

PD 986

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18002

88666

JOURNAL--CITY COUNCIL--CHICAGO

9/10/2014

~~Reclassification Of Area Shown On Map No. 5-K.
(Application No. 18125)
(Common Address: 1626 N. Kildare Ave.)~~

[O2014-5812]

~~Be it Ordained by the City Council of the City of Chicago:~~

~~SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 5-K in the area bounded by:~~

~~a line 291 feet north of and parallel to West North Avenue; North Kildare Avenue; the alley next west of and parallel to North Kildare Avenue; and a line 266 feet north of and parallel to West North Avenue,~~

~~to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District and a corresponding use district is hereby established in the area above described.~~

~~SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.~~

Reclassification Of Area Shown On Map No. 6-E.
(As Amended)
(Application No. 18002)
(Common Address: 300 -- 368 E. 26th St., 2500 -- 2558 S. Dr. Martin Luther King, Jr. Dr.
And 301 -- 367 E. 25th St.)

RIPD986, AA

[SO2014-2339]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is amended by changing all the Residential Planned Development Number 986 symbols and indications as shown on Map Number 6-E in the area bounded by:

East 25th Street; South Dr. Martin Luther King, Jr. Drive; East 26th Street; and a line 709.50 feet west of and parallel to South Dr. Martin Luther King, Jr. Drive,

to those of Residential-Institutional Planned Development Number 986, as amended, which is hereby established in the area described.

SECTION 2. This ordinance shall take effect upon its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows.

*Residential-Institutional Planned Development No. 986,
As Amended.*

Planned Development Statements.

1. The area delineated herein as Residential-Institutional Planned Development Number 986 ("Planned Development") consists of approximately 411,572 square feet (9.45 acres) of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and affected subareas are owned or controlled by the applicant, Mercy Hospital and Medical Center (Subareas 3, 4 and part of Subarea 2), and Estate Village Homeowner's Association and Estate Condominium Association (part of Subarea 2).
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development (or any subarea of this Planned Development, as applicable) are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the applicant or its successors, assign or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of these 17 statements and the following items:

- Bulk Regulations and Data Table;
- Existing Zoning Map;
- Surrounding Land-Use Map;
- Planned Development Boundary and Property Line Map;
- Subarea Map;
- Site Plan (General Site);
- Site Plan (Subareas 3 and 4);
- Landscape Plan (Schematic -- Subareas 3 and 4 only);
- Landscape Plan (Partial Number 1 -- Subarea 3);
- Landscape Plan (Partial Number 2 -- Subareas 3 and 4).

Subareas 1, 1A and 2 are governed by Site Plans, Landscape Plans, Green Roof Plans, and Sections previously approved by the Department of Planning and Development, including but not limited to prior Site Plan, 'Minor Change' and Part II Approvals. Note: Internal private roads adjacent to Subareas 2 and 3 are subject to the Site Plan (General Site) identified above.

In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a planned development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.

5. The property is divided into five subareas as described on the Subarea Map:

- Subarea 1, Subarea 1A, Subarea 2, Subarea 3 and Subarea 4.

No Part II Approval shall be granted for an individual building or buildings within a subarea until the Commissioner of the Department of Planning and Development shall issue written approval of a site plan for the entire subarea in which the proposed improvement is located. Site plan approval is intended to assure that specific development proposals conform with this Planned Development and to assist the City in monitoring on-going development.

A site plan shall, at a minimum, provide the following information:

- Boundaries of development parcel or parcels;
- Building footprint or footprints;
- Building facade elevations and heights;
- Dimensions of all setbacks;
- Location and depiction of all parking spaces (including relevant dimensions);
- Location and depiction of all loading berths (including relevant dimensions);
- All drives, roadways and vehicular routes;
- All landscaping (including species and size);
- All pedestrian circulation routes and points of ingress/egress (including sidewalks);
- All site statistics applicable to the development parcel or parcels including:
 - Floor area and floor area ratio as represented on submitted drawings;
 - Lot coverage as represented on submitted drawings;
 - Number of parking spaces provided;
 - Number of loading berths provided;
 - Uses of development parcel.

Changes or modifications to approved site plans may be made after approval of the Commissioner, so long as the site plan, as so changed or modified, substantially conforms with this Planned Development.

6. The following uses are permitted in the area delineated herein as a Residential-Institutional Planned Development:

Subareas 1, 1A And 2:

Residential uses including attached townhouses, multi-unit three-unit residential buildings; assisted living (elderly custodial care), and accessory uses. Residential use is expressly permitted below the second (2nd) floor. Parking, accessory and accessory uses, as defined in Chicago Zoning Ordinance Section 17-17-0206.

Subareas 3 And 4:

Parking, accessory, and non-accessory (for hospital and medical center uses), including but not limited to small, manned and unmanned facilities and structures to control access to parking areas. Accessory uses, as defined in Chicago Zoning Ordinance Section 17-17-0206.

7. The improvements on the Property shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Garbage cans shall be stored indoors in garages and said requirement shall be expressly stated in the condominium documents for each dwelling unit.

Low-rise residential structures (townhouses three-unit, three-, six- and nine-flat buildings, 60 feet or less in height), shall substantially conform to the standards for the case of interior drives where garage doors face garage doors, the minimum separation shall be 20 feet including all upper-story living spaces, Section 17-9-0117-E5 of the Zoning Code notwithstanding. All deviations from the requirements of Section 17-9-0117 of the Zoning Code approved in this Planned Development, Statements, Bulk Regulations and Data Table and exhibits, are unique to this Planned Development and shall not provide precedent for any other application, whether planned development or not.

Because South Dr. Martin Luther King, Jr. Drive ("King Drive") is a significant part of the City's boulevard system, the facades of the buildings along King Drive should be richly articulated and constructed with quality materials. It is preferred that all facades along not face King Drive, windows, including bays, and doors must comprise at least 17.5 percent of the King Drive facade.

8. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
9. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations established by the Federal Aviation Administration.
10. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply.

11. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
12. The Site and Landscape plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development.

Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.

13. The applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Department of Streets and Sanitation and the Department of Fleet and Facility Management, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
14. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors.
15. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
16. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. At the time of a hearing before the Chicago Plan Commission, all developments must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Department of Planning and Development. Aspects of the proposed Planned Development that bring it into compliance with the Sustainable Development Policy include the following: buildings already completed at the time of the approval of this amended Planned Development shall continue to comply with Green Roof Plans previously approved by the Department of Planning and Development, including but not limited to Site Plan, 'Minor Change' and Part II Approvals. Any newly constructed buildings shall comply with the Department of Planning and Development Sustainable Development Policy.

- 17. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse for failure to construct the parking lot improvements in Subareas 3 and 4, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property back to Residential Planned Development Number 986 as approved by ordinance enacted on February 11, 2004, and as subsequently modified by letters approving minor changes or other administrative relief.

[Existing Zoning Map; Surrounding Land-Use Map; Boundary and Property Line Map; Subarea Map; Site Plan (General Site); Site Plan (Subareas 3 and 4); Landscape Plan (Schematic -- Subareas 3 and 4 only); Landscape Plain (Partial Number 1 -- Subarea 3); and Landscape Plan (Partial Number 2 -- Subarea 4) referred to in these Plan of Development Statements printed on pages 88675 through 88683 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Residential-Institutional Planned Development No. 986,
As Amended.*

Bulk Regulation And Data Table.

Gross Site Area:	536,421 square feet (12.31 acres)
Net Site Area:	411,572 square feet (9.45 acres)
Area in Public Right-of-Way:	124,849 square feet (2.86 acres)
Net Site Area per Subarea:	
Subarea 1:	134,610 square feet (3.09 acres)
Subarea 1A:	27,045 square feet (0.63 acres)

Subarea 2: 44,754 square feet (1.03 acres)
 Subarea 3: 152,428 square feet (3.49 acres)
 Subarea 4: 52,735 square feet (1.21 acres)

Maximum Floor Area Ratio: 1.41 FAR

Maximum Dwelling Units: 435 dwelling units

Subarea	Maximum Floor Area Ratio	Maximum Dwelling Units
Subarea 1	1.5	125
Subarea 1A	8.5	180
Subarea 2	2.5	130
Subarea 3	0.1	0
Subarea 4	0.1	0

Maximum Lot Coverage: Per approved Site Plan

Maximum Building Height:

Townhouses and three-unit buildings: 60 feet
 three-flats, six-flats and nine-flats: 60 feet
 Condominium Buildings: 180 feet
 Senior Housing: 160 feet

Subarea 3 -- Parking: 12 feet

Subarea 4 -- Parking: 12 feet

Minimum Number of Off-Street
Parking Spaces to be provided:

Condominium Units
three, six and nine flats and
three-unit buildings:

1 parking space per unit

Townhouses:

2 parking spaces per unit

Senior Units:

1 parking space per three units

2520 Building:

20 spaces

Accessory to Mercy Hospital and
Medical Center:

Subarea 3

Minimum: 370 spaces

Subarea 4

Minimum: 121 spaces

Minimum Number of Off-Street
Loading Berths:

New construction as required per
RM6 District

Minimum Periphery Setbacks:

East 25th Street: 7 feet

South Dr. Martin Luther King, Jr. Drive: 10 feet

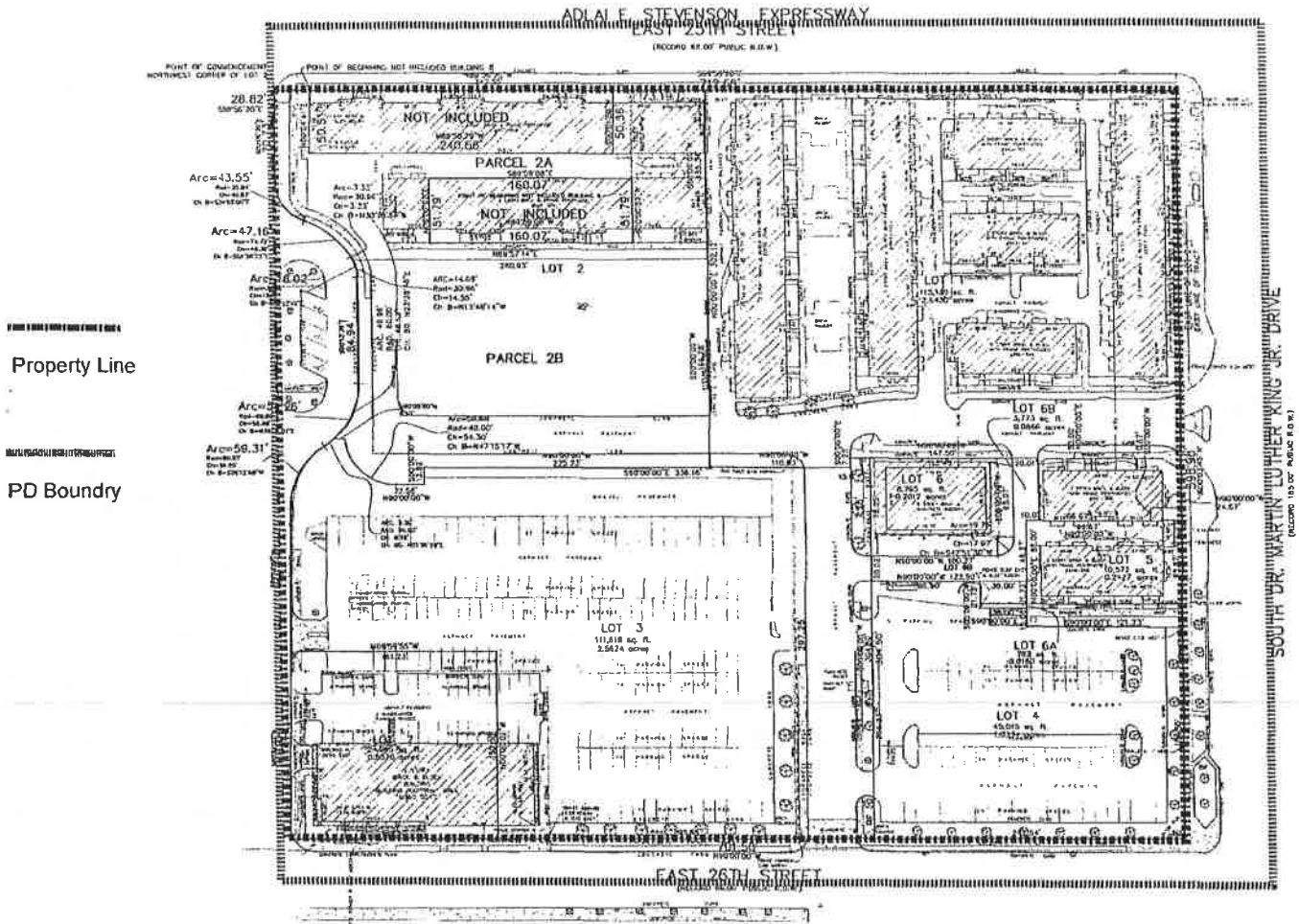
East 26th Street: 10 feet

Surrounding Land Use Map



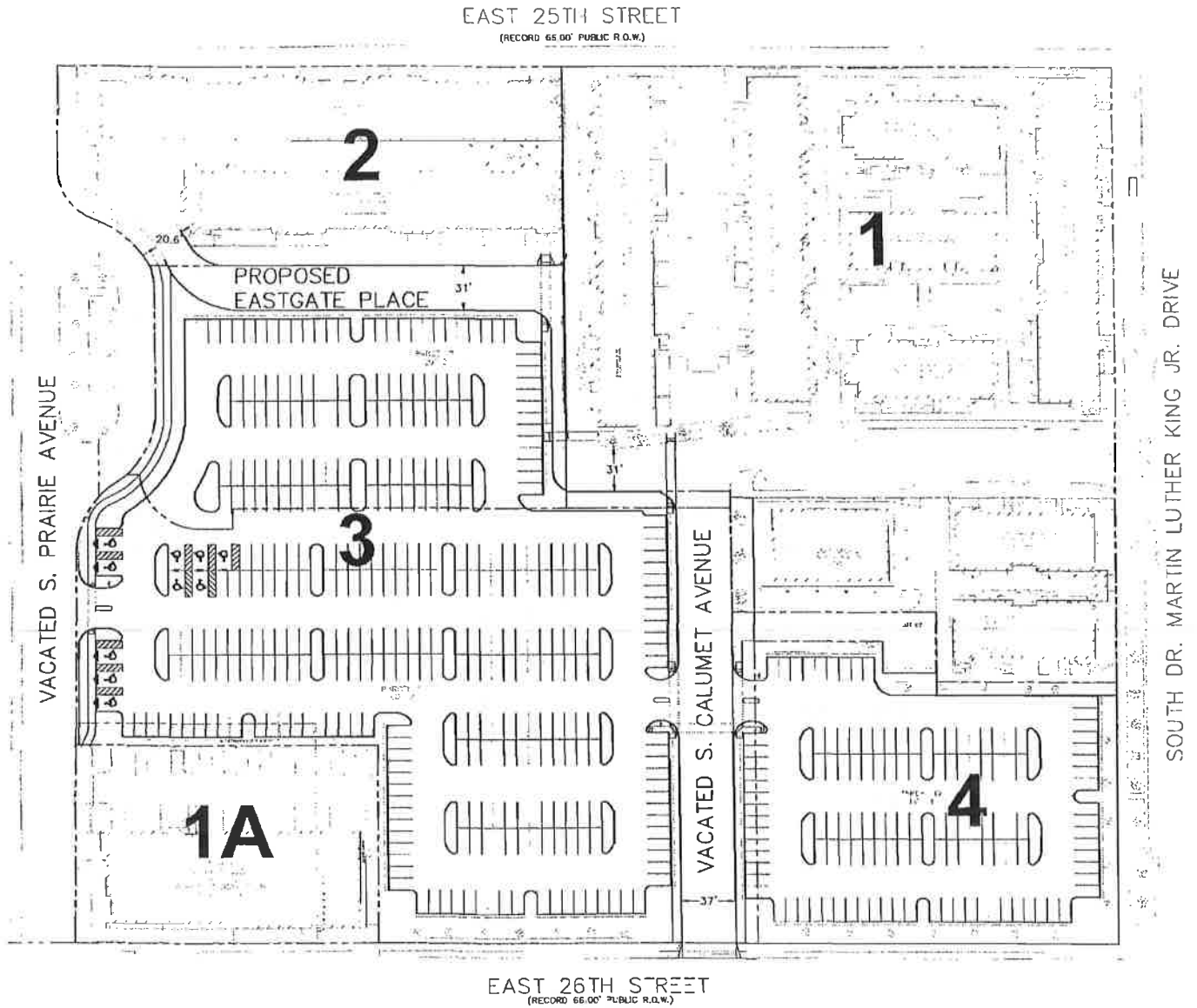
APPLICANT: Mercy Hospital and Medical Center
ADDRESS: 300-368 E. 26th St.; 2500-2558 S. Dr. Martin Luther King Dr.; 301-367 E. 25th St.
INTRODUCTION DATE: April 2, 2014
REVISED / CPC DATE: August 21, 2014

Planned Development Boundary and Property Line Map



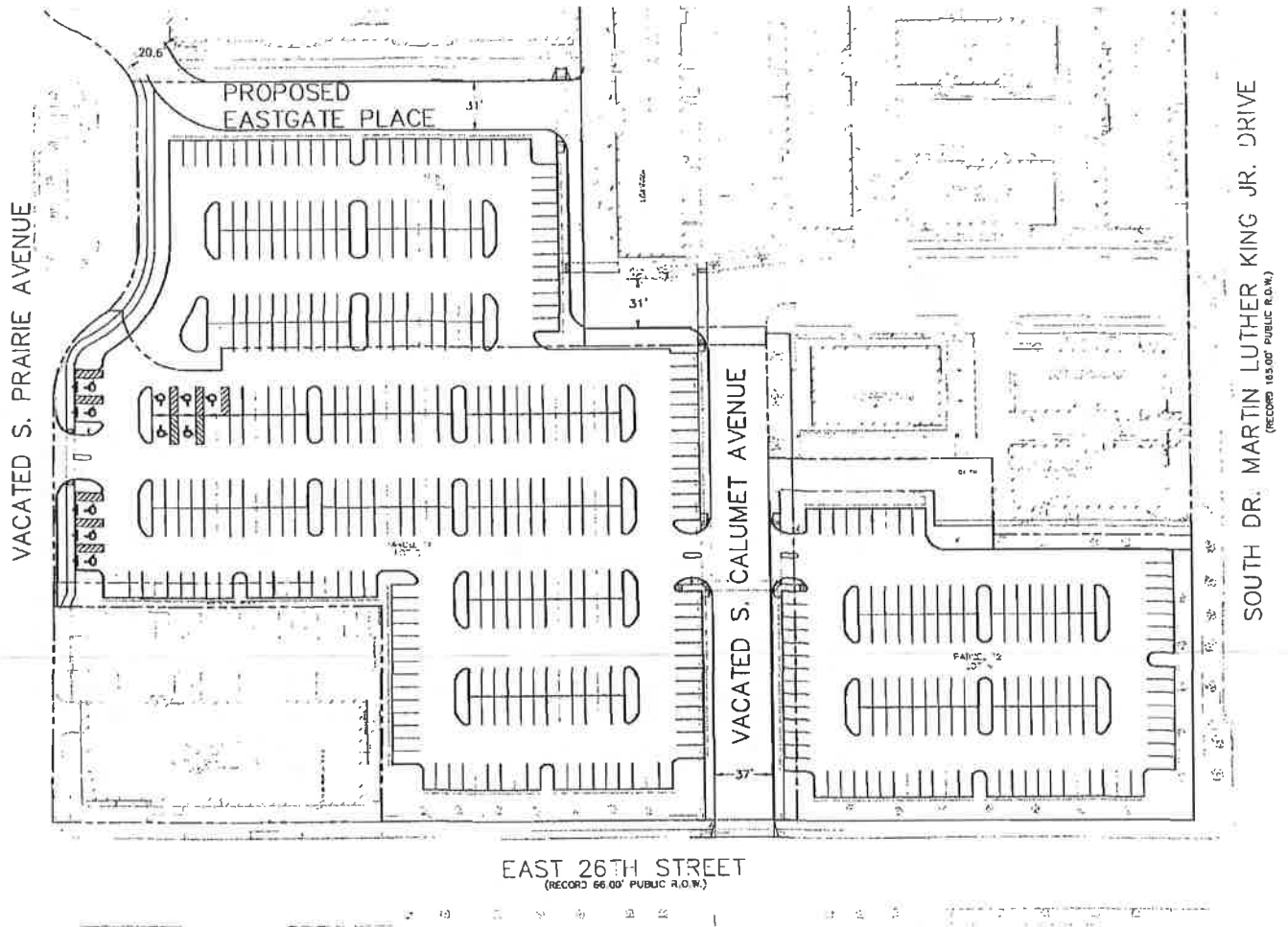
APPLICANT: Mercy Hospital and Medical Center
 ADDRESS: 300-368 E. 26th St.; 2500-2558 S. Dr. Martin Luther King Dr.; 301-367 E. 25th St.
 INTRODUCTION DATE: April 2, 2014
 REVISED / CPC DATE: August 21, 2014

Site Plan (General Site)



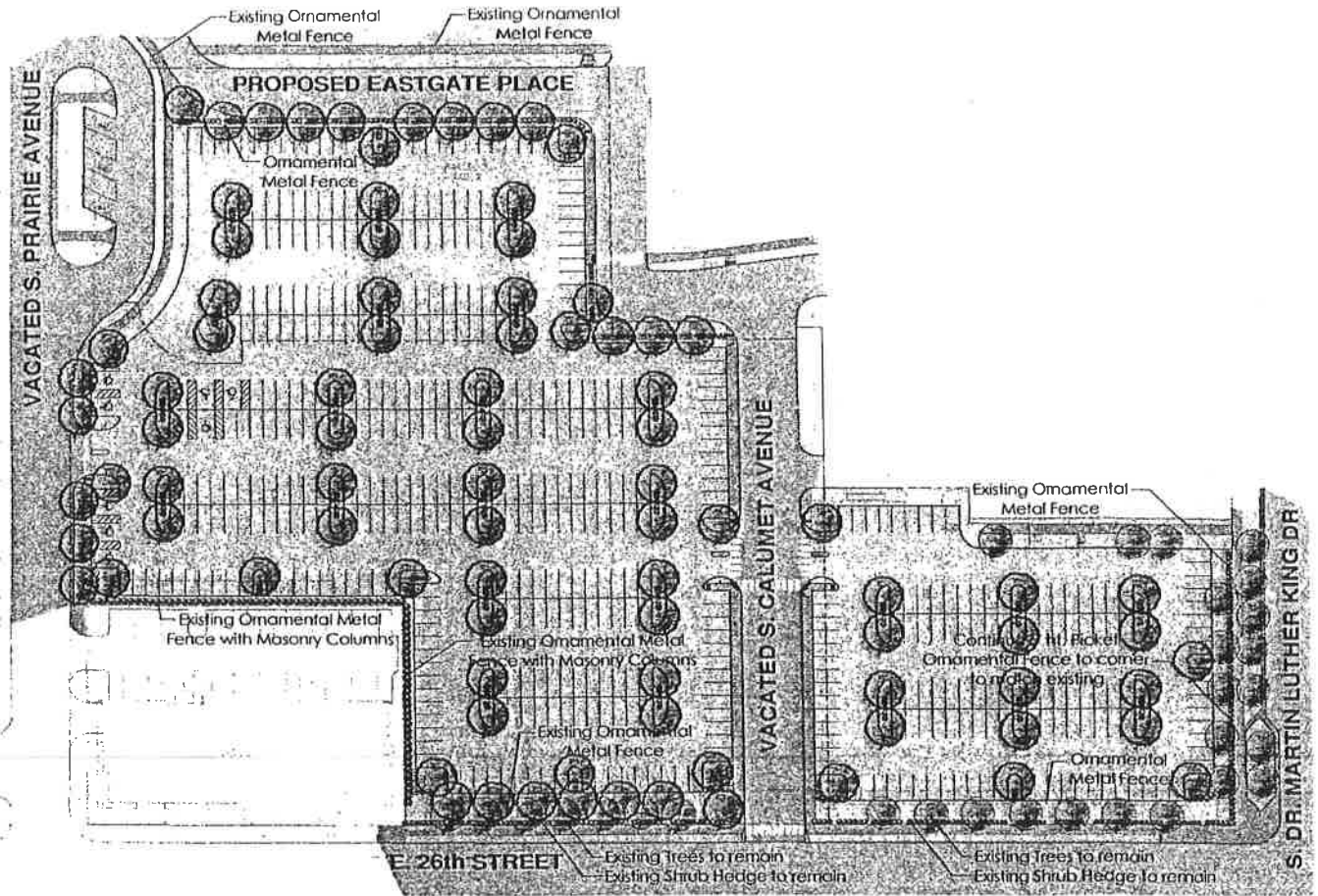
APPLICANT: Mercy Hospital and Medical Center
ADDRESS: 300-368 E. 26th St.; 2500-2558 S. Dr. Martin Luther King Dr.; 301-367 E. 25th St.
INTRODUCTION DATE: April 2, 2014
REVISED / CPC DATE: August 21, 2014

Site Plan (Subareas 3 and 4)



APPLICANT: Mercy Hospital and Medical Center
 ADDRESS: 300-368 E. 26th St.; 2500-2558 S. Dr. Martin Luther King Dr.; 301-367 E. 25th St.
 INTRODUCTION DATE: April 2, 2014
 REVISED / CPC DATE: August 21, 2014

Landscape Plan (Schematic - Subareas 3 and 4 only)



QTY.	KEY	BOTANICAL NAME / COMMON NAME	SIZE/COND
Shade Trees			
26	CEOC	<i>Celtis occidentalis</i> Hackberry	3'ca
16	GLSK	<i>Gleditsia inaequalis</i> Skyline Skyline Honeylocust	3'ca
13	PYCH	<i>Pyrus calleryana</i> 'Chancellor' Charadeer Ornamental Pear	3'ca
15	RCPR	<i>Rubus pseudoacacia</i> Purple Robe Purple Robe Black Locust	3'ca
10	TIGR	<i>Tilia cordata</i> Greenspire Greenspire Littleleaf Linden	3'ca
5	ULAC	<i>Ulmus laevis</i> Acadade Elm	3'ca



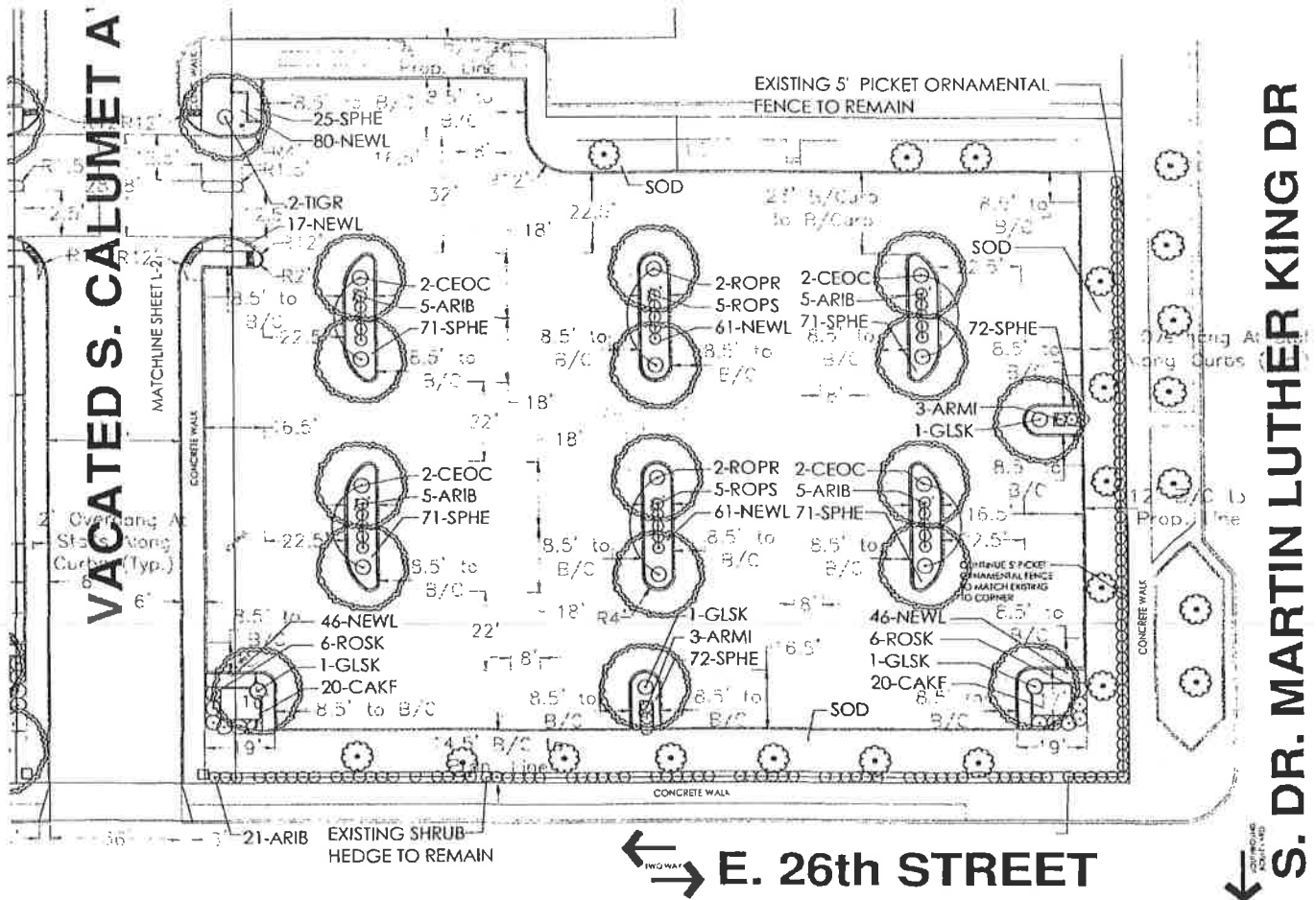
QTY.	KEY	BOTANICAL NAME / COMMON NAME	SIZE/COND
Deciduous Shrubs			
101	ARIB	<i>Aronia melanocarpa</i> Morzon Iroquois Beauty Black Chokeberry	24"wd
109	COAC	<i>Cornus alternifolia</i> Peking Cornus	30"ca
56	ROPS	<i>Rosa</i> var. NOA168098F Pink Supreme Flower Carpet Rose	#3
35	ROSK	<i>Rosa</i> 'Radsunny' Sunny Knock Out Rose	#3
140	SYMK	<i>Syringa patula</i> 'Miss Kim' Miss Kim Lilac	30"ca



QTY.	KEY	BOTANICAL NAME / COMMON NAME	SIZE/COND
Perennials, Groundcover & Ornamental Grasses			
71	CANF	<i>Calamagrostis x acutiflora</i> 'Kari Founster' Kari Founster Feather Reed Grass	#1/2" o.c.
132	HERC	<i>Hemerocallis</i> 'Lido Wine Cup' Lido Wine Cup Daylily	#1/18" o.c.
113	HESD	<i>Hemerocallis</i> 'Sella de Oro' Sella de Oro Daylily	#1/15" o.c.
810	NEWL	<i>Neptis racemosa</i> 'Walker's Low' Walker's Low Catmint	#1/16" o.c.
1731	SPHE	<i>Sporobolus heterolepis</i> Prairie Dropseed	#1/16" o.c.

APPLICANT: Mercy Hospital and Medical Center
ADDRESS: 300-368 E. 26th St.; 2500-2558 S. Dr. Martin Luther King Dr.; 301-367 E. 25th St.
INTRODUCTION DATE: April 2, 2014
REVISED / CPC DATE: August 21, 2014

Landscape Plan (Partial #2 – Subarea 4)



APPLICANT: Mercy Hospital and Medical Center
 ADDRESS: 300-368 E. 26th St.; 2500-2558 S. Dr. Martin Luther King Dr.; 301-367 E. 25th St.
 INTRODUCTION DATE: April 2, 2014
 REVISED / CPC DATE: August 21, 2014



City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)
<http://www.cityofchicago.org>

March 26, 2008

Mr. John J. George
Attorney At Law
Two First National Plaza
Suite 400
20 South Clark Street
Chicago, IL 60603-1903

Re: **Administrative Relief request for Residential Planned Development No. 986, Eastgate Village, Sub-Areas 1A and 3**

Dear Mr. George:

Please be advised that your request for a minor change to Residential Planned Development No. 986 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

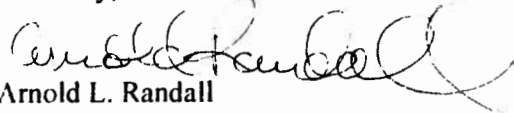
Specifically, you are requesting to:

- Substitute a revised Sub-Area Map, dated March 10, 2008, in place of the previously approved Sub-Area Map. The revised Map indicates an increase in the size of Sub-Area 1A and a decrease in the size of Sub-Area 3. Despite the changes to these Sub-areas, you have agreed to abide by the individual Sub-area Floor Area Ratios stated in the original Bulk Table and will not exceed the overall maximum Floor Area Ratio stated in the Bulk Table as stated in an e-mail dated March 18, 2008 hereto attached.
- Substitute a revised Section I-I, dated March 10, 2008, in place of the previously approved Section for the proposed G & A Senior Residence. The revised Section indicates a setback of 6 feet above the second floor in place of the original 10 foot setback, resulting in a reduction of the periphery setback from 21 feet to 17 feet. Additionally, you are requesting a height reduction from 130'-0" to 94'-4" feet to the top of the parapet, as shown on a revised South Elevation, prepared by Harley Ellis Devereaux and dated March 18, 2008.

With regard to your request, the Department of Planning and Development has determined that these revisions do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 986, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

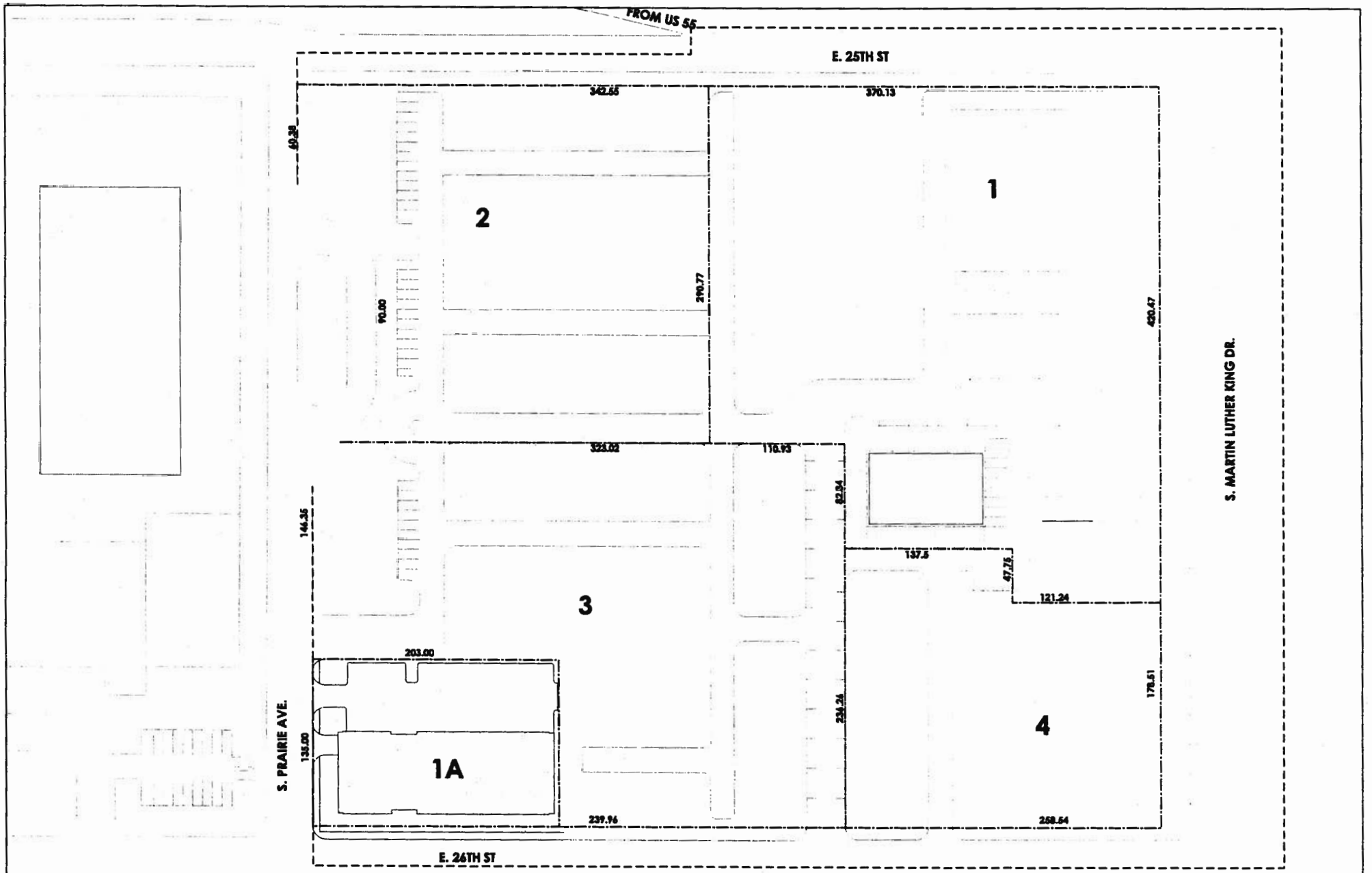
Sincerely,


Arnold L. Randall
Commissioner

ALR:SA:HG:tm

cc: Judy Minor-Jackson, Mike Marmo, Pat Haynes, Erik Glass, DPD files





Subarea Map

PLANNED DEVELOPMENT BOUNDARY - - - - -
 SUB-AREA BOUNDARY - - - - -

APPLICANT: MERCY CAMPUS DEVELOPERS, L.L.C., MERCY HOSPITAL AND MEDICAL CENTER
 ADDRESS: 2500-2558 S. MARTIN LUTHER KING JR. DRIVE
 DATED: MAY 6, 2005
 REVISED: MARCH 31, 2006
 REVISED: MARCH 10, 2008

SCALE: NTS



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

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Chicago, Illinois 60602
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(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

August 31, 2007

John J. George
Daley and George, LLC
20 South Clark Street; Suite 400
Chicago, Illinois 60603-1903

**Re: Request for Minor Change to Site Plan for Residential Planned
Development No. 986 - Sub-area 2
(Eastgate Village)**

Dear Mr. George:

Your request for a minor change to the previously approved Site Plan for Sub-area 2 of Residential Planned Development No. 986, submitted on behalf of Mercy Campus Developers, L.L.C., has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development. The Site Plan for Sub-area 2 was approved on October 5, 2006, and subsequently revised on February 22, 2007.

As revised, the previously approved Site Plan provided for the construction of 62 residential units located in 44 townhouses and three 6-unit "condominium-style row houses". The proposed revision calls for a total of 68 residential units located in 26 townhouses and seven 6-unit "condominium-style row houses." Each townhouse would contain two parking spaces (a total of 52) and the "condominium-style row houses" would contain one space per residential unit, resulting in a total of 94 off-street parking spaces.

The changes in unit count and building-type distribution would result in changes in the Elevations of Building 9 and Building 10. Among other changes to the Elevations, the revised Elevations would provide for the use of Hardie plank siding on the rear elevations in addition to the previously approved brick.

The resulting total FAR of Sub-area 2 would be 1.36. The proposal contains a total gross floor area of 128,646 square feet, which includes 19,495 square feet of interior garage space, with a resulting FAR floor space of 109,151 square feet and a total ground coverage of 43,070 square feet.

There shall be a vegetated ("green") roof over at least 25% of the net roof area of all new construction buildings with four or more residential units. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures, and roof-mounted equipment. If the required vegetated roof area is to be provided on a roof elsewhere in the Planned Development, the Part 2 application must state that fact and indicate the location where the required vegetated roof area is to be provided and the square feet of vegetated roof to be provided.

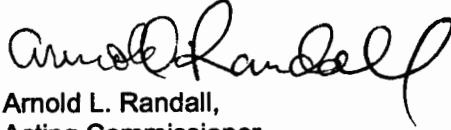
The following revised drawings are submitted in accordance with Statement No. 11 of the Residential Planned Development No. 986. The drawings, revised by Bauhs Dring Seglin Main Architects and dated June 25, 2007, were reviewed and will be added to the main file within the Department of Planning and Development in anticipation of an amended Part II request:



- G-001 Title Sheet
- G-002 Site Pedestrian Circulation Plan
- G-003 Site and Unit Layout Plan
- G-201 Building 8 Elevations
- G-201.1 Building 8 Elevations
- G-202 Building 9 Elevations
- G-203 Building 10 Elevations
- G-204 Building 11 Elevations
- L-0.0 Tree Protection and Demolition
- L-1.0 Landscape Plan and Notes

With regard to your request, the Department of Planning and Development has determined that such revisions to the Sub-area 2 Site Plan of the Planned Development would constitute minor changes pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development. Accordingly, this revised Site Plan for Sub-area 2 is approved as conforming to the Plan of Development as approved by the Chicago City Council.

Very truly yours,



Arnold L. Randall,
Acting Commissioner

Originated by: Fred Deters

cc: Kathleen Nelson, Mike Marmo, Pat Haynes, Erik Glass, Judy Minor-Jackson, Planned Development files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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<http://www.cityofchicago.org>

February 22, 2007

Mr. John J. George
Attorney At Law
Daley and George LLP
Two First National Plaza
Suite 400
Chicago, IL 60603-1903

Re: **Site Plan Approval for Residential Planned Development No. 986,
Sub-Area 2, Eastgate Village**

Proposal: The construction of 62 dwelling units, which include 44
townhouse buildings and 18 condominium style row houses.

Location: East 26th Street and South Martin Luther King Drive

Dear Mr. George:

We have reviewed the revised plans for Sub-Area 2 of this Planned Development, which was previously issued a Site Plan Approval on October 5, 2006. The previous Site Plan Approval allowed for the construction of 58 dwelling units, which included 43 townhouse buildings, six condominium style row houses and three 3- flat buildings (totaling nine units). Your client is now proposing to eliminate the three 3-flat buildings, add one townhouse unit, and add 12 condominium style row houses. The revised proposal consists of a total of 62 units, including 44 townhouse buildings and 18 condominium style row houses. Each townhouse will contain two parking spaces (a total of 88), and the 18 condominium style row houses will have one space per unit, resulting in a total of 106 off-street parking spaces.

The resulting total FAR of Sub-Area 2 is 1.45. The proposal contains a total floor area of 136,296 square feet, which includes 20,183 square feet of interior garage space, with a resulting FAR space of 116,113 square feet. This results in a total floor area of 136,296 square feet and total ground coverage of 42,488 square feet of the entire Planned Development.

As shown on the submitted drawings, the model D3 buildings require a 25% green roof (a total of 572 square feet). This square footage will be added to the total green roof required and installed on the future mid-rise building.

The following revised drawings are submitted in accordance with Statement No. 11 of Residential Planned Development No. 986. The drawings, revised by Bauhs Dring Seglin Main Architects and dated January 24, 2007, were reviewed and will be added to the main file within The Department of Planning and Development in anticipation of Part II:

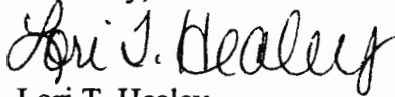
- G-001 Title Sheet
- G-002 Site Pedestrian Circulation Plan



- G-003 Site and Unit Layout Plan
- G-201 Building 8 Elevations
- G-201.1 Building 8 Elevations
- G-202 Building 9 Elevations
- G-203 Building 10 Elevations
- G-204 Building 11 Elevations
- L-0.0 Tree Protection and Demolition
- L-1.0 Landscape Plan and Notes

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Any minor change to the above-mentioned plans must be submitted for approval by the Commissioner of the Department of Planning and Development. Accordingly, this Site Plan submittal for Residential Planned Development No. 986 is hereby approved as conforming to the Plan of Development as passed by the Chicago City Council.

Sincerely,



Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, Pat Haynes, DPD Files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

October 5, 2006

Mr. Dennis J. Aukstik
Attorney At Law
Daley and George LLP
Two First National Plaza
Suite 400

submitted in accordance with Statement No. 11 of Residential Planned
Development No. 986
Chicago, IL 60603-1903

Re: **Site Plan Approval for Residential Planned Development No. 986,
Sub-Area 2, Eastgate Village**

Proposal: The construction of 58 dwelling units, which includes 43
townhouse buildings, six condominium style/row houses and three 3-flat
buildings (totaling nine units).

Location: East 26th Street and South Martin Luther King Drive

Dear Mr. Aukstik:

We have reviewed the plans for Sub-Area 2 of this Planned Development, which in its entirety, consists of the construction of 820 dwelling units in townhouses, low-rise condominium buildings, a mid-rise building, a mid-rise senior living facility and the retention of an existing 40-unit residential building. Sub-Area 2 of the Planned Development consists of the construction of 58 units which includes 43 townhouse buildings, six condominium style/row houses and three 3-flat buildings (totaling nine units). Each townhouse will contain two parking spaces (86), the six condominium style rowhouses and three 3-flat buildings will have one space per unit (15), resulting in a total of 101 off-street parking spaces. In addition, there are 13 street parking spaces and zero loading docks.

The resulting total FAR of Sub-Area 2 is 1.47. The proposal contains a total floor area of 126,239 square feet, which includes 16,383 square feet of interior garage space. This results in a total ground coverage of 38,863 square feet.

The following drawings are submitted in accordance with Statement No. 11 of Residential Planned Development No. 986. The drawings, prepared by Bauhs Dring Seglin Main Architects and dated September 25, 2006, were reviewed and will be added to the main file within The Department of Planning and Development in anticipation of Part II:

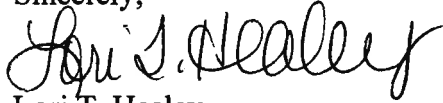
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- G-204 Building 11 Elevations
- G-205 Building 12 Elevations
- L-0.0 Tree Protection and Demolition
- L-1.0 Landscape Plan and Notes

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Any minor change to the above-mentioned plans must be submitted for approval by the Commissioner of the Department of Planning and Development. Accordingly, this Site Plan submittal for Residential Planned Development No. 986 is hereby approved as conforming to the Plan of Development as passed by the Chicago City Council.

Sincerely,



Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD Files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
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<http://www.cityofchicago.org>

main file

October 12, 2006

John J. George
Daley and George
20 South Clark Street; Suite 400
Chicago, Illinois 60603-1903

Re: Request for Minor Change to Residential Planned Development No. 986 - Sub-area 1A (Eastgate Village)

Dear Mr. George:

Your request for a minor change to Residential Planned Development No. 986, submitted on behalf of Mercy Campus Developers, L.L.C., has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to increase the maximum permitted height for the senior building in Sub-area 1A from 130 feet to 160 feet by revision to the Bulk Regulations and Data Table and substitution of the drawings Exhibit 11 Height Allowance Map and Section I-I, dated March 31, 2006, for those in the Planned Development as approved. This request is being made to correct an oversight in the Planned Development as approved and would not change the maximum permitted number of dwelling units in Sub-area 1A (180).

With regard to your request, the Department of Planning and Development has determined that such revisions to the Planned Development would constitute minor changes pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development. However, it is the desire of this Department that the additional height might be used, in part, to reduce the footprint of the proposed building, if at all feasible.

I hereby approve the above minor change, but no other change, to Residential Planned Development No. 986.

Very truly yours,

Lori T. Healey
Commissioner *HL*

Originated by: Fred Deters

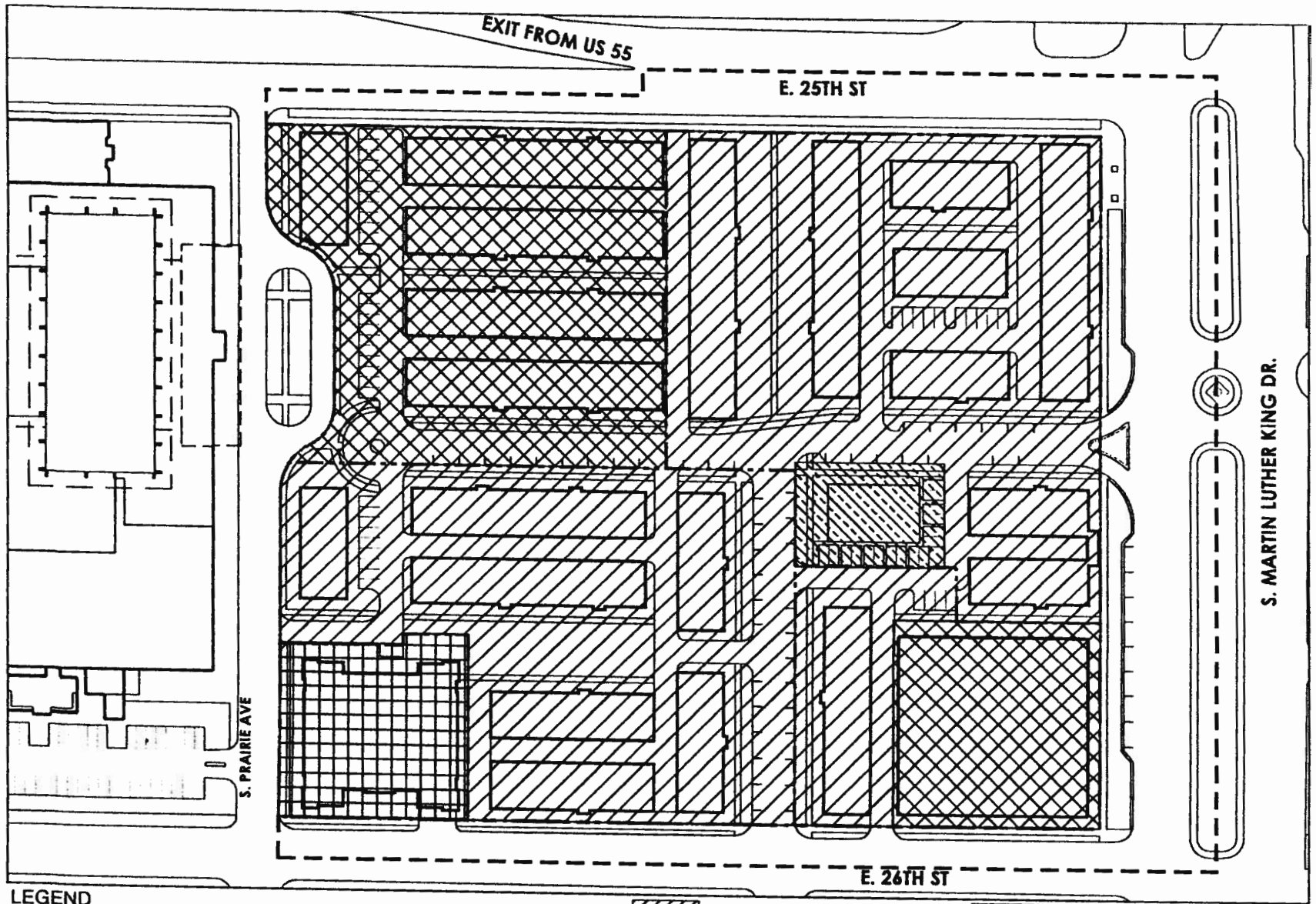
cc: Mike Marmo, Judy Minor-Jackson, Kathleen Nelson, Planned Development files



127



284



LEGEND

Planned Development Boundary

Property Lines

Maximum: 60 FT high

Maximum: 160 FT high



Existing Height (+/- 73 FT)

Maximum: 180 FT high



SCB



EASTGATE VILLAGE

EXHIBIT 11: HEIGHT ALLOWANCE MAP

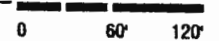
Applicant: Mercy Campus Developers, L.L.C., Mercy Hospital and Medical Center

Address: 2500-2558 S. Martin Luther King Jr. Drive

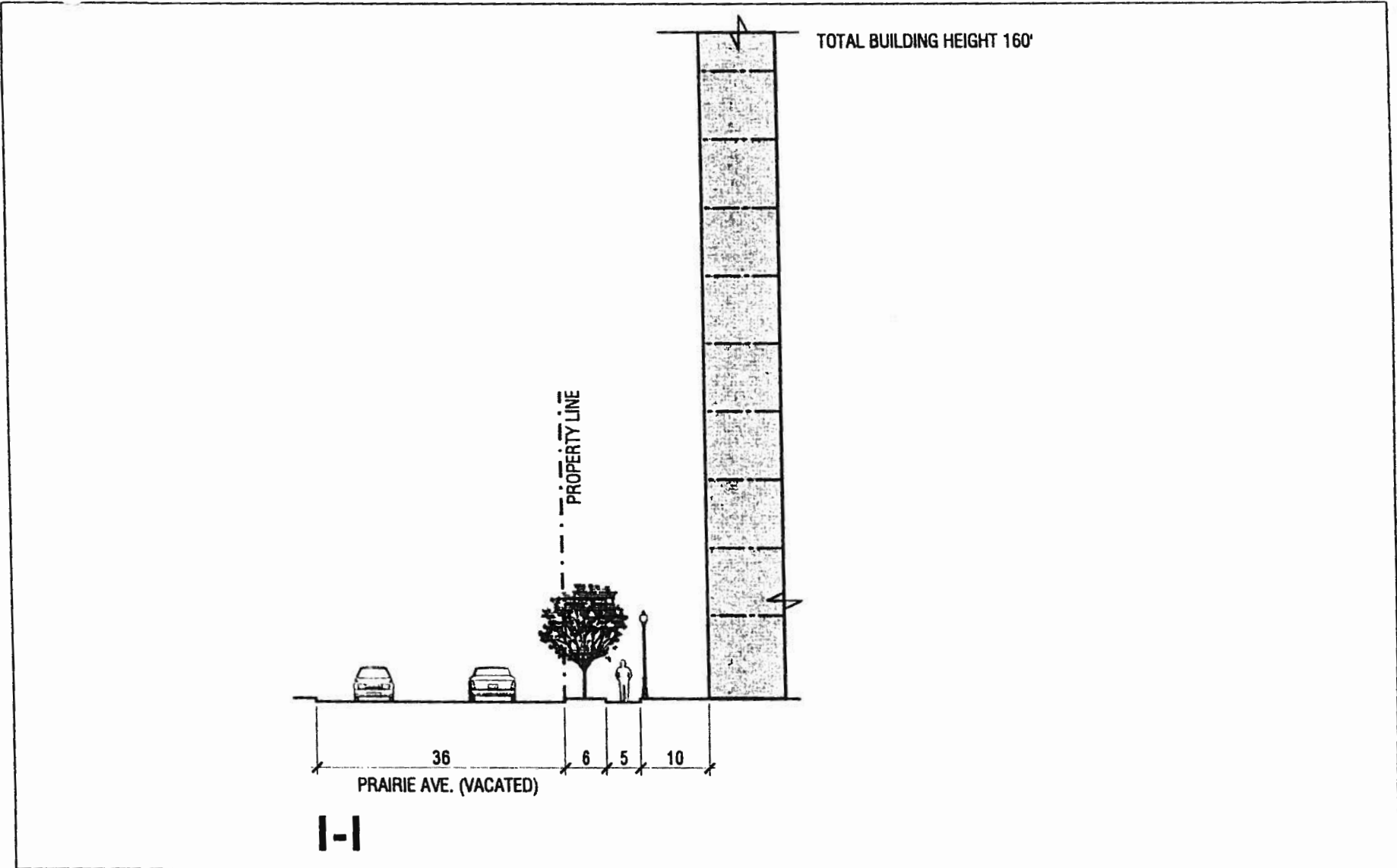
Date: May 6, 2005

Revised: March 31, 2006

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3
A
4



SCB

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SECTION I-I

Applicant: Mercy Campus Developers, L.L.C., Mercy Hospital and Medical Center

Address: 2500-2558 S. Martin Luther King Jr. Drive

Date: May 6, 2005

Revised: March 31, 2006

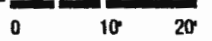


Exhibit 1: Bulk Regulations and Data Table

Gross Site Area: 536,421 Square Feet (12.31 Acres)
Net Site Area: 413,228 Square Feet (9.48 Acres)
Area in Public Right-of-way: 123,193 Square Feet (2.83 Acres)

Maximum Floor Area Ratio: 4.4 FAR

Maximum Number of Residential Units: 820 Units

Maximum Lot Coverage: Per Approved Site Plan

Maximum Building Heights:
 Townhouse and 3 Unit buildings 60 Feet
 3-Flats, 6-Flats, & 9-Flats 60 Feet
 Condo Buildings 180 Feet
 Senior Housing ~~130 Feet~~
 160

Minimum Number of Off-Street Parking Spaces to be provided:
 Condo Units, 3, 6, & 9 Flats & 3-Unit Buildings 1 Parking Space per Unit
 Townhouses 2 Parking Spaces per Unit
 Senior Units 1 Parking Space per 3 Units
 2520 Building 20 Spaces

Minimum Number of Off-street Loading Berths: New construction as required per RM-6 District

Minimum Periphery Setbacks: Per Approved Site Plan

SUB AREAS	FAR	Units
Sub Area 1	1.5	125
Sub Area 1A	8.5	180
Sub Area 2	4.5	240
Sub Area 3	1.5	100
Sub Area 4	4.5	175



EXHIBIT 1: BULK REGULATIONS AND DATA TABLE
Applicant: Mercy Campus Developers, L.L.C. Mercy Hospital and Medical Center
Address: 2500-2558 S. Martin Luther King Jr. Drive
 Date: May 6, 2005
 Revised: August 18, 2005



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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Chicago, Illinois 60602
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<http://www.cityofchicago.org>

mainfile

October 5, 2006

Mr. Dennis J. Aukstik
Attorney At Law
Daley and George LLP
Two First National Plaza
Suite 400

submitted in accordance with Statement No. 11 of Residential Planned
Development No. 986
Chicago, IL 60603-1903

**Re: Site Plan Approval for Residential Planned Development No. 986,
Sub-Area 2, Eastgate Village**

Proposal: The construction of 58 dwelling units, which includes 43
townhouse buildings, six condominium style/row houses and three 3-flat
buildings (totaling nine units).

Location: East 26th Street and South Martin Luther King Drive

Dear Mr. Aukstik:

We have reviewed the plans for Sub-Area 2 of this Planned Development, which in its' entirety, consists of the construction of 820 dwelling units in townhouses, low-rise condominium buildings, a mid-rise building, a mid-rise senior living facility and the retention of an existing 40-unit residential building. Sub-Area 2 of the Planned Development consists of the construction of 58 units which includes 43 townhouse buildings, six condominium style/row houses and three 3-flat buildings (totaling nine units). Each townhouse will contain two parking spaces (86), the six condominium style rowhouses and three 3-flat buildings will have one space per unit (15), resulting in a total of 101 off-street parking spaces. In addition, there are 13 street parking spaces and zero loading docks.

The resulting total FAR of Sub-Area 2 is 1.47. The proposal contains a total floor area of 126,239 square feet, which includes 16,383 square feet of interior garage space. This results in a total ground coverage of 38,863 square feet.

The following drawings are submitted in accordance with Statement No. 11 of Residential Planned Development No. 986. The drawings, prepared by Bauhs Dring Seglin Main Architects and dated September 25, 2006, were reviewed and will be added to the main file within The Department of Planning and Development in anticipation of Part II:

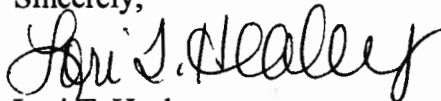
- G-001 Title Sheet
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- L-0.0 Tree Protection and Demolition
- L-1.0 Landscape Plan and Notes

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Any minor change to the above-mentioned plans must be submitted for approval by the Commissioner of the Department of Planning and Development. Accordingly, this Site Plan submittal for Residential Planned Development No. 986 is hereby approved as conforming to the Plan of Development as passed by the Chicago City Council.

Sincerely,



Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD Files



City of Chicago
Richard M. Daley, Mayor

**Department of Planning
and Development**

Lori T. Healey
Commissioner

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<http://www.cityofchicago.org>

February 21, 2006

Todd Main
Bauhs Dring Seglin Main, Architects and Planners
One East Delaware Street, Suite 500
Chicago, Illinois 60611

Re: Site Plan Approval for Residential Planned Development No.
986, Sub-Area 1
(Eastgate Village - Phase 1)

Dear Mr. Main:

We have reviewed your request submitted on behalf of your client for Site Plan approval for development of Eastgate Village - Phase 1 which comprises Sub-area 1 of Residential Planned Development No. 986. This development consists of 109 residential dwelling units, 180 off-street parking spaces, and a common open space of approximately 11,888 square feet.

The 109 residential units consist of: 51 townhouses, 9 condominium units in townhouse-style buildings, 9 condominium units in one 3-flat and one 6-flat building, and 40 units in an existing 6-story building. The Planned Development permits a maximum of 125 residential units in Sub-area 1. The 181 off-street parking spaces are provided in accordance with the Planned Development as follows: 2 garage spaces in each townhouse (102 spaces); 1 garage space for each condominium unit in townhouse-style buildings (9 spaces); 10 exterior spaces for the 9 condominium units in flat-style buildings; 20 exterior spaces for the 40-unit mid-rise building; and 40 spaces on the interior drives (10 spaces on Eastgate Place/ King Dr. to Calumet Ave.; 10 spaces on Eastgate Place/ Calumet Ave. to cul-de-sac; and 20 spaces on Calumet Ave./ Eastgate Place to 26th Street).

The nine buildings in this phase cover a total of 49,943 square feet of ground and contain a total 167,588 square feet of FAR floor area for a sub-area FAR of 1.24; the Planned Development allows a maximum FAR of 1.50 in Sub-area 1. The heights of the proposed townhouse buildings (42 feet) and the flat buildings (33 feet) are less than the maximum permitted (60 feet).



Site Plan approval for Sub-area 1 is hereby approved, based on the following exhibits and subject to the provisions of this letter:

EXHIBITS

G-003	Site and Unit Layout Plan
G-201	Sales Center Elevations
G-202	Building 1 Elevations
G-203	Building 2 Elevations
G-204	Building 3 Elevations
G-205	Building 4 Elevations
G-206	Building 5 & 5A Elevations
G-207	Building 6 (9-Flats) Elevations
L-1.0	Tree Protection and Demolition
L-2.0	Landscape Plan and Notes

All of the above Exhibits were created by Bauhs Dring Seglin Main, Architects and/or Daniel Weinbach & Partners, and are dated February 6, 2006.

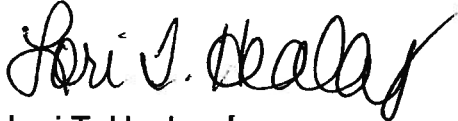
PROVISIONS

1. There shall be a vegetated ("green") roof over at least 25% of the net roof area of all new construction buildings with four or more residential units. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures, and roof-mounted equipment. If the required vegetated roof area is to be provided on a roof elsewhere in the Planned Development, the Part 2 application must state that fact and indicate the location where the required vegetated roof area is to be provided.
2. This Site Plan Approval covers Sub-area 1 of the Planned Development plus the curb-to-curb portions of the following interior roadways: Eastgate Place from Calumet Ave. to the cul-de-sac and Calumet Ave. from Eastgate Place to 26th Street.
3. The building indicated as Sales Center may be initially designed, constructed, and used as a sales center. When it ceases to be used as a sales center, the building shall be configured and used as residences as depicted in the above Exhibits.

4. The common open space provided on the former Calumet Avenue right-of-way between East 25th Street and Eastgate Place may also serve as a fire lane. The open space must provide the maximum amount of green area consistent with Fire Department regulations.

This letter, together with the attached Exhibits and the plans incorporated by reference, constitutes Site Plan Approval for Sub-area 1 of Residential Planned Development No. 986.

Sincerely,



Lori T. Healey
Commissioner 

Originated by Fred Deters

cc: Mike Marmo, Judy Minor-Jackson, Planned Development files

*Reclassification Of Area Shown On Map Number 6-E.
(As Amended)
(Application Number 14971)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Planned Development Number 26 symbols and indications as shown on Map Number 6-E in the area bounded by:

East 25th Street; South Dr. Martin Luther King, Jr. Drive; East 26th Street; and a line 709.50 feet west of and parallel to South Dr. Martin Luther King, Jr. Drive,

to those of an RM6 Residential Multi-Unit District and a corresponding use district is hereby established on the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the RM6 Residential Multi-Unit District symbols and indications established in Section 1 above to the designation of a Residential Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance reads as follows:

Residential Planned Development Number 986.

Plan Of Development Statements.

1. The area delineated herein as Residential Planned Development Number 986, consists of approximately four hundred thirteen thousand two hundred twenty-eight (413,228) square feet (nine and forty-eight hundredths (9.48) acres) and is owned or controlled by the co-applicants, Mercy Campus Developers, L.L.C. and Mercy Hospital and Medical Center (hereafter, "Applicant").
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and if different than the Applicant, then to the owners of record title to all of the property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors. An agreement among property owners, the board of directors of any property owners association, or a covenant binding property owners, may designate the authorized party for any future amendment, modification or change.
4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; a Subarea Map; a Street Width Map; a Conceptual Site Plan; a Conceptual Landscape Plan; an Open Space Plan; a Pedestrian Circulation Map; a Height Allowance Map; a Street Improvement Front and Side Yard Detail Plan; a Right-in Right-out Detail Plan; a Section Reference Plan; and Section Plans A-A through N-N, dated August 18, 2005, prepared by Solomon Cordwell Buenz and Associates, Inc.. Full-size sets of the Conceptual Site Plan and the Conceptual Landscape Plan are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area delineated herein as "Residential Planned Development": Residential uses including attached townhouses, multi-unit three (+3) units residential buildings; assisted living (elderly custodial care) and accessory uses. Residential use is expressly permitted below the second (2nd) floor.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development.

7. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standard for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation.
8. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply.
10. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Conceptual Site Plan, Conceptual Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Garbage cans shall be stored indoors in garages and said requirement shall be expressly stated in the condominium documents for each dwelling unit.

Low-rise residential structures (townhouses three (3) unit, three (3), six (6) and nine (9) flat buildings, sixty (60) feet or less in height), shall substantially conform to the standards for townhouses in the Zoning Ordinance (Section 17-9-0117) with regard to front yards, building separations and private and common open space. However, Section 17-9-01170-C, which limits rows of townhouses to nine (9) or fewer units, shall not apply to this planned development. In the case of interior drives where garage doors face garage doors, the minimum separation shall be twenty (20) feet including all upper-story living spaces, Section 17-9-0117-E5 of the Zoning Code notwithstanding. All deviations from the requirements of Section 17-9-0117 of the Zoning Code approved in this planned development, statements, bulk regulations and data table and exhibits, are unique to this planned development and shall not provide precedent for any other application, whether planned development or not.

Because South Dr. Martin Luther King, Jr. Drive is a significant part of the city's boulevard system, the facades of buildings along King Drive should be richly articulated and constructed with quality materials. It is preferred that all facades along King Drive include the front unit/building entrance. In cases where the entrance does not face King Drive, windows, including bays, and doors must comprise at least seventeen and five-tenths percent (17.5%) of the King Drive facade.

11. The property is divided into five (5) subareas as described on the Subarea Map; Subarea 1, Subarea 1A, Subarea 2, Subarea 3 and Subarea 4. No Part II approval shall be granted for an individual building or buildings within a subarea until the Commissioner of the Department of Planning and Development shall issue written approval of a Site Plan for the entire subarea in which the proposed improvement is located. Site Plan approval is intended to assure that specific development proposals conform with this planned development and to assist the City in monitoring on-going development.

A Site Plan shall, at a minimum, provide the following information:

- boundaries of development parcel or parcels;
- building footprint or footprints;
- building Facade Elevations and Heights;
- dimensions of all setbacks;
- location and depiction of all parking spaces (including relevant dimensions);
- location and depiction of all loading berths (including relevant dimensions);
- all drives, roadways and vehicular routes;
- all landscaping (including species and size);
- all pedestrian circulation routes and points of ingress/egress (including sidewalks);
- all site statistics applicable to the development parcel or parcels including:
 - floor area and floor area ratio as represented on submitted drawings;
 - lot coverage as represented on submitted drawings;
 - number of parking spaces provided;
 - number of loading berths provided;
 - uses of development parcel;

Changes or modifications to approved Site Plans may be made after approval of the Commissioner, so long as the Site Plan, as so changed or modified, substantially conforms with this planned development.

12. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this planned development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. The Applicant shall provide a vegetated ("green") roof system in accordance with Department of Planning and Development policy as identified in the Green Roof Matrix at the time application is made for approval pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance (Part II).
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the proper shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
15. Unless substantial construction of the improvements has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to the RM5 Residential Multi-Unit District.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Subarea Map; Street Width Map; Conceptual Site Plan; Landscape Plan; Open Space Plan; Pedestrian Circulation Map; Height Allowance Map; Street Improvement Front and Side Yard; Right In Right Out Detail Plan; Section Reference Plan; and Section Plans A-A through N-N referred to in these Plan of Development Statements printed on pages 56101 through 56127 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Bulk Regulations And Data Table.

Gross Site Area:	536,421 square feet (12.31 acres)
Net Site Area:	413,228 square feet (9.48 acres)
Area in Public Right-of-Way:	123,193 square feet (2.83 acres)
Maximum Floor Area Ratio:	4.4 floor area ratio
Maximum Number of Residential Units:	820 units
Maximum Lot Coverage:	Per approved Site Plan
Maximum Building Height:	
Townhouse and 3 unit buildings	60 feet
3 flats, 6 flats and 9 flats	60 feet
Condominium Buildings	180 feet

Senior Housing 130 feet

**Minimum Number of Off-Street
Parking Spaces to be provided:**

Condominium Units 3, 6 and 9 flats and 3-unit buildings	1 parking space per unit
Townhouses	2 parking spaces per unit
Senior Units	1 parking space per 3 units
2520 Building	20 spaces

**Minimum Number of
Off Street Loading Berths:** New construction as required per RM6
District

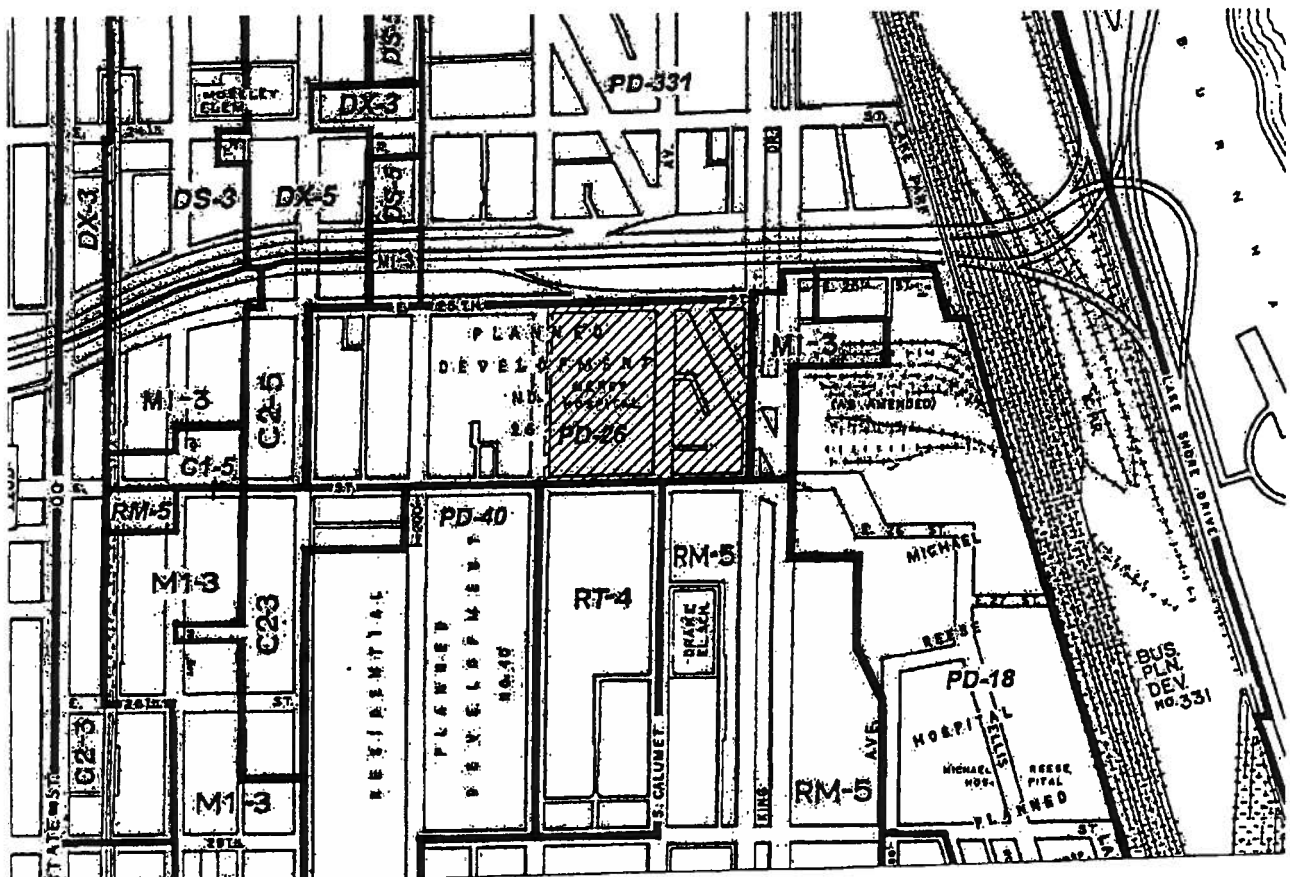
Minimum Periphery Setbacks:

East 25 th Street:	7 feet
South Dr. Martin Luther King, Jr. Drive:	10 feet
East 26 th Street:	10 feet

Subareas:	Floor Area Ratio	Units
Subarea 1	1.5	125
Subarea 1A	8.5	180
Subarea 2	4.5	240
Subarea 3	1.5	100
Subarea 4	4.5	175

Note: F.A.R. and dwelling units may be transferred between subareas.

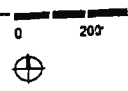
Existing Zoning.



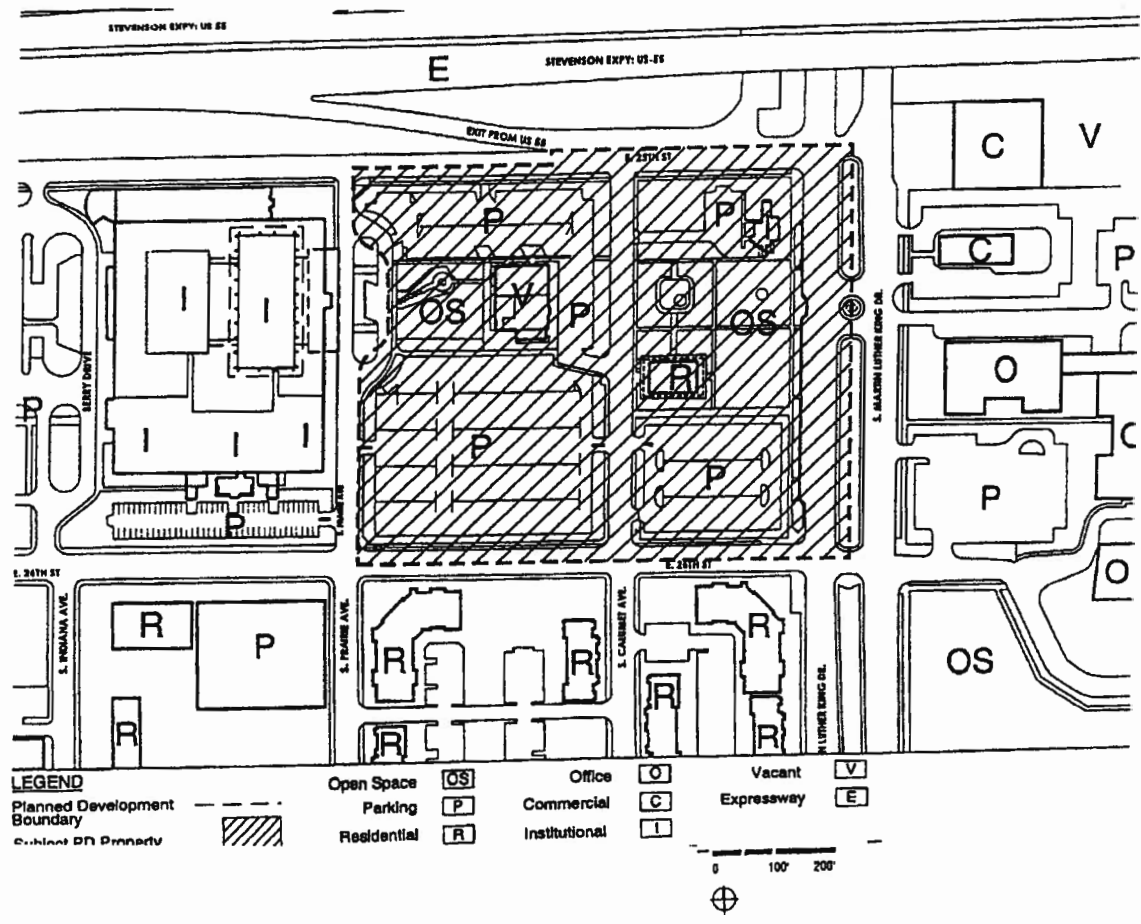
LEGEND

Planned Development Boundary 

Subject PD Property 



Existing Land-Use.

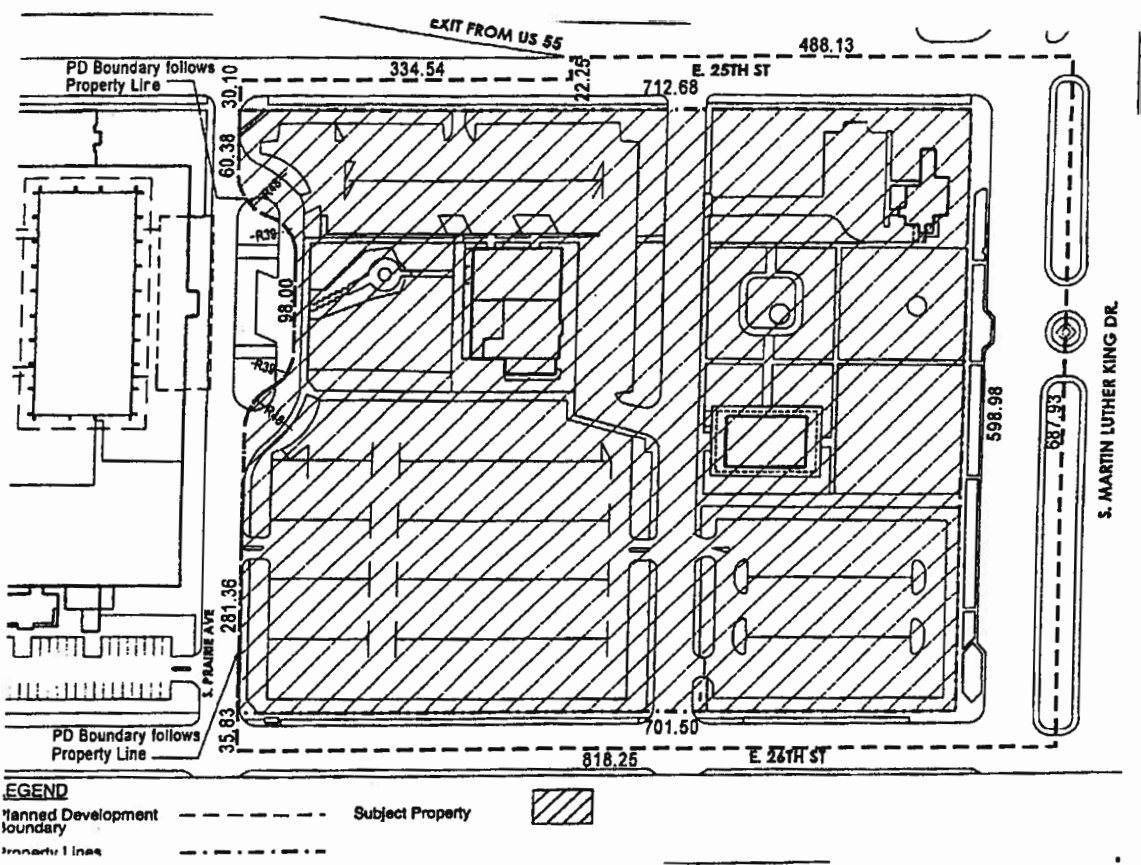


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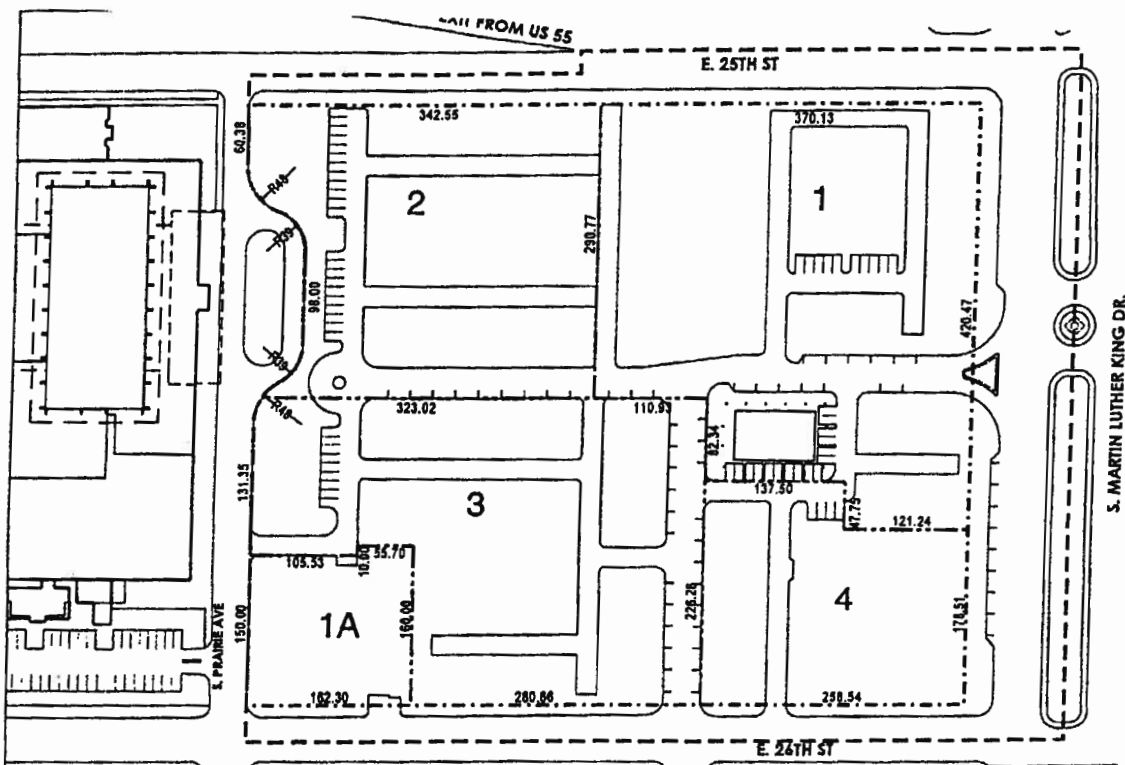
REPORTS OF COMMITTEES

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Planned Development Boundary And Property Line Map.

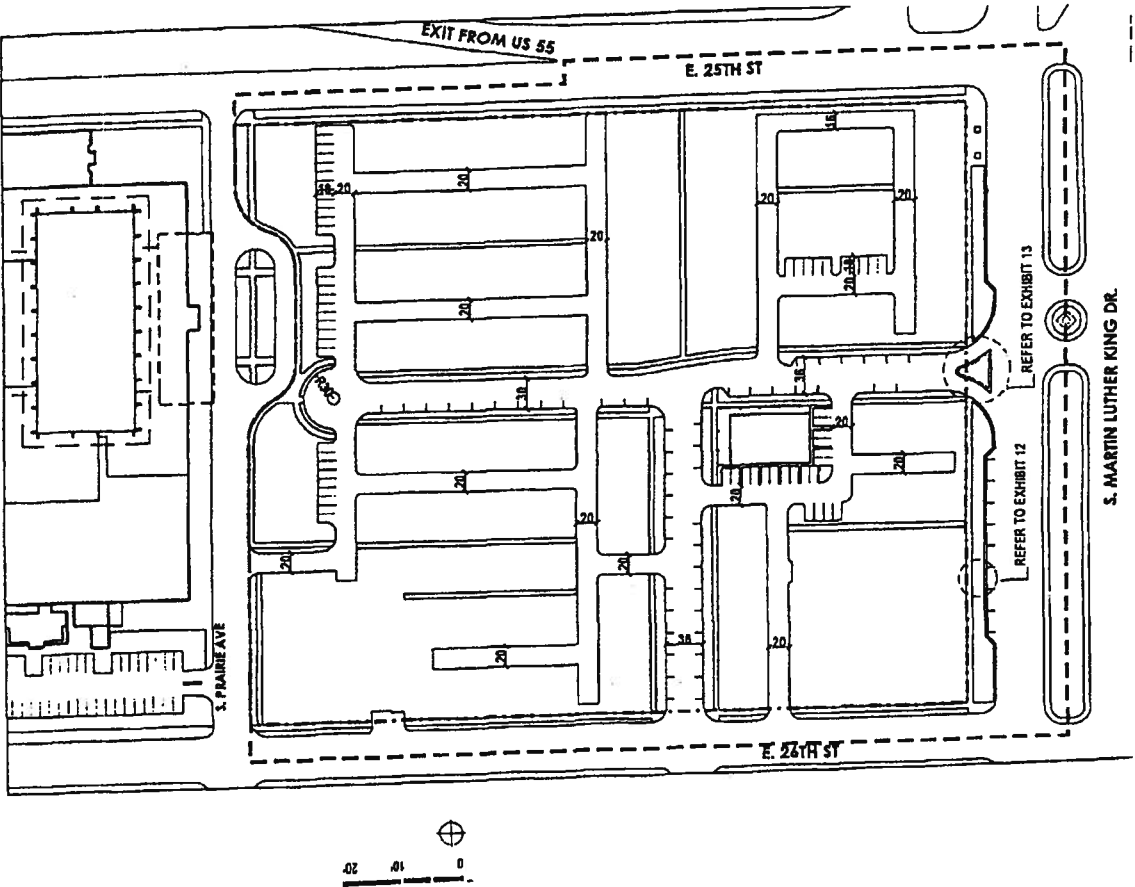


Subarea Map.

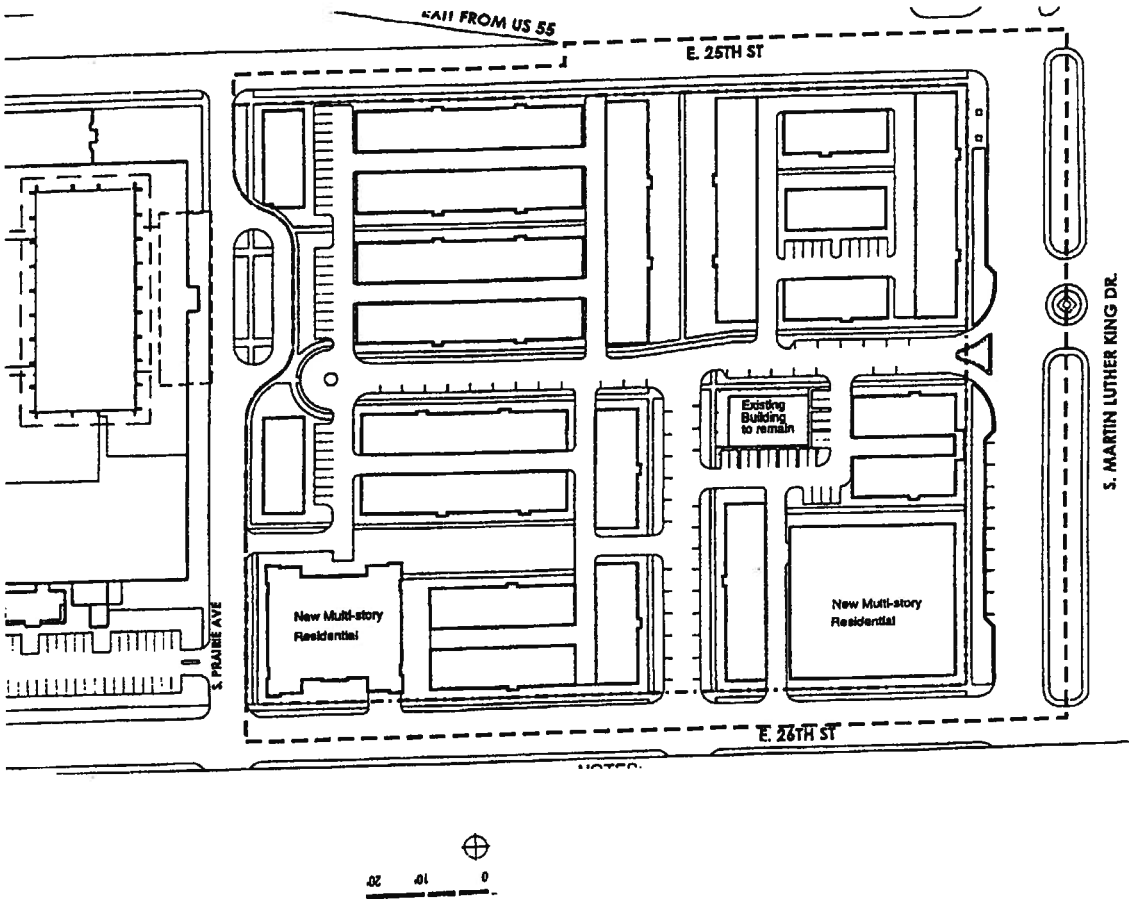


LEGEND
Planned Development Boundary ————
Sub-Area Boundary - - - - -

Street Width Map.



Conceptual Site Plan.

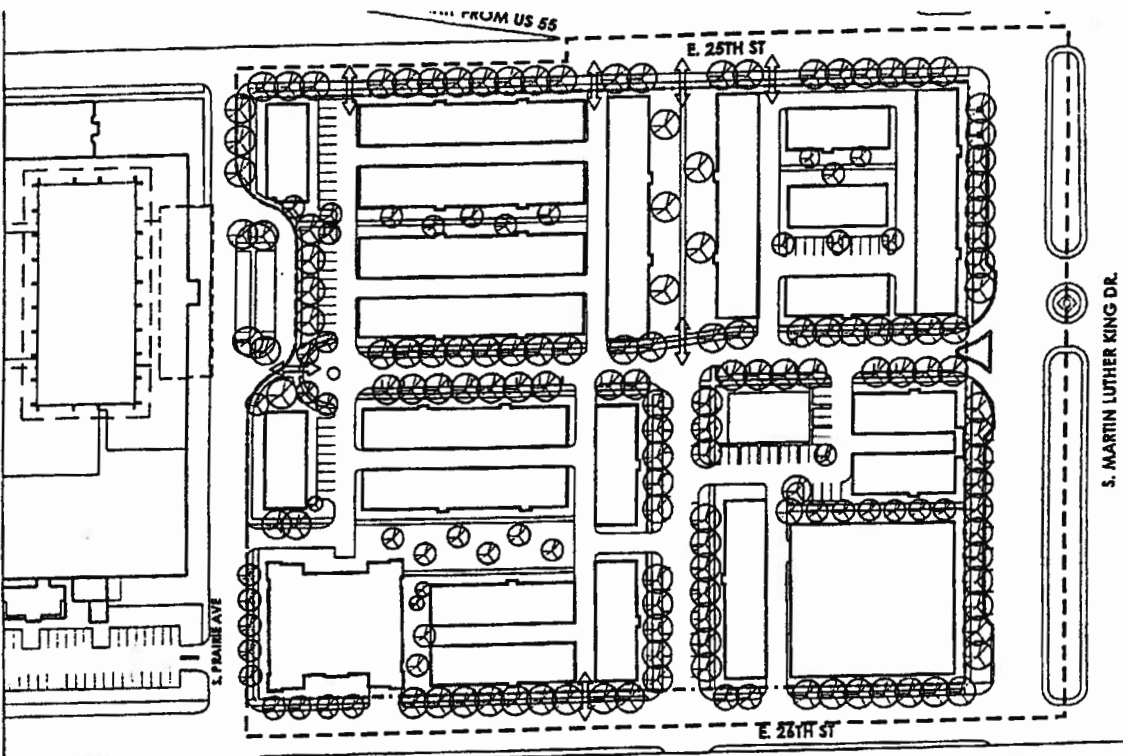


9/14/2005

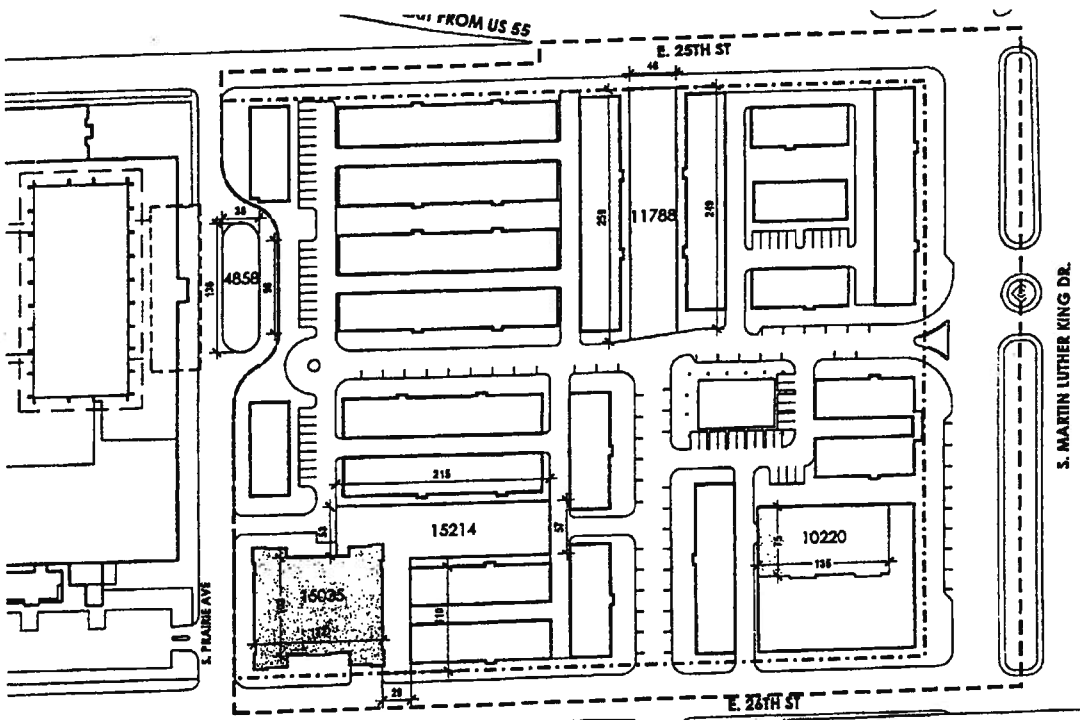
REPORTS OF COMMITTEES

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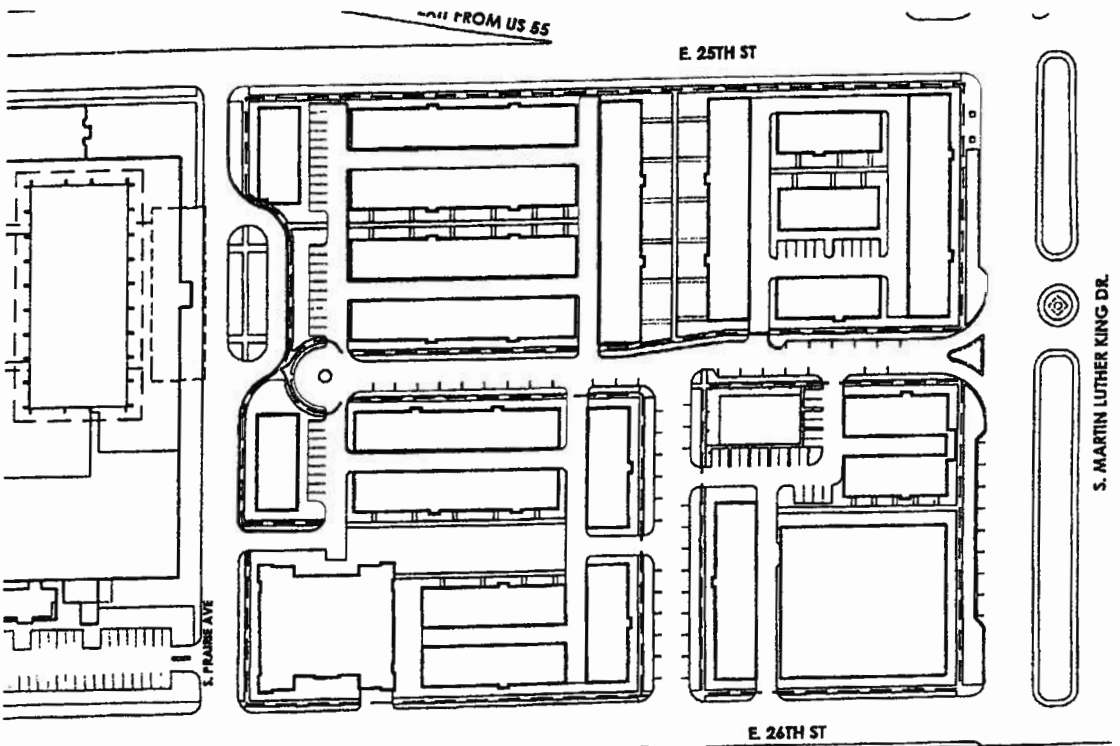
Conceptual Landscape Plan.



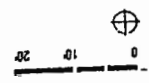
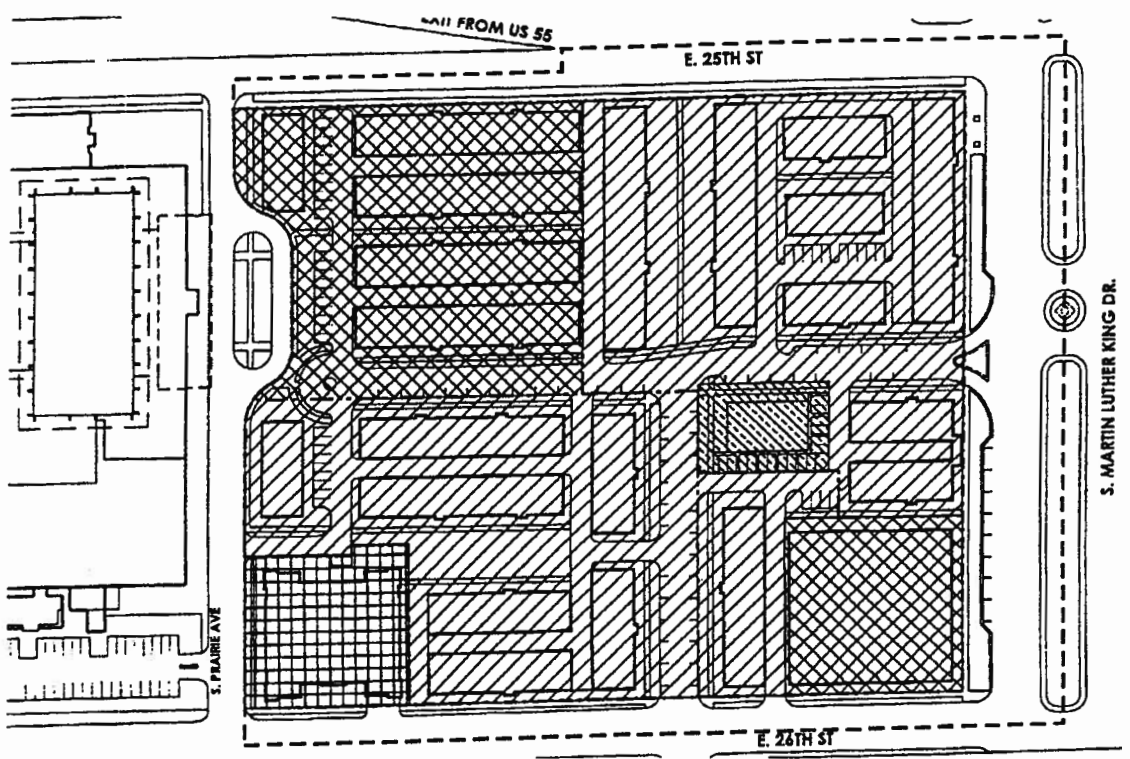
Open Space Plan.



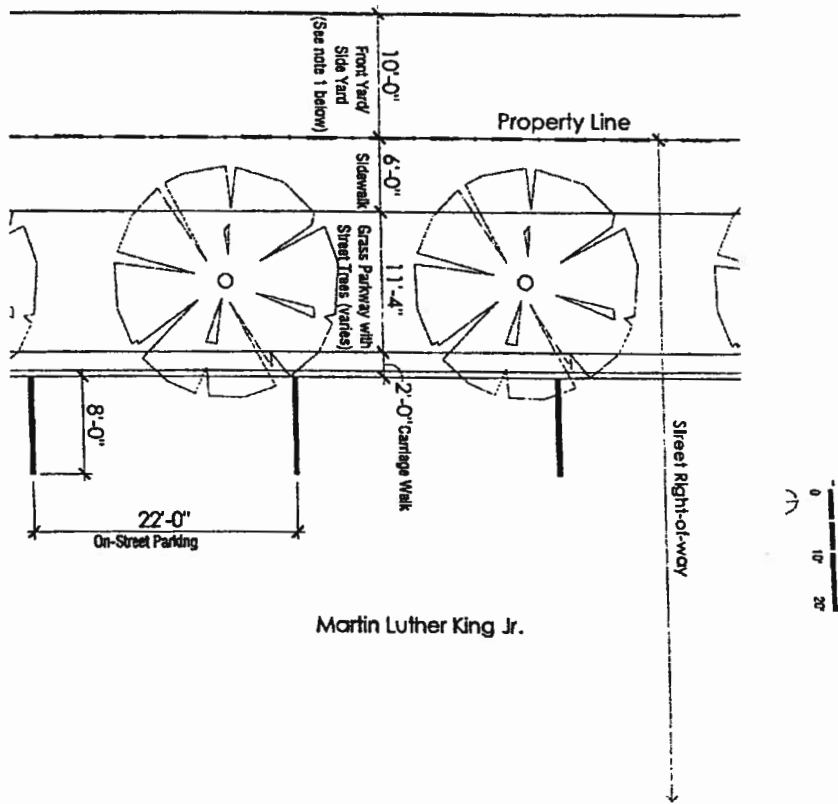
Pedestrian Circulation Map.



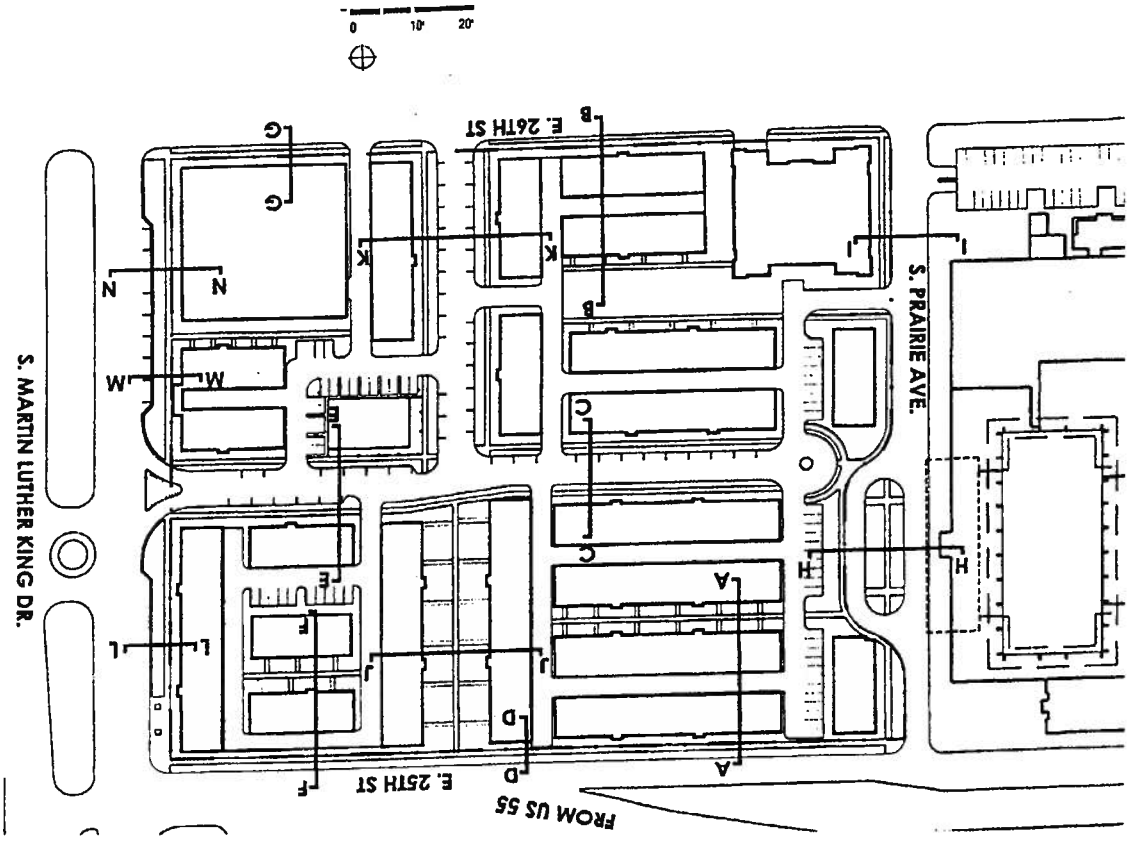
Height Allowance Map.



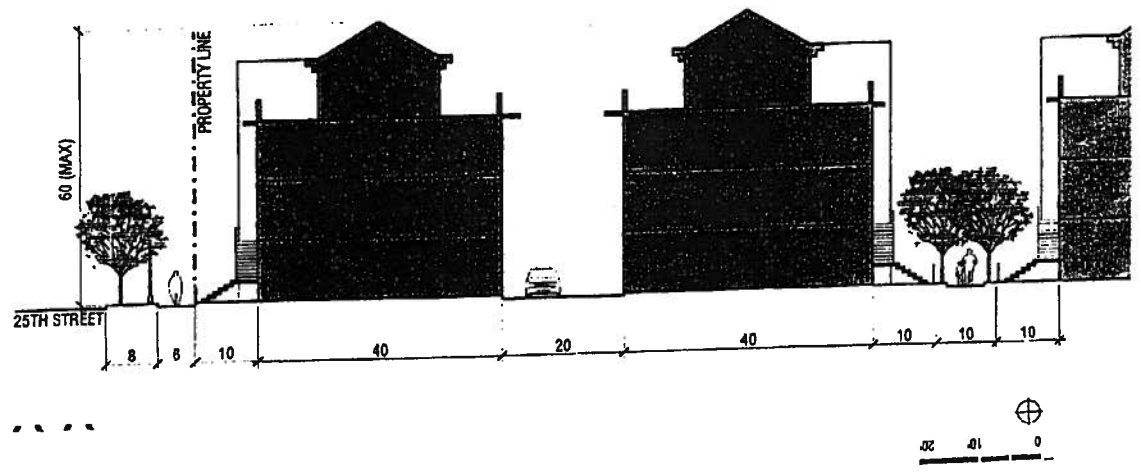
Street Improvement Front And Side Yard.



Section Reference Plan.



Section A-A.

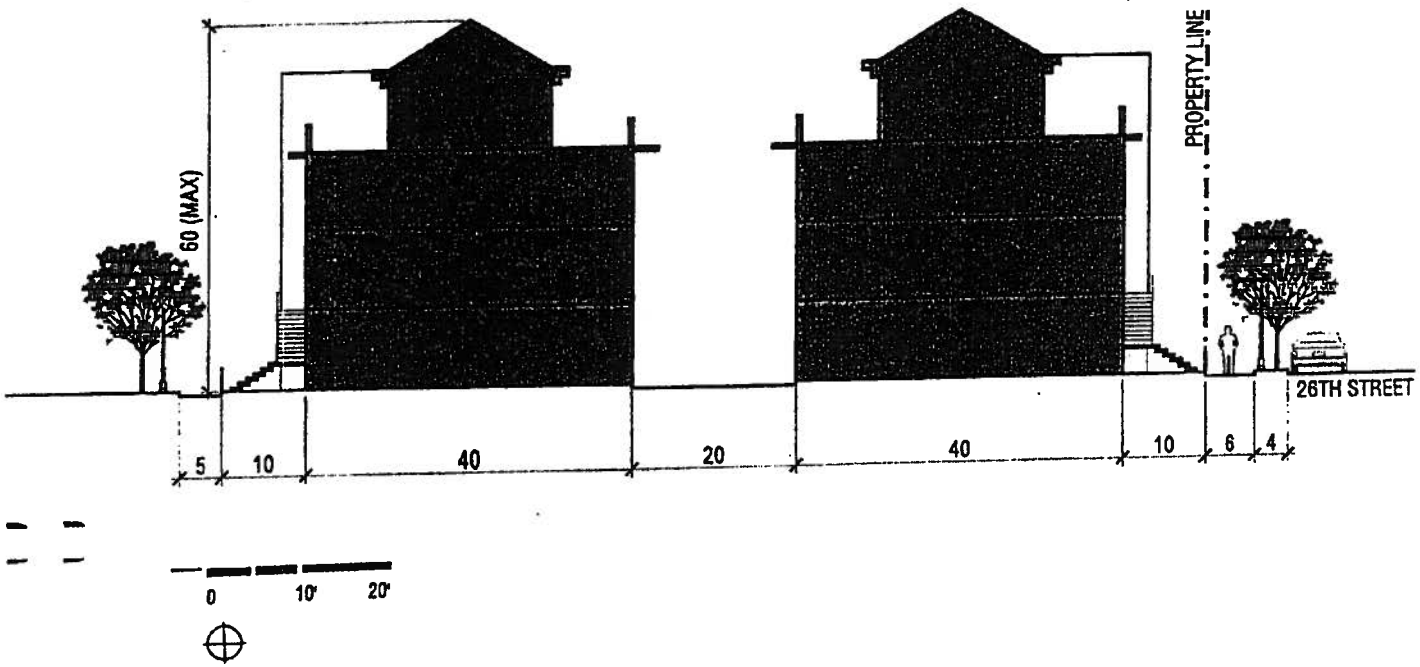


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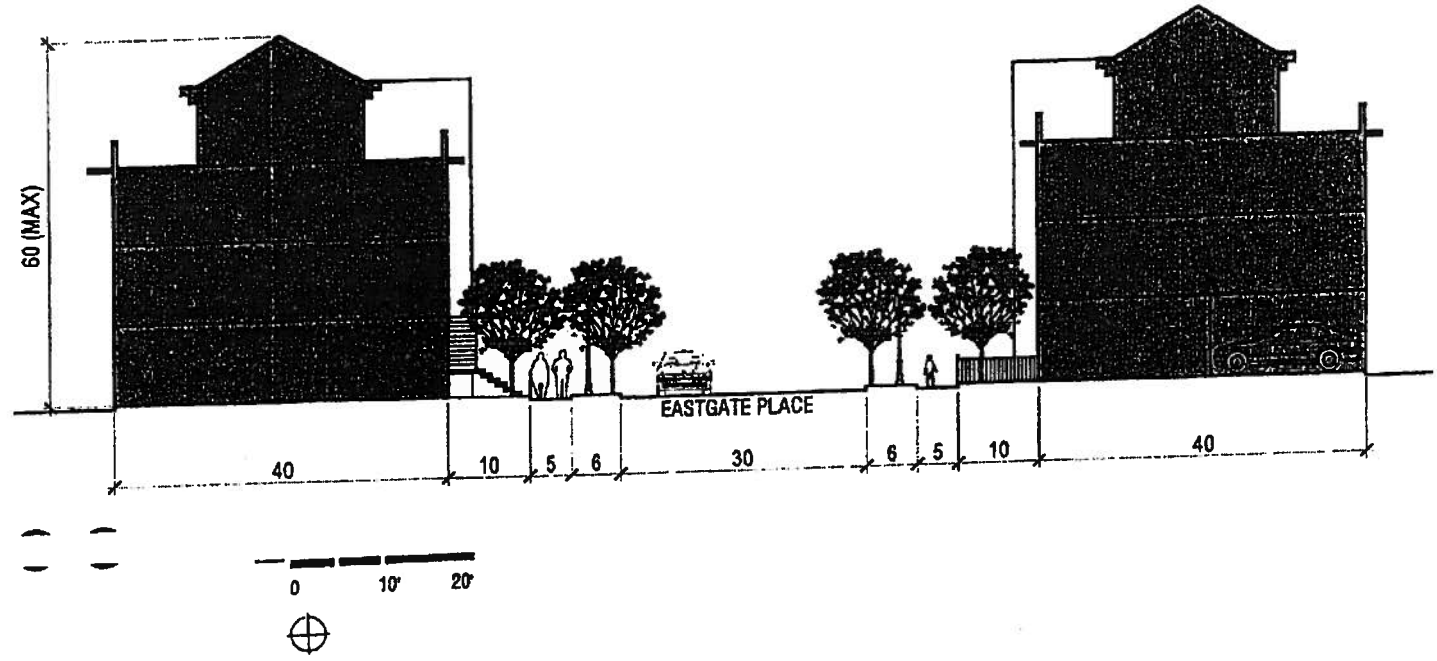
REPORTS OF COMMITTEES

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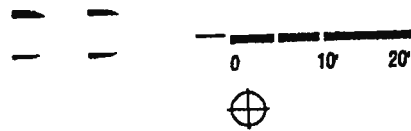
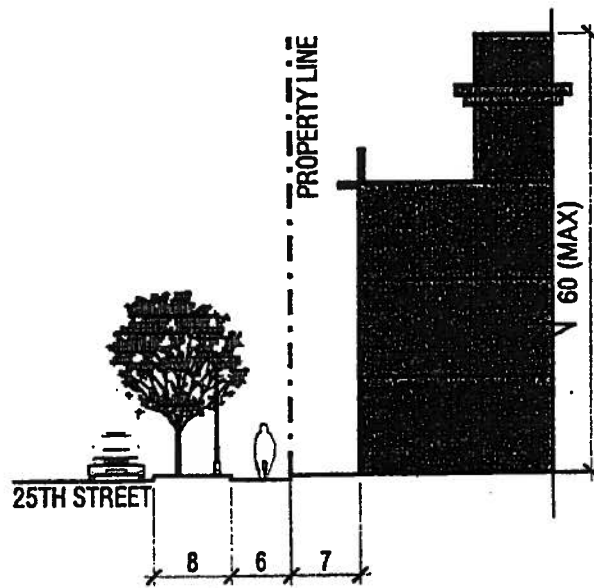
Section B-B.



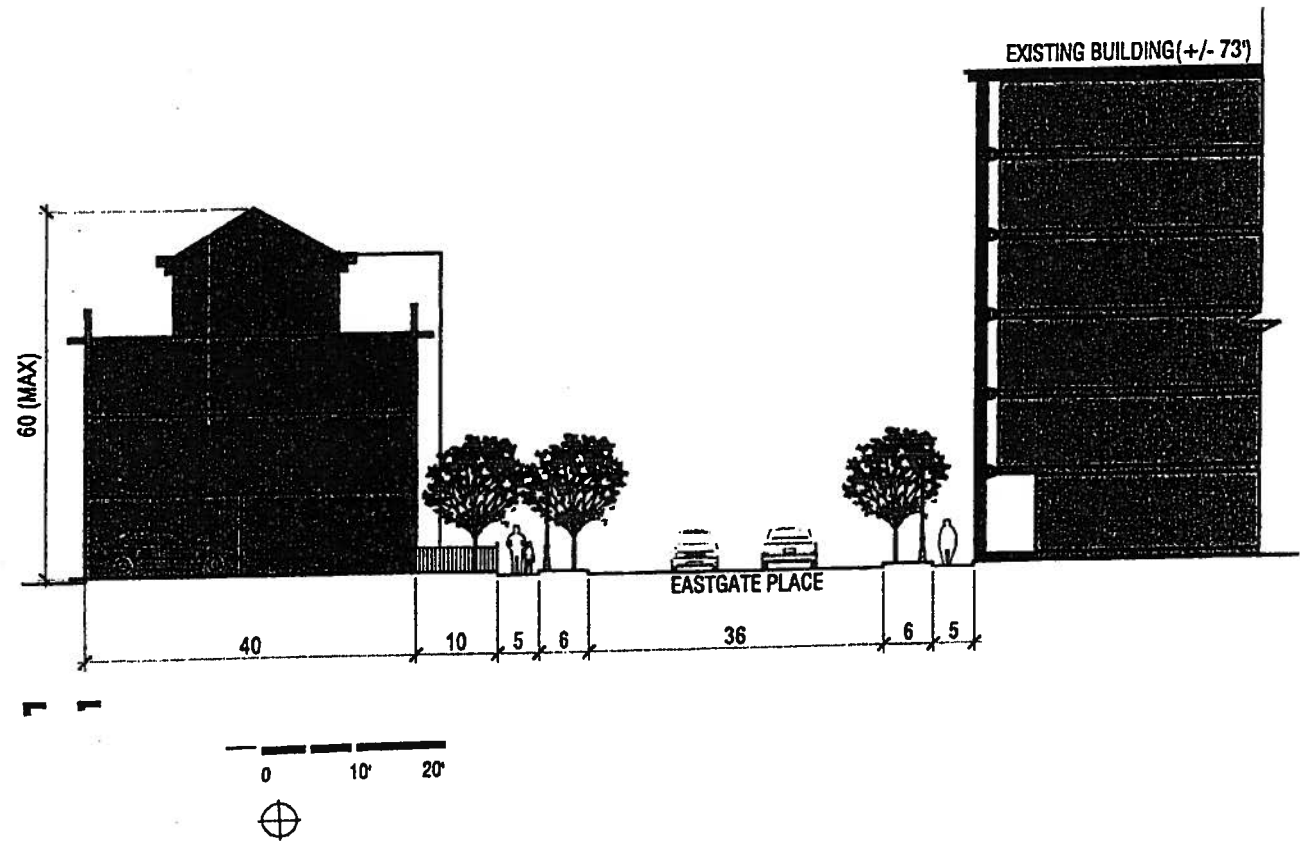
Section C-C.



Section D-D.

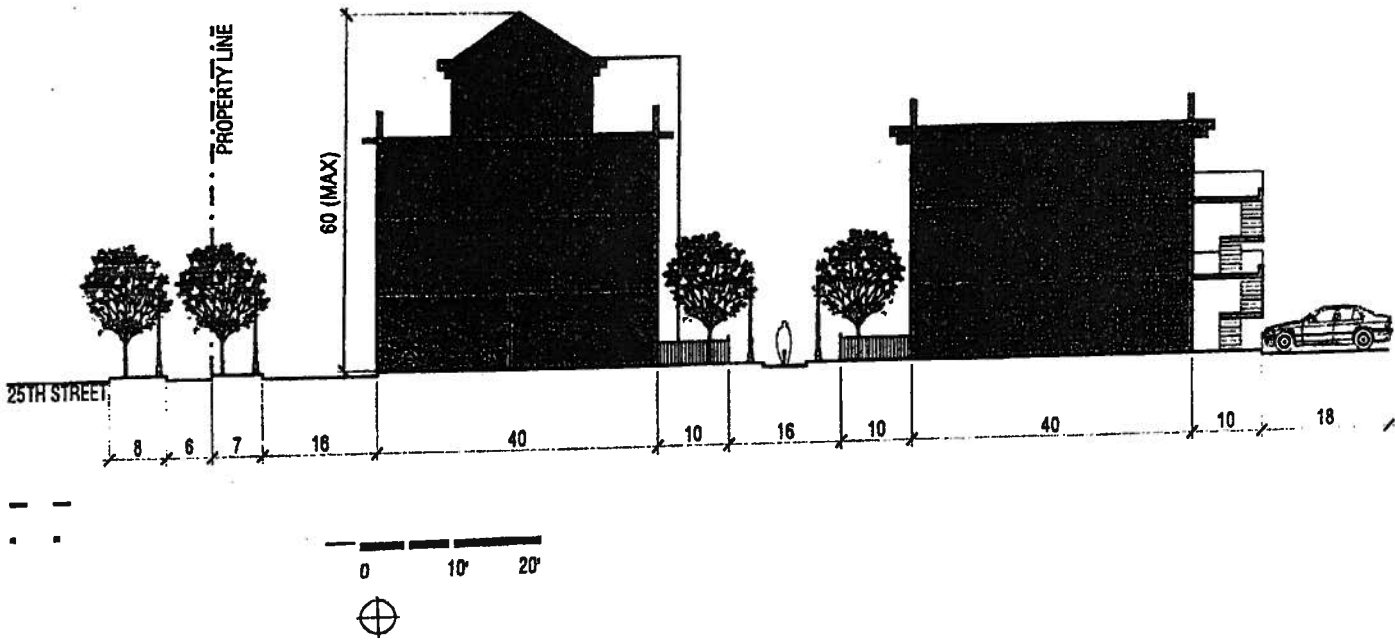


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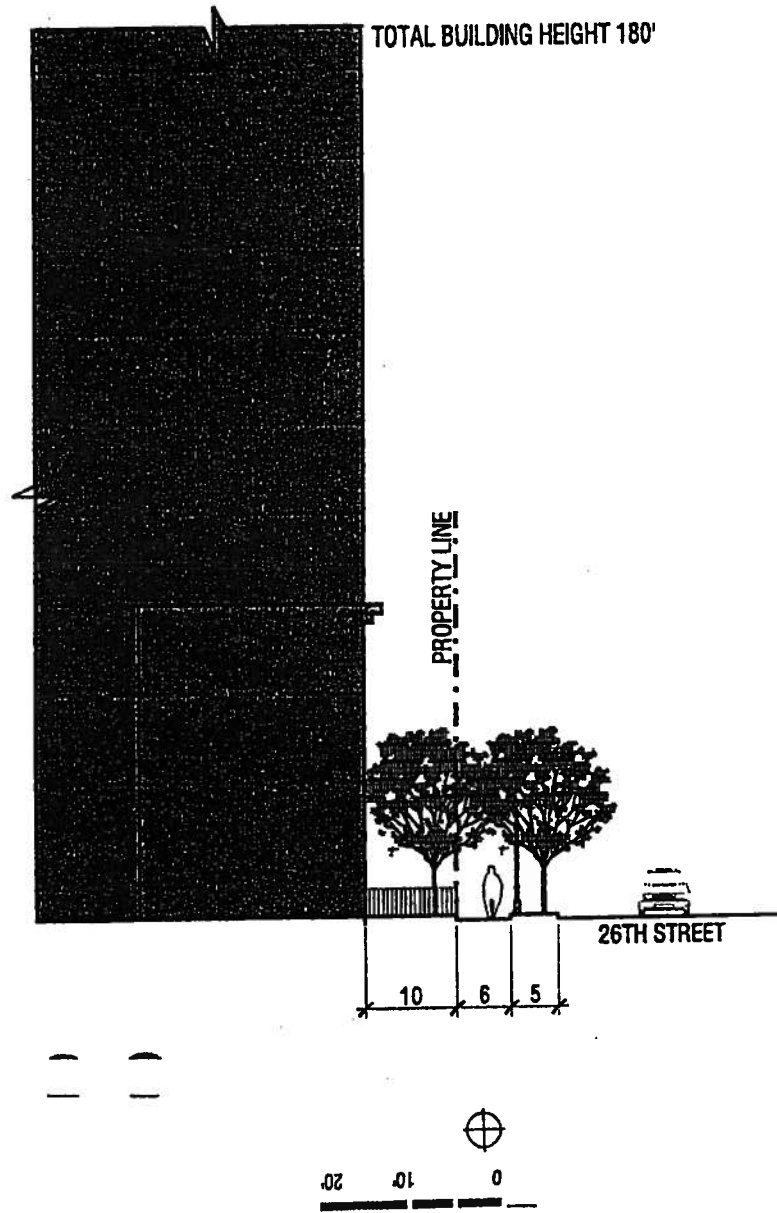


L 1

Section F-F.



Section G-G.

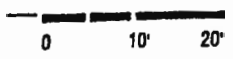
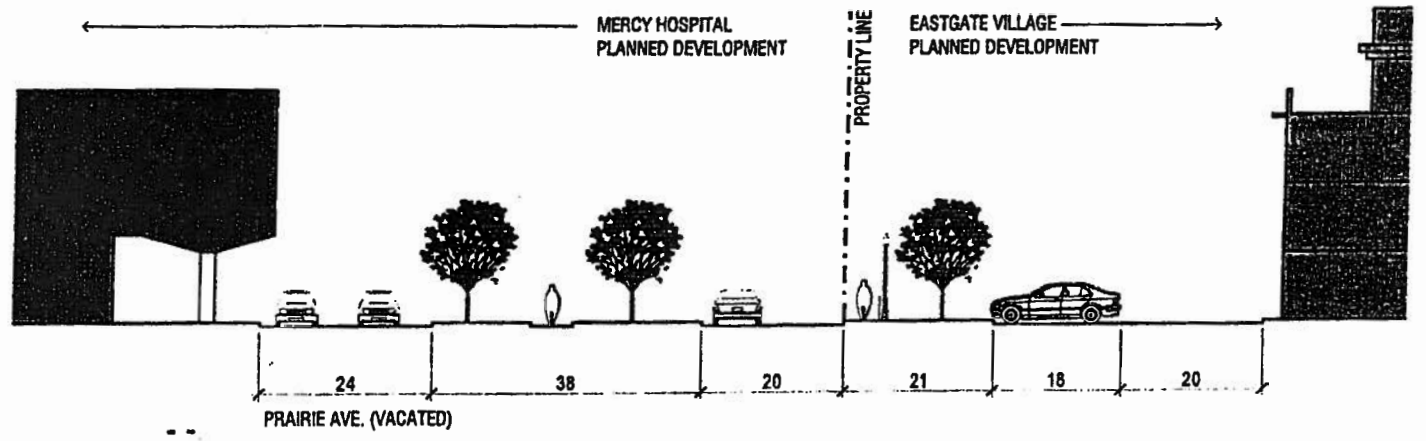


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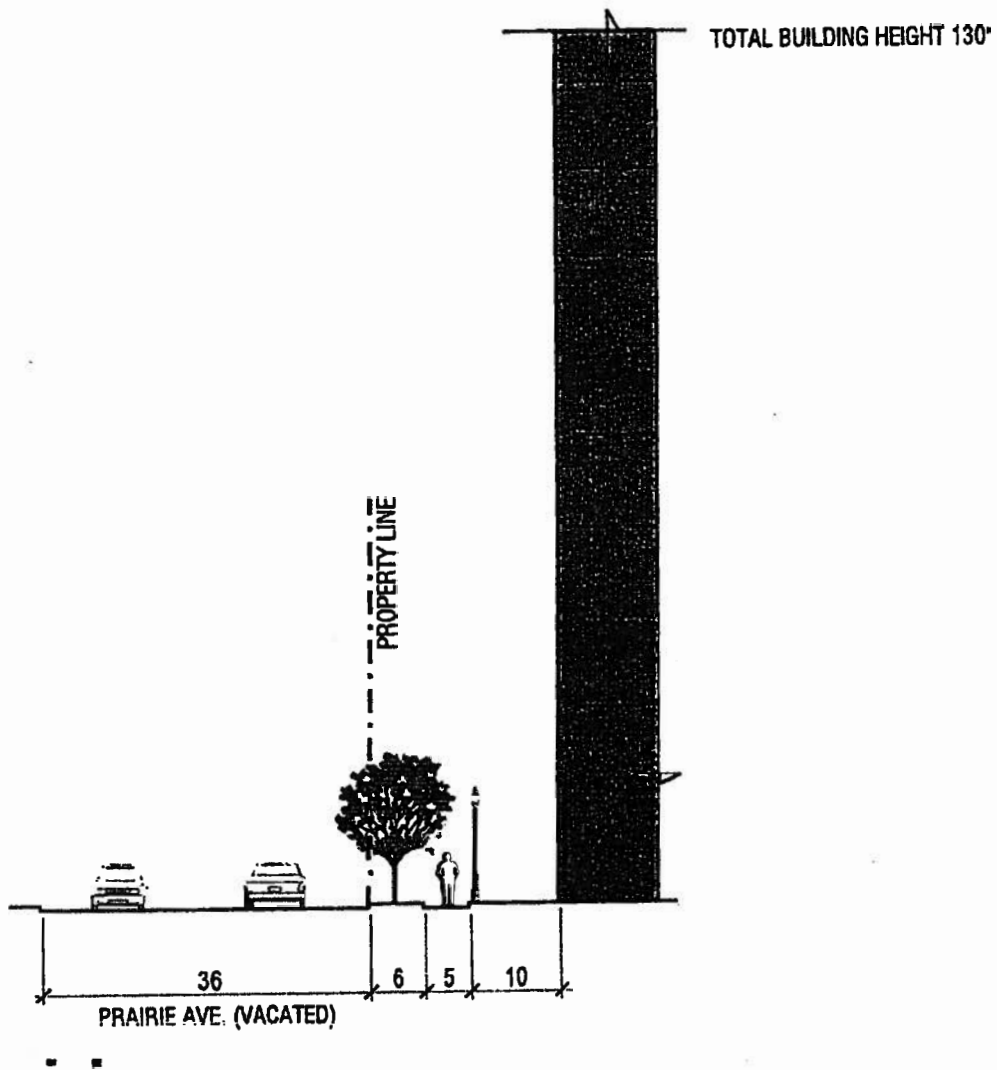
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Section H-H.



Section I-I.

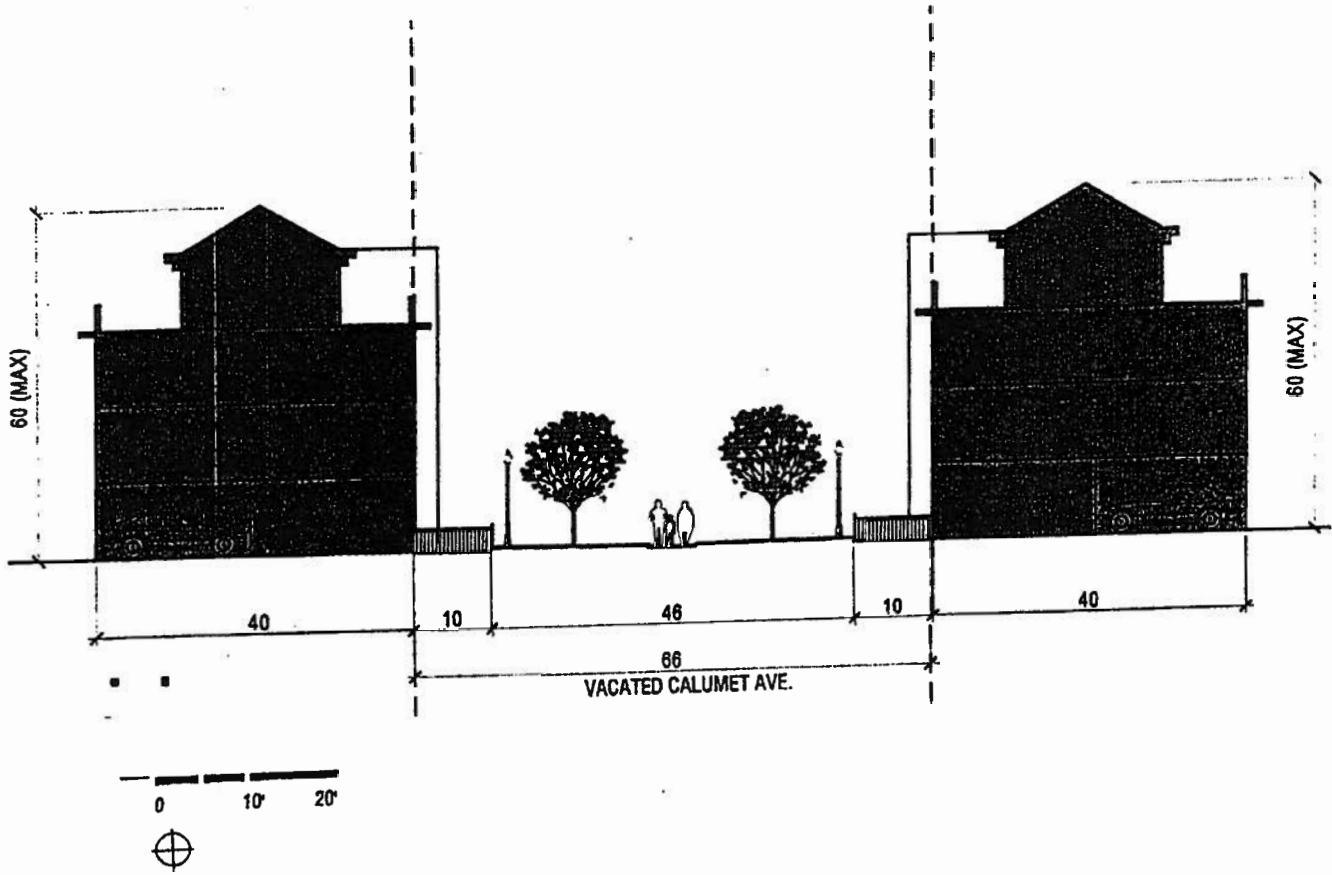


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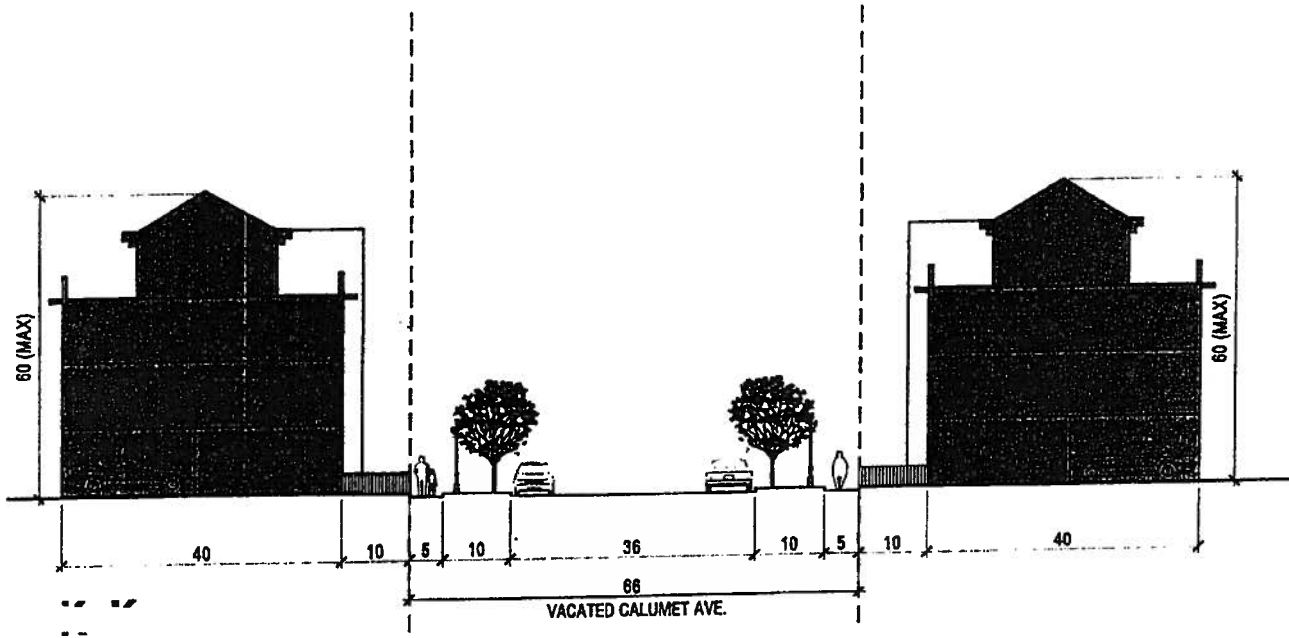
REPORTS OF COMMITTEES

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Section J-J.



Section K-K.

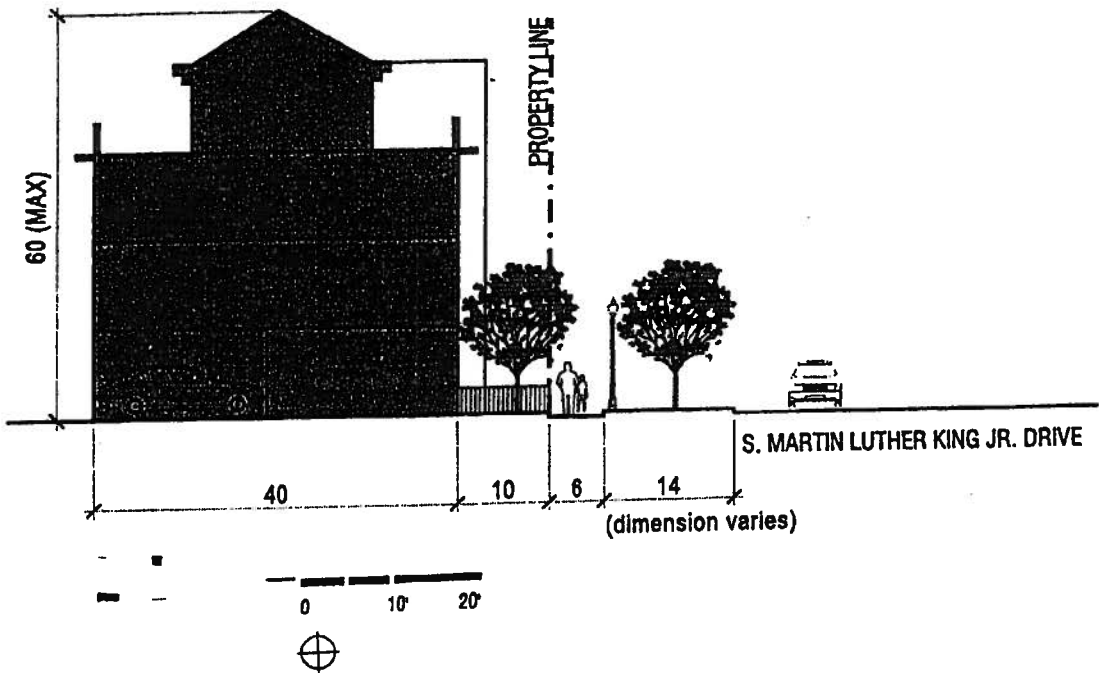


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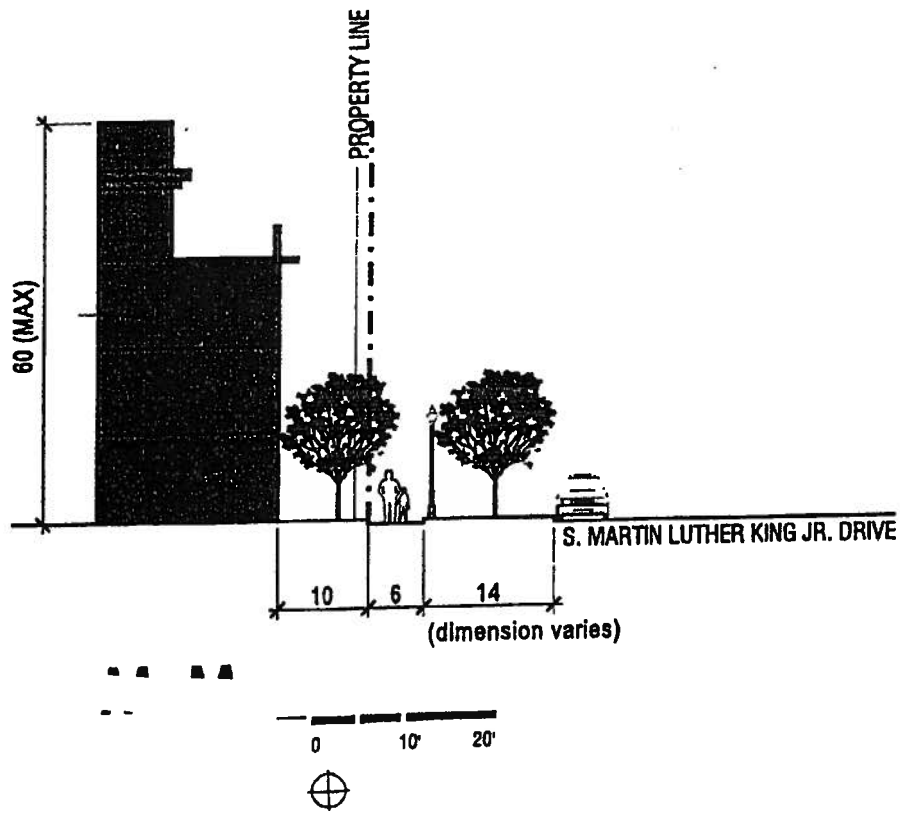
REPORTS OF COMMITTEES

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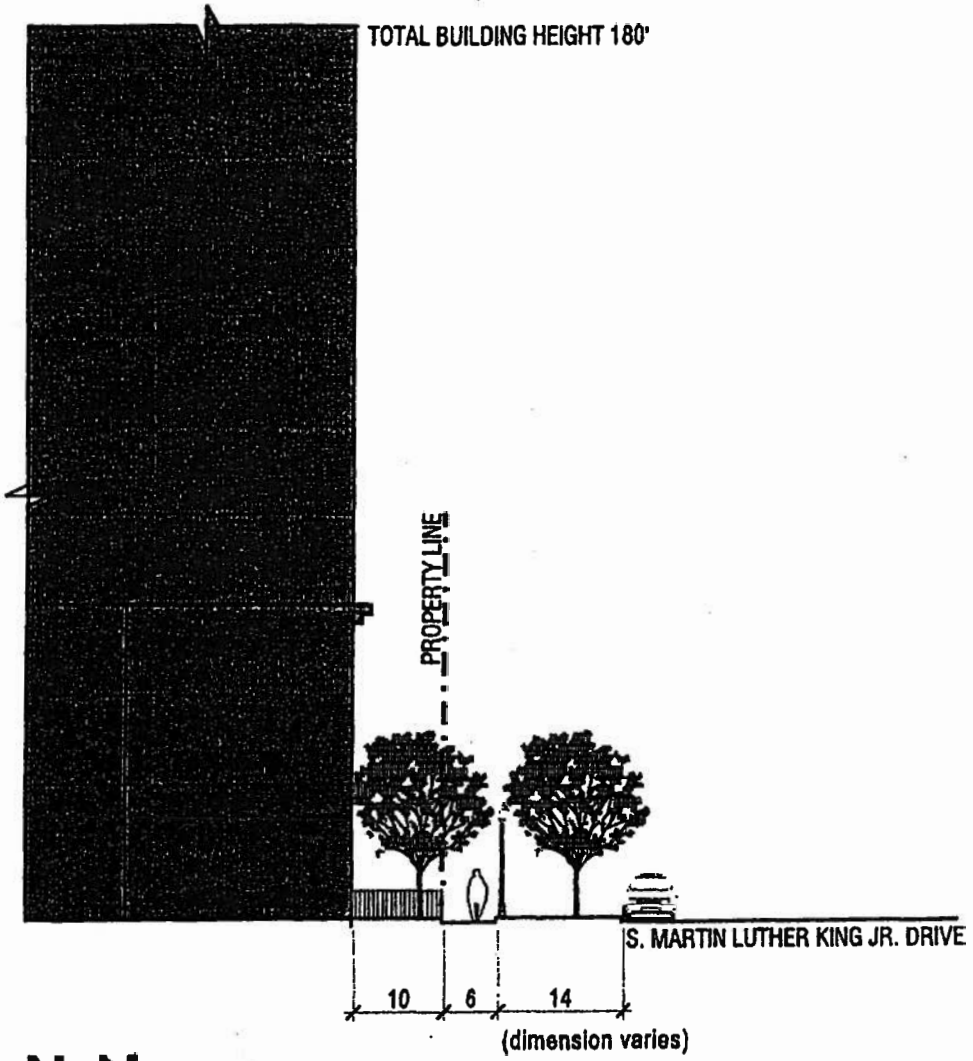
Section L-L.



Section M-M.



Section N-N.



0 10' 20'

