity is available. Of particular concern is the need to keep Illinois clear, east of Columbus; Grand Avenue, west of Michigan; Ohio Street, west of Michigan; and Ontario Street, west of St. Clair.

Improved public transit serve as appropriate to serve the needs of the corridor will be developed. CDOT and the TMA will be reviewing service needs and developing strategies for best providing public transportation, whether through modifications of CTA service or additional shuttle bus operations.

**Site Specific Improvements:**

**Parcels 4 and 5:** the proposed lower level loading dock layout requires a number of traffic control measures in order to mitigate the potential effect on Illinois Street traffic. These measures include prohibition of on-street loading, provision of a dock master during loading dock hours, limitation on loading dock hours to prohibit backing maneuvers between 7 a.m. and 9 a.m. and between 4 p.m. and 7 p.m., Monday through Friday, and implementation of loading dock control as part of an overall Traffic Management Plan to be implemented by the Illinois-Grand Corridor Transportation Management Association.

**Parcels P7, P7A, and P8:** There should be no curb cuts on Illinois Street. Curb cuts providing access to loading docks should be located only on Lower North Water Street or New Street.

**Parcels P9 and P13:** The increase in hotel development along Columbus Drive between Grand Avenue and Illinois Street and along Park Drive between Illinois and North Water Streets will concentrate taxi and other traffic movement in this area. Signing and striping is needed to prevent traffic from driving across Illinois Street in order to access Park Drive rather than turning left onto eastbound Illinois Street. Vaulted sidewalks are also indicated in the public way on both Grand and Illinois. Although vaulted sidewalks are not generally recommended, they are acceptable in this instance to allow for the placement of parking underground.

**Parcels P14 and P16:** The vacation of River Drive east of McClurg may result in hundreds of residential units being accessed from a signal cul-de-sac street, North Water Street east of McClurg. The sewer on North Water is seven to eight feet below the pavement, and its reconstruction at some time in the future, or any other significant utility maintenance, could severely restrict access these residences. Widening of North Water to 44 feet from its existing 40-foot width is recommended in order to provide more flexibility to maintain two-way traffic in the event of any future construction activities.

**The Kraft Building Site:** There is no objection to vacating Peshtigo Court in the future. If Peshtigo Court is eliminated and another north-south street is added, its location must be checked with respect to the location of the drop off lanes on Illinois at North Pier terminal. If Peshtigo Court is retained, adding another north-south street between Peshtigo and McClurg is not recommended.

**Parcels P18 and P19:** ADA accessibility of any pedestrian bridge which may be built across Ogden Slip should be reviewed.

Exhibit 9.

Site Landscape Plan.

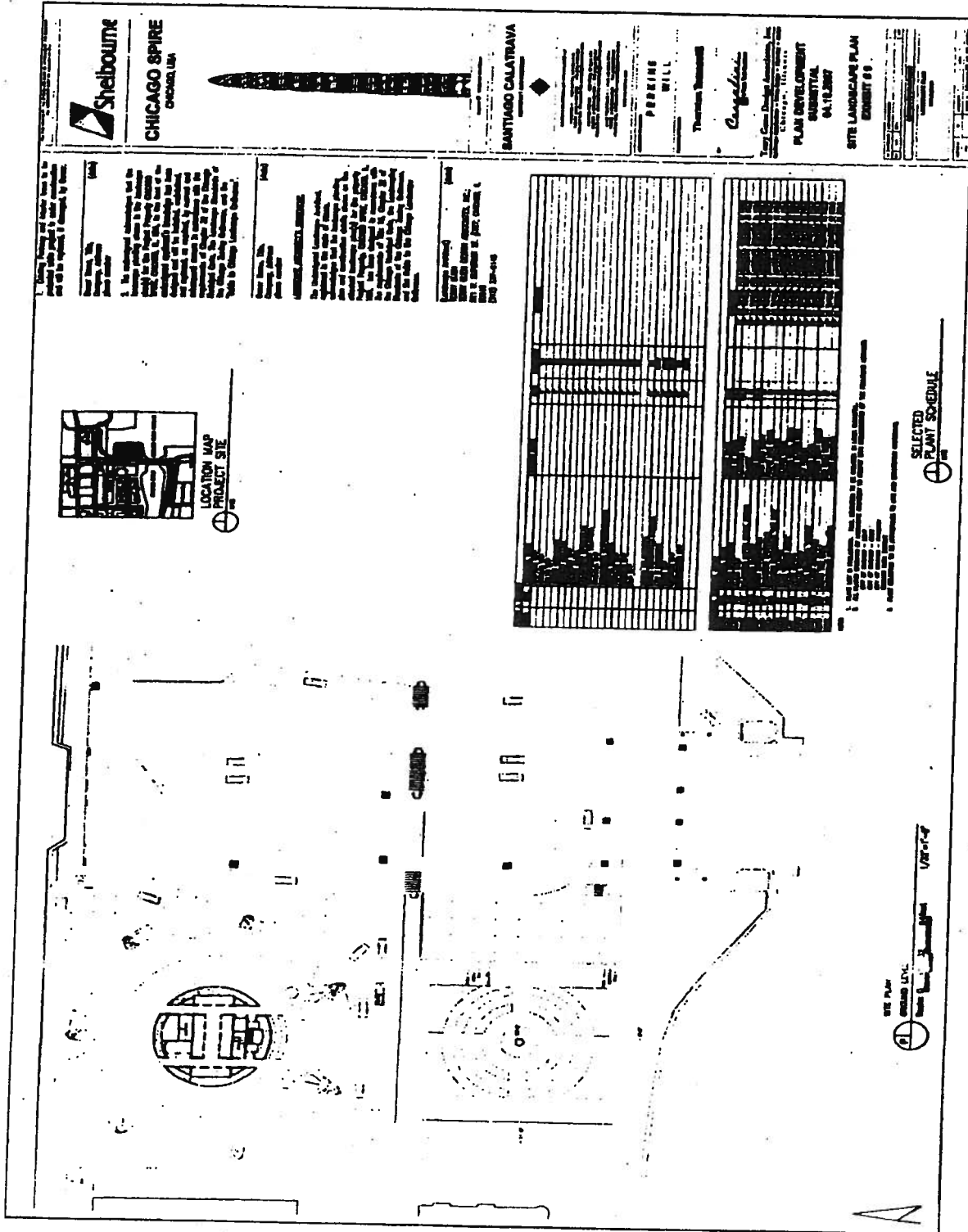


Exhibit 10.

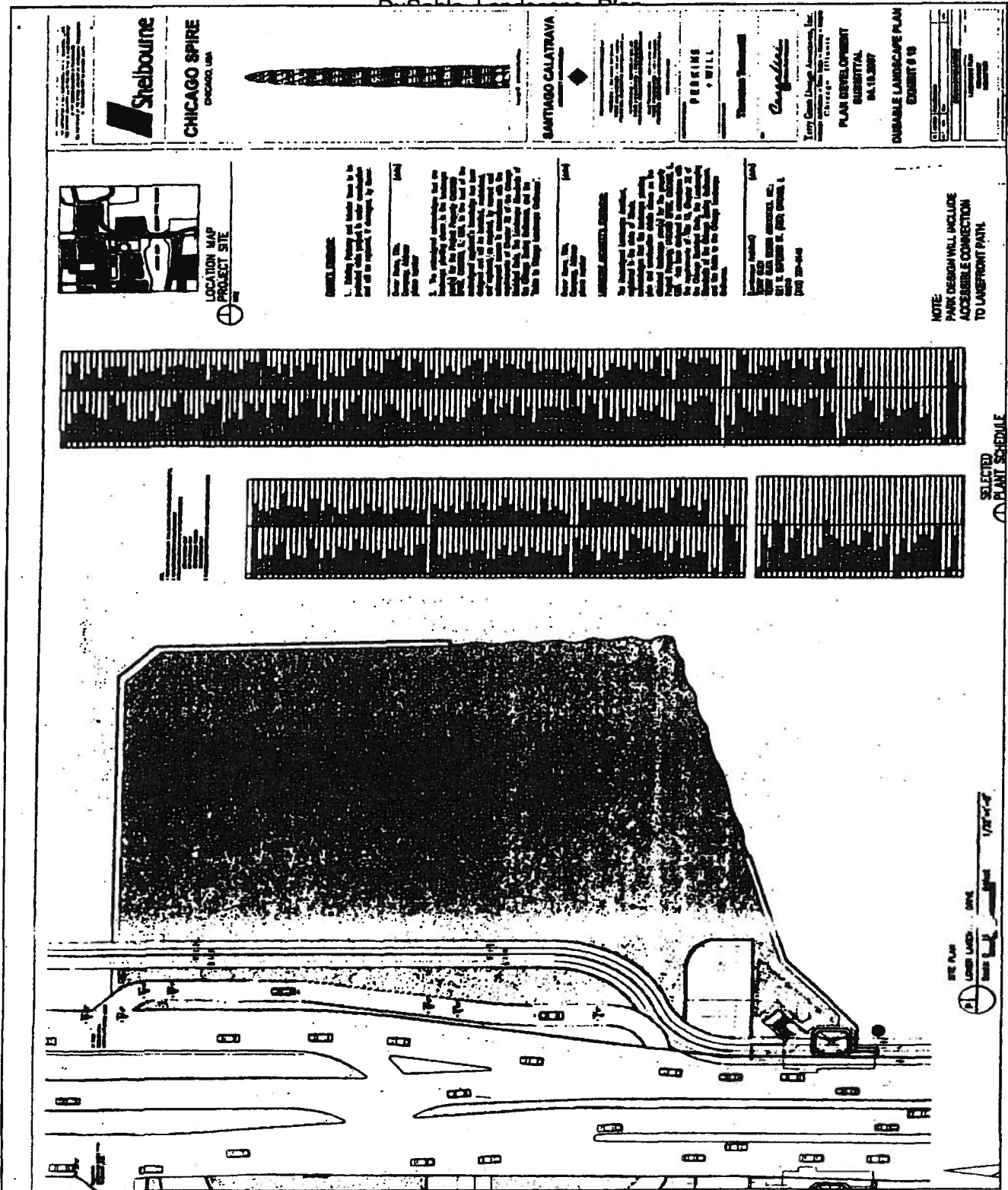


Exhibit 11.

Ground Floor Plan.

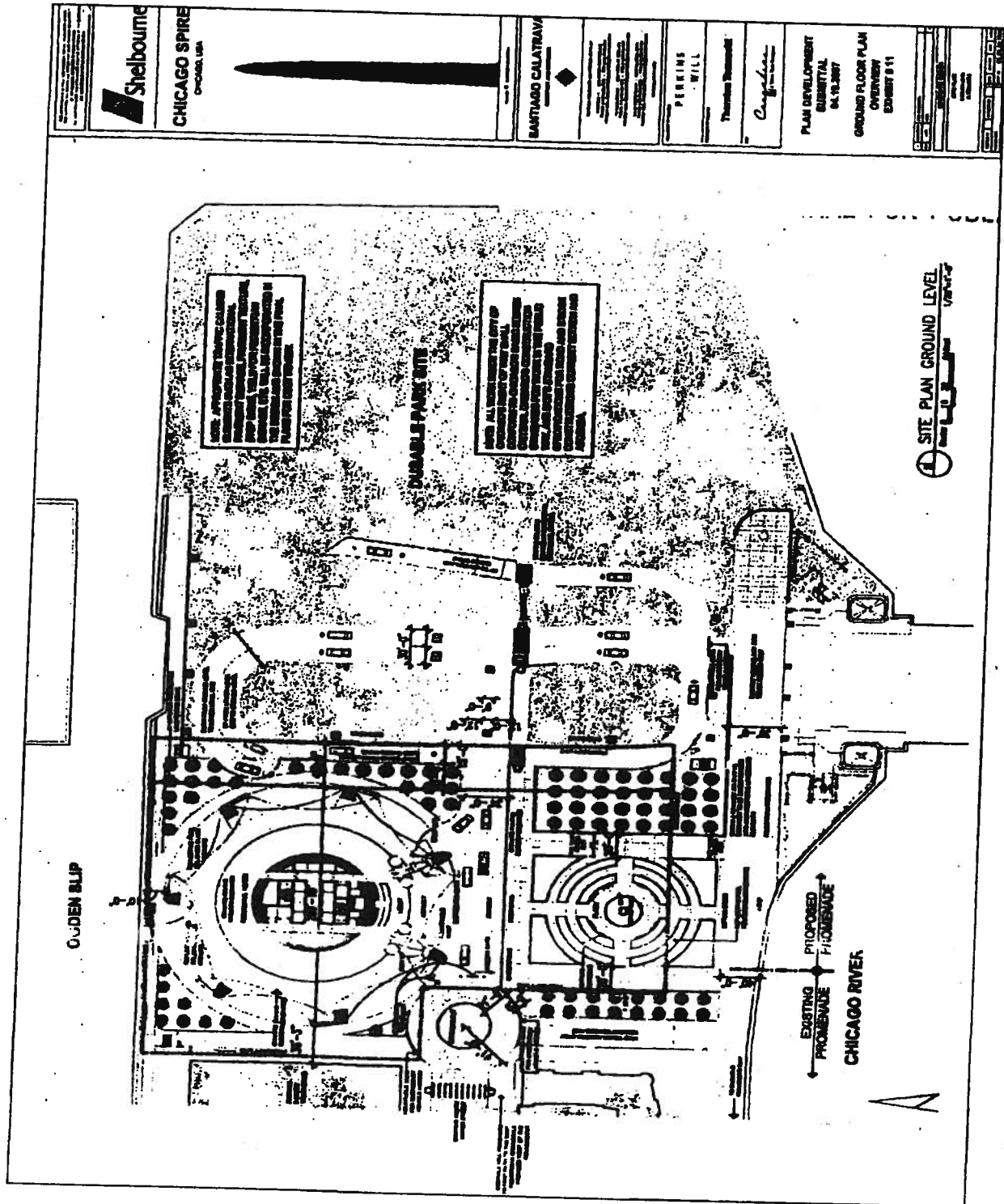


Exhibit 12.

Lower Lake Shore Drive Plan Overview.

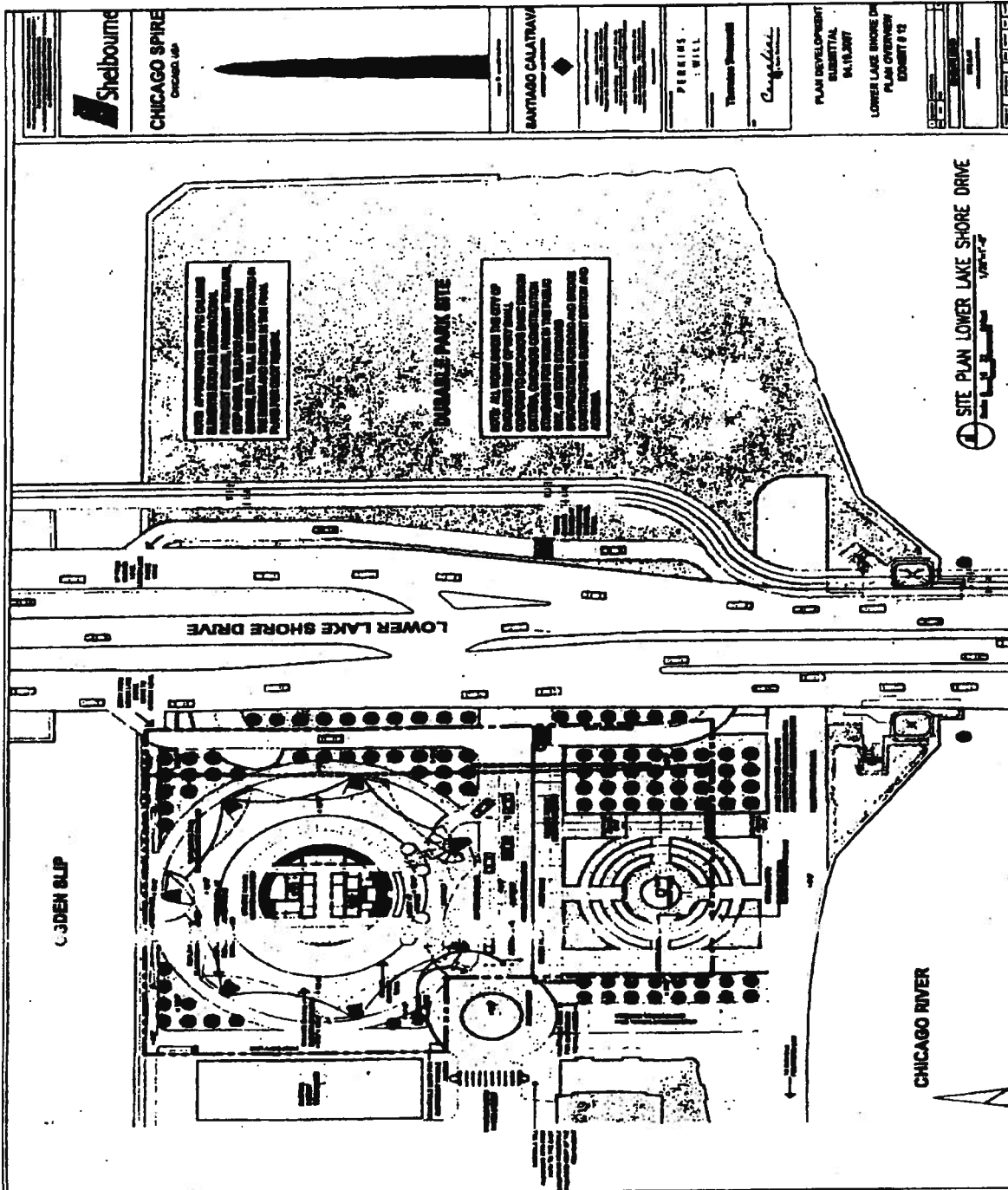


Exhibit 13.

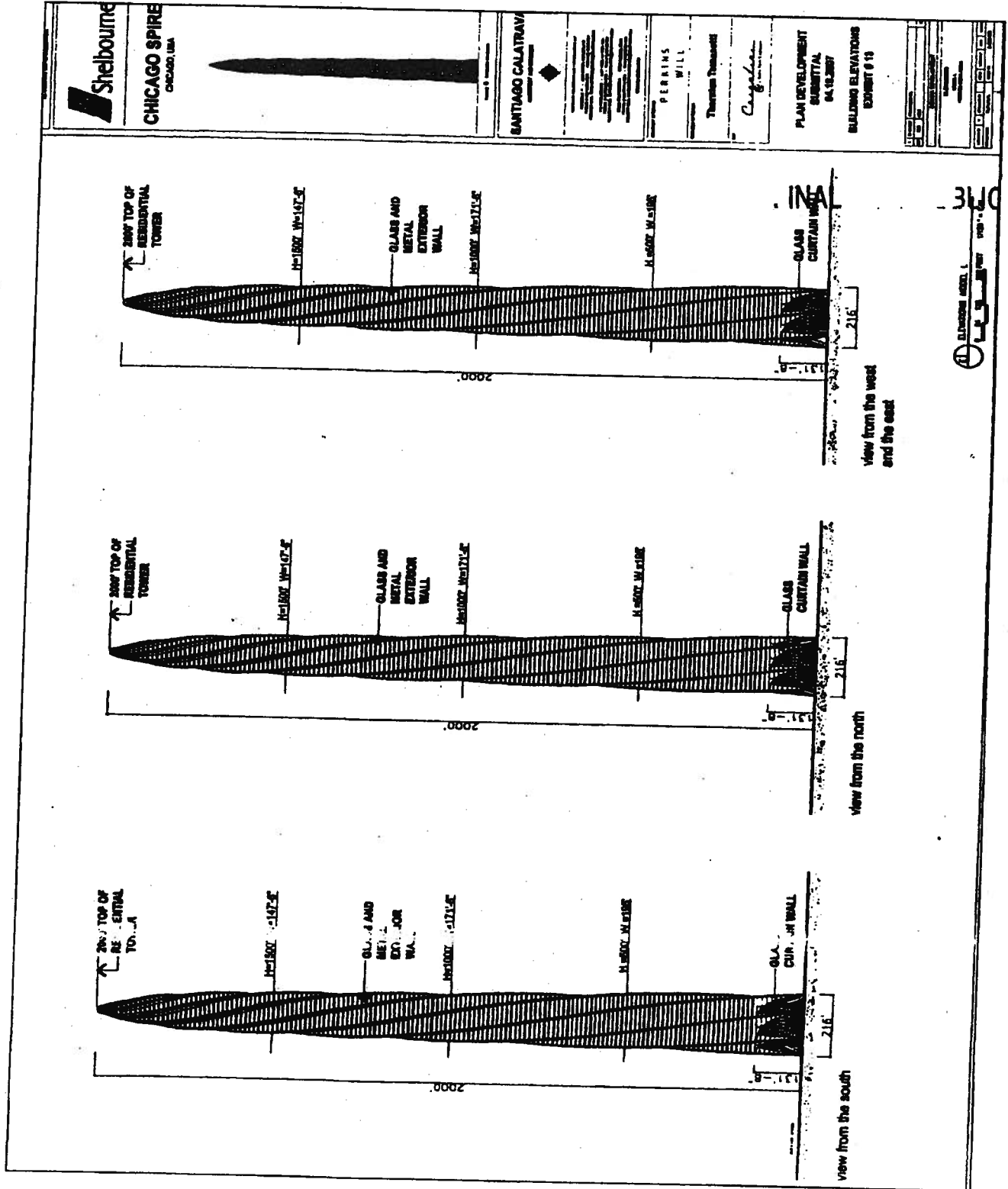


Exhibit 14.

South Building Elevations.

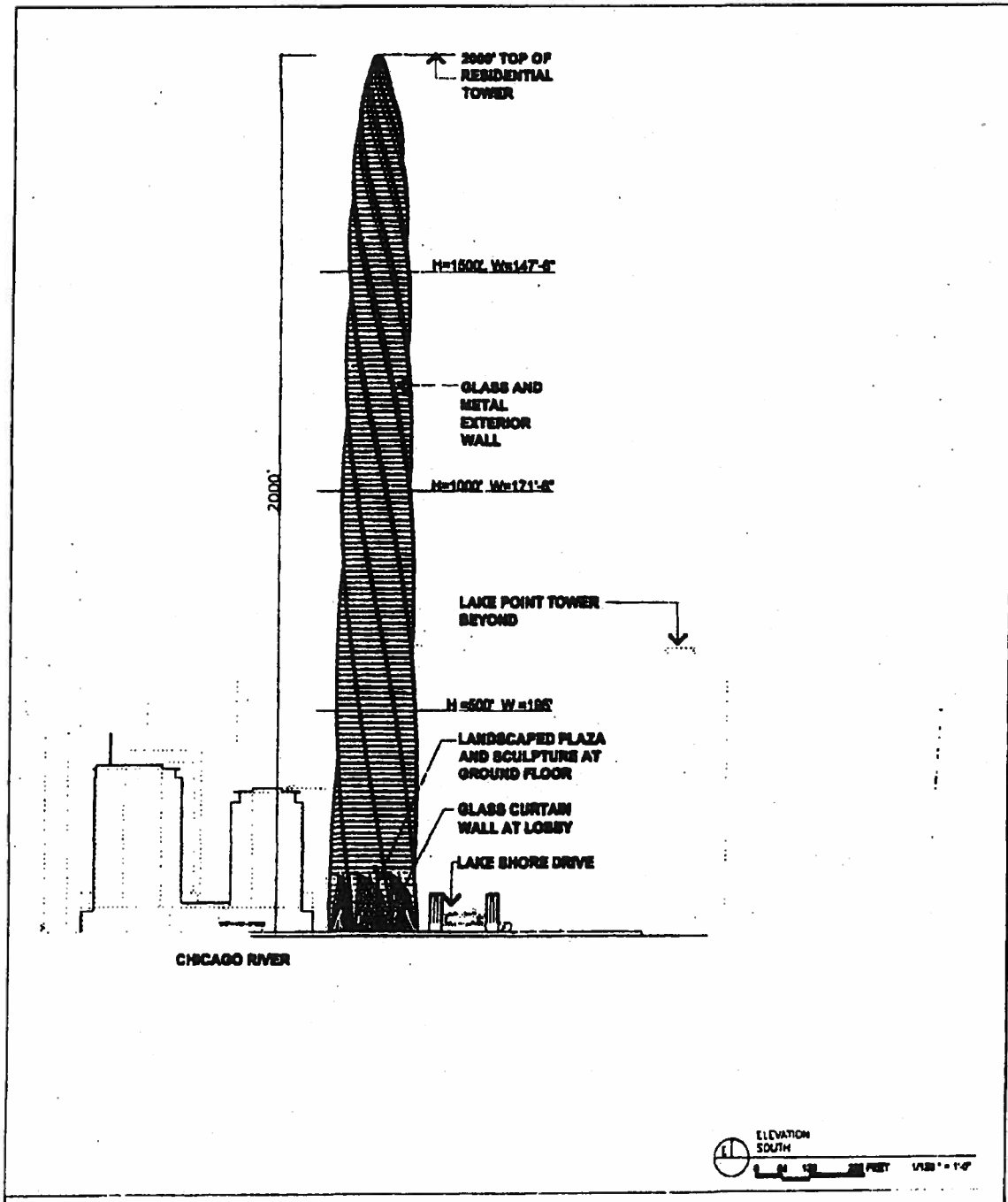


Exhibit 15.

Partial Enlarged South Elevation.

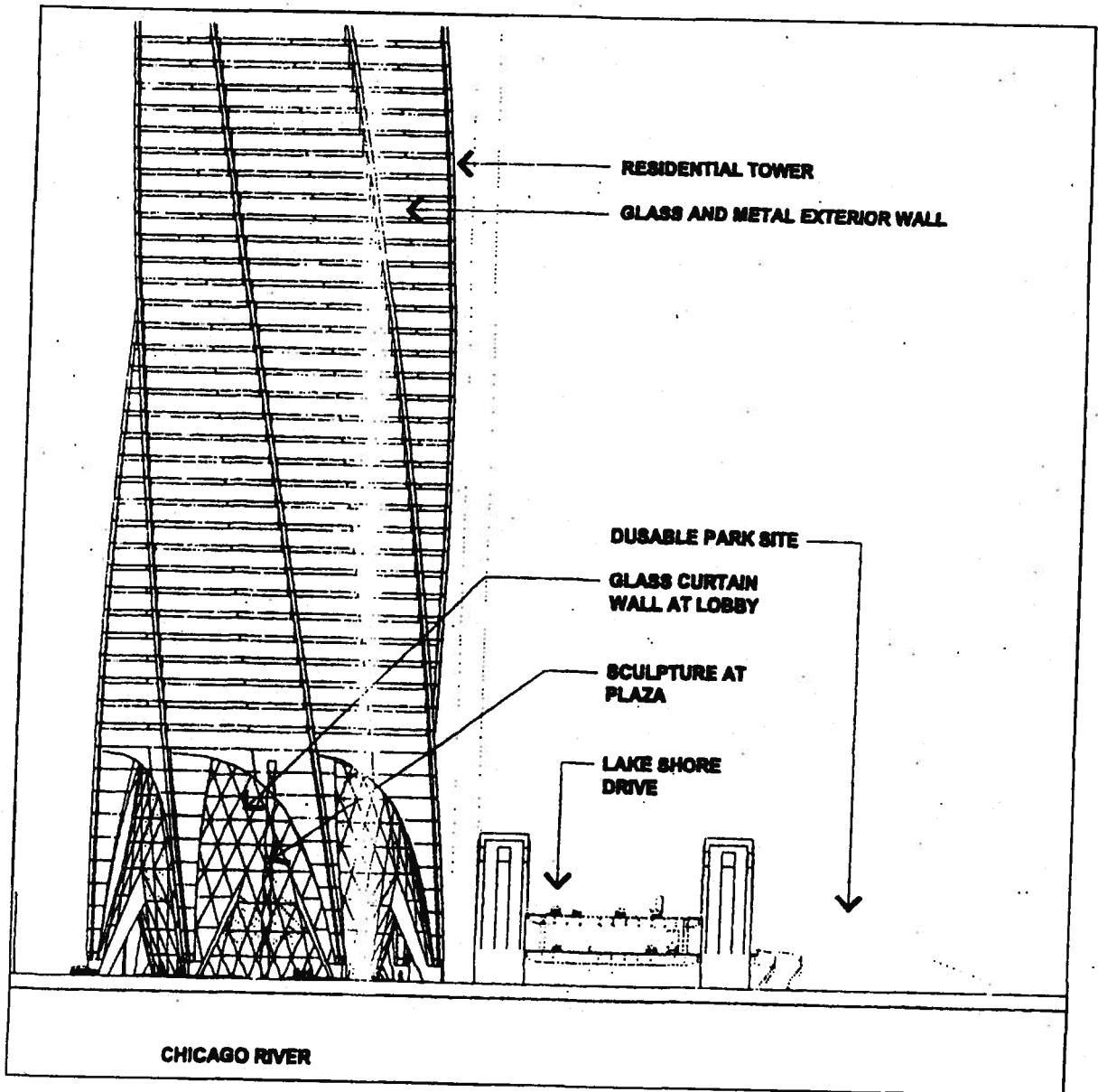


Exhibit 16.

Partial East/West Site Section.

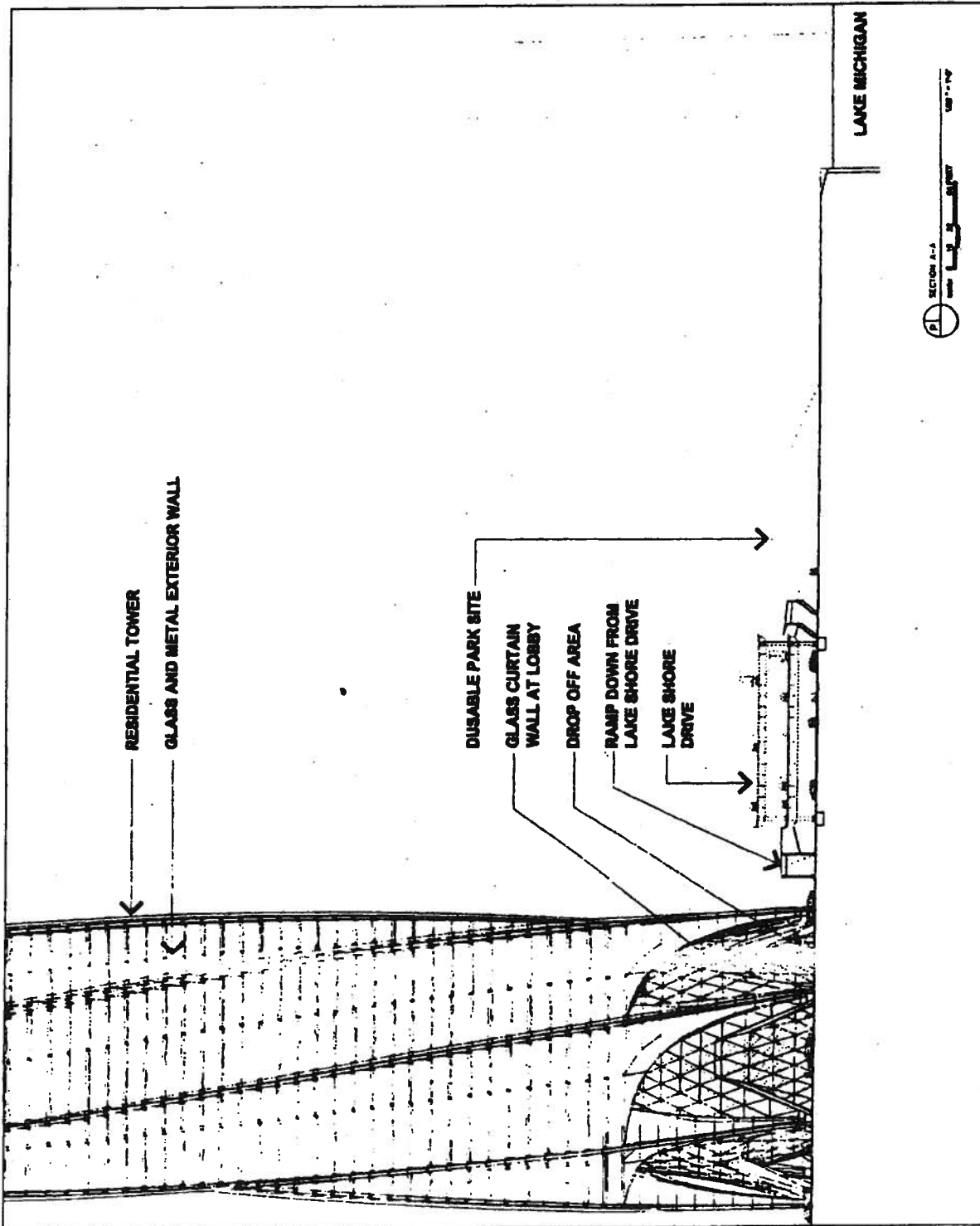


Exhibit 17.

Partial Enlarged East Elevation.

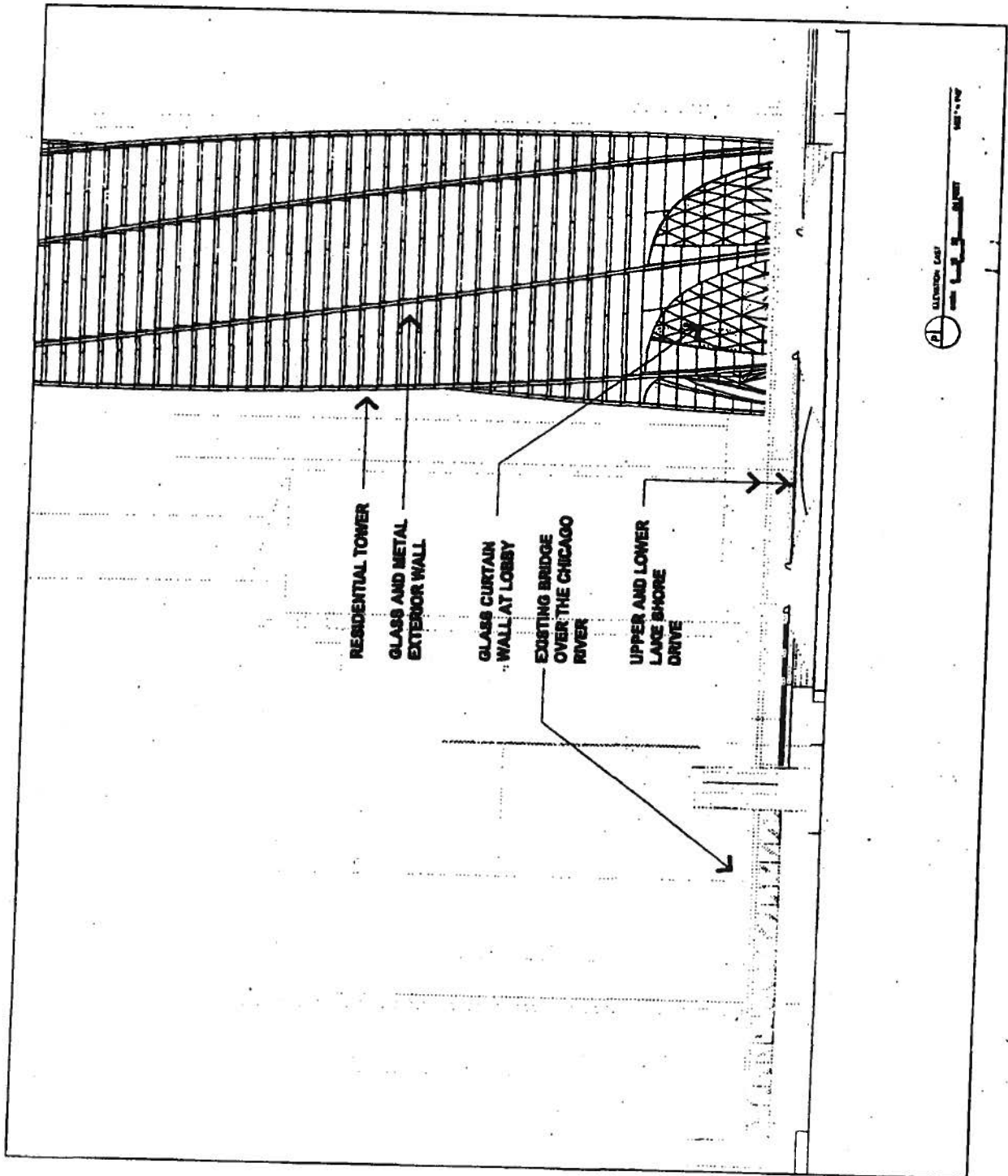


Exhibit 18.

North/South Site Section At Lake Shore Drive.

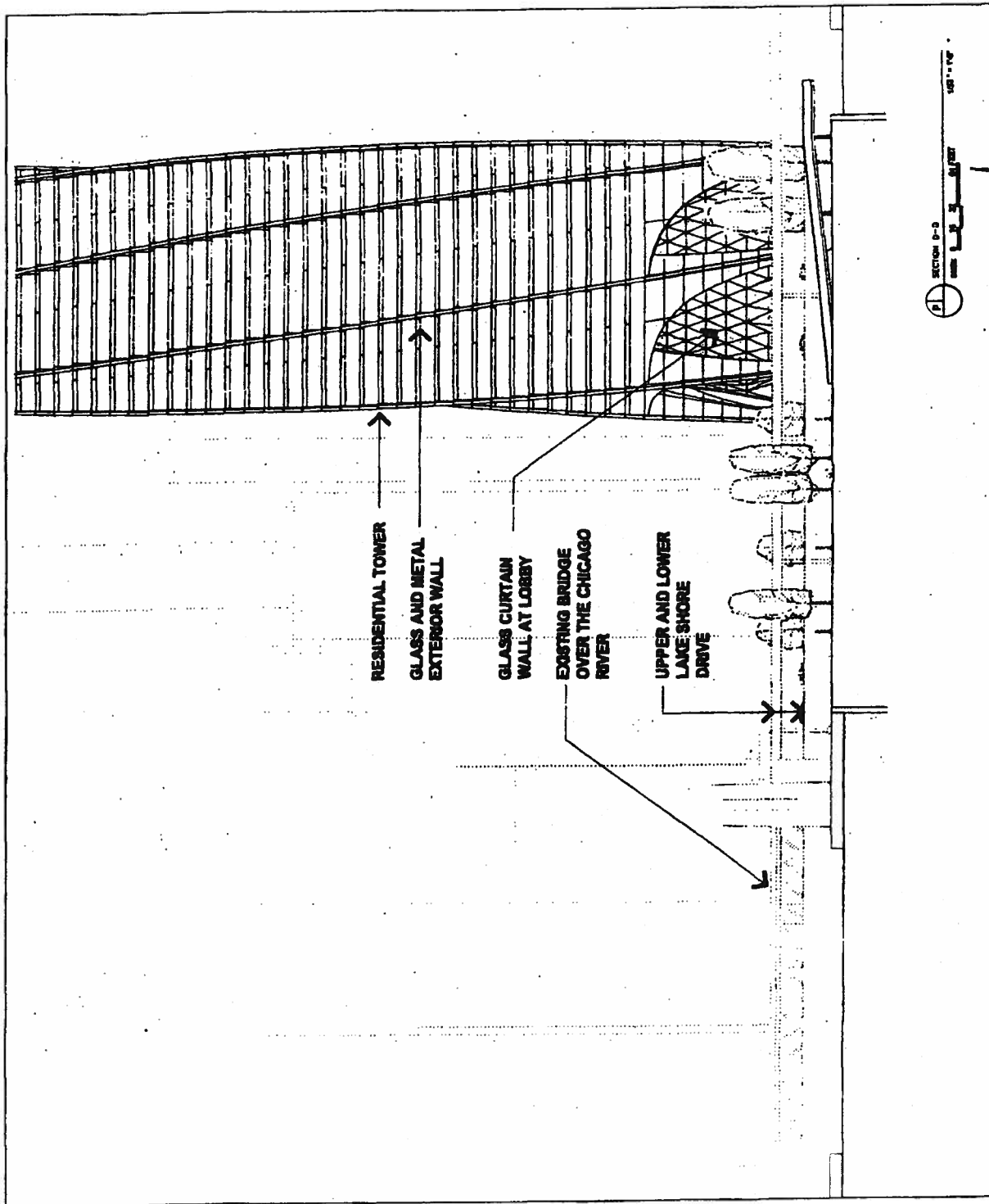


Exhibit 19.

North/South Tower And Parking Section.

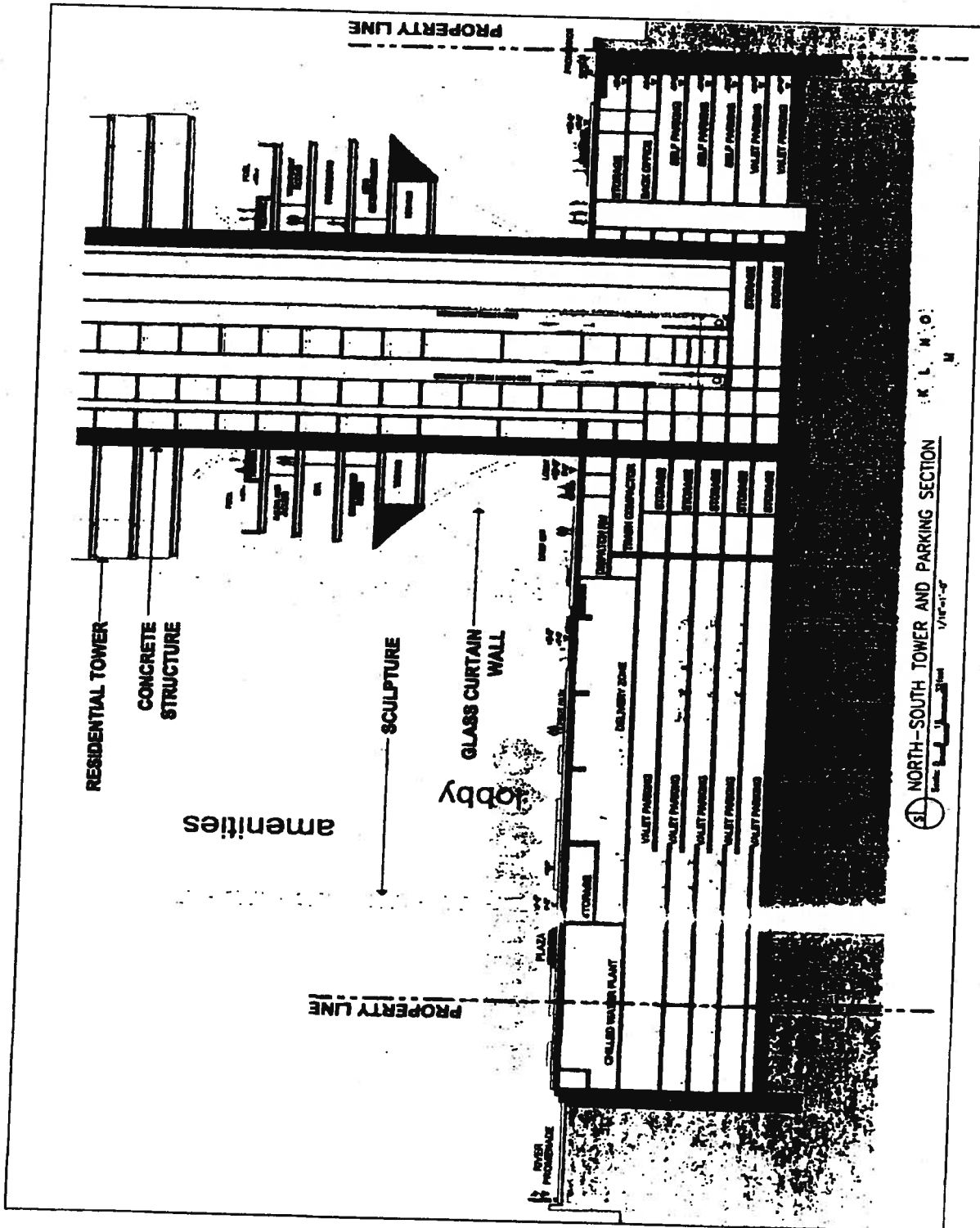


Exhibit 20.

East/West Parking Section.

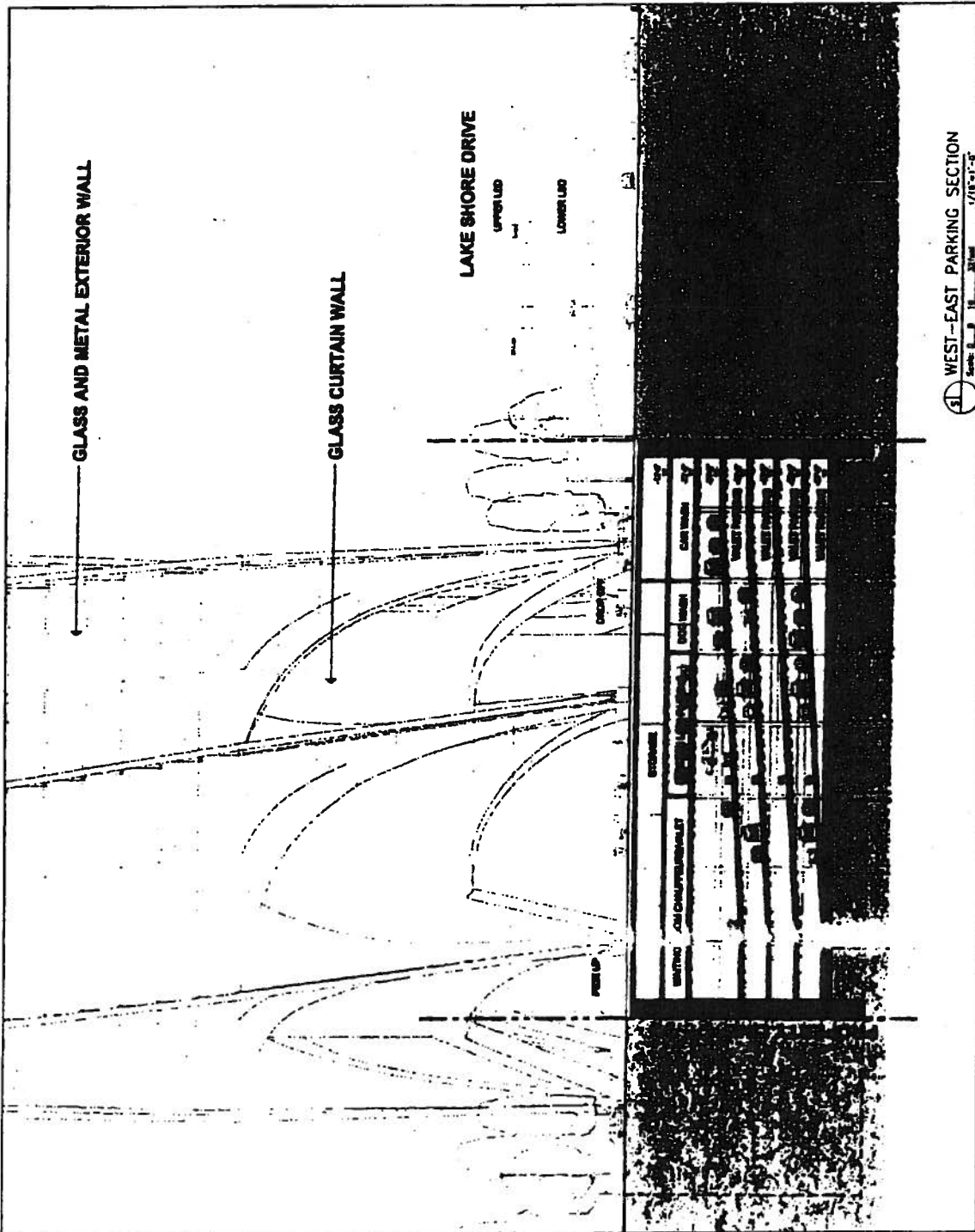


Exhibit 21.

North/South Overview Section.

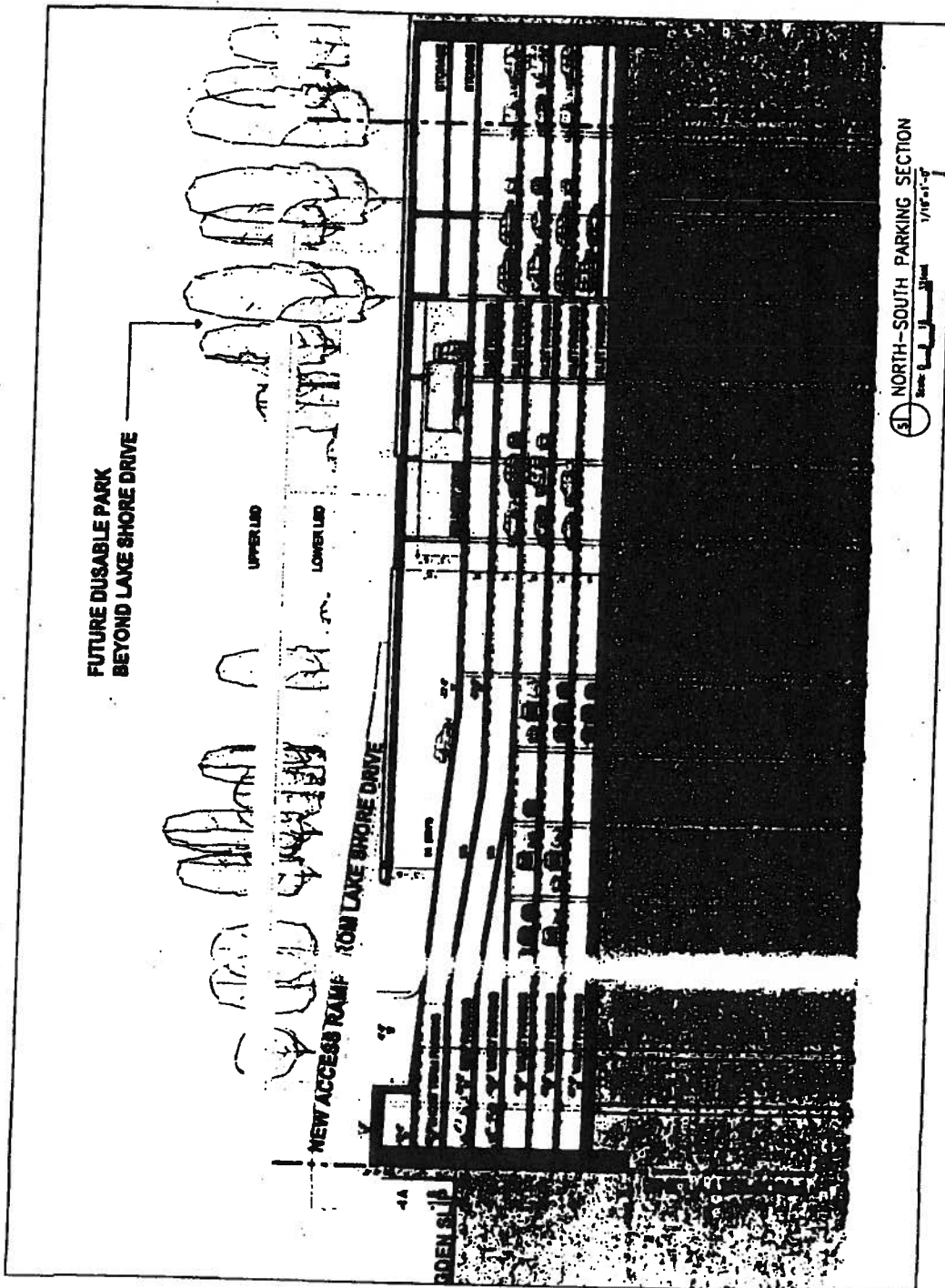


Exhibit 22.

Lake Point Trail Alignment Alternate 1.

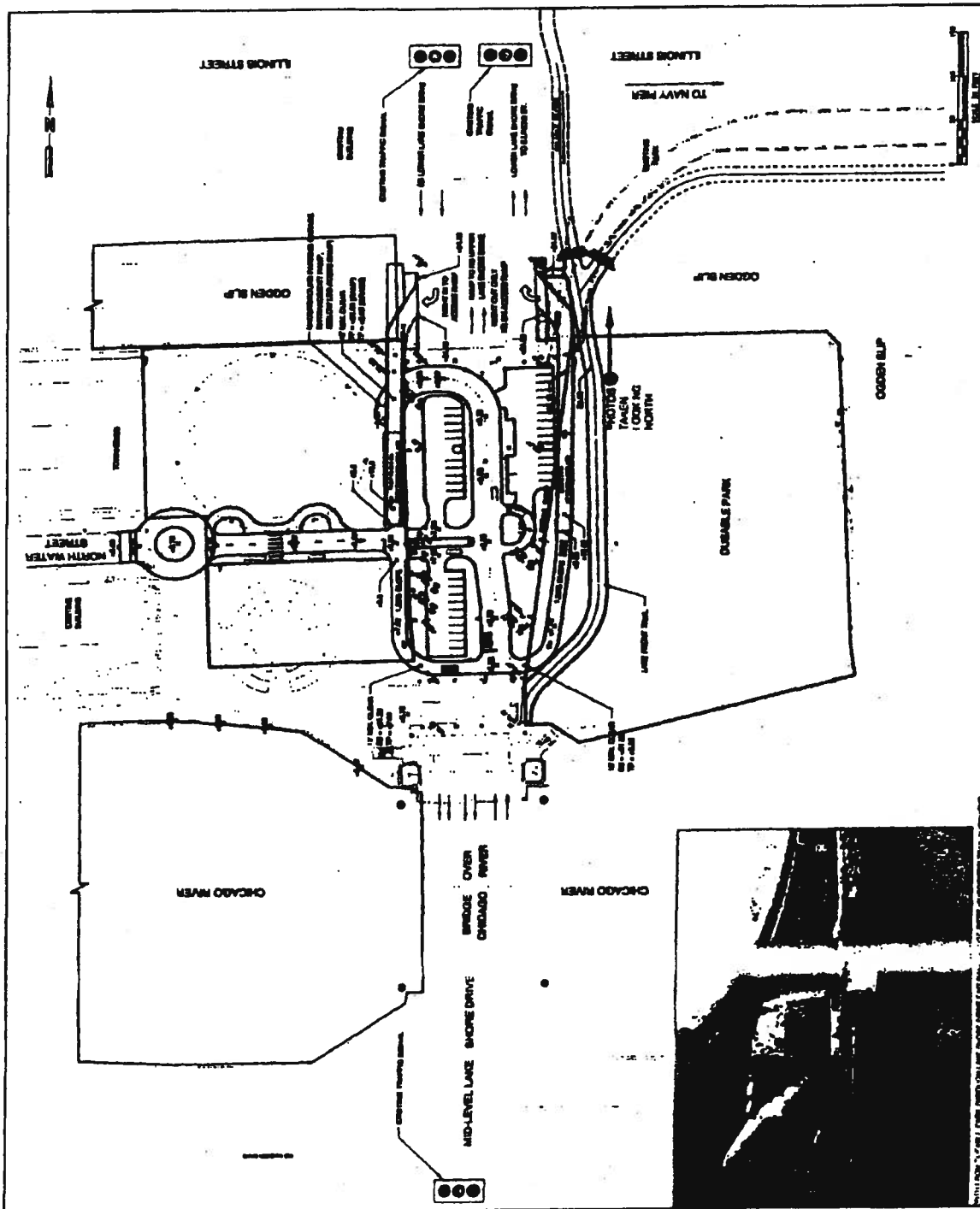
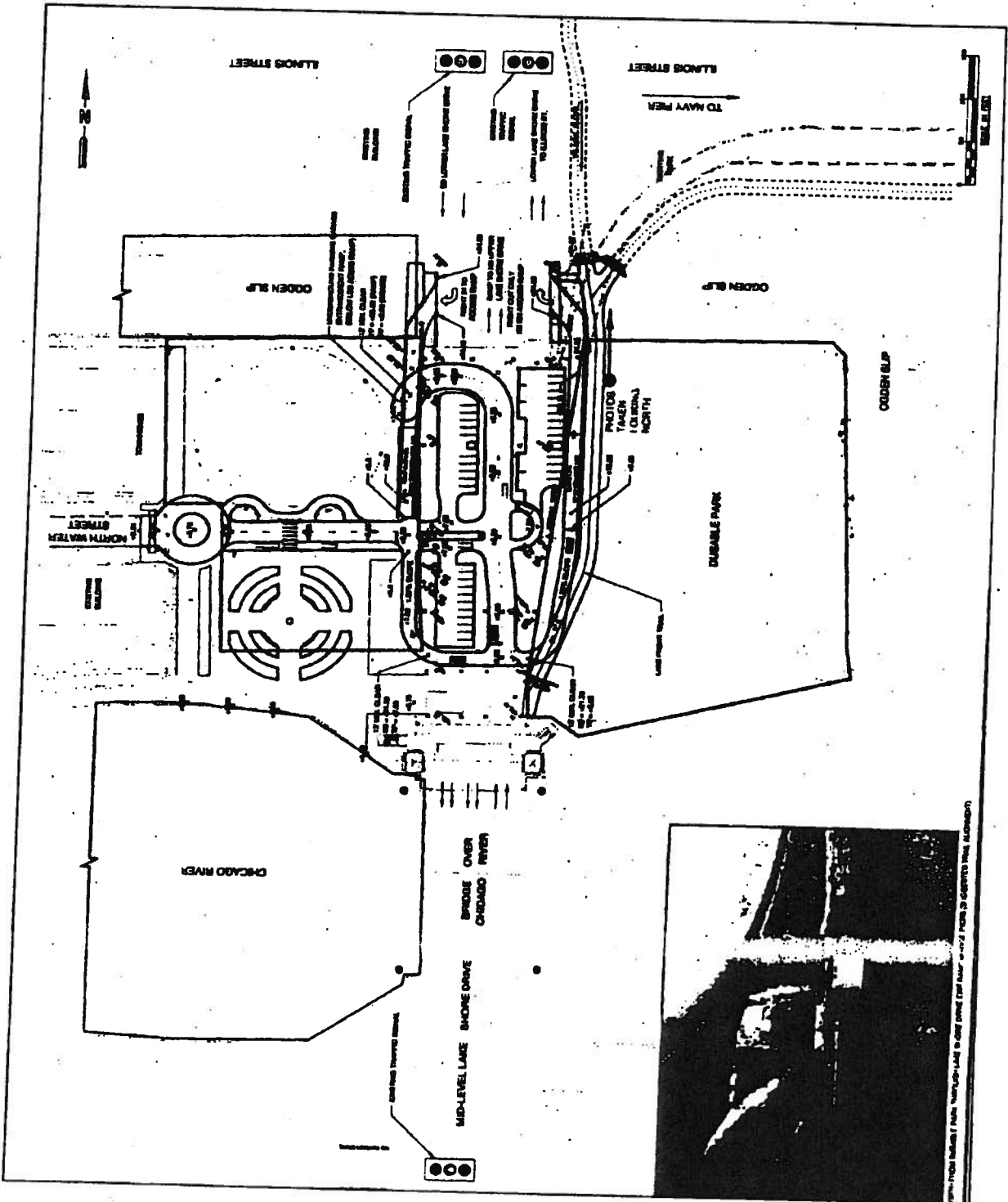
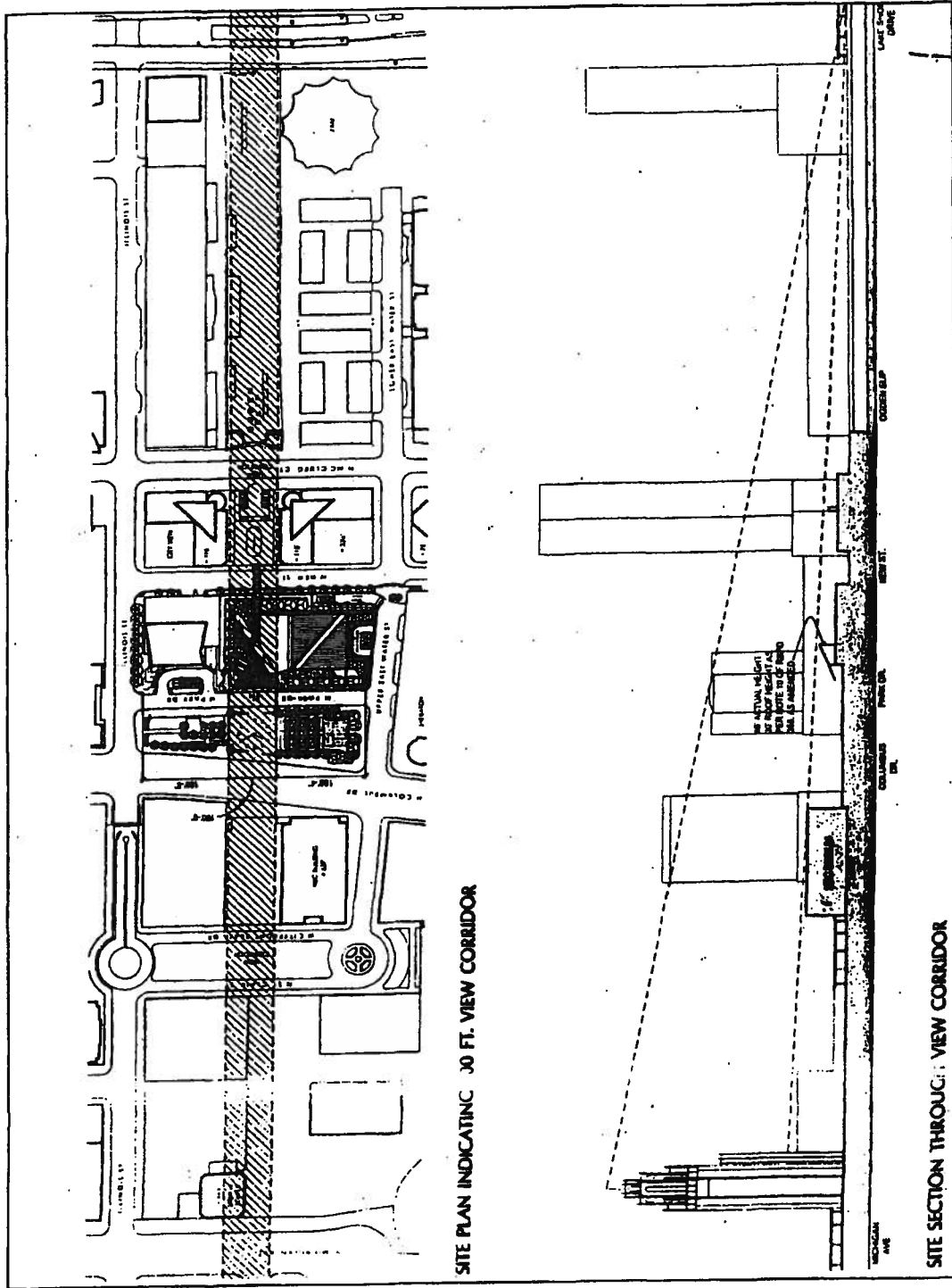


Exhibit 23.

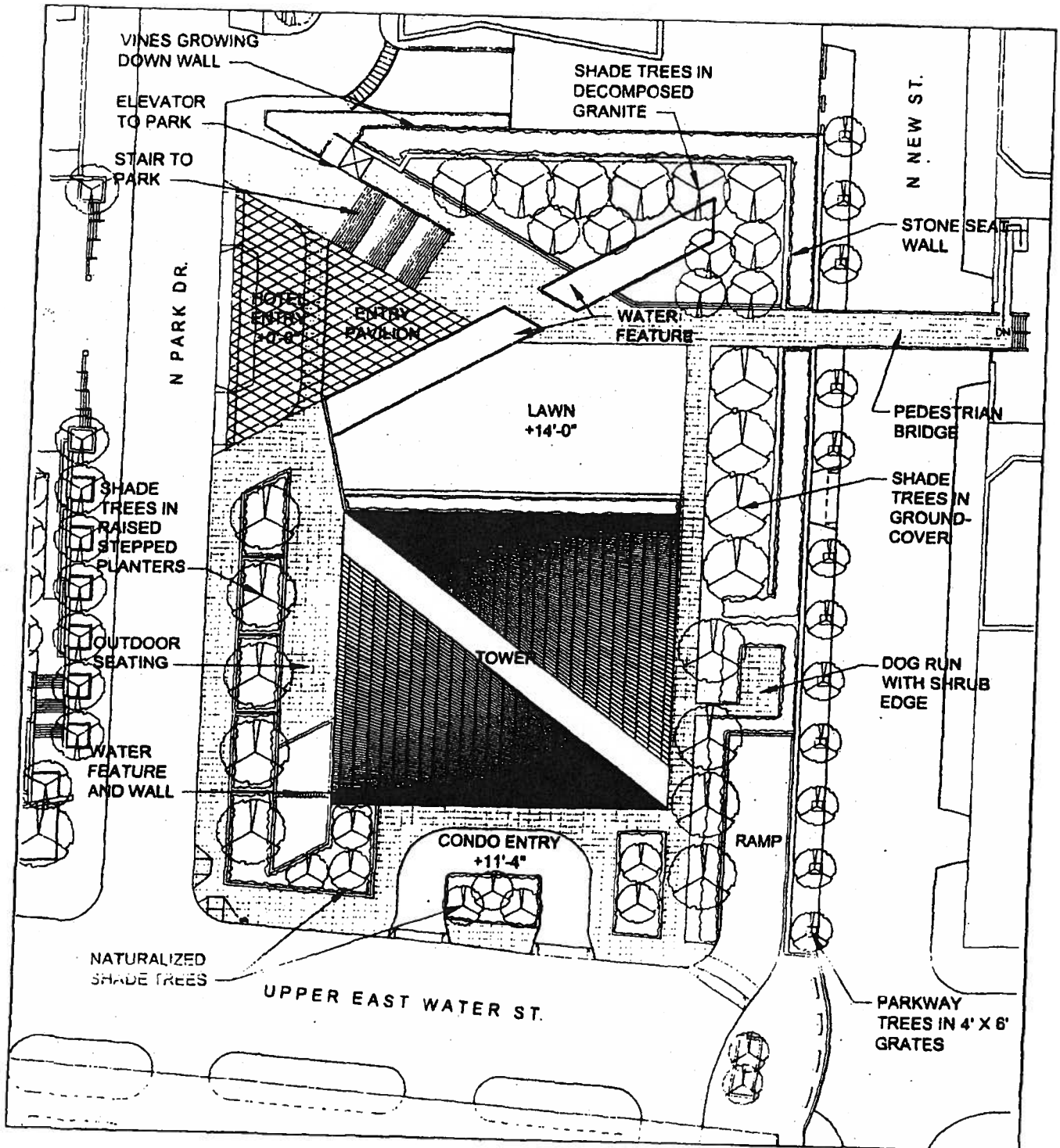
Lake Front Trail Alignment Alternate 2.



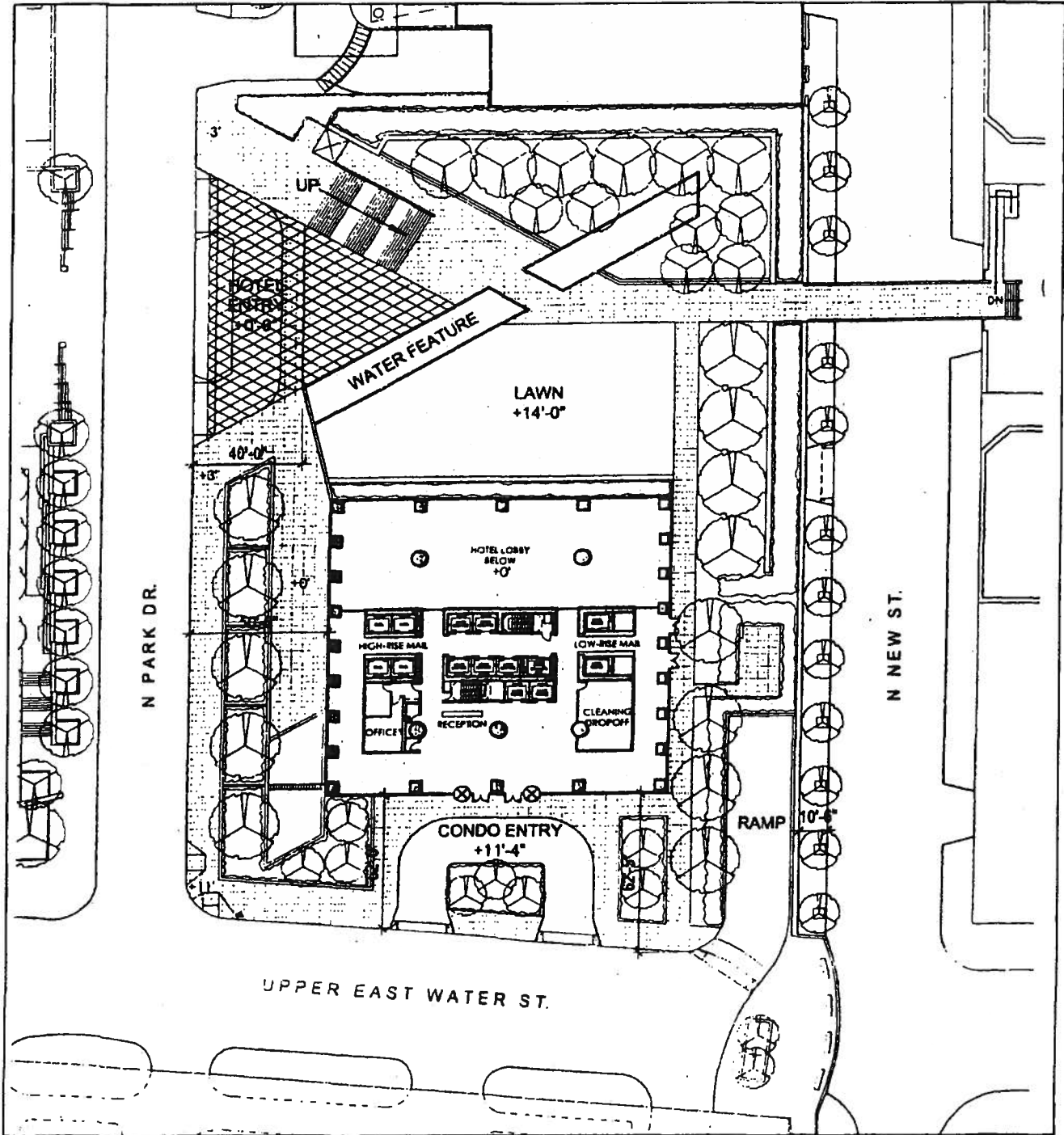
View Corridor Program.



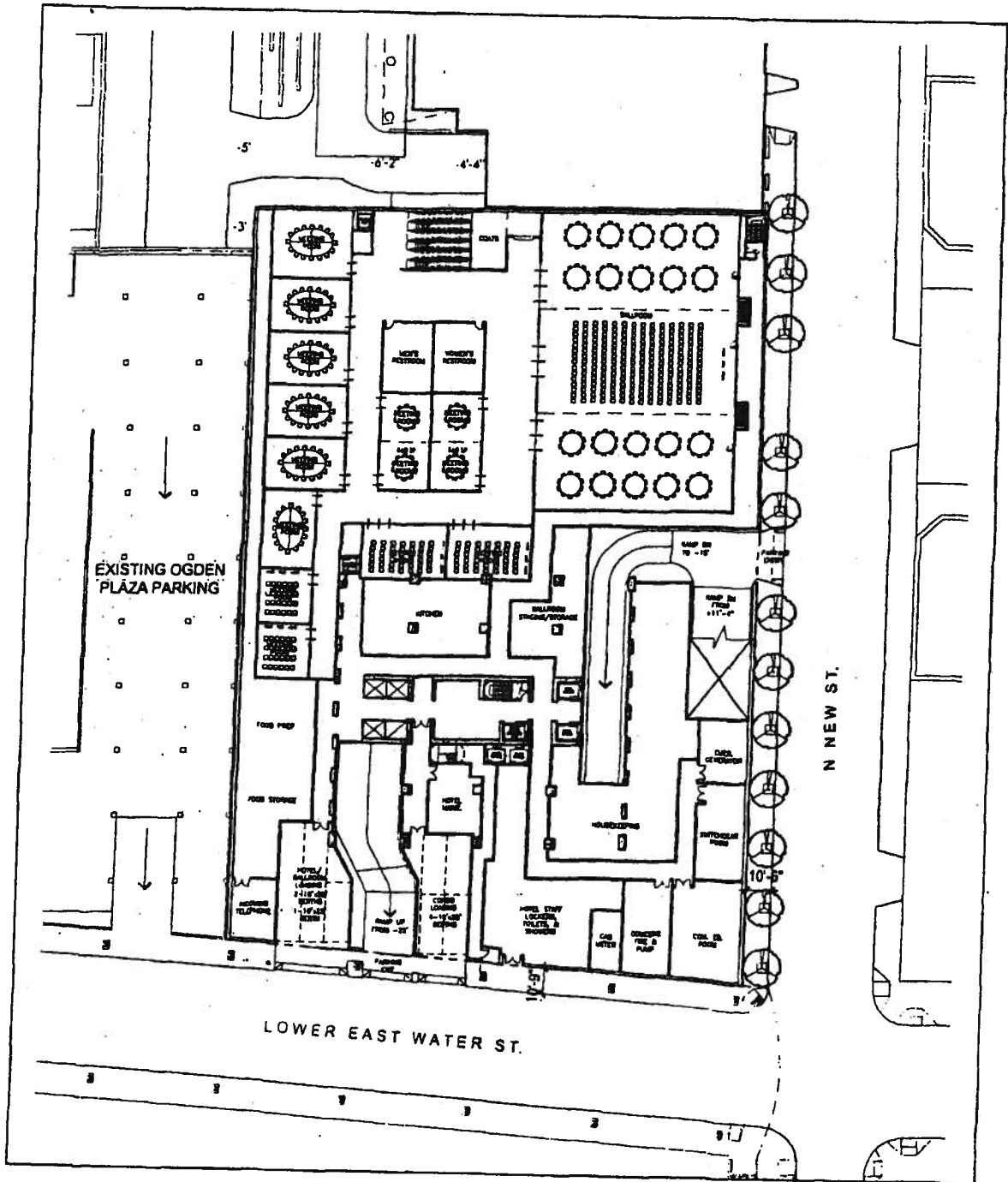
Landscape Plan.



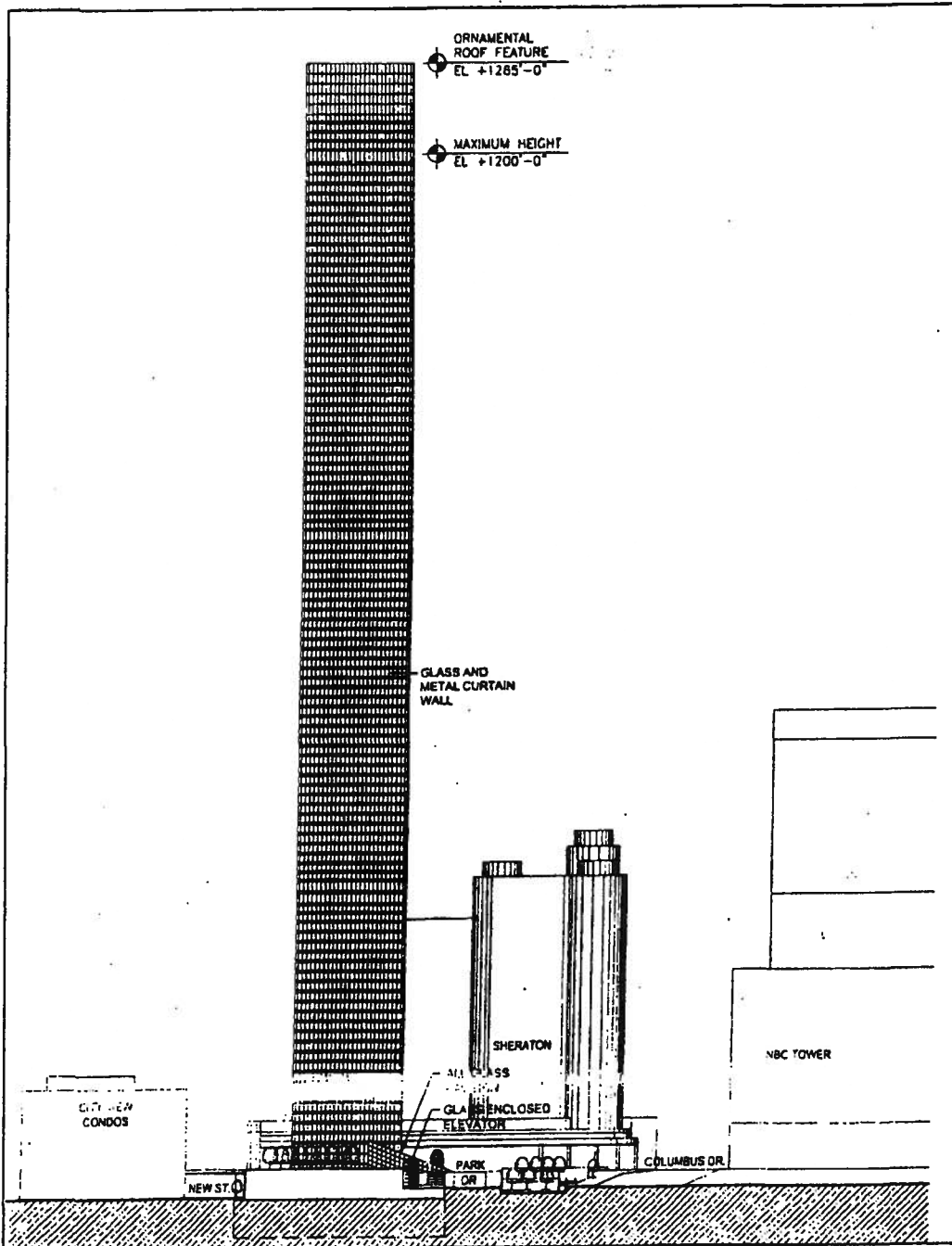
Upper East Water Street Plan.



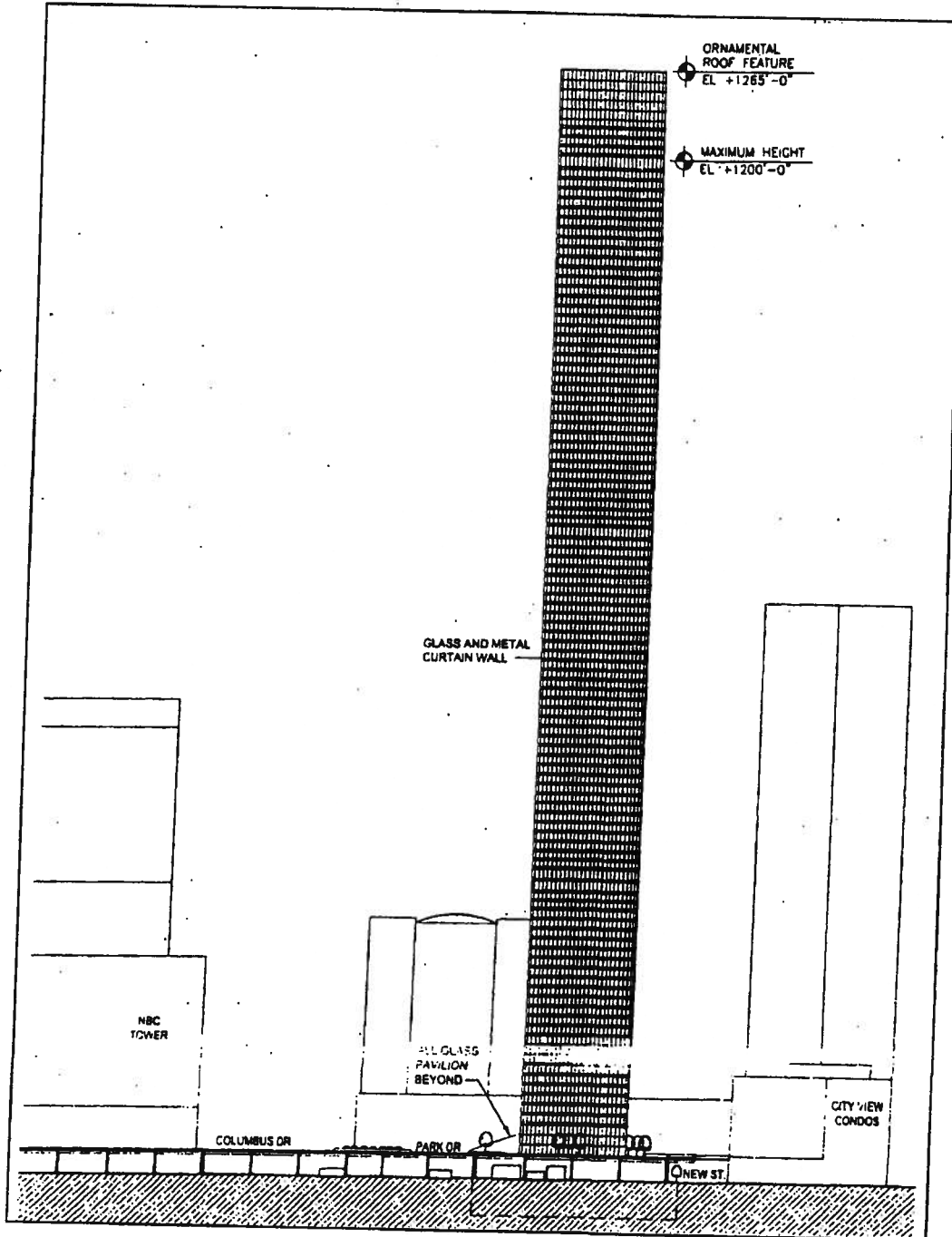
Lower East Water Street Plan.



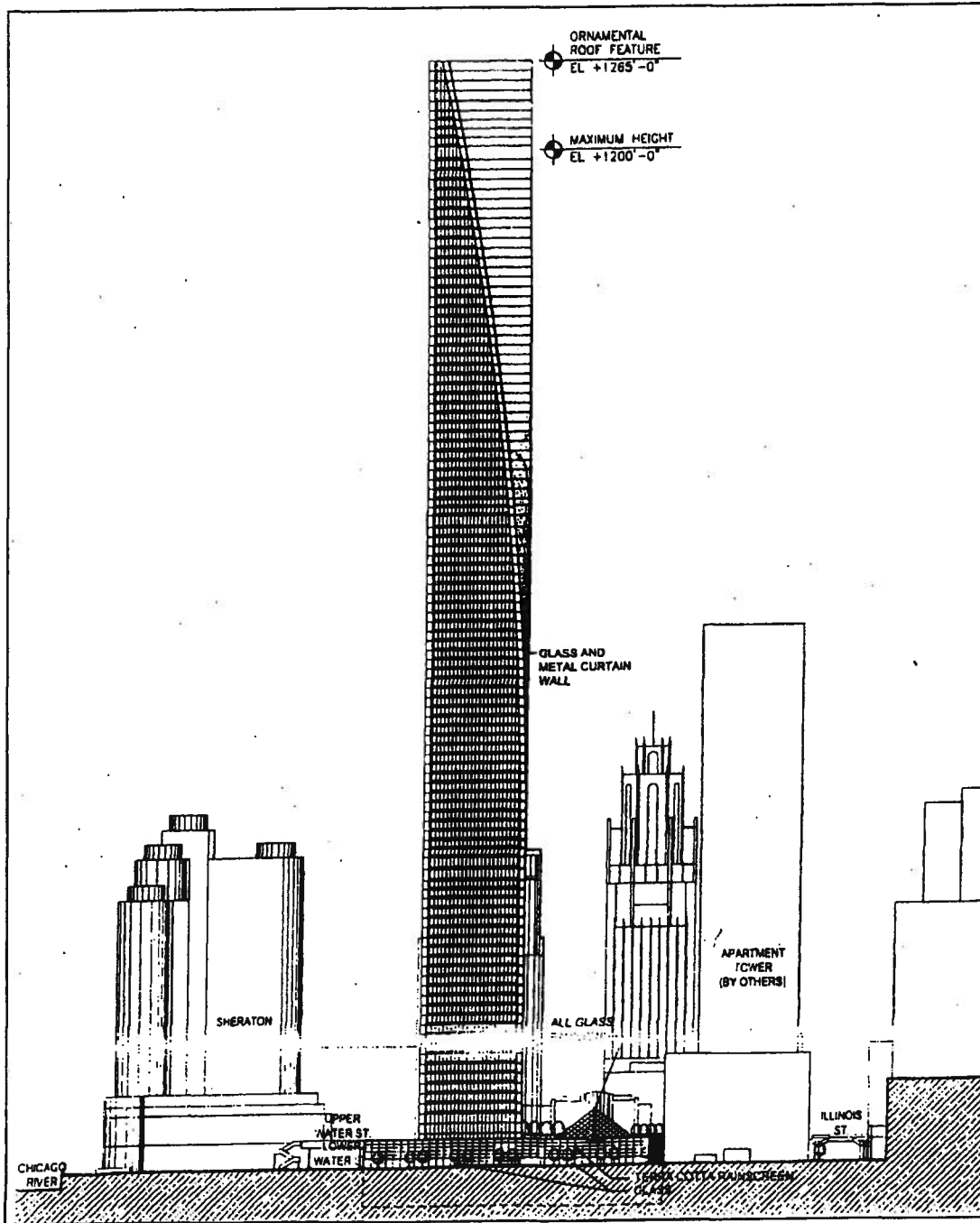
North Elevation.



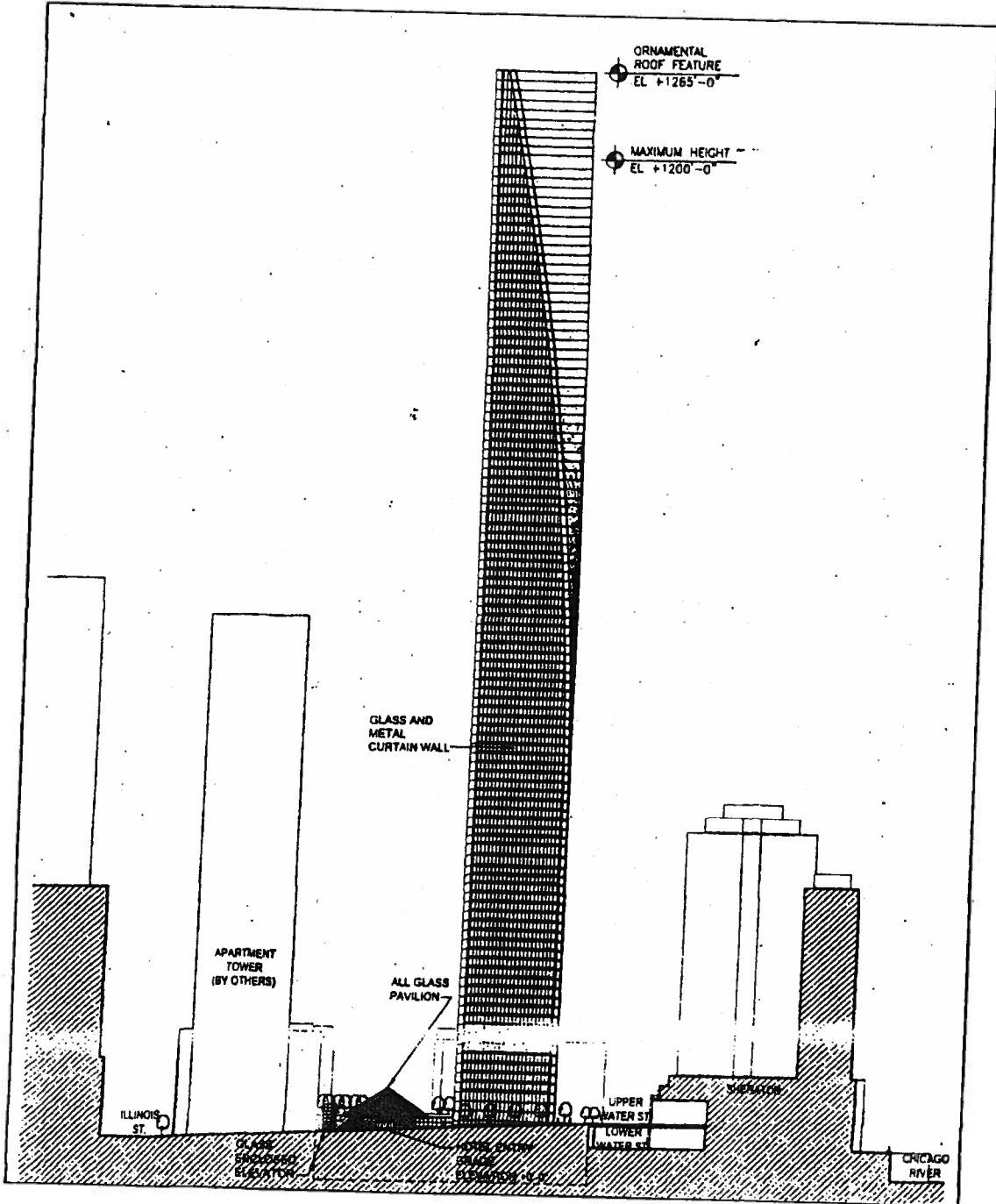
South Elevation.



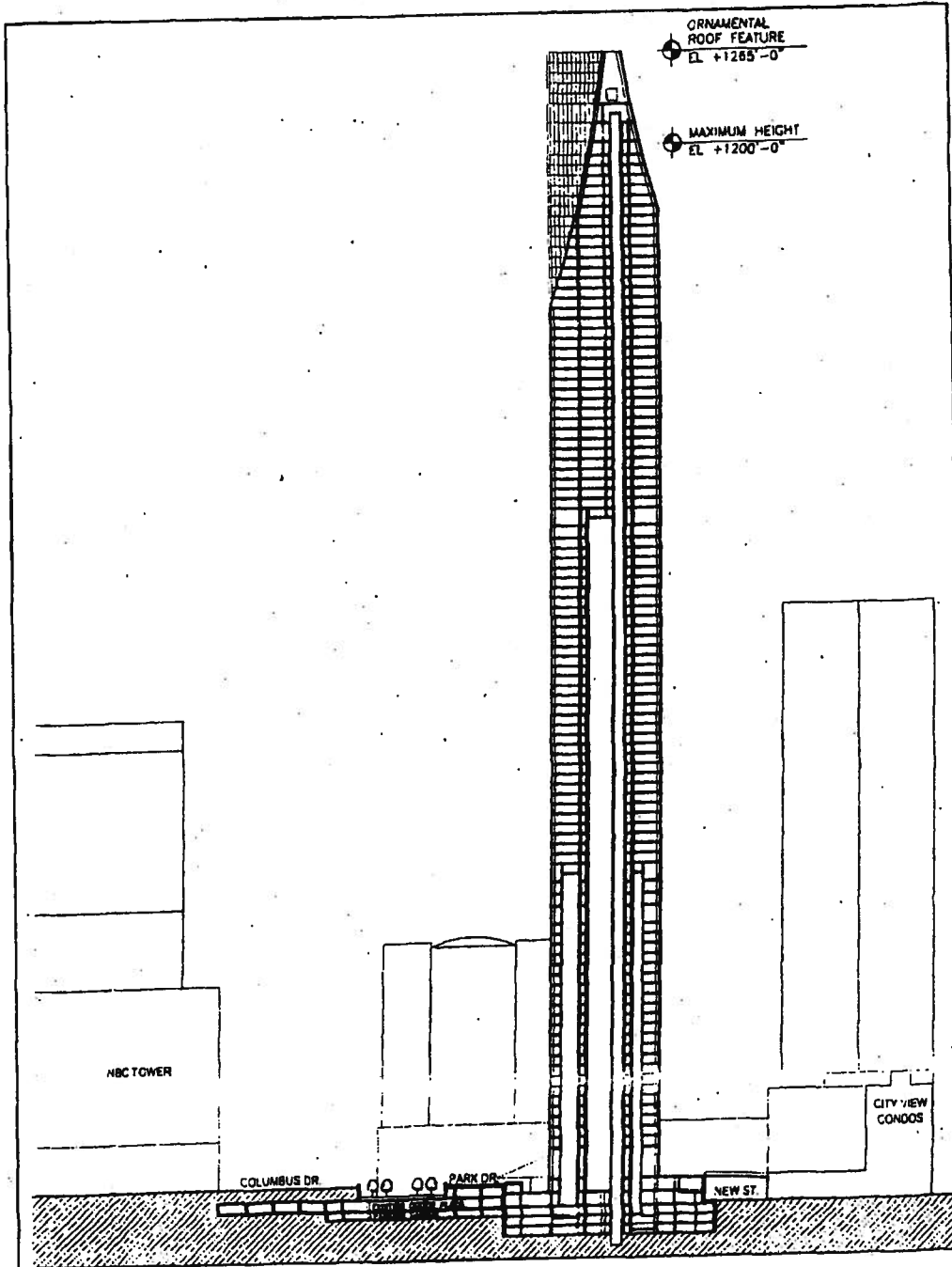
East Elevation.



West Elevation.

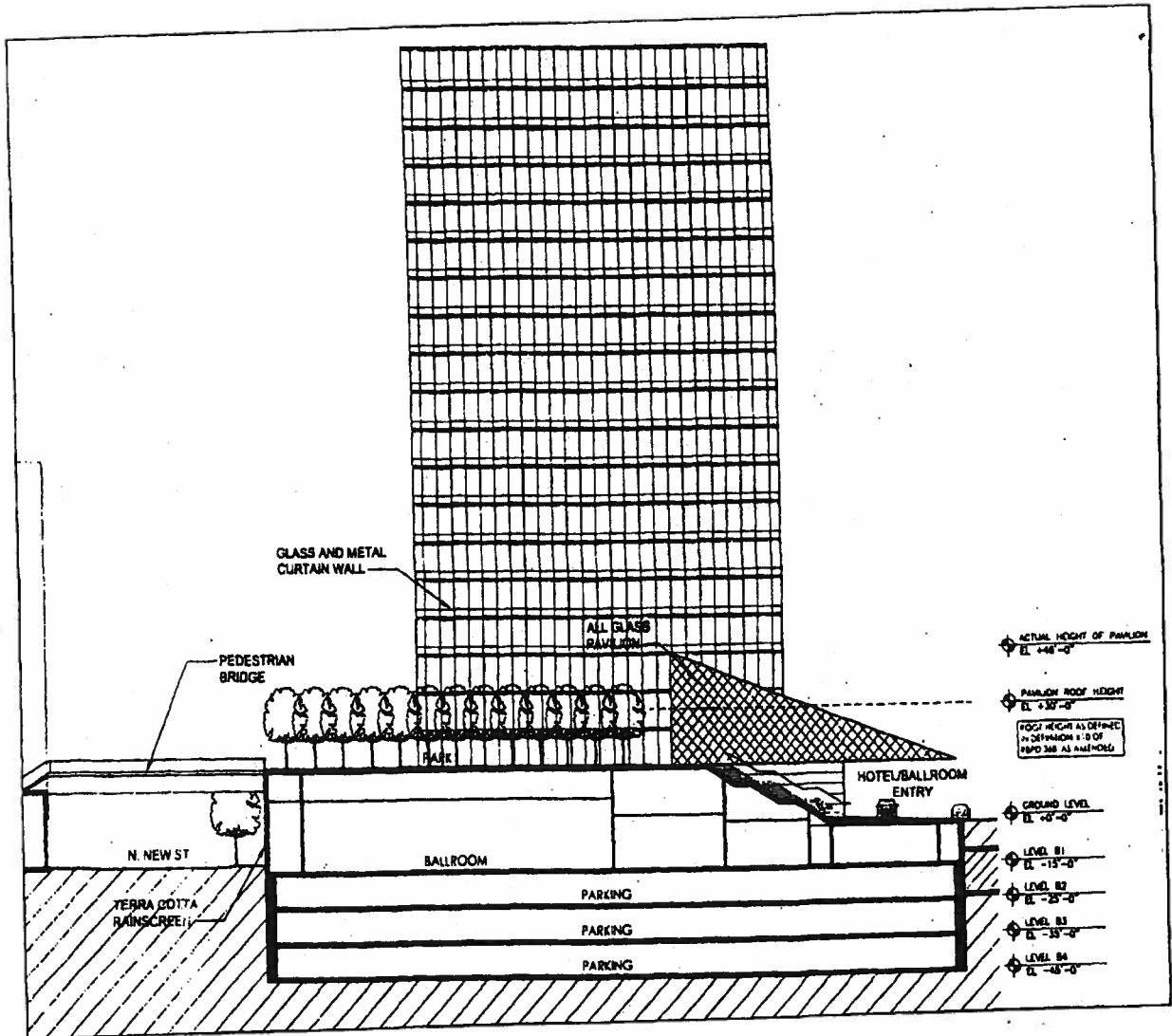


Building Section.





Partial East/West Section.



E.D.S. Recertification.

(DO NOT SUBMIT THIS PAGE WITH YOUR EDS. The purpose of this page is for you to recertify your EDS prior to submission to City Council or on the date of closing. If unable to recertify truthfully, the Disclosing Party must complete a new EDS with correct or corrected information)

RECERTIFICATION

Generally, for use with City Council matters. Not for City procurements unless requested.

This recertification is being submitted in connection with Zoning amendment & lakefront approval for parcel 7E7A of P.D. 368 [identify the Matter]. Under penalty of perjury, the person signing below: (1) warrants that he/she is authorized to execute this EDS recertification on behalf of the Disclosing Party, (2) warrants that all certifications and statements contained in the Disclosing Party's original EDS are true, accurate and complete as of the date furnished to the City and continue to be true, accurate and complete as of the date of this recertification, and (3) reaffirms its acknowledgments.

TFC Park Street LLC  
(Print or type legal name of Disclosing Party)

Date: 4/18/08

By: [Signature]  
(sign here)

Print or type name of signatory:  
Chris Carley

Title of signatory:  
Managing A/R

Signed and sworn to before me on [date] April 16, 2008 by [Signature] at COOK County, ILLINOIS [state].

Vinicia Berry Notary Public.

Commission expires: 11/29/09

