

PD 966

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 30, 2025

Graham C. Grady
Taft Law
111 E. Wacker Dr., Suite 2600
Chicago, IL 60601

Re: **PD 966, 8331 S. Stewart Ave.**

Dear Mr. Grady:

This letter is a follow-up to our letter dated August 27, 2024, and in response to two modifications made since that time. First, the proposed lessee of a portion of the subject training building is the Chatham Business Association ("CBA") and not the Chatham Area Chamber of Commerce, as previously stated. Secondly, the CBA intends to locate its general administrative office functions in the leased portion of the training building, and you are seeking confirmation that the proposed uses, including both the CUL training facility, and the CBA office, are permitted under PD 966.

The subject property is zoned Business Planned Development Number 966 ("PD 966"). Your client, the Chicago Urban League ("CUL"), is seeking to establish a training facility within the former Walmart training facility at 8331 S. Stewart Ave. The existing building was approved in 2021 for use as a Walmart Academy job training facility. According to your request, the building contains approximately 15,731 SF of floor area and features classrooms and infrastructure designed for training across a range of vocations, including business services, HVAC repair, and dental and robotics related professions.

Walmart has chosen to donate the building to the CUL to establish a job training facility to be known as the Chicago Urban League Empowerment Center. Like the Walmart Academy facility, the CUL facility will feature classroom instruction, hands-on workshops, and events directly related to its workforce and entrepreneurship training programs. The programming will be primarily related to two of CLU's existing training programs: (1) the Workforce Development Center, which offers training in highly sought-after jobs including solar installation, supply chain management, and dental, electronics, technology and HVAC services; and (2) the Center for Entrepreneurship & Innovation, which trains entrepreneurs to launch, grow and sustain businesses. There will be no outdoor storage or manufacturing processes on site.

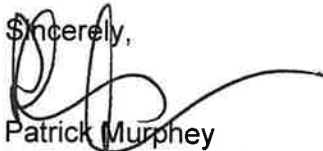
Secondly, the proposed lessee of a portion of the building will be the Chatham Business Association ("CBA"). The CBA intends to locate its general administrative office functions in the leased portion of the building.

Pursuant to Statement 5 of PD 966, the uses permitted in the PD shall be all uses permitted in the B5-1 General Service District (which is now the B3-1 Community Shopping District), including, but not limited to, retail, office, banks, vehicle sales and service, two-car wash or cleaning, and restaurant uses including "drive-through" facilities and accessory parking which may include facilities as defined in Section 5.11-1 of the Chicago Zoning Ordinance.

Based on the information provided, it is our opinion that the proposed uses are business support service (trade school) and office use. Pursuant to Section's 17-3-0207-V and 17-3-0207-KK, business support services and offices, except as more specifically regulated, are permitted uses in the B3 district and are therefore permitted within PD 966.

Lastly, as a condition of its donation agreement with Walmart, the CUL must obtain approval of a legal lot of records for the donation parcel. Per your request letter, CLU has submitted an application to CDOT for the partial resubdivision of the subject property, and as shown on the attached, proposed Plat of Resubdivision. It is also our opinion that the proposed resubdivision does not require a minor change or alternative form of zoning review (prior to any required Part II submissions).

Sincerely,



Patrick Murphey
Zoning Administrator

PM:tm

C: Kyle Bartlett, Noah Szafraniec, Mike Marmo, Janice Hill, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 27, 2024

Graham C. Grady
Taft Law
111 E. Wacker Dr., Suite 2600
Chicago, IL 60601

Re: **PD 966, 8331 S. Stewart Ave.**

Dear Mr. Grady:

In response to your recent request, please be advised the subject property is zoned Business Planned Development Number 966 ("PD 966"). Your client, the Chicago Urban League ("CUL"), is seeking to establish a training facility within the former Walmart training facility at 8331 S. Stewart Ave. The existing building was approved in 2021 for use as a Walmart Academy job training facility. According to your request, the building contains approximately 15,731 SF of floor area and features classrooms and infrastructure designed for training across a range of vocations, including business services, HVAC repair, and dental and robotics related professions.

Walmart has chosen to donate the building to the CUL to establish a job training facility to be known as the Chicago Urban League Empowerment Center. Like the Walmart Academy facility, the CUL facility will feature classroom instruction, hands-on workshops, and events directly related to its workforce and entrepreneurship training programs. The programming will be primarily related to two of CLU's existing training programs: (1) the Workforce Development Center, which offers training in highly sought-after jobs including solar installation, supply chain management, and dental, electronics, technology and HVAC services; and (2) the Center for Entrepreneurship & Innovation, which trains entrepreneurs to launch, grow and sustain businesses. There will be no outdoor storage or manufacturing processes on site.

Pursuant to Statement 5 of PD 966, the uses permitted in the PD shall be all uses permitted in the B5-1 General Service District (which is now the B3-1 Community Shopping District), including, but not limited to, retail, office, banks, vehicle sales and service, two-car wash or cleaning, and restaurant uses including "drive-through" facilities and accessory parking which may include facilities as defined in Section 5.11-1 of the Chicago Zoning Ordinance.

Based on the information provided, it is our opinion that the proposed use is a business support service (trade school), pursuant to Section 17-17-0104-G of the Zoning Ordinance. Pursuant to Section 17-3-0207-V, business support services, except as more specifically regulated, are permitted in the B3 district and are therefore permitted within PD 966.

Secondly, as a condition of its donation agreement with Walmart, the CUL must obtain approval of a legal lot of records for the donation parcel. Per your request letter, CLU has submitted an application to CDOT for the partial resubdivision of the subject property, and as shown on the attached, proposed Plat of Resubdivision. It is also our opinion that the proposed resubdivision does not require a minor change or alternative form of zoning review (prior to any required Part II submissions).

Sincerely,

Kyle Bartlett
Assistant Zoning Administrator

KB:tm

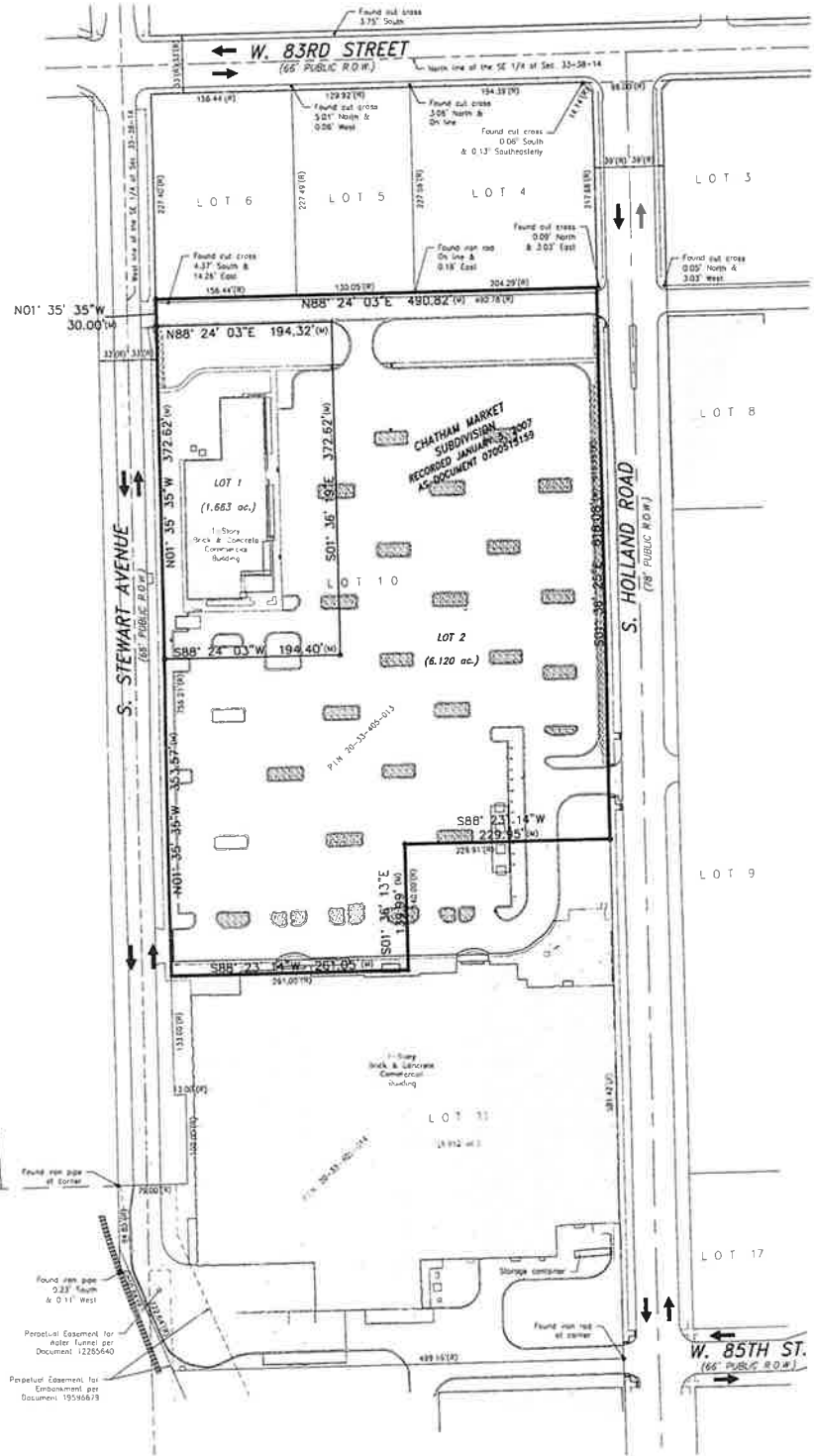
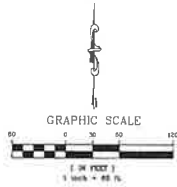
C: Kyle Bartlett, Noah Szafraniec, Mike Marmo, Janice Hill, Main file

EXHIBIT "A" PLAT OF SUBDIVISION CHICAGO URBAN LEAGUE RESUBDIVISION

AFFECTED P.I.N.:
20-33-405-013 (LOT 10) PART OF
8331 S. STEWART AVE.

LEGAL DESCRIPTION:

A RESUBDIVISION OF LOT 10 OF THE CHATHAM MARKET SUBDIVISION, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER AND IN THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 38 NORTH, AND IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 37 NORTH, ALL IN RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED JANUARY 5, 2007 AS DOCUMENT 0700515159, IN COOK COUNTY, ILLINOIS, CONTAINING 339,005 SQUARE FEET, OR 7.782 ACRES, MORE OR LESS.



- LEGEND AND ABBREVIATIONS**
- PROPERTY LINE
 - BUILDING
 - CONCRETE
 - ASPHALT
 - GRAVEL
 - DEPRESSED CURB
 - FOUND IRON NAIL
 - FOUND REBAR
 - SET IRON ROD/PIPE
 - SET MAG NAIL
 - SET/FOUND OUT CROSS
 - RECORD DIMENSION
 - MEASURED DIMENSION
 - TRAFFIC DIRECTION

- Surveyor's Notes:**
- All dimensions are given in feet and decimal parts thereof.
 - All bearings and distances are based on Illinois State Plane Coordinate System, East Zone, NAD83 (2011 adjustment), GPS derived.
 - The surveyor referenced First American Title Insurance Company Commitment No. 2020-1148305 with a Commitment date of October 3, 2023, as well as Special Warranty Deed recorded April 22, 2011 as Document 1111233003, for the legal description shown herein.
 - Exception 12 in the above referenced Title Commitment references Easements, Easements, Conditions and Restrictions by and between 90003 G&L Realty, LLC and Lowe's Home Centers, Inc. recorded January 5, 2007 as Document Number 0700515154 and the terms and provisions contained therein; Amended and Restated Easements, Easements, Conditions and Restrictions recorded April 22, 2011 as Document 1111233005 and re-recorded as Document 1114404232; First Amendment to Amended and Restated Easements, Easements, Conditions and Restrictions recorded on August 20, 2012 as Document Number 1222359591; these documents include onsite assessments across the property, as well as construction, utility, signage assessments and other agreements that are all shown in red and are, therefore, not pertinent.
 - No dimensions shall be derived from scale measurement.
 - Field work completed February 5, 2024.

ZONING INFORMATION:
P.I.N. 20-33-405-013 is zoned PD-86, a Business Planned Development per Ordinance S02022-1159 dated September 21, 2022.

| SEE SHEET 2 FOR LEGAL DESCRIPTION, OWNER'S CERTIFICATE, SURVEYOR'S CERTIFICATE, NOTARY CERTIFICATE & SIGNATURE BOXES | | |
|--|----------|-------------|
| # | Date | Description |
| 1 | 20-10-24 | Issued |

TERRA
ENGINEERING LTD.

225 W. Ohio Street
401 Floor
Chicago, IL 60654
ILLINOIS PROFESSIONAL DESIGN #18M-102616

Project Information

PROJECT # - 23-338
DRAWN BY - LAG
CHECKED BY - LAG
APPROVED BY - TEB
CLIENT - CHICAGO URBAN LEAGUE
4810 S. MICHIGAN AVE.
CHICAGO, IL 60632

CHICAGO URBAN LEAGUE
8331 S. STEWART AVENUE
CHICAGO, IL

COOT# XX-XX-XX-XXXX

Rev 11, 2024 - 10.52pm
P:\2023\23-338 Chicago Urban League Subdivision\SURVEY\DRAWING\23-138 Chicago Urban League COO' Resubdiv



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 3, 2024

Emily Roseberry
Permitting Coordinator
SSC, Inc.
7171 W. 95th St., Suite 600
Overland Park, KS 66212

Re: PD 966, Proposed Tesla EV Charging Station at 8411 S. Holland Road

Dear Ms. Roseberry:

In response to your recent request, please be advised that the subject property is zoned Business Planned Development Number 966 ("PD 966"). Tesla, Inc. is seeking to install an EV Charging Station within Lowe's parking lot at 8411 S. Holland Rd.

The charging equipment will be placed on an existing landscaped median and as noted on the submitted exhibits, all landscaping materials to be removed as a result, including 2 trees, will be relocated elsewhere on site. Sixteen parking spaces will be converted to 16 electric charging spaces. There will be no change to the number of spaces provided or to the overall minimum requirement of 1,600 parking spaces for the entire Planned Development.

All of the proposed work must comply with the requirements of PD 966 and all necessary permits must be obtained prior to the start of construction.

Sincerely,

Patrick Murphey
Zoning Administrator

PM:tm

C: Noah Szafraniec, Mike Marmo, Janice Hill, Main file

9/21/2022

REPORTS OF COMMITTEES

20996
52207

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF
AREA SHOWN ON MAP NO. 20-F.

(As Amended)
(Application No. 20996)

BPD 966

(Common Address: 201 -- 357 W. 83rd St. And 8301 -- 8455 S. Stewart Ave.)

[SO2022-1159]

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, September 21, 2022.

To the President and Members of the City Council:

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on September 20, 2022, and recessed and reconvened on September 21, 2022, the following items were passed by a majority of the members present:

Page 1 contains the appointment of Danielle Tillman as a member of the Chicago Plan Commission for a term effective immediately and expiring January 25, 2026.

Page 1 also contains the appointment of Claudette Soto as a member of the Chicago Plan Commission for a term effective immediately and expiring January 25, 2027.

Page 1 also contains the appointment of Jonathan E. Fair as a member of the Commission on Chicago Landmarks for a term effective immediately and expiring March 11, 2023.

Page 1 also contains the reappointment of Richard L. Tolliver as a member of the Commission on Chicago Landmarks for a term effective immediately and expiring March 11, 2023.

Page 1 further contains Document Number SO2022-2008 for an amendment of the Municipal Code by repealing existing Title 14N (2019 Chicago Energy Conservation Code) and replacing it with new Title 14N (2022 Chicago Energy Transformation Code).

Pages 1 through 12 contain various map amendments in the 1st, 2nd, 3rd, 4th, 6th, 10th, 14th, 16th, 21st, 22nd, 24th, 25th, 27th, 30th, 44th, 46th and 47th Wards.

Page 10 contains map amendment Document Number SO2022-1838 for the property commonly known as 1201 -- 1285 West Cabrini Street.

Page 13 contains a fee waiver for the historical landmark property located at 1100 East Hyde Park Boulevard.

Page 13 further contains various large signs over 100 square feet in area and 24 feet above grade in the 1st, 2nd, 4th, 5th, 10th, 32nd, 42nd, 45th and 50th Wards.

I hereby move for passage of the proposed substitute ordinance transmitted herewith.

Respectfully submitted,

(Signed) THOMAS TUNNEY,
Chairman.

On motion of Alderman Tunney, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Aldermen La Spata, Hopkins, Dowell, King, Hairston, Mitchell, Harris, Beale, Sadlowski Garza, Lee, Cárdenas, Quinn, Burke, Lopez, Curtis, O'Shea, Taylor, Brookins, Rodriguez, Tabares, Scott, Sigcho-Lopez, Maldonado, Burnett, Ervin, Taliaferro, Reboyras, Cardona, Waguespack, Rodriguez-Sanchez, Austin, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Knudsen, Tunney, Gardiner, Cappleman, Martin, Osterman, Hadden, Silverstein -- 47.

Nays -- Alderman Moore -- 1.

Alderman Cappleman moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all Business Planned Development Number 966 symbols and designations as shown on Map Number 20-F in the area bounded by:

West 83rd Street; a line 1,290.02 feet east of and parallel to South Stewart Avenue, or the line thereof if extended where no street exists; a line 969.81 feet south of West 83rd Street; a line from a point 1,257.34 feet east of South Stewart Avenue, extended, and 969.81 feet south of West 83rd Street, to a point 1,084.56 feet east of South Stewart Avenue extended and 1,251.19 feet south of West 83rd Street, to be connected by an arc of a circle which is convex with a radius of 353.77 feet for a

distance of 337.50 feet; a line from a point 1,084.56 feet east of South Stewart Avenue extended and 1,251.19 feet south of West 83rd Street, to a point 987.77 feet east of South Stewart Avenue extended and 1,318.65 feet south of West 83rd Street; a line from a point 987.77 feet east of South Stewart Avenue extended and 1,318.65 feet south of West 83rd Street, to a point 780.81 feet east of South Stewart Avenue extended and 1,412.95 feet south of West 83rd Street; a line from a point 780.81 feet east of South Stewart Avenue extended and 1,412.95 feet south of West 83rd Street, to a point 562.81 feet east of South Stewart Avenue extended and 1,696.45 feet south of West 83rd Street, to be connected by a concave line on an arc having a radius of 273.04 feet; a line from a point 562.81 feet east of South Stewart Avenue extended and 1,696.45 feet south of West 83rd Street, to a point 541.36 feet east of South Stewart Avenue extended and 1,891.88 feet south of West 83rd Street; a line 541.36 feet east of South Stewart Avenue extended; a line from a point 541.36 feet east of South Stewart Avenue extended and 1,977.79 feet south of West 83rd Street, to a point 501.81 feet east of South Stewart Avenue extended and 2,031.45 feet south of West 83rd Street, to be connected by a convex line on an arc with a radius of 396.37 feet and having a distance of 94.44 feet; a line from a point 501.81 feet east of South Stewart Avenue extended and 2,031.45 feet south of West 83rd Street, to a point 452.81 feet east of South Stewart Avenue extended and 2,167.45 feet south of West 83rd Street; a line 452.81 feet east of South Stewart Avenue extended; a line from a point 452.81 feet east of South Stewart Avenue extended and 2,277.83 feet south of West 83rd Street, to a point 522.48 feet east of South Stewart Avenue extended and 2,457.83 feet south of West 83rd Street; a line from a point 522.48 feet east of South Stewart Avenue extended and 2,457.83 feet south of West 83rd Street, to a point 552.69 feet east of South Stewart Avenue extended and the north right-of-way line of West 87th Street; the north right-of-way line of West 87th Street; a line from a point 503.97 feet east of South Stewart Avenue extended and the north right-of-way line of West 87th Street, to a point 386.02 feet east of South Stewart Avenue extended and 150.02 feet north of the northerly right-of-way line of West 87th Street; the southeasterly right-of-way line of South Holland Road; the northeasterly right-of-way line of South Holland Road; the northwesterly right-of-way line of South Holland Road; a line from a point 340.81 feet east of South Stewart Avenue extended and 2,450 feet south of West 83rd Street, to a point 293.23 feet east of South Stewart Avenue extended and 2,401.23 feet south of West 83rd Street; a line from a point 293.23 feet east of South Stewart Avenue extended and 2,401.23 feet south of West 83rd Street, to a point 220.81 feet east of South Stewart Avenue extended and 2,201.11 feet south of West 83rd Street, to be connected by a convex line along an arc of 220.88 feet having a radius 1,432.69 feet; a line from a point 220.81 feet east of South Stewart Avenue extended and 2,201.11 feet south of West 83rd Street, to a point 1,921.45 feet south of West 83rd Street and 150.23 feet east of South Stewart Avenue extended; a line from a point 150.23 feet east of South Stewart Avenue and 1,921.45 feet south of West 83rd Street, to a point 120.41 feet east of South Stewart Avenue extended and 1,791.45 feet south of West 83rd Street, to be connected by a convex line having an arc length of 104.74 feet and a radius of 342.26 feet; a line from a point 120.41 feet east of South Stewart Avenue extended and 1,791.45 feet south of West 83rd Street, to a point 115.25 feet east of South Stewart Avenue extended and 1,734.77 feet south

of West 83rd Street; a line from a point 115.25 feet east of South Stewart Avenue extended and 1,734.77 feet south of West 83rd Street, to a point 100 feet east of South Stewart Avenue extended and 1,621.45 feet south of West 83rd Street, to be connected by a concave line with an arc length of 78.80 feet having a radius of 376.26 feet; a line from a point 100 feet east of South Stewart Avenue extended and 1,621.45 feet south of West 83rd Street, to a point 1,311.45 feet south of West 83rd Street and 10.84 feet east of the west right-of-way line of South Stewart Avenue, to be connected by a concave arc having a length of 318.83 feet and a radius of 1,163.28 feet; a line 1,311.45 feet south of West 83rd Street; the west right-of-way line of South Stewart Avenue; a line 1,216.6 feet south of West 83rd Street; a line 13 feet east of South Stewart Avenue; a line 1,116.60 feet south of West 83rd Street; and South Stewart Avenue,

to the designation of Business Planned Development Number 966, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business Planned Development No. 966.

Plan Of Development Statements.

1. The area delineated herein as Planned Development Number 966 consists of approximately one million eight hundred thirty-four thousand two hundred eighty-seven (1,834,287) square feet (forty-two and one-tenth (42.1) acres) of net site area which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way Adjustment Map. Outlot B is owned and controlled by the applicant, SDR Chatham LLC to which this amendment relates and the applicable confirmation of authority has been obtained.
2. The applicant ("Applicant") shall obtain all applicable official reviews, approvals or permits which are necessary to implement this planned development. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns, grantees and lessees and, if different than the Applicant, the legal titleholders or any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder or any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors, or by a governmental agency with the power of eminent domain which has designated the property for acquisition.
4. This plan of development consists of the following eighteen (18) Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; Existing Land-Use Map; Outlot B Site Plan, Outlot B Landscape Plan; Outlot B Floor Plan and Outlot B Elevation Plans (North, South, East and West) prepared by ARSA Schneider Architects dated August 18, 2022. This amendment adopts and incorporates by reference the Architectural Design Criteria, Landscape Criteria, Sign Criteria and the Planned Development Bulk Regulations and Data Table and Exhibits approved on September 29, 2004, and all approved minor changes thereto except as amended by the Outlot B Exhibits attached hereto. Full-size sets of the Site/Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated herein and these and no other zoning controls shall apply. The planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The uses permitted within the area delineated herein as a "Business Planned Development" shall be all uses permitted in a B5-1 General Service District including, but not limited to, retail, office, banks, vehicle sales and service, two-car wash or cleaning, and restaurant uses including "drive-through" facilities and accessory parking which may include facilities as defined in Section 5.11-1 of the Chicago Zoning Ordinance. Accessory parking lots shall not be used for the seasonal sale of merchandise by the Applicant, its successors and assigns, grantees or lessees.

6. The Applicant acknowledges that all subsequent buildings and outlots must be constructed in accordance with Landscape Guidelines, Signage Guidelines, Architectural Design Guidelines and Conceptual Building Elevations prepared by Otis Koglin Wilson Architects dated February 19, 2004, and approved by the Department of Planning and Development.
7. Identification and other necessary signs, including temporary construction signs, may be permitted within the area delineated herein as a "Business Planned Development", subject to the review and approval of the Department of Planning and Development. The Department of Planning and Development supports and approves the use of monument signs within the boundaries of this Business Planned Development and certain monument signs located immediately adjacent to said planned development boundaries as depicted on the site and landscaping plan approved by the Business Planned Development dated September 29, 2004. These monument signs, identifying the Applicant's tenants shall not exceed a maximum height of fifteen (15) feet.
8. Off-street parking and off-street loading facilities shall be provided in compliance with this planned development, subject to the review of the Departments of Transportation and Planning and Development. The minimum number of off-street parking spaces shall be determined in accordance with the attached Bulk Regulations and Data Table. Within the boundaries of this business planned development, the number of all handicapped parking spaces shall comply with the Illinois Accessibility Code.
9. Ingress and egress shall be subject to the review and approval of the Department of Transportation -- Bureau of Traffic and the Department of Planning and Development. The 2004 Applicant will be installing new signalization equipment along West 83rd Street and West 87th Street in an effort to improve the timing of the signals along those rights-of-way. In addition, the 2004 Applicant will be constructing and dedicating South Holland Road and West 85th Street. The new roadways and updated equipment will support the increase in traffic that will occur as a result of this development. All work in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation.
10. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.

11. The maximum permitted floor area ratio ("FAR") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of FAR calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
12. Improvements on the property, including landscaping and all entrances and exits to the parking areas, shall be designed and installed in substantial conformance with the Site/Landscape Plan, Green Roof Plan, Building Elevations and the Bulk Regulations and Data Table attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Site/Landscape Plan and the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Furthermore, new sidewalks adjacent to the property shall be installed consistent with applicable provisions of the City of Chicago Municipal Code.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted, pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the director of MOPD has approved detailed construction drawings for each building or improvement.
14. Improvements to be constructed in accordance with this planned development, for which building elevations are not currently developed, shall be designed in a manner that is compatible with the character of the elevations incorporated herein. Architectural features and design character shall be consistent with the Landscape Guidelines, Signage Guidelines, Architectural Design Guidelines and Conceptual Building Elevations prepared by Otis Koglin Wilson Architects dated February 19, 2004 and incorporated as exhibits to this planned development, and shall be in substantial conformance with the Site/Landscape Plan. All Green Roofs will be constructed once building structures are completed. The Commissioner of Planning and Development shall determine whether the improvements, for which no elevations are currently available, comply with the requirements of compatibility during the Part II approval stage.
15. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. For new buildings, the Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.

16. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD: (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.
17. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the Applicant and after a determination is made by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0612 of the Chicago Zoning Ordinance.

- 18. Unless substantial construction has commenced within six (6) years following adoption of this planned development and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to the prior Business Planned Development Number 966 dated September 29, 2004.

[Existing Zoning Map; Existing Land-Use Map; Lot B Floor Plan and Upper/Roof Plan; Lot B Site and Landscape Plans; Lot B North, South, East and West Building Elevations; Property Line and Boundary Map; and Site Plan referred to in these Plan of Development Statements printed on pages 52216 through 52223 of this *Journal*.]

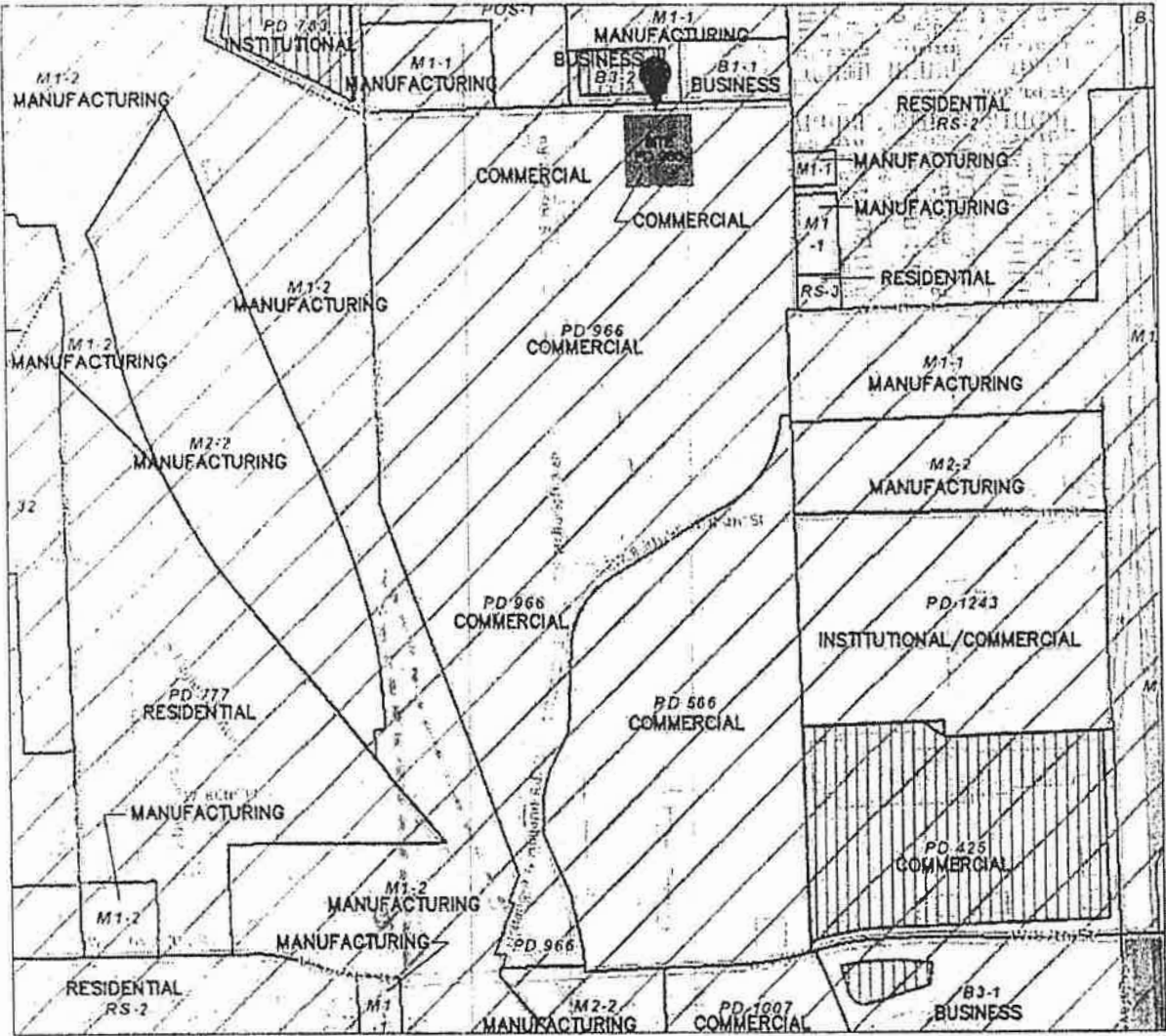
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Business Planned Development No. 966.

Bulk Regulations And Data Table.

| | |
|--|--|
| Gross Site Area: | 2,185,877 square feet (50.18 acres) |
| Net Site Area: | 1,834,287 square feet (42.1 acres) |
| Public Right-of-Way Area: | 350,222 square feet (8.07 acres) |
| Maximum Floor Area Ratio: | 0.35 |
| Minimum Number of Off-Street Loading Spaces: | 8 |
| Minimum Number of Off-Street Parking Spaces: | 1,600 |
| Maximum Building Height: | |
| Retail Buildings: | 60 feet |
| Office Buildings: | 65 feet |
| Minimum Required Setbacks: | Per Site Plan |

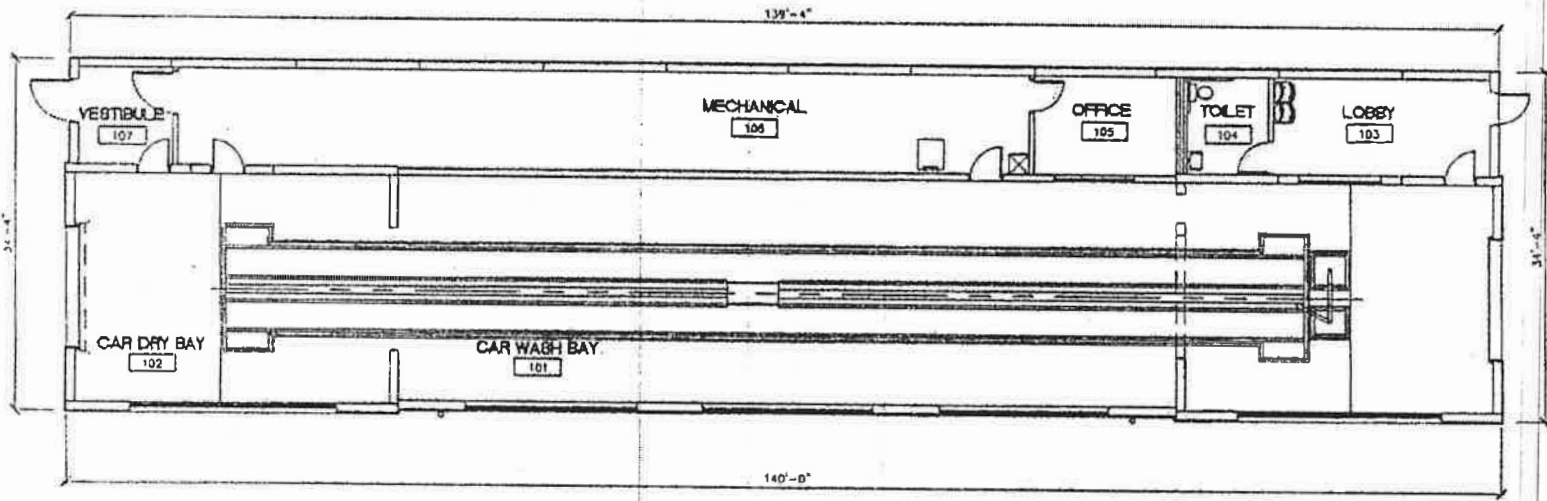
Final for Publication



EXISTING LAND USE MAP
 Applicant: SDR CHATHAM, LLC
 Address: 201-357 W.83RD St.; 8301-8455 S. Stewart Ave.
 Introduced: April 27, 2022
 Plan Commission: August 18, 2022

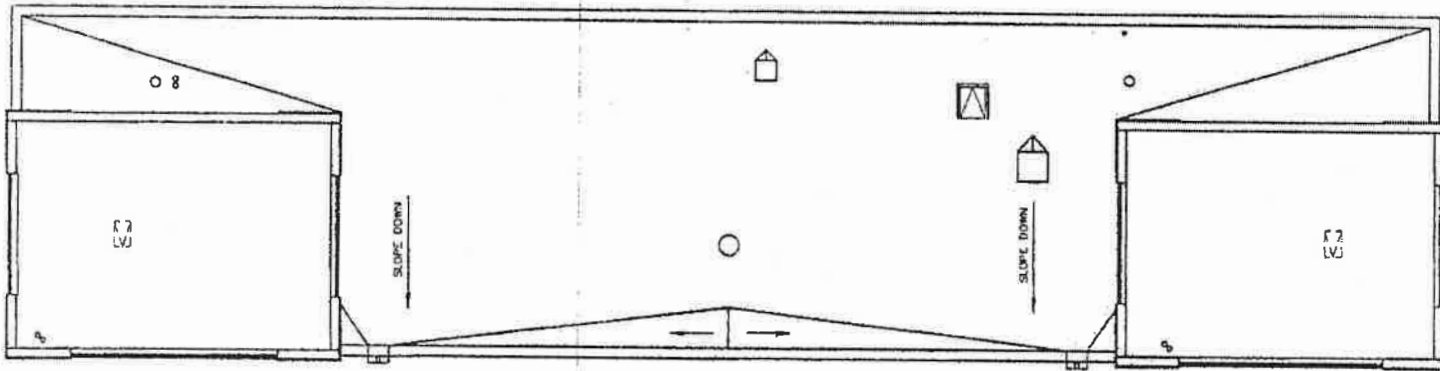


Final for Publication



*** LOT B * FLOOR PLAN**

SCALE: 1" = 15'-0"



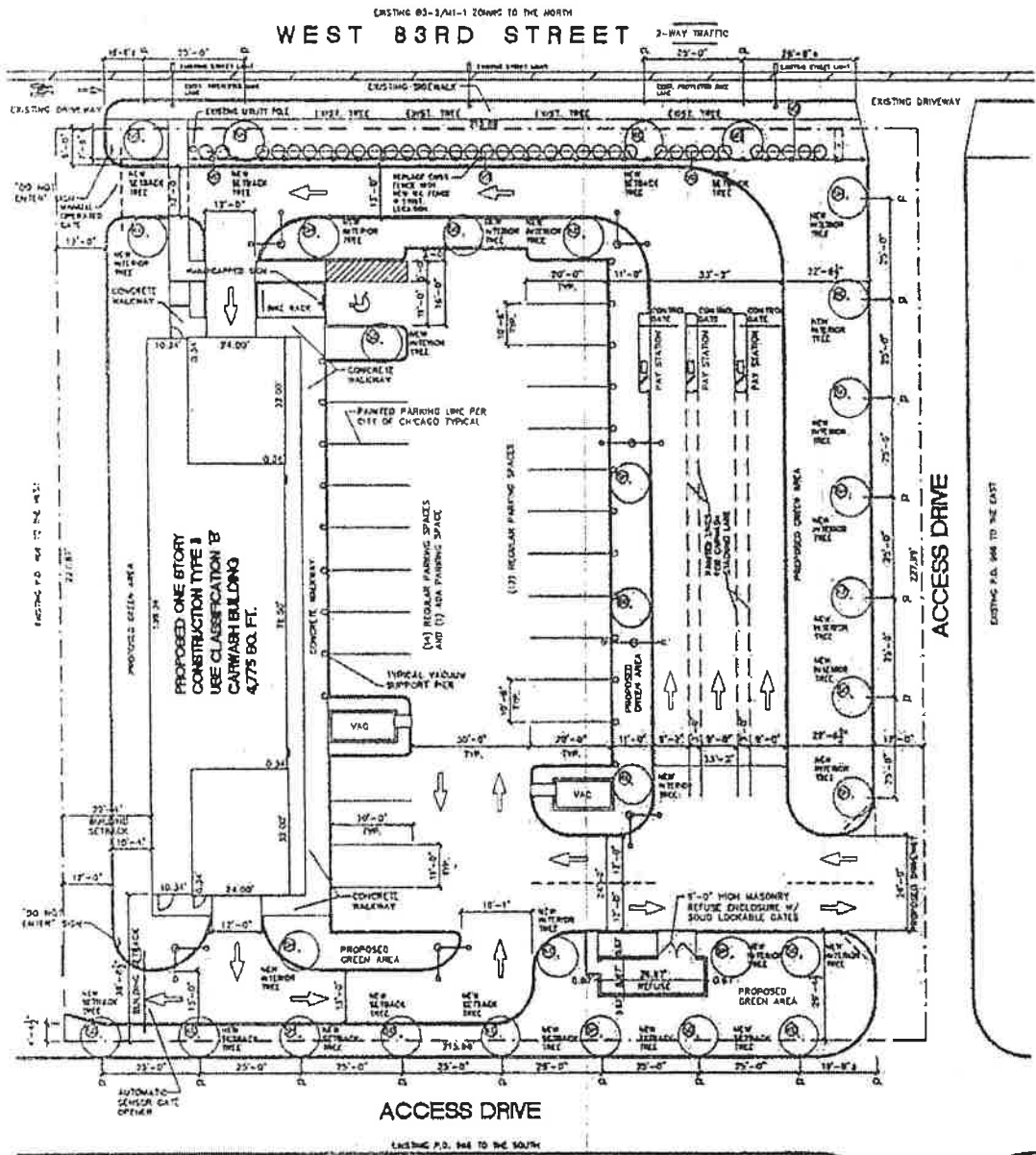
*** LOT B * UPPER/ROOF PLAN**

SCALE: 1" = 15'-0"



Applicant: SDR CHATHAM, LLC
 Address: 201-357 W. 82RD St.; 8301-8455 S. Stewart Ave.
 Introduced: April 27, 2022
 Plan Commission: August 18, 2022

Final for Publication



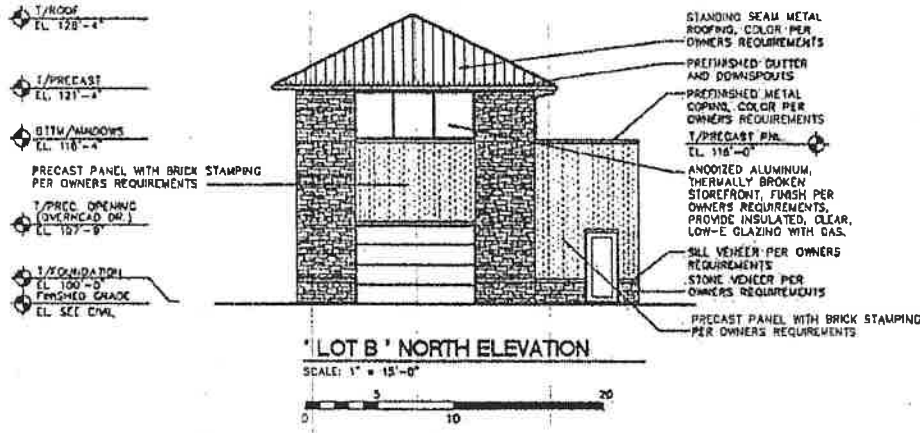


 'LOT B' SITE PLAN
 LANDSCAPE PLAN
 SCALE: 1" = 30'-0"

Applicant: SDR CHATHAM, LLC
 Address: 201-357 W. 83RD St.; 8301-8455 S. Stawart Av.
 Introduced: April 27, 2022
 Plan Commission: August 18, 2022

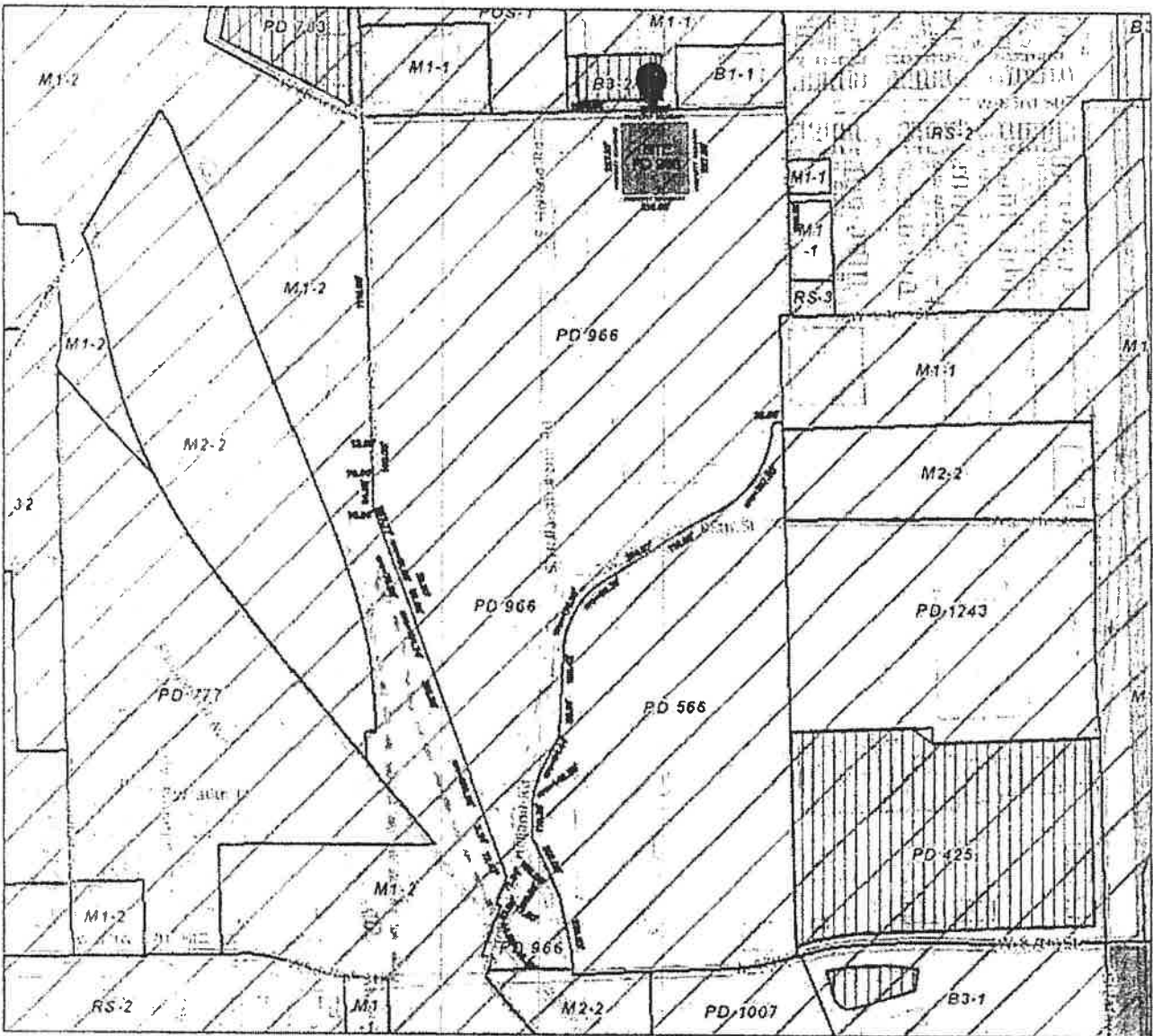
 GRAB AREA

Final for Publication



Applicant: SDR CHATHAM, LLC
 Address: 201-327 W. 83RD SL; 8301-8456 S. Stewart Ave.
 Introduced: April 27, 2022
 Plan Commission: August 18, 2022

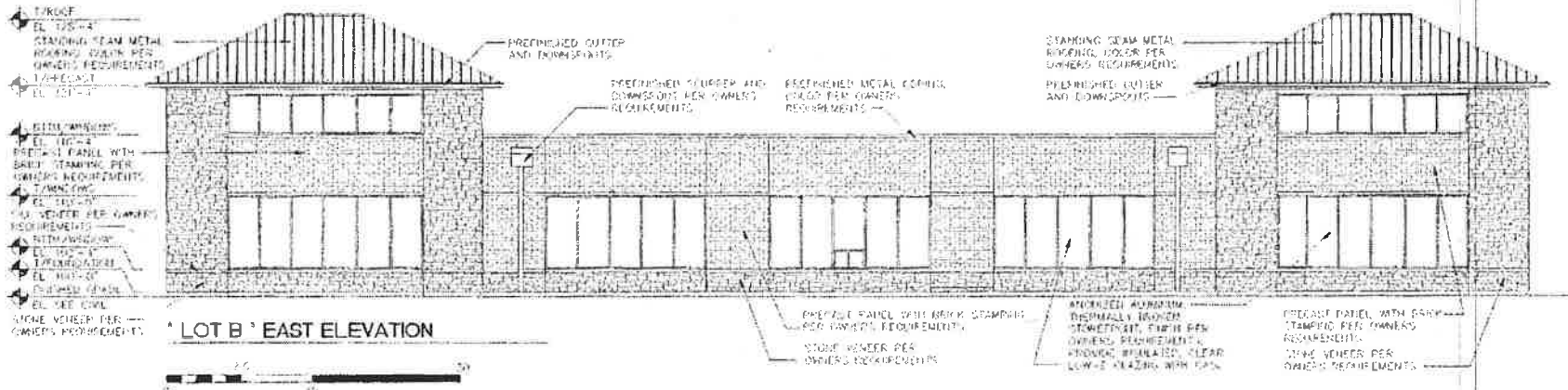
Final for Publication



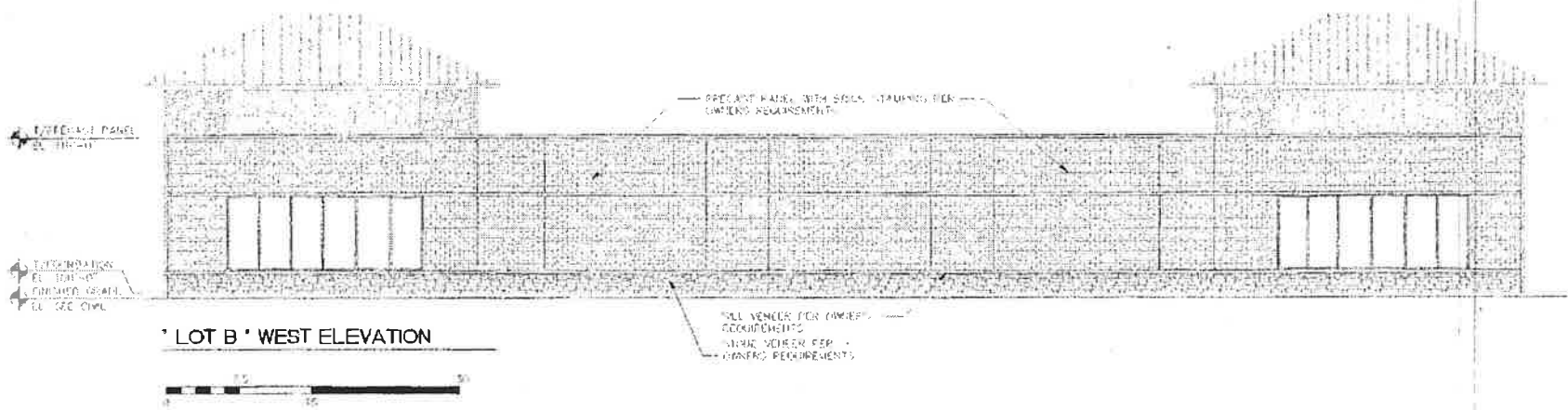
PLAN DEVELOPMENT PROPERTY LINE AND BOUNDARY MAP
 Applicant: SDR CHATHAM, LLC
 Address: 201-357 W. 83RD St.; #301-8455 S. Stewart Ave.
 Introduced: April 27, 2022
 Plan Commission: August 18, 2022



FINAL FOR PUBLICATION



* LOT B * EAST ELEVATION



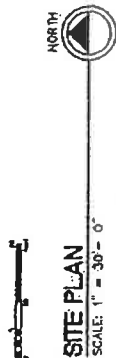
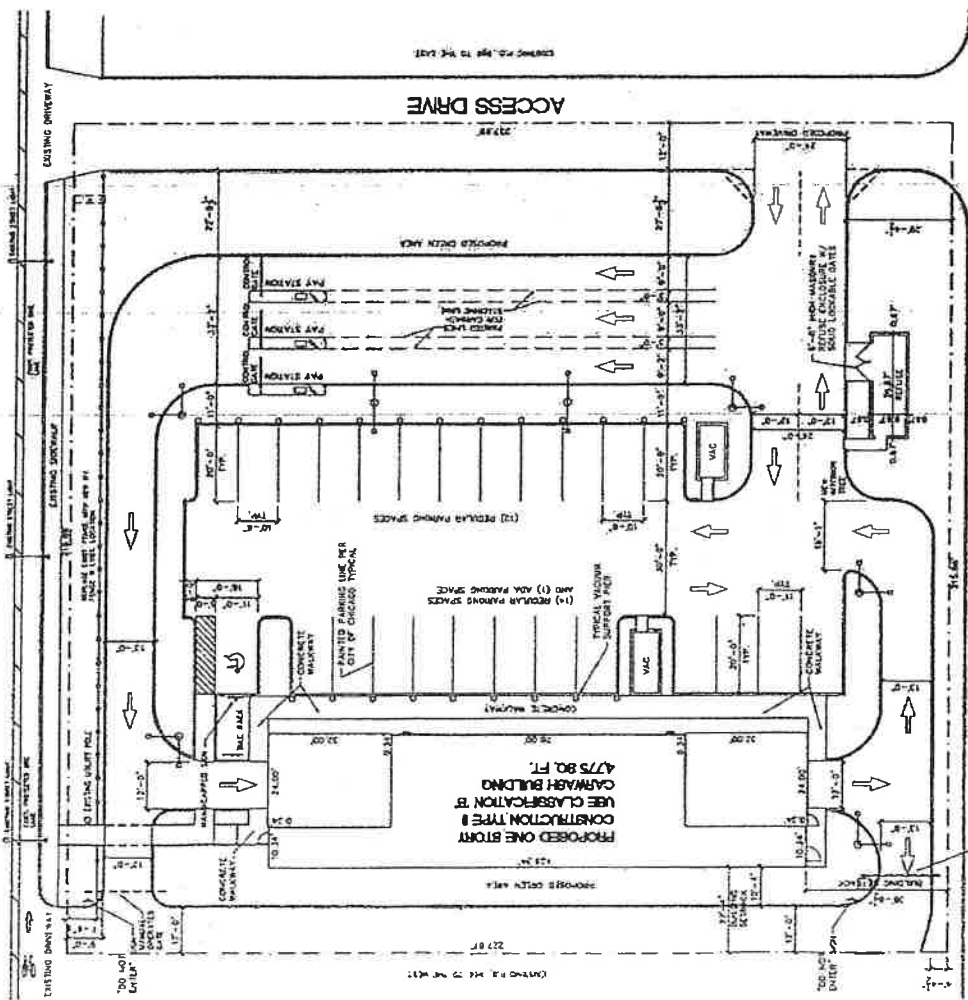
* LOT B * WEST ELEVATION

Appraisal: JONATHAN, LLC
 Address: 300-302 W 5TH ST, CHICAGO, IL 60607
 Introduction: April 07, 2022
 Plan Incorporation: August 15, 2022

Final for Publication

WEST 63RD STREET 3-WAY RAFFIC

CROSSING 84'-2 1/2" TO THE NORTH



ACCESS DRIVE

EXISTING P.S. 104 TO THE SOUTH

Applicant: SDR CHATHAM, LLC
 Address: 200 S. WEST WISCONSIN ST., 8301-8455 S. Stewart Ave.
 Introduced: April 27, 2022
 Plan Commission: August 10, 2022

April 6, 2021

Meg George
Akerman LLP
71 S. Wacker Drive
46th Floor
Chicago, IL 60606

**Re: Minor Change to PD No. 966
Proposed Walmart Training Facility
8431 S. Stewart Avenue**

Dear Ms. George:

Please be advised that your request for a minor change to Business Planned Development No. 966 ("PD 966"), has been considered by the Department of Planning and Development ("Department") pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 17 of PD 966.

Your client, Wal-Mart Real Estate Business Trust, currently owns and operates a supercenter building at 8431 S. Stewart Avenue. They are seeking a minor change to construct a 15,495 square foot building on the northwest corner of the property for a new training facility. The existing supercenter is 151,663 square feet and when combined with the new training facility, the Walmart parcel will comprise a total floor area of 167,158 square feet. The PD's overall floor area ratio ("FAR") will increase from 0.228 to 0.237, still below the maximum FAR of 0.35 allowed. The other property owners within PD 966, W2005 CMK Realty, LLC, and Lowe's Home Centers, have provided their consent to this request.

The proposal includes the following parking, sustainability, architectural and signage changes:

- Parking for the Walmart parcel will be reduced from 721 spaces to 604 spaces, and overall parking for the PD will be reduced from 1,717 to 1,600 spaces.
- Pursuant to Statements Number 15 and 16, you are seeking to replace the green roof and LEED certification with the requirements of the current Chicago Sustainable Development Policy.
- Pursuant to the Architectural Design Criteria for the Chatham Market, you are seeking to replace the required face brick with thin brick and to allow other modifications to the exterior wall design as shown on the attached exhibits.
- Pursuant to the PD's Signage Criteria, you are seeking approval of the two proposed signs as shown on the attached East Elevation and Signage Exhibit.

As part of this Minor Change the following attached drawings shall be inserted into the main file: Overall Site Plan, Site Plan, Planting Plan, Planting Details, Exterior Elevations, and Signage.

Minor Change PD No. 966

April 6, 2021

Page 2

With regard to your request, the Department of Planning and Development has determined that allowing the proposed training facility will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

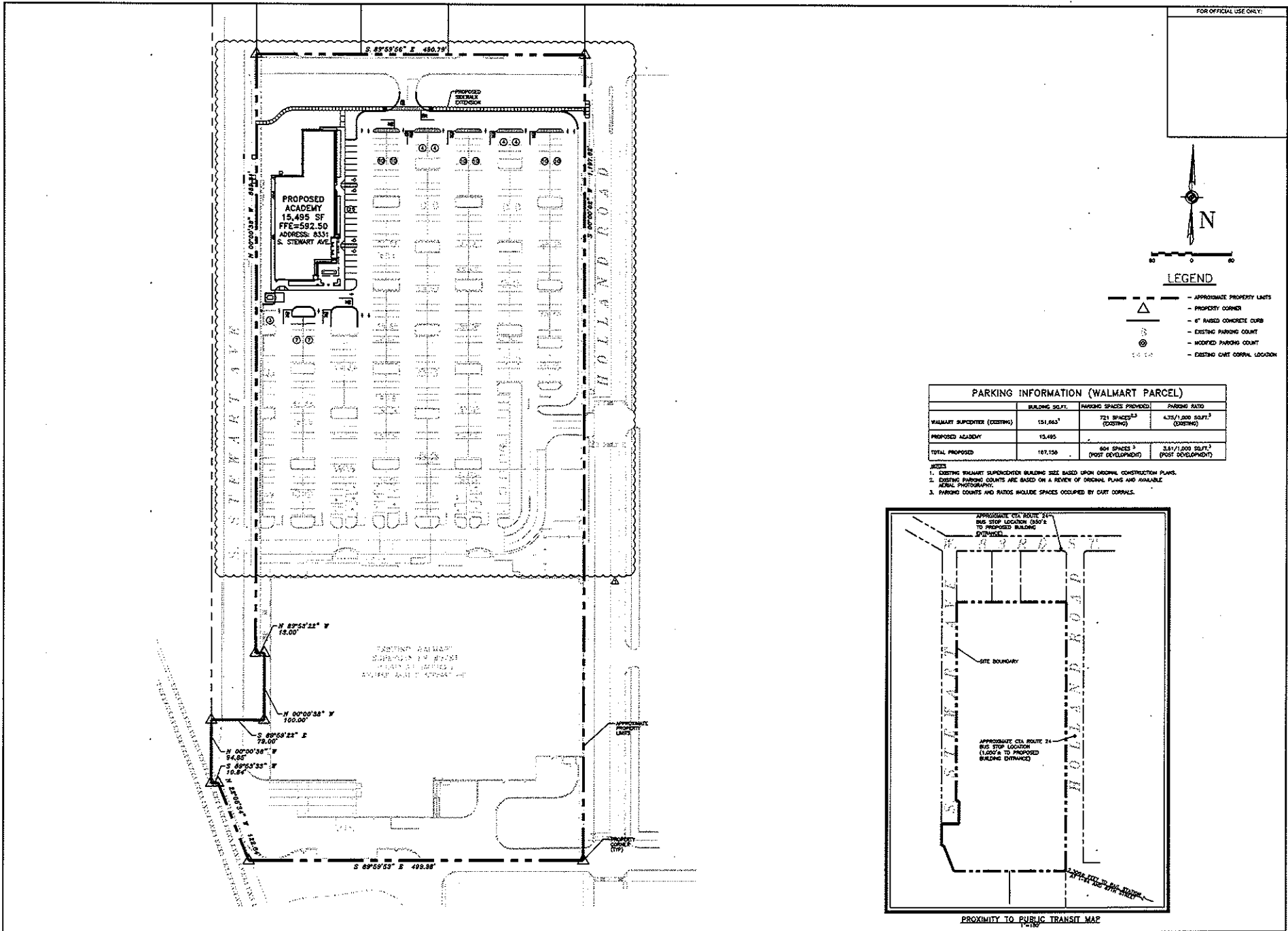
Sincerely,

A handwritten signature in black ink, appearing to read 'SAC' followed by a large, stylized flourish and a horizontal line extending to the right.

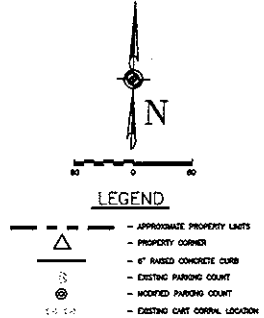
Steven Valenziano
Assistant Zoning Administrator

SV:tm

C: Mike Marmo, Erik Glass, Noah Szafraniec, Patrick Brutus, Main file



FOR OFFICIAL USE ONLY:

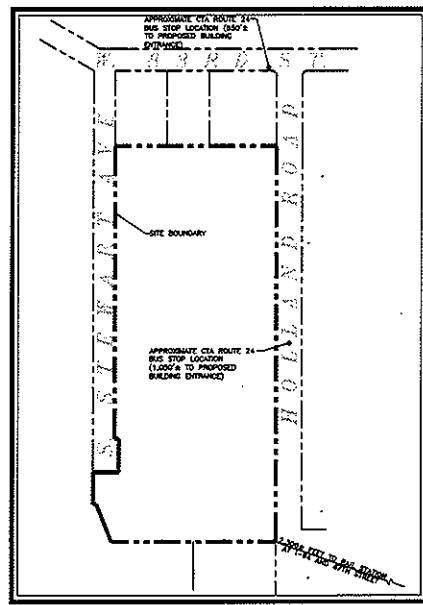


LEGEND

- APPROXIMATE PROPERTY LINES
- PROPERTY CORNER
- 4" RAISED CONCRETE CURB
- EXISTING PARKING COUNT
- MODIFIED PARKING COUNT
- EXISTING CURB CORNER LOCATION

| PARKING INFORMATION (WALMART PARCEL) | | | |
|--------------------------------------|----------------------|--|---|
| | BUILDING SQ.FT. | PARKING SPACES PROVIDED | PARKING RATIO |
| WALMART SUPERCENTER (EXISTING) | 151,663 ¹ | 721 SPACES ^{2,3} (EXISTING) | 4.75/1,000 SQ.FT. ² (EXISTING) |
| PROPOSED ACADEMY | 13,495 | | |
| TOTAL PROPOSED | 167,158 | 604 SPACES³ (POST DEVELOPMENT) | 3.61/1,000 SQ.FT.² (POST DEVELOPMENT) |

- NOTES:**
- EXISTING WALMART SUPERCENTER BUILDING SIZE BASED UPON ORIGINAL CONSTRUCTION PLANS.
 - EXISTING PARKING COUNTS ARE BASED ON A REVIEW OF ORIGINAL PLANS AND AVAILABLE AERIAL PHOTOGRAPHY.
 - PARKING COUNTS AND RATIOS INCLUDE SPACES OCCUPIED BY CURT DORMERS.



ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC.
2211 ROCKY HAVEN
MILLIKEN PARK, IL 60138
TEL: 630-581-1000
FAX: 630-581-1001

STIPULATION FOR REUSE:
THIS DOCUMENT IS THE PROPERTY OF BRR ARCHITECTURE, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BRR ARCHITECTURE, INC.

CORNER LOTS:
CARLSON CONSULTING ENGINEERS, INC.
1000 N. LAKE ST.
CHICAGO, IL 60610
TEL: 312-467-1000
FAX: 312-467-1001

Walmart
CHICAGO, IL
2021 ACADEMY
1515 S. STEWART AVE.

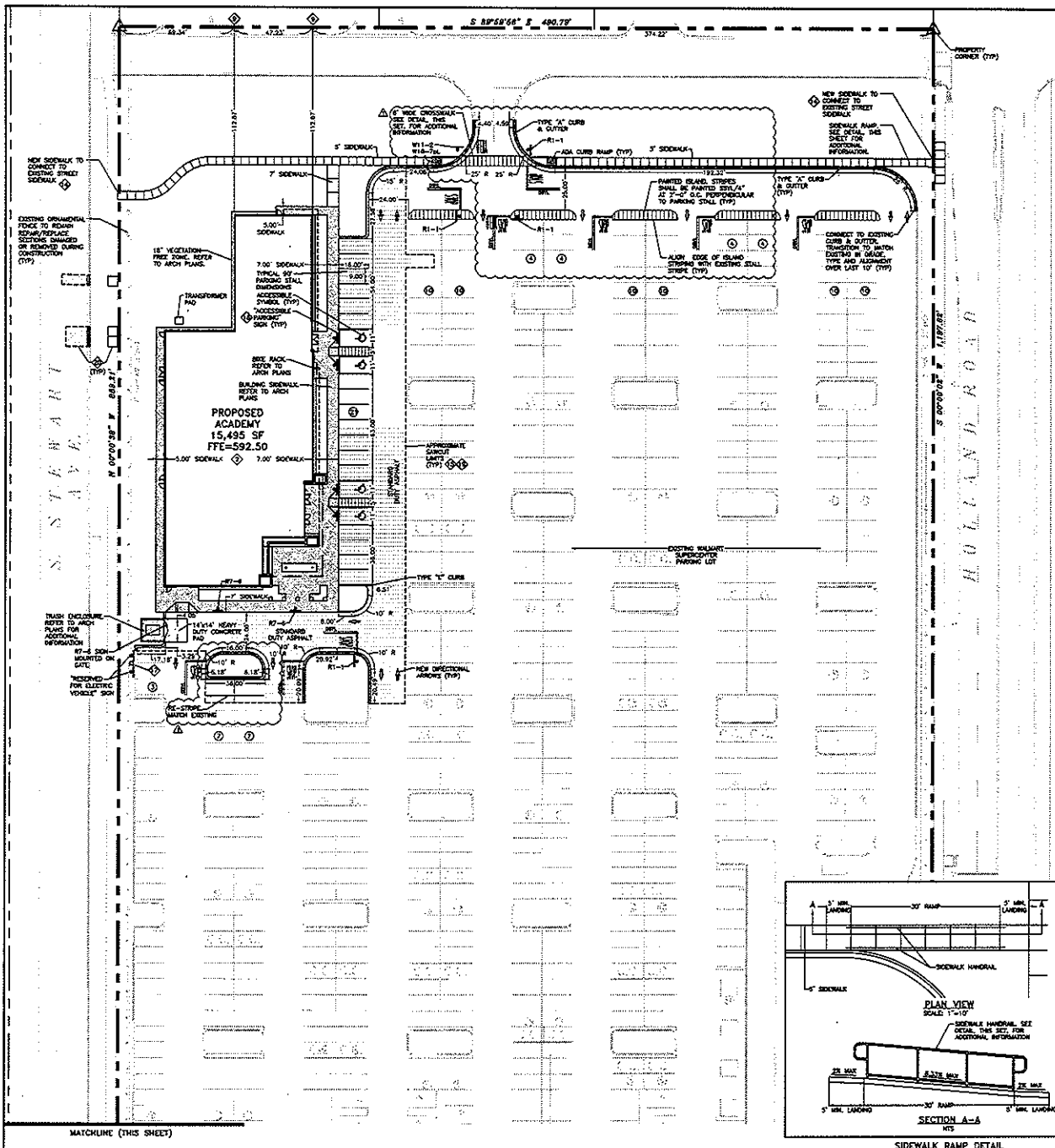
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OVERALL SITE PLAN

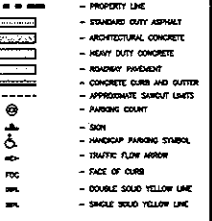
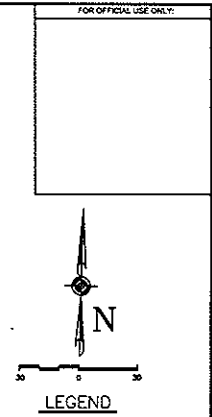
SHEET:
SD3



CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR EXTENSION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORDS OF THE UTILITY PROVIDER COMPANIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE UTILITY PROVIDER COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REDUCE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES. APPROVED AND APPROVED WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN BY THESE PLANS.

NOTICE TO CONTRACTOR
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING DAMAGE TO EXISTING UTILITIES TO REMAIN UNOCCUPIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF CHICAGO AND THE UTILITY PROVIDER COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REDUCE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES. APPROVED AND APPROVED WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN BY THESE PLANS.

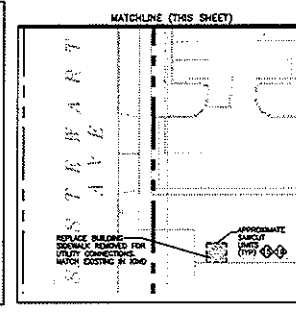
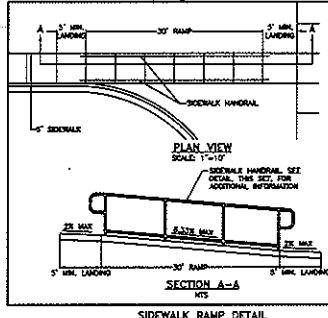
- NOTES**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES, O.C.A., STANDARDS, AND WALMART SPECIFICATIONS. MOST STRONG REQUIREMENTS SHALL GOVERN.
 2. CONTRACTOR SHALL REFER TO THE BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BASES, DOT PAVEMENT, PAVING, BUILDING DIMENSIONS AND EXISTING BUILDING UTILITY UTILITY LOCATIONS.
 3. ALL DIMENSIONS HEREIN ARE TO FACE UNLESS OTHERWISE NOTED.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SPECIFIC FIRE LANE MARKING AND SIGNAGE WITH THE ALDERMAN'S JURISDICTION. BY SIGNING THESE PLANS, THE CONTRACTOR AGREES THAT ADEQUATE FIRE LANE MARKING SHALL BE PROVIDED.
 5. DIMENSIONS SHOWN ALONG THE PARKING SPACE LAYOUT ARE TO THE EDGE OF THE OUTER LANE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, ETC., AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITY REQUIREMENTS AND PROJECT SPECIFIC SPECIFICATIONS THAT APPLY TO SUCH. ALL COST SHALL BE INCLUDED IN BIDDING.
 7. ALL PAVED PARKING SPACES SHALL BE PAINTED WITH THE FOLLOWING: PAINTED ISLAND STRIPES SHALL BE PAINTED (SEE DETAILS) AT 2'-0" O.C. PERPENDICULAR TO PARKING STALL (TYP). ALONG EDGE OF ISLAND STRIPES WITH EXISTING ISLAND STRIPE (TYP).
 8. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED TO MAINTAIN SAFE CONSTRUCTION CONDITIONS AND ADEQUATE TRAFFIC FLOW. COORDINATE WITH WALMART ON FOR SPECIFIC REQUIREMENTS.
 9. BUILDING TIES SHOWN FROM THE CORNER OF BUILDING, DOLLING PLASTERS, TO A POINT PERPENDICULAR TO THE PROPERTY LINE.
 10. ALL NECESSARY INSPECTIONS, APPROVALS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ANNOUNCED BUILDING POSSESSION AND THE FINAL CERTIFICATION OF SERVICES.
 11. EXISTING STRIPES THAT CONFLICT WITH PROPOSED IMPROVEMENTS NOT SHOWN FOR CLARITY, REMOVE ALL EXISTING STRIPES THAT CONFLICT WITH PROPOSED IMPROVEMENTS BY REAR BLASTING.
 12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF THE EXISTING CONDITIONS OF THE SITE AND OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELDS. THE FAILURE TO ACCURATELY VERIFY THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED REGARDLESS OF CIRCUMSTANCES THAT OCCUR AS THE RESULT OF THE GENERAL CONTRACTOR'S FAILURE TO MAINTAIN SUCH KNOWLEDGE.
 13. CONTRACTOR SHALL REMOVE 1 PANEL OF EXISTING ORNAMENTAL FENCE TO ALLOW CONNECTION OF NEW EXISTING SIDEWALK AT EXISTING SIDEWALK AND HOLLAND ROAD. SIDEWALK CONNECTION POINT MAY BE SLIGHTLY ADJUSTED TO ALIGN WITH REMOVED FENCE PANEL.
 14. CONTRACTOR SHALL REMOVE 1 PANEL OF EXISTING ORNAMENTAL FENCE TO ALLOW CONNECTION OF NEW EXISTING SIDEWALK AT EXISTING SIDEWALK AND HOLLAND ROAD. SIDEWALK CONNECTION POINT MAY BE SLIGHTLY ADJUSTED TO ALIGN WITH REMOVED FENCE PANEL.
 15. ELEVATION OF NEW EDGE OF PAVEMENT TO MATCH EXISTING.
 16. ALL BASES ARE 2" AND ALL BENCH BASES ARE 8" HIGH.
 17. ELECTRIC VEHICLE (EV) CHARGING STATION AND (2) EV CHARGING STALLS PROVIDED IMMEDIATELY IN FRONT OF CHARGING STATION. REFER TO ARCH PLANS FOR ADDITIONAL INFORMATION.
 18. INSTALL SIGN BASES 30" FROM FACE OF CURB TO OUTSIDE EDGE OF SIGN BASE BELLAND.
 19. CONTRACTOR SHALL MAINTAIN ADEQUATE FLOW OF TRAFFIC THROUGH LANE TO ENSURE CLEAR, STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES.
 20. REPLACE EXISTING AND PROVIDE REINFORCEMENT AND CURBS DAMAGED AND/OR REMOVED FOR PROJECT CONSTRUCTION IN ACCORDANCE WITH CITY REQUIREMENTS.



PARKING INFORMATION (WALMART PARCEL)

| | BUILDING SQ.FT. | PARKING SPACES PROVIDED | PARKING RATIO |
|-------------------------------|----------------------|--|---|
| WALMART SUPERVISOR (EXISTING) | 151,683 ¹ | 721 SPACES ^{2,3} (EXISTING) | 4.75/1,000 SQ.FT. ² (EXISTING) |
| PROPOSED ACADEMY | 15,495 | 804 SPACES ³ (POST DEVELOPMENT) | 5.61/1,000 SQ.FT. ² (POST DEVELOPMENT) |
| TOTAL PROPOSED | 167,178 | 1,525 SPACES ³ (POST DEVELOPMENT) | 9.06/1,000 SQ.FT. ² (POST DEVELOPMENT) |

- NOTES**
1. EXISTING WALMART SUPERVISOR BUILDING SIZE BASED UPON ORIGINAL CONSTRUCTION PLANS.
 2. EXISTING PARKING COUNTS ARE BASED ON A REVIEW OF ORIGINAL PLANS AND AVAILABLE AERIAL PHOTOGRAPHY.
 3. PARKING COUNTS AND RATIOS INCLUDE SPACES OCCUPIED BY CART CORALS.



FAR (WALMART PARCEL)

| | BUILDING SQ.FT. | PARCEL AREA | FAR |
|----------|-----------------|-------------|------|
| EXISTING | 151,683 SF | 586,336 SF | 0.25 |
| PROPOSED | 167,178 SF | 586,336 SF | 0.28 |

811 Chicago
 CALL BEFORE YOU DIG

brr
 ARCHITECT OF RECORD
 BARR ARCHITECTURAL, INC.
 633 W. PULASKI AVENUE
 CHICAGO, IL 60641
 TEL: 312.467.8800
 FAX: 312.467.8801

CONTRACTOR
 CARLSON CONSULTING ENGINEERS, INC.
 100 W. WASHINGTON STREET
 CHICAGO, IL 60601
 TEL: 312.467.8800
 FAX: 312.467.8801

Walmart CHICAGO, IL
 3821 STEWART AVE
 60631 ACADEMY

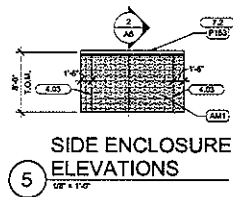
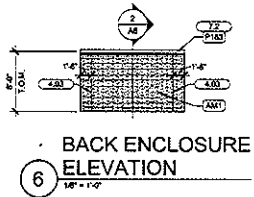
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SITE PLAN

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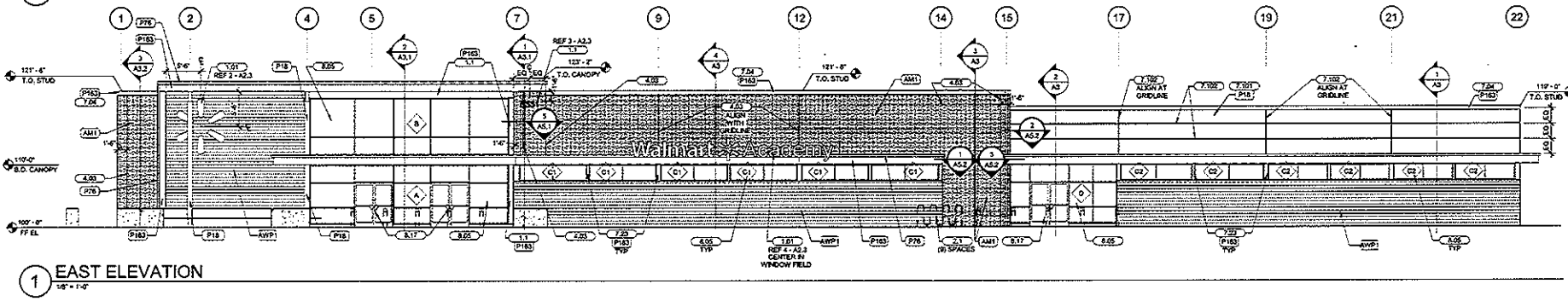
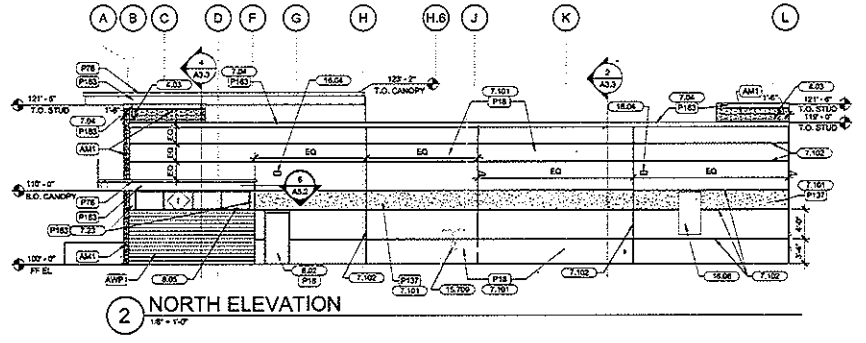
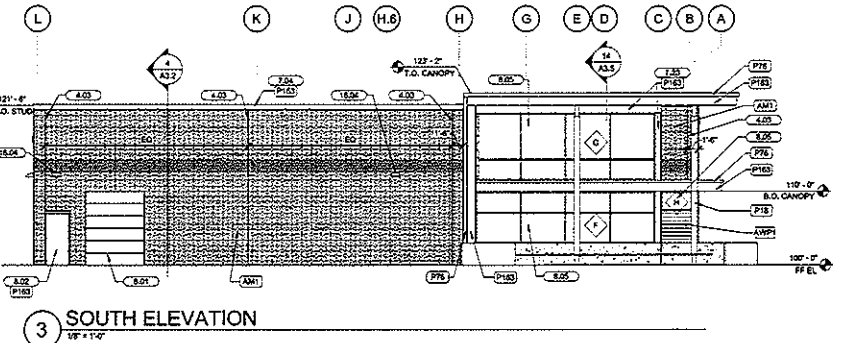
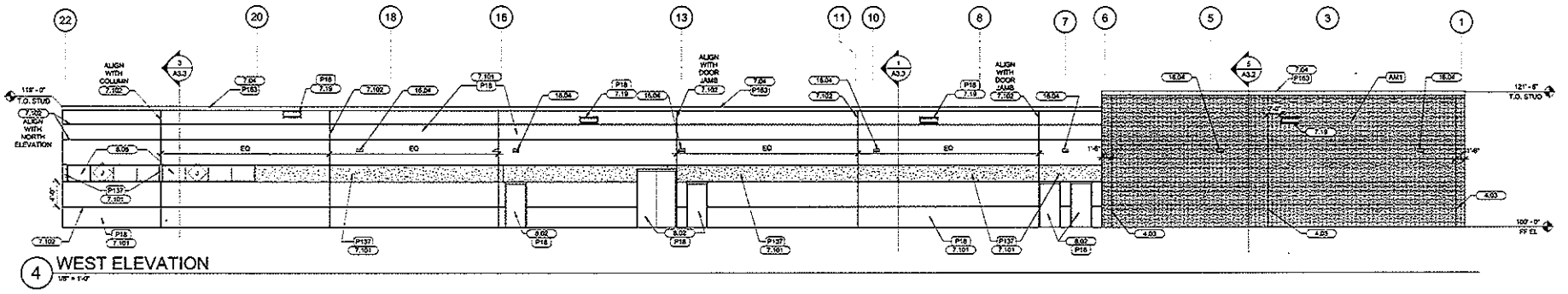


| FINISH LEGEND | |
|---------------|---|
| AM1 | ARCHITECTURAL MASONRY - 2" THK BRICK VENEER PANELS (COPIED) |
| AWP1 | ARCHITECTURAL WALL PANELS - LONGBOARD BRICK - WALNUT |
| P18 | "SCOTTISH WHITE" SW BRICK |
| P19 | "WALNUT BLUE" SW BRICK |
| P137 | "MORNING FOG" SW BRICK |
| P163 | "IRON GREY" SW BRICK |

| KEYNOTES | |
|----------|---|
| 1.1 | BUILDING ADDRESS |
| 1.01 | SKIMAGE, SEPARATE SUBMITTAL, REF ELECTRICAL |
| 2.1 | BRK RACK, REF SPECS |
| 4.03 | CONTROL JOINT |
| 7.2 | METAL PARAPET CORING |
| 7.4 | METAL FASCIA COVER |
| 7.18 | 32" WIDE OVERFLOW SCUPPER |
| 7.23 | ALUMINUM BRAKE FORMED CLADDING |
| 7.101 | 2" EPS |
| 7.102 | 3/4" X 1/2" EPS REVEAL |
| 8.01 | SECTIONAL OVERHEAD DOOR TYP |
| 8.02 | MELLOW METAL DOOR AND FRAME |
| 8.05 | ALUMINUM STOREFRONT |
| 8.17 | ALUMINUM FRAMED GLASS DOORS |
| 15.108 | 0.63 METERS RFP PLUMBING |
| 16.04 | EXTERIOR LIGHT FIXTURE |
| 16.06 | DISCONNECT SWITCH REF MEP |

| SHEET NOTES | |
|-------------|--|
| 1. | INSTALL ANTI-GRAFFITI SYSTEM ON ALL EXTERIOR MATERIALS FROM GROUND TO 8'-0" AFF. REF SPECS. |
| 2. | DOOR HOODS: MELLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR AND, IF THERE ARE TWO ADJACENT COLORS AT DOORS, USE THE BOTTOM COLOR FOR THE ENTIRE DOOR. |
| 3. | PAINT TRANSITIONS OCCUR AT BUILDING CONTROL JOINTS, UNO |

FOR OFFICIAL USE ONLY:



brr

ARCHITECT OF RECORD:
BRR ARCHITECTURE, INC.
1431 WEST 10TH AVENUE
CHICAGO, IL 60608
TEL: 312.541.1000
WWW.BRRARCHITECT.COM

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CONSULTANTS

Walmart
CHICAGO, IL
1001 ACADEMY

ISSUE BLOCK

| | | |
|---|--------|-------|
| 1 | ADD #1 | 02/02 |
|---|--------|-------|

CHECKED BY:
DRAWN BY:
PROTO CYCLE: 10/
DOCUMENT DATE: 02/

EXTERIOR ELEVATION

SHEET: A2

| BUILDING SIGNAGE SCHEDULE | | | |
|---------------------------|-----|--------|------------|
| FRONT SIGNAGE | QTY | COLOR | TOTAL AREA |
| Walmart Academy | 1 | YELLOW | 66.81 SF |
| Walmart Academy | 1 | WHITE | 64.36 SF |
| Walmart Academy | 1 | YELLOW | 64.36 SF |
| TOTAL BUILDING SIGNAGE | | | 195.53 SF |

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 ARCHITECT OF RECORD:
 BRR MANUFACTURING, INC.
 2031 50th Avenue
 DuPlain, PA 15116
 TEL: 717-331-6000
 FAX: 717-331-6000

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CORNER NOTES

Walmart
 CHICAGO, IL
 2811 ACADEMY

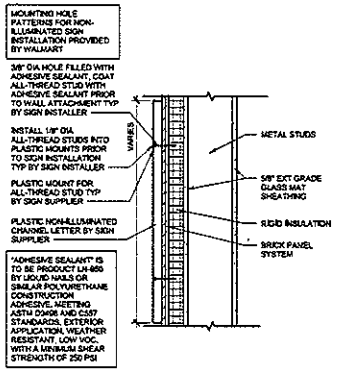
ISSUE BLOCK

CHECKED BY:
 DRAWN BY:
 PHOTO CYCLE: 10/2007
 DOCUMENT DATE: 02/2008

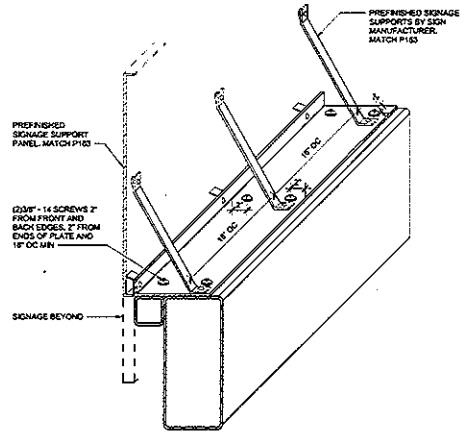
MADE WITH
 AutoCAD

SIGNAGE

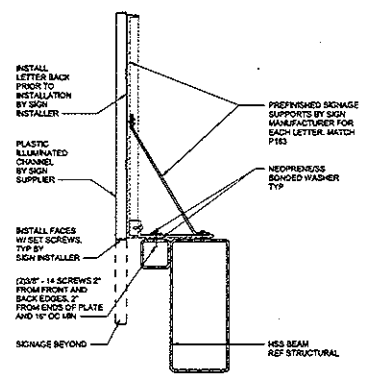
SHEET: A2.3



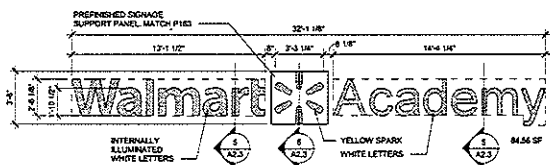
7 ADDRESS ATTACHMENT
 1'12" x 1'0"



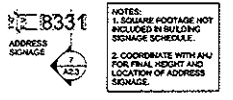
6 FLOATING SIGN ATTACHMENT
 1'12" x 1'0"



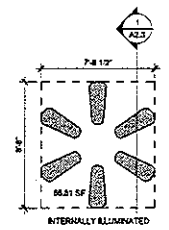
5 FLOATING SIGN ATTACHMENT
 1'12" x 1'0"



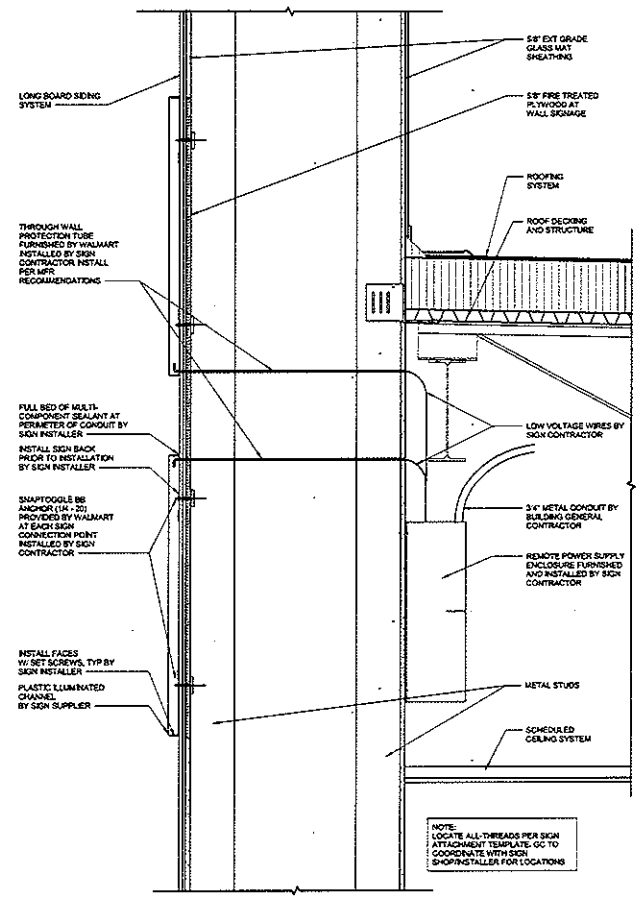
4 FLOATING SIGNAGE
 14' x 1'0"



3 BUILDING ADDRESS
 14' x 1'0"



2 WALL SIGNAGE
 14' x 1'0"



1 WALL SIGN ATTACHMENT
 1'12" x 1'0"



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

March 25, 2013

Mitchell A. Carrel
Freeborn & Peters LLP
311 South Wacker Drive
Suite 3000
Chicago, Illinois 60606-6677

Re: **REVISED Administrative Relief request for Business Planned Development No. 966,
Parcel E2, Proposed Chase Bank at the Southeast corner of South Stewart Avenue
and West 83rd Street**

Dear Mr. Carrel:

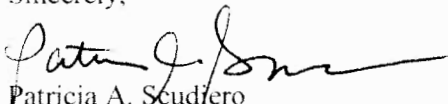
On March 11, 2013, we issued an administrative relief to allow site and design changes for your client, Chase Bank, at the above location. Included in this administrative relief was the reduction of the display window size from the required 8' x 10' to 6'- 8" x 6'- 8" on the East and West Elevations. However, your initial request contained a typographical error and you are now seeking a correction in the revised dimension from the required 8' x 10' to 6'- 0" x 6'- 8" on the East and West elevations.

With regard to this request, the Department of Housing and Economic Development has determined that allowing this display window reduction will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm
C: Mike Marmo, Erik Glass, Main file



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

March 11, 2013

Mitchell A. Carrel
Freeborn & Peters LLP
311 South Wacker Drive
Suite 3000
Chicago, Illinois 60606-6677

Re: **Administrative Relief request for Business Planned Development No. 966, Parcel E2, Proposed Chase Bank at the Southeast corner of South Stewart Avenue and West 83rd Street**

Dear Mr. Carrel:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 17 of the Planned Development (PD).

Your client, Chase Bank, intends to ground lease Parcel E2 from its owner, W2005 CMK Realty LLC ("CMK"). CMK, along with Lowe's and Wal-Mart, own all of the property located within the boundaries of the PD and they have all given their consent for this administrative relief request. On April 11, 2012, an administrative relief was granted to allow the reconfiguration of Parcel E into two Parcels, E1 and E2 and on April 24, 2012, an administrative relief was granted to allow site and signage modifications to the proposed Chase Bank.

Previously the drive-through facility was to be located along the southern edge of the parcel and was not to be attached to the bank itself. However, Chase is now seeking to attach the drive-through, therefore, they are seeking the following modifications:

- Substitute the revised Site Plan, Landscape Plan, and Floor Plan, dated February 20, 2013 in place of the previously approved plans. It should be noted that Chase intends to construct the east side of the internal drive as reflected on the revised Site Plan. A portion of the internal drive is located outside the property line of Parcel E2 but within the PD. Additionally, the parking has been reduced from 35 spaces to 28 spaces.
- Increase the overall sign length from 16' -0" to 17'-7" to conform to Chase's standard sign length.
- Reduce the display window size from the required 8' by 10' to 6'-8" on the revised East and West Elevations.

- Increase the main entry and branding architectural features occupying the primary façade from 30% to 47% as shown on the revised North Elevation.
- Substitute Savannah Cast Stone in place of Renaissance Stone. Revised North, South, East and West Building Elevations, dated February 20, 2013 shall be inserted into the main file.

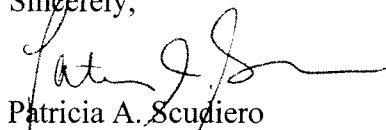
With regard to your request, the Department of Housing and Economic Development has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Your request letter also asked for relief for ‘such other minor changes as are deemed necessary or appropriate during the course of review to implement the Chase Plans and proposed development.’ However, we cannot approve such other minor changes as are deemed necessary or appropriate during the course of review to implement the Chase Plans and proposed development. If any other changes are necessary during the course of review, a subsequent minor change request identifying the proposed change(s) must be submitted.

Sincerely,

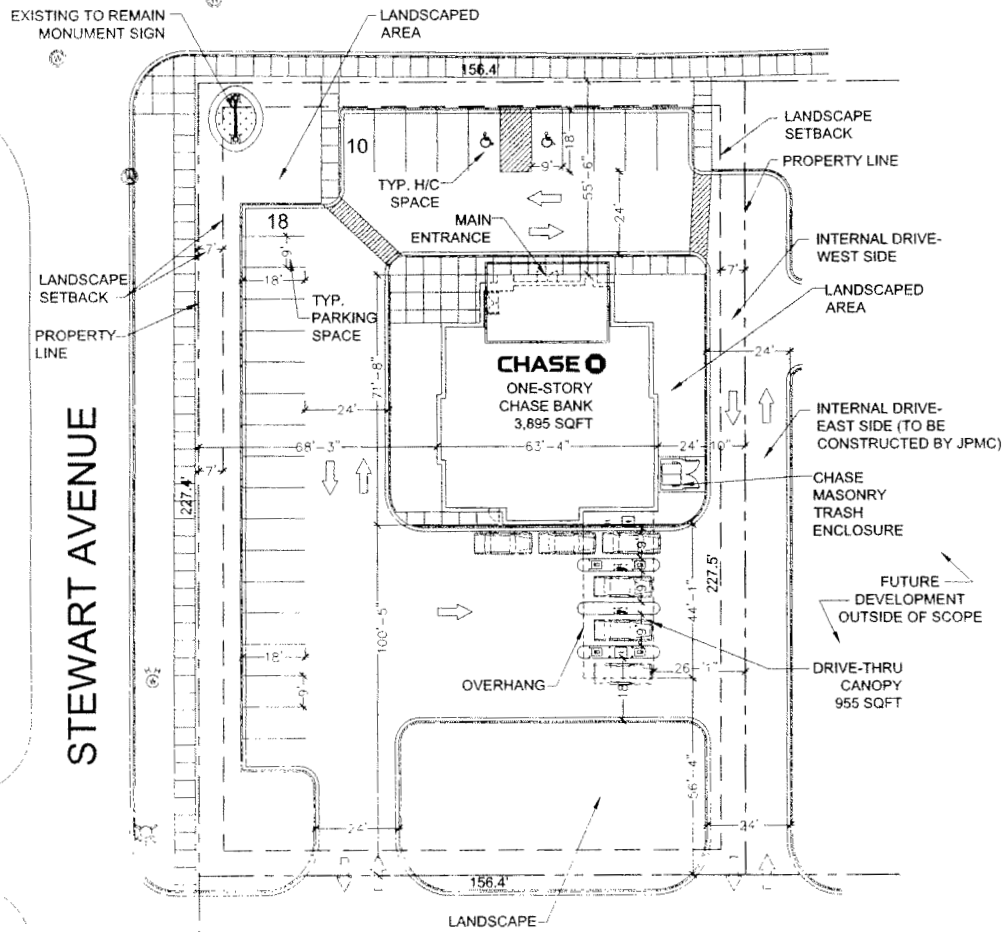


Patricia A. Scudiero
Zoning Administrator

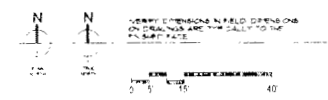
PAS:HG:tm

C: Mike Marmo, Erik Glass, Ron Day, Main file

W. 83RD STREET



| ZONING ANALYSIS | |
|--------------------------------------|--|
| ZONING | PD 866 |
| LOT AREA | 3558 SQFT |
| ACTUAL FAR | 15 |
| SETBACKS | NO REQUIREMENT PER SITE |
| PARKING | |
| STACKING REQUIRED | 20FT PER VEHICLE |
| MIN. OF 3 VEHICLES PER ESTABLISHMENT | |
| QUEUE AREA | MAY NOT INTERFERE W/ ON-SITE CIRCULATION |
| NO REQUIRED LOADING SPACES | |
| PARKING COUNT DATA | |
| PARKING REQUIRED | * PER PD (PLANNED DEV) |
| HANDICAP PROVIDED | * 2 |
| PARKING PROVIDED | * 16 (INCL 2 HANDICAP) |
| LANDSCAPING | |
| AREA OF LANDSCAPE | * 1043 SQFT |
| LANDSCAPE SETBACK | * FEET FROM PROPERTY LINE |

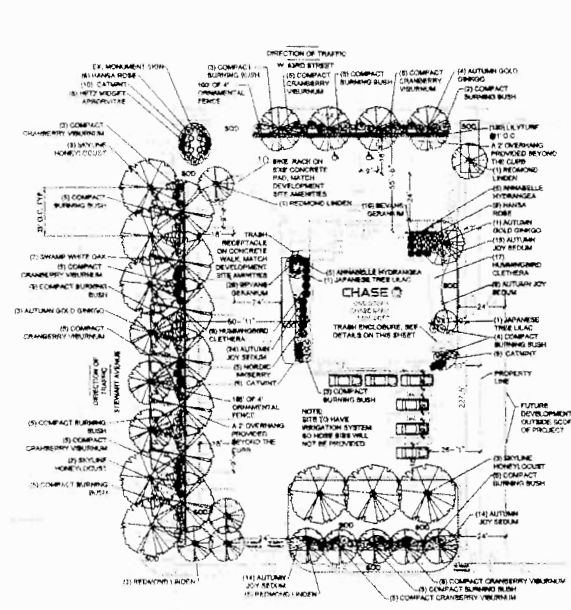


CHATHAM MARKET (PARCEL E2)
 SEC STEWART AVE AND 83RD STREET
 CHICAGO, ILLINOIS 60620

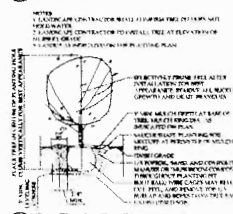
PROPOSED SITE PLAN

February 20, 2013

TAP Project No. 11024
 The Architects Partnership
 122 South Michigan Avenue
 Chicago, IL 60603
 T: 312.583.9800
 F: 312.583.9800



1 Landscape Plan
SCALE: 1/8" = 1'-0"



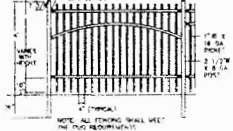
2 Tree Planting Detail
SCALE: 1/4" = 1'-0"



3 Shrub Planting Detail
SCALE: 1/4" = 1'-0"



4 Perennial Planting Detail
SCALE: 1/4" = 1'-0"



5 Ornamental Fence Details
SCALE: 1/4" = 1'-0"

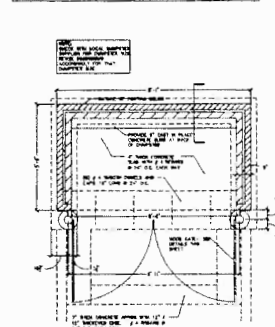
LANDSCAPE GENERAL NOTES

1. ALL PLANT MATERIALS ARE SUBJECT TO AVAILABILITY AND CONJECTURE. MATERIALS, SPECIFICATIONS, AND QUANTITIES SHALL BE SUBJECT TO CHANGE WITHOUT NOTICE TO THE OWNER'S CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS AND SAFETY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS AND SAFETY.
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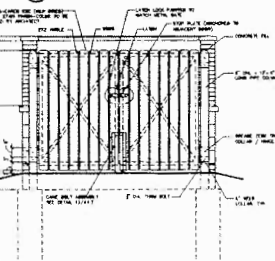
IRRIGATION SYSTEM GENERAL NOTES

1. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION DESIGN AND SPECIFICATIONS PROVIDED BY THE CONTRACTOR.
2. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION DESIGN AND SPECIFICATIONS PROVIDED BY THE CONTRACTOR.
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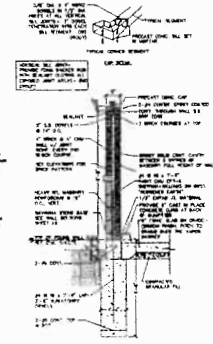
| PLANT | QUANTITY | PRICE | TOTAL |
|-------------------|----------|--------|---------|
| Compact Crabapple | 10 | 150.00 | 1500.00 |
| Autumn Gold | 10 | 150.00 | 1500.00 |
| Weeping Linden | 10 | 150.00 | 1500.00 |
| Autumn Joy | 10 | 150.00 | 1500.00 |
| Autumn Spire | 10 | 150.00 | 1500.00 |
| Autumn Blaze | 10 | 150.00 | 1500.00 |
| Autumn Fire | 10 | 150.00 | 1500.00 |
| Autumn Spirit | 10 | 150.00 | 1500.00 |
| Autumn Kiss | 10 | 150.00 | 1500.00 |
| Autumn Glory | 10 | 150.00 | 1500.00 |
| Autumn Wonder | 10 | 150.00 | 1500.00 |
| Autumn Charm | 10 | 150.00 | 1500.00 |
| Autumn Magic | 10 | 150.00 | 1500.00 |
| Autumn Dream | 10 | 150.00 | 1500.00 |
| Autumn Love | 10 | 150.00 | 1500.00 |
| Autumn Hope | 10 | 150.00 | 1500.00 |
| Autumn Faith | 10 | 150.00 | 1500.00 |
| Autumn Peace | 10 | 150.00 | 1500.00 |
| Autumn Joy | 10 | 150.00 | 1500.00 |
| Autumn Love | 10 | 150.00 | 1500.00 |
| Autumn Hope | 10 | 150.00 | 1500.00 |
| Autumn Faith | 10 | 150.00 | 1500.00 |
| Autumn Peace | 10 | 150.00 | 1500.00 |
| Autumn Joy | 10 | 150.00 | 1500.00 |
| Autumn Love | 10 | 150.00 | 1500.00 |
| Autumn Hope | 10 | 150.00 | 1500.00 |
| Autumn Faith | 10 | 150.00 | 1500.00 |
| Autumn Peace | 10 | 150.00 | 1500.00 |



6 Trash Enclosure Plan
SCALE: 1/4" = 1'-0"



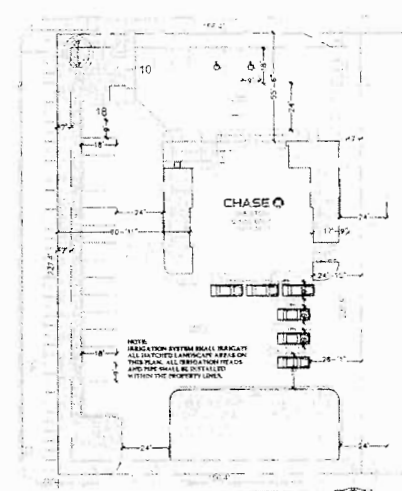
7 Trash Enclosure Elevation
SCALE: 1/4" = 1'-0"



8 Trash Enclosure Section
SCALE: 1/4" = 1'-0"

IRRIGATION SYSTEM GENERAL NOTES

1. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION DESIGN AND SPECIFICATIONS PROVIDED BY THE CONTRACTOR.
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10. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION DESIGN AND SPECIFICATIONS PROVIDED BY THE CONTRACTOR.



9 Irrigation Plan
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE DEPARTMENT OF PUBLIC WORKS AND SAFETY.
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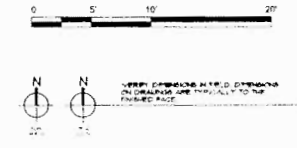
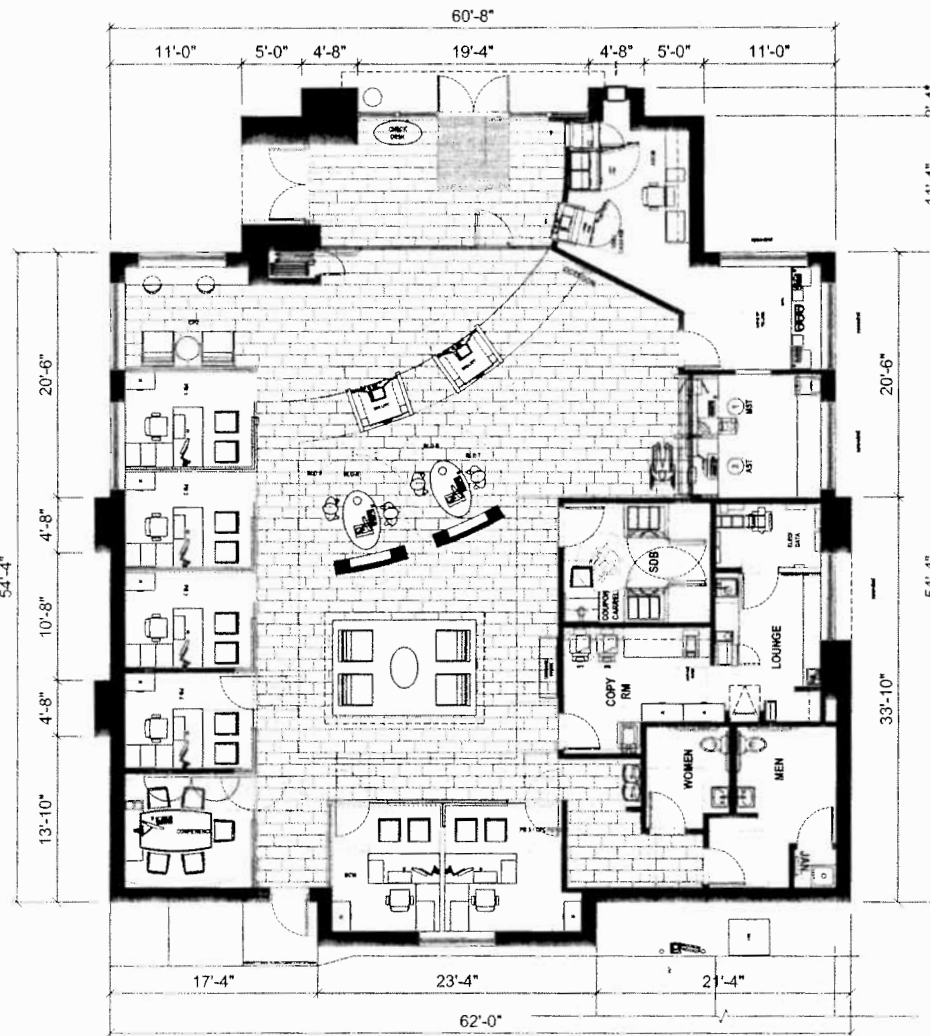
CHATHAM MARKET (PARCEL E2)
SEC STEWART AVE AND 83RD STREET
CHICAGO, ILLINOIS

LANDSCAPE PLAN

February 20 2013

Architect/Designer
The Architects Partnership, LTD
122 South Michigan Avenue
Chicago, IL 60603
t: 312.583.9800
f: 312.583.9890





CHATHAM MARKET (PARCEL E2)
 SEC. STEWART AVE. AND 83RD STREET
 CHICAGO, ILLINOIS 60620

PROPOSED FLOOR PLAN

February 20, 2013

TAP Project No. 11024
 The Architects Partnership
 122 South Michigan Avenue
 Chicago, IL 60603
 t 312.583.9800
 f 312.583.9890





North Elevation

Not to Scale
 Note: 26'-7" Overall Height (1-Story)



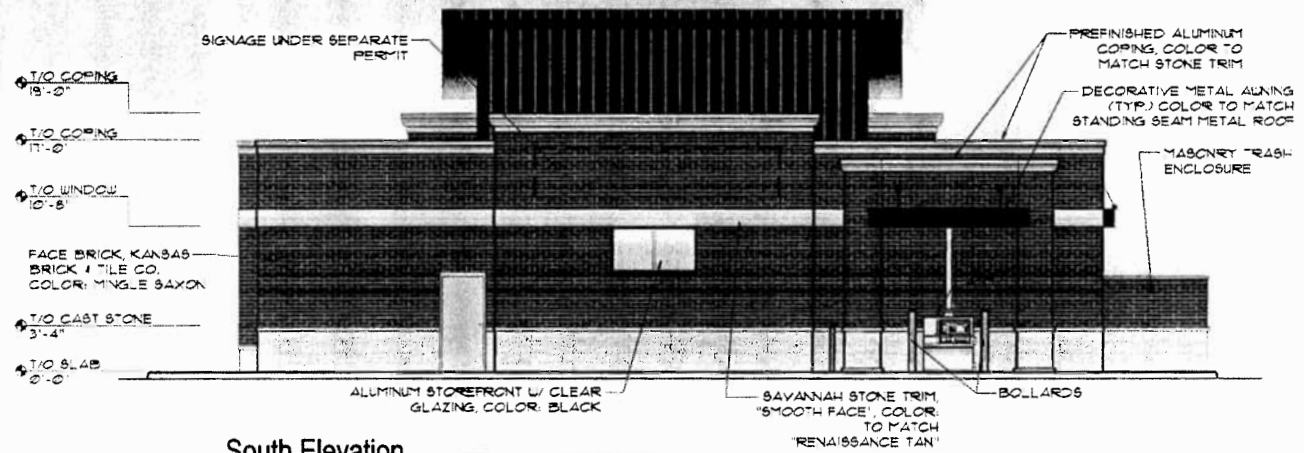
CHATHAM MARKET (PARCEL E2)
 SEC STEWART AVE AND 83RD STREET
 CHICAGO, ILLINOIS 60620

ELEVATIONS

FEBRUARY 20, 2013

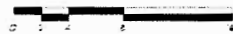
TAP Project No. 11024
 The Architects Partnership, Ltd.
 122 South Michigan Avenue
 Chicago, Illinois 60603
 p: 312 / 583 9800
 f: 312 / 583 9890





South Elevation

Not to Scale
 Note: 26'-7" Overall Height (1-Story)



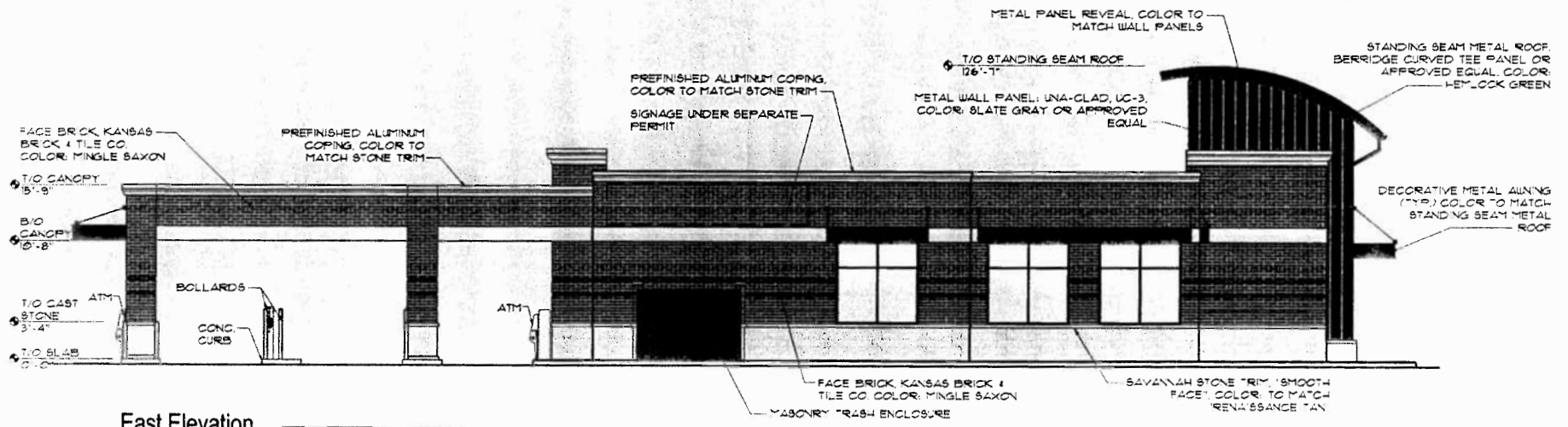
CHATHAM MARKET (PARCEL E2)
 SEC STEWART AVE AND 83RD STREET
 CHICAGO, ILLINOIS 60620

ELEVATIONS

FEBRUARY 20, 2013

TAP Project No. 11024
 The Architects Partnership, Ltd.
 122 South Michigan Avenue
 Chicago, Illinois 60603
 p: 312 / 583. 9800
 f: 312 / 583. 9890





East Elevation

Not to Scale
 Note: 26'-7" Overall Height (1-Story)



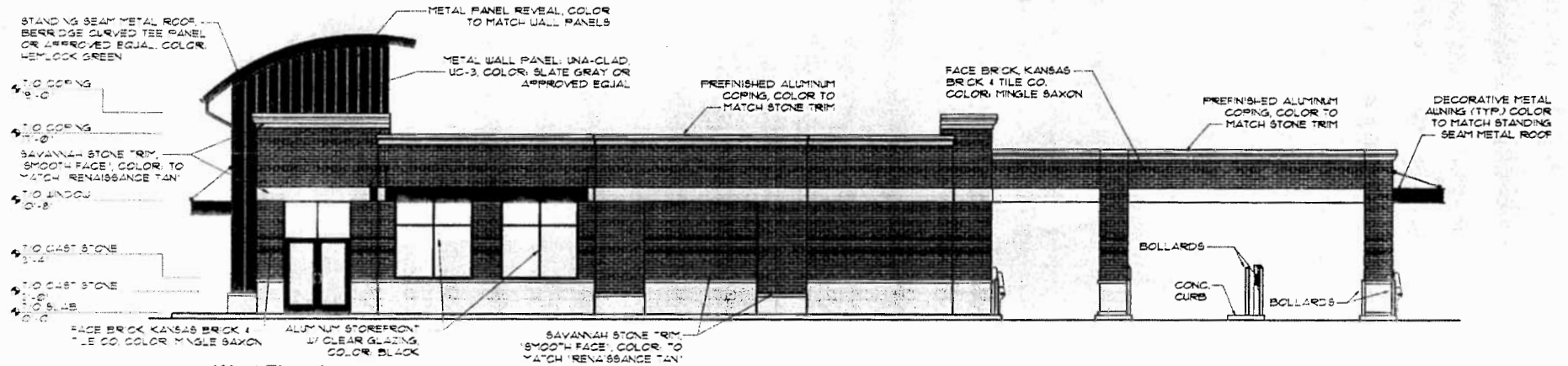
CHATHAM MARKET (PARCEL E2)
 SEC STEWART AVE AND 83RD STREET
 CHICAGO, ILLINOIS 60620

ELEVATIONS

FEBRUARY 20, 2013

TAP Project No. 11024
 The Architects Partnership, Ltd.
 122 South Michigan Avenue
 Chicago, Illinois 60603
 p. 312 / 583 9800
 f. 312 / 583 9890





West Elevation

Not to Scale
 Note: 26'-7" Overall Height (1-Story)



CHATHAM MARKET (PARCEL E2)
 SEC STEWART AVE AND 83RD STREET
 CHICAGO, ILLINOIS 60620

ELEVATIONS

FEBRUARY 20, 2013

TAP Project No. 11024
 The Architects Partnership, Ltd.
 122 South Michigan Avenue
 Chicago, Illinois 60603
 p. 312 / 583 9800
 f. 312 / 583 9890





DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

July 6, 2012

Jesse W. Dodson
DLA Piper LLP (US)
203 North LaSalle Street
Suite 1900
Chicago, Illinois 60601-1293

**Re: Administrative Relief request for Business Planned Development No. 966
Proposed Motel Sleepers along S. Holland Road, north of W. 87th Street**

Dear Mr. Dodson:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development (PD).

Your client, Motel Sleepers, Inc. ("MSI") is seeking an administrative relief to allow a hotel exclusively for railroad employees. This use is classified as business support services which are permitted within the Planned Development. The Site Plan, and Front, Rear and Side Elevations, prepared by Chasen B. Garrett Architects, PLLC, and dated June 7, 2012, along with the Landscape Plan, Plant List, Details and Photographs, prepared by Wolff Landscape Architecture and dated June 21, 2012, shall be inserted into the main file.


With regard to the request, the Department of Housing and Economic Development has determined that allowing this use will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

As a condition of the granting of this administrative approval, MSI commits to operate the hotel as lodging for railroad employees only and not as a hotel available to the general public without further approvals as may be deemed necessary by the Department. They also agree to cooperate with the Department and any applicant that may in the future seek a legislative amendment to the Planned Development to include an appropriate description of the project in the list of permitted uses within the Planned Development. .

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

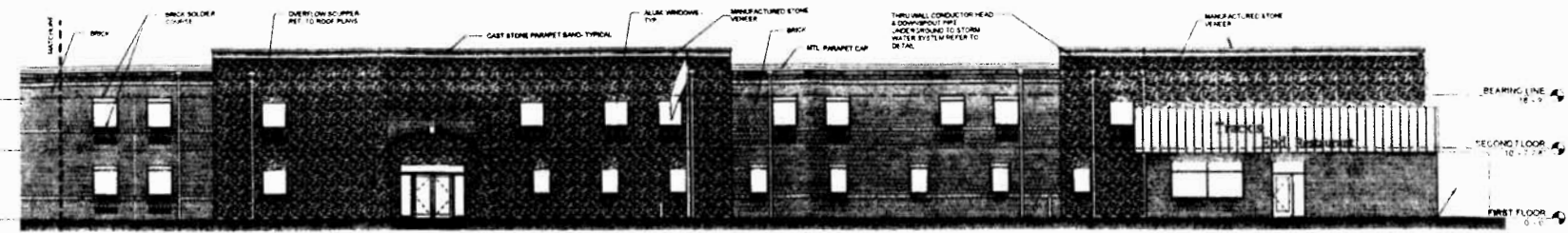
Sincerely,



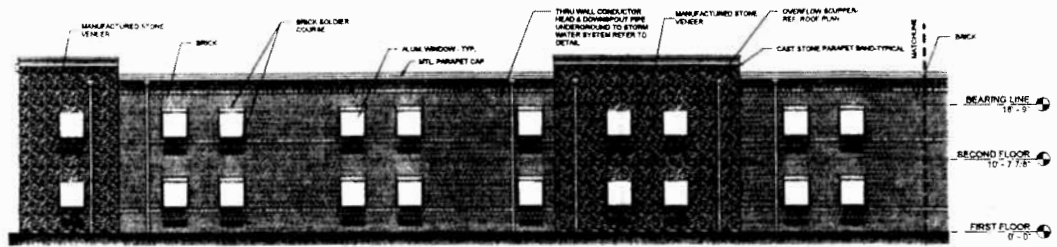
Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Mike Marmo, Erik Glass, Ron Daye, Patrick Murphey, Main file



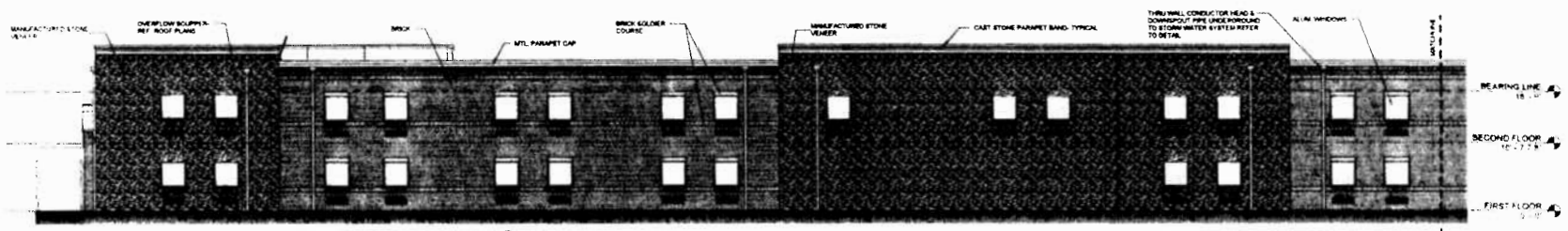
1 FRONT ELEVATION-NORTH
1/8" = 1'-0"



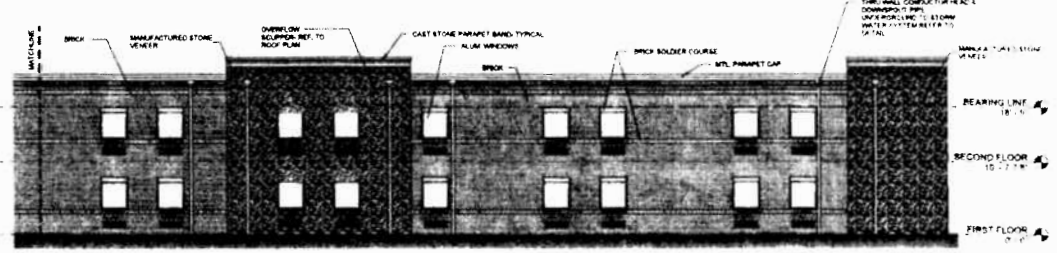
2 FRONT ELEVATION-SOUTH
1/8" = 1'-0"

GENERAL WINDOW NOTES

1. VERIFY ROUGH OPENING DIMENSIONS WITH MANUFACTURER
2. ALL EXTERIOR WINDOWS TO BE WEATHERED
3. GLAZING UNITS TO BE OBTAINABLE MANUFACTURER'S STOCK UNITS TO ALLOW FOR MANUFACTURING TOLERANCES
4. PROVIDE TIGHT FITS AT ALL WINDOW OPENINGS



3 REAR ELEVATION-NORTH
1/8" = 1'-0"



4 REAR ELEVATION-SOUTH
1/8" = 1'-0"

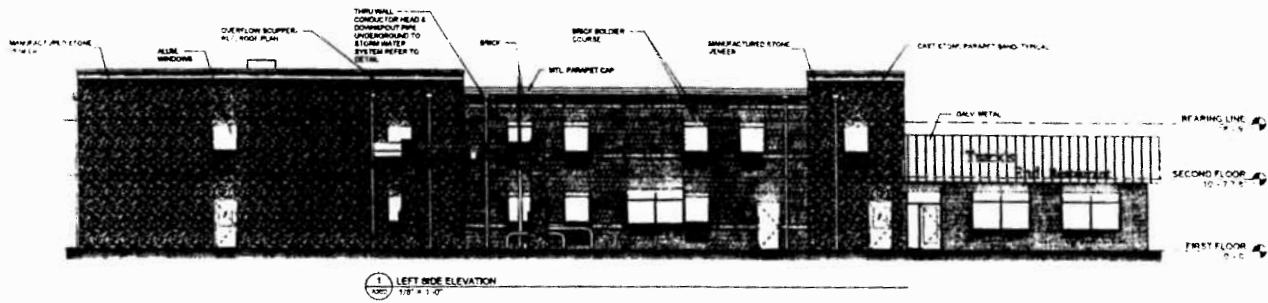
| | |
|--------|------|
| NO. 1 | DATE |
| NO. 2 | DATE |
| NO. 3 | DATE |
| NO. 4 | DATE |
| NO. 5 | DATE |
| NO. 6 | DATE |
| NO. 7 | DATE |
| NO. 8 | DATE |
| NO. 9 | DATE |
| NO. 10 | DATE |

chasen b. garrett
ARCHITECTS P.C.
P.O. Box 8336
Fort Smith, AR 72902 479-652-0175

MSI HOSPITALITY SOLUTIONS OF CHICAGO
MOTEL SLEEPERS, INC.
ADDRESS
FRONT AND REAR ELEVATIONS



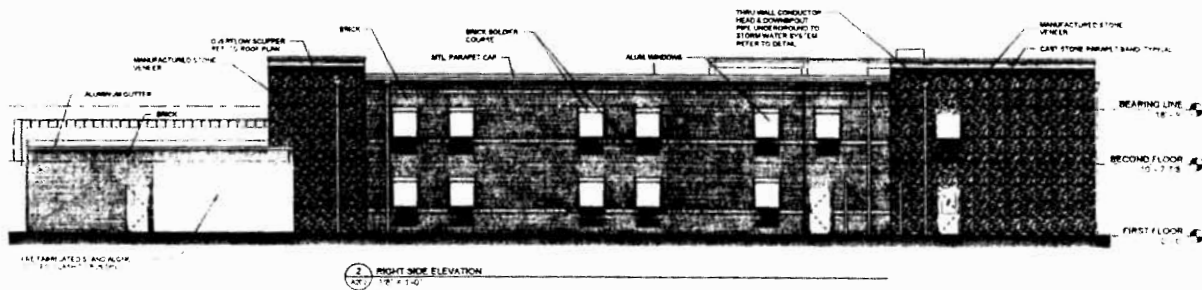
06/07/12
A201



1 LEFT SIDE ELEVATION
1/8" = 1'-0"

GENERAL WINDOW NOTES

- 1 VERIFY WINDOW OPENING DIMENSIONS WITH MANUFACTURER
- 2 ALL EXTERIOR WINDOWS TO BE INSULATED
- 3 DOUBLE OR WINDOWS TO BE OPERABLE WITH INTERIOR STORM WINDOWS TO HAVE 2" RISE BY MANUFACTURER
- 4 EXTERIOR WINDOW UNITS TO BE MANUFACTURED BY UNIT L&L



2 RIGHT SIDE ELEVATION
1/8" = 1'-0"

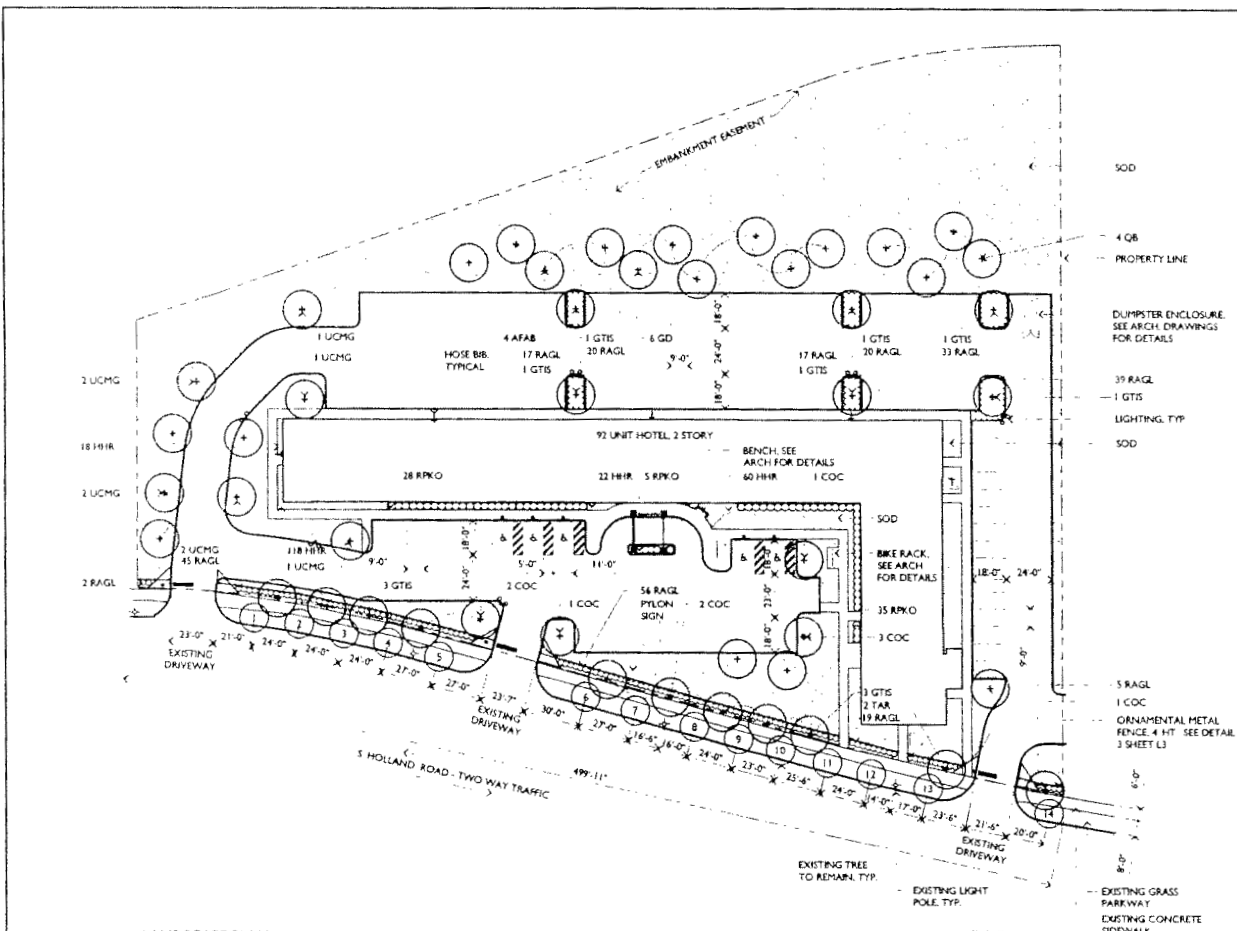
chasen b. garrett

P O Box 8336
Farr Smith, AR 72602 479-652-0175

MSI HOSPITALITY SOLUTIONS OF CHICAGO
HOTEL DEVELOPERS, INC.
ADDRESS

SIDE ELEVATIONS

A202



- KEY**
- (⊕) EXISTING TREE TO REMAIN
 - (⊕) PROPOSED SHADE TREE 2 1/2" CALIPER
 - DECEIDUOUS SHRUBS 5 GALLON CONTAINER
 - ▨ SOD
 - PROPOSED ORNAMENTAL METAL FENCE, 4' HEIGHT
 - △ 12X12 SIGHT TRIANGLE

LANDSCAPE ORDINANCE ANALYSIS
PARKWAY PLANTING

S. HOLLAND ROAD

| | |
|---|---|
| LENGTH (LINEAR FEET) | 499.11' |
| NUMBER OF TREES REQUIRED (1 PER 25 LF) | 20 |
| NUMBER OF EXISTING TREES TO REMAIN | 14 |
| NUMBER OF ADDITIONAL TREES TO BE PROVIDED | 0 TREES ARE PROVIDED ADDITIONAL CANNOT BE PROVIDED DUE TO EXISTING TREES, EXISTING LIGHT POLES AND REQUIRED OFFSETS |

VEHICULAR USE AREA SCREENING

S. HOLLAND ROAD

| | |
|---|--|
| LENGTH (LINEAR FEET) | 427.0' |
| NUMBER OF TREES REQUIRED (1 PER 25 LF) | 17 |
| NUMBER OF EXISTING TREES TO REMAIN | 0 |
| NUMBER OF ADDITIONAL TREES TO BE PROVIDED | 11 |
| SCREENING | VEHICULAR USE AREA IS SCREENED FROM PUBLIC R.O.W. BY A CONTINUOUS HEDGE OF DECEIDUOUS SHRUBS |

VEHICULAR USE AREA INTERNAL PLANTING

| | |
|---|-----------|
| TOTAL VEHICULAR USE AREA | 44,916 SF |
| INTERNAL PLANTING AREA REQUIRED (10% OF 44,916) | 4,491 SF |
| INTERNAL PLANTING AREA PROPOSED | 46,519 SF |
| NUMBER OF TREES REQUIRED (4,491 / 125) | 36 |
| NUMBER OF EXISTING TREES TO REMAIN | 0 |
| NUMBER OF ADDITIONAL TREES TO BE PROVIDED | 36 |

LANDSCAPE PLAN
SCALE 1" = 30'-0"

GENERAL NOTES:

1. THE PLANT LIST IS PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.
2. CONTRACTOR MUST REPAIR ALL SIDEWALKS, CURBS AND GUTTERS, AND ALLEYS TO THEIR ORIGINAL FORM IF DAMAGE OCCURS DURING CONSTRUCTION.
3. CONTRACTOR TO PROVIDE TEST OF EXISTING AND IMPORTED SOILS.
 - A. 45-7% SILT
 - B. 5-15% CLAY
 - C. 25-33% SAND
 - D. 2.5% ORGANIC CONTENT
 - E. PH BETWEEN 6.0 - 7.0
5. CONTRACTOR TO PROVIDE A PLAN OF TYPES AND EXTENT OF SOIL MODIFICATION.
6. CONTRACTOR TO PROVIDE SOIL PERCOLATION TESTS.
7. CONTRACTOR TO PROVIDE MECHANICAL SURFACE DRAINAGE, AS REQUIRED, IN AREAS WITH PERCOLATION RATES LESS THAN 0.5 HR. CONNECTIONS FROM SURFACE DRAIN PIPES SHALL BE TO APPROVED STORM SEWER CONNECTIONS ONLY.
8. ALL TREES TO BE BRANCHED A MINIMUM OF 6'-0" HEIGHT FROM GRADE.
9. NATURALLY OCCURRING MINERAL SOIL CAN BE AMENDED AND BLENDED TO MEET SPECIFICATIONS. FLYASH SOIL WILL NOT BE ACCEPTED.

OWNER'S SWORN STATEMENT

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT S. HOLLAND ROAD AND W. 83RD STREET, CHICAGO, ILLINOIS, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED, AND WILL BE INSTALLED, MAINTAINED, AND REPLACED, AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

EXISTING PARKWAY AND ON-SITE TREES ARE TO BE PROTECTED WHILE THE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNERS, IF DAMAGED.

THE PLANTS WILL BE INSTALLED BY JUNE 15, 2014.

BY (OWNER)
DATE

LANDSCAPE ARCHITECT'S SWORN STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN FOR THE PROPERTY AT S. HOLLAND ROAD AND W. 83RD STREET, CHICAGO, ILLINOIS, HAS, TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE "GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE".

I, TED WOLFF, REGISTERED LANDSCAPE ARCHITECT, No. 157-000190 IN THE STATE OF ILLINOIS, CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY DIRECT SUPERVISION. LICENSE EXPIRATION DATE: AUGUST 31, 2014.

TED WOLFF, PRINCIPAL, WOLFF LANDSCAPE ARCHITECTURE, INC.
DATE

MSI HOSPITALITY
CHICAGO SOLUTIONS
MOTEL SLEEPERS INC.

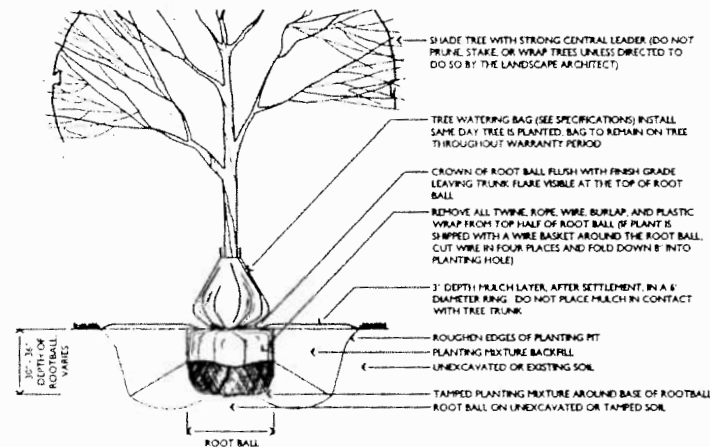
LANDSCAPE PLAN

LI

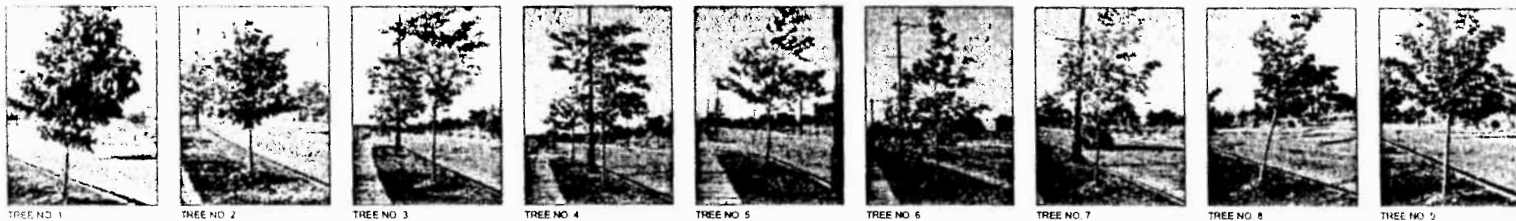
| | CODE | BOTANICAL NAME | COMMON NAME | QTY | CAL | HT | SPRD | ROOT | REMARKS |
|-------------|------|--|--------------------------------|-----|------|-----|------|------|---|
| SHADE TREES | AJAB | ACER X FREEMANII AUTUMN BLAZE | AUTUMN BLAZE MAPLE | 4 | 2.5" | | | BBB | SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY |
| | CCG | CELTIS OCCIDENTALIS CHICAGO LIND | CHICAGO LIND COMMON HICK BERRY | 10 | 2.5" | | | BBB | SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY |
| | GD | GYMNOCADUS DIOICUS | KENTUCKY COFFEE TREE | 6 | 2.5" | | | BBB | SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY |
| | GT1 | GLEDITSIA TRIACANTHOS VAR. INERMIS SKYLINE | SKYLINE THORNLESS HONEYLOCUST | 12 | 2.5" | | | BBB | SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY |
| | OR | QUERCUS BICOLOR | SWAMP WHITE OAK | 4 | 2.5" | | | BBB | SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY |
| | TA | TILIA AMERICANA REDMOND | REDMOND AMERICAN LINDEN | 2 | 2.5" | | | BBB | SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY |
| SHRUBS | UCHG | ULMUS CARPINIFOLIA MORTON GLOSSY | TRUMPET ELM | 9 | 2.5" | | | BBB | SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY |
| | RSL | RTEUS AROPATICA GAO LOW | GAO LOW SUMAC | 24 | | 18" | 24" | #5 | |
| PERENNIALS | PPK | ROSA X PINA KNOCKOUT | PINK KNOCKOUT ROSE | 68 | | | | #5 | |
| | HR | HEMEROCALLIS HAPPY RETURNS | HAPPY RETURNS DAY LILY | 218 | | | | #1 | SPACED 1' 4" ON CENTER |

PLANT LIST

NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.



2 DECIDUOUS TREE INSTALLATION DETAIL
SCALE: 1/2" = 1'-0"

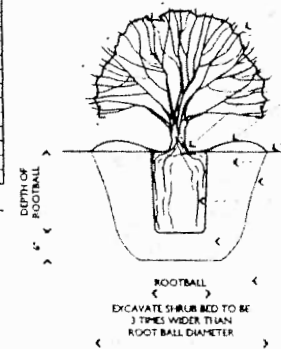


4 PERENNIAL PLANTING DETAIL
SCALE: 1" = 1'-0"



EXISTING TREE KEY

| NUMBER | SIZE | BOTANICAL NAME | COMMON NAME | CONDITION | REMARKS |
|--------|------|-------------------|-------------|-----------|---------|
| 1 | 3" | TILIA SPECIES | LINDEN | GOOD | |
| 2 | 3" | TILIA SPECIES | LINDEN | GOOD | |
| 3 | 3" | GLEDITSIA SPECIES | HONEYLOCUST | GOOD | |
| 4 | 3" | GLEDITSIA SPECIES | HONEYLOCUST | GOOD | |
| 5 | 3" | GLEDITSIA SPECIES | HONEYLOCUST | GOOD | |
| 6 | 3" | ACER SPECIES | MAPLE | GOOD | |
| 7 | 3" | ACER SPECIES | MAPLE | GOOD | |
| 8 | 3" | TILIA SPECIES | LINDEN | GOOD | |
| 9 | 4" | TILIA SPECIES | LINDEN | GOOD | |
| 10 | 4" | TILIA SPECIES | LINDEN | GOOD | |
| 11 | 3" | TILIA SPECIES | LINDEN | GOOD | |
| 12 | 3" | ACER SPECIES | MAPLE | GOOD | |
| 13 | 3" | ACER SPECIES | MAPLE | GOOD | |
| 14 | 4" | ACER SPECIES | MAPLE | GOOD | |



3 SHRUB PLANTING DETAIL
SCALE: 1" = 1'-0"

SHRUB DO NOT PRUNE, STAKE, OR WRAP SHRUBS UNLESS DIRECTED TO DO SO BY LANDSCAPE ARCHITECT

CROWN OF ROOT BALL FLUSH WITH FINISH GRADE LEAVING TRUNK FLARE VISIBLE AT THE TOP OF THE ROOT BALL

3" DEPTH MULCH LAYER, AFTER SETTLEMENT, TO EDGE OF PLANTING BED. DO NOT PLACE MULCH IN CONTACT WITH SHRUB

FINISH GRADE

PLANTING MIXTURE BACKFILL

ROUGHEN EDGES OF PLANTING PIT

REMOVE SHRUB FROM CONTAINER WITHOUT CRACKING OR BREAKING ROOTBALL

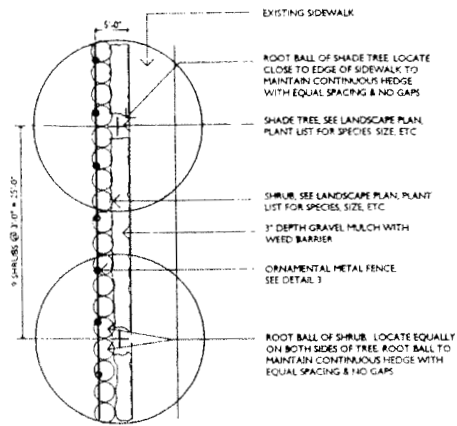
TAMP PLANTING MIXTURE AROUND BASE AND UNDER ROOT BALL TO STABILIZE SHRUB

UNEXCAVATED OR EXISTING SOIL

MSI HOSPITALITY
CHICAGO SOLUTIONS
MOTEL SLEEPERS INC.

PLANT LIST DETAILS
AND
PHOTOGRAPHS

L2

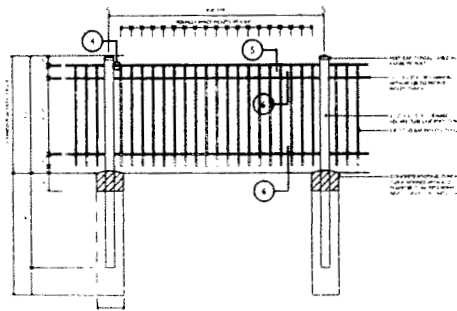


1 PERIMETER LANDSCAPE PARKWAY PARTIAL PLAN
SCALE: NOT TO SCALE

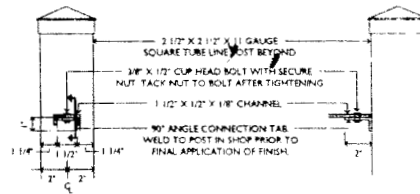
SOIL DEPTH CHART NOTE: THE CONTRACTOR IS TO SUPPLY SOIL FILL MATERIAL TO THE DEPTHS INDICATED ON THE CHART BELOW

| LANDSCAPE AREAS | DEPTH IN INCHES |
|--|------------------------------|
| PLANTING BEDS - GRASSES, PERENNIALS AND GROUND COVER | 12 PLANTING MIX |
| PLANTING BEDS - MEDIUM AND SMALL SHRUBS | 18 PLANTING MIX |
| SHADE AND ORNAMENTAL TREES | PER TREE INSTALLATION DETAIL |

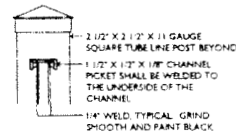
2 SOIL DEPTH CHART
NOTE: THE CONTRACTOR IS TO SUPPLY SOIL FILL MATERIAL TO THE DEPTHS INDICATED ON THE CHART ABOVE



3 ORNAMENTAL METAL FENCE INSTALLATION
SCALE: 1/2" = 1'-0"



4 FENCE CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



5 FENCE CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



6 FENCE CONNECTION DETAIL
SCALE: 3/4" = 1'-0"

MSI HOSPITALITY
CHICAGO SOLUTIONS
MOTEL SLEEPERS INC.

CHICAGO, IL
PROJECT NO. 15-001
DATE: 08/14/15
SCALE: AS SHOWN
BY: WOLEY LANDSCAPE ARCHITECTURE

DETAILS

L3



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT

April 24, 2012

CITY OF CHICAGO

Richard A. Wendy
Freeborn & Peters LLP
311 South Wacker Drive
Suite 3000
Chicago, Illinois 60606-6677

Re: **REVISED: Administrative Relief request for Business Planned Development No. 966 Parcel E2, Proposed Chase Bank at the Southeast corner of South Stewart Avenue and West 83rd Street**

Dear Mr. Wendy:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development (PD).

Your client, Chase Bank, intends to ground lease Parcel E2 from its owner, W2005 CMK Realty LLC ("CMK"). CMK, along with Lowe's and Wal-Mart, own all of the property located within the boundaries of the PD and they have all given their consent for this administrative relief request. On April 11, 2012, an administrative relief was granted to allow the reconfiguration of Parcel E into two Parcels, E1 and E2.

Chase Bank is seeking an administrative relief to:

- Substitute the proposed Chase Site Plan, prepared by tap Architects and dated April 9, 2012 in lieu of the previously approved Site Plan. A revised Landscape Plan, dated April 5, 2012 shall also be inserted into the main file.
- Increase the overall sign length from 16 feet to 17'-7" to conform to Chase's standard sign length. Revised North, South, East and West Chase Building Elevations, and Chase Drive-Through Facility Elevations, prepared by tap Architects and dated November 28, 2011 shall be inserted into the main file.
- Such other minor changes as are deemed necessary or appropriate during the course of review to implement the Chase Plans and proposed development.


With regard to the first two requests, the Department of Housing and Economic Development has determined that allowing the substitution of the Chase Bank Site Plan and the slightly longer Chase sign will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

However, in response to your last request, we cannot approve 'such other minor changes as are deemed necessary or appropriate during the course of review to implement the Chase Plans and proposed development.' If any other changes are necessary during the course of review, a subsequent minor change request identifying the proposed changes must be submitted.

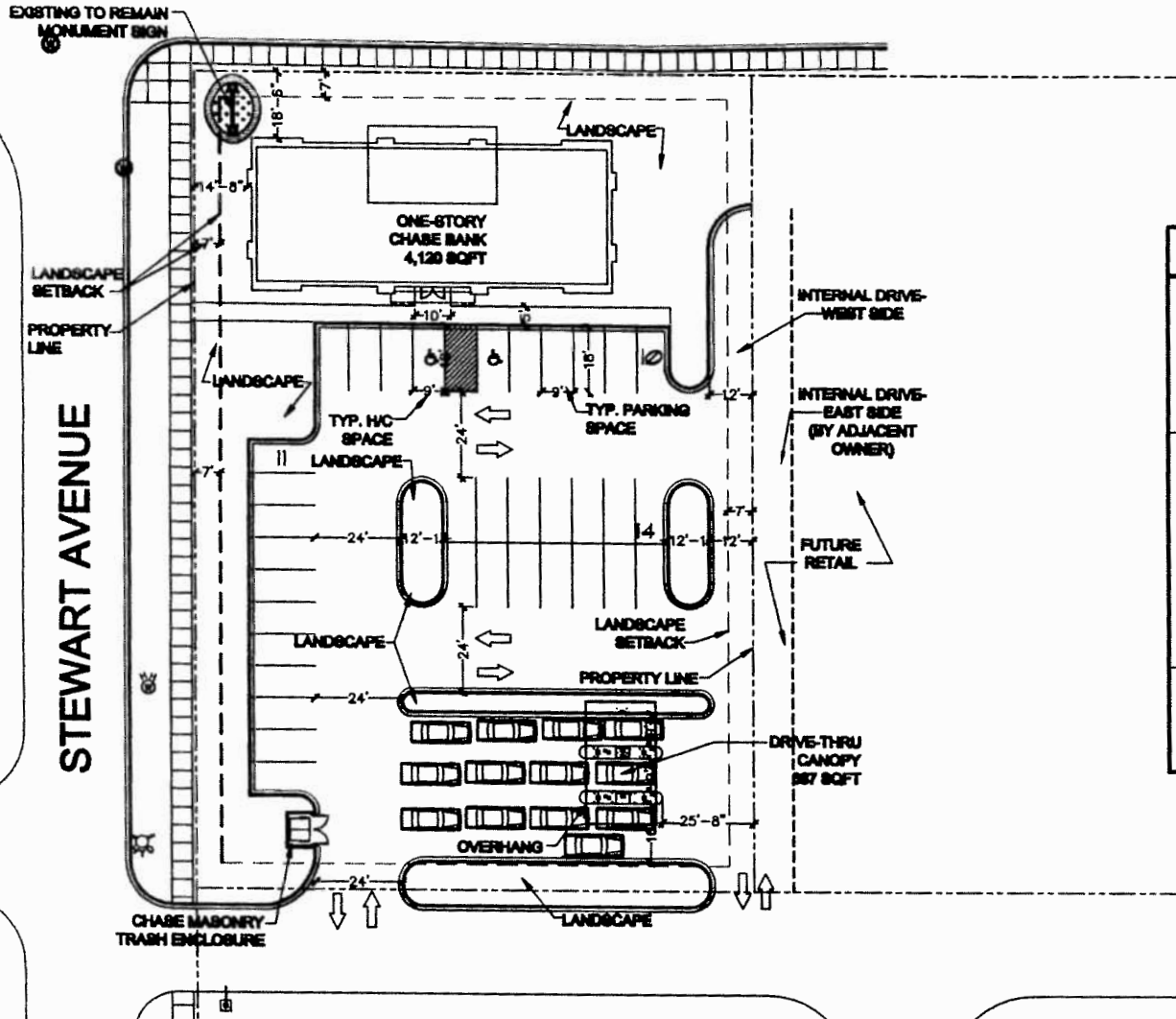
Sincerely,


Patricia A. Scudiero
Zoning Administrator

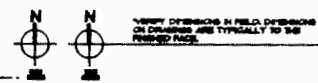
PAS:HG:tm

C: Carol Stubblefield, Mike Marmo, Erik Glass, Ron Day, Main file

W. 83RD STREET



| ZONING ANALYSIS | |
|---|-------------|
| ZONING: | PD 944 |
| LOT AREA: | 35,841 SQFT |
| ACTUAL FAR: | 36 |
| SETBACKS: NO REQUIREMENT PER SITE | |
| PARKING | |
| STACKING REQUIRED: 20FT PER VEHICLE | |
| MIN. OF 3 VEHICLES PER ESTABLISHMENT | |
| QUEUE AREA MAY NOT INTERFERE W/ ON-SITE CIRCULATION | |
| PROVIDE 4 SPACES (ONE AT WINDOW PLUS 3 STACKED) PER DRIVE THRU LANE | |
| NO REQUIRED LOADING SPACES | |
| PARKING COUNT DATA: | |
| PARKING REQUIRED = PER PD (PLANNED DEV.) | |
| HANDICAP PROVIDED = 2 | |
| PARKING PROVIDED = 38 (INCL 2 HANDICAP) | |
| LANDSCAPING | |
| AREA OF LANDSCAPE: 10,429 SQFT | |
| LANDSCAPE SETBACK: 7' (FEET) FROM PROPERTY LINE | |

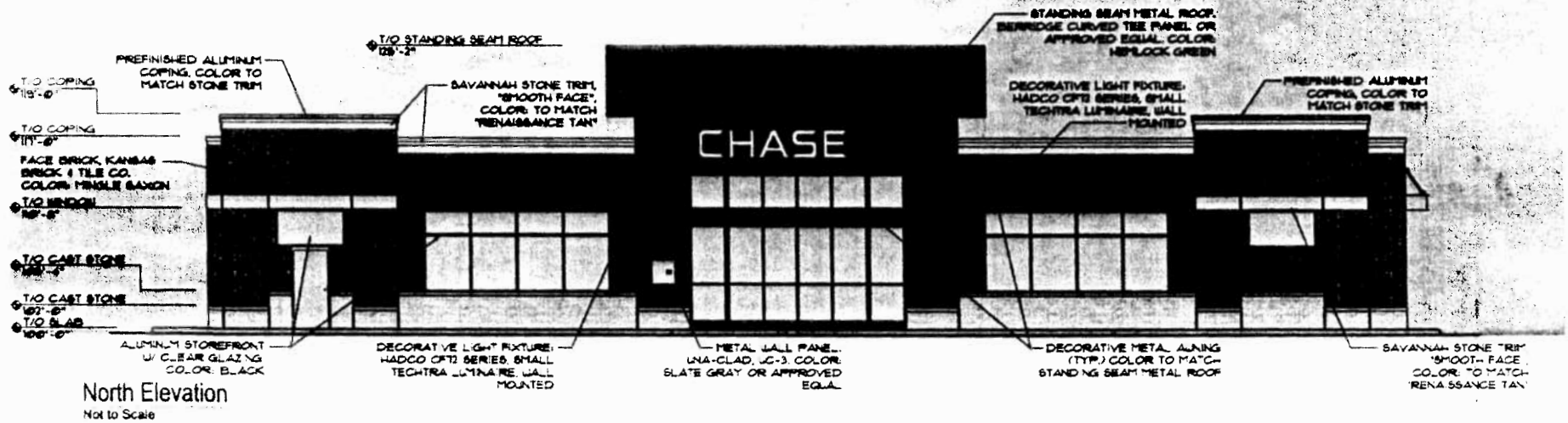


CHASE
CHATHAM STEWART & 83RD
 Chatham Stewart and 83rd
 Chicago, IL

PROPOSED SITE PLAN
 APRIL 9TH 2012

Architect/Designer
 The Architects Partnership
 122 South Michigan Avenue
 Chicago, IL 60603
 t: 312.583.9800
 f: 312.583.9800

11024



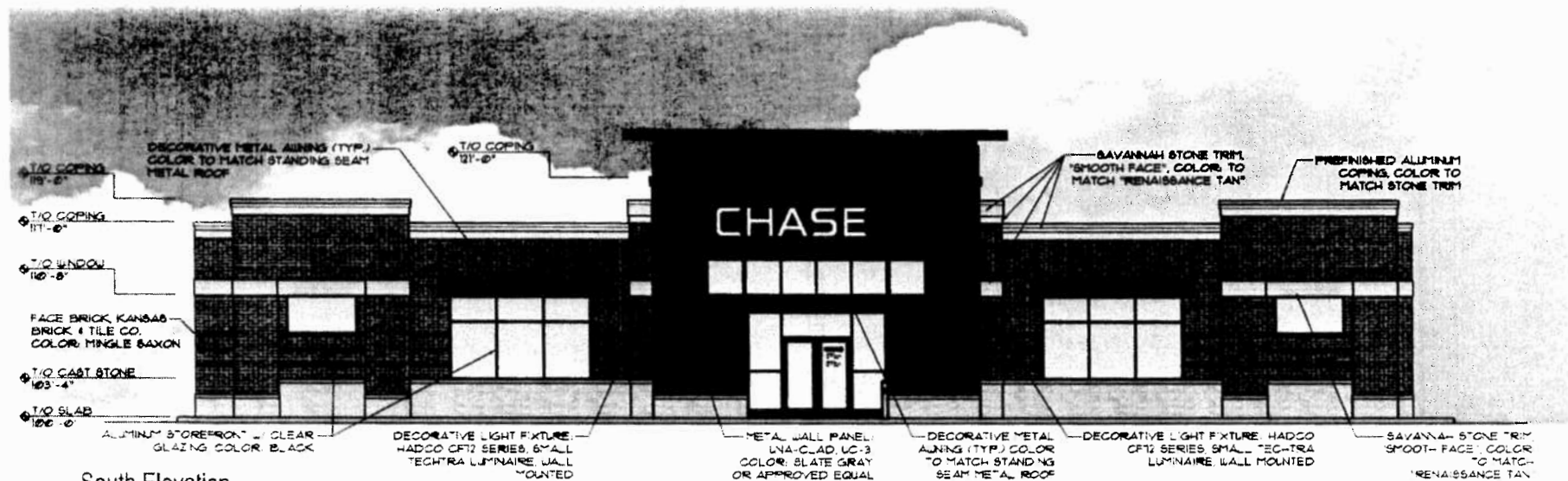
CHASE
CHATHAM MARKET
 SEC STEWART AVE. AND 83RD STREET
 CHICAGO, ILLINOIS 60620

ELEVATIONS

NOVEMBER 28TH 2011

Architect / Designer
 The Architects Partnership, Ltd.
 122 South Michigan Avenue
 Chicago, Illinois 60603
 p: 312 / 583. 9800
 f: 312 / 583. 9890





South Elevation
Not to Scale



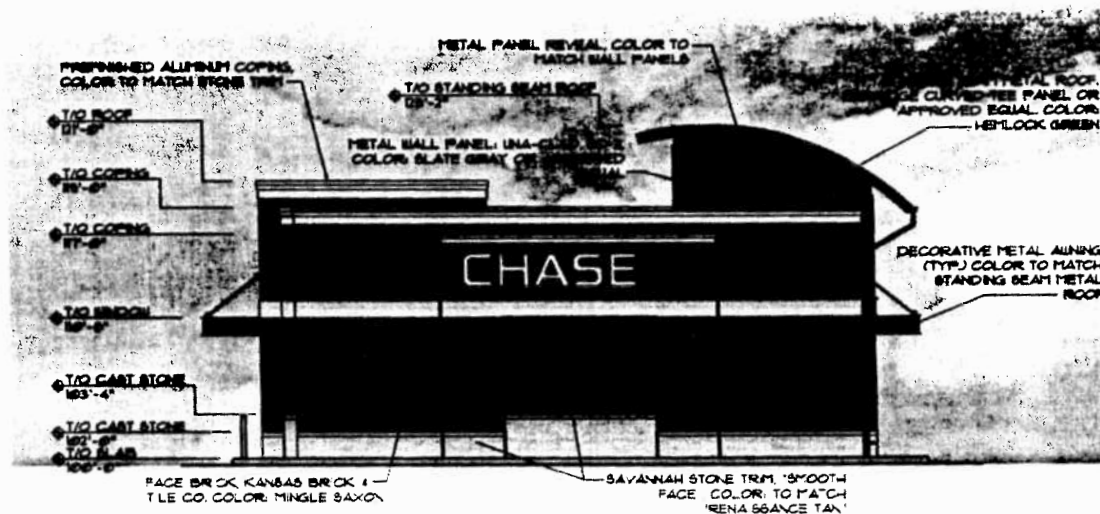
CHATHAM MARKET
525 STEWART AVE. AND 83RD STREET
CHICAGO, ILLINOIS 60620

ELEVATIONS

NOVEMBER 28TH 2011

Architect / Designer
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122 South Michigan Avenue
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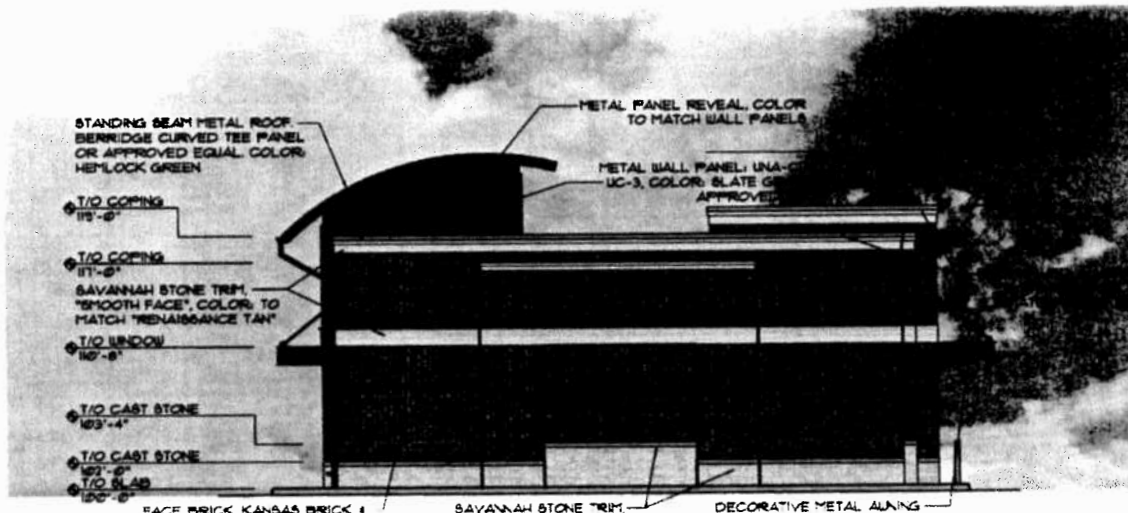
East Elevation
Not to Scale

CHASE 
CHATHAM MARKET
 502 STEWART AVE. AND 83RD STREET
 CHICAGO, ILLINOIS 60620

ELEVATIONS
 NOVEMBER 28TH 2011

Architect / Designer
 The Architects Partnership, Ltd.
 122 South Michigan Avenue
 Chicago, Illinois 60603
 p: 312 / 583. 9800
 f: 312 / 583. 9890





West Elevation

Not to Scale

CHASE

CHATHAM MARKET

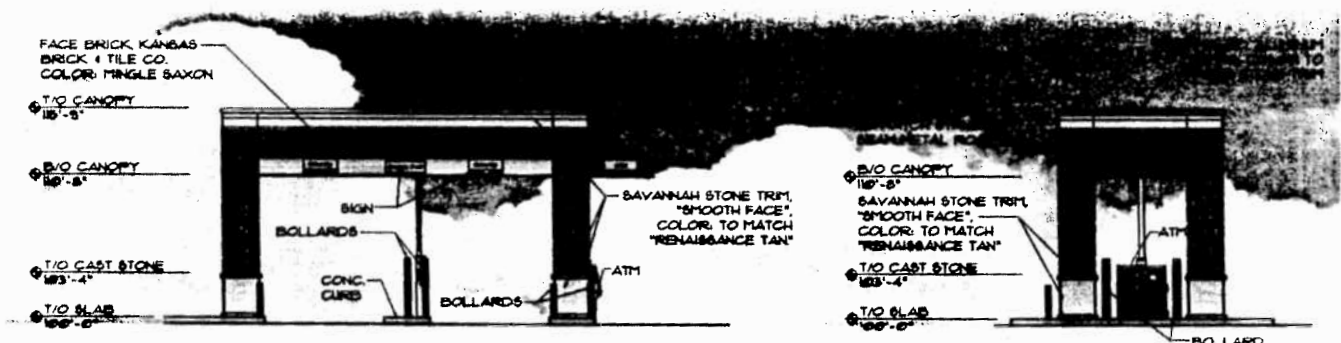
500 STEWART AVE. AND 83RD STREET
CHICAGO, ILLINOIS 60620

ELEVATIONS

NOVEMBER 28TH 2011

Architect / Designer
The Architects Partnership, Ltd.
122 South Michigan Avenue
Chicago, Illinois 60603
p. 312 / 583. 9800
f. 312 / 583. 9890





West Elevation
Not to Scale

South Elevation
Not to Scale



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

April 12, 2012

Richard A. Wendy
Freeborn & Peters LLP
311 South Wacker Drive
Suite 3000
Chicago, Illinois 60606-6677

**Re: Administrative Relief request for Business Planned Development No. 966
Parcel E2, Proposed Chase Bank at the Southeast corner of South Stewart Avenue
and West 83rd Street**

Dear Mr. Wendy:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development (PD).

Your client, Chase Bank, intends to ground lease Parcel E2 from its owner, W2005 CMK Realty LLC ("CMK"). CMK, along with Lowe's and Wal-Mart, own all of the property located within the boundaries of the PD and they have all given their consent for this administrative relief request. On April 11, 2012, an administrative relief was granted to allow the reconfiguration of Parcel E into two Parcels, E1 and E2.

Chase Bank is seeking an administrative relief to:

- Substitute the proposed Chase Site Plan, prepared by tap Architects and dated April 9, 2012 in lieu of the previously approved Site Plan. A revised Landscape Plan, dated April 5, 2012 shall also be inserted into the main file.
- Increase the overall sign length from 16 feet to 17'-7" to conform to Chase's standard sign length and as shown on the Elevations, prepared by tap Architects and dated November 28, 2011.
- Such other minor changes as are deemed necessary or appropriate during the course of review to implement the Chase Plans and proposed development.


With regard to the first two requests, the Department of Housing and Economic Development has determined that allowing the substitution of the Chase Bank Site Plan and the slightly longer Chase sign will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

However, in response to your last request, we cannot approve 'such other minor changes as are deemed necessary or appropriate during the course of review to implement the Chase Plans and proposed development.' If any other changes are necessary during the course of review, a subsequent minor change request identifying the proposed changes must be submitted.

Sincerely,

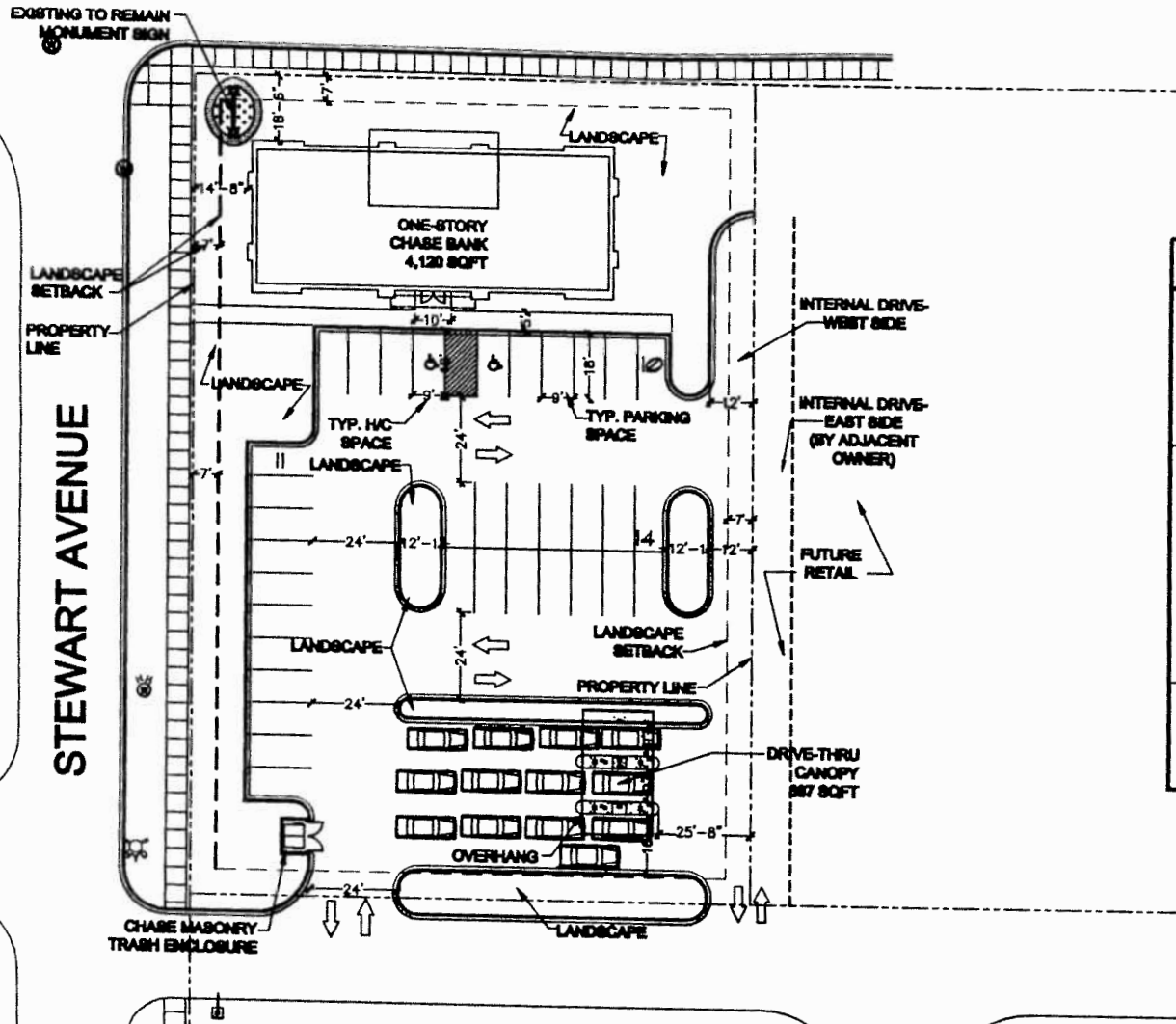


Patricia A. Scudiero
Zoning Administrator

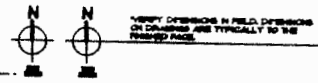
PAS:HG:tm

C: Carol Stubblefield, Mike Marmo, Erik Glass, Ron Day, Main file

W. 83RD STREET



| ZONING ANALYSIS | |
|---|------------------------------|
| ZONING: | PD 566 |
| LOT AREA: | 38,881 SQFT |
| ACTUAL FAR: | 36 |
| SETBACKS: | NO REQUIREMENT PER SITE |
| PARKING | |
| STACKING REQUIRED: | 20FT PER VEHICLE |
| MIN. OF 3 VEHICLES PER ESTABLISHMENT | |
| QUEUE AREA MAY NOT INTERFERE W/ ON-SITE CIRCULATION | |
| PROVIDE 4 SPACES (ONE AT WINDOW PLUS 3 STACKED) PER DRIVE THRU LANE | |
| NO REQUIRED LOADING SPACES | |
| PARKING COUNT DATA: | |
| PARKING REQUIRED = 4 PER PD (PLANNED DEV.) | |
| HANDICAP PROVIDED = 2 | |
| PARKING PROVIDED = 36 (INCL 2 HANDICAP) | |
| LANDSCAPING | |
| AREA OF LANDSCAPE: | 16,436 SQFT |
| LANDSCAPE SETBACK: | 1' (FEET) FROM PROPERTY LINE |



CHASE
CHATHAM STEWART & 83RD
 Chatham, Stewart and 83rd
 Chicago, IL

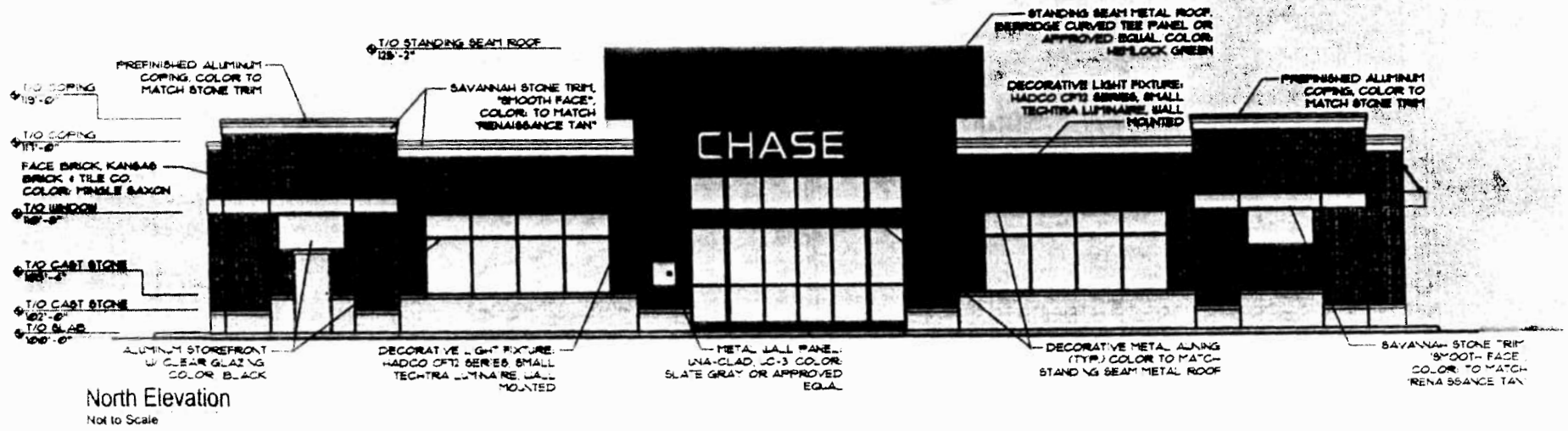
PROPOSED SITE PLAN

APRIL 9TH 2012

Architect/Designer
 The Architects Partnership
 122 South Michigan Avenue
 Chicago, IL 60603
 T 312.583.9800
 F 312.583.9890

11024



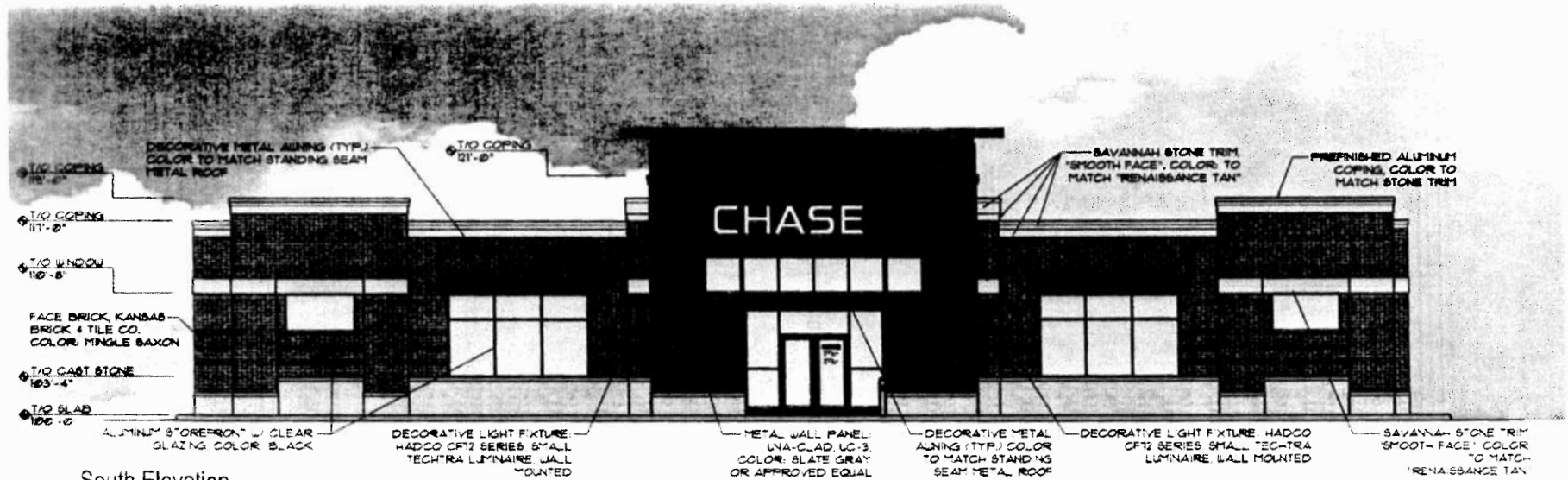


CHASE
CHATHAM MARKET
 502 STEWART AVE. AND 83RD STREET
 CHICAGO, ILLINOIS 60620

ELEVATIONS
 NOVEMBER 28TH 2011

Architect / Designer
 The Architects Partnership, Ltd.
 122 South Michigan Avenue
 Chicago, Illinois 60603
 p: 312 / 583. 9800
 f: 312 / 583. 9890





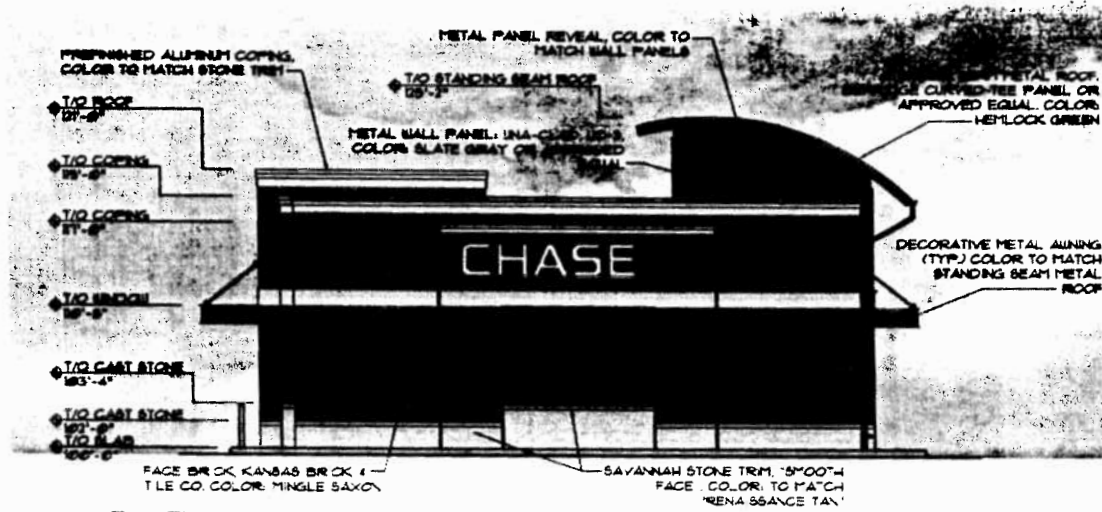
South Elevation
Not to Scale

CHASE 
CHATHAM MARKET
 SEC STEWART AVE. AND 83RD STREET
 CHICAGO, ILLINOIS 60620

ELEVATIONS
 NOVEMBER 28TH 2011

Architect / Designer
 The Architects Partnership, Ltd.
 122 South Michigan Avenue
 Chicago, Illinois 60603
 p: 312 / 583. 9800
 f: 312 / 583. 9890





East Elevation
Not to Scale

CHASE 
CHATHAM MARKET
 502 STEWART AVE. AND 83RD STREET
 CHICAGO, ILLINOIS 60620

ELEVATIONS
 NOVEMBER 28TH 2011

Architect / Designer
 The Architects Partnership, Ltd.
 122 South Michigan Avenue
 Chicago, Illinois 60603
 p. 312 / 583. 9800
 f. 312 / 583. 9890





DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

April 11, 2012

Carol D. Stubblefield
Neal & Leroy, LLC
203 North LaSalle Street
Suite 2300
Chicago, Illinois 60601-1243

**Re: Administrative Relief request for Business Planned Development No. 966
Proposed subdivision of Parcel E at the Southeast corner of South Stewart Avenue
and West 83rd Street**

Dear Ms. Stubblefield:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development (PD).

Your client, W2005 CMK Realty LLC ("CMK"), owner of the property generally located along the south line of W. 83rd St. between S. Stewart Ave. and S. Holland Rd., is seeking an administrative relief to reconfigure Parcel E into two Parcels, E1 and E2. This will result in a total of three Parcels (including Parcel D) on the property as originally approved in 2004.

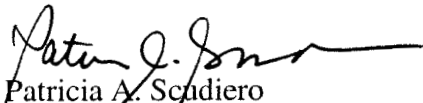
On October 16, 2006, an administrative relief was granted to reconfigure the three original Parcels (D, E, and F) into two Parcels (D and E). Parcel E has remained vacant and now CMK proposes to lease a portion of Parcel E to Chase Bank. (Chase Bank has submitted a separate administrative relief request for the purposes of constructing a bank with drive-thru facilities on Parcel E2). A proposed Outparcel Site Plan, prepared by OKW Architects and dated December 14, 2011, shall be inserted into the main file. CMK, along with Lowe's and Wal-Mart, own all of the property located within the boundaries of the PD and they have all provided their consent for this administrative relief request

With regard to your request, the Department of Housing and Economic Development has determined that allowing this reconfiguration will result in the property conforming to the Planned Development as originally approved in 2004. It will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

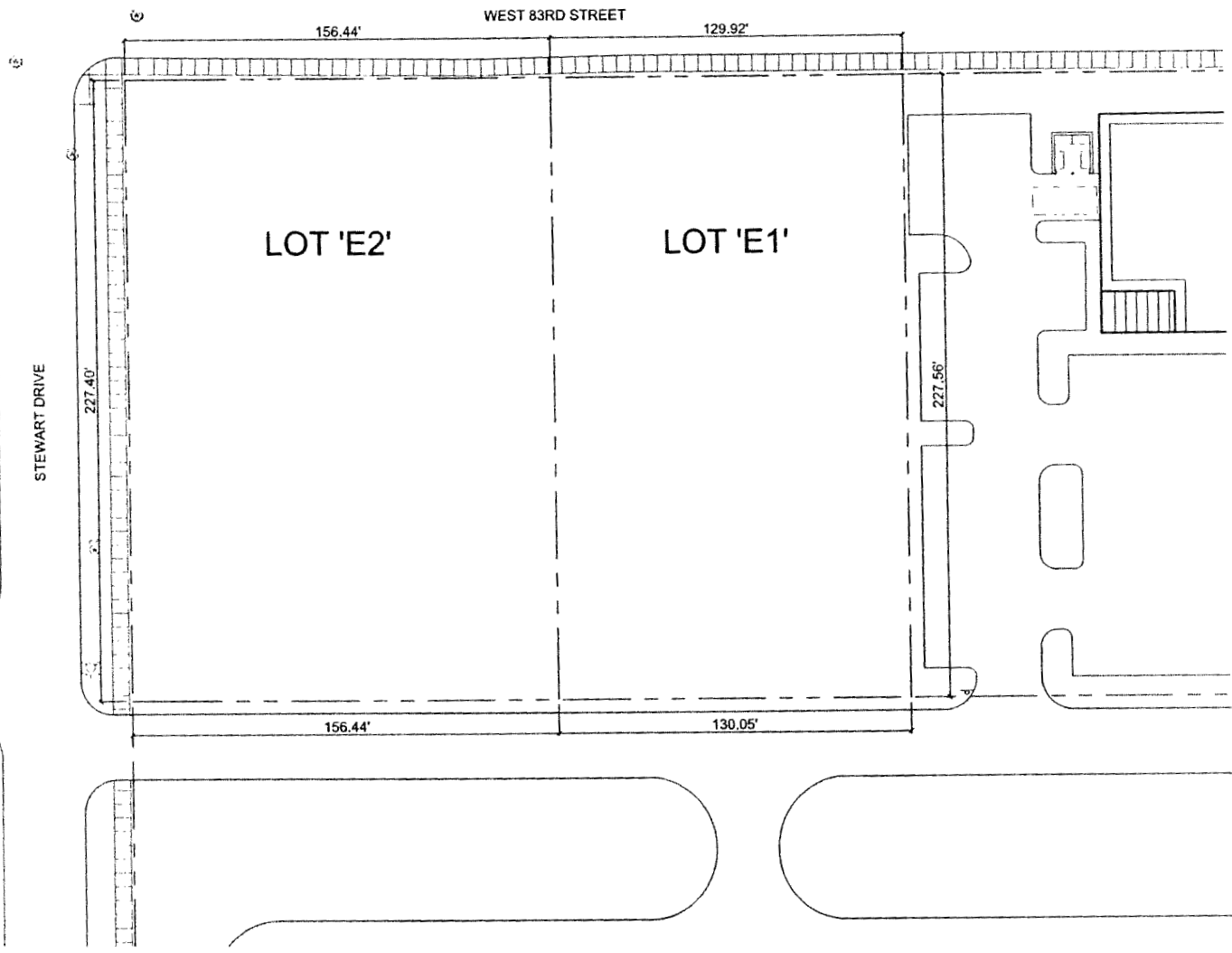
This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

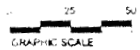

Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Rick Wendy, Mike Marmo, Erik Glass, Main file



SITE PLAN
 SCALE: 1" = 40'-0"



OUTPARCEL PLANNING
 CHATHAM MARKET

CHICAGO, IL



OKW Architects

DATE: 12/14/2011

PROJECT NUMBER: 11003



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

August 29, 2011

Ms. Meg George
Neal & Leroy, LLC
203 North LaSalle Street, Suite 2300
Chicago, Illinois 60601-1243

Re: **Administrative Relief request for Business Planned Development No. 966
8301 S. Holland Road, Parcel C, Wal-Mart Express Parking**

Dear Ms. George:

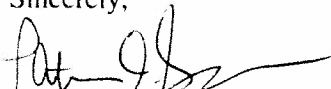
Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development (PD).

Your client, Wal-Mart Real Estate Business Trust (Wal-Mart), is seeking an administrative relief to allow a parking reduction from 66 spaces to 59 spaces to allow for two additional loading spaces within out lot Parcel C. The site plan in the original Planned Development showed an 8,000 square foot commercial building with 41 parking spaces (a parking ratio of 1 space per 195 square feet). On October 18, 2006, an administrative relief was granted to allow for the reconfiguration of several parcels, including Parcel C. Specifically, the size of Parcel C was increased from .87 acres to 1.19 acres, the proposed building was increased to 9,996 square feet and the parking was increased to 66 spaces. You are now seeking to reduce the parking from 66 to 59 spaces, a ratio of 1 space per 169 square feet, which is still greater than what was originally approved.

With regard to your request, the Department of Housing and Economic Development has determined that allowing a parking reduction from 66 spaces to 59 spaces will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm
c: Mike Marmo, Erik Glass, Main file



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

July 27, 2011

Ms. Meg George
Neal & Leroy, LLC
203 North LaSalle Street, Suite 2300
Chicago, Illinois 60601-1243

Re: **Administrative Relief request for Business Planned Development No. 966
8301 S. Holland Avenue Road, Wal-Mart Express window signage**

Dear Ms. George:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development (PD).

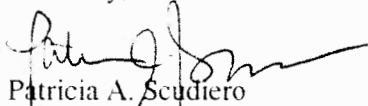
Your client, Wal-Mart Real Estate Business Trust (Wal-Mart) is seeking an administrative relief to allow window decal signs on one set of windows per elevation for the new Wal-Mart Express store located at 8301 S. Holland Road, and as shown on the attached drawing. The window signs would include the identification of specific products available at the store.

This PD contains specific signage criteria in order to assure uniform signage for all of the tenants of Chatham Market. The tenant's signs are limited to the tenant's corporate or official trade name. Taglines or identification of specific products or services are not permitted. Additionally, criteria for overall sign length, total allowable sign area per tenant, and maximum height of individual letters and logos are also included in the PD.

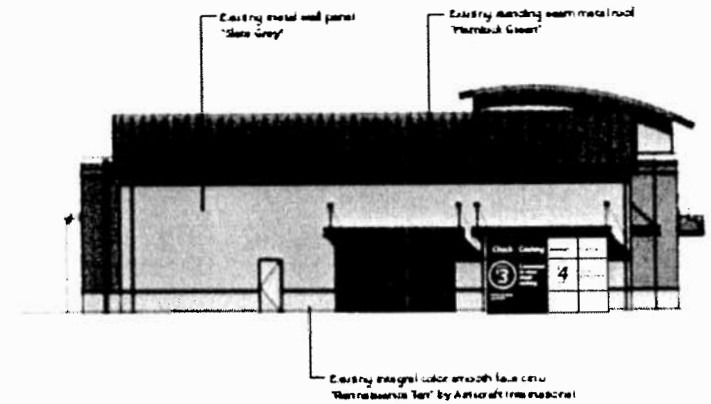
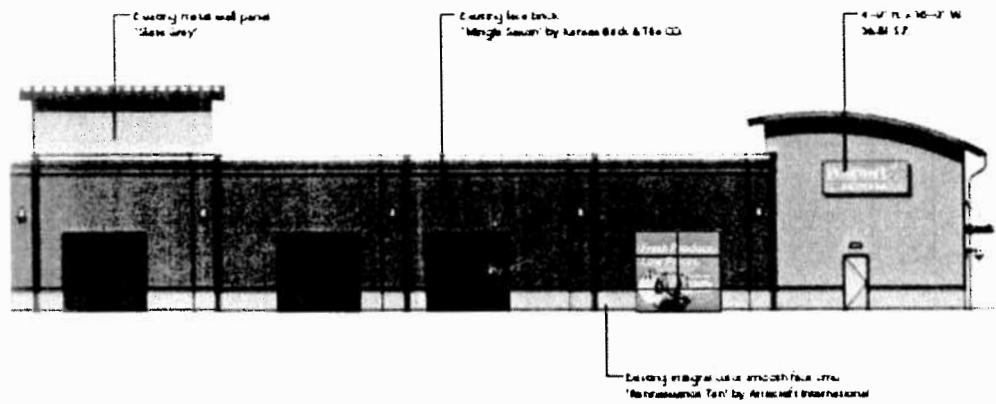
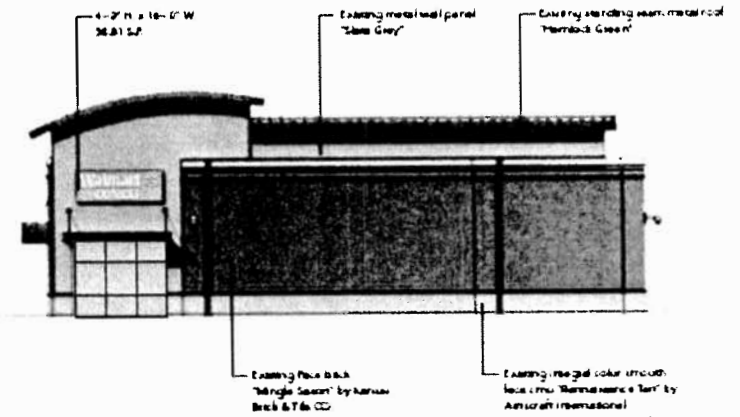
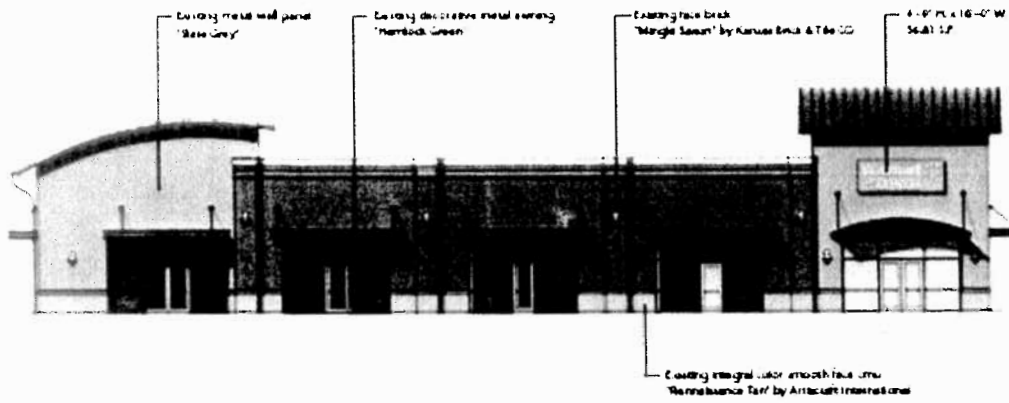
With regard to your request, the Department of Housing and Economic Development has determined that allowing one tenant of Chatham Market to add window decal signs which include the identification of products provided, and which is expressly prohibited in the PD, would not be in conformance with the strict uniform sign criteria of the PD, and would result in a change in the character of the development.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby deny this Administrative Relief request.

Sincerely,


Patricia A. Scudiero
Commissioner

PAS:HG:tm
c: Mike Marmo, Erik Glass, Main file





City of Chicago
Richard M. Daley, Mayor

Department of Zoning and
Land Use Planning

Patricia A. Scudiero
Commissioner

City Hall, Room 905
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-5777 (Voice)
(312) 744-6552 (FAX)
(312) 744-2950 (TTY)

<http://www.cityofchicago.org>

November 23, 2010

Ms. Meg George
Neal and Leroy, LLC
203 North LaSalle Street
Suite 2300
Chicago, Illinois 60601-1243

**Re: Administrative Relief request for Business Planned Development
No. 966, Proposed Wal-Mart Supercenter at 8331-8341 South
Stewart Avenue**

Dear Ms. George:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development.

You are requesting to:

- Omit display windows from the front (North) and left (East) elevations due to the interior site layout of the store. Revised front (North), rear (South), left (East), and right (West) Elevations, prepared by pb2 Architecture, and dated October 26, 2010 shall be inserted into the main file.
- Remove the proposed pedestrian walkway that would lead to a section of the parking lot not used by pedestrians.
- Reduce the number of parkway trees from 40 to 27. Additional parkway trees are not possible due to spacing and separation requirements, driveways and proximity to street lights, power poles and utilities. A revised Site Dimensional and Paving Plan and Landscape Plan, prepared by Manhard Consulting, and dated November 17, 2010, shall be inserted into the main file.

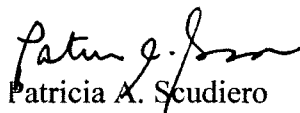
Your original request also asked for a reduction in the number of interior trees, however, as shown on the revised Landscape Plan noted above, the interior tree requirement of 201 trees has been met. However, there are approximately 22-25 shade/evergreen trees shown to be planted on or near the bottom of two detention basins along Holland Road. Please be advised that planting trees, especially evergreen trees, at the bottom of detention basins may adversely affect the survival of these trees. We recommend that they be relocated elsewhere on site, so that they have a better chance of survival. If they are planted in the current configuration, any trees that do not survive in the detention basins will need to be replaced elsewhere on site.



With regard to your request, the Department of Zoning and Land Use Planning has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Patricia A. Scudiero
Commissioner

PAS:HG:tm

C: Mike Marmo, Erik Glass, Benet Haller, Main file



City of Chicago
Richard M. Daley, Mayor

Department of Zoning and
Land Use Planning

Patricia A. Scudiero
Commissioner

City Hall, Room 905
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-5777 (Voice)
(312) 744-6552 (FAX)
(312) 744-2950 (TTY)

<http://www.cityofchicago.org>

January 11, 2010

Mr. Mark H. Foster
Weaver Boos Consultants
4085 Meghan Beeler Court
South Bend, Indiana 46628

Re: **Administrative Relief request for Business Planned Development No. 966, Lot 12, ALDI Grocery Store at 8500 South Holland Road**

Dear Mr. Foster:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development.

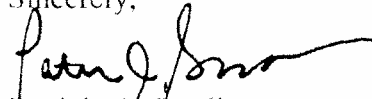
You are requesting to:

- Change the building setback along South Holland Road from 12.66 feet (as approved in an Administrative Relief dated October 18, 2006) to 3.57 feet from the building face and as shown on a revised Partial Site Dimensional Plan, prepared by Weaver Boos Consultants and dated December 16, 2009.
- Increase the square footage of the proposed building from 16,390 square feet to 16,750 square feet, resulting in a floor area ratio of 0.21, less than the allowable of 0.35.
- Reduce the number of parking spaces to 69, resulting in a parking ratio of 4.12 per 1,000 square feet and as shown on a revised Site Dimensional Plan, prepared by Weaver Boos Consultants and dated December 16, 2009.

With regard to your request, the Department of Zoning and Land Use Planning has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Patricia A. Scudiero
Commissioner

PAS:HG:tm
c: Mike Marmo, Erik Glass, Main file





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

December 27, 2006

Mr. Langdon Neal
Neal & Leroy, LLC
203 N. LaSalle Street
Suite 2300
Chicago, IL 60601-1243

Re: **Administrative Relief request for Business Planned Development
No. 966, Chatham Market Shopping Center, West 83rd Street and
South Stewart Avenue**

Dear Mr. Neal:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No.17 of the Planned Development.

Specifically, you requested to add a second curb cut on 83rd Street, west of Holland Road for purposes of additional ingress and egress into the development.

With regard to your request, the Department of Planning and Development, based on a recommendation from the Department of Transportation, has determined that this additional curb cut would create a safety hazard and therefore have an adverse impact on the Planned Development.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby deny the Administrative Relief request for an additional curb cut to Residential-Business Planned Development No. 966.

Sincerely,

Lori T. Healey *LTH*
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>



October 18, 2006

Mr. Paul E. Bennett, II
Attorney at Law
Neal & Leroy, LLC
203 N. LaSalle Street
Suite 2300
Chicago, IL 60601-1243

Re: **Administrative Relief request for Business Planned Development
No. 966, West 83rd Street and South Stewart Avenue**

Dear Mr. Bennett:

Please be advised that your request for a minor change to Business Planned Development No. 966 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.17 of the Planned Development.

Specifically, you requested the following changes:

Change in the building designation of the subject site, which specifically includes the following:

- Parcels D, E and F have been reconfigured into two (2) parcels, which are shown as D and E
- Parcel H has been redesignated as Parcel G
- Parcel G has been redesignated as Parcel F

Change in the square footage of the following parcels and buildings:

- Parcel C has increased from 37,897 square feet (.87 acres) to 51,836 square feet (1.19 acres)
- Parcel D has increased from 35,283 square feet (.81 acres) to 46,609 square feet (1.07 acres)
- Both buildings C and D have increased in area from 8,000 square feet to 9,996 square feet
- Building G (formally designated as Building H) has decreased in area from 22,815 square feet to 20,015 square feet

Change in the number of off- street parking spaces:

- Parcel C has increased from 41 to 66
- Parcel D has increased from 41 to 71

Consistent with Planned Development Statement Nos. 15 and 16, Parcel G, which has a green roof and a building area of 20,015 square feet, has been designated as the LEEDS Certified Parcel. As a result, the type and



placement of trees and other plant materials has been modified to comply with this requirement. Exhibit A identifies the current number of trees that are proposed.

Change in the configuration and landscaping of Detention Area #1, due to the overall changes in the subject site.

The following attachments dated September 28, 2006 shall be substituted in place of the previously approved exhibits and drawings and inserted into the main file in anticipation of Part II:


- Landscape Exhibit A
- Overall Site Plan
- Site Plan 1
- Site Plan 2
- Site Plan 3
- Overall Landscape Plan
- Landscape Plan 1
- Landscape Plan 2
- Landscape Plan 3

With regard to your request, the Department of Planning and Development has determined that these revisions do not create an adverse impact on the Planned Development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 966, I hereby approve the foregoing minor change, but no other changes to Business Planned Development No. 966.

Sincerely,



Lori T. Healey 
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD files

UNFINISHED BUSINESS.

BPD 966

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE
OF CHICAGO (CHICAGO ZONING ORDINANCE)
BY RECLASSIFICATION OF AREA SHOWN
ON MAP NUMBER 20-F.
(As Amended)
(Application Number 14109)

On motion of Alderman Burke, the City Council took up for consideration the report of the Committee on Zoning, deferred and published in the *Journal of the Proceedings of the City Council of the City of Chicago* of July 21, 2004, recommending that the City Council pass the proposed ordinance, printed on pages 29047 -- 29110, with the exception of pages 29103, 29106 and 29108, to amend Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, by reclassifying the area shown on Map Number 20-F (Application Number 14109).

On motion of Alderman Banks, the said proposed ordinance was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Flores, Haithcock, Tillman, Preckwinkle, Hairston, Lyle, Beavers, Stroger, Beale, Pope, Balcer, Cárdenas, Olivo, Burke, T. Thomas, Coleman, L. Thomas, Murphy, Rugai, Troutman, Brookins, Muñoz, Zalewski, Chandler, Solis, Ocasio, Burnett, E. Smith, Carothers, Reboyras, Suarez, Matlak, Mell, Colón, Banks, Mitts, Allen, Laurino, O'Connor, Doherty, Natarus, Daley, Tunney, Shiller, Schulter, M. Smith, Moore, Stone -- 48.

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M2-2 General Manufacturing District and M1-2 Restricted Manufacturing District symbols and indications as shown on Map Number 20-F in the area bounded by:

West 83rd Street; a line 1,290.02 feet east of and parallel to South Stewart Avenue, or the line thereof if extended where no street exists; a line 969.81 feet south of West 83rd Street; a line from a point 1,257.34 feet east of South Stewart Avenue extended and 969.81 feet south of West 83rd Street, to a point 1,084.56 feet east of South Stewart Avenue extended and 1,251.19 feet south of West 83rd Street, to be connected by an arc of a circle which is convex with a radius of 353.77 feet for a distance of 337.50 feet; a line from a point 1,084.56 feet east of South Stewart Avenue extended and 1,251.19 feet south of West 83rd Street, to a point 987.77 feet east of South Stewart Avenue extended and 1,318.65 feet south of West 83rd Street; a line from a point 987.77 feet east of South Stewart Avenue extended and 1,318.65 feet south of West 83rd Street, to a point 780.81 feet east of South Stewart Avenue extended and 1,412.95 feet south of West 83rd Street; a line from a point 780.81 feet east of South Stewart Avenue extended and 1,412.95 feet south of West 83rd Street, to a point 562.81 feet east of South Stewart Avenue extended and 1,696.45 feet south of West 83rd Street, to be connected by a concave line on an arc having a radius of 273.04 feet; a line from a point 562.81 feet east of South Stewart Avenue extended and 1,696.45 feet south of West 83rd Street, to a point 541.36 feet east of South Stewart Avenue extended and 1,891.88 feet south of West 83rd Street; a line 541.36 feet east of South Stewart Avenue extended; a line from a point 541.36 feet east of South Stewart Avenue extended and 1,977.79 feet south of West 83rd Street, to a point 501.81 feet east of South Stewart Avenue extended and 2,031.45 feet south of West 83rd Street, to be connected by a convex line on an arc with a radius of 396.37 feet and having a distance of 94.44 feet; a line from a point 501.81 feet east of South Stewart Avenue extended and 2,031.45 feet south of West 83rd Street, to a point 452.81 feet east of South Stewart Avenue extended and 2,167.45 feet south of West 83rd Street; a line 452.81 feet east of South Stewart Avenue extended; a line from a point 452.81 feet east of South Stewart Avenue extended and 2,277.83 feet south of West 83rd Street, to a point 522.48 feet east of South Stewart Avenue extended and 2,457.83 feet south of West 83rd Street; a line from a point 522.48 feet east of South Stewart Avenue extended and 2,457.83 feet south of West 83rd Street, to a point 552.69 feet east of South Stewart Avenue extended and the north right-of-way line of West 87th Street; the north right-of-way line of West 87th Street; a line from a point 503.97 feet east of South Stewart Avenue extended and the north right-of-way line of West 87th Street, to a point 386.02 feet east of South Stewart Avenue extended and 150.02 feet north of the northerly right-of-way line of West 87th Street; the southeasterly right-of-way line of South Holland Road; the northeasterly right-of-way line of South Holland Road; the northwesterly right-of-way line of South Holland Road; a line from a point 340.81 feet east of South Stewart Avenue extended and 2,450 feet south of West 83rd Street, to a point 293.23 feet east of South Stewart Avenue extended and 2,401.23 feet south of West 83rd Street; a line from a point 293.23 feet east of South Stewart Avenue extended and 2,401.23 feet south of West 83rd Street, to a point 220.81 feet east of South Stewart Avenue extended

and 2,201.11 feet south of West 83rd Street, to be connected by a convex line along an arc of 220.88 feet having a radius 1,432.69 feet; a line from a point 220.81 feet east of South Stewart Avenue extended and 2,201.11 feet south of West 83rd Street, to a point 1,921.45 feet south of West 83rd Street and 150.23 feet east of South Stewart Avenue extended; a line from a point 150.23 feet east of South Stewart Avenue and 1,921.45 feet south of West 83rd Street, to a point 120.41 feet east of South Stewart Avenue extended and 1,791.45 feet south of West 83rd Street, to be connected by a convex line having an arc length of 104.74 feet and a radius of 342.26 feet; a line from a point 120.41 feet east of South Stewart Avenue extended and 1,791.45 feet south of West 83rd Street, to a point 115.25 feet east of South Stewart Avenue extended and 1,734.77 feet south of West 83rd Street; a line from a point 115.25 feet east of South Stewart Avenue extended and 1,734.77 feet south of West 83rd Street, to a point 100 feet east of South Stewart Avenue extended and 1,621.45 feet south of West 83rd Street, to be connected by a concave line with an arc length of 78.80 feet having a radius of 376.26 feet; a line from a point 100 feet east of South Stewart Avenue extended and 1,621.45 feet south of West 83rd Street, to a point 1,311.45 feet south of West 83rd Street and 10.84 feet east of the west right-of-way line of South Stewart Avenue, to be connected by a concave arc having a length of 318.83 feet and a radius of 1,163.28 feet; a line 1,311.45 feet south of West 83rd Street; the west right-of-way line of South Stewart Avenue; a line 1,216.6 feet south of West 83rd Street; a line 13 feet east of South Stewart Avenue; a line 1,116.60 feet south of West 83rd Street; and South Stewart Avenue,

to those of a B5-2 General Service District, then to a Business Planned Development, and a corresponding use district is hereby established in the area described above subject to the use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in full force and effect after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Business Planned Development Number ____.

Plan Of Development Statements.

1. The area delineated herein as a Business Planned Development consists of approximately one million eight hundred thirty-four thousand two

hundred eighty-seven (1,834,287) square feet (forty-two and one-tenth (42.1) acres) of net site area which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way Adjustment Map. The property is controlled by the applicant, 83 Venture L.L.C.

2. The applicant ("Applicant") shall obtain all applicable official reviews, approvals or permits which are necessary to implement this planned development. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns, grantees and lessees and, if different than the Applicant, the legal titleholders or any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder or any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors, or by a governmental agency with the power of eminent domain which has designated the property for acquisition.
4. This plan of development consists of the following eighteen (18) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; Existing Land-Use Map; a Site and Landscape Plan; Landscape Guidelines; Signage Guidelines; Architectural Design Guidelines and Conceptual Building Elevations prepared by Otis Koglin Wilson Architects dated February 19, 2004. Full size sets of the Site/Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated herein and these and no other zoning controls shall apply. The planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The uses permitted within the area delineated herein as a "Business Planned Development" shall be all uses permitted in a B5-1 General Service District including, but not limited to, retail, office, banks and restaurant uses including "drive-through" facilities and accessory parking which may include facilities as defined in Section 5.11-1 of the Chicago Zoning Ordinance. Accessory parking lots shall not be used for the seasonal sale of merchandise by the applicant, its successors and assigns, grantees or lessees.
6. The Applicant acknowledges that all subsequent buildings and outlots must be constructed in accordance with Landscape Guidelines, Signage Guidelines, Architectural Design Guidelines and Conceptual Building Elevations prepared by Otis Koglin Wilson Architects dated February 19, 2004, and approved by the Department of Planning and Development.
7. Identification and other necessary signs, including temporary construction signs, may be permitted within the area delineated herein as a "Business Planned Development", subject to the review and approval of the Department of Planning and Development. The Department of Planning and Development supports and approves the use of monument signs within the boundaries of this Business Planned Development and certain monument signs located immediately adjacent to said planned development boundaries as depicted on the site and landscaping plan. These monument signs, identifying the Applicant's tenants shall not exceed a maximum height of fifteen (15) feet.
8. Off-street parking and off-street loading facilities shall be provided in compliance with this planned development, subject to the review of the Departments of Transportation and Planning and Development. The minimum number of off-street parking spaces shall be determined in accordance with the attached Bulk Regulations and Data Table. Within the boundaries of this business planned development, the number of all handicapped parking spaces shall comply with the Illinois Accessibility Code.
9. Ingress and egress shall be subject to the review and approval of the Department of Transportation -- Bureau of Traffic and the Department of Planning and Development. The Applicant will be installing new signalization equipment along West 83rd Street and West 87th Street in an effort to improve the timing of the signals along those rights-of-way. In addition, the Applicant will be constructing and dedicating South Holland Road and West 85th Street. The new roadways and updated equipment will support the increase in traffic that will occur as a result of this development. All work in the public way must be designed and

constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation.

10. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.
11. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
12. Improvements on the property, including landscaping and all entrances and exits to the parking areas, shall be designed and installed in substantial conformance with the Site/Landscape Plan, Green Roof Plan, Building Elevations and the Bulk Regulations and Data Table attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Site/Landscape Plan and the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Furthermore, new sidewalks adjacent to the property shall be installed consistent with applicable provisions of the City of Chicago, Municipal Code.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted, pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
14. Improvements to be constructed in accordance with this planned development, for which building elevations are not currently developed, shall be designed in a manner that is compatible with the character of the elevations incorporated herein. Architectural features and

design character shall be consistent with the Landscape Guidelines, Signage Guidelines, Architectural Design Guidelines and Conceptual Building Elevations prepared by Otis Koglin Wilson Architects dated February 19, 2004 and incorporated as exhibits to this planned development, and shall be in substantial conformance with the Site/Landscape Plan. All Green Roofs will be constructed once building structures are completed. The Commissioner of Planning and Development shall determine whether the improvements, for which no elevations are currently available, comply with the requirements of compatibility during the Part II Approval stage.

15. All buildings with an available roof area (i.e., conditioned space only; less rooftop equipment, walkways and workspace areas, skylights and mechanical equipment requiring curbs and/or separation from soil and plants) equal to or greater than ten thousand (10,000) square feet shall be constructed with a minimum of fifty percent (50%) green roof as to such available roof area. All buildings with an available roof area (as defined above) under ten thousand (10,000) square feet shall be exempt from a green roof requirement.
16. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the property in a manner generally consistent with the Leadership in Energy and Environment Design Green Building Rating System ("L.E.E.D.S."). In addition, one (1) building providing a green roof, within this business planned development shall be "certified" in accordance with L.E.E.D.S. certification standards.
17. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the Applicant and after a determination is made by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
18. Unless substantial construction has commenced within six (6) years following adoption of this planned development and unless completion is thereafter diligently pursued, then this planned development shall expire

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and the zoning of the property shall automatically revert to the prior M1-2 Restricted Manufacturing District and M2-2 General Manufacturing District.

[Existing Zoning Map; Land-Use Map; Boundary Plan; Right-of-Way Plan; Overall Site Plan; Site Plan; Overall Landscape Plan; Landscape Plan; Landscape Detail; Fence Plan; Conceptual Fence Elevations; Landscape Setback Plan; Right-of-Way Sections; Conceptual Entrance Gateway Elevation; Conceptual Entrance Gateway Plan and Elevation; Monument Sign -- Detail Plan; Conceptual Entry Retail Building Elevations; Conceptual Lowe's Building Elevation; Conceptual Retail Building Elevations; Lowe's Floor Plan; Lowe's Green Roof Plan; and Green Roof Plan referred to in these Plan of Development Statements printed on pages 32872 through 32899 of this *Journal*.]

Bulk Regulations and Data Table, Architectural Design Criteria for the Chatham Market, Landscape Criteria for the Chatham Market and Signage Criteria for the Chatham Market attached to these Plan of Development Statements read as follows:

Business Planned Development Number 966

Bulk Regulations And Data Table.

| | |
|---|--|
| Gross Site Area: | 2,185,877 square feet (50.18 acres) |
| Net Site Area: | 1,834,287 square feet (42.1 acres) |
| Public Right-of-Way Area: | 350,222 square feet (8.07 acres) |
| Maximum Floor Area Ratio: | 0.35 |
| Minimum Number of Off-Street Loading Spaces: | 8 |

| | |
|---|---------------|
| Minimum Number of Off-Street Parking Spaces: | 1,650 |
| Maximum Building Height: | |
| Retail Buildings: | 60 feet |
| Office Buildings: | 65 feet |
| Minimum Required Setbacks: | Per Site Plan |

*Architectural Design Criteria For
The Chatham Market.*

The complex of buildings comprising the Chatham Market development is intended to establish a campus of compatibly designed retail buildings that present a pedestrian and neighborhood friendly environment. To that end, the following general design principles should be followed:

- A generally uniform palette of materials and architectural language should be used on all buildings.
- Architectural massing, landscaping and distinctive features should be used to reinforce spatial relationships between buildings.
- An "urban" relationship of building to street is desired.
- Distinctive building massing, such as corner detailing, roof shapes and large window openings should relate to circulation routes, view corridors and vistas to help in a natural sense of orientation and way-finding through the development and community.

Exterior Walls.

The exterior walls and/or roof construction shall be tall enough to screen all mechanical equipment and devices from all elevation views.

The predominant exterior wall material shall be face brick on all sides of the building. A minimum of two (2) colors of brick or an alternate material such as metal panels, as selected by the master site architect, shall be used on all faces of the building. (See specifications below).

Precast concrete or cast stone, to match color and texture as selected by the master site architect, shall be used on all walls in the following locations:

- Bottom eighteen (18) inches of wall, with a projected sill.
- Belt course eight (8) inches in height located below the head height of the primary storefronts.
- Double belt course located below the cornice/coping detail.
- Cast stone or precast concrete coping (with soldier course detailing below) is encouraged. Prefinished aluminum coping will be permitted if appropriate.

No side or back wall of the building shall have an uninterrupted length of wall longer than forty-five (45) feet, without a pilaster or other change in plane of at least four (4) inches or a change in material or material color. Likewise, no coping shall be uninterrupted in height for longer than sixty-five (65) feet without a pilaster capital projecting at least six (6) inches above the adjacent parapet or other change in plane of at least six (6) inches.

On side elevations facing a street, public parking area or residential area and rear elevations facing West 83rd Street, display windows no less than eight (8) feet by ten (10) feet, or metal garden trellis structures of similar size shall be placed at no less than fifty (50) feet on center. Climbing plant material shall be provided at all trellises.

Building fronting West 83rd Street and South Holland Road (with the exception of buildings over fifteen thousand (15,000) square feet) shall be constructed predominately of modular size masonry bricks. The following masonry material may be used:

Sioux City, colors: Coppertone Velour, Cranberry Velour.

Kansan brick and tile, colors: Dark Saxon, Mingle Saxon.

Renaissance stone, color to be submitted for review.

Alternate manufacturers may be submitted for review as alternates.

Buildings over sixty-five thousand (65,000) square feet shall be permitted to use C.M.U. masonry no larger than sixteen (16) inches wide by four (4) inches high. Manufacturers of this material are Harvard Brik and Quik Brik. The color of this

material must match the brick masonry colors selected above. The tenant shall submit samples and color elevations to the developer for review and approval.

Concrete Masonry Units ("C.M.U.") shall not be permitted to use as an exterior finish material on buildings under sixty-five (65,000) square feet.

Main Entrance Facade.

The main entry and branding architectural features shall occupy no more than thirty percent (30%) of the primary facade. The design of the main entry should express a large area of transparent storefront. The main facade should also have additional storefront openings or display windows, generally no less than thirty (30) feet on center. The architecture of the main entry should project in front of the main part of the facade by no less than five (5) feet and above the dominant roof height by no less than five (5) feet.

Roofing.

Where sloping roof features are desired as a defining architectural feature of a building, a standing seam metal system shall be used. Color shall be selected from a range established by the master site architect.

Accent Lighting.

Accent lighting fixtures, matching those selected by the master site architect shall be integrated into the main entry elevation. Additional accent light fixtures may be added at the building tenant/developer's discretion but must match those selected by the master site architect.

Site Furniture/Site Lighting.

Site furniture (trash cans, benches, bike racks) shall be provided by the tenant to match the owner's approved specifications and quantities. Site lighting shall be provided by the tenant to match the owner's approved specification and height requirement.

Fencing.

Black decorative fencing will be required in areas specified on the site plan. Decorative fence shall match the design of the fence as shown on the landscape drawings. Street/parking lot fences shall be four (4) feet, zero (0) inches high. Decorative fences around detention areas shall be six (6) feet, zero (0) inches high.

Review And Approval.

Tenant designs must be submitted to the developer for review and approval of exterior design and signage. Approval of the design by the developer does not imply or grant approval from the City of Chicago as part of the required Part II approval process. Tenant is to submit three (3) color elevations and three (3) black and white elevations for review. Provide elevations for all sides of the building. The developer will review and return one (1) set of documents to the tenant within ten (10) working days of receipt of package. All drawings must be a minimum of one-eighth ($\frac{1}{8}$) inch equals one (1) foot, zero (0) inches. Black and white elevations must minimally indicate: building materials and sizes, overall and parapet heights, opening sizes, sign size and locations, wall sconces, et cetera. Also submit three (3) copies of the dimensioned floor plan at a minimum of one-eighth ($\frac{1}{8}$) inch equals one (1) foot, zero (0) inches.

Note: Where conflicts occur between the Architectural Design Criteria and the conceptual elevations of the P.U.D., the conceptual elevations shall dictate. Tenants over sixty-five thousand (65,000) square feet shall follow the conceptual elevations and use this criteria as reference for design.

Landscape Criteria For The Chatham Market.

This criteria has been established for the purpose of assuring uniform landscaping to enhance Chatham Market's visual impact and for the mutual benefit of all tenants. These guidelines are written based on the requirements set forth by the Chicago Landscape Ordinance ("C.L.O."). Where any item is unclear in this criteria, please refer to the C.L.O. for further detail. This landscape package is a detailed supplement to the C.L.O. and whose intent is to focus the ordinance for this development. Conformity to the Chatham Market Landscape Criteria and the C.L.O. will be strictly enforced. Any installed nonconforming or unapproved plant material must be brought into conformance at the sole expense of the Tenant.

Perimeter Landscape.

This area consists of the landscaping along West 83rd Street, South Wentworth Avenue and South Stewart Avenue. Planting areas addressed in this area are the parkway and required landscape setback.

Parkway Planting: one (1) tree per twenty-five (25) of linear feet of frontage on a public right-of-way. Two and one-half ($2\frac{1}{2}$) inch minimum caliper trees are

required. Refer to Appendix A for approved tree species. All plant material planted in parkway should be salt tolerant.

Landscape Setback: A seven (7) foot wide perimeter landscape area is required (two (2) foot car overhang, five (5) foot landscape area). Vehicular use areas will be screened by a four (4) foot high ornamental fence and landscape screening consisting of shrubs and groundcover. Tree planting is required in the perimeter landscape setback. The same spacing or quantity as parkway planting is required, see Appendix A for approved shrub and groundcover species.

Holland Road Corridor.

The Holland Road Corridor is planned to have an individual identity. Plant material selected will be unique to this section of the development and will create a distinctive axis through the project. The use of ornamental fencing in conjunction with selected plant materials will further enhance the character of this corridor. The parkway and landscape setback planting requirements are the same as the perimeter landscaping requirements, but different materials will be used. Approved plant materials can be found in Appendix B of this document.

Outlot Landscape.

The landscape criteria for the perimeter areas and South Holland Road reinforce an inviting atmosphere for the development. A palette of plant materials has been set forth to create the feeling of one comprehensive development. With that in mind, the outlot parcels should contain materials reflective of this vision.

Interior Parking Lot Landscaping: Refer to the Chicago Landscape Ordinance for the required amount of interior landscaping, minimum sizes and number of required trees. The landscaped parking lot islands should contain both trees and groundcover treatment. All interior parking lot islands shall be planted with living groundcovers that are salt tolerant. Refer to Appendix C for approved tree, shrub and groundcover species.

Foundation Planting: All buildings should have foundation plantings covering at least fifty percent (50%) of their exterior walls. Plants shall be required where applicable along the rear of the buildings to create a softer edge, especially for the long expanse of wall proposed by larger tenants. Adequate screening of trash receptacles, compactors, et cetera, requires a six (6) foot high masonry wall with opaque, lockable gates and vines planted in minimum of twelve (12) inch beds. Additional plants are encouraged.

Plant Materials: A large plant palette has been created for the impending landscape areas to provide a wider range of styles for each tenant. Parking lot, streetscapes and perimeter plantings will provide unity to the space through distinctive yet cohesive palettes. Thus, customization of the outlot landscapes will help create individual identities within the larger development. Please refer to Appendix C for the plant material options.

Site Amenities: Where tenants have an opportunity, benches, bike racks and trash receptacles shall be provided. Tenants over fifty thousand (50,000) square feet of gross floor area shall be required to incorporate these elements into their site plans.

Quantity.

| | |
|------------------|--|
| 10,000 -- 50,000 | two (2) bike racks, one (1) bench (to be located near building entrance) |
| 50,001 and over | three (3) bike racks, two (2) benches (to be located near building entrance) |

Common Area Landscape.

For appropriate landscape materials, refer to Appendices A or C.

Maintenance.

See the Chicago Landscape Ordinance. Refer to Chapter 7 -- Maintenance and Warranty and Appendix F -- Landscape Maintenance Schedule.

Note: Where conflicts occur between the Landscape Criteria and the conceptual landscaping plan of the P.U.D., the master architect shall determine which shall dictate. Tenants over sixty-five thousand (65,000) square feet shall follow the conceptual landscape plan and use these criteria as reference for acceptable plant materials.

[Site Amenities drawing attached to these Landscape Criteria for the Chatham Market printed on page 32863 of this *Journal*.]

Appendices "A", "B" and "C" referred to in these Landscape Criteria for the Chatham Market read as follows:

Appendix "A".
(To Landscape Criteria For Chatham Market)

Perimeter Plantings/Public Right-Of-Way Plantings.

Recommended Species.

| Botanical Name | Common Name |
|--|------------------------------------|
| Street Trees: | |
| Celtis occidentalis spp. | Hackberry |
| Ginkgo biloba | Male Ginkgo Tree |
| Gleditsia tricanthos var. inermis spp. | Seedless, Thornless Honeylocust |
| Quercus bicolor | Swamp White Oak |
| Quercus imbricaria | Shingle Oak |
| Quercus macrocarpa | Bur Oak |
| Quercus robur | English Oak |
| Tilia spp. | Linden |
| Hedge Materials: | |
| Berberis thunbergii spp. | Barberry |
| Euonymus alata 'Compacta' | Compact Burning Bush |

| Botanical Name | Common Name |
|--------------------------------------|-----------------------------------|
| <i>Juniperus chinensis</i> spp. | Juniper |
| * <i>Rosa rugosa</i> 'Hansa' | *Rugosa Rose |
| <i>Thuja occidentalis</i> spp. | Arborvitae |
| <i>Viburnum trilobum</i> spp. | Compact American Cranberrybush |
| Groundcover: | |
| <i>Cotoneaster horizontalis</i> spp. | Rock Spray Cotoneaster |
| <i>Euonymus fortunei</i> 'Coloratus' | Purple Leaf Wintercreeper |
| <i>Geranium macrorrhizum</i> spp. | Bigroot Geranium |
| <i>Hedera helix</i> spp. | English Ivy |
| <i>Juniperus horizontalis</i> spp. | Creeping Juniper |
| * <i>Liriope spicata</i> spp. | *Creeping Lilyturf |
| * <i>Nepeta</i> spp. | *Catmint |
| <i>Pachysandra terminalis</i> spp. | Japanese Pachysandra |
| <i>Polygonum</i> spp. | Polygonum |
| <i>Rhus aromatica</i> 'Gro-low' | Gro-low Sumac |
| * <i>Sedum</i> spp. | *Stonecrop |
| <i>Vinca minor</i> spp. | Periwinkle |

* Denotes Salt-Tolerant Plant

Notes:

- Certain species listed above require a more sheltered planting environment and project owners are advised to seek advice when selecting plants.
- Some species may be removed from the list above due to insect and disease quarantines. Check with the City of Chicago Department of Forestry for current host/not-approved species.

Appendix "B".
(To Landscape Criteria For Chatham Market)

South Holland Road Perimeter Plantings.

Recommended Species.

| Botanical Name | Common Name |
|--------------------------|----------------------------|
| Trees: | |
| Acer saccharum spp. | Sugar Maple |
| Amelanchier spp. | Serviceberry (tree form) |
| Pyrus calleryana spp. | Flowering Pear (tree form) |
| Quercus rubrum | Red Oak |
| Hedge Materials: | |
| Caragana arborescens | Siberian Pea Shrub |
| Juniperus chinensis spp. | Juniper |
| Ligustrum spp. | Privet |
| Ribes alpinum spp. | Alpine Currant |

| Botanical Name | Common Name |
|--------------------------------------|---------------------------|
| * <i>Rosa rugosa</i> 'Hansa' | *Rugosa Rose |
| <i>Syringa meyeri</i> spp. | Meyer's Lilac |
| <i>Syringa patula</i> 'Miss Kim' | Miss Kim Lilac |
| <i>Thuja occidentalis</i> spp. | Arborvitae |
| Groundcover: | |
| <i>Cotoneaster horizontalis</i> spp. | Rock Spray Cotoneaster |
| <i>Euonymus fortunei</i> 'Coloratus' | Purple Leaf Wintercreeper |
| <i>Geranium macrorrhizum</i> spp. | Bigroot Geranium |
| <i>Hedera helix</i> spp. | English Ivy |
| <i>Juniperus horizontalis</i> spp. | Creeping Juniper |
| * <i>Liriope spicata</i> spp. | *Creeping Lilyturf |
| * <i>Nepeta</i> spp. | *Catmint |
| <i>Pachysandra terminalis</i> spp. | Japanese Pachysandra |
| <i>Polygonum</i> spp. | Polygonum |
| <i>Rhus aromatica</i> 'Gro-low' | Gro-low Sumac |
| * <i>Sedum</i> spp. | *Stonecrop |
| <i>Vinca minor</i> spp. | Periwinkle |

*Denotes Salt-Tolerant Plant

Notes:

- Certain species listed above require a more sheltered planting environment and project owners are advised to seek advice when selecting plants.
- Some species may be removed from list above due to insect and disease quarantines. Check with the City of Chicago Department of Forestry for current host/not-approved species.

Appendix "C".
(To Landscape Criteria For Chatham Market)

Internal Site Plantings/Common Area Plantings.

Recommended Species.

| Botanical Name | Common Name |
|--|------------------------------------|
| Trees: | |
| Abies spp. | Fir |
| Carpinus spp. | Hornbeam (tree form) |
| Celtis occidentalis spp. | Hackberry |
| Corylus spp. | Filbert (tree form) |
| Crataegus spp. | Hawthorn (tree form) |
| Fagus spp. | Beech |
| Ginkgo biloba | Male Ginkgo Tree |
| Gleditsia tricanthos var. inermis spp. | Seedless, Thornless Honeylocust |
| Larix spp. | Larch |
| Metasequoia glyptostroboides | Dawn Redwood |

| Botanical Name | Common Name |
|-----------------------------------|----------------------|
| <i>Ostrya virginiana</i> | Ironwood (tree form) |
| <i>Picea</i> spp. | Spruce |
| <i>Pinus</i> spp. | Pine |
| <i>Quercus</i> spp. | Oak |
| <i>Syringa</i> spp. | Lilac (tree form) |
| <i>Taxodium distichum</i> | Bald Cypress |
| <i>Tilia</i> spp. | Linden |
| <i>Tsuga</i> spp. | Hemlock |
| Shrub Planting Materials: | |
| <i>Aronia</i> spp. | Chokeberry |
| <i>Berberis thunbergii</i> spp. | Barberry |
| <i>Buxus</i> spp. | Boxwood |
| <i>Caragana arborescens</i> | Siberian Pea Shrub |
| <i>Ceanothus americanus</i> | New Jersey Tea |
| <i>Chaenomeles speciosa</i> spp. | Flowering Quince |
| <i>Clethera</i> spp. | Clethera |
| <i>Cornus</i> spp. | Dogwood |
| <i>Euonymus alata</i> 'Compacta' | Compact Burning Bush |
| <i>Euonymus fortunei</i> spp. | Spreading Euonymus |
| <i>Forsythia viridissima</i> spp. | Dwarf Forsythia |
| <i>Fothergilla gardenii</i> | Dwarf Fothergilla |

| Botanical Name | Common Name |
|------------------------------|--------------------|
| Hydrangea spp. | Hydrangea |
| Ilex spp. | Holly |
| Juniperus chinensis spp. | Juniper |
| Ligustrum spp. | Privet |
| Microbiota decussate | Russian Arborvitae |
| Rhododendron 'PJM' varieties | PJM Rhododendron |
| Ribes alpinum spp. | Alpine Currant |
| *Rosa rugosa 'Hansa' | *Rugosa Rose |
| Spiraea spp. | Spiraea |
| Syringa meyeri spp. | Meyer's Lilac |
| Syringa patula 'Miss Kim' | Miss Kim Lilac |
| Thuja occidentalis spp. | Arborvitae |
| Viburnum spp. | Viburnum |
| Weigela spp. | Flowering Weigela |
| Groundcover: | |
| Ajuga spp. | Carpet Bugle |

* Denotes Salt-Tolerant Plant

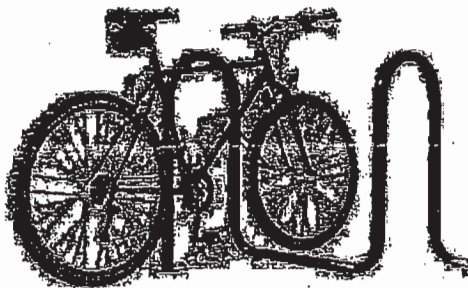
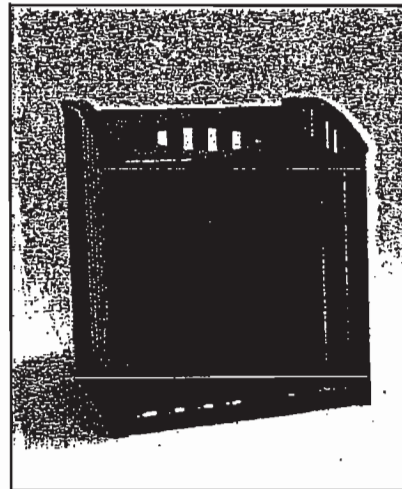
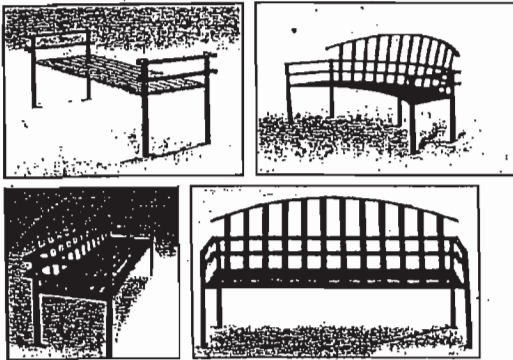
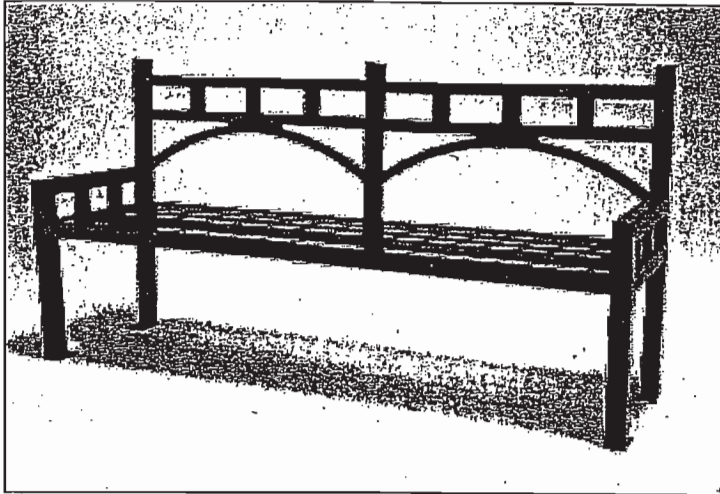
| Botanical Name | Common Name |
|---|---------------------------------|
| Cotoneaster horizontalis spp. | Rock Spray Cotoneaster |
| Euonymus fortunei 'Coloratus' | Purple Leaf Wintercreeper |
| Geranium macrorrhizum spp. Hedera helix spp. | Bigroot Geranium English Ivy |
| Juniperus horizontalis spp. | Creeping Juniper |
| *Liriope spicata spp. | *Creeping Lilyturf |
| *Nepeta spp. | *Catmint |
| Pachysandra terminalis spp. | Japanese Pachysandra |
| Polygonum spp. | Polygonum |
| Rhus aromatica 'Gro-low' | Gro-low Sumac |
| *Sedum spp. | *Stonecrop |
| Vinca minor spp. | Periwinkle |

Notes:

- Certain species listed above require a more sheltered planting environment and project owners are advised to seek advice when selecting plants.
- Some species may be removed from list above due to insect and disease quarantines. Check with the City of Chicago Department of Forestry for current host/not-approved species.

* Denotes Salt-Tolerant Plant

Site Amenities.
(To Landscape Criteria For Chatham Market)



FINAL DESIGN TO BE
SELECTED BY
DEVELOPER.

SITE AMENITIES

Signage Criteria For The Chatham Market.

This criteria has been established for the purpose of assuring uniform signage to enhance Chatham Market's visual impact to the public and for the mutual benefit of all tenants. Conformity will be strictly enforced and any installed nonconforming or unapproved signs must be brought into conformance at the sole expense of the tenant.

Permitted Signage Text.

The tenant's sign(s) shall be limited to the tenant's corporate or official trade name as stated in the lease. The use of a corporate logo or other established corporate insignia is permitted only if specifically approved in writing by the landlord/developer. Taglines or identification of specific products or services are not permitted.

One (1) primary sign is permitted per storefront facing a public space (i.e. street, parking field, open public space and access drives). Tenants located at a building corner are required to provide a minimum number of two (2) primary signs. The maximum number of primary signs per tenant shall be three (3).

Primary Walls Signs.

Signage Size Criteria.

Tenants under ten thousand (10,000) square feet:

- In all cases, the tenant's signage shall be proportional to the scale of the overall building facade. Overall sign lengths shall not be greater than seventy-five percent (75%) of the storefront length or sixteen (16) feet, zero (0) inches, whichever is less.
- Total allowable signable area per tenant shall be four and five-tenths (4.5) square feet for each lineal foot of building frontage on which the sign is being mounted. All fractions of square feet should be rounded down.
- If the signage is primarily (fifty percent (50%) or greater) or entirely composed of upper case letters the maximum height of all letters shall be thirty-six (36) inches.

- If the sign is composed of one (1) upper case letter per word, with the remainder of the letters being lower case then the size of the letters shall be as follows:
 - Upper case letters shall be a maximum of thirty-six (36) inches tall.
 - Lower case letters shall be a maximum of twenty-four (24) inches tall.
 - The lower case letters "f", "g", "j", "p", "q" and "y" shall extend a maximum of eight (8) inches lower than the overall twenty-four (24) inch letter height, so that the total letter height shall be thirty-two (32) inches. This includes signs written in script.

- Logo signage (when approved by landlord/developer) shall be limited to forty-two (42) inches in height. Logo signage shall be defined as a sign that incorporates both the tenant name and logo into the same sign design.

- See attached signage exhibit dated February 19, 2004.

- Awning signage permitted in addition to the signage listed above. Signage will be subject to standards and regulations of the City Signage Ordinance.

Tenants between ten thousand one (10,001) and fifty thousand (50,000) square feet:

- In all cases, the tenant's signage shall be proportional to the scale of the overall building facade. Overall sign lengths shall not be greater than seventy-five percent (75%) of the storefront length or twenty-four (24) feet, whichever is less.

- Total allowable signage area per tenant shall be four and five-tenths (4.5) square feet for each lineal foot of building frontage on which the sign is being mounted. All fractions of square foot should be rounded down.

- If the signage is primarily (fifty percent (50%) or greater) or entirely composed of upper case letters the maximum height of all letters shall be forty-eight (48) inches.

- If the sign is composed of one (1) upper case letter per word, with the remainder of the letters being lower case then the size of the letters shall be as follows:
 - Upper case letters shall be a maximum of forty-eight (48) inches tall.
 - Lower case letters shall be a maximum of thirty-two (32) inches tall.
 - The lower case letters "f", "g", "j", "p", "q" and "y" shall extend a maximum of ten (10) inches lower than the overall thirty-two (32) inch letter height, so that the total letter height shall be forty-two (42) inches. This includes signs written in script.
- Logo signage (when approved by landlord/developer) shall be limited to fifty-six (56) inches in height. Logo signage shall be defined as a sign that incorporates both the tenant name and logo into the same sign design.
- See attached signage exhibit dated February 19, 2004.
- Awning signage permitted in addition to the signage listed above. Signage will be subject to standards and regulations of the City Signage Ordinance.

Tenants over fifty thousand one (50,001) square feet:

- Signage packages for major anchors and tenants over fifty thousand (50,000) square feet will be reviewed on an individual basis to insure conformity with the design intention of Chatham Market. All signage must comply with the Chicago Signage Ordinance.

General Notes.

Signage General Requirements.

All signage is to be of the highest quality construction. Any individual sign over forty (40) square feet must be manufactured using City approved noncombustible materials. Shop fabrication and painting is required. All signs must be of new construction. Reused, renovated and remodeled signs will not be permitted. All attachments, labels, fasteners, mounting brackets, wiring, clips, transformers,

disconnects, lamps and other mechanisms required for the signage will be concealed from view. Light leaks are not permitted. Weep holes are permitted only on exterior signs. All signs must be composed of individually illuminated letters. Letter faces to be colored translucent Plexiglass or equal. Letter return and trim shall be of a contrasting color from the letter face. Returns and trim are to be prefinished aluminum or shop painted aluminum. Exterior signs shall be watertight and comply with all governing code requirements regarding wiring and appropriate illumination equipment. Neither the sign manufacturers name nor logos are permitted to be displayed on or near the sign.

All signs shall bear the U.L. label and their installation shall comply with all governing building and electrical codes and any criteria set forth in this exhibit.

No exposed crossovers or conduit will be permitted.

All conductors, transformers, disconnects and other equipment shall be concealed, except as required for disconnect by governing municipality (which in that case, is to be painted to match the facade).

Electrical service to all signs shall be on tenant's meter.

Sign illumination shall be controlled by a seven (7) day/twenty-four (24) hour time clock located in the rear of the premises. Tenant shall set time clock to coincide with hours determined by the landlord.

Mounting.

All signs must be mounted to a shop painted aluminum raceway/wireway system furnished and installed by the tenant's sign company. Raceways shall be factory painted to match the masonry or E.I.F.S. color on which it is being mounted. (See attached drawing).

Signs not permitted:

Exposed neon signs.

Moving signs.

Blinking or flashing signs.

Signs that emit smells or sounds.

Box signs.

Ancillary Signage.

Credit Card Logos.

Credit card logos are not permitted to be applied to either the storefront or the building facades.

Store Hour Signage.

The overall store hour signage may be a maximum of fourteen (14) inches high and ten (10) inches wide. Letters and numbers shall be a maximum of one (1) inch high. The use of advertising logos other than the tenant's name shall not be permitted. Letters shall be vinyl applied or professionally painted to the inside face of the storefront glass. Store hour signage shall consist of one (1) color only.

Rear Door Identification.

At tenant's rear service door, tenant shall provide a sign, approved by the landlord, at the tenant's expense and in accordance with local codes. Such sign shall be Helvetica medium, two (2) inches maximum centered on door at six (6) feet, zero (0) inches height in tenant's name only. Tenant shall not permit anyone to place or otherwise create any additional signage at, on or around the rear service door. Any violation of this prohibition, corrective measures and/or fine shall be tenant's sole responsibility and expense.

Address.

House number address shall be six (6) inches high black vinyl numbers applied to the exterior face of the glass. Address shall be centered directly above tenant's door.

Interior Signage.

Floor signs, interior hanging signs, et cetera, visible from outside the tenant's space, but within the tenant's lease line in its storefront, are prohibited unless approved in writing by the landlord.

Advertising/Temporary Signage.

Except as provided herein, no advertising placards, banners, pennants, "Grand Opening", "Now Open", names, insignias, trademarks or other descriptive

materials shall be affixed or maintained upon the glass panes and supports of the show windows and doors, or upon the exterior walls of building or storefront unless approved in writing by the landlord/developer.

Procedure/Administration.

Approval.

Approval of the tenant sign shop drawing and its design by the landlord/developer does not constitute approval by governing local authorities. Tenant's sign company is responsible to obtain governing codes and ordinances as may be applicable from authorities having jurisdiction. The landlord is not responsible for providing the tenant or the sign company governing sign ordinances. Tenant shall submit one (1) set of reproducible drawings and three (3) sets of bond drawings of the sign shop drawings for review and approval by the landlord. Fabrication or installation of the tenant's signage shall not commence before the landlord's approval of the sign shop drawings. The tenant is responsible to obtain sign and electrical permits as may be required by local jurisdiction. These sign criteria are not meant as a substitute for governing sign ordinances. Local codes and ordinances shall take precedence.

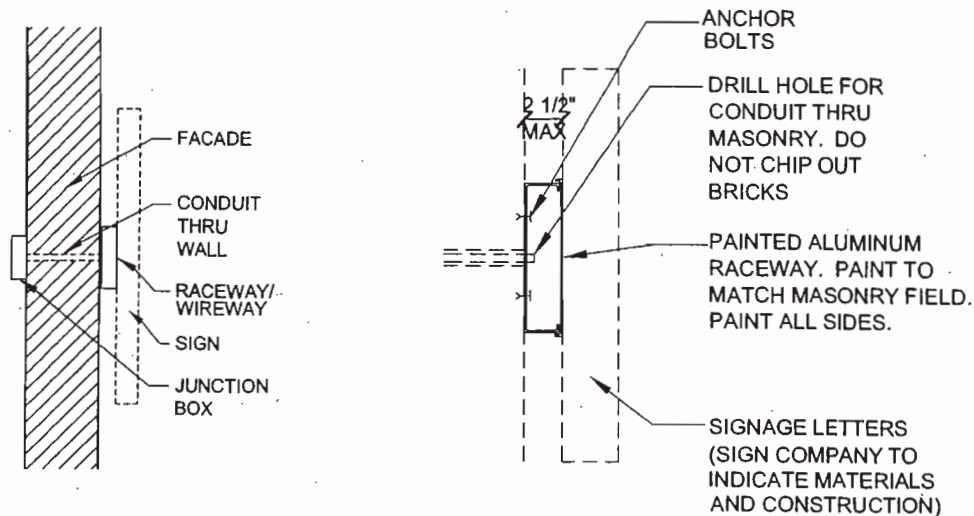
Sign Shop Drawings.

Tenant shall submit for landlord's/developer's approval plans and specifications indicating the signs, including all lettering and/or graphics. Prior to sign fabrication, tenant shall submit to landlord drawings, specifications, materials and color for the proposed sign work. Sign shop drawings shall clearly indicate 1) the location and size of all signs on the facade (minimum scale one-eighth (1/8) inch equals one (1) foot, zero (0) inches size); 2) provide a section or sections through the signs; 3) identify the materials and construction; 4) provide complete information on installation; 5) the location and size of all penetrations for conduit sleeves and supports and shall indicate all construction and attachments.

[Signage drawings attached to these Sign Criteria
for the Chatham Market printed on pages
32870 through 32871 of this *Journal*.]

Signage Exhibit.

Tenants Under 10,000 Square Feet.
(To Signage Criteria For Chatham Market)



WALL SECTION
NO SCALE

DETAIL SECTION
NO SCALE



ELEVATION
NO SCALE

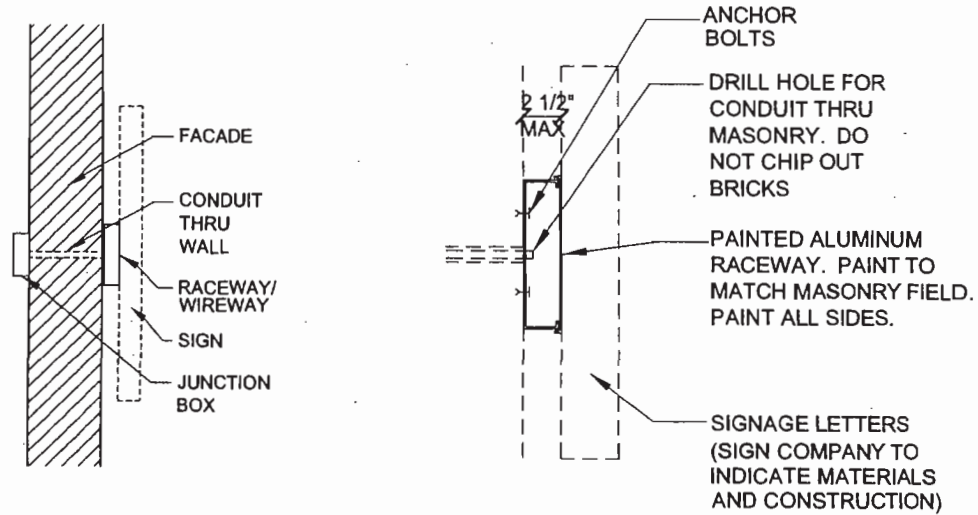
NOTE:

1. VERIFY WITH GOVERNING AUTHORITIES PERMISSIBLE SIGN HEIGHTS AND AREA.
2. SUBMIT SIGN SHOP DRAWING TO LANDLORD SHOWING ALL DIMENSIONS, COLORS, AND MATERIALS. SHOP DRAWING SHALL SHOW SIGN LOCATION ON BUILDING. SHOP DRAWINGS ARE TO BE SUBMITTED PRIOR TO FABRICATION.

3. IT IS THE SIGN CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL APPLICABLE PERMITS.

Signage Exhibit.

Tenants Between 10,001 And 50,000 Square Feet.
(To Signage Criteria For Chatham Market)



WALL SECTION
NO SCALE

DETAIL SECTION
NO SCALE



ELEVATION
NO SCALE

MOUNT LETTER
TO RACEWAY/
WIREWAY

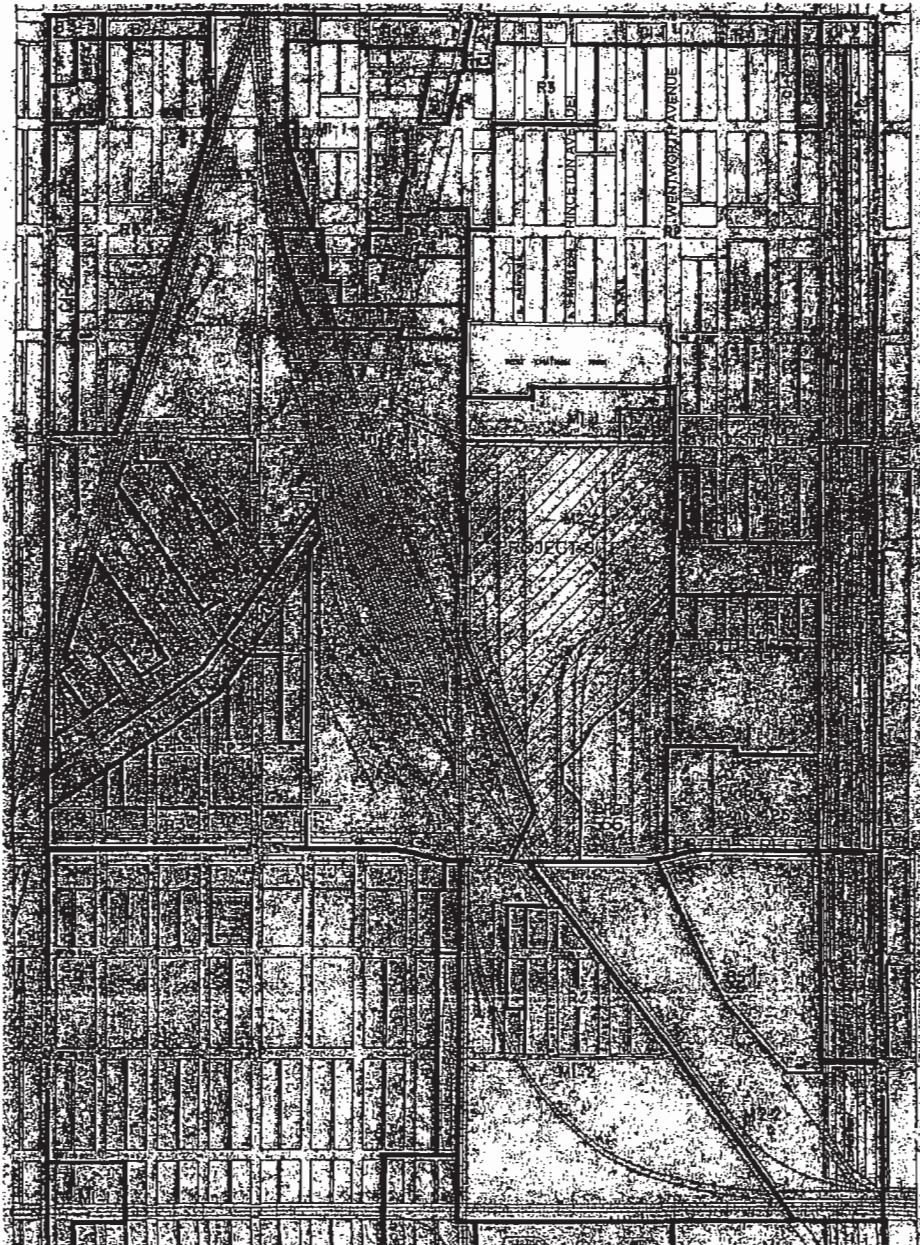
NOTE:

1. VERIFY WITH GOVERNING AUTHORITIES PERMISSIBLE SIGN HEIGHTS AND AREA.
2. SUBMIT SIGN SHOP DRAWING TO LANDLORD SHOWING ALL DIMENSIONS, COLORS, AND MATERIALS. SHOP DRAWING SHALL SHOW SIGN LOCATION ON BUILDING. SHOP DRAWINGS ARE TO BE SUBMITTED PRIOR TO FABRICATION.

3. IT IS THE SIGN CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL APPLICABLE PERMITS.

SIGNAGE EXHIBIT
TENANTS BETWEEN
10,001 AND 50,000 SF

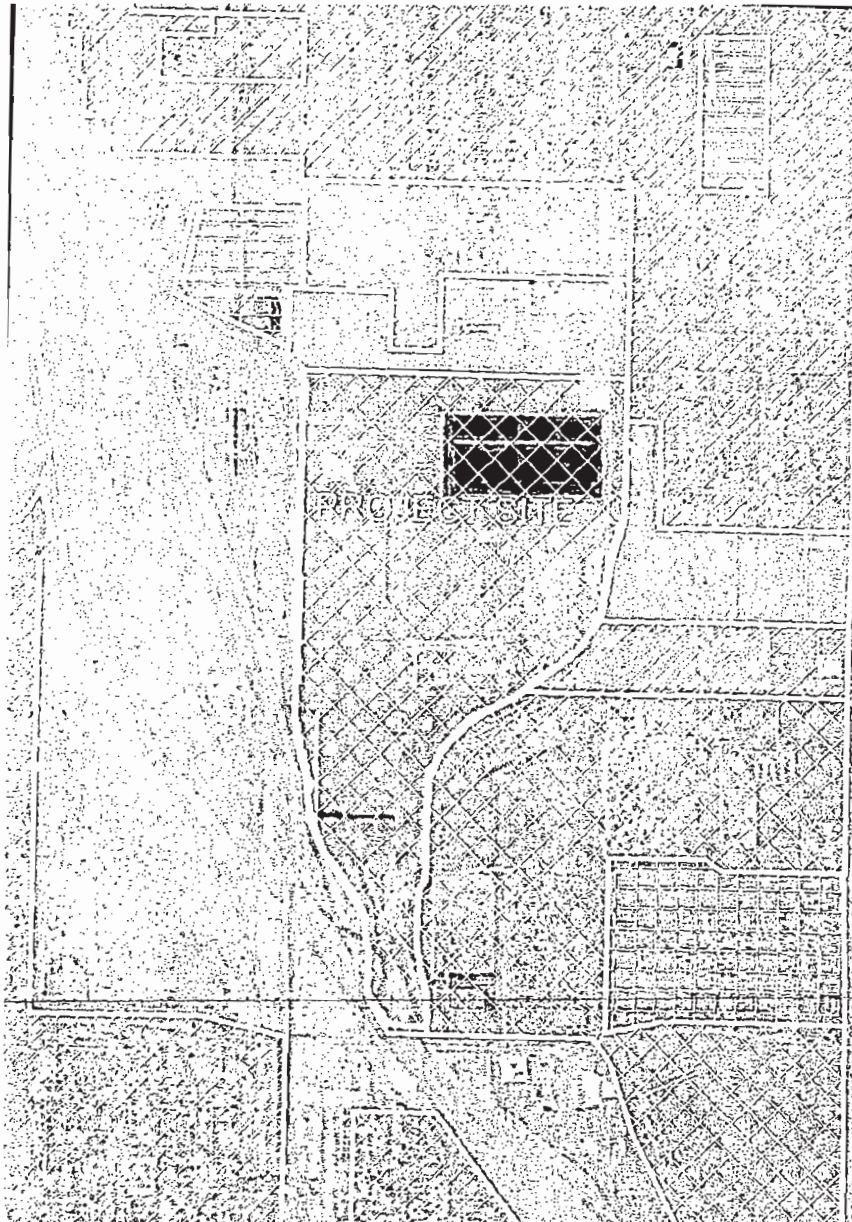
Zoning Map.



ZONING MAP
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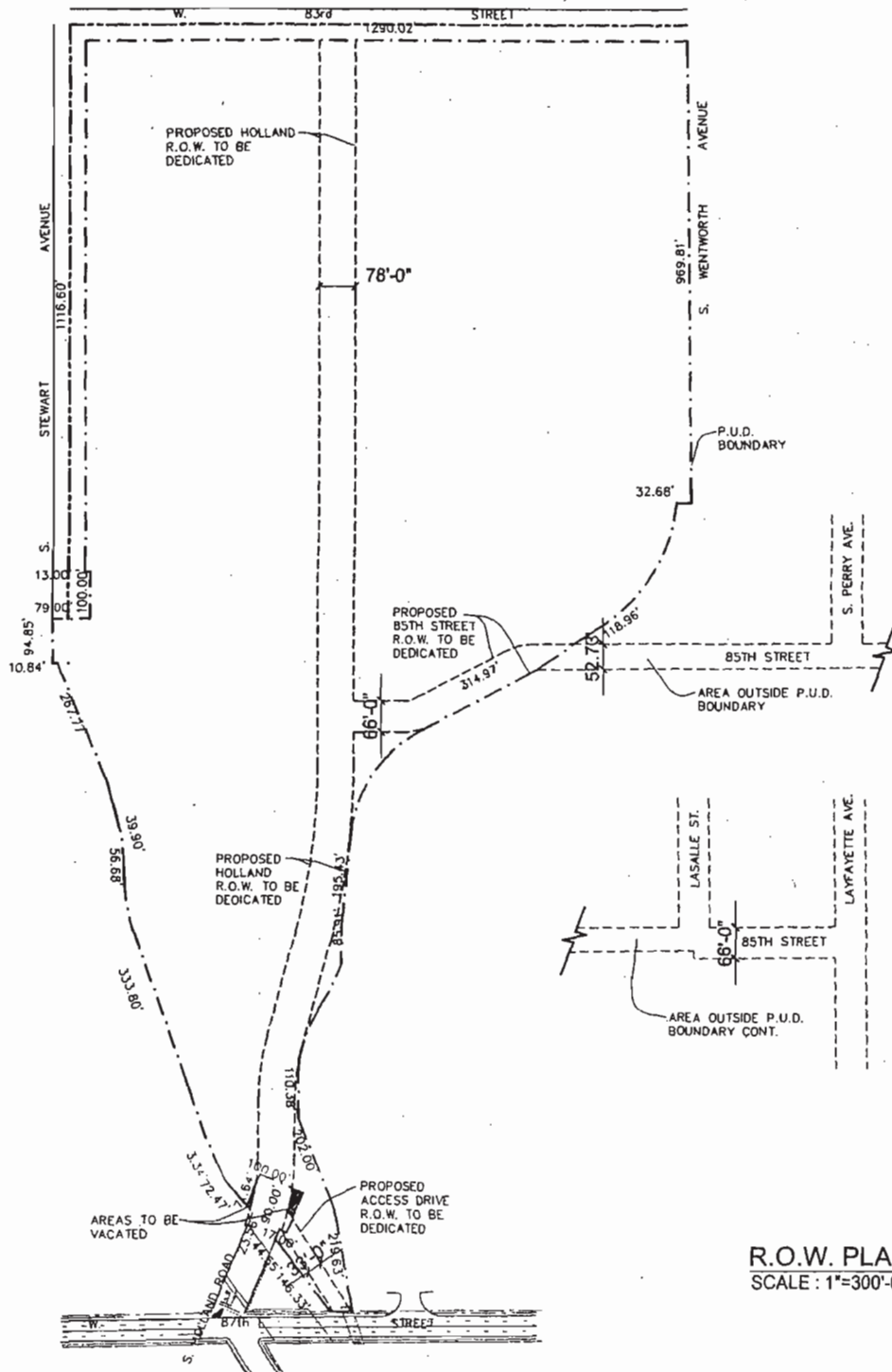


Land-Use Map.



-  RESIDENTIAL
-  BUSINESSES
-  COMMERCIAL
-  MANUFACTURING
-  GREEN SPACE
-  SCHOOLS

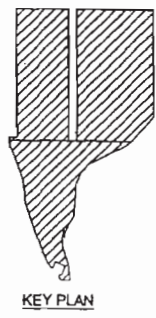
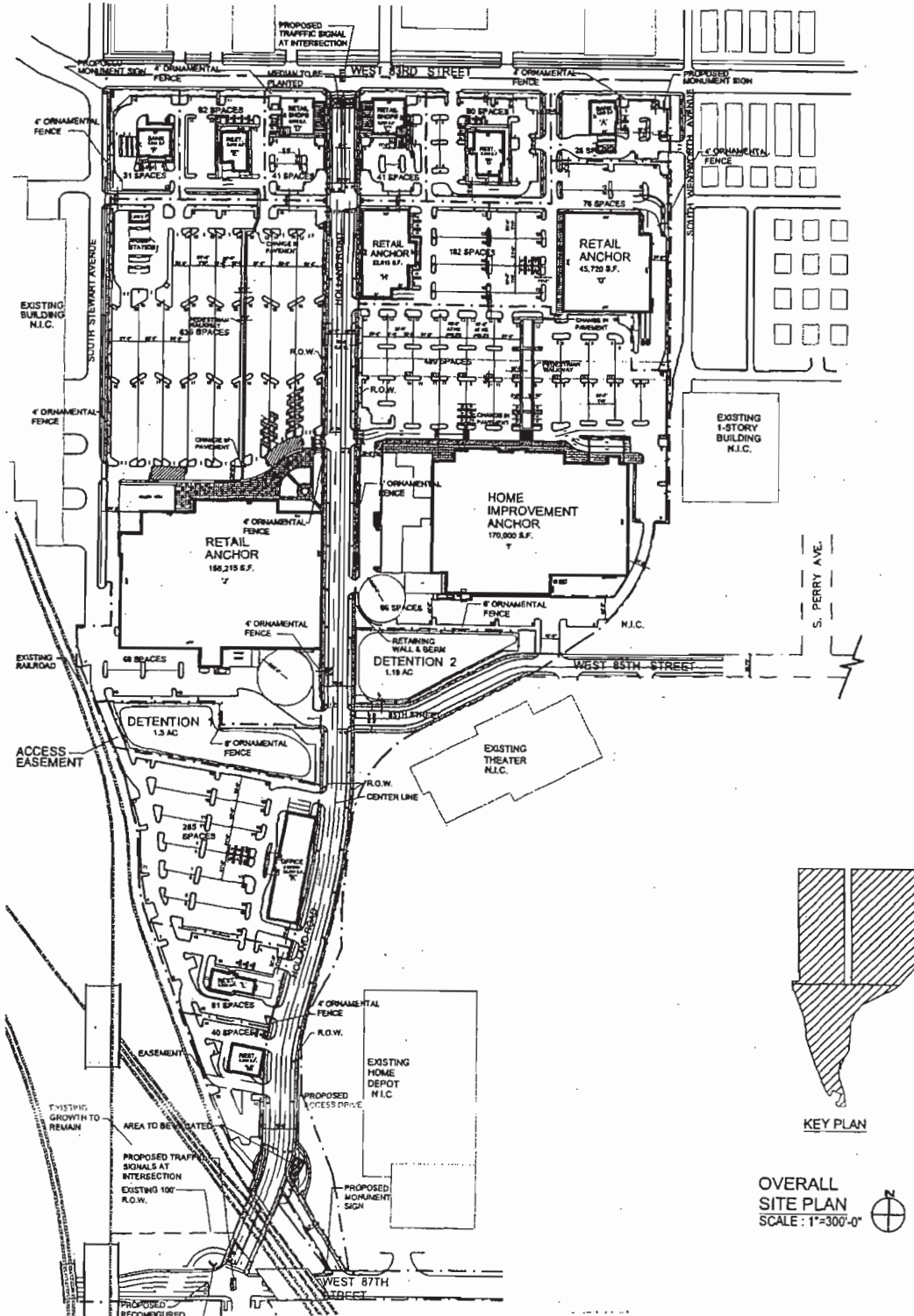
Right-Of-Way Plan.



R.O.W. PLAN
SCALE: 1"=300'-0"



Overall Site Plan.

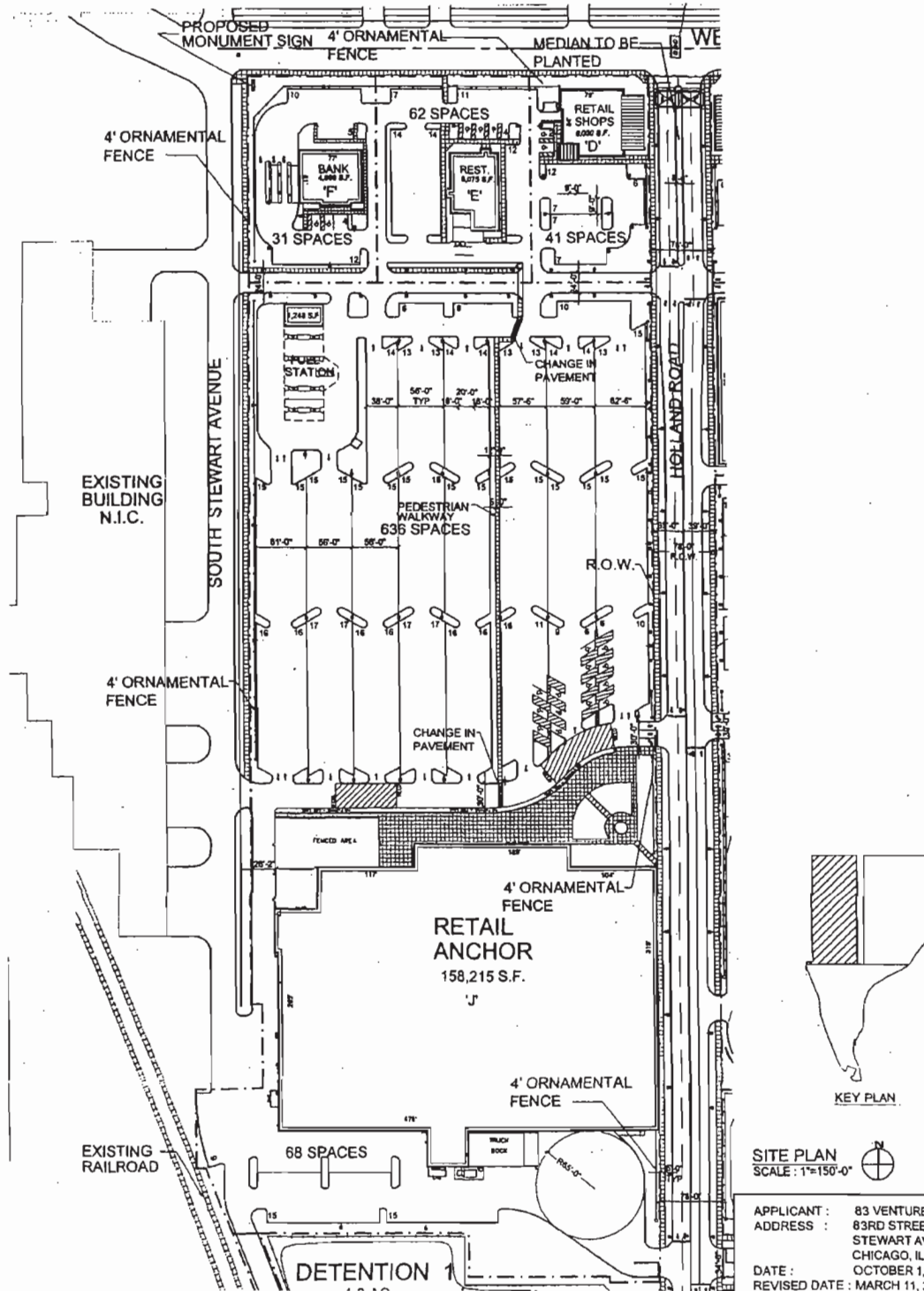


KEY PLAN

OVERALL
SITE PLAN
SCALE: 1"=300'-0"

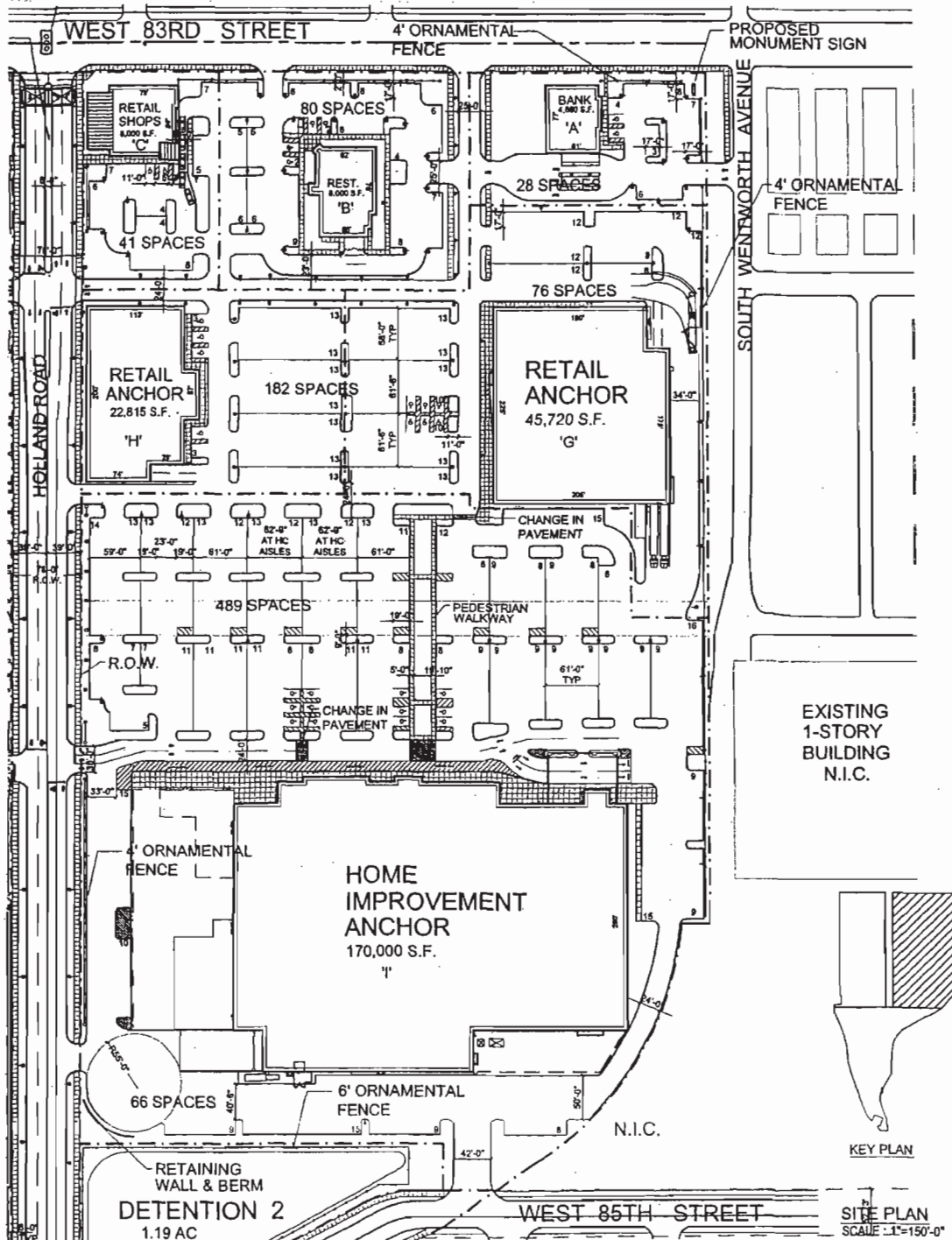


Site Plan.
(Page 1 of 3)



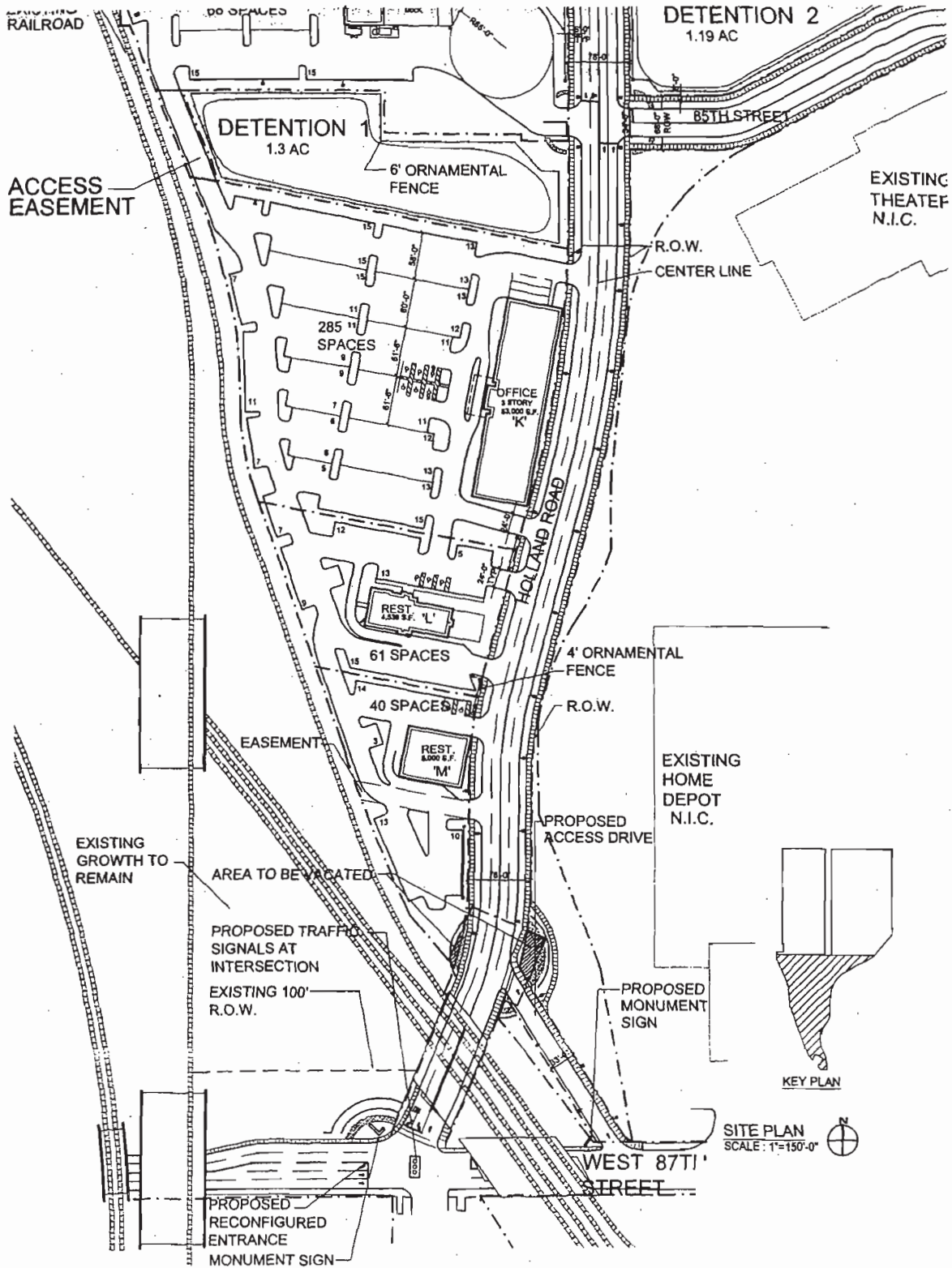
APPLICANT : 83 VENTURE LLC
 ADDRESS : 83RD STREET AND STEWART AVENUE CHICAGO, ILLINOIS
 DATE : OCTOBER 1, 2003
 REVISED DATE : MARCH 11, 2004

Site Plan.
(Page 2 of 3)

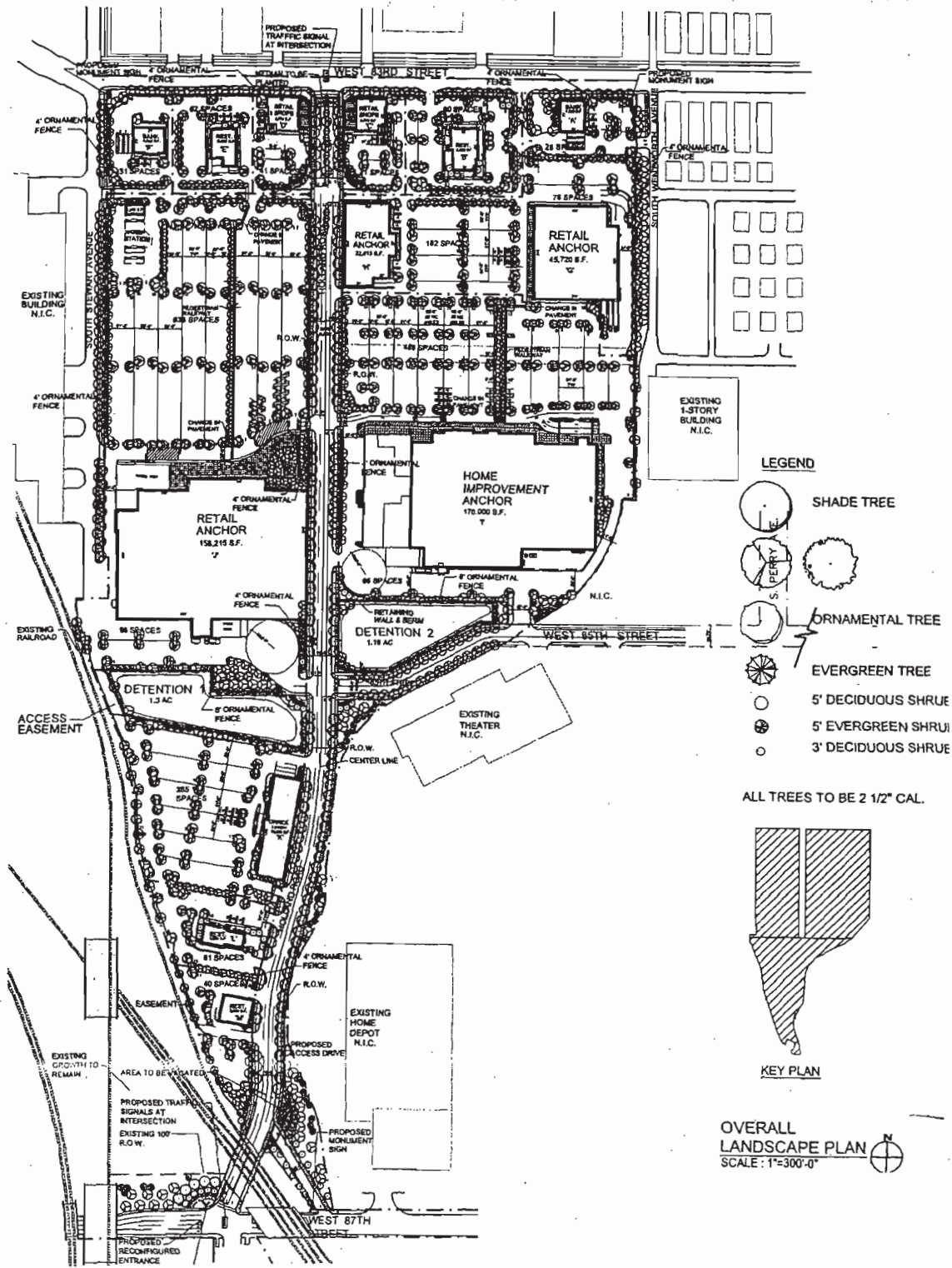


SITE PLAN
SCALE: 1"=150'-0"

Site Plan.
(Page 3 of 3)

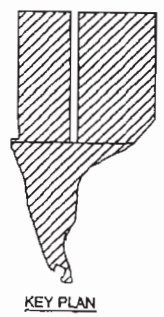


Overall Landscape Plan.



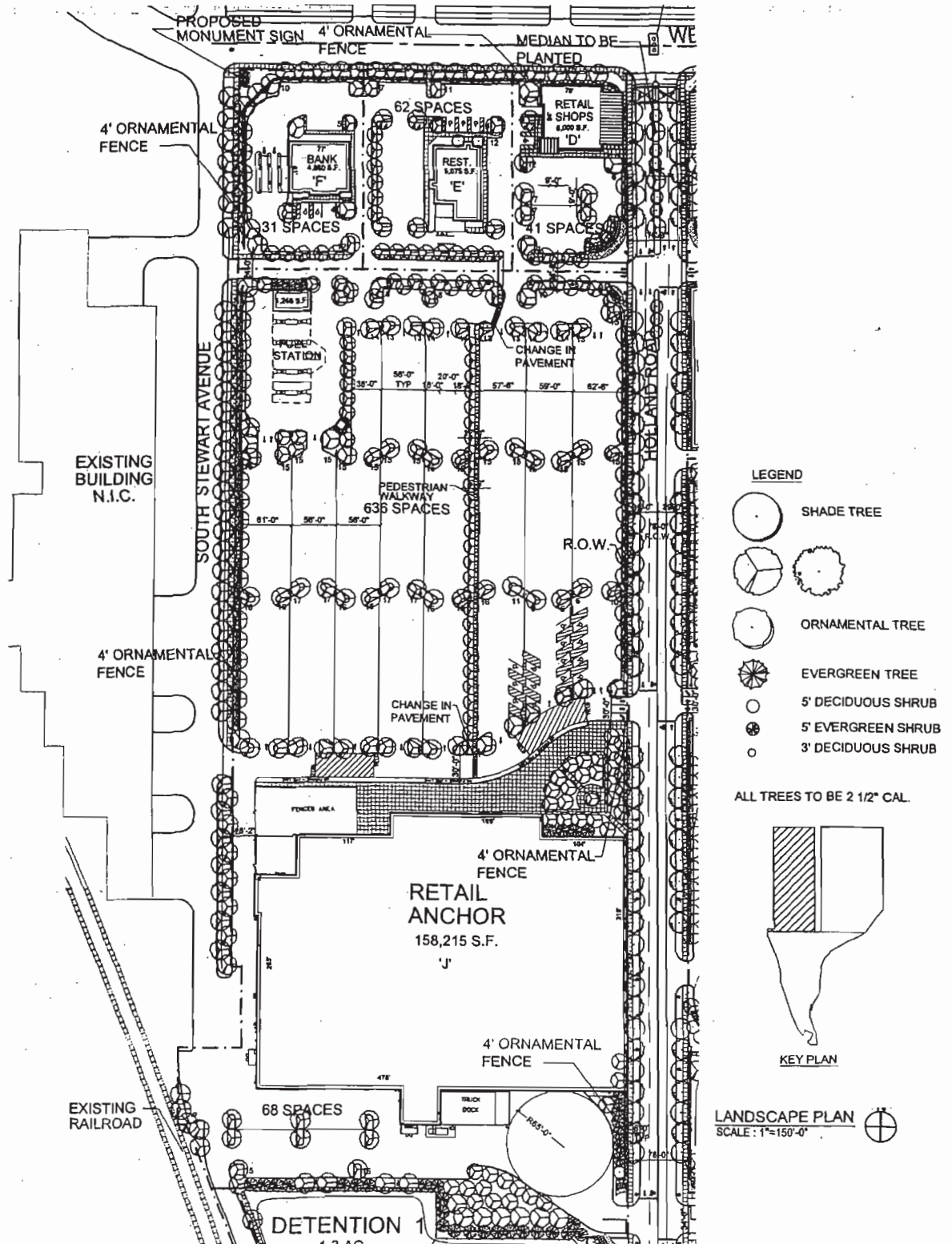
- LEGEND**
- SHADE TREE
 - ORNAMENTAL TREE
 - EVERGREEN TREE
 - 5' DECIDUOUS SHRUB
 - 5' EVERGREEN SHRUB
 - 3' DECIDUOUS SHRUB

ALL TREES TO BE 2 1/2" CAL.

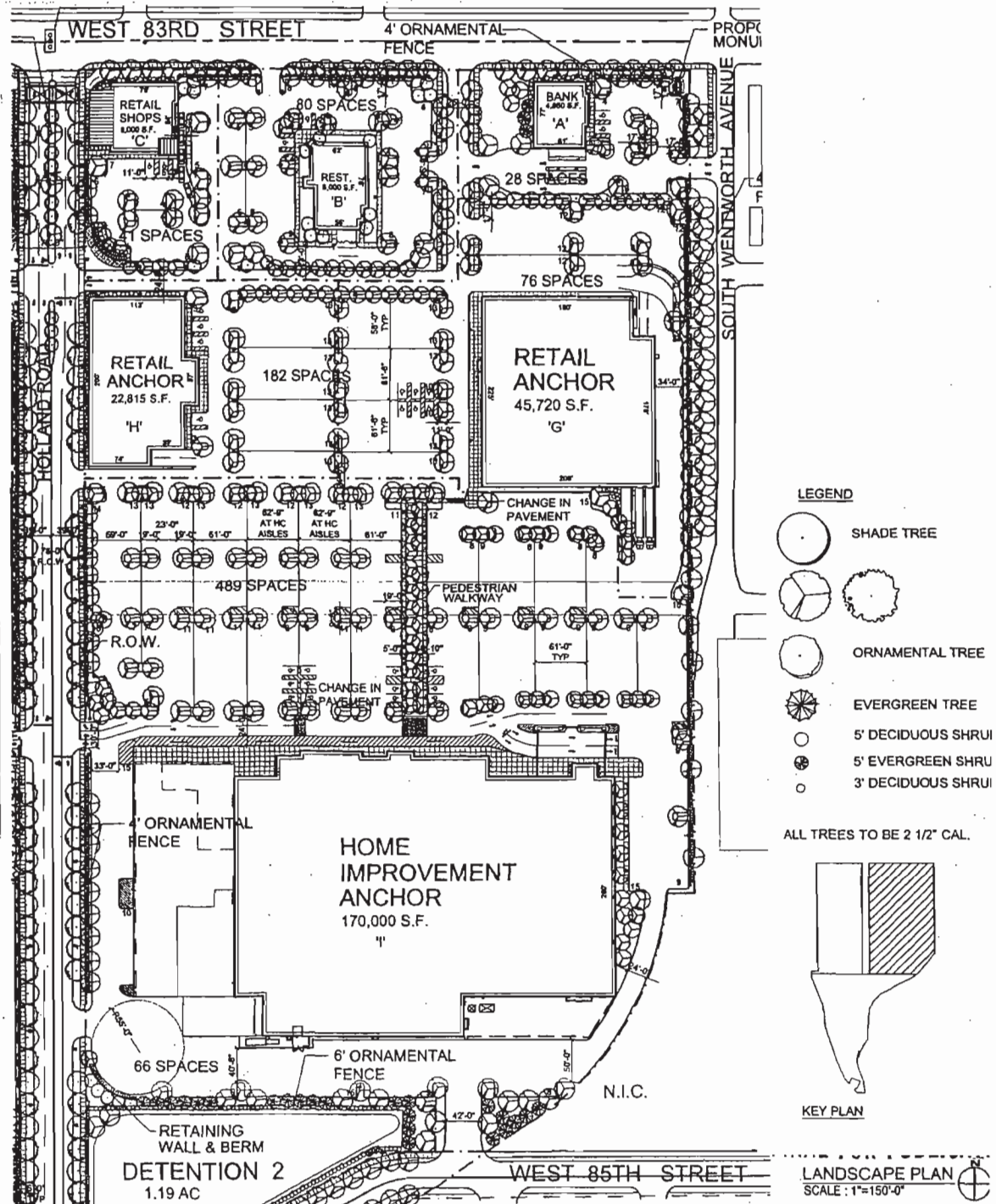


OVERALL LANDSCAPE PLAN
 SCALE: 1"=300'-0"

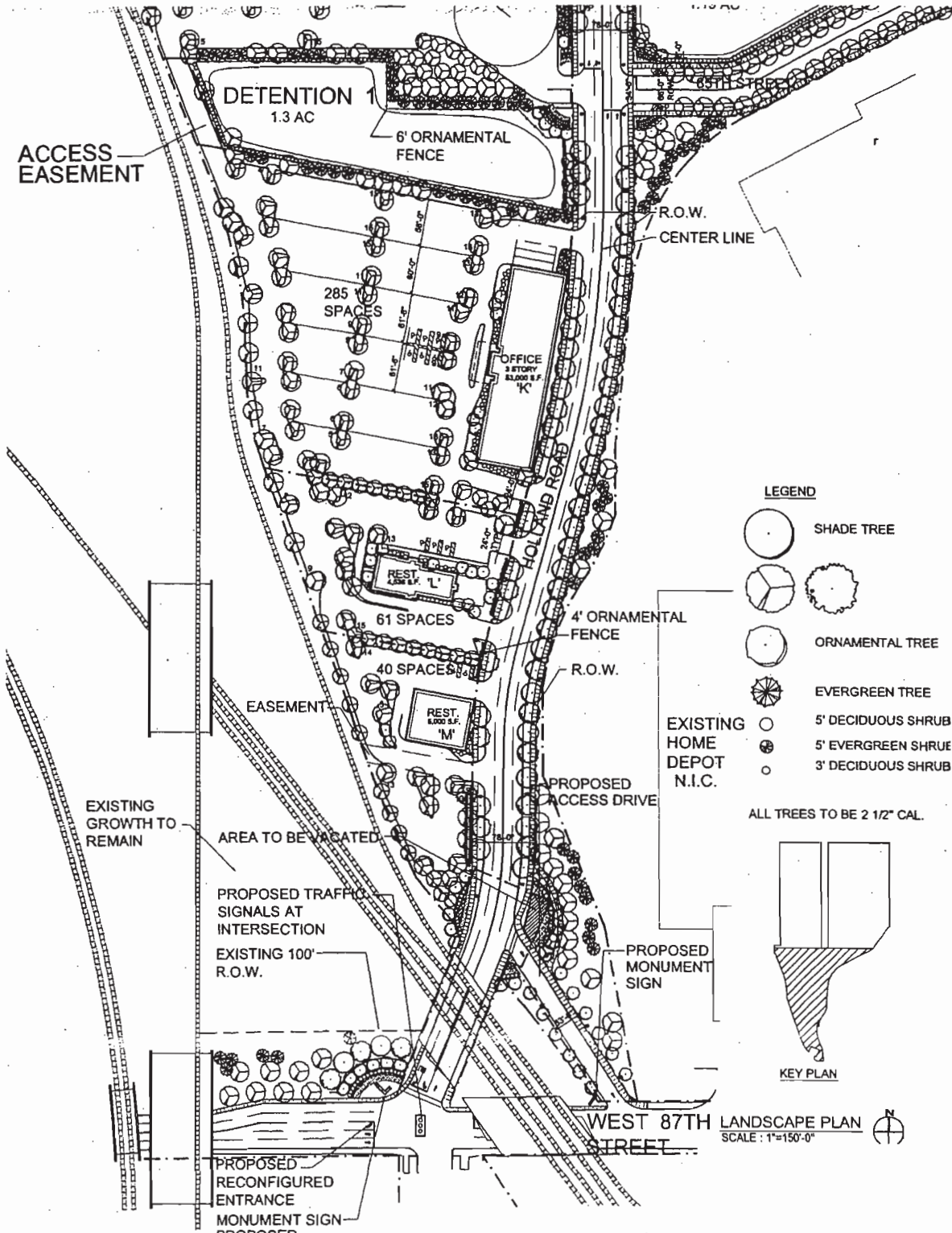
Landscape Plan.
(Page 1 of 3)



Landscape Plan.
(Page 2 of 3)



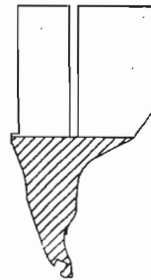
Landscape Plan.
(Page 3 of 3)



LEGEND

- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- 5' DECIDUOUS SHRUB
- 5' EVERGREEN SHRUB
- 3' DECIDUOUS SHRUB

ALL TREES TO BE 2 1/2" CAL.

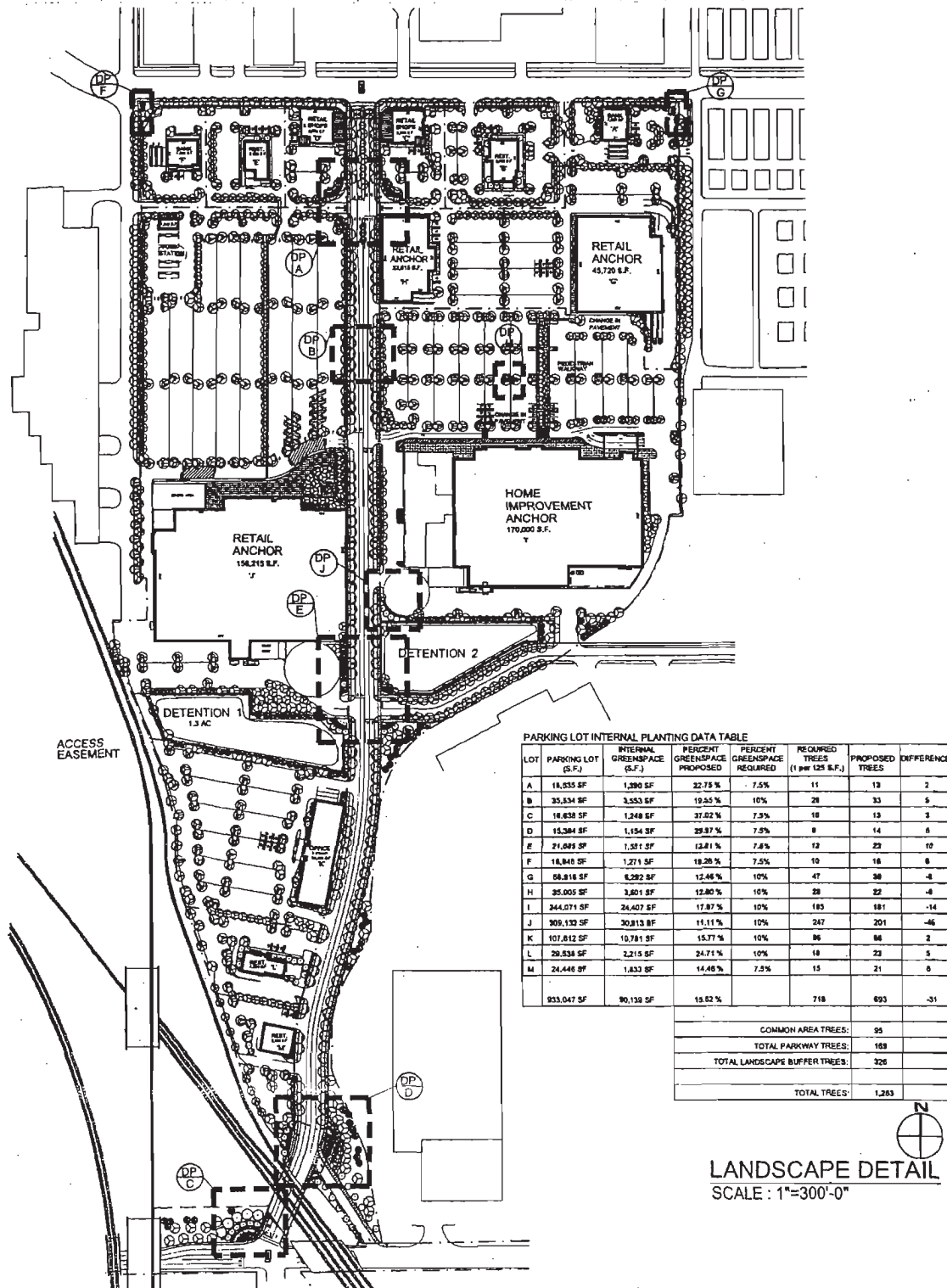


KEY PLAN

WEST 87TH STREET LANDSCAPE PLAN
SCALE: 1"=150'-0"



Landscape Detail.
(Page 1 of 3)



PARKING LOT INTERNAL PLANTING DATA TABLE

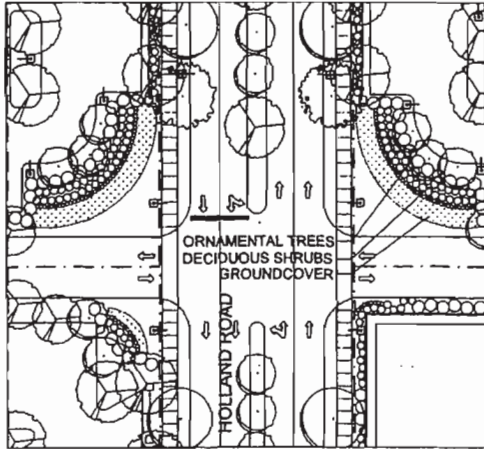
| LOT | PARKING LOT (S.F.) | INTERNAL GREENSPACE (S.F.) | PERCENT GREENSPACE PROPOSED | PERCENT GREENSPACE REQUIRED | REQUIRED TREES (1 IN 125 S.F.) | PROPOSED TREES | DIFFERENCE |
|-----|--------------------|----------------------------|-----------------------------|-----------------------------|--------------------------------|----------------|------------|
| A | 18,535 SF | 1,290 SF | 22.73 % | 7.5 % | 11 | 19 | 2 |
| B | 35,534 SF | 3,533 SF | 19.25 % | 10 % | 28 | 33 | 5 |
| C | 16,838 SF | 1,248 SF | 27.22 % | 7.3 % | 10 | 13 | 3 |
| D | 15,384 SF | 1,154 SF | 29.57 % | 7.5 % | 8 | 14 | 6 |
| E | 21,043 SF | 1,511 SF | 13.41 % | 7.8 % | 12 | 23 | 10 |
| F | 14,848 SF | 1,271 SF | 18.26 % | 7.5 % | 10 | 16 | 6 |
| G | 58,818 SF | 6,282 SF | 12.46 % | 10 % | 47 | 38 | -8 |
| H | 25,005 SF | 3,601 SF | 12.80 % | 10 % | 28 | 22 | -6 |
| I | 344,071 SF | 24,407 SF | 17.87 % | 10 % | 185 | 181 | -4 |
| J | 309,132 SF | 30,813 SF | 11.11 % | 10 % | 247 | 201 | -46 |
| K | 107,812 SF | 10,781 SF | 15.77 % | 10 % | 86 | 86 | 0 |
| L | 28,538 SF | 3,215 SF | 24.71 % | 10 % | 18 | 23 | 5 |
| M | 24,448 SF | 1,833 SF | 14.46 % | 7.3 % | 15 | 21 | 6 |
| | 933,047 SF | 90,138 SF | 15.52 % | | 718 | 693 | -25 |

| | |
|-------------------------------|--------------|
| COMMON AREA TREES: | 95 |
| TOTAL PARKWAY TREES: | 189 |
| TOTAL LANDSCAPE BUFFER TREES: | 326 |
| TOTAL TREES: | 1,283 |

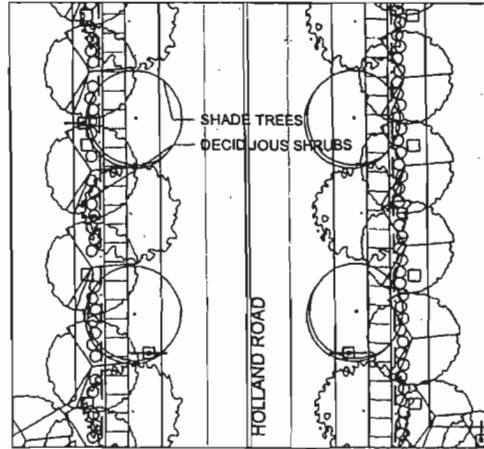


LANDSCAPE DETAIL
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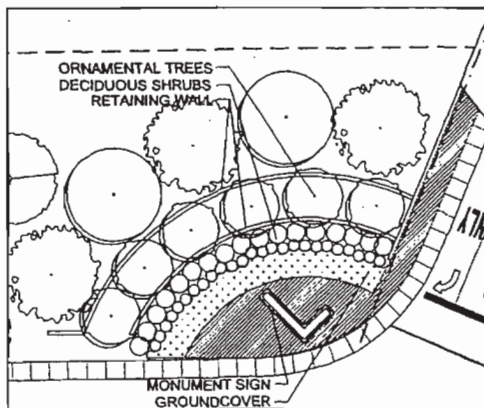
Landscape Detail.
(Page 2 of 3)



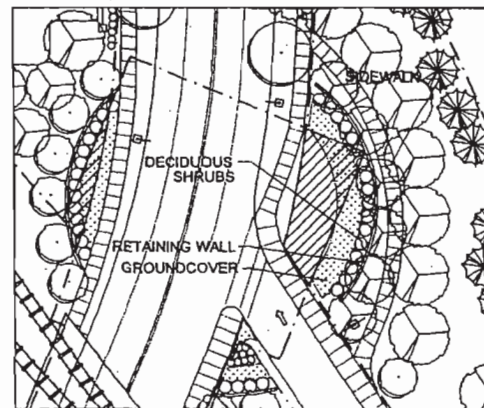
HOLLAND ROAD INTERSECTION
DETAIL PLAN A
SCALE: 1"=60'-0"



TYPICAL HOLLAND ROAD ROW LANDSCAPE
DETAIL PLAN B
SCALE: 1"=40'-0"



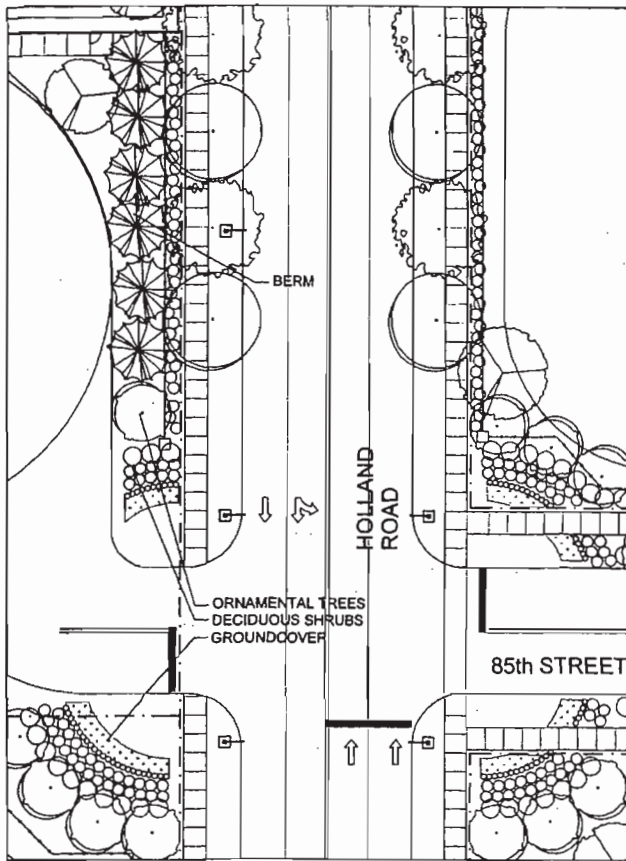
87th & HOLLAND ROAD ENTRANCE
DETAIL PLAN C
SCALE: 1"=40'-0"



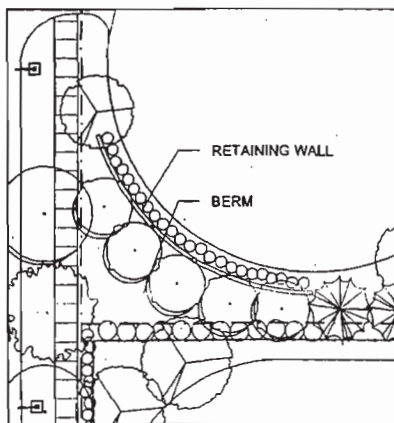
HOLLAND ROAD LANDSCAPING
DETAIL PLAN D
SCALE: 1"=60'-0"



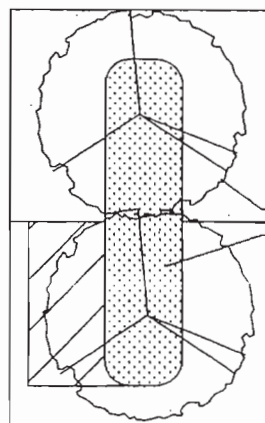
Landscape Detail.
(Page 3 of 3)



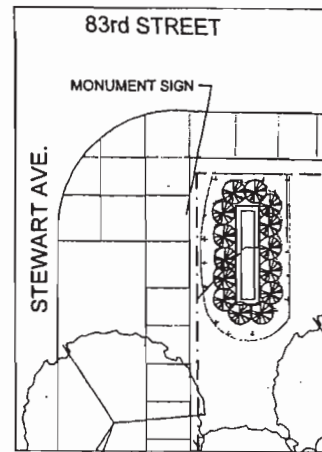
85TH STREET AND HOLLAND ROAD INTERSECTION
DETAIL PLAN E
SCALE: 1"=40'-0"



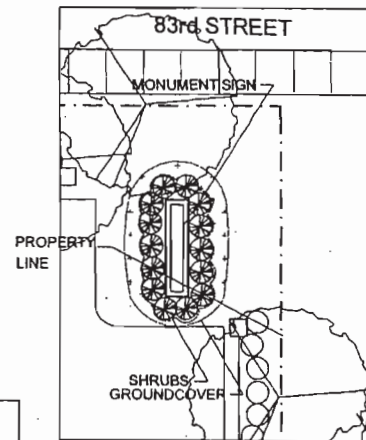
TYPICAL PARKING
LOT LANDSCAPE ISLAND
DETAIL PLAN J
SCALE: 1"=40'-0"



TYPICAL PARKING
LOT LANDSCAPE ISLAND
DETAIL PLAN H
SCALE: NTS



83rd & STEWART
MONUMENT SIGN
DETAIL PLAN F
SCALE: 1"=20'-0"

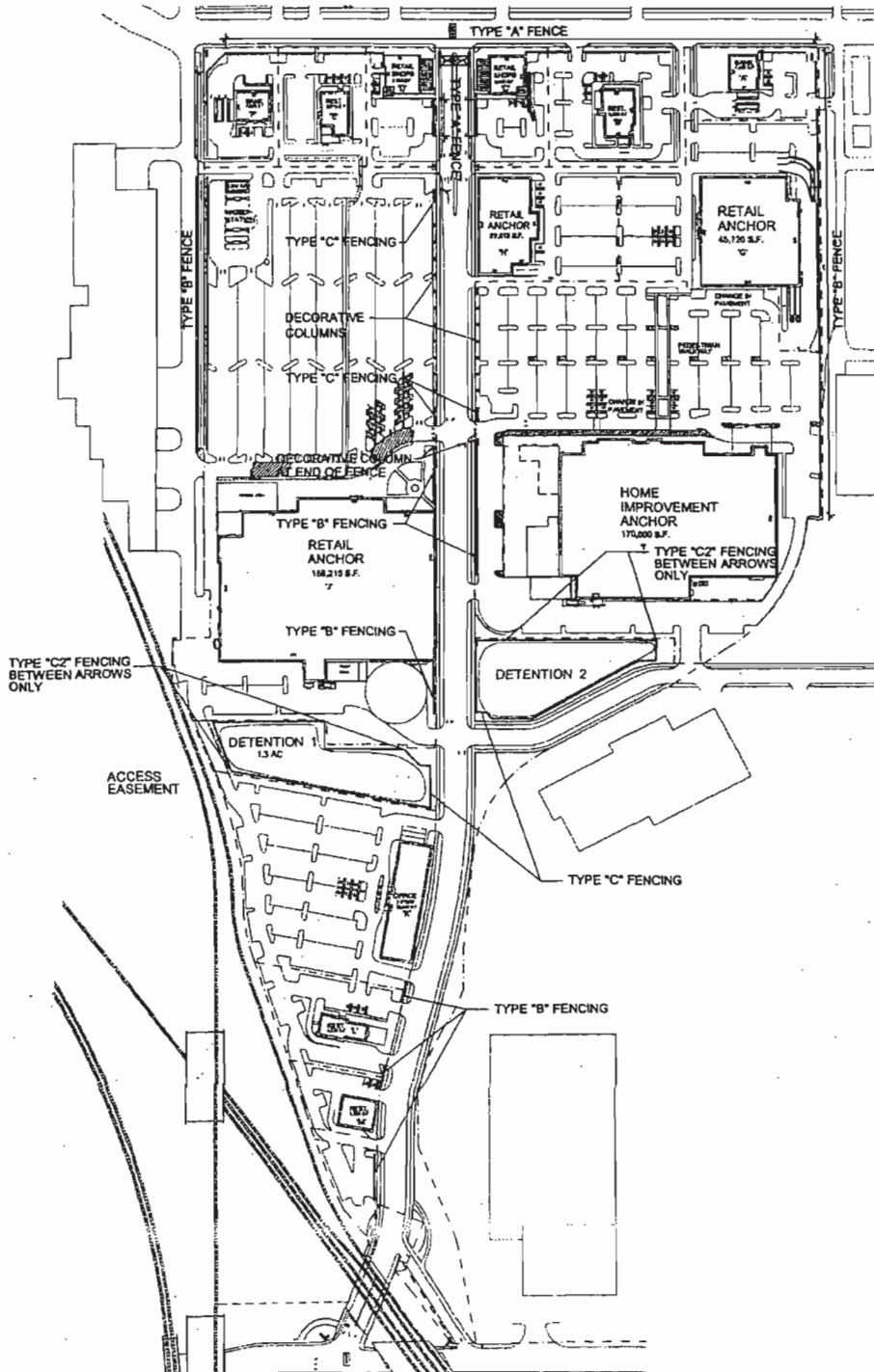


83rd & WENTWORTH
MONUMENT SIGN
DETAIL PLAN G
SCALE: 1"=20'-0"

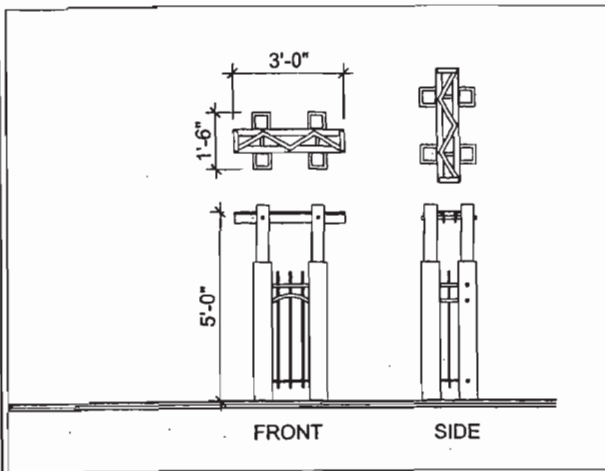


LANDSCAPE DETAIL

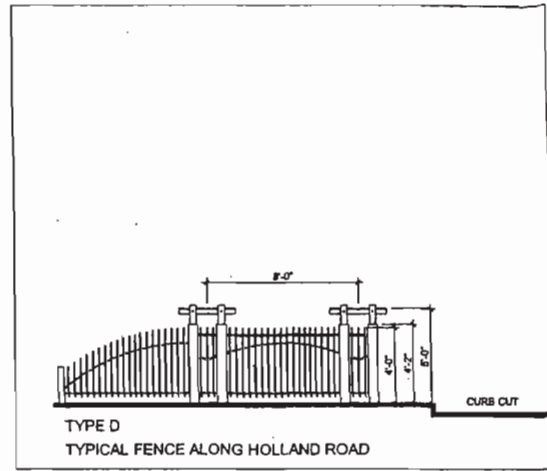
Fence Plan.



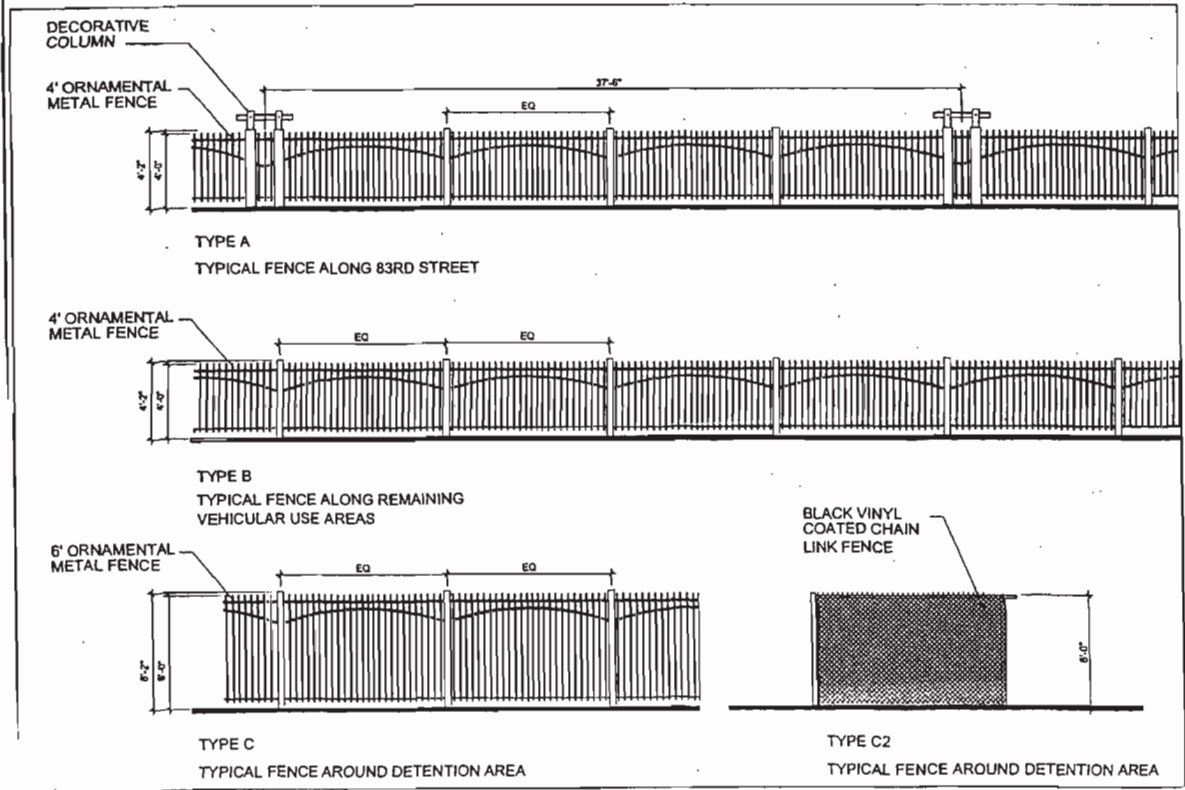
Conceptual Fence Elevations.



DECORATIVE COLUMN DETAIL
SCALE: 1/4"=1'-0"



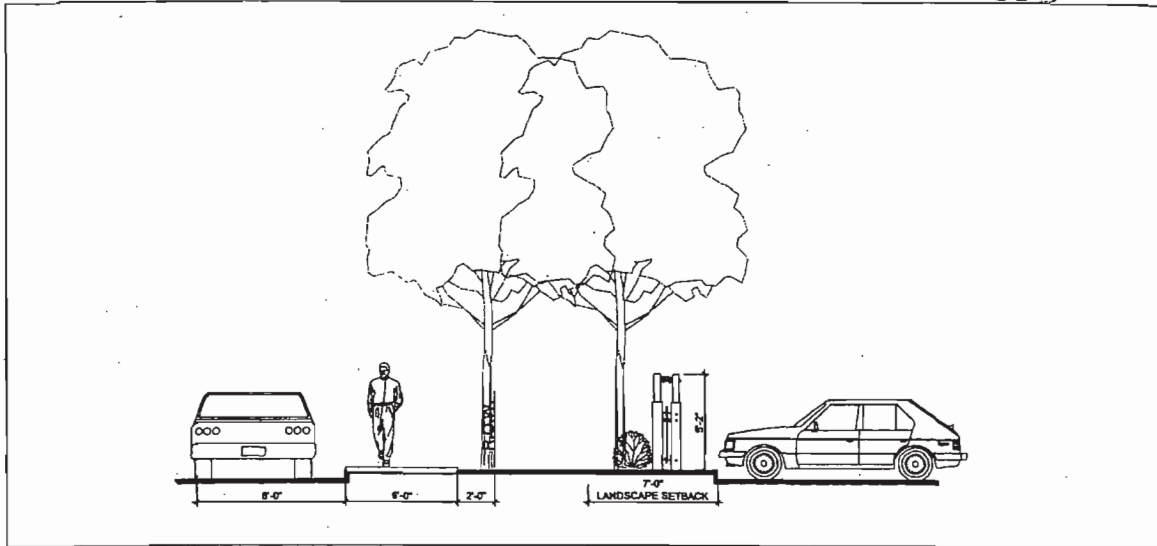
FENCE TERMINATION DETAIL
SCALE: 1/8"=1'-0"



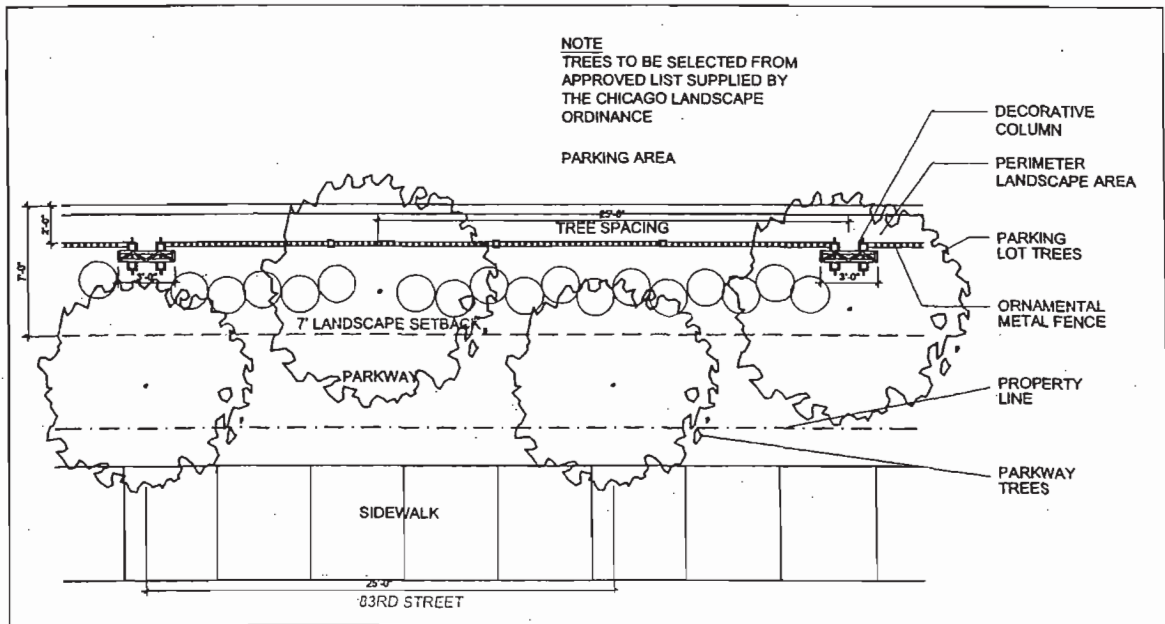
CONCEPTUAL FENCE ELEVATIONS
SCALE: 1/8"=1'-0"

DETAIL PLAN

Landscape Setback Plan.



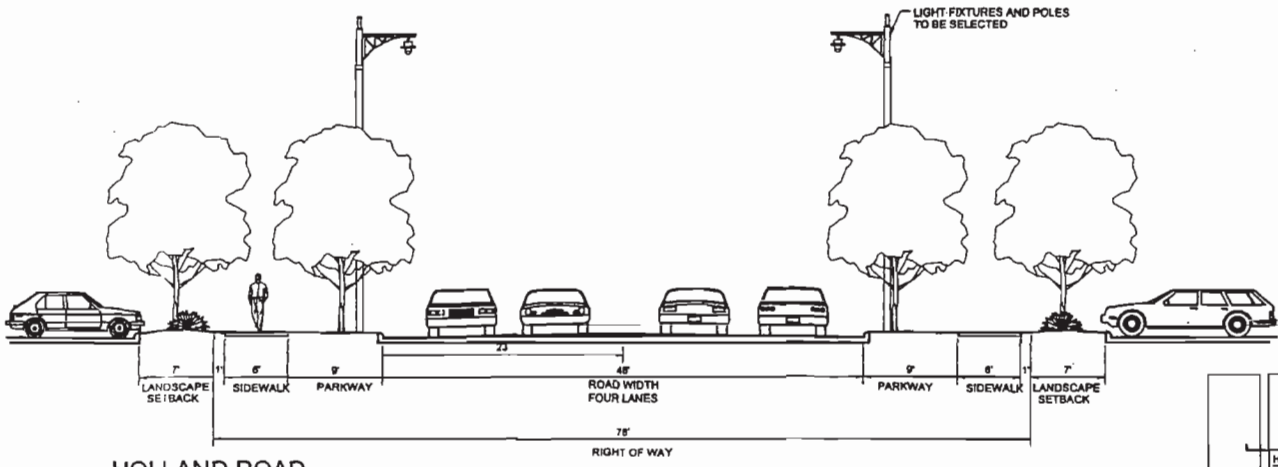
LANDSCAPE SETBACK SECTION
SCALE: 1/8"=1'-0"



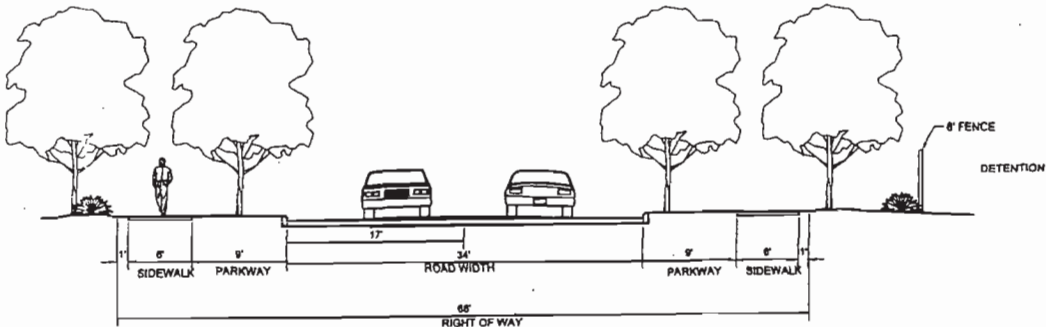
LANDSCAPE SETBACK PLAN
SCALE: 1/8"=1'-0"

DETAIL PLAN

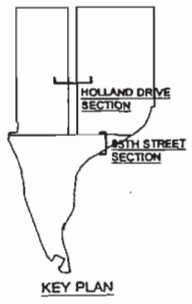
Right-Of-Way Sections.



HOLLAND ROAD



W. 85TH STREET



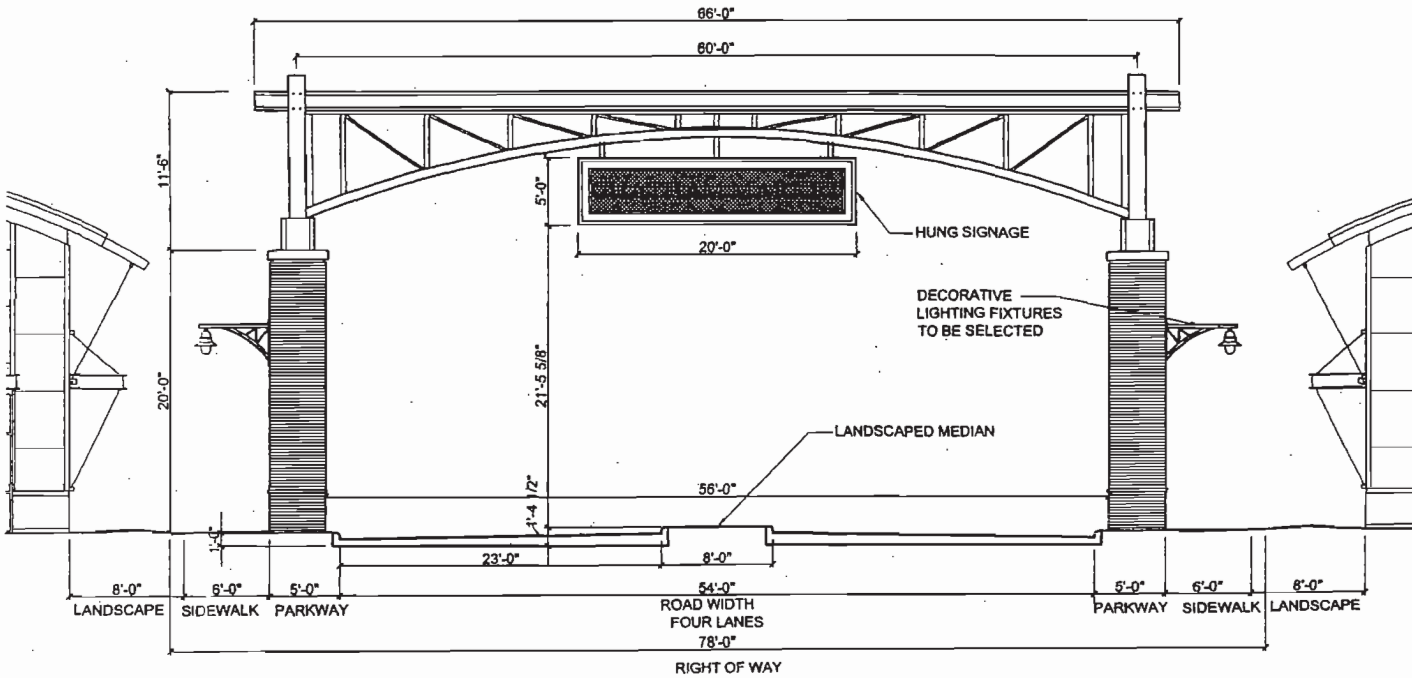
RO.W. SECTIONS
SCALE: N.T.S.

9/29/2004

UNFINISHED BUSINESS

32891

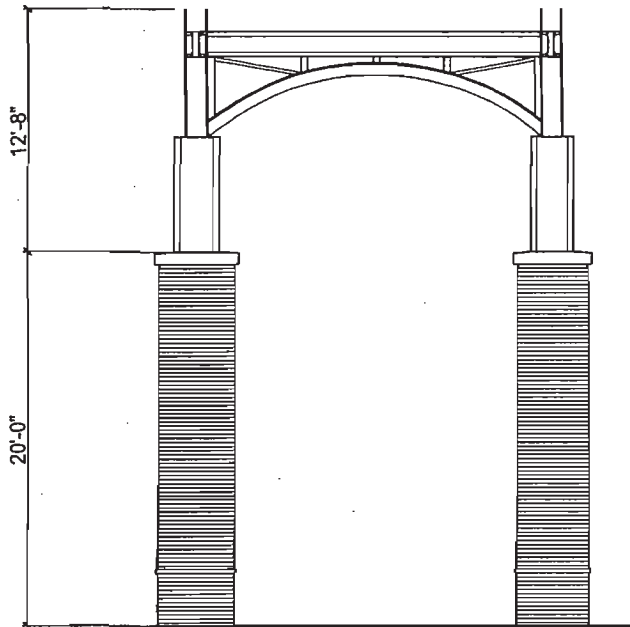
Conceptual Entrance Gateway Elevation.



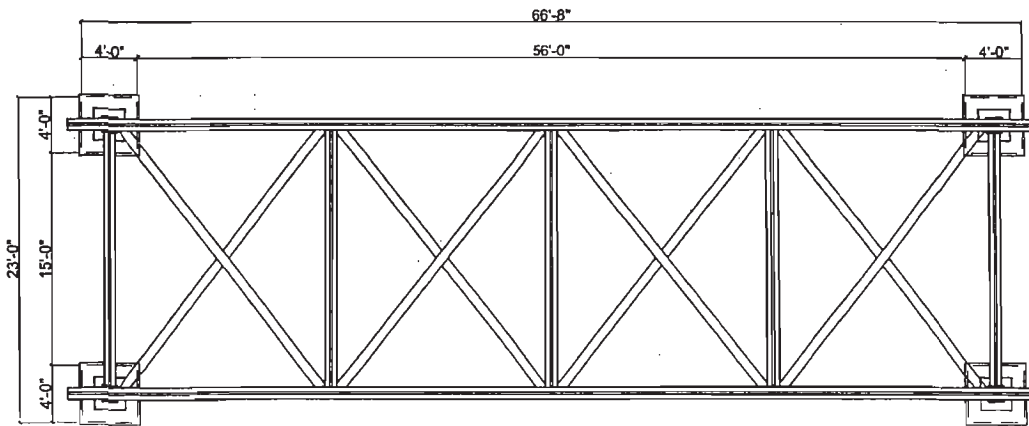
CONCEPTUAL
ENTRANCE GATEWAY ELEVATION
SCALE: 3/32"=1'-0"

SUBJECT TO STRUCTURAL DESIGN

Conceptual Entrance Gateway
Plan And Elevation.



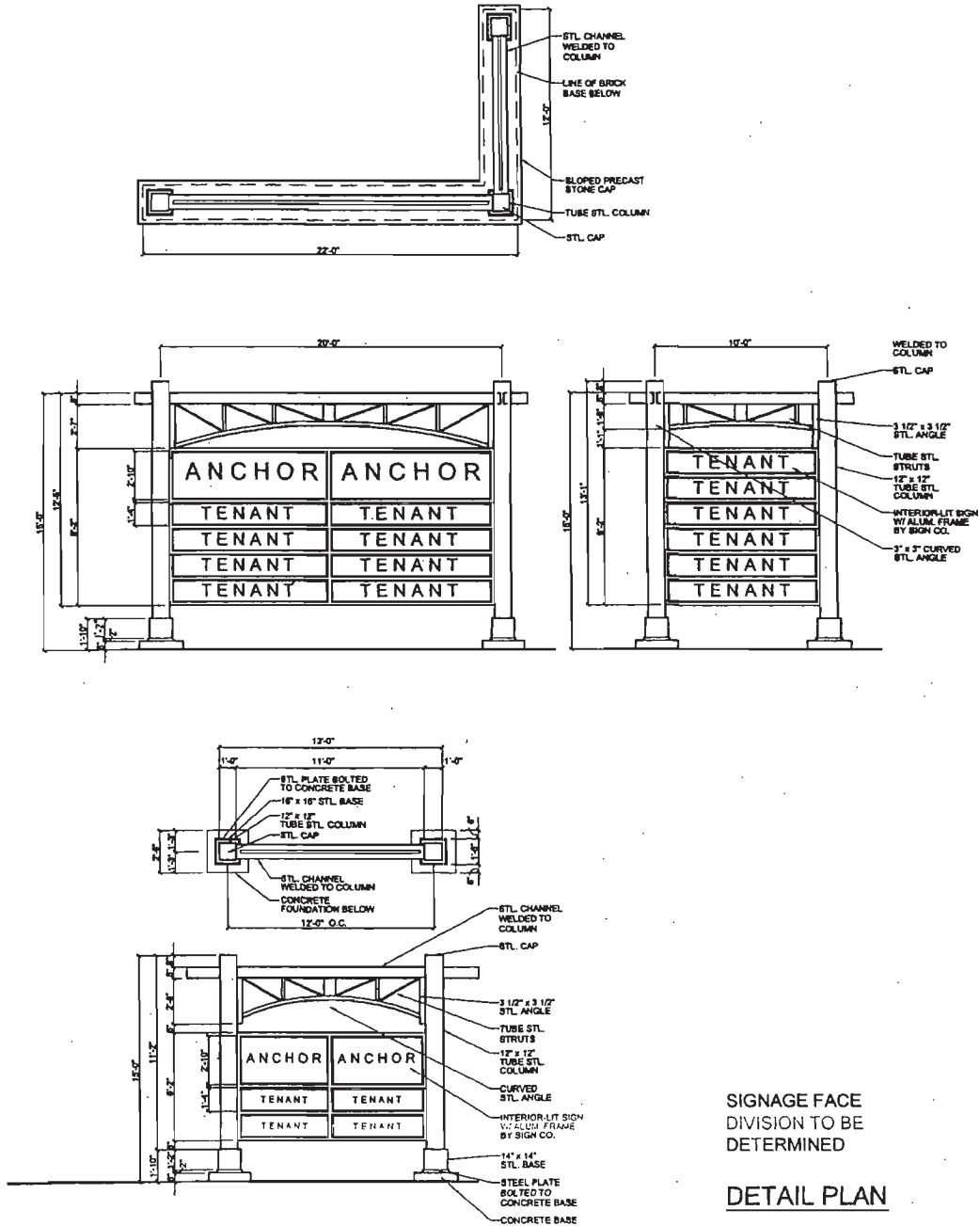
CONCEPTUAL
ENTRANCE GATEWAY ELEVATION
SCALE: 1/8"=1'-0"



CONCEPTUAL
ENTRANCE GATEWAY PLAN
SCALE: 3/32"=1'-0"

SUBJECT TO STRUCTURAL DESIGN

Monument Signs -- Detail Plan.

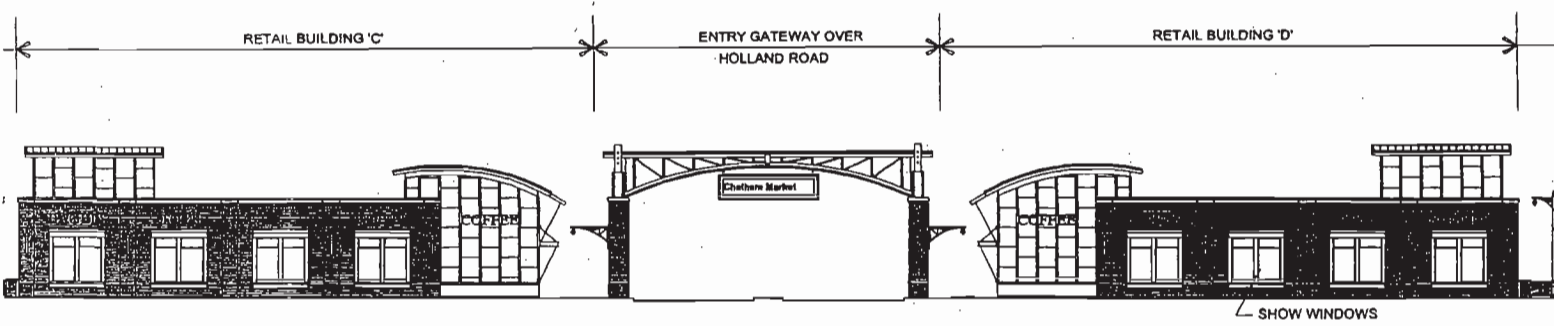


SIGNAGE FACE DIVISION TO BE DETERMINED

DETAIL PLAN

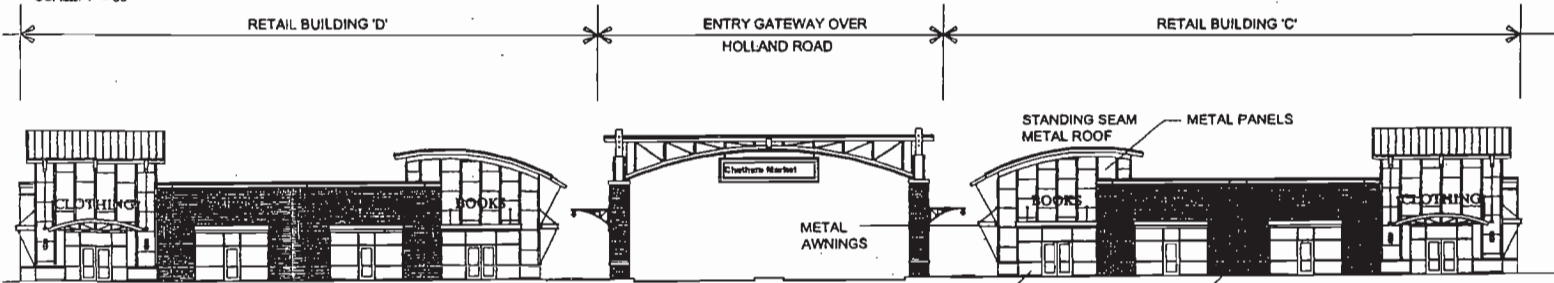
MONUMENT SIGNS
SCALE: 1/8"=1'-0"

Conceptual Entry Retail Building Elevations.



NORTH ELEVATION (83RD STREET)

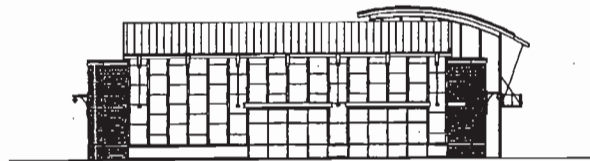
SCALE: 1" = 30'



SOUTH ELEVATION

SCALE: 1" = 30'

CONCEPTUAL
ENTRY RETAIL
BUILDING ELEVATIONS



WEST ELEVATION (HOLLAND ROAD)

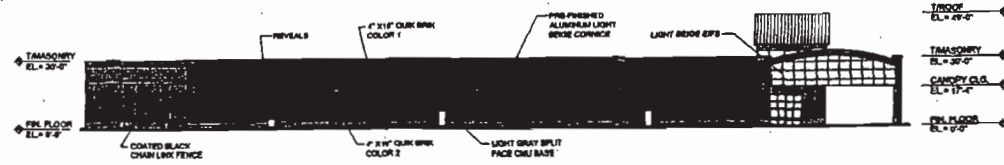
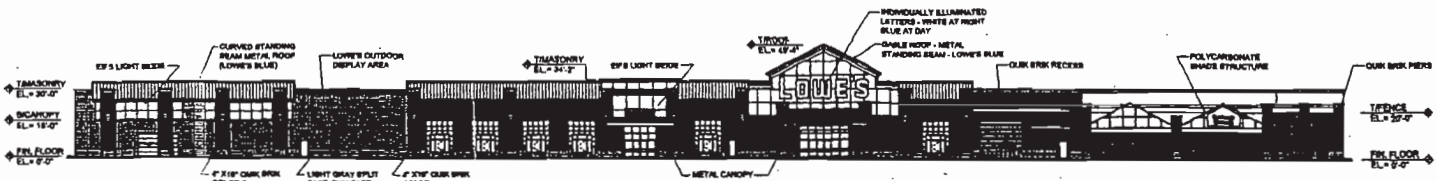
SCALE: 1" = 30'

9/29/2004

UNFINISHED BUSINESS

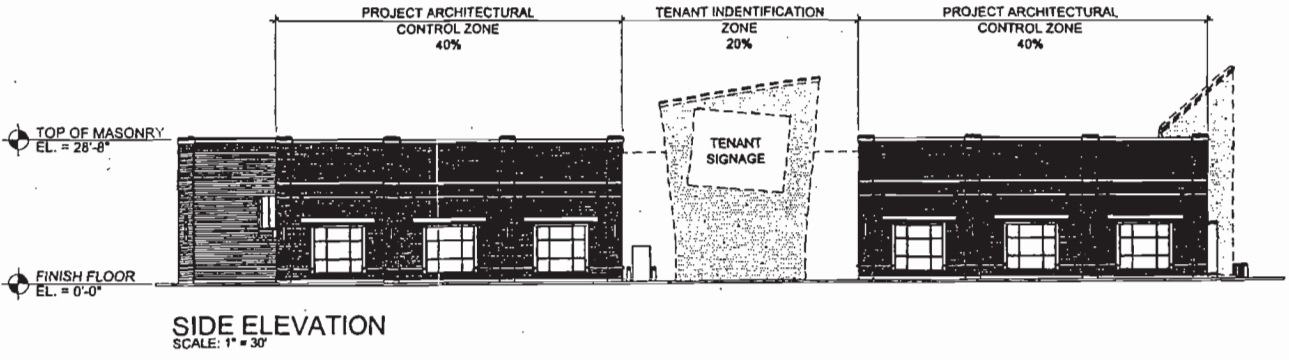
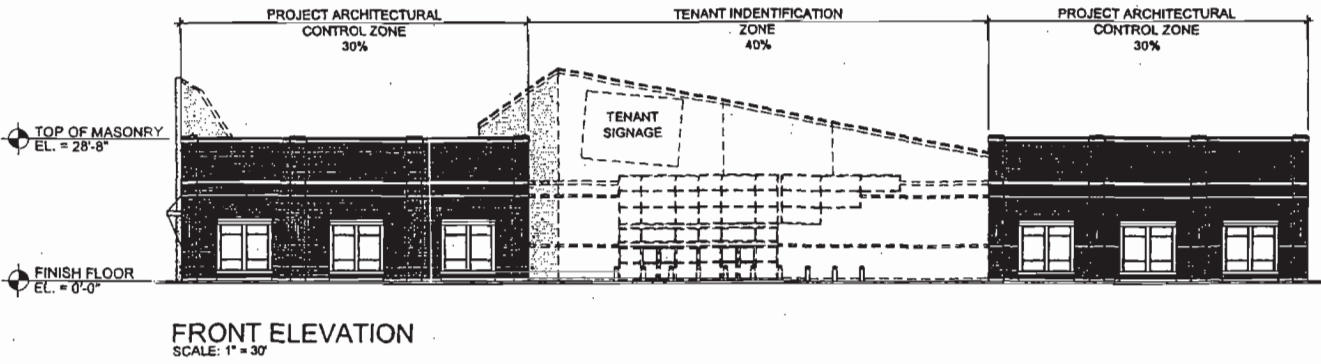
32895

Conceptual Lowe's Building Elevation.



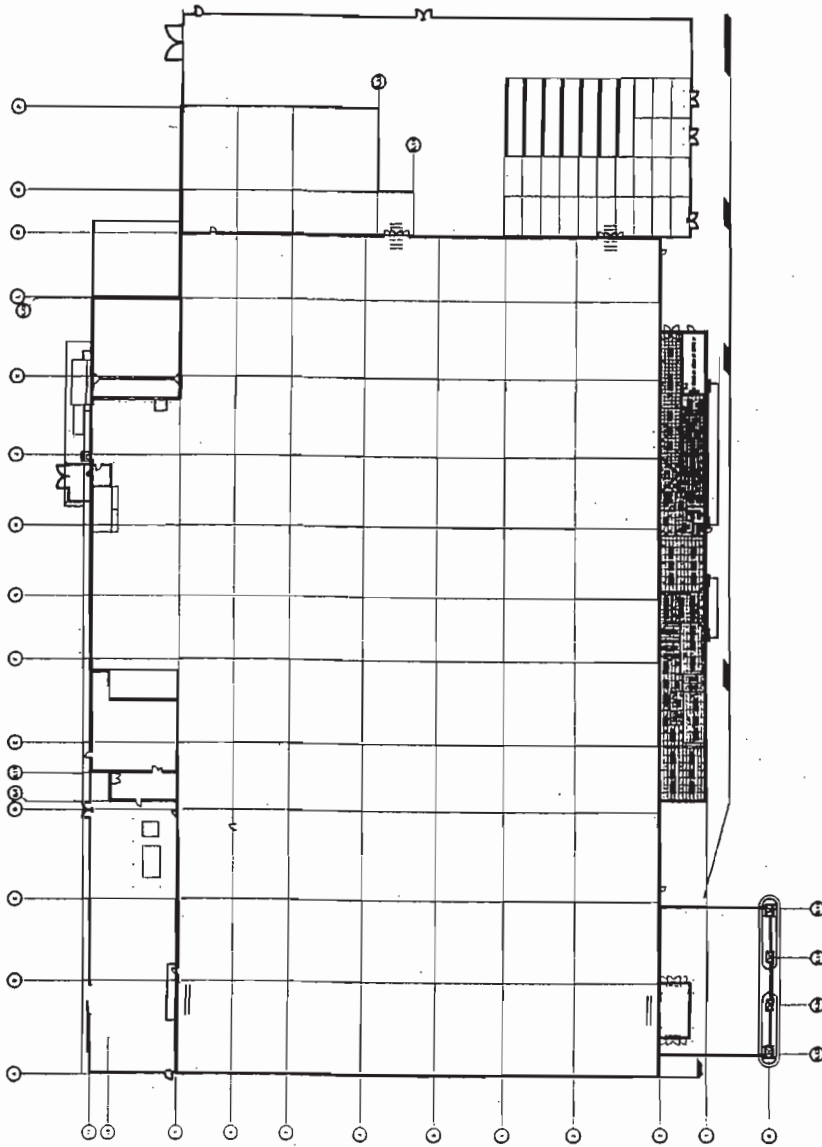
CONCEPTUAL LOWE'S
BUILDING ELEVATION
SCALE: 1/8" = 1'-0"

Conceptual Retail Building Elevations.



CONCEPTUAL RETAIL
BUILDING ELEVATIONS

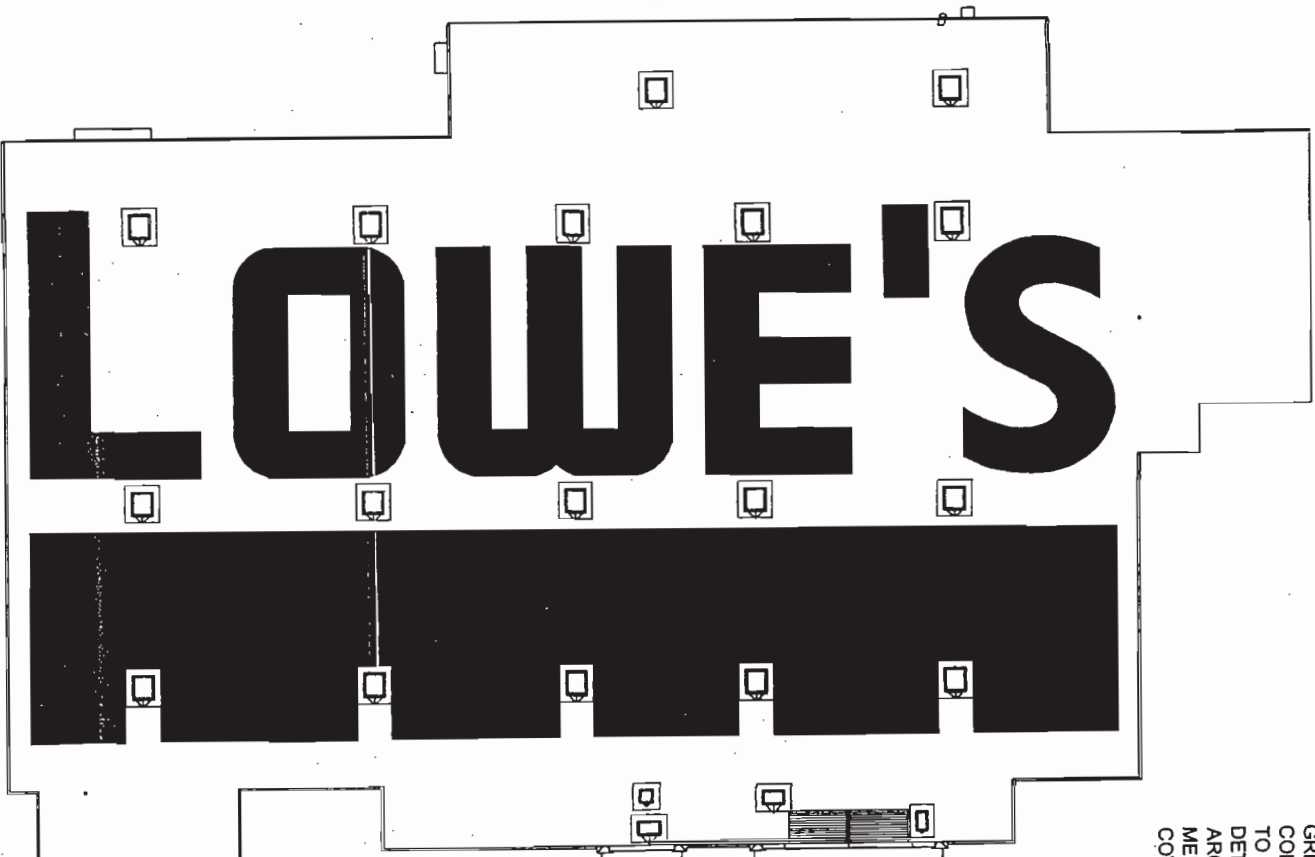
Lowe's Floor Plan.



LOWE'S FLOOR PLAN
SCALE : 1"=80'-0"



Lowe's Green Roof Plan.



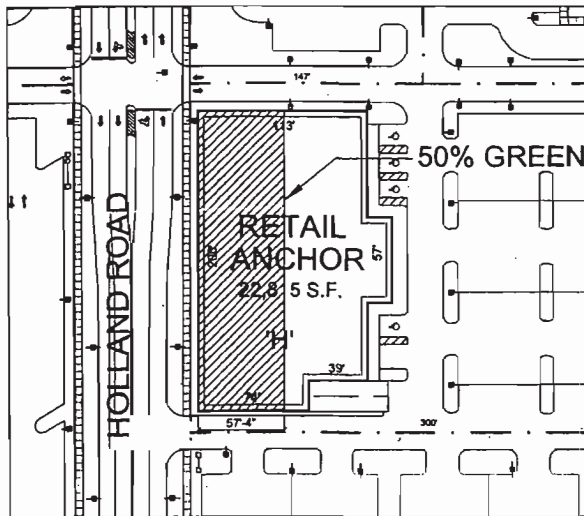
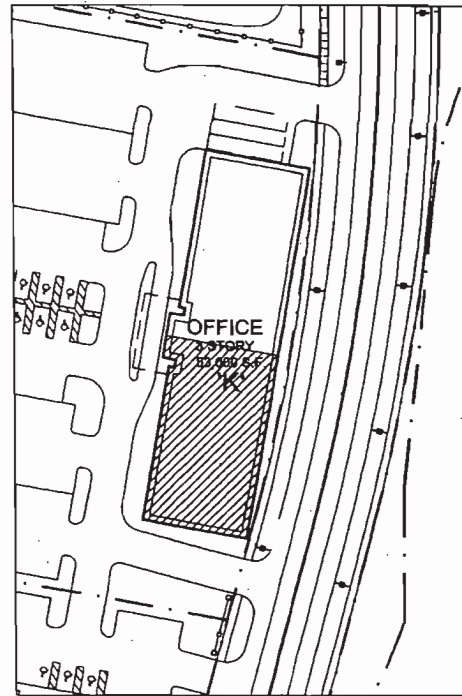
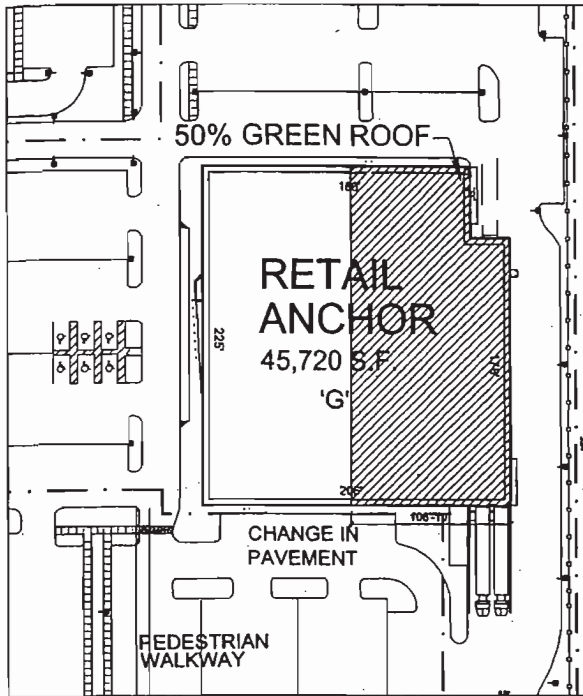
GREEN ROOF DESIGN
 CONFIGURATION/LAYOUT
 TO BE FINALIZED AND
 DETAILED BY LOWE'S
 ARCHITECT AND SHALL
 MEET THE MINIMUM 50%
 COVERAGE CRITERIA.

NOTE:
 GREEN ROOF AREA
 LIMITED TO 50% OF THE
 AVAILABLE ROOF AREA
 (CONDITIONED SPACE
 ONLY) LESS ROOF TOP
 EQUIPMENT, WALKWAYS
 AND WORKSPACE AREAS,
 SKYLIGHTS, AND
 MECHANICAL EQUIPMENT,
 ETC. REQUIRE CURBS AND
 SEPARATION FROM SOIL
 AND PLANTS



LOWE'S GREEN ROOF PLAN
 SCALE: 1"=100'-0"

Green Roof Plan.



NOTE:
GREEN ROOF AREA LIMITED TO 50% OF THE AVAILABLE ROOF AREA (CONDITIONED SPACE ONLY) LESS ROOF TOP EQUIPMENT, WALKWAYS AND WORKSPACE AREAS, SKYLIGHTS, AND MECHANICAL EQUIPMENT, ETC. REQUIRE CURBS AND SEPARATION FROM SOIL AND PLANTS

GREEN ROOF PLAN
SCALE: 1"=100'-0"

