

PD 982

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Reclassification Of Area Shown On Map No. 7-I.

(Application No. A-8309)
(Common Address: 3148 -- 3162 N. Elston Ave.)

[O2017-3426]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-1 Community Shopping District symbols and indications as shown on Map Number 7-I in the area bounded by:

North Elston Avenue; a line 325 feet southeast of the east line of North California Avenue; the public alley next southwest of and parallel to North Elston Avenue; the public alley next north of and parallel to West Barry Avenue; a line 73.6 feet east of and parallel to North California Avenue; a line 35 feet north of and parallel to the public alley next north of and parallel to West Barry Avenue; a line 64 feet east of and parallel to North California Avenue; and a 64-foot long line running in a northeasterly direction perpendicular to North Elston Avenue starting at a point 64 feet east of the east line of North California Avenue and 150 feet south of the southwest line of North Elston Avenue (as measured along the east line of North California Avenue) and ending at a point 150 feet southeast of the east line of North California Avenue (as measured along the southwest line of North Elston Avenue),

to those of an RS1 Residential Single-Unit (Detached House) District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

—
Reclassification Of Area Shown On Map No. 7-J.
(As Amended)
(Application No. 19007)
(Common Address: 3927 -- 3963 W. Belmont Ave.)

RBPD982,09

[SO2016-7341]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential-Business Planned Development Number 982 symbols and indications as shown on Map Number 7-J in the area bounded by:

West Belmont Avenue; North Springfield Avenue; the 16-foot east/west public alley parallel to ~~and south of~~ West Belmont Avenue; North Harding Avenue; the 16-foot east/west public alley running parallel to and 244.97 feet south of West Belmont Avenue; the 16-foot north/south public alley just east of and parallel to North Pulaski Road; the 16-foot east/west public alley 333.92 feet south of and parallel to West Belmont Avenue; and North Pulaski Road,

to those of Residential-Business Planned Development Number 982, as amended, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 982, As Amended.

Planned Development Statements.

1. The area delineated herein as a Residential-Business Planned Development consists of a net site area of approximately two and eighty-eight hundredths (2.88) acres which is controlled by Shoemaker Office Investments LLC ("Applicant").
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-ways or consolidation or resubdivision of parcels shall require separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions applicable within this planned development shall be binding upon the Applicant, its successors and assigns. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications, or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control of the subarea for which the request is being made. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant, the owners of all the

property comprising the subarea for which the request is being made within the planned development or any homeowners association(s) formed to succeed the Applicant for ~~purposes of~~ control and management of any portion of the planned development as it may relate to the subarea in question, except as "control" may have been resolved within title documents. All owners of property within the planned development in the case of a legislative amendment.

4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Land-Use Map, Planned Development Boundary and Property Line Map, Planned Development Subarea Map, Existing Site Plan, Existing North/South Elevation, Existing West Elevation, Existing East Elevation, Existing East/West Elevation -- Courtyard, Existing First Floor Plan, and Revised First Floor Plans, which are all incorporated herein. Full size sets of the Site Plan and Building Elevations and Landscape Plan are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code in Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply to the area delineated herein.
5. The following uses shall be permitted within the planned development: Subarea A -- multi-family dwelling units; ground floor residential uses; a maximum of fifteen thousand (15,000) square feet of retail and commercial establishments as permitted in a B3-5 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses. Subarea B -- retail and commercial establishments as permitted in a B3-3 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the planned development subject to review and approval of the Department of Planning and Development.
7. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking or storage of garbage receptacles within such paved areas, except as noted on the site plan, or within fire lanes. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and off-street loading facilities shall be provided in compliance with this plan of development subject to review of the Department of Transportation and Department of Planning and Development.

8. In addition to the maximum height of any building or any appurtenance attached thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of FAR calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply.
10. Improvements of the property, including landscaping and all entrances and exits to the parking and loading areas, shall be designed and installed in substantial conformance with the exhibits to this planned development. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Landscape Plan and the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
11. The terms, conditions and exhibits of this planned development ordinance may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the written request for such modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development, that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this planned development. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Notwithstanding the provisions of subclauses 4 and 5 of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes, may include a reduction in the minimum required distance between structures, a reduction in periphery setbacks, an increase in the maximum percent of land covered, or subsequent setback reductions pertaining to individual residential units.
12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of MOPD, has approved detailed construction drawings for each building or improvement.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use reasonable efforts to design, construct and maintain all buildings located within this planned development in an energy efficient manner consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigerating and Air-Conditioning

Engineers ("ASHRAE") and the Illuminating Engineering Society ("IES"). Copies of these standards may be obtained from the Department of Planning and Development.

- 14. In conformance with City of Chicago ordinances whereby projects receiving economic assistance in the form of TIF financing must provide twenty percent (20%) of the dwelling units for sale as affordable units, the Applicant shall provide thirty-five (35) dwelling units in Subarea A for sale as affordable units as required. In the event the number of dwelling units to be constructed in Subarea A is reduced, the number of affordable units will also be reduced, so long as the twenty percent (20%) requirement is met. A written agreement between the developer and the Department of Housing will be entered into setting forth the terms for the sale of the affordable units.
- 15. If substantial construction has not yet begun within the planned development within six (6) years of the date of passage of the planned development, the zoning of the Property shall revert to the B3-2 District.

[Existing Land-Use Map; Boundary and Property Line Map; Subarea Map; Site Plan; Existing North, South, East and West Building Elevations; Courtyard Elevations and Floor Plans referred to in these Plan of Development Statements printed on pages 52174 through 52187 of this *Journal*.]

Substitute Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development No. 982, As Amended.

Substitute Bulk Regulations and Data Table.

Gross Site Area: 194,788 square feet (4.5 acres)

Net Site Area:

Total: 125,538 square feet (2.88 acres)

Subarea A:

Gross Site Area: 115,945 square feet (2.7 acres)

Net Site Area:	76,313 square feet (1.7 acres)
Subarea B:	
Gross Site Area:	78,843 square feet (1.8 acres)
Net Site Area:	49,225 square feet (1.13 acres)
Maximum Floor Area Ratio:	
Subarea A:	3.5
Subarea B:	0.8
Total:	2.5
Maximum Number of Residential Units:	
Subarea A:	184
Subarea B:	0
Total:	184
Number of Off-Street Parking Spaces:	
Subarea A:	192 parking spaces
Subarea B:	123 parking spaces
Total:	315 parking spaces
Maximum Building Setbacks:	In accordance with Site Plan
Maximum Building Height:	
Subarea A:	81 feet (existing structure)
Subarea B:	19 feet, 6 inches (existing structure)

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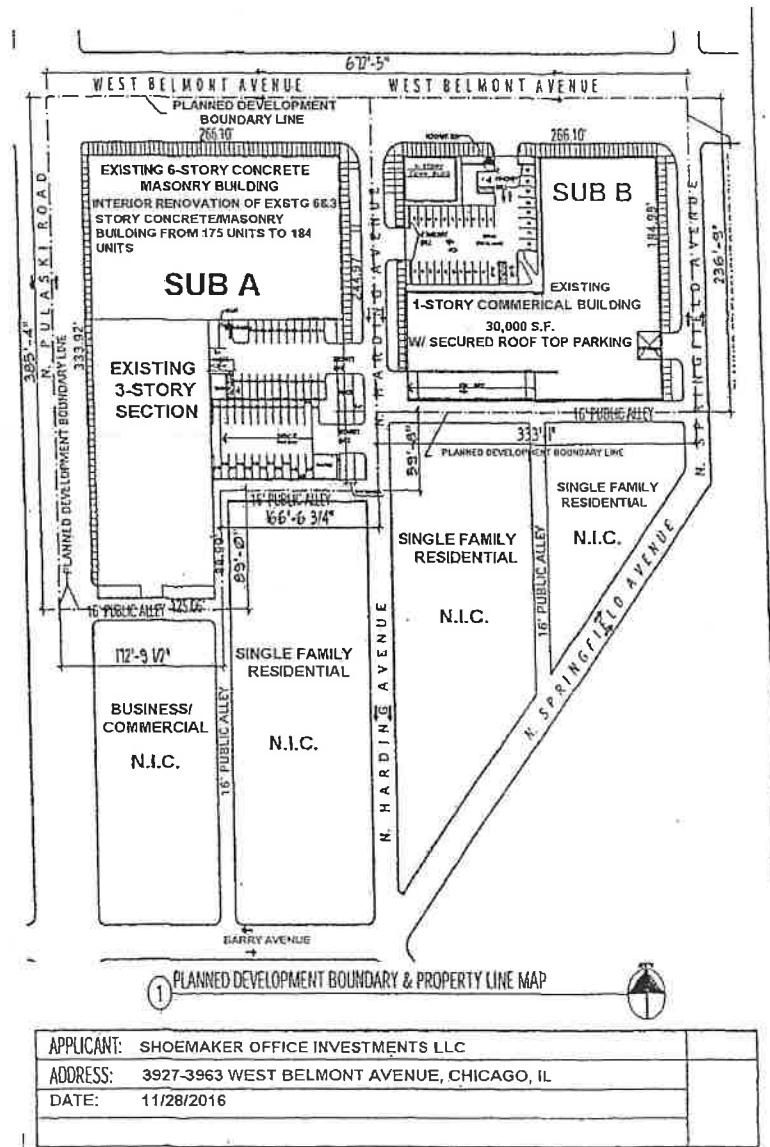
Existing Land-Use Map



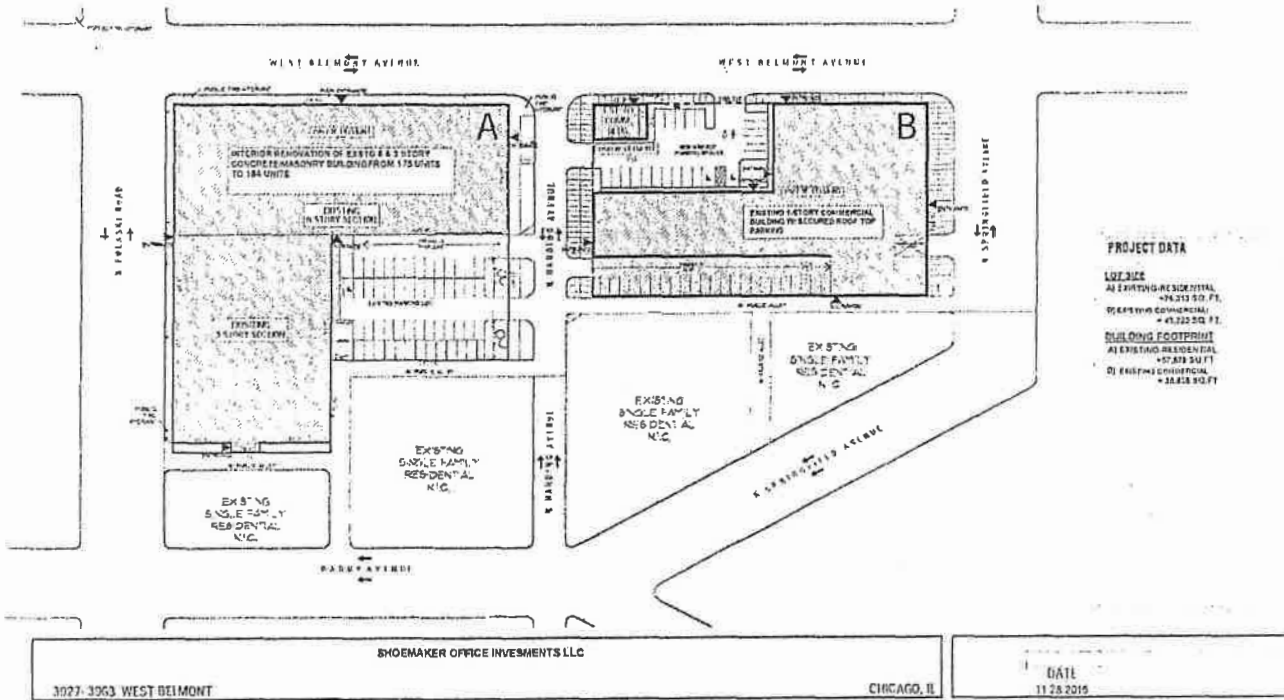
EXISTING LAND USE MAP
 APPLICANT: SHOEMAKER OFFICE INVESTMENTS LLC
 ADDRESS: 3963-3927 WEST BELMONT AVENUE, CHICAGO, IL

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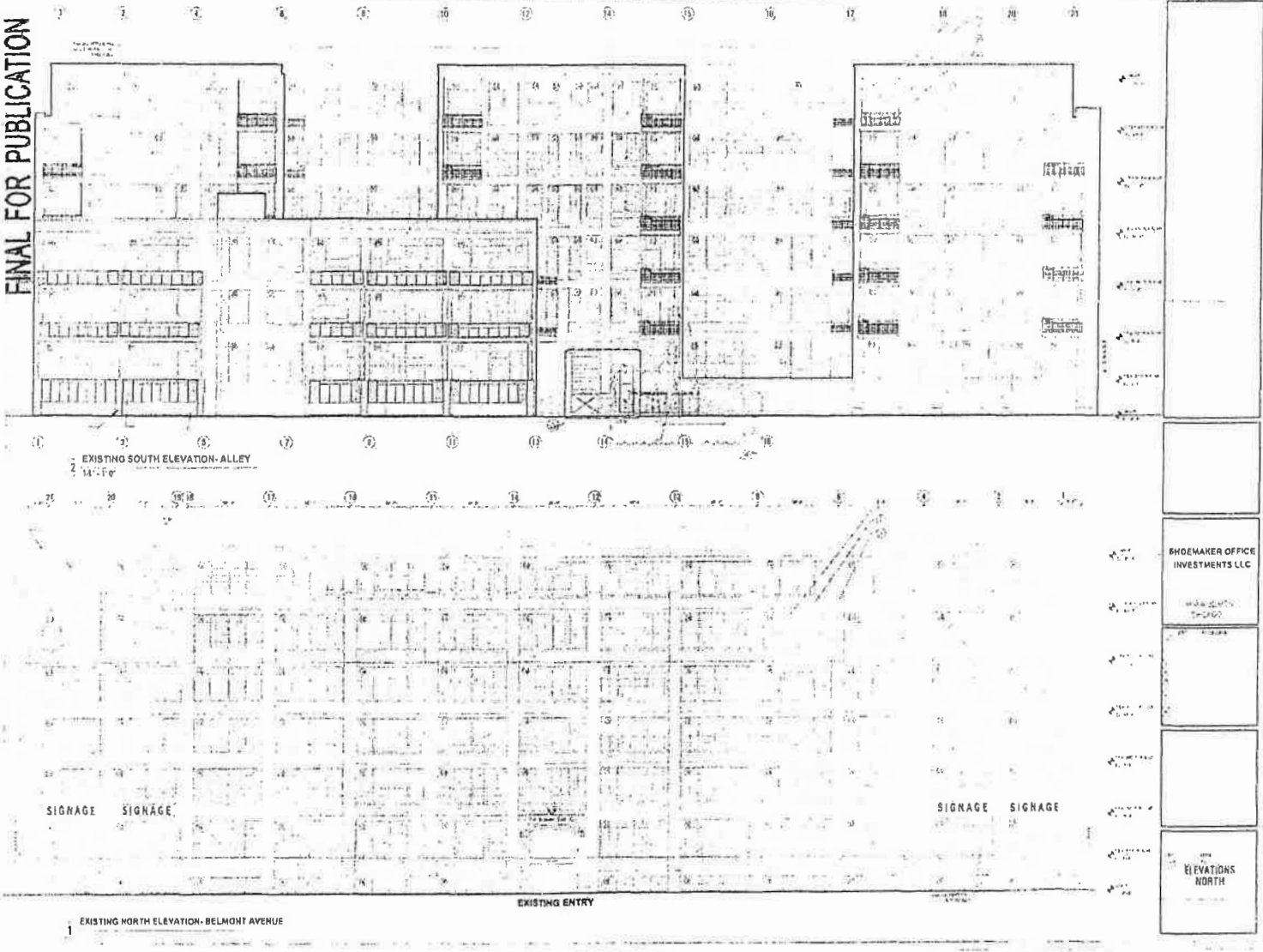
Planned Development Boundary And Property Line Map.



PLANNED DEVELOPMENT SUBAREA MAP



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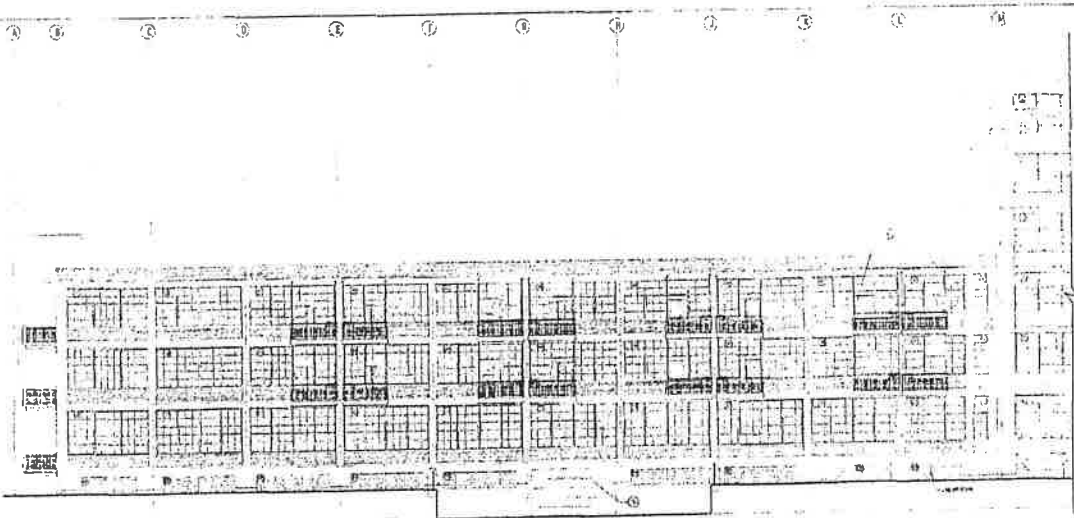


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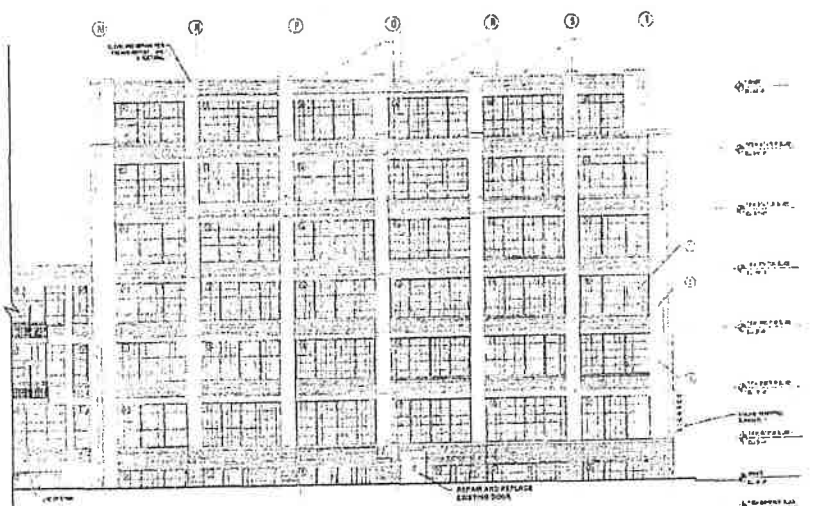
JOURNAL--CITY COUNCIL--CHICAGO

6/28/2017

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EXISTING EAST ELEVATION - HARDING AVENUE CONT.



EXISTING EAST ELEVATION - HARDING AVENUE

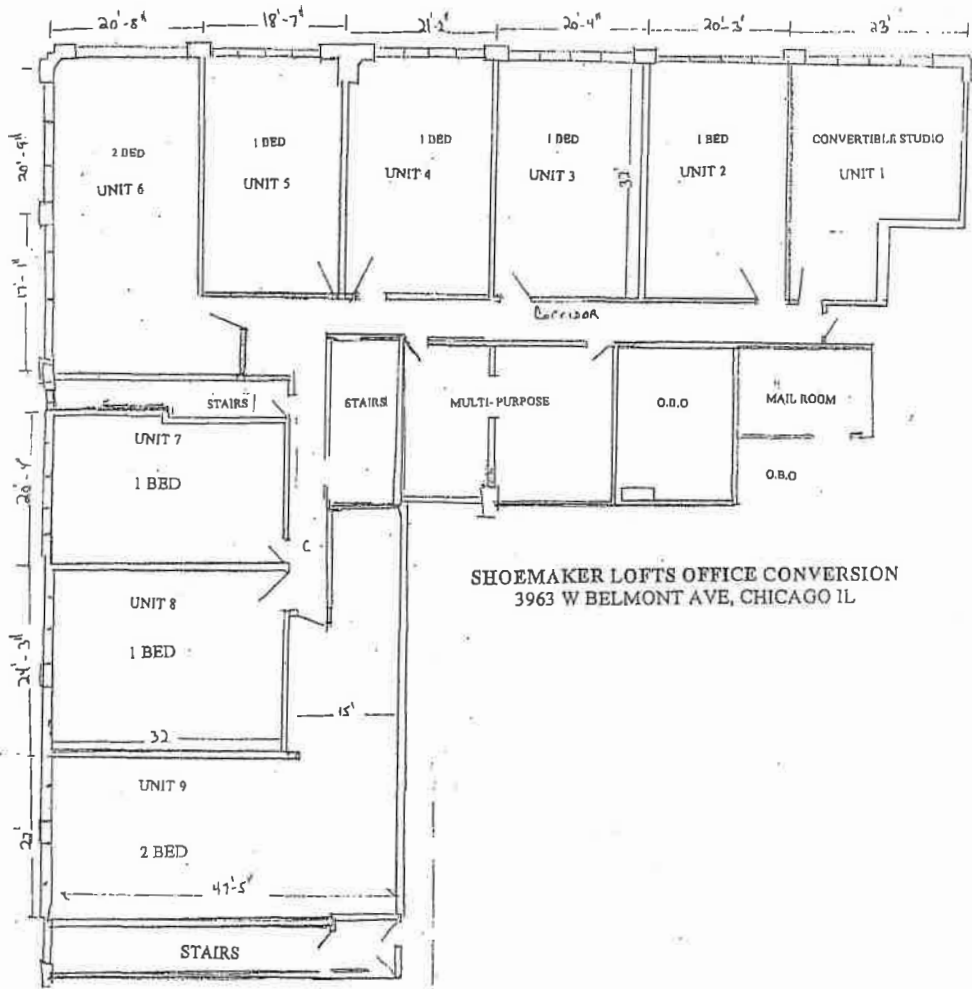


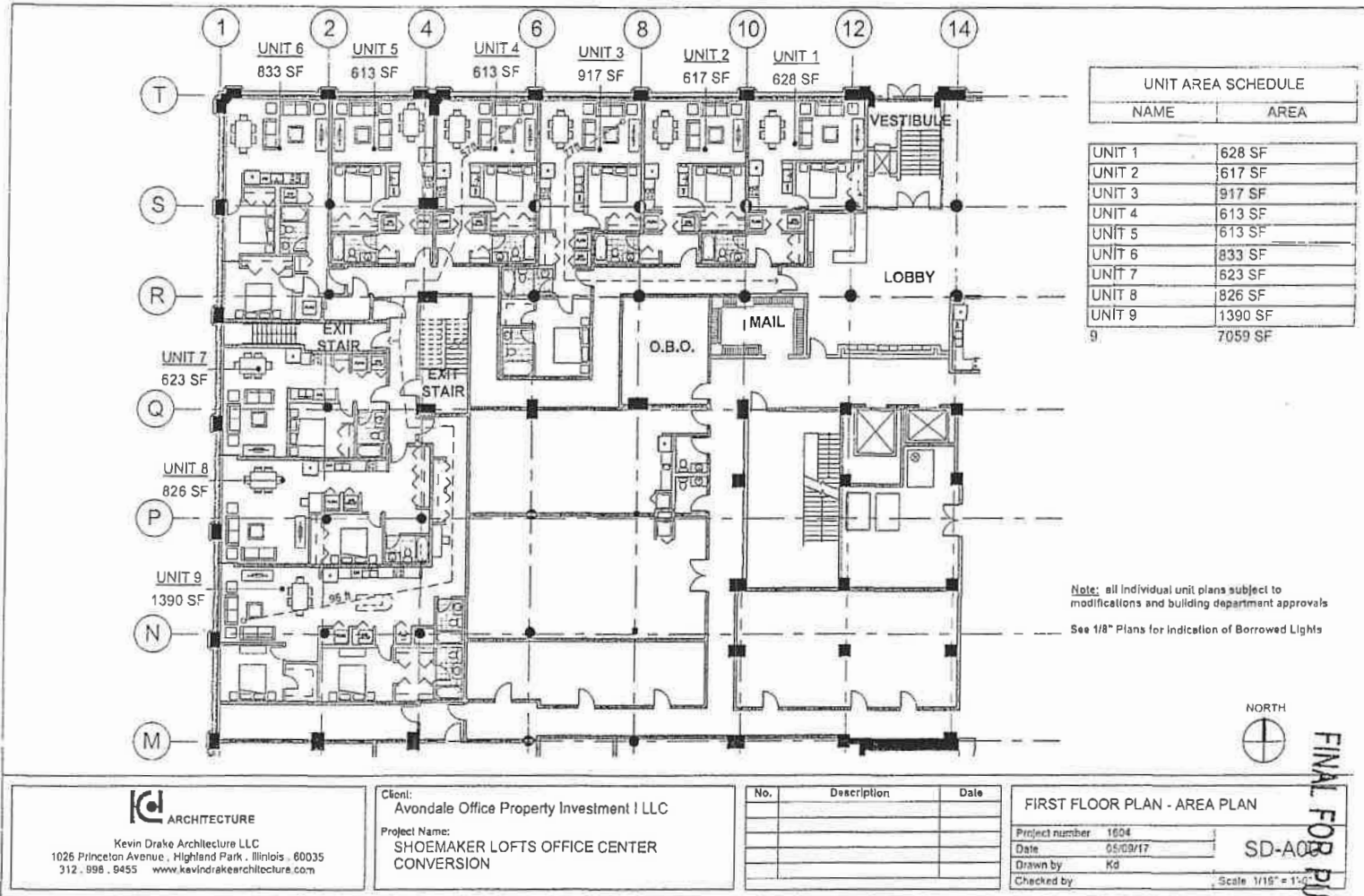
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INVESTMENTS LLC



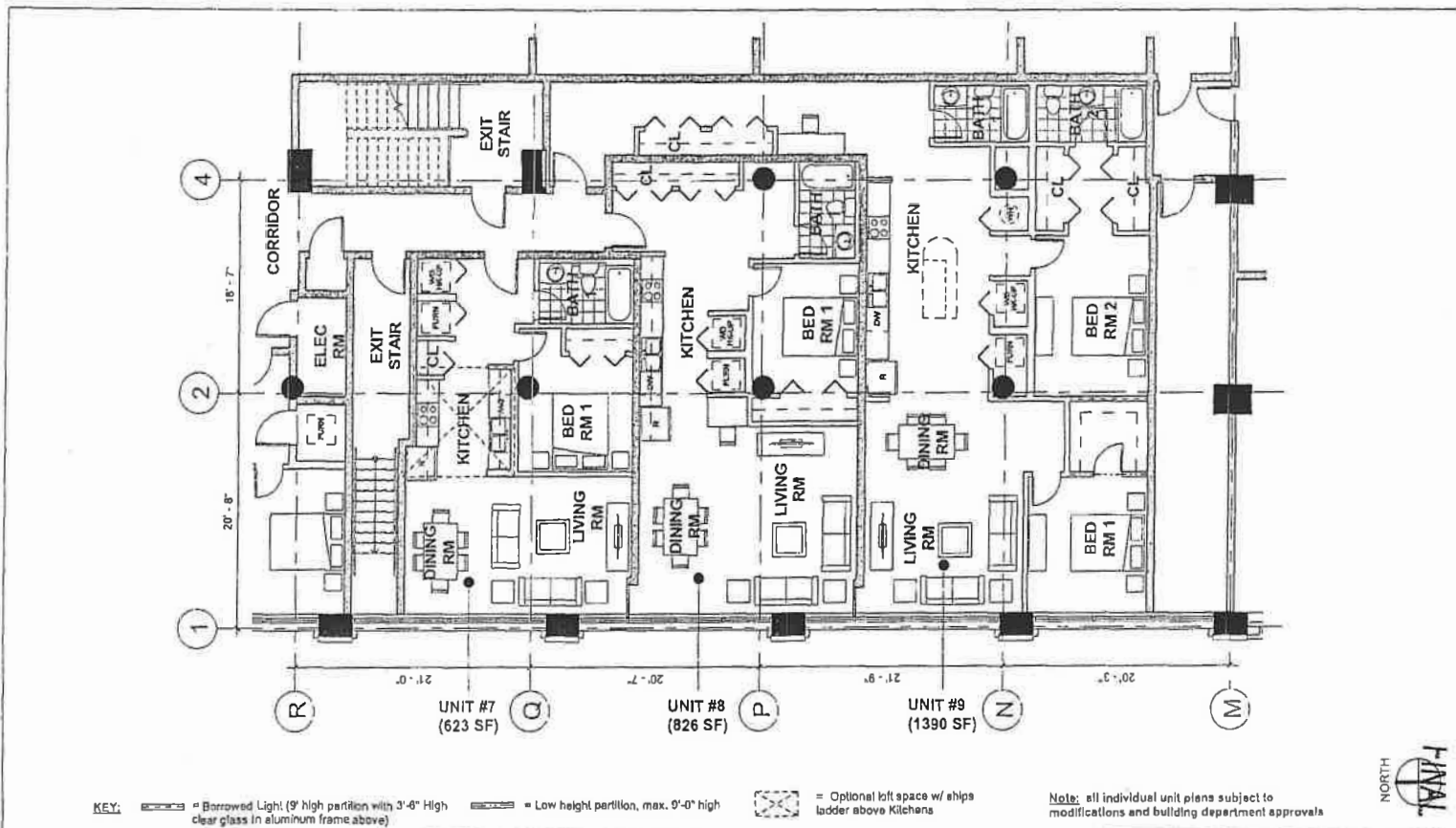
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FINAL FOR PUBLICATION





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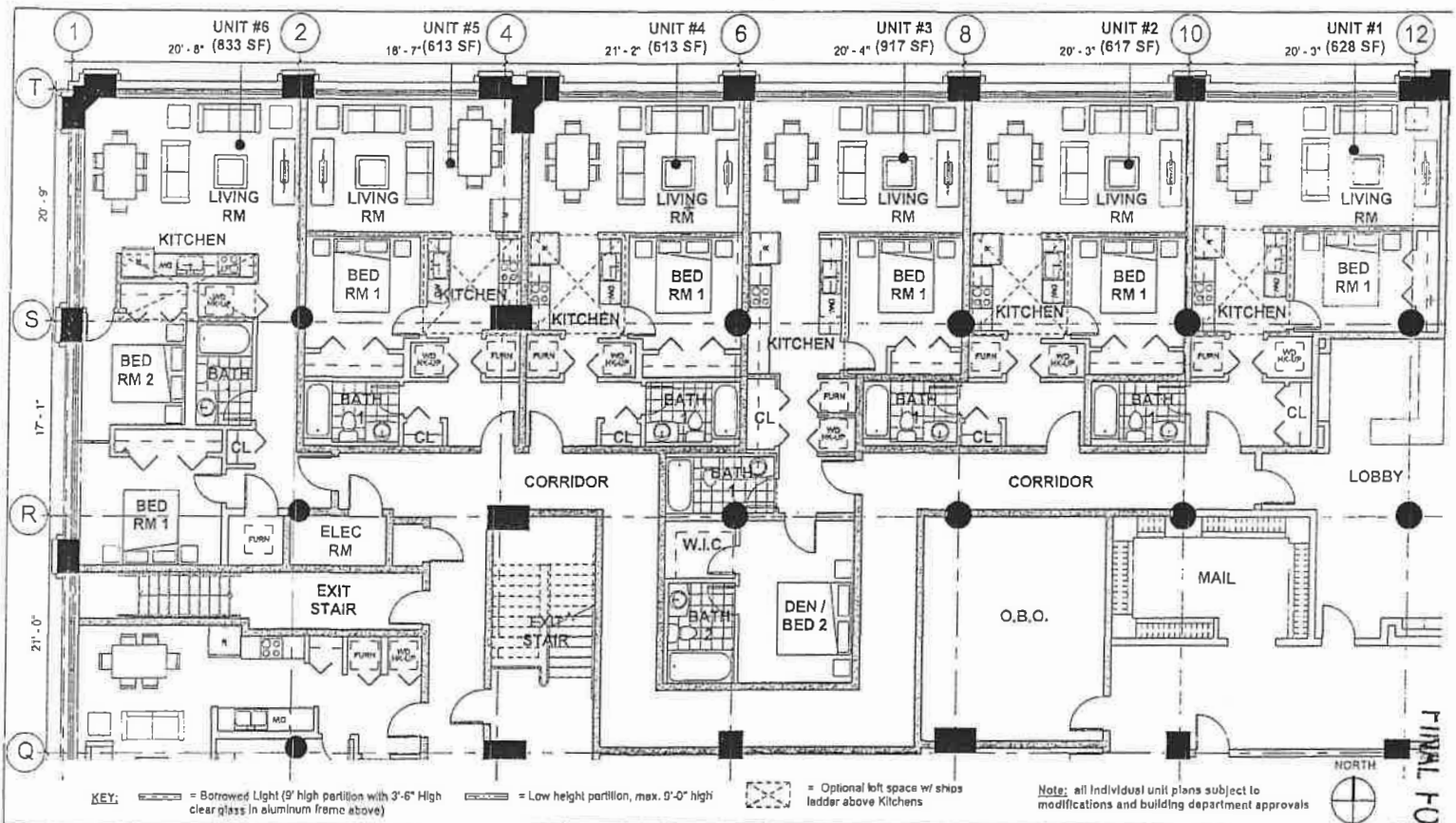
FINAL FOR PUBLICATION
 NORTH

Kevin Drake Architecture LLC
 1028 Princeton Avenue, Highland Park, Illinois, 60035
 312.958.9455 www.kevindrakearchitecture.com

Client: Avondale Office Property Investment I LLC
 Project Name: SHOEMAKER LOFTS OFFICE CENTER CONVERSION

No.	Description	Date

1ST FLOOR-SOUTH-NEW	
Project number	1604
Date	05/05/17
Drawn by	Kd
Checked by	
SD-A06	
Scale: 1/8" = 1'-0"	



FINAL FOR PUBLICATION

KD ARCHITECTURE
 Kevin Drake Architecture LLC
 1026 Princeton Avenue, Highland Park, Illinois, 60035
 312.998.9455 www.kevindrakearchitecture.com

Client:
 Avondale Office Property Investment I LLC

Project Name:
 SHOEMAKER LOFTS OFFICE CENTER
 CONVERSION

No.	Description	Date

1ST FLOOR-NORTH-NEW

Project number	1604
Date	05/09/17
Drawn by	Kd
Checked by	

SD-A05
 Scale: 1/8" = 1'-0"



City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)

<http://www.cityofchicago.org>

March 27, 2008

Mr. Bernard I. Citron
Schain, Burney, Ross & Citron, Ltd.
222 North LaSalle Street
Suite 1910
Chicago, IL 60601-1102

Re: **Administrative Relief request for Residential Business Planned
Development No. 982, as amended, Shoemaker Lofts**

Dear Mr. Citron:

Please be advised that your request for a minor change to Residential Business Planned Development No. 982, as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you are requesting to:

- Allow ten parking spaces in Subarea B to be used by guests of Subarea A. The Planned Development consists of a 175-unit condominium building with 192 parking spaces within Subarea A and a one-story 30,000 square foot commercial building with 123 parking spaces within Subarea B. In order to provide parking for guests of the residential building, ten parking spaces on the roof of the commercial building will be made available. The condominium documents will be amended to reflect these ten parking spaces, with restrictions that they only be used for guest parking through provisions of a guest pass. As noted in the Planned Development, in the event fewer than 175 residential dwelling units are built, then fewer parking spaces may be built, as long as the parking ratio of 1.7 parking spaces per dwelling unit is maintained.

With regard to your request, the Department of Planning and Development has determined that allowing ten of the 123 commercial parking spaces to be used by guests of the residential building does not create an adverse impact on the Planned Development or surrounding neighborhood, does not result in an increase in the bulk or density, does not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 982, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Arnold L. Randall
Commissioner

ALR:SA:HG:tm

cc: Danita Childers, Mike Marmo, Pat Haynes, Erik Glass, **DPD files**

NEIGHBORHOODS





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

July 31, 2007

Mr. Bernard I. Citron
Schain Burney Ross and Citron Ltd.
222 North LaSalle Street
Suite 1910
Chicago, IL 60602

Re: **Administrative Relief request for Residential Planned Development No. 982-Sub Area B, (3927-3955 W. Belmont Avenue, "The Shops of Shoemaker Square" West 35th Street and South Aberdeen Street)**

Dear Mr. Citron:

Please be advised that your request for a minor change to Residential Business Planned Development No. 982 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No.11 of the Planned Development.

Specifically, you requested the following changes:

- **Reduction of the number of parking spaces provided.** The approved Planned Development (PD) includes 32 surface parking spaces and 93 rooftop parking spaces for a total of 125. In order to accommodate the HVAC system the number of rooftop parking spaces will be reduced by 2 leaving 91 spaces on the rooftop and a total of 123 parking spaces for the Sub Area.

With regard to your request, the Department of Planning and Development, along with a recommendation from the Department of Transportation, has determined that these design changes would not have an adverse impact on the Planned Development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 982, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Kathleen Nelson
First Deputy Commissioner

KN:MRD:ss

cc: Kathleen Nelson, Danita Childers, Mike Marmo, Pat Haynes, DPD files



Reporting for your Committee on Zoning, for which a meeting was held on May 23, 2006, I beg leave to recommend that Your Honorable Body *Pass* one ordinance transmitted herewith for the purpose of reclassifying a particular area. It is referred to as Application Number 15532.

At this time, I move for passage of the amended ordinance transmitted herewith.

Respectfully submitted,

(Signed) WILLIAM J. P. BANKS,
Chairman.

On motion of Alderman Banks, the said proposed amended ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Flores, Haithcock, Tillman, Preckwinkle, Hairston, Lyle, Beavers, Stroger, Beale, Pope, Balcer, Olivo, Burke, T. Thomas, Coleman, L. Thomas, Murphy, Rugai, Muñoz, Zalewski, Chandler, Solis, Ocasio, Burnett, E. Smith, Carothers, Reboyras, Suarez, Matlak, Mell, Austin, Colón, Banks, Allen, Laurino, O'Connor, Doherty, Natarus, Daley, Tunney, Levar, Shiller, Schuler, Stone -- 44.

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago: RB PD 982, 9A

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential-Business Planned Development Number 982 symbols and indications as shown on Map Number 7-J in the area bounded by:

West Belmont Avenue; North Harding Avenue; the 16 foot east/west public alley running parallel to and 244.97 feet south of West Belmont Avenue; the 16 foot north/south public alley just east of and parallel to North Pulaski Road; the 16 foot east/west public alley 333.92 feet south of and parallel to West Belmont Avenue; and North Pulaski Road to the point of beginning;

to those of Residential-Business Planned Development Number 982, as amended, and a corresponding use district is hereby established in the area above described.

And,

That the Chicago Zoning Ordinance be amended by changing all the Residential-Business Planned Development Number 982 symbols and indications as shown on Map Number 7-J in the area bounded by:

West Belmont Avenue; North Springfield Avenue; the 16 foot east/west public alley parallel to and south of West Belmont Avenue; and North Harding Avenue to the point of beginning;

to those of Residential-Business Planned Development Number 982, as amended, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

Residential-Business Planned Development Number 982, As Amended,

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development consists of a net site area of approximately two and eighty-eight hundredths (2.88) acres which is controlled by Dubin Residential Communities, Inc. ("Applicant").
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of right-of-ways or consolidation or resubdivision of parcels shall require separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions applicable within this planned development shall be binding upon the Applicant, its successors and assigns. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications, or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control of the subarea for which the request is being made. Single designated control for

purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant, the owners of all the property comprising the subarea for which the request is being made within the planned development or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the planned development as it may relate to the subarea in question, except as "control" may have been resolved within title documents. All owners of property within the planned development in the case of a legislative amendment.

4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Property and Boundary Map; Planned Development Subarea Map; a Site Plan; Landscape Plan; a Green Roof Plan; Balcony Details; and Building Elevation dated April 20, 2006, prepared by Hartshorne and Plunkard Architects, which are all incorporated herein. Full size sets of the Site Plan and Building Elevations and Landscape Plan are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code in Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply to the area delineated herein.
5. The following uses shall be permitted within the planned development:
 - Subarea A: Multi-family dwelling units; ground floor residential uses; a maximum of fifteen thousand (15,000) square feet of retail and commercial establishments as permitted in a B3-5 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses.
 - Subarea B: Retail and commercial establishments as permitted in a B3-3 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the planned development subject to review and approval of the Department of Planning and Development.

12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D., has approved detailed construction drawings for each building or improvement.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all building in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use reasonable efforts to design, construct and maintain all buildings located within this planned development in an energy efficient manner consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigerating and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.
14. In conformance with City of Chicago ordinances whereby projects receiving economic assistance in the form of T.I.F. financing must provide twenty percent (20%) of the dwelling units for sale as affordable units, the Applicant shall provide thirty-five (35) dwelling units in Subarea A for sale as affordable units as required. In the event the number of dwelling units to be constructed in Subarea A is reduced, the number of affordable units will also be reduced, so long as the twenty percent (20%) requirement is met. A written agreement between the Developer and the Department of Housing will be entered into setting forth the terms for the sale of the affordable units.
15. If substantial construction has not yet begun within the planned development within six (6) years of the date of passage of the planned development, the zoning of the property shall revert to the B3-2 District.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Planned Development Subarea Map; Site Plan; Landscape Plan; Green Roof Plan; Balcony Details; and Building Elevations referred to in these Plan of Development Statements printed on pages 77886 through 77898 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development Number 982, As Amended.

Bulk Regulations And Data Table.

Gross Site Area: 194,788 square feet (4.5 acres)

Net Site Area:

Total= 125,538 square feet (2.88 acres)

Subarea A:

Total= 115,945 square feet (2.7 acres) (Gross Site Area)

- 39,632 square feet (Area in Public Streets and Alleys)

= 76,313 square feet (1.75 acres) (Net Site Area)

Subarea B:

Total= 78,843 square feet (1.8 acres) (Gross Site Area)

- 29,618 square feet (Area in Public Streets and Alleys)

= 49,225 square feet (1.13 acres) (Net Site Area)

Maximum Floor Area Ratio:

Subarea A: 3.5

Subarea B: 0.8

Total: 2.5

Permitted Uses:

Subarea A:	Multi-family dwelling units; ground floor residential uses; a maximum of 15,000 square feet of retail and commercial establishments as permitted in a B3-5 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses.
Subarea B:	Retail and commercial establishment as permitted in a B3-3 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses.

Maximum Number of Residential Units:

Subarea A:	175
Subarea B:	0
Total:	175

Maximum Site Coverage:

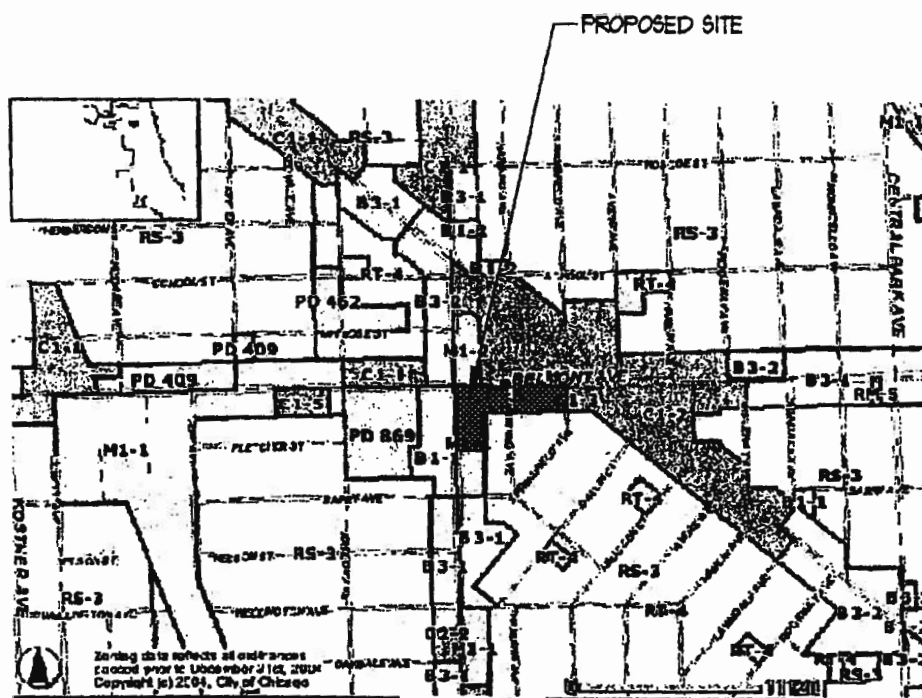
Subarea A:	76%
Subarea B:	75%

Minimum Number of Off-Street Parking Spaces:

Subarea A:	192 parking spaces
Subarea B:	125 parking spaces
Total:	317 parking spaces

(Continued on page 77899)

Existing Zoning Map.



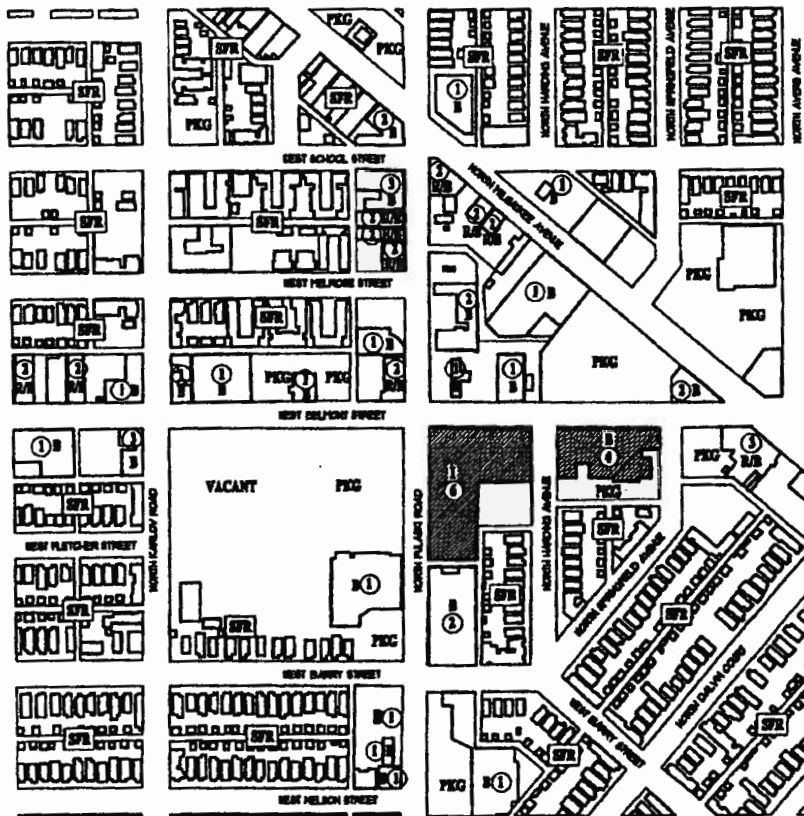
1 EXISTING ZONING MAP
NTS



APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE; CHICAGO, IL	2
DATE SUBMITTED:	MARCH 29, 2006	
DATE REVISED:	APRIL 20, 2006	

Existing Land-Use Map.

LEGEND	
SFR	SINGLE FAMILY RESIDENTIAL
B	BUSINESS COMMERCIAL
I	INDUSTRIAL/MANUFACTURING
MS	MSL / GROUND FL. BUSINESS
(3)	BUILDING HEIGHT IN STORIES

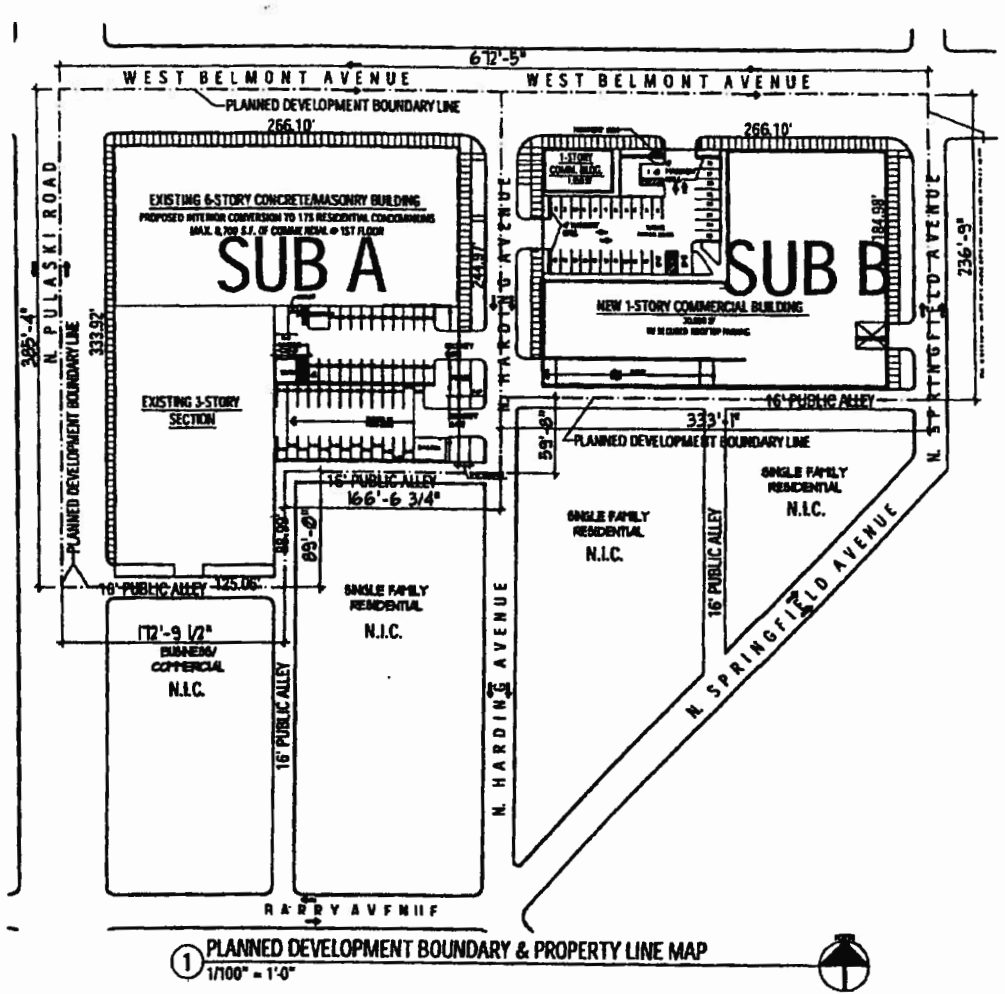


1 EXISTING LAND USE MAP
NTS



APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE, CHICAGO, IL	3
DATE SUBMITTED:	MARCH 29, 2006	
DATE REVISED:	APRIL 20, 2006	

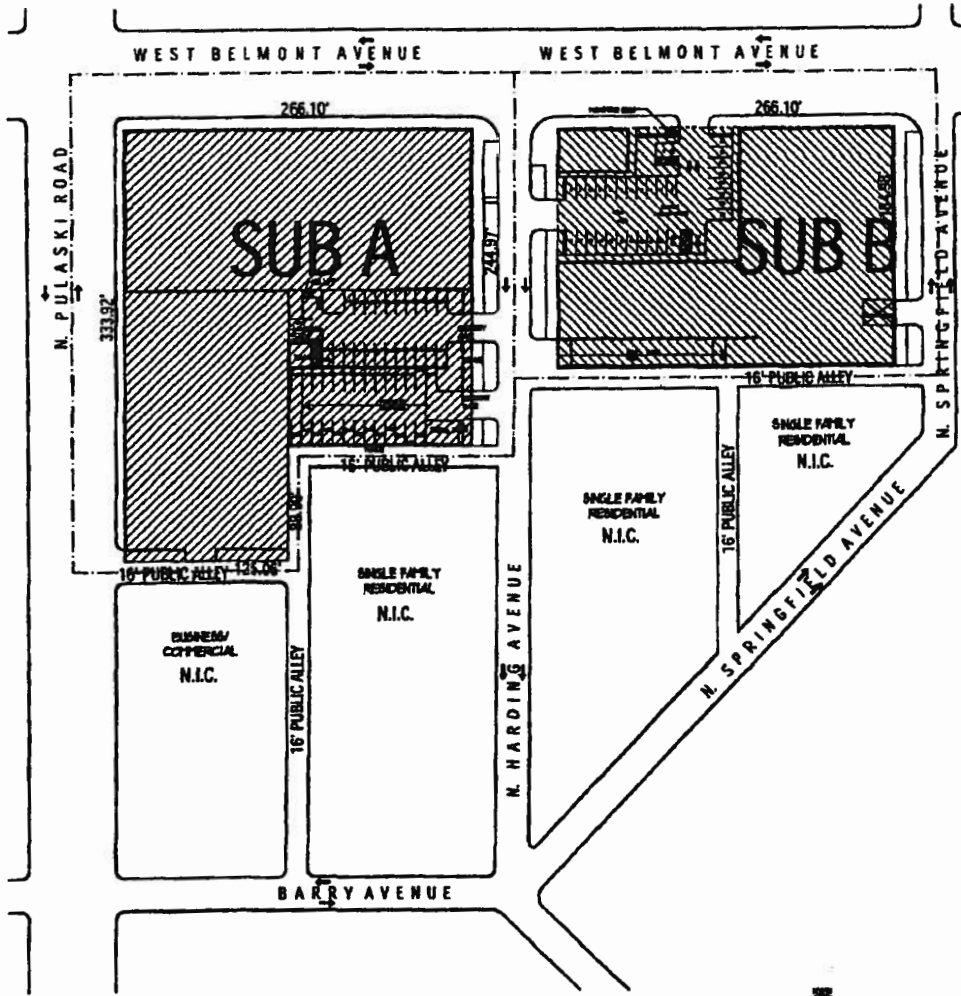
Planned Development Boundary And Property Line Map.



① PLANNED DEVELOPMENT BOUNDARY & PROPERTY LINE MAP
1/100" = 1'-0"

APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE; CHICAGO, IL	4
DATE SUBMITTED:	MARCH 29, 2006	
DATE REVISED:	APRIL 20, 2006	

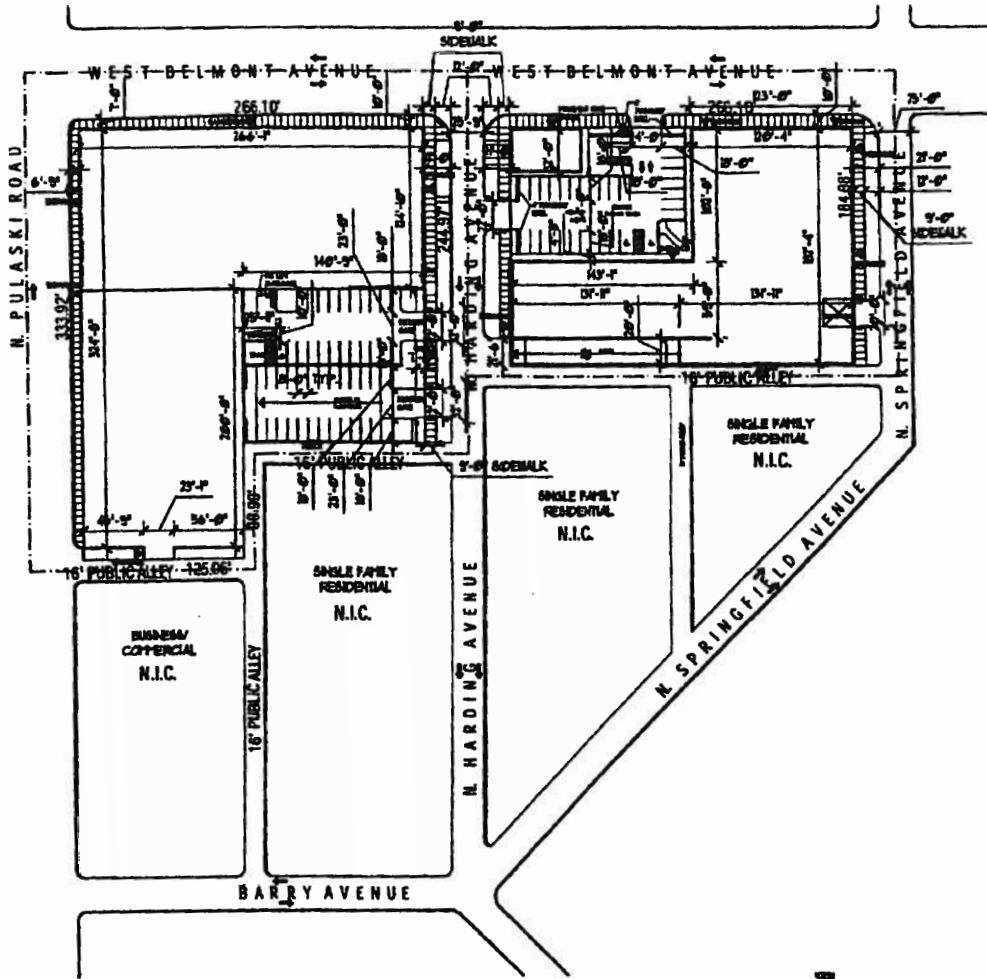
Planned Development Subarea Map.



① PLANNED DEVELOPMENT SUB-AREA MAP
 1/100" = 1'-0"

APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE; CHICAGO, IL	5
DATE SUBMITTED:	MARCH 29, 2006	
DATE REVISED:	APRIL 20, 2006	

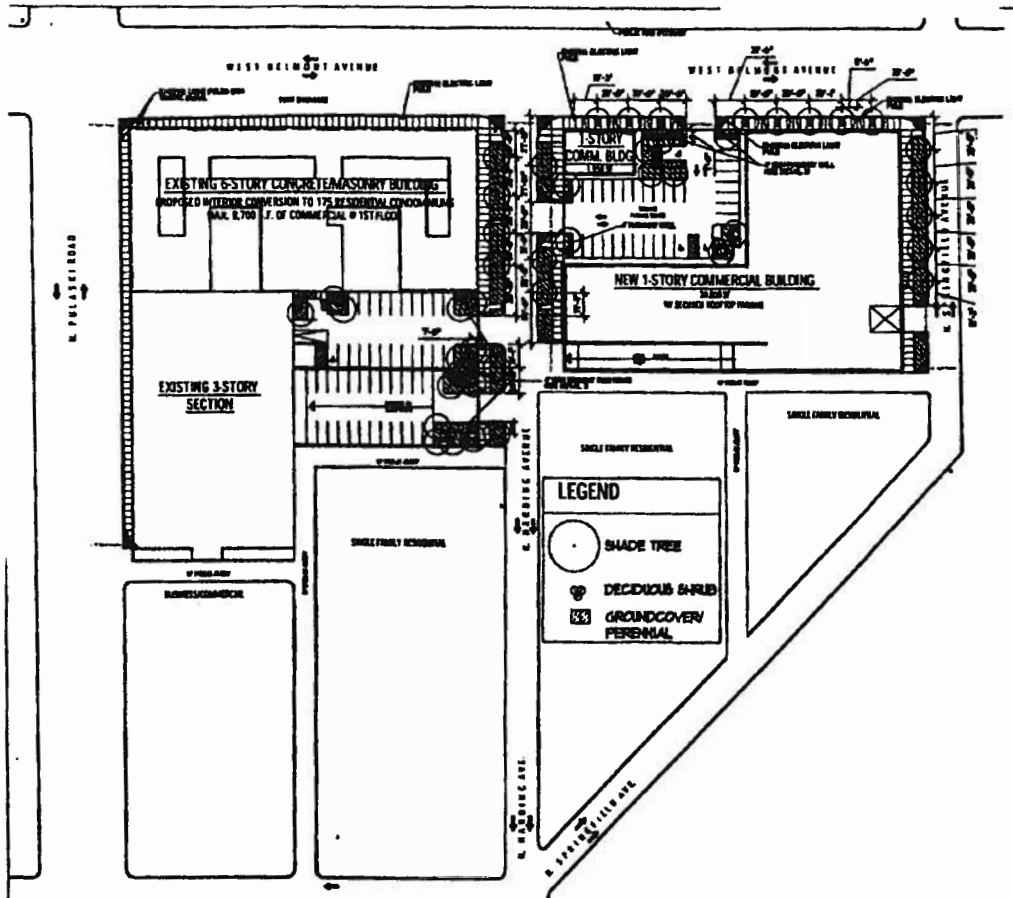
Site Plan.



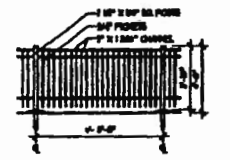
1 SITE PLAN
1/100" = 1'-0"

APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE; CHICAGO, IL	6
DATE SUBMITTED:	MARCH 29, 2006	
DATE REVISED:	APRIL 20, 2006	

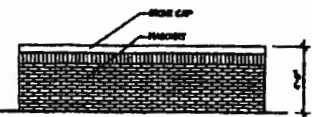
Landscape Plan.



3 LANDSCAPE PLAN
1/100" = 1'-0"



1 ORNAMENTAL 4'-0"
METAL FENCE
1/8" = 1'-0"

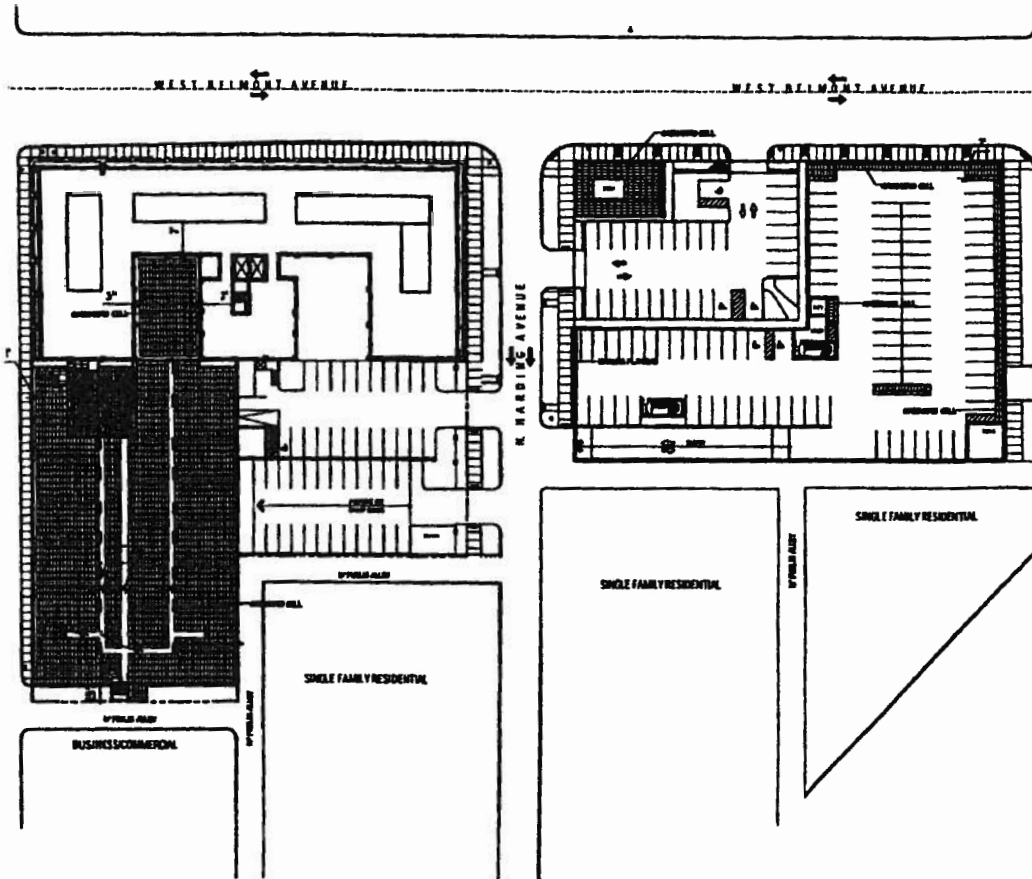


2 4'-0" LOW
MASONRY WALL
1/8" = 1'-0"

800 WEST BELMONT AVENUE:
VEHICULAR LANDSCAPE AREA: 1480 SQ. FT.
INTERIUM LANDSCAPE AREA PROVIDED: 1480 SQ. FT.
800 WEST BELMONT AVENUE:
VEHICULAR LANDSCAPE AREA: 1480 SQ. FT.
INTERIUM LANDSCAPE AREA PROVIDED: 1480 SQ. FT.

APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE; CHICAGO, IL	7
DATE SUBMITTED:	MARCH 29, 2006	
DATE REVISED:	APRIL 20, 2006	

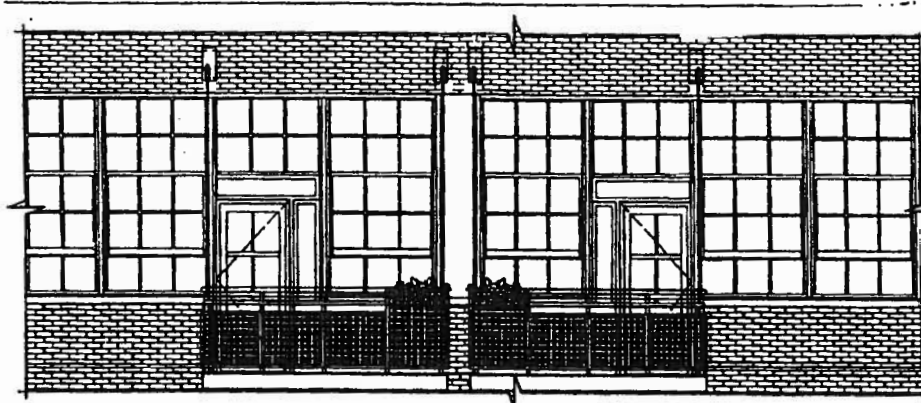
Green Roof Plan.



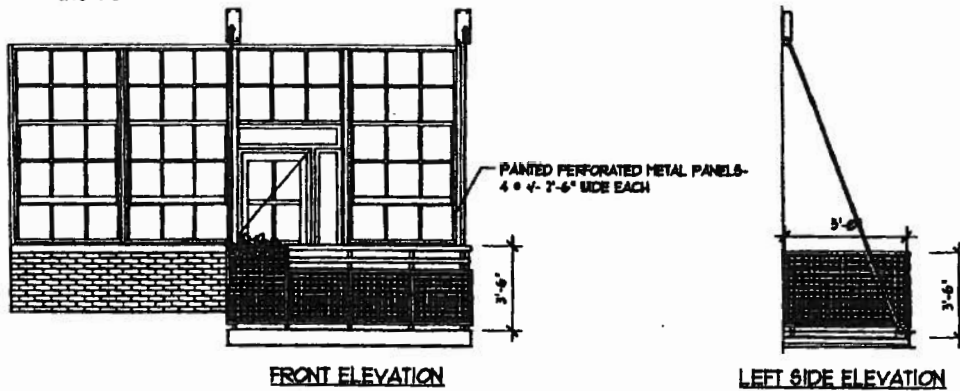
① GREEN ROOF PLAN
N.T.S.

APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE, CHICAGO, IL	
DATE SUBMITTED:	MARCH 29, 2006	7B
DATE REVISED:	APRIL 20, 2006	

Balcony Details.

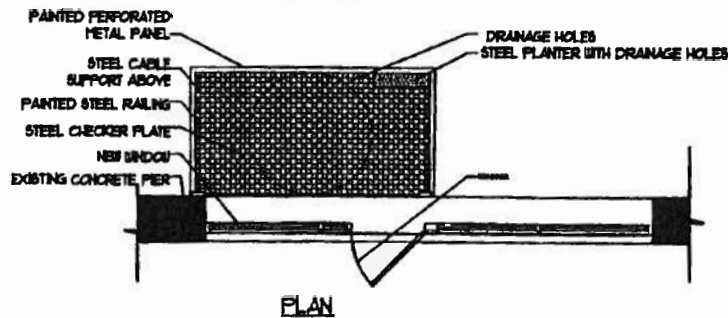


② TYPICAL PAIR OF BALCONIES
3/16"=1'-0"



FRONT ELEVATION

LEFT SIDE ELEVATION



PLAN

① BALCONY DETAILS
3/16"=1'-0"

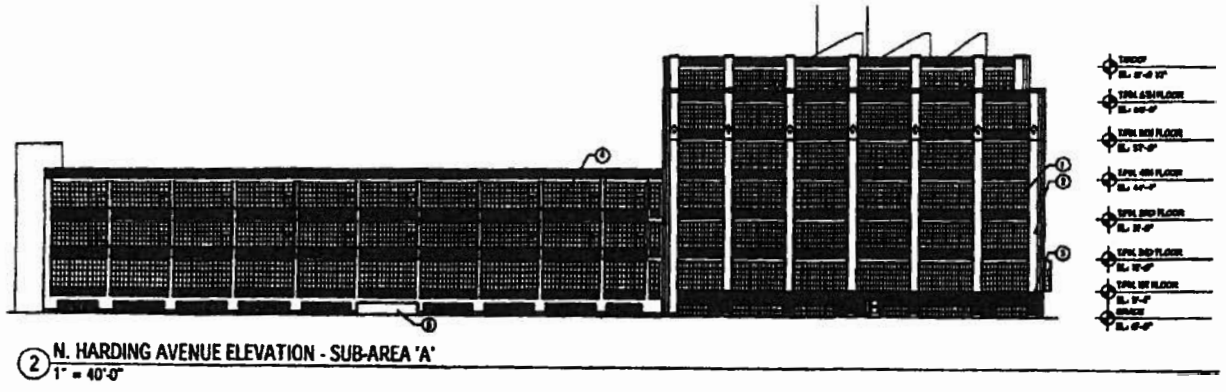
APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE, CHICAGO, IL	13
DATE SUBMITTED:	MARCH 29, 2006	
DATE REVISED:	APRIL 20, 2006	

5/24/2006

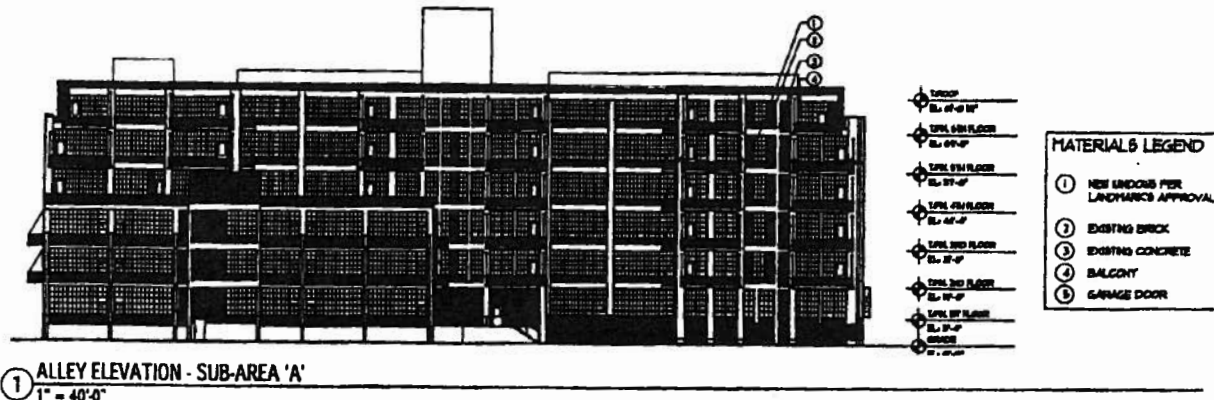
REPORTS OF COMMITTEES

77895

Building Elevations.
(Page 2 of 5)



② N. HARDING AVENUE ELEVATION - SUB-AREA 'A'
1" = 40'-0"

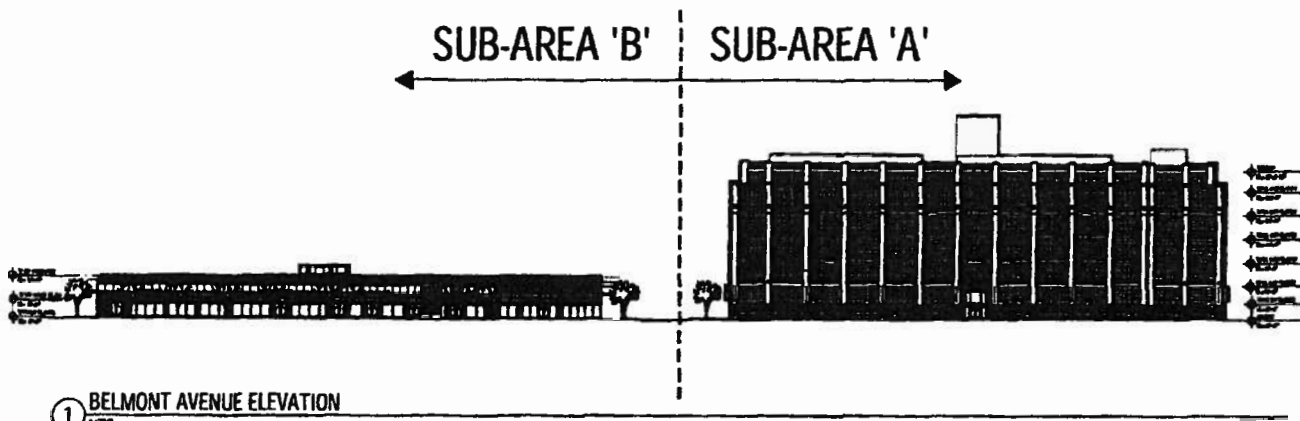


① ALLEY ELEVATION - SUB-AREA 'A'
1" = 40'-0"

APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE, CHICAGO, IL	9
DATE SUBMITTED:	MARCH 29, 2006	
DATE REVISED:	APRIL 20, 2006	

Apr 20, 2006 - 12:29PM

Building Elevations.
(Page 5 of 5)



① BELMONT AVENUE ELEVATION
NTS

APPLICANT:	DUBIN RESIDENTIAL COMMUNITIES, INC.	SK#
ADDRESS:	3927-3963 WEST BELMONT AVENUE; CHICAGO, IL	12
DATE SUBMITTED:	MARCH 29, 2006	
DATE REVISED:	APRIL 20, 2006	

Apr 10, 2006 - 12:50 PM

(Continued from page 77885)

Note: In the event fewer residential dwelling units are built, then fewer parking spaces may be built as long as the parking ratio of 1.7 parking spaces per dwelling unit is maintained.

Minimum Building
Setbacks:

In accordance with Site Plan

Maximum Building
Height:

Subarea A:

81 feet (existing structure)

Subarea B:

19 feet, 6 inches (24 feet to the top of the parapet) (new structure)

Re-Referred -- AMENDMENT OF TITLE 17 OF MUNICIPAL CODE
OF CHICAGO (CHICAGO ZONING ORDINANCE) BY
RECLASSIFICATION OF AREAS SHOWN ON MAP
NUMBERS 17-G, 17-H, 19-G AND 19-H.
(As Amended)
(Application Number A-5783)

The Committee on Zoning submitted the following report:

CHICAGO, May 24, 2006.

To the President and Members of the City Council:

Reclassification Of Area Shown On Map Number 7-J.

(As Amended)

(Application Number 14193)

RBPD 982

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-1 Limited Manufacturing/Business Park District symbols and RS3 Residential Single-Family District symbols and indications as shown on Map Number 7-J in the area bounded by:

West Belmont Avenue; North Harding Avenue; the 16 foot east/west public alley running parallel to and 244.97 feet south of West Belmont Avenue; the 16 foot north/south public alley just east of and parallel to North Pulaski Road; the 16 foot east/west public alley 333.92 feet south of and parallel to West Belmont Avenue; and North Pulaski Road to the point of beginning,

to those of a B3-5 Community Shopping District and a corresponding use district is hereby established in the area above described;

And

that the Chicago Zoning Ordinance be amended by changing all the M1-1 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 7-J in the area bounded by:

West Belmont Avenue; North Springfield Avenue; the 16 foot east/west public alley parallel to and south of West Belmont Avenue; and North Harding Avenue to the point of beginning,

to those of a B3-3 Community Shopping District and a corresponding use district is hereby established in the area above described.

SECTION 2. In the areas above described, the City Zoning Ordinance be amended by changing all of the B3-5 Community Shopping District symbols and B3-3 Community Shopping District symbols to those of a Residential-Business Planned Development and a corresponding use is hereby established.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development Number 982.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development consists of a net site area of approximately two and eighty-eight hundredths (2.88) acres which is controlled by Dubin Residential Communities, Inc. ("Applicant").
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this Plan of Development. Any dedication or vacation of streets or alleys or easements or adjustments of right-of-ways or consolidation or resubdivision of parcels shall require separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions applicable within this planned development shall be binding upon the Applicant, its successors and assigns. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control of the subarea for which the request is being made. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant, the owners of all the property comprising the subarea for which the request is being made within the planned development or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the planned development as it may relate to the subarea in question, except as "control" may have been resolved within title documents. In the case of a legislative amendment, single designated control shall mean all owners of property within the entire planned development.
4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; Planned Development Subarea Map; a Site Plan; a Landscape Plan; a Green Roof Plan; and four (4) sheets of Building Elevations dated July 21, 2005, prepared by Hartshorne and Plunkard Architects, which are all

incorporated herein. Full size sets of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. This Plan of Development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code in Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply to the area delineated herein. In any instance where a provision of the planned development conflicts with the Chicago Building Code, the Building Code shall control.

5. The following uses shall be permitted within the planned development:
 - Subarea A: Multi-Family Dwelling Units; ground floor residential uses; a maximum of fifteen thousand (15,000) square feet of retail and commercial establishments as permitted in a B3-5 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses;
 - Subarea B: Retail and commercial establishments as permitted in a B3-3 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the planned development subject to review and approval of the Department of Planning and Development.
7. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking or storage of garbage receptacles within such paved areas (except as noted on the Site Plan) or within fire lanes. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and off-street loading facilities shall be provided in compliance with this Plan of Development subject to review of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction

Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

8. In addition to the maximum height of any building or any appurtenance attached thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply.
10. Improvements of the property, including landscaping and all entrances and exits to the parking and loading areas, shall be designed and installed in substantial conformance with the exhibits to this planned development. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Landscape Plan and the Parkway Tree Provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
11. The terms, conditions and exhibits of this planned development ordinance may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the written request for such modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this planned development. Any such modification of the requirements of this planned development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings

located within the property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development.

Subarea A: The Applicant shall provide a vegetated ("green") roof corresponding to the attached Green Roof Plan on at least fifty percent (50%) of the net roof area of the building. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures and roof-mounted equipment. The remaining roof area shall be Energy Star certified. The building itself does not need to be Energy Star certified.

Subarea B: The Applicant shall install a vegetated ("green") roof corresponding to the attached Green Roof Plan on the buildings in this subarea. If the roof of the larger commercial building is devoted to parking, the Applicant shall also install a rain water cistern capable of holding fifty percent (50%) of a one (1) inch rain event. Both buildings in this subarea shall be Energy Star certified.

14. In conformance with City of Chicago ordinances whereby projects receiving economic assistance in the form of T.I.F. financing must provide twenty percent (20%) of the dwelling units for sale as affordable units, the Applicant shall provide thirty-five (35) dwelling units in Subarea A for sale as affordable units as required. In the event the number of dwelling units to be constructed in Subarea A is reduced, the number of affordable units will also be reduced, so long as the twenty percent (20%) requirement is met. A written agreement between the Developer and the Department of Housing will be entered into setting forth the terms for the sale of the affordable units.
15. If substantial construction has not yet begun within the planned development within six (6) years of the date of passage of the planned development, the zoning of the property designated herein as Subarea A shall revert to the B3-5 District and the property designated herein as Subarea B shall revert to the B3-3 District.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Subarea Map; Site Plan; Landscape Plan; Green Roof Plan; and Building Elevations referred to in these Plan of Development Statements printed on pages 55977 through 55987 of this *Journal*.]

9/14/2005

REPORTS OF COMMITTEES

55975

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development Number 982.

Bulk Regulations And Data Table.

Gross Site Area: 194,788 square feet (4.5 acres)

Net Site Area: Total = 125,538 square feet (2.88 acres)

Subarea A: Total = 115,945 square feet (2.7 acres) (Gross Site Area)
- 39,632 square feet (Area in Public Streets and Alleys)
= 76,313 square feet (1.75 acres) (Net Site Area)

Subarea B: Total = 78,843 square feet (1.8 acres) (Gross Site Area)
- 29,618 square feet (Area in Public Streets and Alleys)
= 49,225 square feet (1.13 acres) (Net Site Area)

Maximum Floor Area Ratio:

Subarea A: 3.5

Subarea B: 0.8

Total: 2.5

Permitted Uses:

Subarea A: Multi-Family Dwelling Units; ground floor residential uses; a maximum of 15,000 square feet of retail and commercial establishments as permitted in a B3-5 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses

Subarea B: Retail and commercial establishments as permitted in a B3-3 Community Shopping District (except that pawn shops, tattoo parlors, day labor companies and adult uses shall not be permitted), accessory parking, non-accessory parking and related uses

Maximum Number Of Residential Units:

Subarea A:	175
Subarea B:	0
Total:	175

Maximum Site Coverage:

Subarea A:	46%
Subarea B:	75%

Minimum Number of Off-street Parking Spaces:

Subarea A:	192 parking spaces
Subarea B:	127 parking spaces
Total:	319 parking spaces

Note: In the event fewer residential dwelling units are built, then fewer parking spaces may be built, as long as the parking ratio of 1.7 parking spaces per dwelling unit is maintained

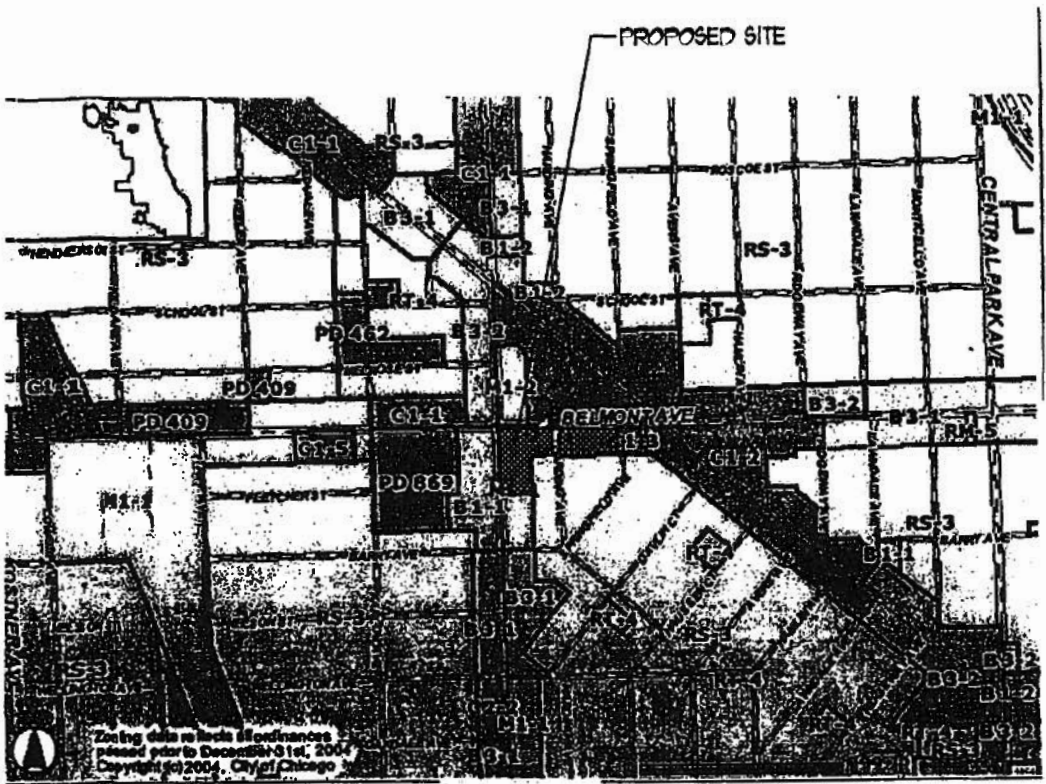
Minimum Building Setbacks:

In accordance with Site Plan.

Maximum Building Height:

Subarea A:	81 feet, 0 inches (existing structure)
Subarea B:	16 feet, 6 inches (new structure)

Existing Zoning Map.

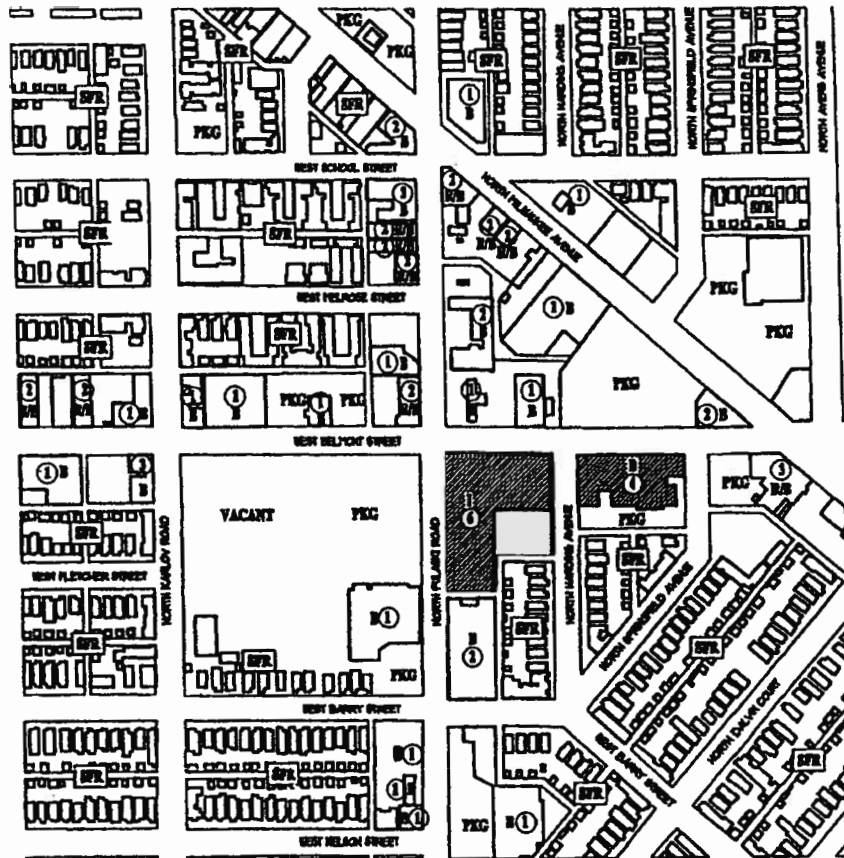


① EXISTING ZONING MAP
KTS



Existing Land-Use Map.

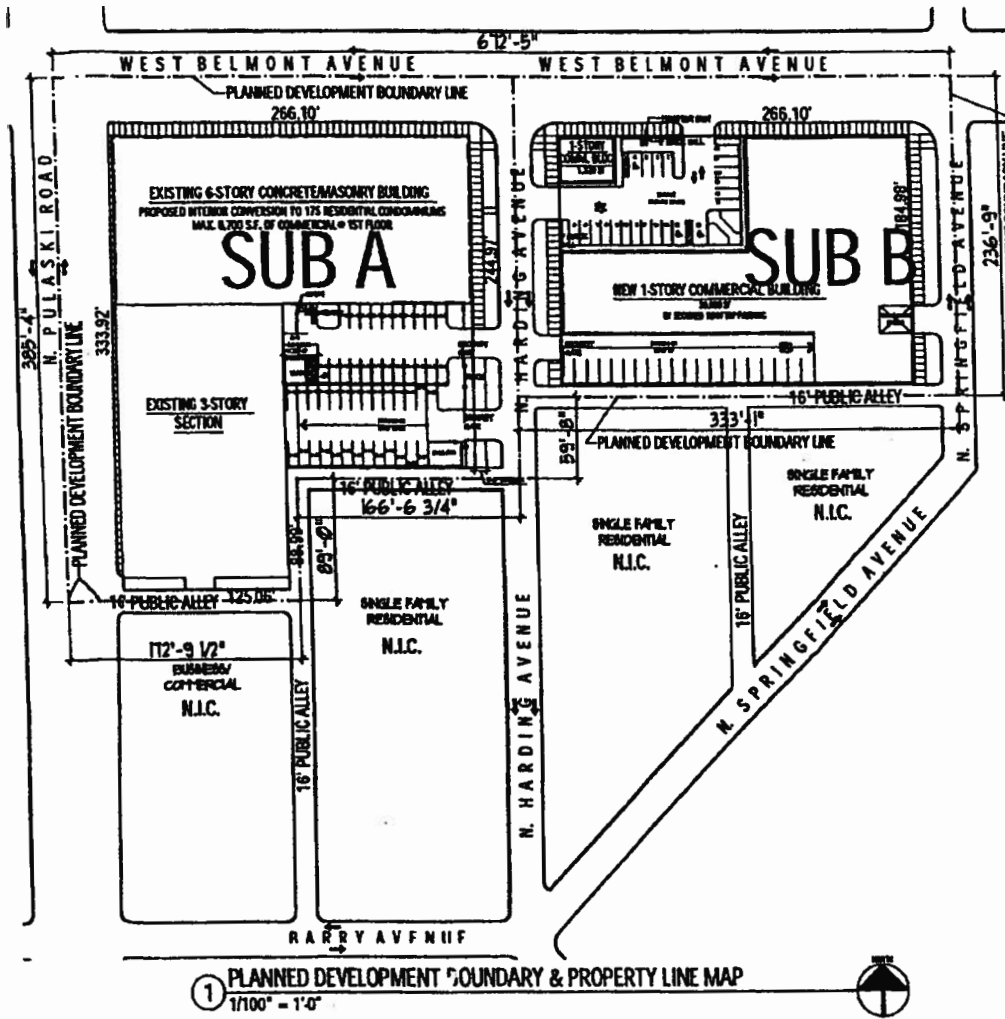
LEGEND	
SFR	SINGLE FAMILY RESIDENTIAL
B	BUSINESS/COMMERCIAL
I	INDUSTRIAL/MANUFACTURING
RB	REI/ GROUND FL BUSINESS
(2)	BUILDING HEIGHT IN STORIES



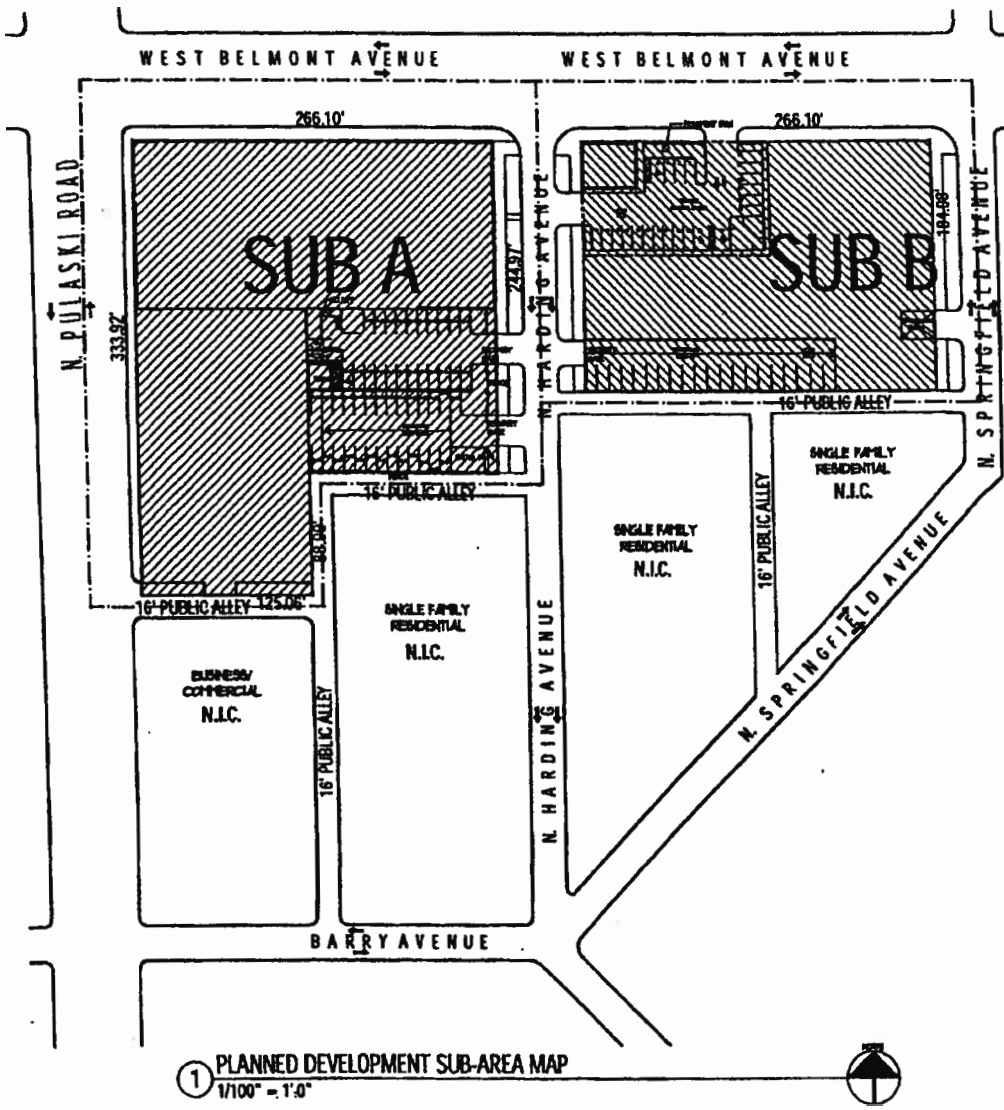
① EXISTING LAND USE MAP
NTS



Planned Development Boundary And Property Line Map.

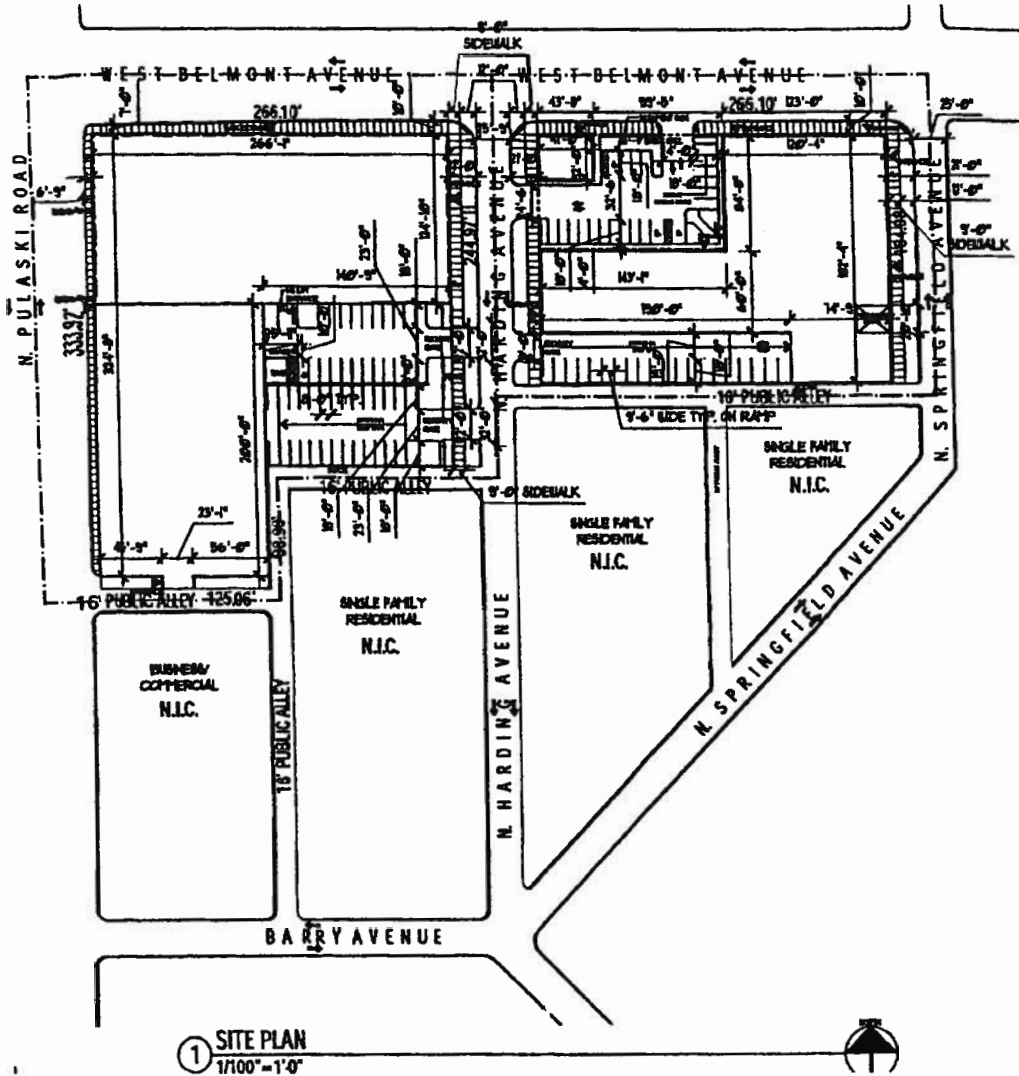


Planned Development Subarea Map.

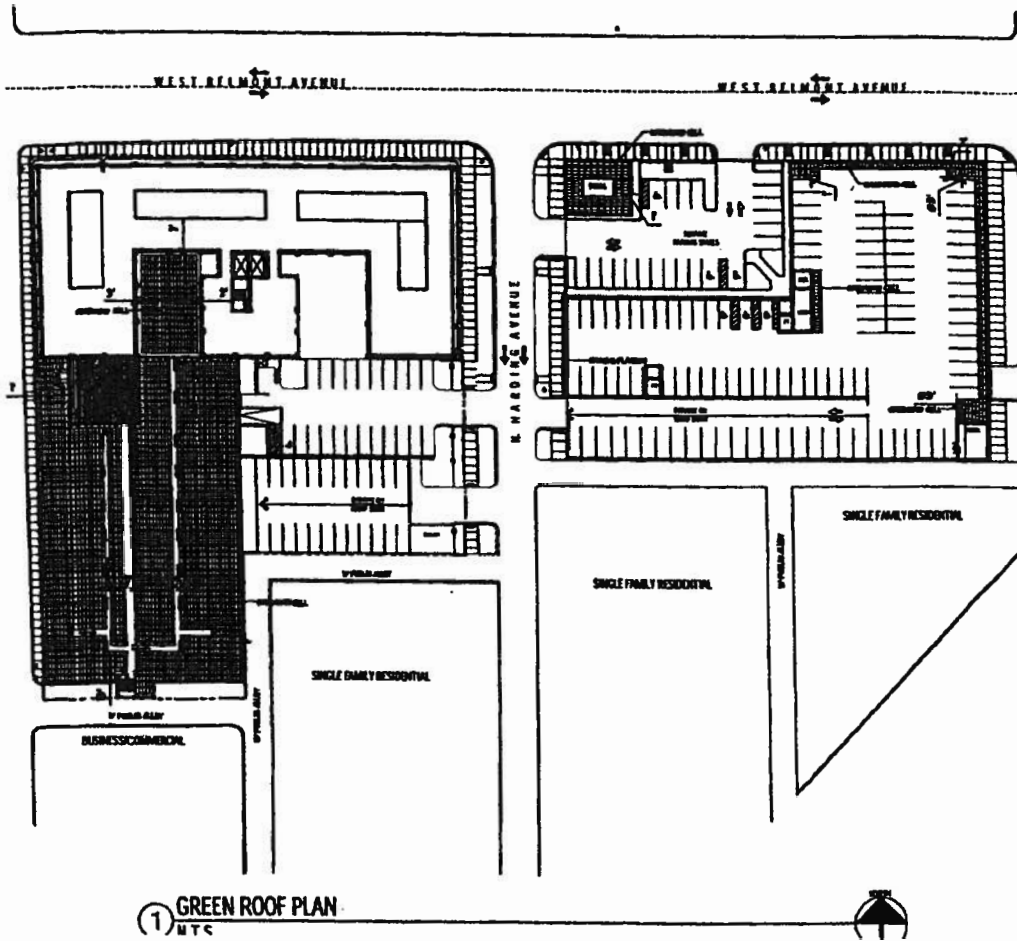


1 PLANNED DEVELOPMENT SUB-AREA MAP
1/100" = 1'-0"

Site Plan.

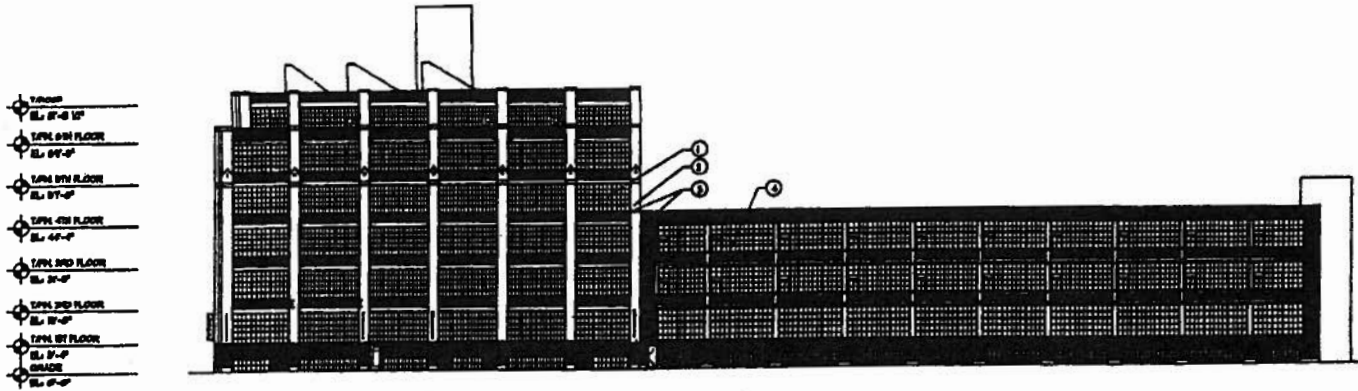


Green Roof Plan.



① GREEN ROOF PLAN
MTC

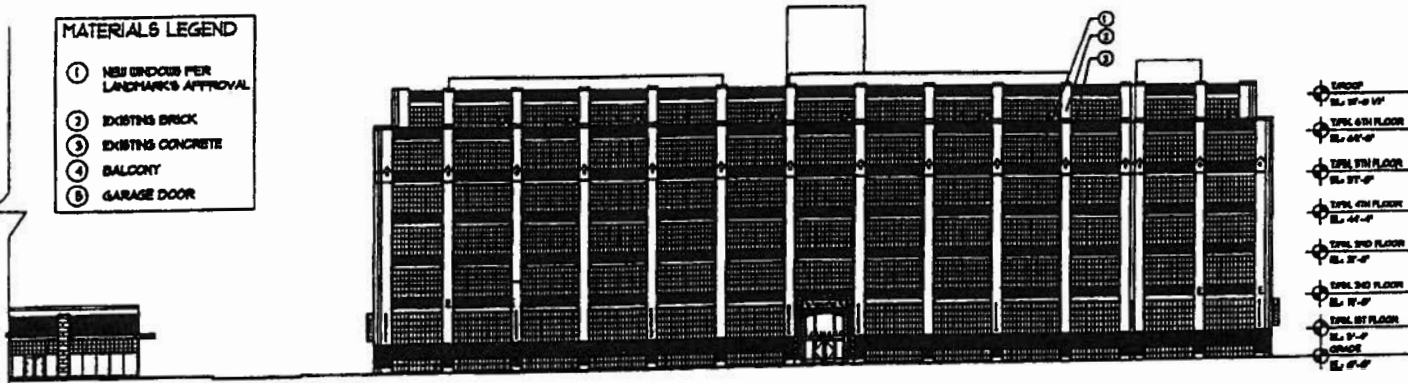
Building Elevations.
(Page 1 of 4)



- ↑ ROOF
EL. 87'-0 1/2"
- ↑ TOP 6TH FLOOR
EL. 84'-0"
- ↑ TOP 5TH FLOOR
EL. 81'-0"
- ↑ TOP 4TH FLOOR
EL. 78'-0"
- ↑ TOP 3RD FLOOR
EL. 75'-0"
- ↑ TOP 2ND FLOOR
EL. 72'-0"
- ↑ TOP 1ST FLOOR
EL. 69'-0"
- ↑ BRIDGE
EL. 67'-0"

② N. PULASKI ROAD ELEVATION - SUB-AREA 'A'
1" = 40'-0"

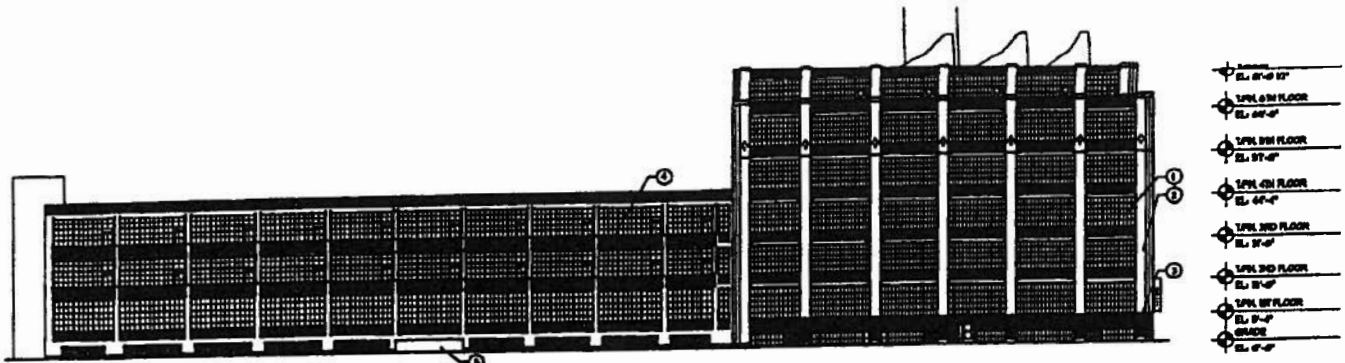
- MATERIALS LEGEND**
- ① NEW WINDOWS PER LANDMARKS APPROVAL
 - ② EXISTING BRICK
 - ③ EXISTING CONCRETE
 - ④ BALCONY
 - ⑤ GARAGE DOOR



- ↑ ROOF
EL. 87'-0 1/2"
- ↑ TOP 6TH FLOOR
EL. 84'-0"
- ↑ TOP 5TH FLOOR
EL. 81'-0"
- ↑ TOP 4TH FLOOR
EL. 78'-0"
- ↑ TOP 3RD FLOOR
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EL. 67'-0"

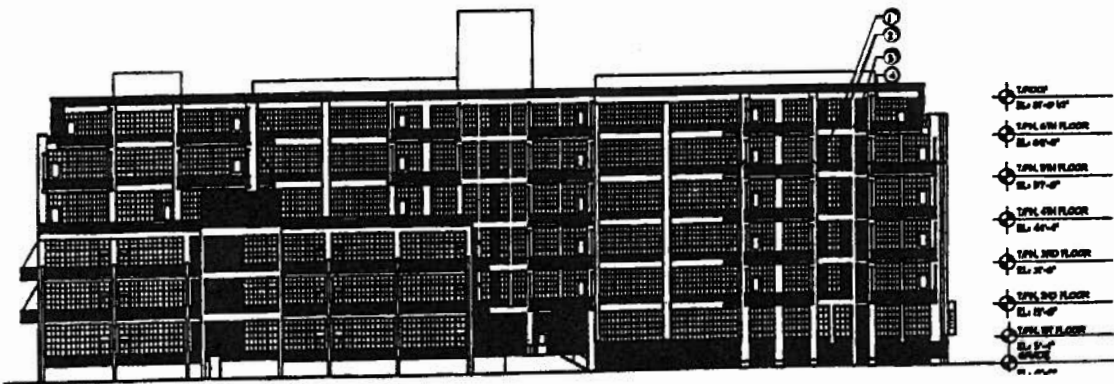


Building Elevations.
(Page 2 of 4)



- ROOF
EL. 87'-0"
- TOP 6TH FLOOR
EL. 66'-0"
- TOP 5TH FLOOR
EL. 57'-0"
- TOP 4TH FLOOR
EL. 48'-0"
- TOP 3RD FLOOR
EL. 39'-0"
- TOP 2ND FLOOR
EL. 30'-0"
- TOP 1ST FLOOR
EL. 21'-0"
- TOP 0TH FLOOR
EL. 12'-0"
- GRADE
EL. 0'-0"

② N. HARDING AVENUE ELEVATION - SUB-AREA 'A'
1" = 40'-0"

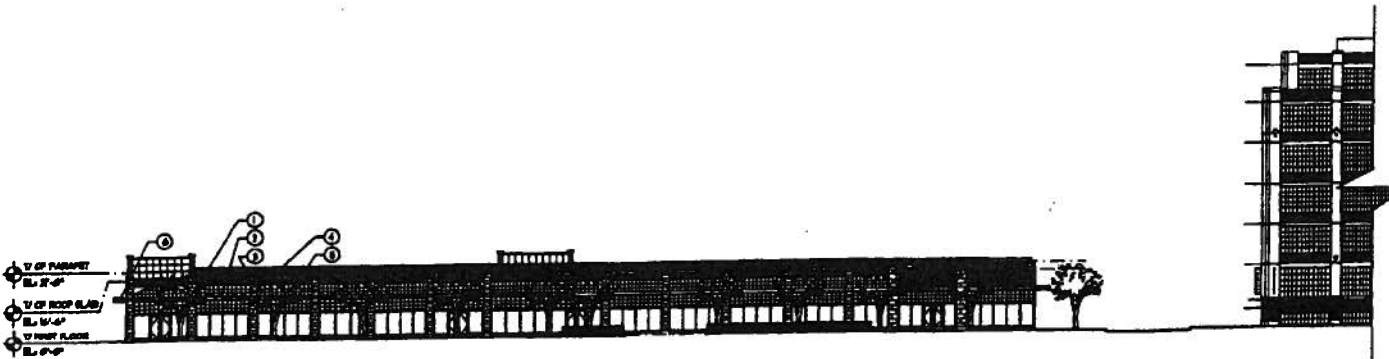
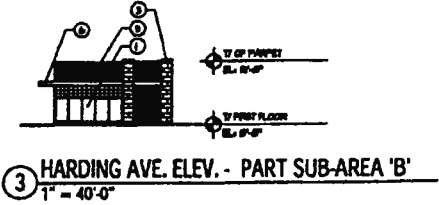
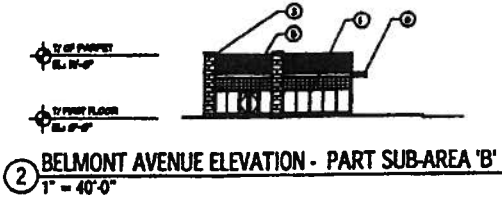
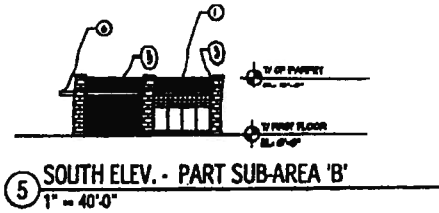
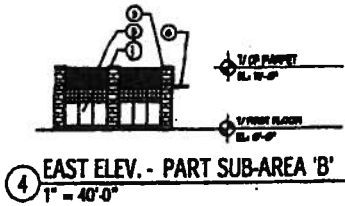


- ROOF
EL. 87'-0"
- TOP 6TH FLOOR
EL. 66'-0"
- TOP 5TH FLOOR
EL. 57'-0"
- TOP 4TH FLOOR
EL. 48'-0"
- TOP 3RD FLOOR
EL. 39'-0"
- TOP 2ND FLOOR
EL. 30'-0"
- TOP 1ST FLOOR
EL. 21'-0"
- TOP 0TH FLOOR
EL. 12'-0"
- GRADE
EL. 0'-0"

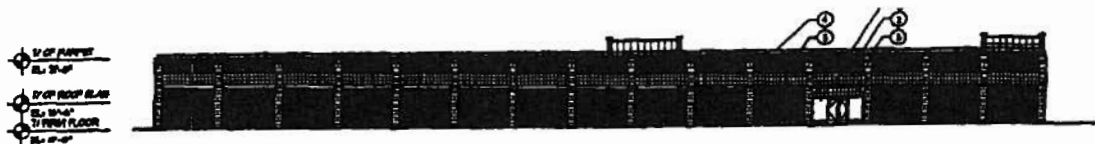
MATERIALS LEGEND	
①	NEW WINDOWS PER LANDMARKS APPROVAL
②	EXISTING BRICK
③	EXISTING CONCRETE
④	BALCONY
⑤	GARAGE DOOR

Building Elevations.
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MATERIALS LEGEND	
①	STOREFRONT GLASS
②	DECORATIVE STONE
③	STONE PIER
④	METAL RAILING
⑤	BRICK
⑥	METAL CANOPY
⑦	GARAGE DOOR



Building Elevations.
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④ ALLEY ELEV. - PART SUB-AREA 'B'
1" = 40'-0"



③ SPRINGFIELD AVENUE ELEV. - PART SUB-AREA 'B'
1" = 40'-0"



② HARDING AVENUE ELEVATION - PART SUB-AREA 'B'
1" = 40'-0"



MATERIALS LEGEND	
①	STOREFRONT GLASS
②	DECORATIVE STONE
③	STONE PIER
④	METAL TRAILING
⑤	BRICK
⑥	METAL CANOPY
⑦	GARAGE DOOR

↑ TOP OF PARAPET
EL. 21'-0"

↑ TOP OF ROOF SLAB
EL. 20'-0"

↑ FIRST FLOOR
EL. 0'-0"

↑ TOP OF PARAPET
EL. 21'-0"

↑ TOP OF ROOF SLAB
EL. 20'-0"

↑ FIRST FLOOR
EL. 0'-0"

↑ TOP OF PARAPET
EL. 21'-0"

↑ TOP OF ROOF SLAB
EL. 20'-0"

↑ FIRST FLOOR
EL. 0'-0"

↑ TOP OF PARAPET
EL. 21'-0"

↑ TOP OF ROOF SLAB
EL. 20'-0"

↑ FIRST FLOOR
EL. 0'-0"