

Reclassification Of Area Shown On Map No. 8-1.
 (As Amended)
 (Application No. 18327)
 (Common Address: 3791 S. Archer Ave.)

[SO2015-1391]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 8-1 in the area bounded by:

South Archer Avenue; a line 76 feet northeast of and almost parallel to South Campbell Avenue; the public alley next southeast of and parallel to West Archer Avenue; and a line 52 feet northeast of and almost parallel to South Campbell Avenue,

to those of a B1-1 Neighborhood Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification Of Area Shown On Map No. 8-1.
 (As Amended)
 (Application No. 18352)
 (Common Address: 3600 -- 3636 S. Western Ave.)

RT4.5

[SO2015-2620]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing the Residential Planned Development Number 990 designation as shown on Map Number 8-1 in the area bounded by:

a line beginning at the western right-of-way of South Western Avenue extending westward along West 36th Street 498.04 feet; a line beginning at the southerly right-of-way of West 36th Street extending southward along South Western Avenue 442.46 feet; the Chicago and Alton Railroad Line which is located immediately north of the Joliet and Chicago Railroad Line; and the Chicago Junction Railway Company Line,

to the designation of an RT4.5 Residential Multi-Unit District.

16828

80940

JOURNAL--CITY COUNCIL--CHICAGO

12/2/2009

*Reclassification Of Area Shown On Map Number 8-1.
(As Amended)
(Application Number 16828)
(Common Address: 3600 S. Western Ave.)*

[SO2009-6275]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing the Residential Planned Development Number 990 designation as shown on Map Number 8-1 in the area bounded by:

a line beginning at the western right-of-way of South Western Avenue extending westward along West 36th Street, 498.04 feet; a line beginning at the southernly right-of-way of West 36th Street extending southward along South Western Avenue, 442.46 feet; the Chicago and Alton Railroad line which is located immediately north of the Joilet and Chicago Railroad line; and the Chicago Junction Railway Company Line,

to the designation of a B3-3 and then to Residential-Business Planned Development Number 990, as amended, which is hereby established in the area described, subject to such use and bulk regulations as set forth in the Plan of Development attached hereto and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 990

RBPD 990, 99

Plan Of Development Statements.

- 1 The area delineated herein as a Residential-Business Planned Development (the "Planned Development") consists of approximately three hundred fifteen thousand one hundred forty-five (315,145) square feet (seven and twenty-three hundredths (7.23 acres)) of Gross Site Area, and two hundred forty-seven thousand nine hundred fifty-one (247,951) square feet (five point six nine (5.69 acres)) Net Site Area which is depicted on the attached planned development Property Line Map (the "Property"). The Property is owned and controlled by 3600 South Western, L.L.C. ("Applicant") which has applied to rezone the Property.
- 2 Applicant shall obtain all applicable official reviews, approvals or permits that are necessary to implement this Planned Development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-ways, or consolidation or resubdivision of parcels, shall require a separate submission on behalf of the applicant or its successors, assignees or grantees and approval by the City Council.
- 3 The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns, grantees

and lessees and, if different than the applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal title owner and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, the Property shall be under single ownership or under single designated control. Single designated control for the purpose of this paragraph has the same meaning stated in Section 17-8-0400 of the Chicago Zoning Ordinance ("Zoning Ordinance").

4. This Plan of Development consists of these seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Site Plan; a Landscape Plan; a Planned Development Boundary and Property Line Map; and Building Elevations dated November 19, 2009, prepared by Hartshorne Plunkard Architecture. In any instance where a provision of this planned development conflicts with the Chicago Building Code, the Building Code shall apply. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Zoning and Land Use Planning. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto and satisfies the established criteria for approval as a planned development. In case of a conflict between the terms of this planned development ordinance and the Zoning ordinance, this planned development ordinance shall apply.
5. The following uses shall be permitted within the area delineated herein as a "Residential-Business Planned Development": all permitted uses in the B3-3 District, and the following allowed uses: dwelling units located on the ground floor in buildings identified on the site plan as B-01 thru B-05; artist work and sales space; artist live/work space located above the ground floor in buildings A1 through A-4; veterinary services including boarding facilities light equipment sales and rental, including outdoor rentals limited to a maximum of five (5) vehicles; community centers; job or professional training schools including art and driving schools; loading, accessory and related uses. The following uses shall not be permitted: schools, colleges and universities, free standing wireless communication towers.
6. On-Premise signs and temporary signs such as construction and marketing signs shall be permitted within the planned development subject to the review and approval of the Department of Zoning and Planning (D.Z.P.). Off-Premise signs are prohibited within the boundary of the planned development. For purposes of determining permitted signage within the planned development, the Commissioner shall view frontage along Private Drive Number 1 as street frontage. The free standing sign structure located at the center entrance along Western Avenue shall be no taller than the height of the adjoining buildings.
7. Off-street parking, fire lanes and loading facilities shall be provided in compliance with the planned development site plan, subject to the review and approval of the Department of Transportation and Department of Zoning and Land Use Planning.
8. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Zoning and Land Use Planning. All work

proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Department of Transportation. The applicant shall be responsible for providing adequate signage for addressing and way-finding within the planned development. All roadways within the planned development will be private roadways to be designed and built consistent with the applicant's engineering plans as approved by C.D.O.T.. Applicant shall be responsible for maintaining all interior private roadways in good and adequate condition.

9. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building or any appurtenance attached shall not exceed the height established in the Bulk Regulations and Data Table and Building Elevations and shall also be subject to height limitations established by the Federal Aviation Administration.
10. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Data and Regulations Table. For purposes of Floor Area Ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply.
11. The City of Chicago established a Part II Review Fee in the amount of Zero and 25/100 Dollars (\$0.25) per square foot for the total buildable square feet (floor area). The Part II Review fee will be assessed by the Department of Zoning and Land Use Planning during the actual Part II Review. The fee as determined by the Department of Zoning and Land-Use Planning staff at that time is final and binding on the applicant and must be paid to the Department of Zoning and Land Use Planning prior to the issuance of any Part II Approval. At the time of Part II submittal pursuant to Chapter 17-13-0610 of the Chicago Zoning Ordinance, if the submitted Part II Plans do not conform to the attached exhibits, specifically the Site Plan, Landscape Plan and Elevations, the applicant shall request a minor change under Chapter 17-13-0611. Notwithstanding the above, the applicant's permit fees shall be reduced by the full amount as provided by ordinance for each affordable housing unit built, and as may be provided in any Redevelopment Agreement to be entered into by applicant relating to the Property.
12. The improvements on the Property, including landscaping and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site/Landscape Plan and Building Elevations prepared by Hartshorne Plunkard Architecture dated November 19, 2009, all of which are attached hereto and made a part hereof. Landscaping shall be provided, installed and maintained in accordance with the provisions of the Chicago Zoning Ordinance or as otherwise approved administratively by the Department of Zoning and Land Use Planning and reflected on the attached Site and Landscape Plans. Maintenance of all landscaped areas included within the Planned Development shall be the responsibility of applicant, which shall maintain all landscaping in conformance with applicable provisions of the Chicago Landscape Ordinance.
13. The terms, conditions and exhibits of this planned development Ordinance may be modified administratively by the Commissioner of the Department of Zoning and Land Use Planning upon the written application for such a modification by the applicant or its successors or assigns; and after a determination by the Commissioner of the Department of Zoning and Land Use Planning that such a modification is minor,

appropriate and consistent with the nature of the improvements contemplated in the planned development and the purpose's underlying the provisions hereof. Any such modification of the requirements of this planned development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.

14. The applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
15. Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner that provides healthier environments, reduces operating costs and conserves energy and resources. All buildings located on the property must achieve building certification using one of the City of Chicago Green Matrix Building Rating Options including Leadership in Energy and Environmental Design ("L.E.E.D."), Chicago Green Homes or Energy Star. The applicant must also provide a vegetative ("Green") roof on approximately fifty percent (50%) or twenty thousand four hundred thirty-three (20,433) square feet of the Net Building Roof Area of the mixed-use buildings identified as Buildings A1 through A4 of the Site Plan. The term "Net Building Roof Area" shall be defined as the roof area of the existing loft building on the property minus any perimeter setbacks required by this planned development, and designated rooftop uses, rooftop structures and roof-mounted equipment.
16. The applicant acknowledges that it is in the public interest to design, construct, and maintain the project in a manner that promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote a high standard of accessibility.
17. Unless substantial construction of the improvements contemplated within this planned development has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to the prior use and bulk regulations as set forth in Planned Development 990. This six (6) year period may be extended for up to one (1) additional year if, before expiration of the six (6) year period, the Commissioner of Zoning and Land Use Planning that there exists good cause for an extension.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Site Plan; McKinley Park Village; Landscape Plan and Plant List; Planting Details; Green Roof Plan and Schedule; Green Roof Details; Building Elevations; and Chicago Builds Green Form referred to in these Plan of Development Statements printed on pages 80945 through 80959 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

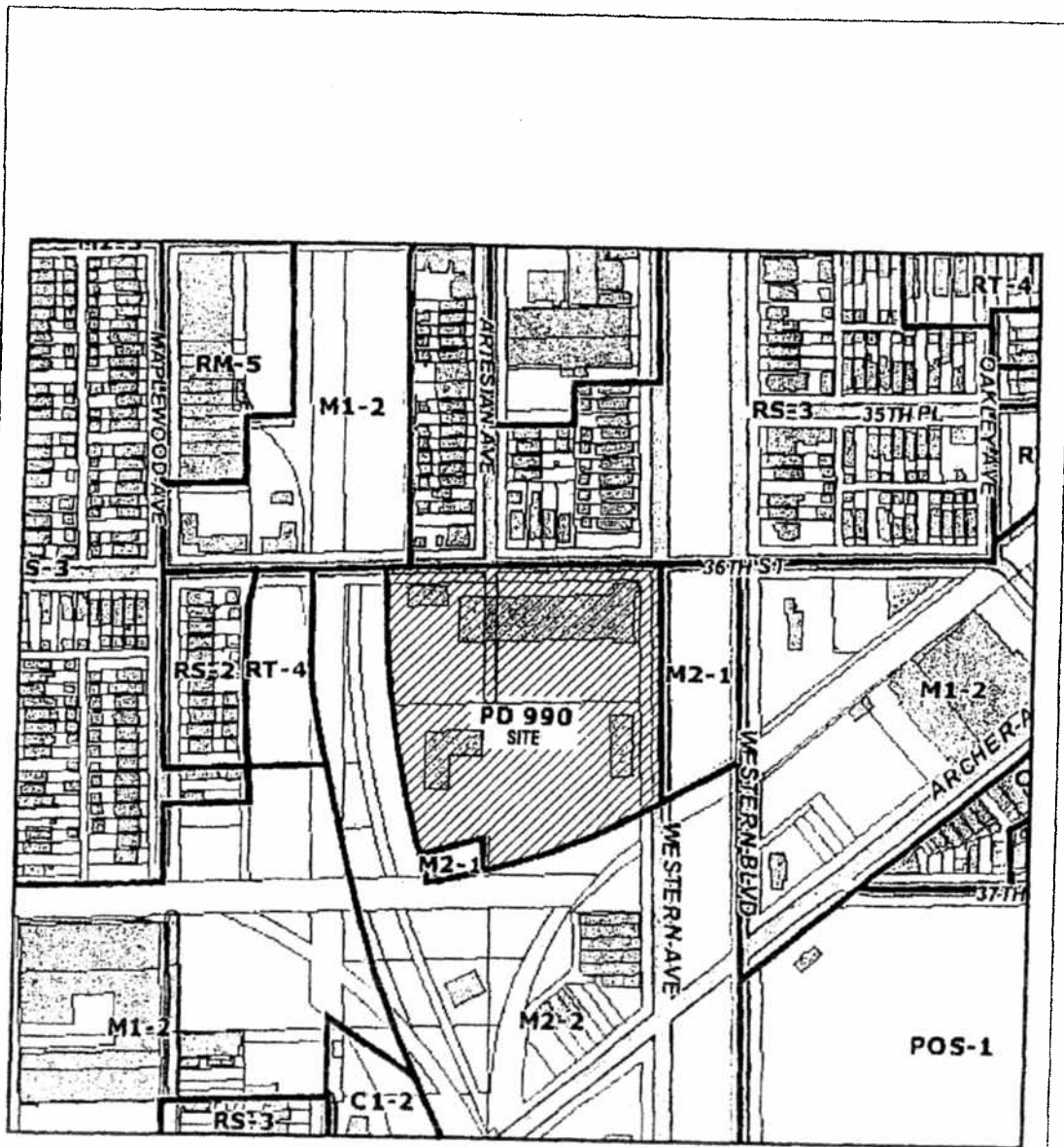
16828

Bulk Regulations And Data Table.

Amended Residential-Business Planned Development No. 990.

	TOTAL
Net Site Area:	247,951 square feet (5.69 acres)
Public R.O.W. Net Area:	69,771 square feet (1.60 acres)
Gross Site Area:	315,145 square feet (7.23 acres)
Maximum Floor Area Ratio (F.A.R.):	2.2
Maximum Number of Dwelling Units:	337 Dwelling unit Distribution subject to final engineering and Market Conditions.
Accessibility Off-Street Parking Spaces:	367 (If revisions are required by another city agency at the time of building permit applications or if the quantity of dwelling units or commercial area is reduced, the number of parking spaces may also be reduced, provided the approved ratio is generally maintained.)
Off-Street Loading Spaces:	5 (see Site Plan)
Maximum Site Coverage:	42% (per approved Site Plan)
Minimum Lot Area (M.L.A.) Per Dwelling Unit:	736 square feet
Minimum Periphery Setbacks:	0 feet (per approved Site Plan)
Maximum Building Height:	49 feet, 0 inches (subject to change pending final structural design.)

Existing Zoning Map.

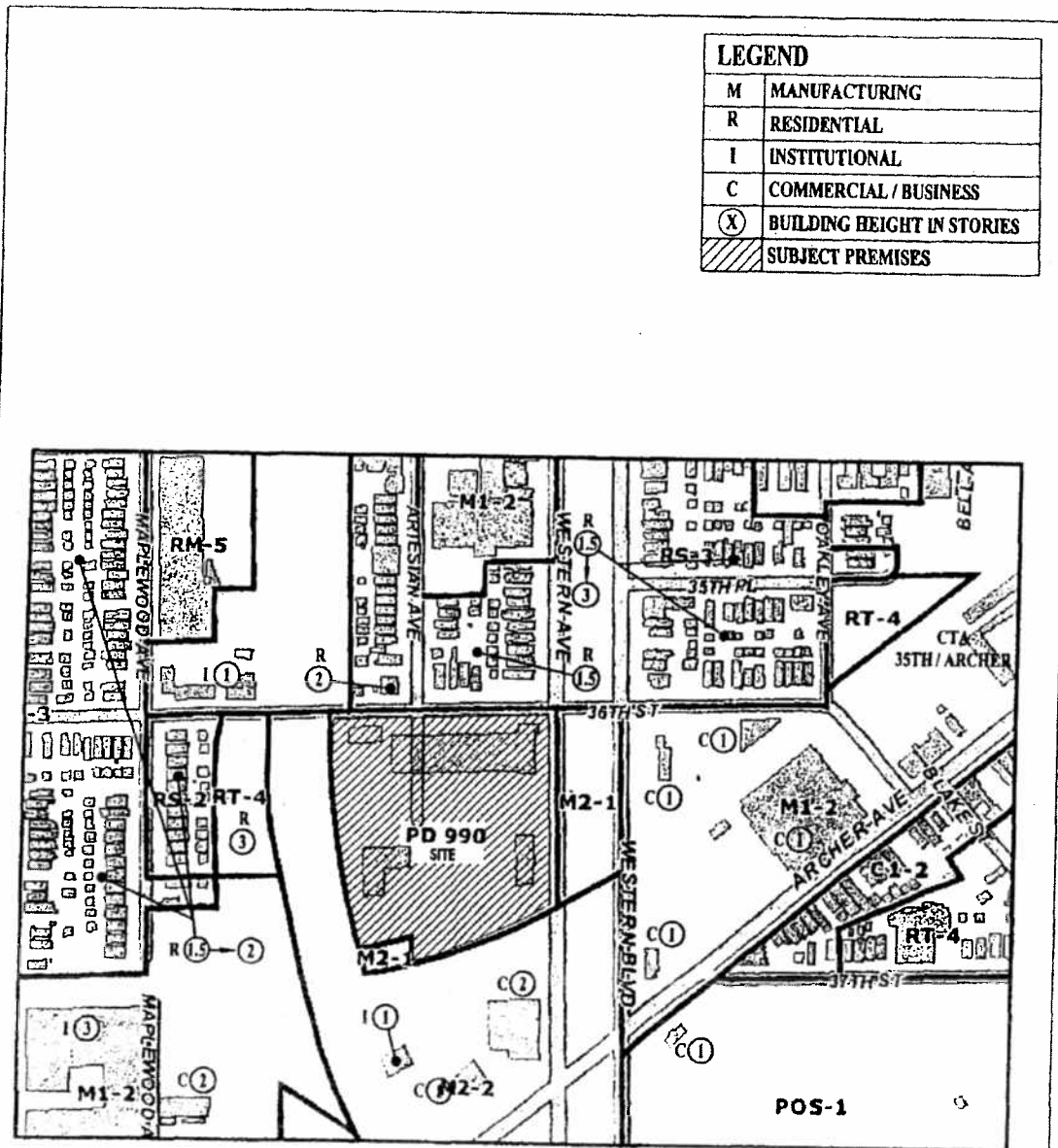


① ZONING MAP
N.T.S.



APPLICANT: 3600 S WESTERN L.L.C.	DRAWING	EX. #
ADDRESS: 3600-3636 S WESTERN AVE., CHICAGO, IL	EXISTING ZONING MAP	2
DATE SUBMITTED: OCTOBER 8, 2009		
DATE REVISED: NOVEMBER 19, 2009		

Existing Land-Use Map.



1 LAND USE MAP
N.T.S.

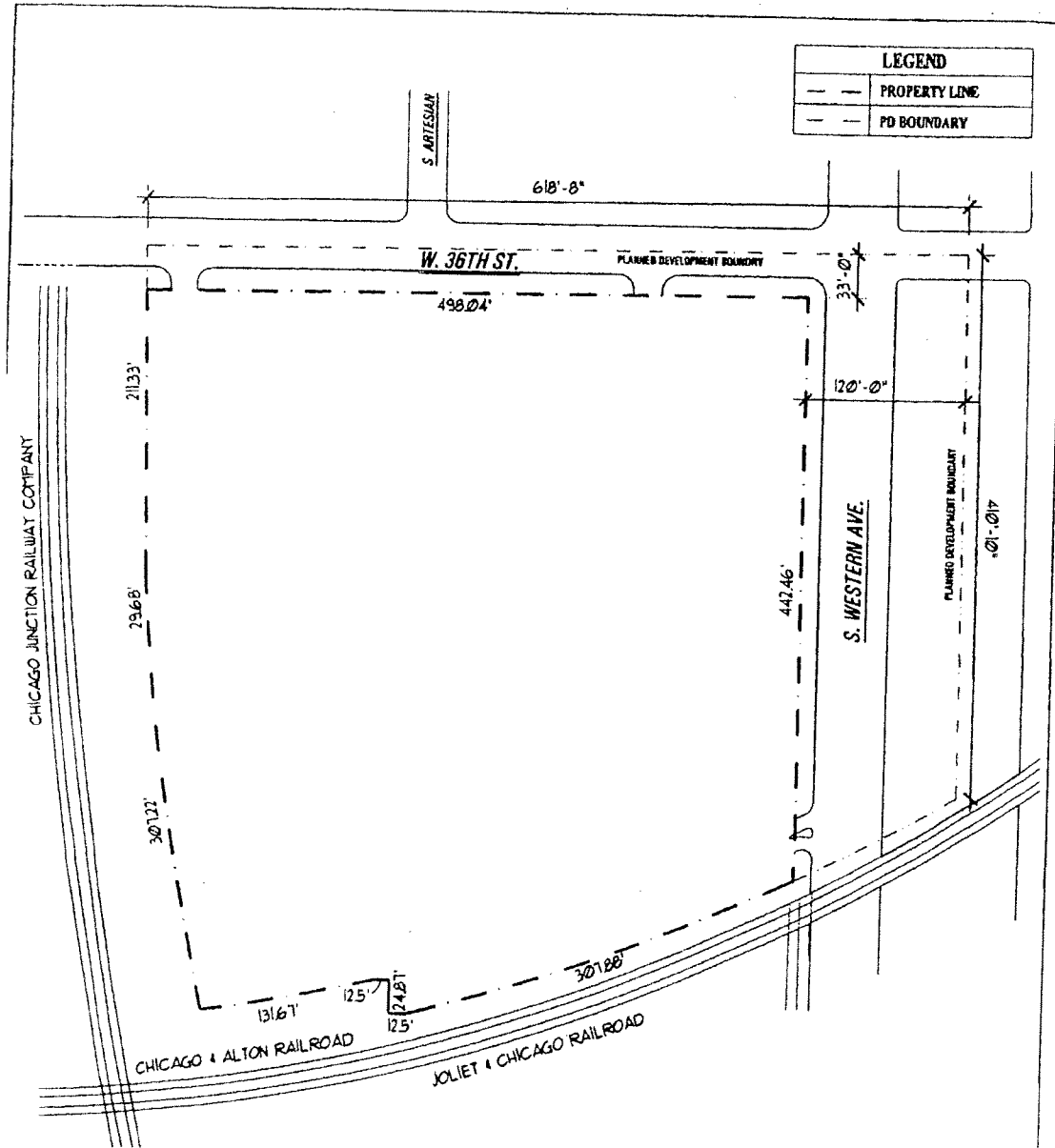


APPLICANT:	3600 S WESTERN L.L.C.
ADDRESS:	3600-3636 S WESTERN AVE., CHICAGO, IL
DATE SUBMITTED:	OCTOBER 8, 2009
DATE REVISED:	NOVEMBER 19, 2009

DRAWING
EXISTING LAND USE MAP

EX. #
3

Planned Development Boundary And Property Line Map.



① PD BOUNDARY & PROPERTY LINE MAP
N.T.S.

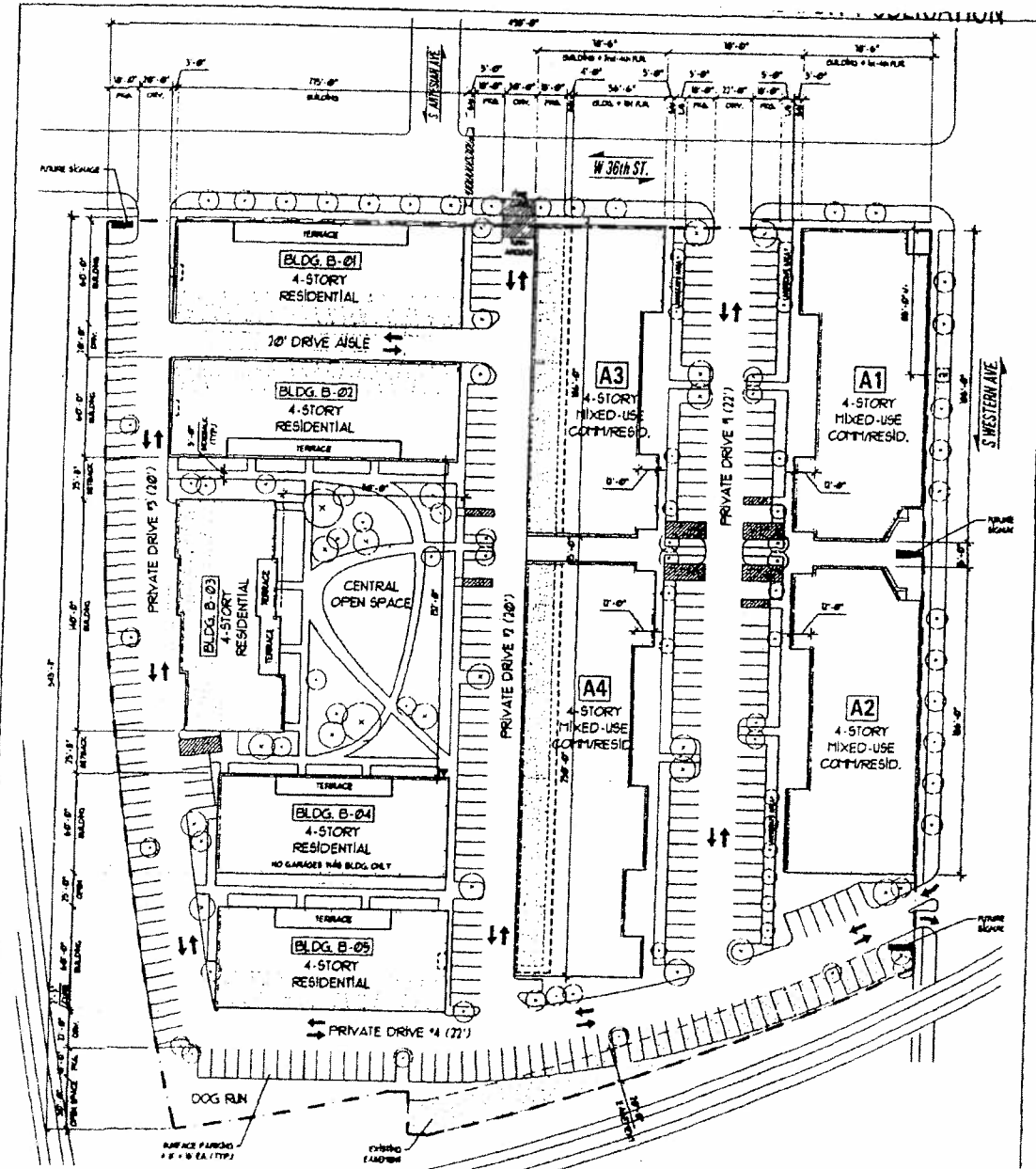


APPLICANT: 3600 S WESTERN L.L.C.
 ADDRESS: 3600-3636 S WESTERN AVE., CHICAGO, IL
 DATE SUBMITTED: OCTOBER 8, 2009
 DATE REVISED: NOVEMBER 19, 2009

DRAWING
 PLANNED DEVELOPMENT
 BOUNDARY
 & PROPERTY LINE MAP

EX. #
4

Site Plan.



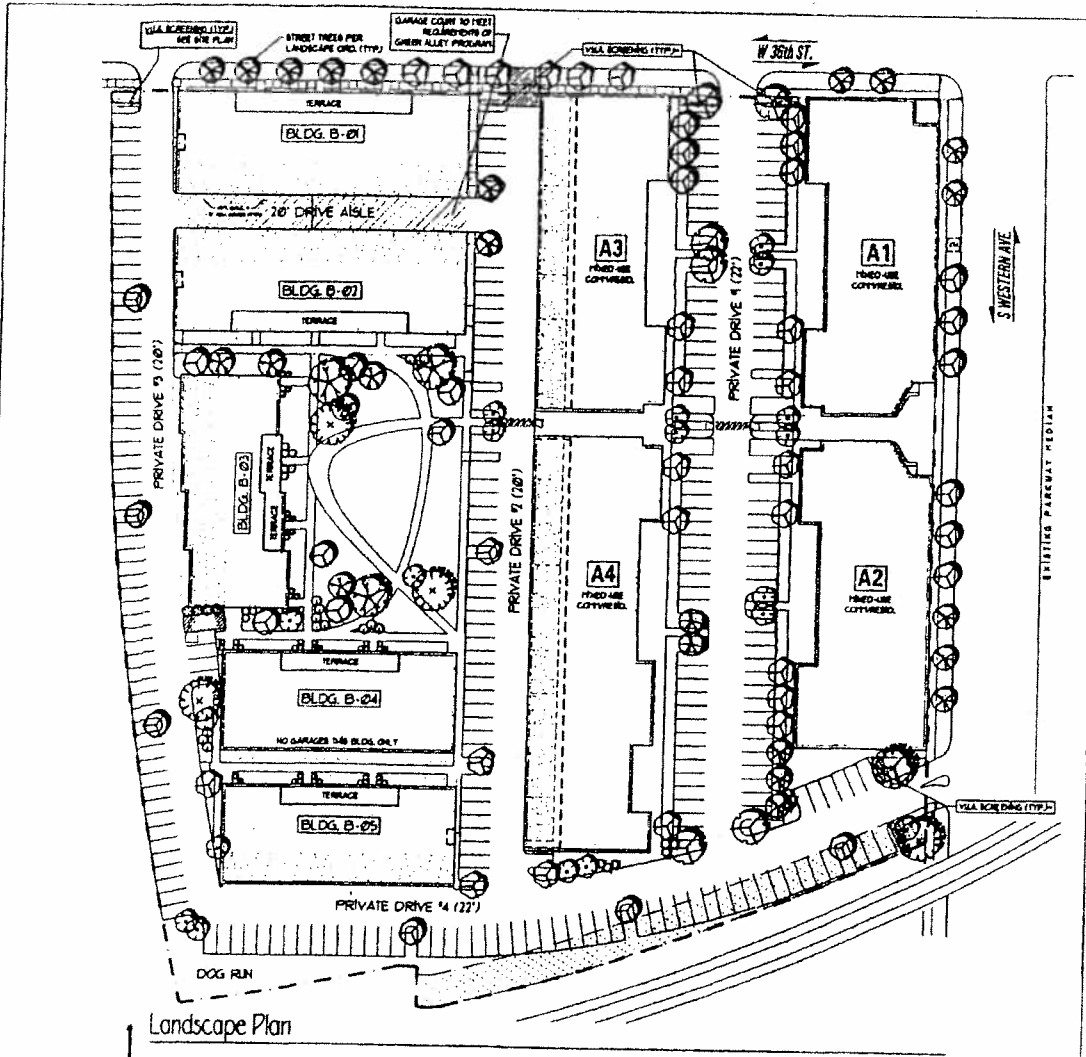
SITE PLAN
N.T.S.

APPLICANT:	3600 S WESTERN L.L.C.
ADDRESS:	3600-3636 S WESTERN AVE., CHICAGO, IL
DATE SUBMITTED:	OCTOBER 8, 2009
DATE REVISED:	NOVEMBER 19, 2009

DRAWING
SITE PLAN

EX. #
5

Landscape Plan And Plant List.



Landscape Plan

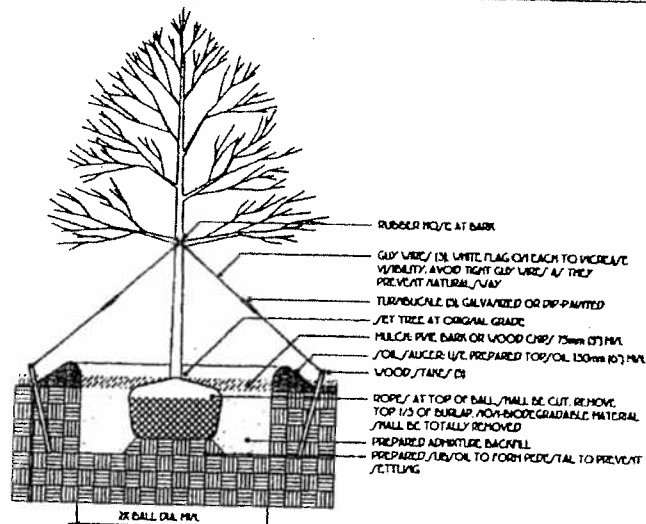
PLANT SCHEDULE		FLOWERING TREES		CONT	CAL
TREES	CONT	CAL	<i>Crataegus crusgali</i> 'Inermis' /	B & B	2.5'Cal
<i>Acer freemanii</i> 'Armstrong'	B & B	2.5'Cal	Thornless Cockspur Hawthorn		
<i>Celtis occidentalis</i> / Common Hackberry	B & B	2.5'Cal	SHRUBS	CONT	
<i>Gymnocladus dioica</i> / Kentucky Coffeetree	B & B	2.5'Cal	<i>Cornus stolonifera</i> / Dogwood	36"box	
<i>Pyrus calleryana</i> 'Chanticleer' / Chanticleer Pear	B & B	2.5'Cal	<i>Hydrangea quercifolia</i> 'Pee Wee'	5 gal	
<i>Quercus bicolor</i> / Swamp White Oak	B & B	2.5'Cal	<i>Ilex glabra</i> / Inkberry Holly	24"box	
<i>Quercus robur</i> 'Fastigiata' / Pyramidal English Oak	B & B	2.5'Cal	<i>Viburnum dentatum</i> 'Arrowwood' /		
<i>Syringa reticulata</i> 'Summer Snow' /	B & B	2.5'Cal	Arrowwood Viburnum	5 gal	
Summer Snow Japanese Tree Lilac	B & B	2.5'Cal	<i>Viburnum trilobum</i> 'Compactum' /	7 gal	
			Compact American Cranberry Viburnum		

APPLICANT:	3600 S WESTERN L.L.C.
ADDRESS:	3600-3636 S WESTERN AVE., CHICAGO, IL
DATE SUBMITTED:	OCTOBER 8, 2009
DATE REVISED:	NOVEMBER 19, 2009

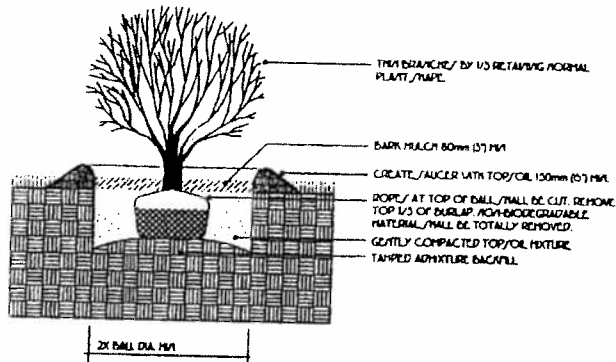
DRAWING
LANDSCAPE PLAN & PLANT LIST

EX. #
6A

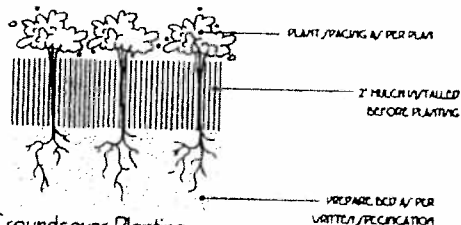
Planting Details.



1 Deciduous Tree Planting



2 Shrub Planting



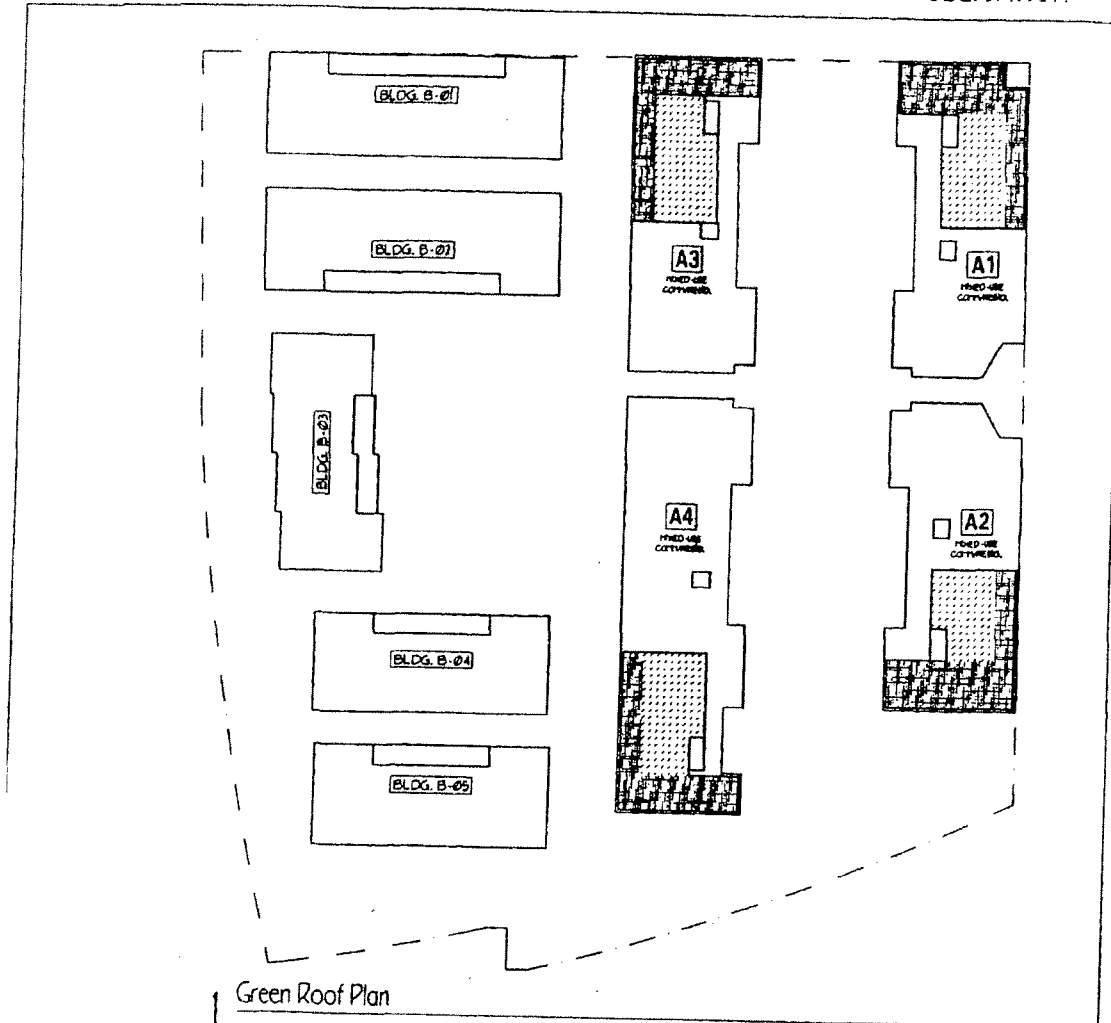
3 Groundcover Planting

APPLICANT:	3600 S WESTERN L.L.C.
ADDRESS:	3600-3636 S WESTERN AVE., CHICAGO, IL
DATE SUBMITTED:	OCTOBER 8, 2009
DATE REVISED:	NOVEMBER 19, 2009

DRAWING
PLANTING DETAILS



EX. #
6B

Green Roof Plan And Schedule.



Green Roof Plan

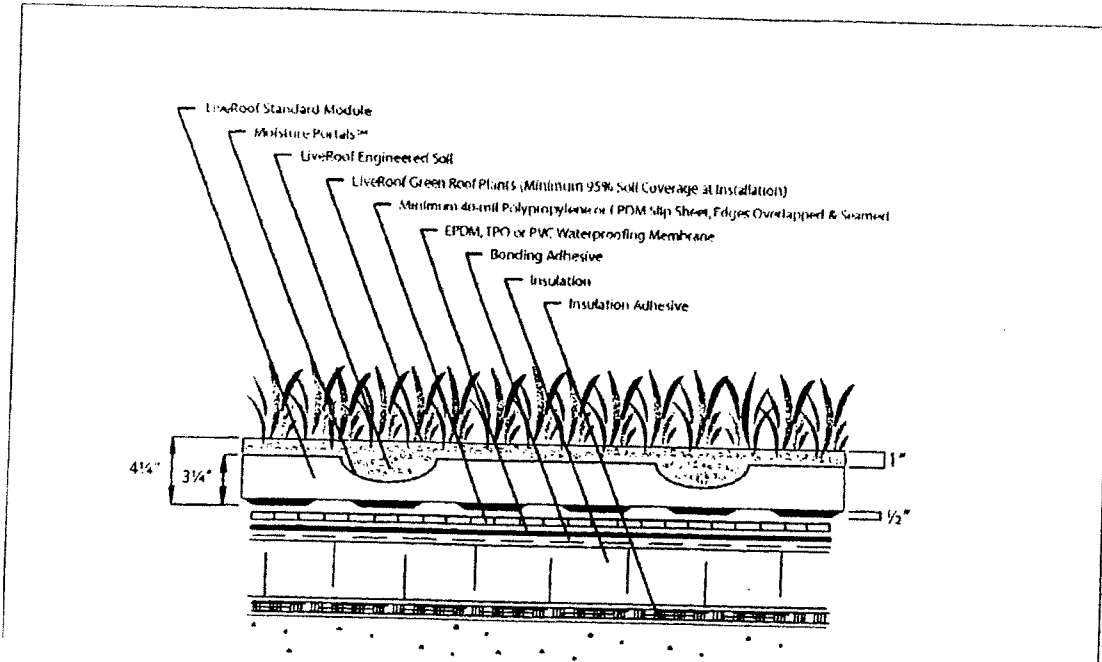
PLANT SCHEDULE - GREEN ROOF

GROUND COVERS	BOTANICAL	COMMON	CONT
	Live Roof Heather Mix	1" by 2" module seed	
	Live Roof Sunshine Mix	1" by 2" module seed	

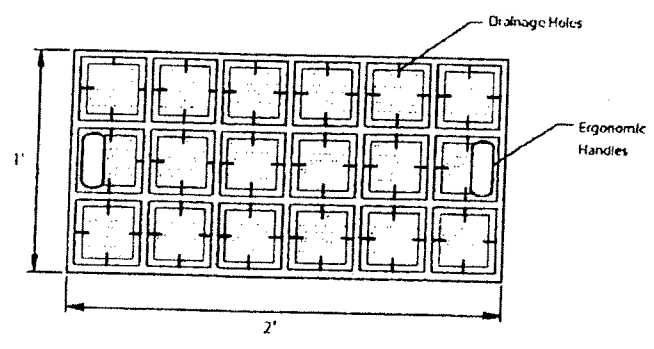
**NOTE: GREEN ROOF TO COVER 50% OF NON-MECH ROOF AREA AT MIXED-USE BUILDINGS.

APPLICANT: 3600 S WESTERN L.L.C. ADDRESS: 3600-3636 S WESTERN AVE., CHICAGO, IL DATE SUBMITTED: OCTOBER 8, 2009 DATE REVISED: NOVEMBER 19, 2009	DRAWING GREEN ROOF PLAN & SCHEDULE	EX. # 6C
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Green Roof Details.



1 Section Detail - Green Roof Planting



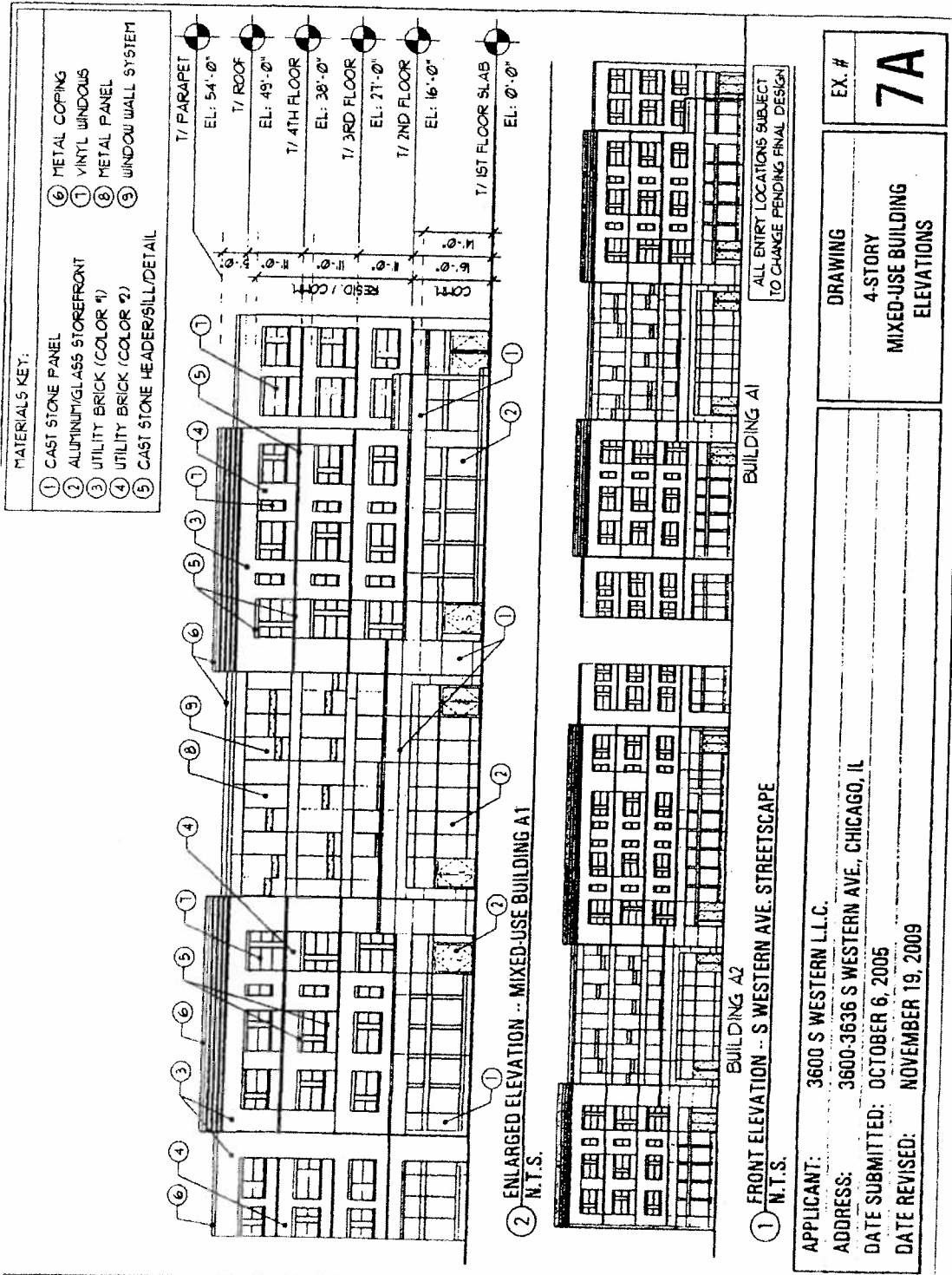
2 Plan Detail - Green Roof Planting

*NOTE: GREEN ROOF TO COVER 50% OF NON-MECH ROOF AREA AT MIXED-USE BUILDINGS

APPLICANT: 3600 S WESTERN L.L.C. ADDRESS: 3600-3636 S WESTERN AVE., CHICAGO, IL DATE SUBMITTED: OCTOBER 8, 2009 DATE REVISED: NOVEMBER 19, 2009	DRAWING GREEN ROOF DETAILS	EX. # 6D
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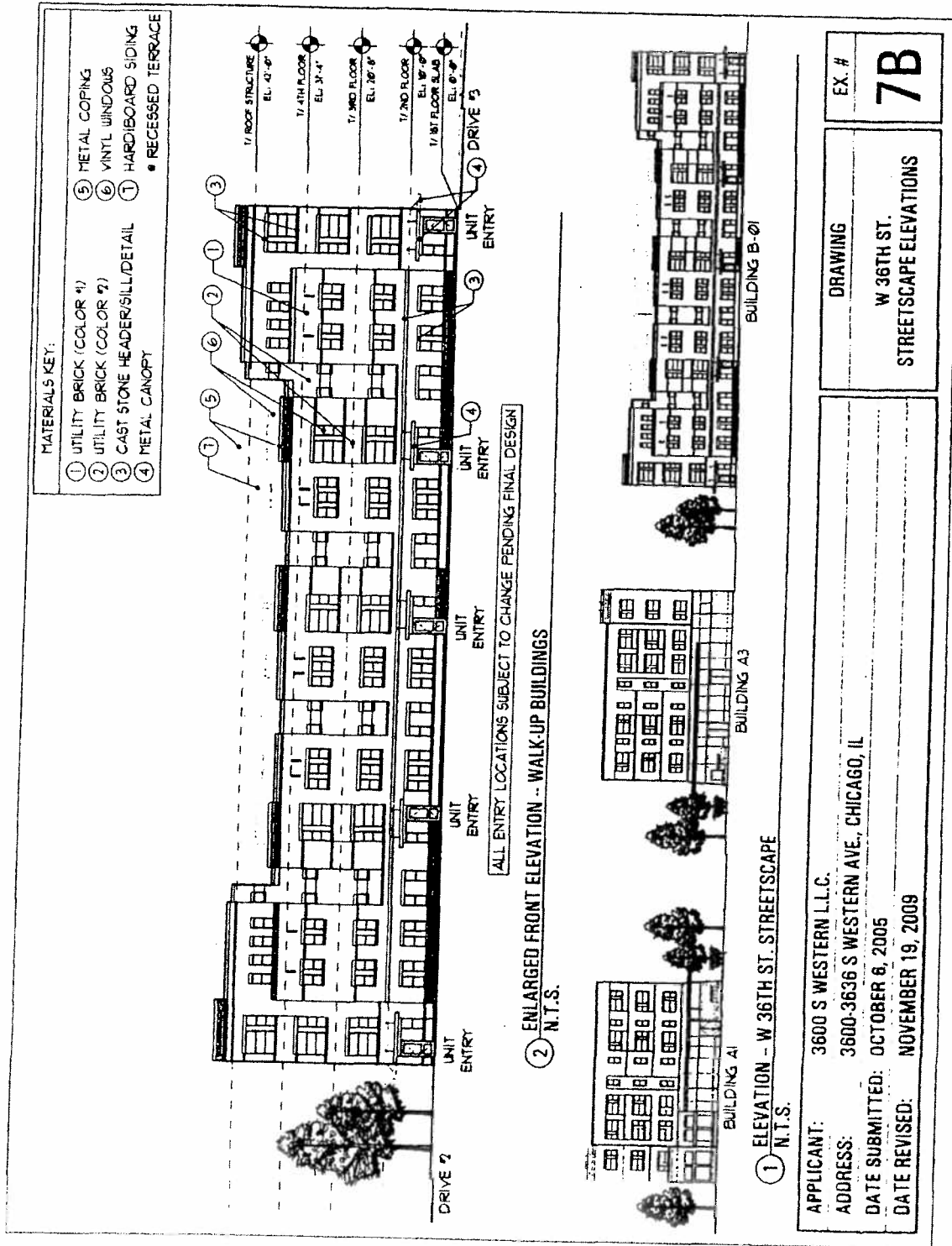
Building Elevations.

(Page 1 of 3)



Building Elevations.

(Page 2 of 3)



Building Elevations.

(Page 3 of 3)

<p>MATERIALS KEY:</p> <ul style="list-style-type: none"> ① UTILITY BRICK (COLOR #1) ② UTILITY BRICK (COLOR #7) ③ CAST STONE HEADERS/SILL/DETAIL ④ METAL CANOPY ⑤ METAL COPING ⑥ VINYL WINDOWS 		<p>EX. #</p> <h1 style="font-size: 2em; margin: 0;">7C</h1>
<p>DRAWING</p> <p>4-STORY WALK-UP BUILDING ELEVATIONS</p>		
<p>APPLICANT: 3600 S WESTERN L.L.C.</p> <p>ADDRESS: 3600-3636 S WESTERN AVE., CHICAGO, IL</p> <p>DATE SUBMITTED: OCTOBER 6, 2005</p> <p>DATE REVISED: NOVEMBER 19, 2009</p>		

Chicago Builds Green.

(Page 1 of 3)

Project Name: 3600 S Western Ave.

Project Location: 3600 3636 S Western Ave

Ward No: 12 Community Area No: 59

Project Type: [X] Planned Development [] Redevelopment Agreement [X] Zoning Change
[] Public project [] Landmark

Project Size: Total land area in sq.ft.: 247,951 Total building(s) footprint in sq.ft.: 102,870 Total vehicular use area in sq.ft.: 82,258

DPD Project Manager: Fernando Espinosa

BG/GR Matrix: Res. > 20% affordable or CP

Financial Incentives: [X] TIF [] GRIF [] SBIF [] Land Sale Write Down [] Empowerment Zone Grant [] Ind. Dev. Revenue Bonds [] Bank Participation Loan [] Class L [] Class 6b [] DOH

Additional funding TBD

Density Bonus: [X] Public plaza & pocket park [] Chicago Riverwalk improvements [] Winter gardens [] Indoor through-block connection [] Sidewalk widening [] Arcades [] Water features in a plaza or pocket park [X] Setbacks above the ground floor [] Lower level planting terrace [X] Green roof [] Underground parking and loading [X] Concealed above-ground parking

Chicago Builds Green.

(Page 2 of 3)

Landscaping:

7' Landscape Setback
 Interior Landscape Area
 No. of Interior Trees
 No. of Parkway Trees

Required per Zoning Code or Green Roof/Building Green Matrix

To be Provided by the development:

Please fill, if applicable

Square footage:	775	1,250
Square footage:	0	59,436
	0	84
	24	24

Open Space:

Represents central open space. See site plan for total area.

River Setback
 Private Open Space
 Privately developed Public Open Space

Square footage:	0	0
Square footage:	0	6260
Square footage:	0	24,000

Stormwater Management (At-grade volume control):

Permeable paving
 Raingarden
 Filter strip
 Bioswale
 Detention pond
 Native landscaping
 Rain-water collection cistem/barrel
 Total impervious area reduction

Green roof area subject to change pending non-mech roof area

Other sustainable surface treatments:

Area TBD pending Building Certification requirements

Green roof
 Energy Star roof
 High-albedo pavement

Square footage:	3,500
Check applicable:	<input type="checkbox"/>
Square footage:	0
Gallons:	0
Square footage:	0

Square footage:	0	20,433
Square footage:	0	0
Square footage:	0	0

Transportation:

No. of accessory parking spaces
 Total no. of parking spaces (Accessory + Non-Acc.)
 No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)
 No. of bicycle parking
 Within 600 ft of CTA or Metra station entrance

	318	367
		367
	0	0
	36	36

Check if applicable:

Chicago Builds Green.

(Page 3 of 3)

Building Certification:

Building Certification will be provided per Green Matrix. Type TBD pending final design.

- Energy Star building
- LEED certification
 - LEED Certified
 - LEED Silver
 - LEED Gold
 - LEED Platinum
- Chicago Green Homes
 - Chicago Green Homes (one-star)
 - Chicago Green Homes (two-star)
 - Chicago Green Homes (three-star)

Energy efficiency strategies not captured above:

(E: Other than Energy Star Roof - or Energy Star Building Certification)

3,500 sf permeable pavement at garage court.

Green Roof at 50% of non-mech area @ Bldgs. A1-A4.

Other sustainable strategies and/or Project Notes:

Unit types to meet Energy Code requirements via CBC 13(18-13-601)

RESIDENTIAL DESIGN BY COMPONENT PERFORMANCE

Site approx. 1,000 sf from 35th/Archer CTA Station.



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

March 1, 2006

Mr. David A. Bonoma
Reyes & Bonoma
One North LaSalle Street, Suite 4500
Chicago, IL 60602

Re: **Administrative Relief request / Modification to the Bulk Regulations
and Data Table for Residential Planned Development No. 990
(West 36th Street and South Western Avenue)**

Dear Mr. Bonoma:

Please be advised that your request for minor changes and substitution of a revised bulk table to Residential Planned Development No. 990 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.11 of the Planned Development.

It has been noted that these requested modifications are a result of an impending acquisition by the Department of Transportation of a parcel of land located along the southern boundary of the approved development to accommodate the expansion of the CREATE railway. Previous inter-agency agreements have been reached regarding four aspects of the project impacted by the rail expansion. These four points are illustrated in a revised Site/Landscape Plan (approved by the Department of Transportation) and an amended Bulk Regulations and Data Table in addition to a Data Sheet comparing the project as approved and as now proposed in Exhibits # 1 - 3.

Specifically, you requested:

- **Elimination of six (6) town home units and the reconfiguration of others:** the expanded railway cuts directly across the line of town homes as approved in RPD No. 990. These units are located along at the southern end of the development; the original plan showed twenty-three (23) town homes in that southernmost row, this revised plan allows seventeen (17). This revised Site/Landscape Plan is Exhibit #1, attached.
- **Reconfiguration of three (3) condo buildings:** the approved plan calls for three (3), five-story condo buildings along Western Avenue each with thirty-two units (32) and twenty-four (24) parking spaces. In order to minimize the impact of the loss of the above-mentioned six (6) town homes as well as half of a condo building, this revised plan calls for two (2) six-story buildings with forty (40) units each and a third six-story building with thirty (30) units for a total of one hundred ten (110) units. The revised plan is illustrated in Exhibits #1, 2 and 3.

Note: the total number of units to be constructed is 244, an increase of eight (8) units from the originally approved 236. This new total is still below the maximum allowed per the RM5 underlying zoning of 301 units. Similarly, the FAR increases from 1.26 to 1.32, also below the permitted 1.70 in the RM5 classification.





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
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- **Redesign of the Parking Plan:** the approved plan included a total of twenty-four (24) spaces per condo building plus an additional twenty-four (24) outdoor spaces reserved for condo owners, totaling ninety-six (96) spaces. The proposed plan only changes the third, smaller condo building parking number, which will now accommodate only fourteen (14) spaces. To make up for the loss of indoor spaces and account for the increase in condo units, the number of outdoor spaces has increased from twenty-four (24) to forty-five (45).


This reconfigured plan includes a total of one hundred seven (107) spaces dedicated for use by one hundred ten (110) units. The parking ratio for the town home units will not change. The revised plan is illustrated in Exhibits #1, 2 and 3.

- **Reduction in Common Open Space:** due to the reconfiguration of the site plan, a slight reduction in open space will occur. The approved plan included 21,700 square feet of open space; this revised plan includes 20,400 square feet. This difference comes a result of the reduction of town homes (from 140 to 134) and their required green space. There are no changes in the minimum required distance between structures or in periphery setbacks. The revised plan is illustrated in Exhibit #1.

With regard to your request, the Department of Planning and Development has determined that these revisions are necessary in order to accommodate the CREATE railway and does not create an adverse impact on the Planned Development or surrounding neighborhood.

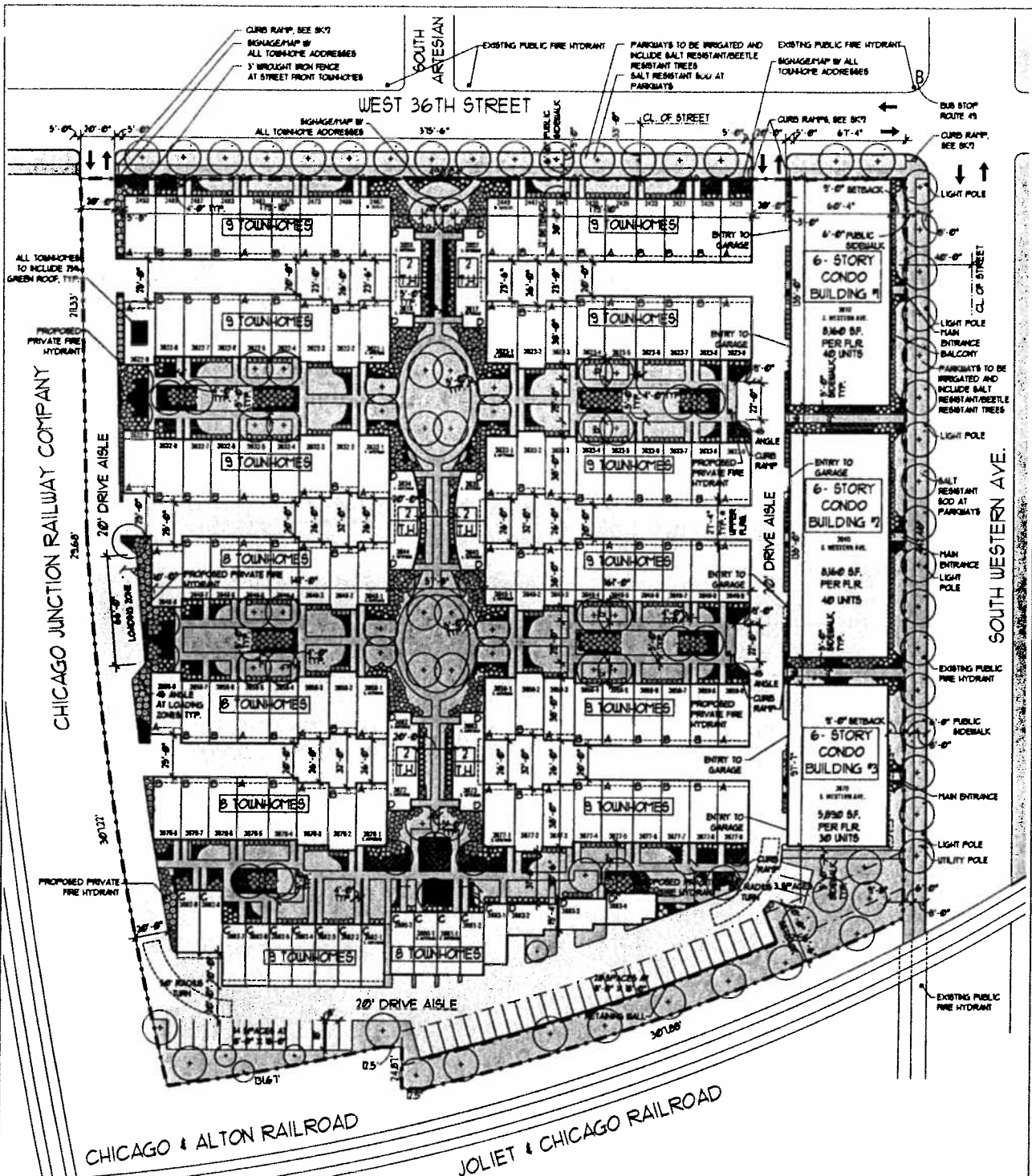
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 990, I hereby approve the foregoing minor change, but no other changes to Residential Planned Development No. 990.

Sincerely,

Lori T. Healey 
Commissioner

LTH:MRD
cc: Mike Marmo, DPD files



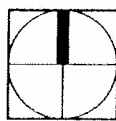


NOTES:

- TOWNHOME TYPES "A" & "B" HAVE 2 CAR GARAGES W/ 16'-0" WIDE GARAGE DOORS.
- TOWNHOMES TYPE "C" HAVE 1 CAR GARAGES W/ 10'-0" WIDE GARAGE DOORS. TYPE "D" HAVE 1 CAR GARAGES W/ 11'-0" WIDE GARAGE DOORS.
- ALL TOWNHOMES TO INCLUDE 25% GREEN ROOF, TYP.
- CONDO BLDG. 'S #1 & #2 HAVE 24 PARKING SPACES EACH (8' x 18') & 20' DRIVE AISLES @ FIRST FLOOR. CONDO BLDG. #3 HAS 12 PARKING SPACES. 34 ADDITIONAL PARKING SPACES AT SOUTH END OF PROPERTY.
- ACCESSIBILITY RAMPS AT ALL PARKWAYS & SIDEWALKS TO MEET APPLICABLE CODES

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 architecture

WEST 36TH & SOUTH WESTERN AVE.
DUBIN RESIDENTIAL
 CHICAGO, IL



SCALE
 1" = 60'-0"
 DATE
 01.06.06

REVISED

SCALE	DRAWING	TYPE
1" = 60'-0"	SITE PLAN/LANDSCAPE PLAN	3

**RESIDENTIAL PLANNED DEVELOPMENT # 990
AMENDED BULK REGULATIONS AND DATA TABLE**

GROSS SITE AREA (NET SITE AREA + AREA REMAINING IN PUBLIC WAY)
247,951 sq. ft. (5.69 acres) + 67,194 sq. ft. (1.54 acres) = **315,145 sq. ft (7.23 acres)**

NET SITE AREA **247,915 sq. ft.¹ (5.69 acres)**

MAXIMUM PERMITTED F.A.R.: **1.32**

MAXIMUM NUMBER OF DWELLING UNITS: **244 units**

Townhomes: 134 units
Condominiums: 110 units

MINIMUM PARKING SPACES TOTAL: **346 spaces**

Townhomes:	105 units x 2 spaces	210
	29 units x 1 space	<u>29</u>
		239
Condominiums:	Outdoor spaces	45
	Indoor spaces	<u>62</u>
		107

MINIMUM LOT AREA PER DWELLING UNIT: **1,016 sq. ft.**

MAXIMUM BUILDING HEIGHT TOWNHOMES: **30' 5" (3 floors)**

MAXIMUM BUILDING HEIGHT CONDOMINIUMS: **65' 0' (6 floors)**

MAXIMUM SITE COVERAGE: **50 percent of site**

MINIMUM COMMON OPEN SPACE FOR TOWNHOMES²: **20,400 sq. ft.**

MINIMUM TOTAL OPEN SPACE: **81,100 sq. ft.**

SETBACKS: **Per Site Plan dated
January 6, 2006**

Townhomes Setback (from West 36th Street): **12 feet**
Condominium Setback (from South Western Avenue): **9 feet**

¹ Includes approximately 12,400 sq. ft. of land within an easement designated as "Possible Future Property Line" which is assumed to remain the property of the owner, but on which an easement for parking and construction purposes will be granted to the City as needed to accommodate the CREATE project.

² Common open space does not include drive aisles, setbacks or principal private yards for townhomes.

Data Sheet

36th & Western Development

Dubin Residential

Issued by Hartshorne Plunkard, Ltd. -January 12, 2006

	Original Planned Development Design		Proposed Revised Design	
Lot Area	247,915 S.F.		247,915 S.F.*	
F.A.R. Applicable Area - Townhomes	211,100 S.F.		210,795 S.F.	
F.A.R. Applicable Area - Condominiums	100,620 S.F.		115,420 S.F.	
F.A.R.	1.26		1.32	
TOWNHOMES – Quantity / F.A.R. Area				
Type A – 19'-3" wide	47	1,670 SF	47	1,715 SF
Type B – 17'-0" wide	58	1,440 SF	58	1,525 SF
Type C – 14'-0" wide	22	1,310 SF	14	1,310 SF
Type D – 19'-3" wide	13	1,560 SF	15	1,560 SF
TOTALS	140	211,100	134	210,795 SF
Townhome height	30'-5"		30'-5"	
CONDOMINIUM – Unit Count / Gross Area (minus parking)				
Building 1	32	33,540 SF	40	41,690 SF
Building 2	32	33,540 SF	40	41,690 SF
Building 3	32	33,540 SF	30	32,040 SF
TOTALS	96	100,620 SF	110	115,420 SF
Building Height	55'-0"		65'-0"	
PARKING - TOWNHOMES				
Type A	2 per unit		2 per unit	
Type B	2 per unit		2 per unit	
Type C	1 per unit		1 per unit	
Type D	1 per unit		1 per unit	
TOTALS	245		239	
PARKING - CONDOMINIUM				
Building 1	24		24	
Building 2	24		24	
Building 3	24		14	
Exterior Parking spaces	24		45	
TOTALS	96		107	
OPEN SPACE				
Common Open Space – total	21,700 S.F.		20,400 S.F.	
Common Open Space Required	21,000 SF (140 x 150 SF)		20,100 SF (134 x 150 SF.)	
Front Yards - Townhomes				
Type A	19'-3" X 12'-0" – 231 S.F.		19'-3" X 12'-0" – 231 S.F.	
Type B	17'-0" X 12'-0" – 204 S.F.		17'-0" X 12'-0" – 204 S.F.	
Type C	14'-0" X 13'-0" – 182 S.F.		14'-0" X 13'-0" – 182 S.F.	
Type D	14'-3" X 13'-0" – 185 S.F. (SIZE VARIES)		14'-3" X 13'-0" – 185 S.F. (SIZE VARIES)	
Balconies – Condominiums	50 sf / unit minimum		50 sf / unit minimum	

*Total lot area includes approx. 12,400 SF of land within easement designated as "Possible Future Property Line"

14871

10/6/2005

REPORTS OF COMMITTEES

58663

Ordinance, is hereby amended by changing all of the B3-1 Community Shopping District symbols and indications as shown on Map Number 7-L in the area bounded by:

the public alley next north of and parallel to West Diversey Avenue; North Lockwood Avenue; West Diversey Avenue; and North Long Avenue, to those of a B1-1 Neighborhood Shopping District.

SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map Number 8-I.

(As Amended)

(Application Number 14871) RPD 990

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M2-1 Light Industry District symbols and indications as shown on Map Number 8-I in the area bounded by:

a line beginning at the western right-of-way of South Western Avenue extending westward along West 36th Street 498.04 feet; a line beginning at the southern right-of-way of West 36th Street extending southward along South Western Avenue 442.46 feet; the Chicago and Alton Railroad line which is located immediately north of the Joliet and Chicago Railroad line; and the Chicago Junction Railway Company line,

to those of an RM4.5 Residential Multi-Unit District. Then that the Chicago Zoning Ordinance be further amended by changing all the RM4.5 Residential Multi-Unit District symbols and indications as shown on Map Number 8-I in the area bounded by:

a line beginning at the western right-of-way of South Western Avenue extending westward along West 36th Street 498.04 feet; a line beginning at the southern right-of-way of West 36th Street extending southward along South Western Avenue 442.46 feet; the Chicago and Alton Railroad line which is located immediately north of the Joliet and Chicago Railroad line; and the Chicago Junction Railway Company line,

to those of a Residential Planned Development Number 990 and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

Residential Planned Development Number 990.

Plan Of Development Statements.

1. The area delineated herein ("Property") and designated as Residential Planned Development Number 990 consists of approximately three hundred fifteen thousand one hundred forty-five (315,145) square feet (seven and twenty-three hundredths (7.23) acres) Gross Site Area, and two hundred forty-seven thousand nine hundred fifty-one and three-tenths (247,951.3) square feet (five and sixty-nine hundredths (5.69) acres) Net Site Area. For purposes of this planned development, the Property is controlled by 3600 South Western Avenue Development Corporation, and the Property owner has consented to this planned development.
2. The entity known as 3600 South Western Avenue Development Corporation or its successors, assignees or grantees, which may include but shall not be limited to any homeowners association(s) formed for purposes of control and management of any portion of the planned development (collectively hereinafter "Applicant"), shall obtain all applicable official reviews, approvals or permits that are necessary to implement this planned development. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees, and approval by the City Council.
3. The requirements, obligations, conditions and benefits contained within this planned development shall be binding and advantage the Applicant. Pursuant to the requirements of Section 17-13-0600 of the Chicago Zoning Ordinance, the Property shall be under single ownership or under single designated control at the time any applications for amendments, modifications or changes (administrative, legislative, or otherwise) to this planned development are made. "Single designated control" for purposes of this paragraph shall mean that any such application shall be made or authorized by the Applicant. If more than one (1) homeowners association

serves the planned development, then "single designated control" shall mean that a homeowners association may proceed with an application without securing the approval of the other homeowners association(s), so long as the Department of Planning and Development determines that the requested modification or change (administrative, legislative or otherwise) will not substantially affect the owners or occupants that are represented by the other homeowners association(s).

4. This plan of development consists of these fourteen (14) statements; a Bulk Regulations Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; the following plans prepared by Hartshorne & Plunkard Architecture dated June 16, 2005: Site Plan/Landscape Plan; Site/Landscape Notes and Details; Condominium Building Number 3 Blowup and Western Avenue Streetscape Elevation; Townhouse Blowup and 36th Street Streetscape Elevation; Drive Aisle Elevation and Condominium West Elevation (rear). No zoning controls other than the planned development apply to the Property.
5. The following uses shall be permitted within the Property: multi-family dwelling units; townhome units; all residential uses; uses as permitted in the RM4.5 zoning district; real estate sales office; parking; accessory uses; and related uses.
6. Permanent and temporary signs shall be permitted at the Property, but signs other than identification signs and directional signs shall be subject to the review and approval of the Department of Planning and Development.
7. Off-street parking, off-street loading, ingress and egress, emergency vehicle access and all work in the public way shall be designed, constructed and paved in compliance with this planned development, the Municipal Code of Chicago and the regulations of the Chicago Department of Transportation in effect at the time of construction.
8. In addition to the maximum height of the buildings and any appurtenances thereto described in this planned development, the height of any improvement shall be subject to height limitations approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Data and Regulations Table. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply.

10. Improvements on the Property, including landscaping and all entrances and exits, shall be designed, installed and maintained in substantial conformance with the Bulk Regulations and Data Table, and the following plans prepared by Hartshorne & Plunkard Architecture dated June 9, 2005: Site and Landscape Plan; Condominium Building Number 3 Blowup and Western Avenue Streetscape Elevation; Townhouse Blowup and 36th Streetscape Elevation; Drive Aisle Elevation and Condominium West Elevation, all of which are attached hereto and made a part hereof. Landscaping shall be installed and maintained in accordance with the Chicago Zoning Ordinance or as otherwise approved administratively by the Department of Planning and Development.
11. The terms, conditions and exhibits of this planned development may be modified administratively by the Commissioner of the Department of Planning and Development upon the written request of the Applicant and after a determination by the Commissioner that such a modification is minor, appropriate and consistent with the nature of the development of the Property contemplated herein. Any such modification shall be deemed a minor change in the planned development as contemplated by Section 17-13-0611 the Chicago Zoning Ordinance.
12. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout this planned development. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities. No approvals shall be granted by the Director of the Department of Construction and Permits until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. The Applicant shall install and maintain a vegetative (green) roof on at least twenty-five (25%) of the net flat roof areas of the town home buildings. Net flat roof area is defined as the area of flat roof, less those areas devoted to rooftop mechanical equipment, mechanical penthouses, chimneys, areas such as stairs and doorways required for roof access, and any perimeter setback required by code, ordinance or regulation. The Applicant shall provide thirty-six (36) affordable condominium units and four (4) affordable townhome units --

said affordable townhome, units designated on the attached Site Plan/Landscape Plan as unit numbers 3606, 3607, 3616 and 3617 -- defined by the Chicago Department of Housing at the time of construction.

14. Unless substantial construction has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then the provisions of this planned development shall expire and the zoning of the Property automatically shall change to the RM4.5 Multi-Unit Residence District.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Site Plan/Landscape Plan; Site/Landscape Notes and Details; and Building Elevations referred to in these Plan of Development Statements printed on pages 58669 through 58676 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Bulk Regulations Data Table.

Gross Site Area:	315,145 square feet (7.23 acres)
Net Site Area:	247,951 square feet (5.69 acres)
Net Site of Public Way:	67,194 square feet (1.54 acres)
Maximum Floor Area Ratio:	1.26
Total Dwelling Units:	236
Townhomes:	140
Condominiums:	96

Minimum Parking Spaces Total:	341
Townhomes:	105 units x 2 spaces 210
	35 units x 1 space <u>35</u>
	245
Condominiums:	Outdoor spaces 24
	Indoor spaces <u>72</u>
	96
Minimum Lot Area Per Dwelling Unit:	1,051 square feet
Maximum Building Height Townhomes:	30 feet, 5 inches (3 floors)
Maximum Building Height Condominiums:	55 feet, 0 inches (5 floors)
Maximum Site Coverage ⁽¹⁾ :	50 percent of site
Minimum Common Open Space for Townhomes ⁽²⁾ :	21,700 square feet
Minimum Total Open Space ⁽³⁾ :	81,100 square feet
Setbacks:	Per approved Site Plan
Townhomes Setback (from West 36 th Street):	12 feet
Condominium Setback (from South Western Avenue):	9 feet

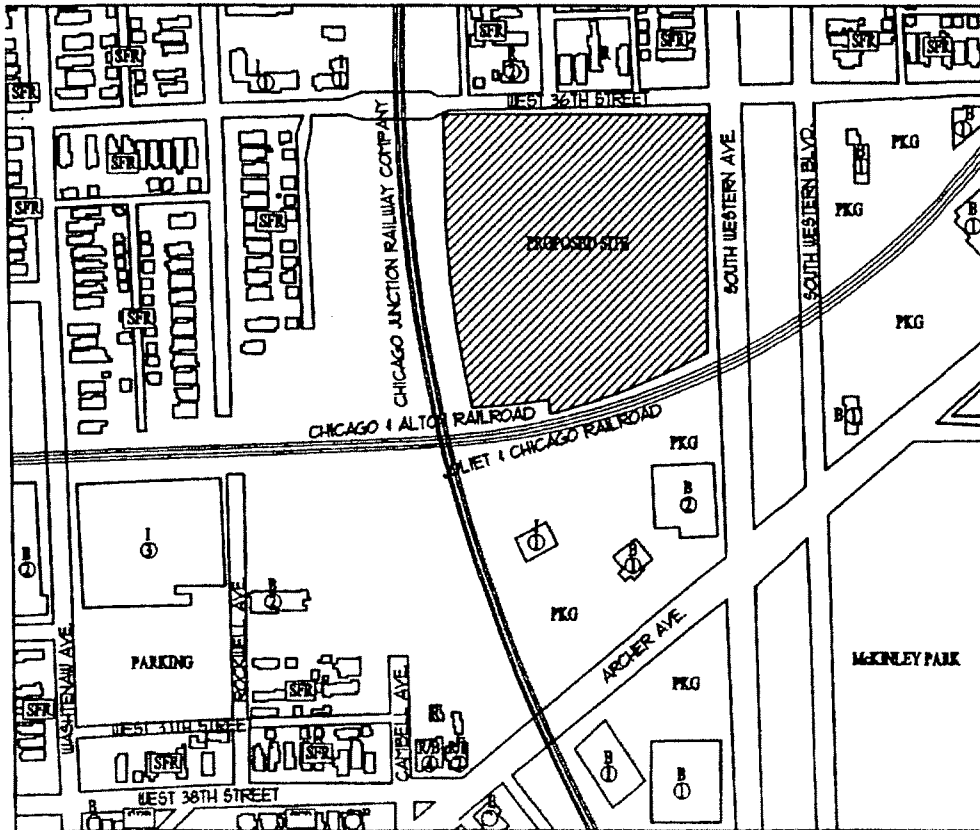
(1) Maximum site coverage is the total area of the building (other impervious surfaces are not included) divided by the Net Site Area.

(2) Common open space does not include drive aisles, setbacks or principal private yards for townhomes.

(3) Total open space excludes building footprints, drive aisles and parking areas.

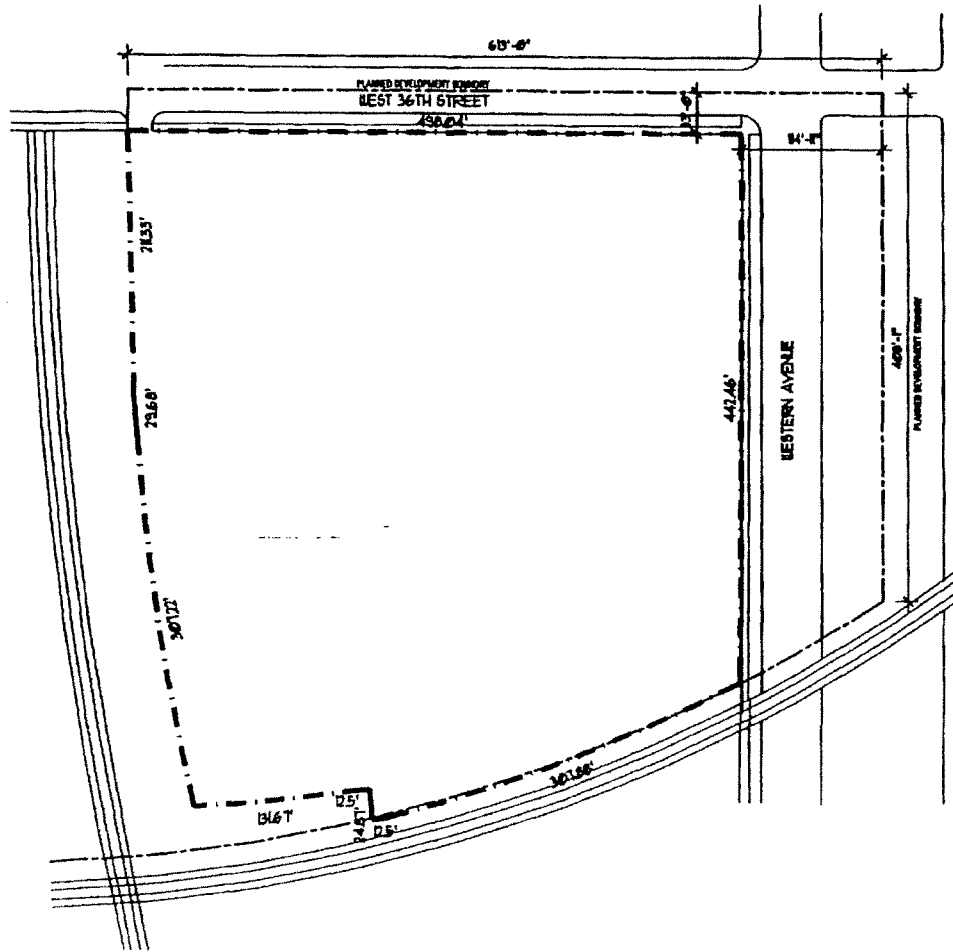
Existing Land-Use Map.

LEGEND	
SFR	SINGLE FAMILY RESIDENTIAL
B	BUSINESS/COMMERCIAL
I	INDUSTRIAL/MANUFACTURING
R	RESIDENTIAL
R/B	RESIDENTIAL/GROUND FL. BUSINESS
(X)	BUILDING HEIGHT IN STORIES
(Hatched Box)	SUBJECT PREMISES

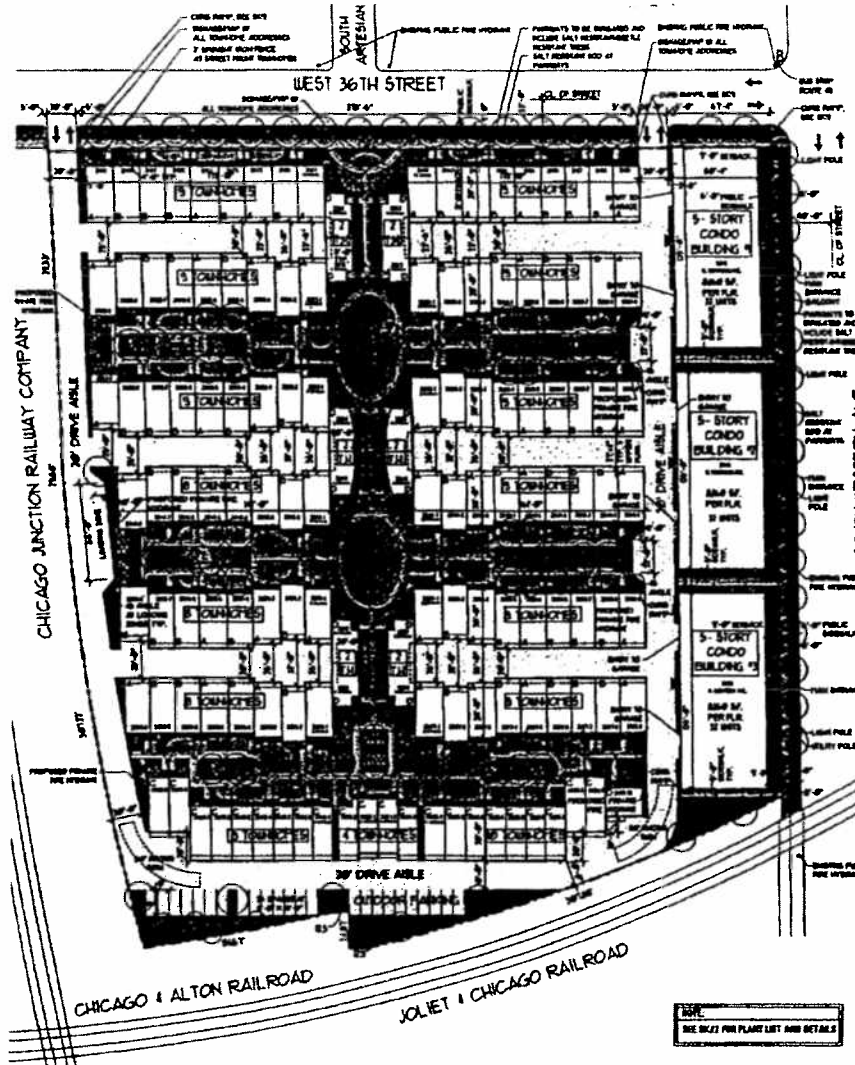


Planned Development Boundary
And Property Line Map.

LEGEND	
- - - - -	PROPERTY LINE
- - - - -	PD BOUNDRY



Site Plan/Landscape Plan.

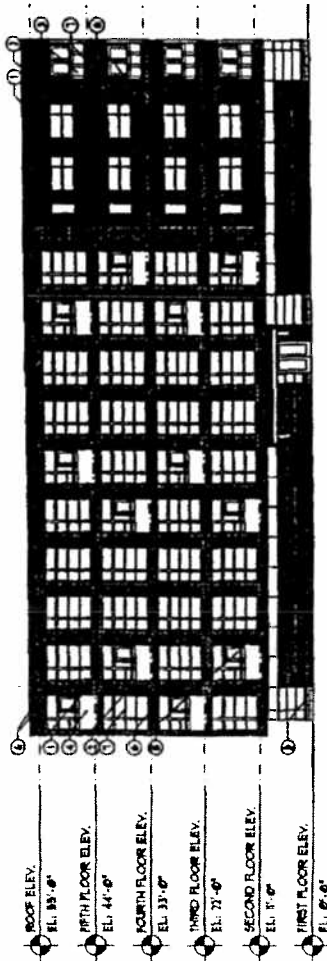


NOTES:	BUILDING DATA	TOWNHOMES	CONDOCORRIDORS	LEGEND
TOWNHOMES TYPES "A" & "B" HAVE 2 CAR GARAGES W/ 14'-0" WIDE GARAGE DOORS.	TOTAL UNITS	140	86	▲ UNITS/DRIVE DISTANCE
TOWNHOMES TYPE "C" HAVE 1 CAR GARAGES W/ 10'-0" WIDE GARAGE DOORS. TYPE "D" HAVE 1 CAR GARAGES W/ 11'-0" WIDE GARAGE DOORS.	TYPE "A" (18'-3" WIDE)	47		■ BUS STOP
ALL TOWNHOMES TO INCLUDE 25% GREEN ROOF, TYP.	TYPE "B" (17'-0" WIDE)	58		○ LIGHT POLE
CONDO BLDGS HAVE 24 PARKING SPACES EACH (8' x 18' & 20' WIDE) ANGLES @ FIRST FLOOR. 24 ADDITIONAL PARKING SPACES AT SOUTH END OF PROPERTY.	TYPE "C" (14'-0" WIDE)	32		⊥ UTILITY POLE
ACCESSIBILITY RAMP AT ALL FACEDAYS & BIRCHALS TO MEET APPLICABLE CODES	TYPE "D" (SIZE VARIES)	13		■ HIVE REFRIG
	CONSTRUCTION TYPE	10'-4" W/ FIRE WALLS	1-C	LANDSCAPE SYMBOLS
	HEIGHT	28'-6"	5	○ ANNUAL TREE
	FLOORING	5	55'-0"	○ DECORATIVE BRUSH
	SPRINKLERED	80	5	○ EVERGREEN SHRUB
	TYPICAL PRIVATE YARD DIMENSIONS		157 FL. DOOR ONLY	■ CONDO CORRIDOR/STAIRWELL
	TYPE "A"	18'-3" x 12'-0" - 231 s.f.		
	TYPE "B"	17'-0" x 12'-0" - 204 s.f.		
	TYPE "C"	14'-0" x 12'-0" - 182 s.f.		
	TYPE "D"	14'-3" x 12'-0" - 185 s.f. (SIZE VARIES)		

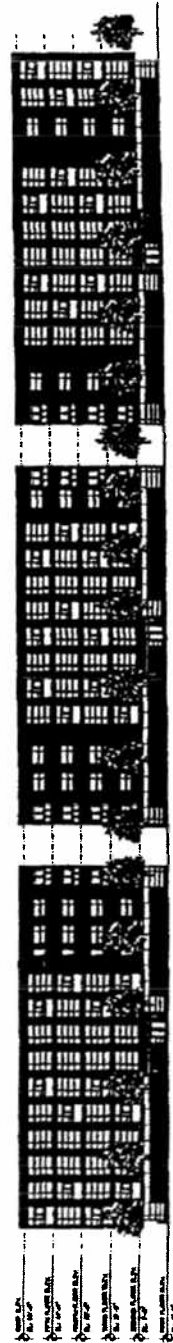
SEE INDEX FOR FLIGHT LIST AND DETAILS

Building Elevations.
(Page 1 of 3)

MATERIAL KEY	
1	BRICK COLOR #1
2	BRICK COLOR #2
3	RECESSED BALCONY
4	BALCONY
5	4" L'PRESTONE SILL
6	TEXTURED ARCHITECTURAL CONCRETE
7	WINDOWS
8	OPALQUE GLASS



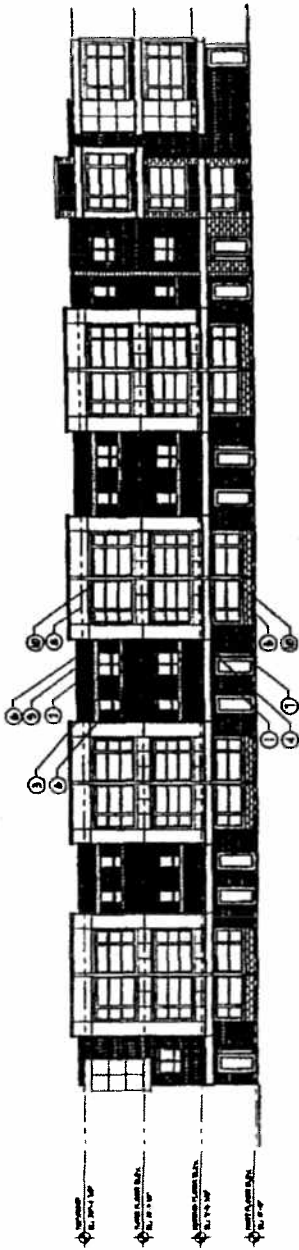
2 CONDO BUILDING #3 BLOWUP
NTS



1 WESTERN AVENUE STREETSCAPE ELEVATION
NTS

Building Elevations.
(Page 2 of 3)

MATERIAL KEY	
1	BRICK COLOR 1 (FLUSH BOND)
2	BRICK COLOR 2
3	BRICK COLOR 3
4	STEEL CHANNEL CANOPY
5	PREFRER BLOCK
6	4" LIMESTONE BANDS
7	METAL FRAME DOOR WITH GLASS
8	PRE-FABRICATED METAL DAT
9	METAL COPING
10	VINYL CLAD WINDOWS



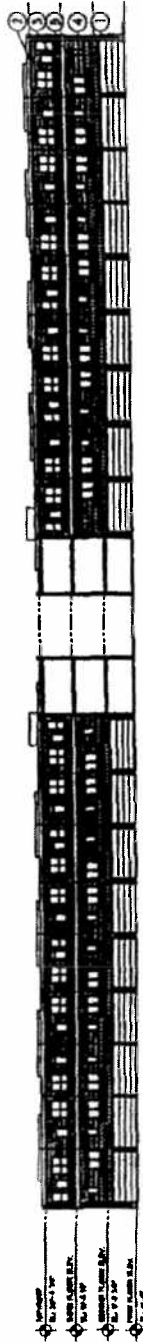
2 TOWNHOUSE BLOWUP
NTS



1 36TH ST. STREETSCAPE ELEVATION
NTS

Building Elevations.
(Page 3 of 3)

MATERIAL KEY	
1	GROUND FACE BLOCK
2	METAL COPING
3	METAL RAIL
4	VINYL CLAD WINDOWS
5	VINYL SIDING



2 DRIVE AISLE ELEVATION
NTS

SEE FRONT CONDOMINIUM
ELEVATION FOR MATERIAL
SELECTIONS



1 CONDOMINIUM WEST ELEVATION (REAR)
NTS