

PD 964

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Reclassification Of Area Shown On Map Number 6-E.

(As Amended)

(Application Number 14773) *RPD 964*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the DS-3 Downtown Service District and indications as shown on Map Number 6-E in the area bounded by:

a line 149.69 feet north of and parallel to East 24th Street; South Wabash Avenue; East 24th Street; and the north/south public alley next west of and parallel to South Wabash Avenue,

to those of a DR-5 Downtown Residential District and a corresponding use district is hereby established in the area above described.

SECTION 2. In the area above described, the City Zoning Ordinance be amended by changing all of the DR-5 Downtown Residential District symbols to those of a Residential Planned Development and a corresponding use district is hereby established.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

DR-5/Residential Planned Development Number 964.

Plan Of Development Statements.

1. The area delineated herein as a Residential Planned Development consists of a net site area of approximately eighteen thousand twenty-four (18,024) square feet (forty-one hundredths (.41) acre) which is controlled by 2301 South Wabash Development Corp. ("Applicant") for purposes of this Residential Planned Development.
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require

separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions applicable within this planned development shall be binding upon the Applicant, its successors and assigns and if different than the Applicant, the owners of all the property within the planned development or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the planned development, the legal titleholder and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant, successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors.

Furthermore, pursuant to the requirements of Section 17-8-0500 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant, the owners of all the property within the planned development or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the planned development. No amendment may be sought without written approval by the homeowners association unless the right to do so has been retained by Applicant and its successors in title documents. Notwithstanding the foregoing, nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the property or any rights, interest or obligation therein.

4. This plan of development consists of these sixteen (16) statements, a Bulk Regulations and Data Table; a Planned Development Boundary and Property Line Map; a Subarea Map; an Existing Zoning Map; a Site Plan -- Subarea "B"; an Existing Land-Use Map; a Landscape Plan -- Subarea "B"; and Condominium Building Elevations, all dated March 17, 2005, prepared by Hartshorne + Plunkard Architects, which are all incorporated herein. Full size sets of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code in Chicago) and all requirements thereof and satisfies the established criteria for

approval of a planned development. These and no other zoning controls shall apply to the area delineated herein.

5. The following uses shall be permitted within the areas delineated herein: multi-family dwelling units; uses as permitted in the DR-5 Downtown Residential District; accessory parking; accessory uses; and related uses.
6. Identification and business signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the planned development subject to review and approval of the Department of Planning and Development.
7. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in accordance with the Municipal Code of the City of Chicago.
8. Off-street parking and loading facilities shall be in compliance with this planned development, subject to the review and approval of the Department of Transportation and Planning and Development. The Planned Development proposes a parking ratio of .83 parking spaces for each dwelling unit. In accordance with Section 17-10-0902-B, a minimum of one (1) accessible parking space will be provided.
9. In addition to the maximum height of any building or any appurtenance attached thereto the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply.
11. Improvements of the property, including landscaping and all entrances and exits shall be designed, installed and maintained in substantial conformance with the Bulk Regulations and Data Table and the Site and

Landscape Plan attached hereto and made a part hereof. Landscaping shall be installed and maintained at all times in accordance with the Site Plan and the Parkway Tree Provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.

12. The terms, conditions and exhibits of this planned development ordinance may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the written request for such modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development, that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this planned development. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes, enables and maximizes universal access throughout the property. Therefore, at the time when building permits are sought, the plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The property will provide fifty (50) market rate units and ten (10) affordable units in accordance with Section 17-4-1004-D of the Chicago Zoning Ordinance. The affordable units are required as a result of the rezoning of the property from DS-3 Downtown Service District to DR-5 Downtown Residential District. The Applicant shall comply with the requirements and provisions of Sections 17-4-1004-D and 17-4-1004-E of the Chicago Zoning Ordinance and the Affordable Housing Agreement that is required by Section 17-4-1004-E. Sections 17-4-1004-D and 17-4-1004-E and the Affordable Housing Agreement are hereby incorporated into this planned development.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within this planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating. The Applicant shall install and

maintain a vegetative roof on at least twenty-five percent (25%) of the net flat roof areas of the building. Net flat roof area is defined as the area of flat roof, less those areas devoted to rooftop mechanical equipment, mechanical penthouses and any perimeter setback required by the City Code.

16. Unless substantial construction of the building has begun within the planned development within six (6) years of the date of passage of the planned development, the zoning of that property shall revert to the DS-3 Downtown Service District. The six (6) year period may be extended for one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that there is good cause for such an extension.

[Subarea Map referred to in these Plan of Development Statements unavailable at time of printing.]

[Planned Development Boundary and Property Line Map; Existing Zoning Map; Existing Land-Use Map; Site Plan -- Subarea B; Landscape Plan -- Subarea B; and Building Elevations referred to in these Plan of Development Statements printed on pages 48652 through 48658 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

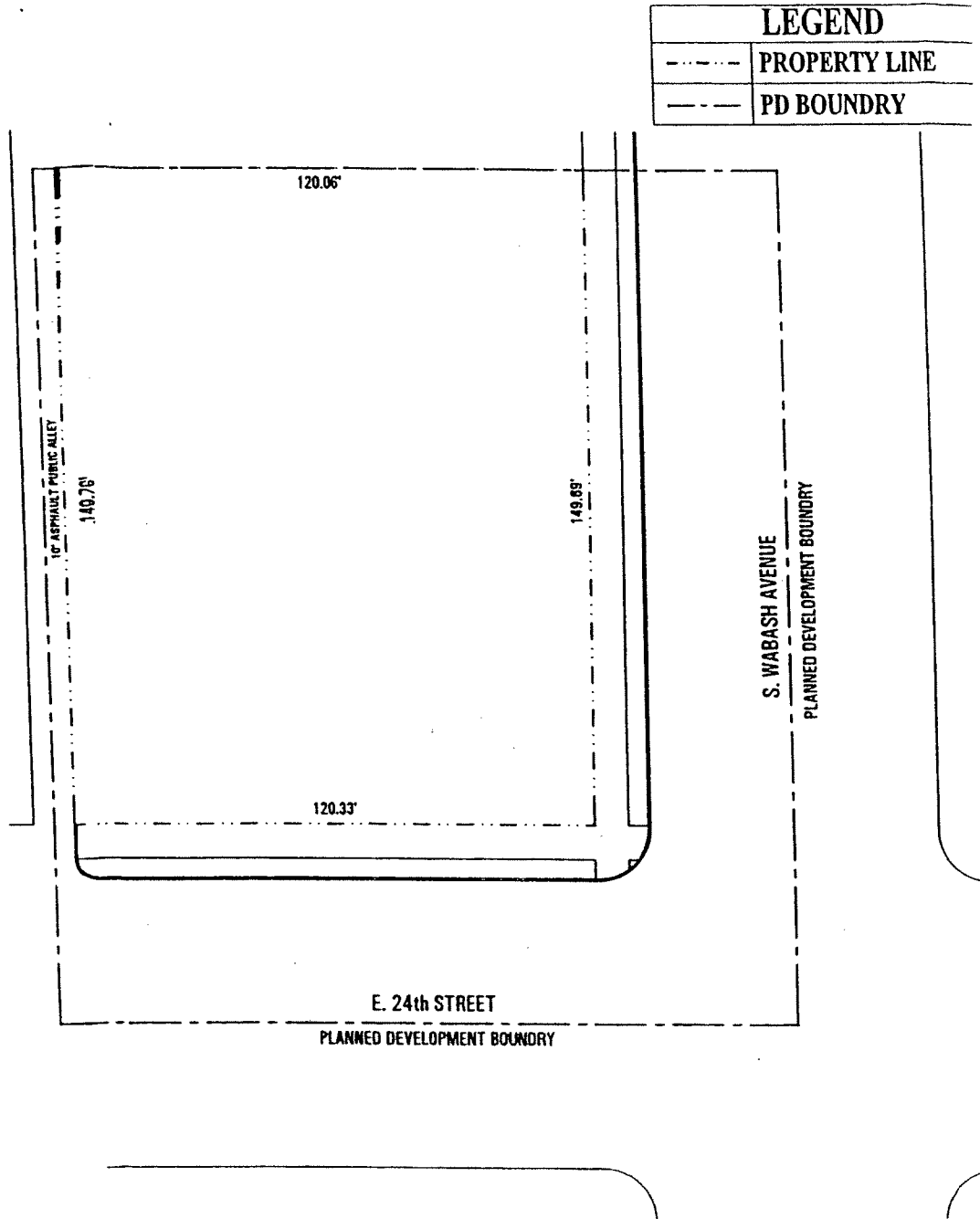
DR-5/Residential Planned Development Number 964.

Bulk Regulations And Data Table.

Gross Site Area:	33,545 square feet
Net Site Area:	18,024 square feet (.41 acres)
Area in Public Right-of-Way:	15,521 square feet (.36 acres)

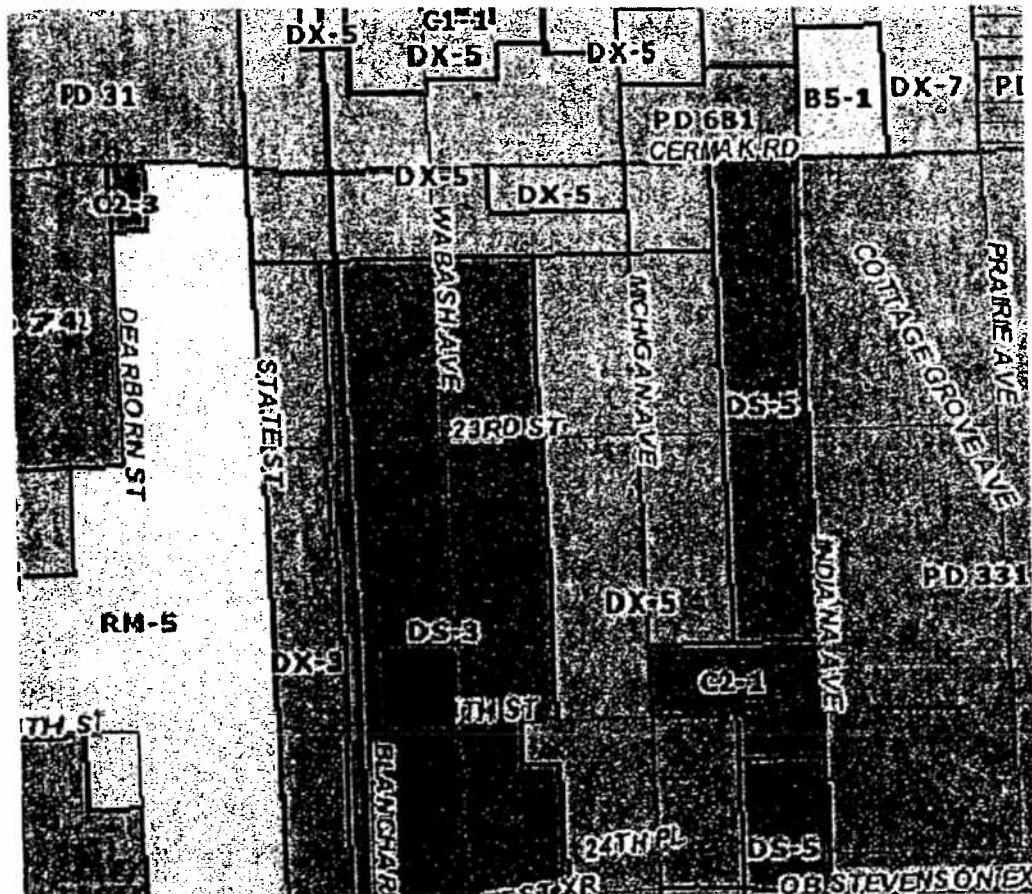
Maximum Floor Area Ratio:	3.8
Maximum Number of Residential Units:	60, including 50 market rate units and 10 affordable units In the event that less floor area is constructed at the time of Part II approval, less affordable units will be constructed, so long as the required 25% of the total increase in floor area afforded by the zoning amendment bringing the property from DS-3 to DR-5 is reserved for affordable units
Maximum Site Coverage:	18,024 square feet
Minimum Number of Accessory Off-Street Parking Spaces:	50 (.83 parking spaces to 1 unit) In the event fewer residential units are constructed at the time of Part II approval, fewer parking spaces may also be constructed, so long as the requisite parking ratio of 6:5 of residential units to parking spaces is maintained. If revisions are required by another City agency at the time of building permit applications, the number of parking spaces may be reduced so long as the requisite minimum ratio of spaces per dwelling unit is maintained
Minimum Number of Off-Street Loading Docks:	0
Minimum Building Setbacks:	0 feet, 0 inches from property line 12 feet, 0 inches from street curb
Maximum Building Height:	79 feet, 11 inches

Planned Development Boundary And Property Line Map.

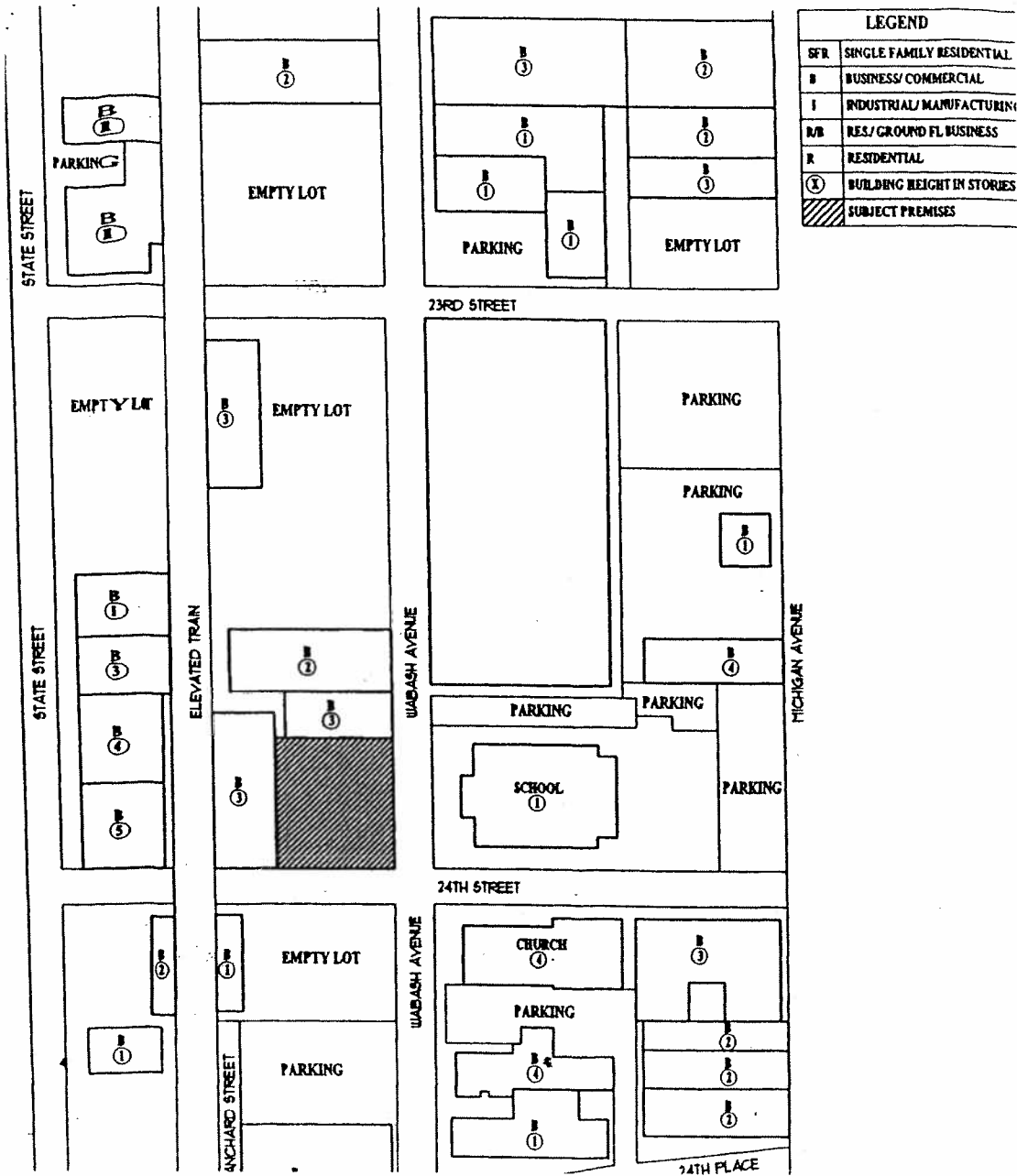


Existing Zoning Map.

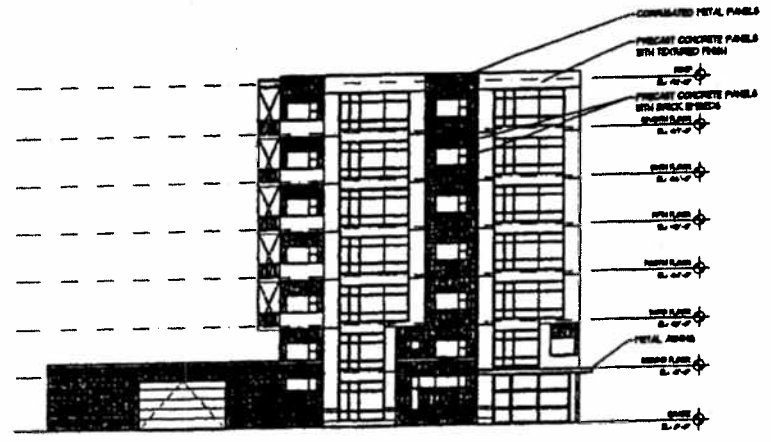
LEGEND
SUBJECT PREMISES



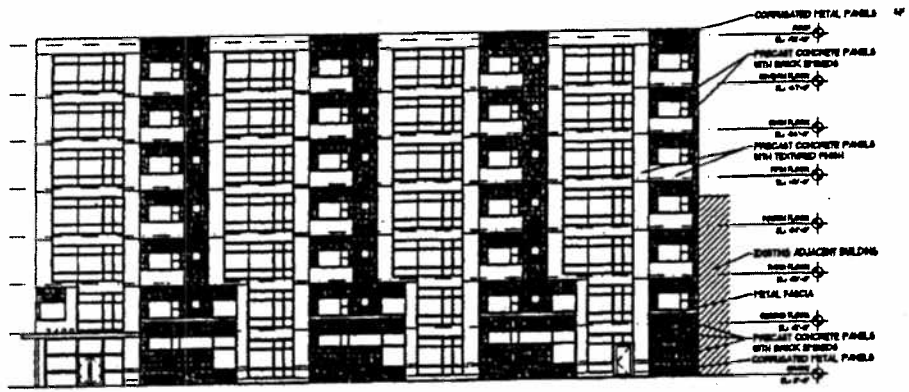
Existing Land-Use Map.



Building Elevations.
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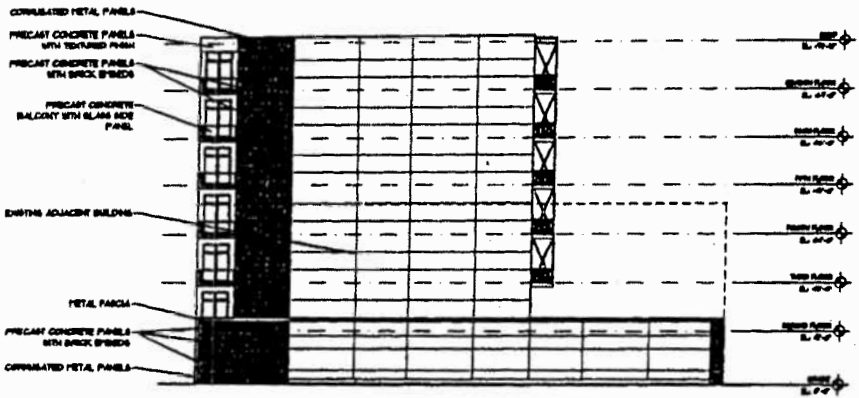


② E. 24TH STREET ELEVATION
1/32"=1'-0"

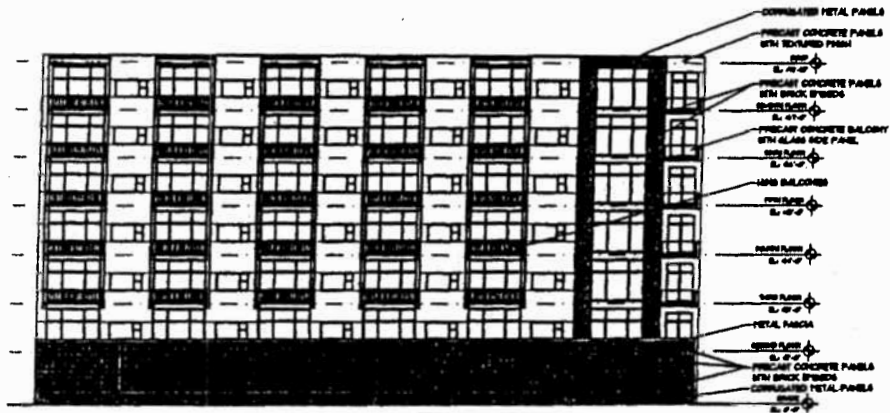


① WABASH STREET ELEVATION
1/32"=1'-0"

Building Elevations.
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② E. 24TH STREET ELEVATION
1/32"=1'-0"



① WABASH STREET ELEVATION
1/32"=1'-0"