

19067

1/25/2017

REPORTS OF COMMITTEES

42271

*Reclassification Of Area Shown On Map No. 8-G.
(Application No. 19067)
(Common Address: 1010 -- 1058 W. 35th St.)*

[O2016-8645]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Residential Planned Development Number 961 symbols and indications as shown on Map Number 8-G in the area bounded by:

the alley next north of and parallel to West 35th Street; a line 510.53 feet east of and parallel to South Aberdeen Street; West 35th Street; and South Aberdeen Street,

to the designation of a C3-5 Commercial, Manufacturing and Employment District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

~~*Reclassification Of Area Shown On Map No. 9-N.
(Application No. 19059)
(Common Address: 6746 -- 6756 W. Belmont Ave.)*~~

[O2016-8637]

~~*Be It Ordained by the City Council of the City of Chicago:*~~

~~SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B1-1 Neighborhood Shopping District symbols and indicators as shown on Map Number 9-N in the area bounded by:~~

~~North Oak Park Avenue; West Belmont Avenue; a line 133.10 feet east of and parallel to North Oak Park Avenue; and the public alley next north of and parallel to West Belmont Avenue,~~

~~to those of a C1-2 Neighborhood Commercial District.~~

~~SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.~~



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 15, 2016

Bridget M. O'Keefe
Daspin Aument LLP
227 West Monroe Street
Suite 3500
Chicago, IL 60606

Re: **One-year sunset extension for Residential Business Planned Development No. 961
1012-1058 W. 35th Street**


Dear Ms. O'Keefe:

Please be advised that your request for a one-year sunset extension to the six-year construction period for Residential Business Planned Development No. 961 has been considered by the Department of Planning and Development pursuant to Section 17-13-0612-B of the Chicago Zoning Ordinance and Statement No. 17 of the Planned Development.

PD 961 was passed by the Chicago City Council on March 10, 2010. Statement No. 17 of the Planned Development contains the sunset provisions, which requires commencement of substantial construction within six years of the effective date of the ordinance. Your firm represents 1010-1058 W. 35th Street, Chicago, LLC, who recently purchased the property from the Bankruptcy Court Trustee and is in the process of preparing a redevelopment plan for the building. As a result, you are requesting on behalf of your client a one-year extension of the sunset provisions.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Planned Development No. 961, I hereby approve a one-year sunset extension from March 10, 2016 to March 10, 2017.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:PM:tm

C: Alderman Patrick Thompson, Mike Marmo, Erik Glass, Main file

3/10/2010

REPORTS OF COMMITTEES

16833
87135

Reclassification Of Area Shown On Map No. 8-G.
(As Amended)
(Application No. 16833)
(Common Address: 1012 -- 1058 W. 35th St.)

R BPD 961, 99

[SO2010-868]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing the Residential Planned Development Number 961 designation as shown on Map Number 8-G in the area bounded by:

the alley next north of and parallel to West 35th Street; a line 511.0 feet east of and parallel to South Aberdeen Street; West 35th Street; and South Aberdeen Street,

to the designation of a B3-5 Community Shopping District and then to Residential-Business Planned Development Number 961, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as set forth in the Plan of Development attached hereto and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 961, As Amended.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development (the "Planned Development") consists of approximately sixty-three thousand eight hundred nineteen (63,819) square feet (one and forty-six hundredths (1.46) acres) of Net Site Area which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property"). The Property is owned and controlled by 35th Street Development Corp. ("Applicant") which has applied to rezone the Property.
2. Applicant shall obtain all applicable official reviews, approvals or permits that are necessary to implement this Planned Development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submission on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns, grantees and lessees and, if different than the Applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title owner and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, the Property shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessees. An agreement among property owners, the board of directors of any property owners association, or a covenant binding property owners may designate the authorized party for any future amendments, modifications or changes.
4. This plan of development consists of these seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; and a Site Plan/Landscape Plan; Green Roof Plan; and Building and Garage Elevations dated February 18, 2010, prepared by Hartshorne Plunkard Architecture. The Planned Development is applicable to the area delineated hereto. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall apply. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The following uses shall be permitted within the area delineated herein as a Residential-Business Planned Development:

all uses permitted in the B2-5 Neighborhood Mixed-Use District, except Single-Room Occupancy; Townhouse; Community Home, Family; Bank, Savings Bank, Savings and Loan Association, Credit Union, with the exception of Automated Teller Machine; and Hair Salon, Nail Salon, Massage Establishment and Barbershop.

The following uses shall also be permitted:

Community Center; Veterinary Clinic; Communication Service Establishment; Restaurant, General; Residential Storage Warehouse; Outdoor Patio, Rooftop; and Accessory and Non-Accessory Parking, including provisions for up to six (6) spaces for temporary shared-use rental cars.

The following uses shall be prohibited:

Community Home, Group; Domestic Violence Shelter; Nursing Home (Skilled Nursing Care); Temporary Overnight Shelter; Transitional residences; Transitional Shelters; Detention and Correctional Facilities; Religious Assembly; Adult Use; Day Labor Employment Agency; Payday Loan Store; Pawn Shop; Liquor Store (package goods); Coin-operated Laundromat, except as accessory to building residences; all uses in the Vehicle Sales and Service Category; and Recycling Facilities -- Class 1.

6. On-premise signs shall be permitted within the area designated as a "Residential Business Planned Development" subject to the review and approval of the Department of Zoning and Land Use Planning. Temporary signs, such as construction and marketing signs, shall be permitted, subject to the review and approval of the Department of Zoning and Land Use Planning. Off-premise signs shall not be permitted in the Planned Development.
7. Off-street parking and loading facilities shall be provided in compliance with the Planned Development Site Plan, subject to the review and approval of the Department of Transportation and the Department of Zoning and Land Use Planning. Two (2) off-street loading berths shall be provided within this Planned Development. Residential off-street accessory parking shall be provided as a ratio of one space per residential unit.
8. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Zoning and Land Use Planning. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Department of Transportation.
9. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. In addition to the maximum height of the buildings and any appurtenance thereto prescribed in this Planned Development, the height of any improvement shall also be subject to height limitation approved by the Federal Aviation Administration.
10. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Data and Regulations Table. For purposes of Floor Area Ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply.
11. Upon Part II Review, a Part II Fee shall be assessed by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance.

The fee as determined by the staff at that time is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.

12. The improvements on the Property, including landscaping and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Bulk Regulations and Data Table, the Site Plan/Landscape Plan and Building and Garage Elevations prepared by Hartshorne Plunkard Architecture dated February 18, 2010, all of which are attached hereto and made a part hereof. Landscaping shall be installed and maintained in accordance with the provisions of the Chicago Zoning Ordinance or as otherwise approved administratively by the Department of Zoning and Land Use Planning and reflected on the attached Site and Landscape Plans. Notwithstanding any statement to the contrary, this Planned Development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of the Planned Development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this Planned Development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.

The Applicant acknowledges that the existing building is listed on the National Register of Historic Places. The Applicant agrees to retain and preserve the character-defining features of the building. For the purposes of the Planned Development, the character-defining features are the south (street) and east elevations of the existing building, including rooflines. The following general guidelines shall apply to work to the character-defining features: (a) original features and materials such as the masonry and glass block should be retained and preserved as much as possible; (b) original features and materials that may be beyond repair or are missing should be replaced to match the original features as much as possible; and (c) changes such as the new ground-floor commercial entrances should be compatible with the building's historic character. Signage should not obscure decorative features or damage historic materials and should be compatible with the historic character of the building in terms of size, location, number, design, materials and illumination.

As the Applicant intends to participate in the Federal Rehabilitation Tax Credit program, the work to the character-defining features will be required to conform with the standards and the guidelines of the National Park Service to be eligible for that program. Pursuant to Part II Review, the Department of Zoning and Land Use Planning will make its best efforts to coordinate its review of work to the character-defining features with that certified by the National Park Service.

13. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department of Zoning and Land Use Planning upon the written application for such a modification by the Applicant

or its successors or assigns; and after a determination by the Commissioner of the Department of Zoning and Land Use Planning that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in the Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this Planned Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.

14. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
15. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner that provides healthier environments, reduces operating costs and conserves energy and natural resources. The Applicant shall design and construct the renovations to the existing loft building on the Property so as to exceed the standards of A.S.H.R.A.E. 90.1-2004 by at least fourteen percent (14%). The Applicant shall provide a vegetated ("Green") roof for at least fifty percent (50%) of Net Building Roof Area (at least eleven thousand five hundred (11,500) square feet). The term "Net Building Roof Area" shall be defined as the roof area of the existing loft building on the Property minus any perimeter setbacks required, rooftop structures and roof-mounted equipment.
16. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner that promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote a high standard of accessibility.
17. Unless substantial construction of the improvements contemplated within this Planned Development has commenced within six (6) years following adoption of this Planned Development, and unless completion is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert to B3-5 Community Shopping District. This six (6) year period may be extended for up to one additional year if, before expiration of the six (6) year period, the Commissioner of Zoning and Land Use Planning determines that there exists good cause for an extension.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Site Plan/Landscape Plan; Green Roof Plan; North and South Building Elevations; East and West Building Elevations; Garage Plans; Garage Elevations; and Chicago Builds Green Form referred to in these Plan of Development Statements printed on pages 87142 through 87152 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development No. 961, As Amended.

Bulk Regulations And Data Table.

Gross Site Area:	Total:	90,263 square feet (2.08 acres)
Net Site Area:	Total:	63,850 square feet (1.47 acres)
Public Right-of-Way Net Area:	Total:	26,413 square feet (0.61 acre)
Maximum Floor Area Ratio:	Total:	4.4
Maximum Number of Residential Units:	Total:	158 Dwelling Units
Maximum Commercial/Retail Floor Space:	Total:	60,000 square feet
Maximum Site Coverage:	In accordance with the Site Plan	
Minimum Number of Off-Street Parking Spaces:		
Total:	198 Parking Spaces	

158 Required Accessory Spaces for Residential

40 Non-required Accessory Spaces for Commercial; may also be made available to area residents as non-accessory parking

Note: If less than 158 residential units are constructed, the Applicant may request a reduction in the number of required parking spaces, so long as the 1:1 parking ration is maintained, and the Commissioner of Zoning and Land Use Planing may grant such request as an administrative adjustment.

All parking shall be required to be located within the parking addition, and no parking shall be allowed within the existing building.

Minimum Number of Off-Street Loading Docks:

Total: 2

Minimum Building Setbacks from the Property Line:

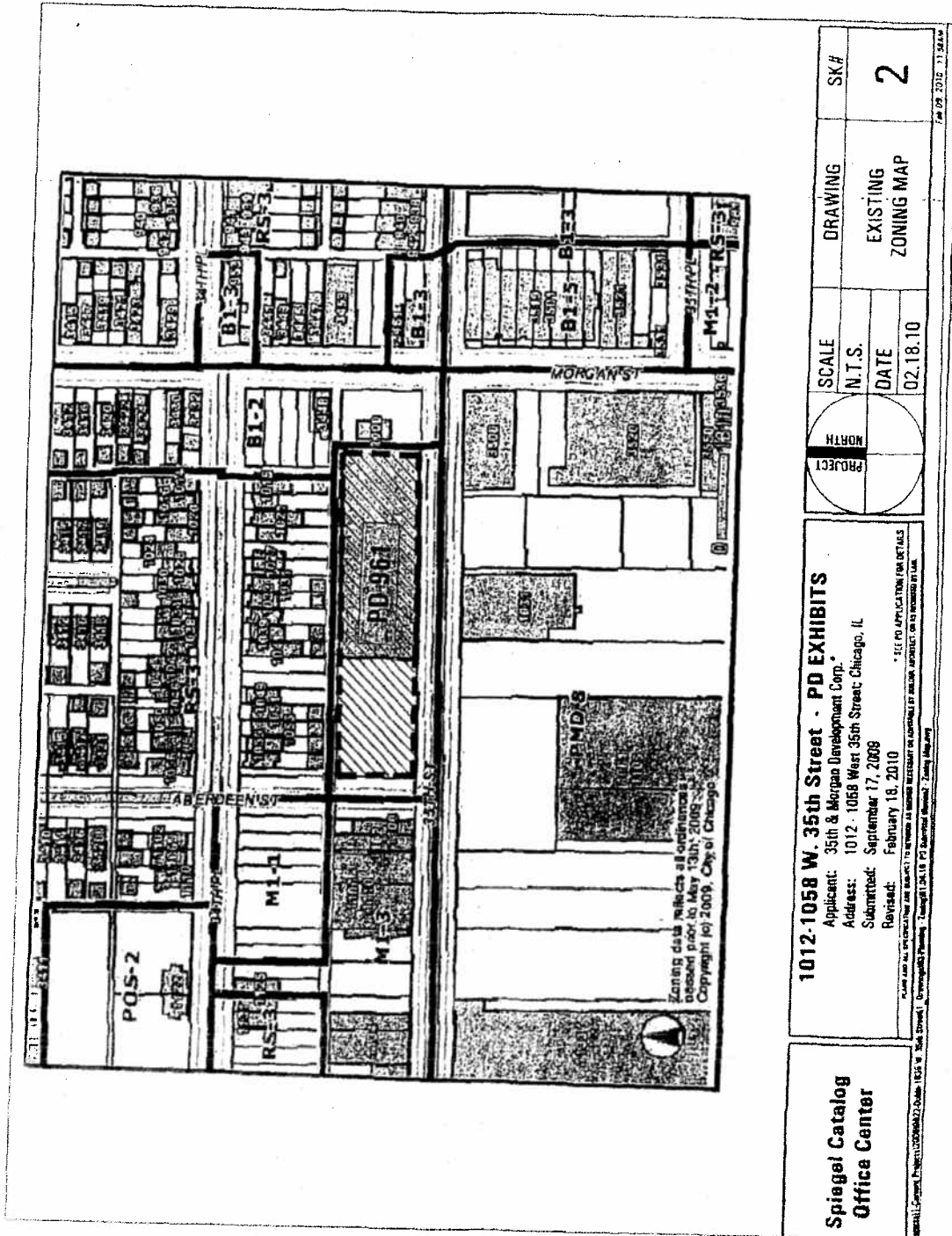
	Existing Building	Garage (New)
South	0 feet	1 foot
West	N.A.	3 feet
North	0 feet	0 feet
East	0 feet	N.A.

Maximum Building Height:

Existing Building: 82 feet to the top of the existing roof slab
105 feet to the top of rooftop mechanical space

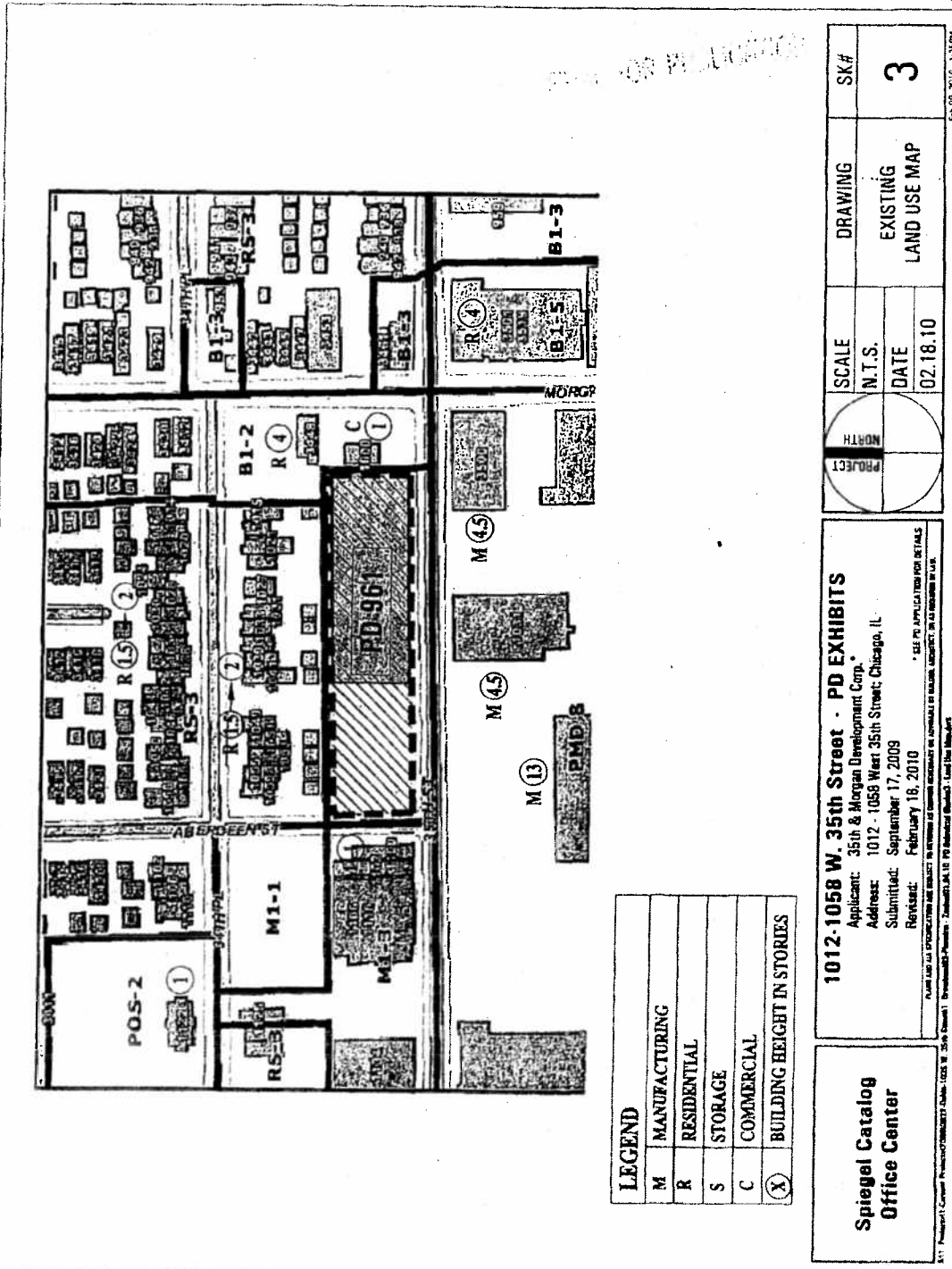
Parking Deck: 40 feet.

Existing Zoning Map.



1012-1058 W. 35th Street - PD EXHIBITS Applicant: 35th & Morgan Development Corp. Address: 1012 - 1058 West 35th Street, Chicago, IL Submitted: September 17, 2009 Revised: February 18, 2010 <small>* SEE PD APPLICATION FOR DETAILS <small>PLEASE USE ALL THE INFORMATION ON THIS MAP TO VERIFY THE ACCURACY OF THE INFORMATION. THE CITY OF CHICAGO IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CITY OF CHICAGO IS NOT RESPONSIBLE FOR ANY DAMAGES, INCLUDING BUT NOT LIMITED TO, LOSS OF PROFITS, BUSINESS INTERRUPTION, OR ANY OTHER ECONOMIC LOSS, ARISING FROM THE USE OF THIS MAP.</small> </small>	SCALE N.T.S. DATE 02.18.10	DRAWING EXISTING ZONING MAP	SK# 2
	Spiegel Catalog Office Center		

Existing Land-Use Map.



LEGEND

M	MANUFACTURING
R	RESIDENTIAL
S	STORAGE
C	COMMERCIAL
(X)	BUILDING HEIGHT IN STORIES

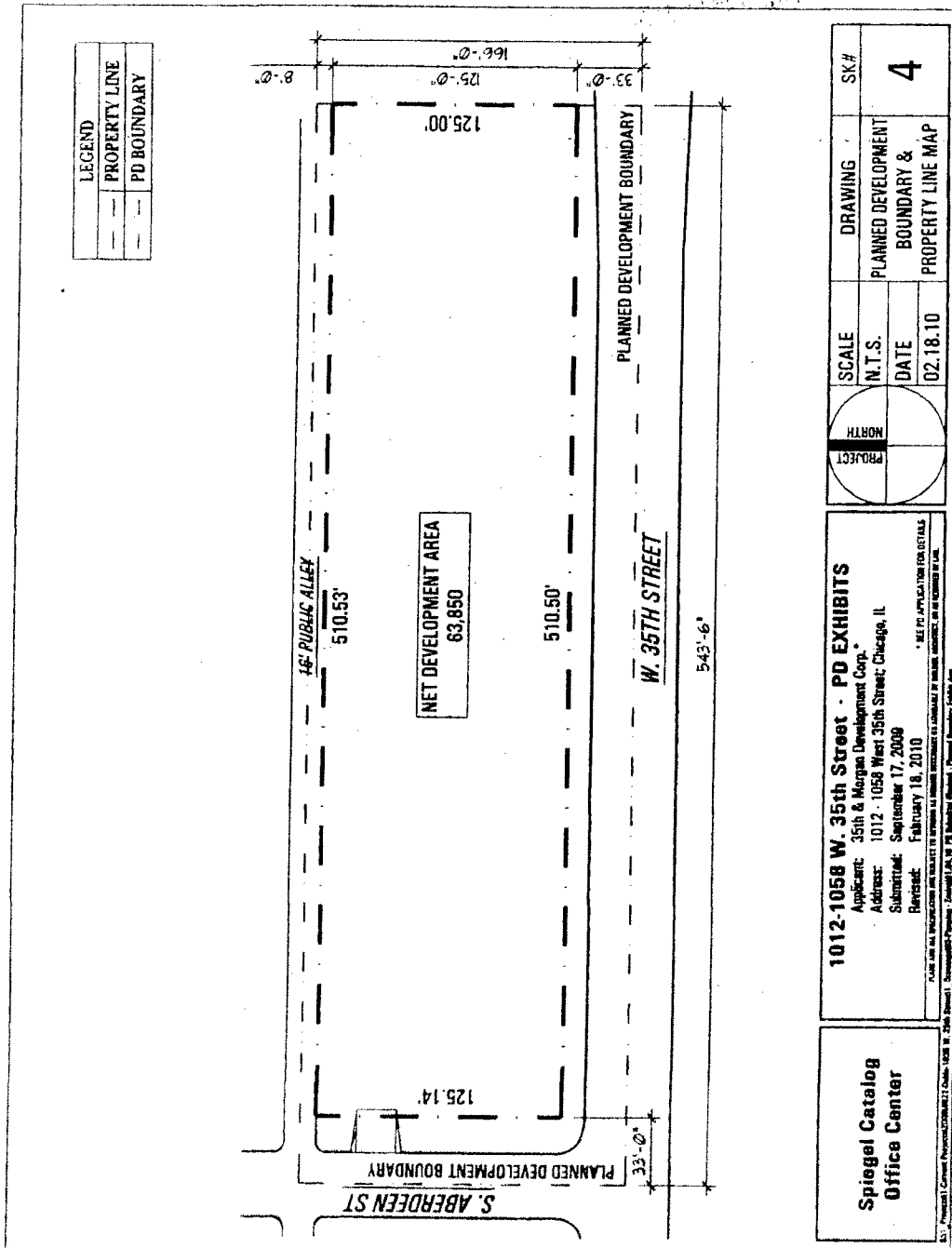
SCALE	N.T.S.	DRAWING	EXISTING LAND USE MAP	SK#	3
DATE	02.18.10				

1012-1058 W. 35th Street - PD EXHIBITS
 Applicant: 35th & Morgan Development Corp.
 Address: 1012 - 1058 West 35th Street, Chicago, IL
 Submitted: September 17, 2009
 Revised: February 16, 2010
* SEE PD APPLICATION FOR DETAILS
 PLANS AND ALL SPECIFICATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY ALL CITY DEPARTMENTS AND AS REQUIRED BY LAW.
 CITY OF CHICAGO - Planning Department - 2nd Floor - 100 N. Dearborn Street - Chicago, IL 60610

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Fig. 03, 2010 1:30PM

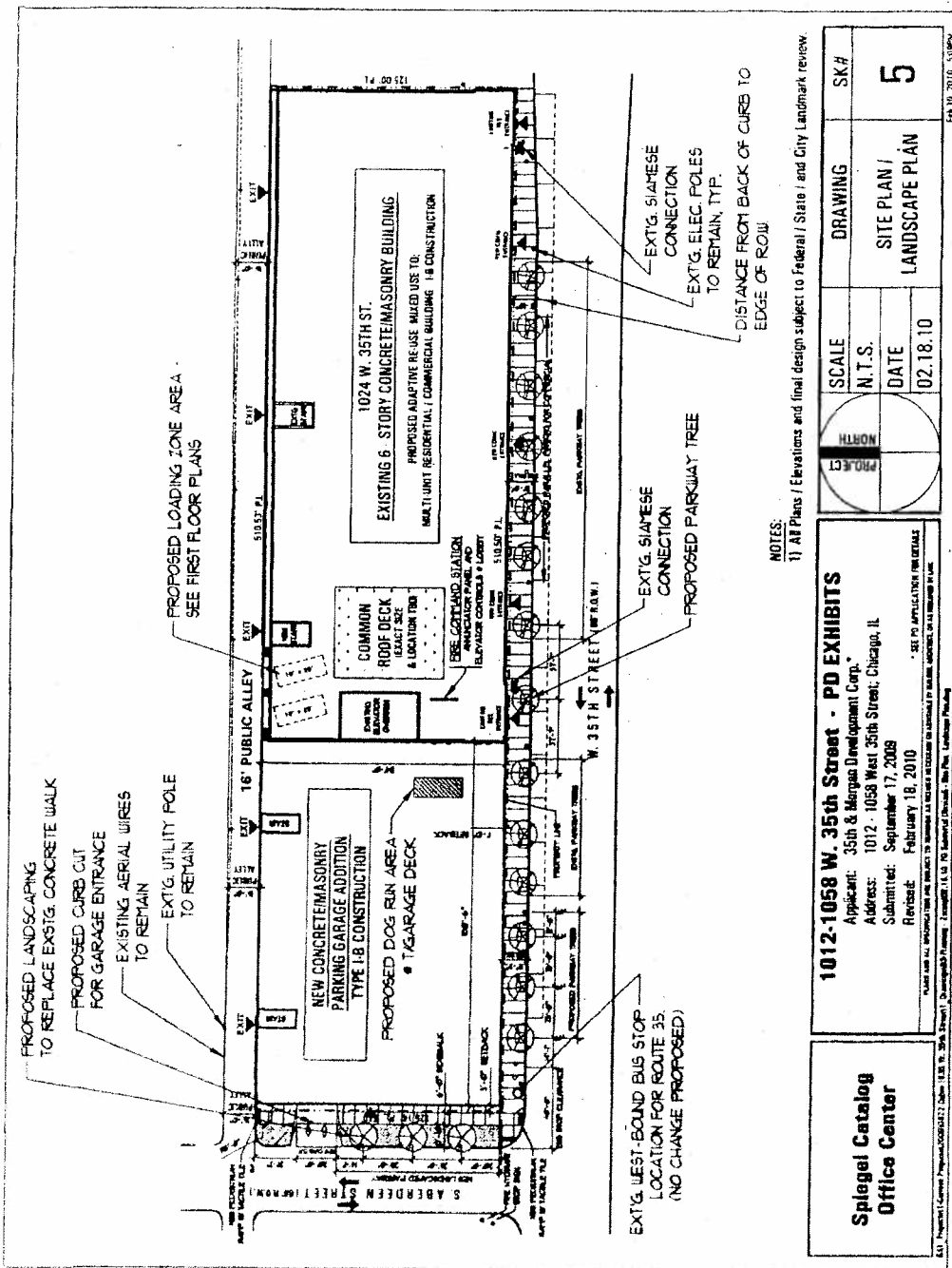
Planned Development Boundary And
Property Line Map.



LEGEND	
---	PROPERTY LINE
---	PD BOUNDARY

Spiegel Catalog Office Center	1012-1058 W. 35th Street - PD EXHIBITS Applicant: 35th & Morgan Development Corp. Address: 1012 - 1058 West 35th Street, Chicago, IL Submitted: September 17, 2009 Revisited: February 18, 2010 <small>* SEE CITY APPLICATION FOR DETAILS</small> <small>PLEASE USE ALL DIMENSIONS AND LOCATIONS AS SHOWN ON THESE RECORDS AS AVAILABLE. IF NECESSARY, CONTACT THE RECORDING OFFICE FOR DETAILS.</small>		SCALE N.T.S. DATE 02.18.10	DRAWING PLANNED DEVELOPMENT BOUNDARY & PROPERTY LINE MAP	SK# 4
	PROJECT NORTH				

Site Plan/Landscape Plan.



NOTES:
1) All Plans / Elevations and final design subject to Federal / State / and City landmark review.

	SCALE	DRAWING	SK#
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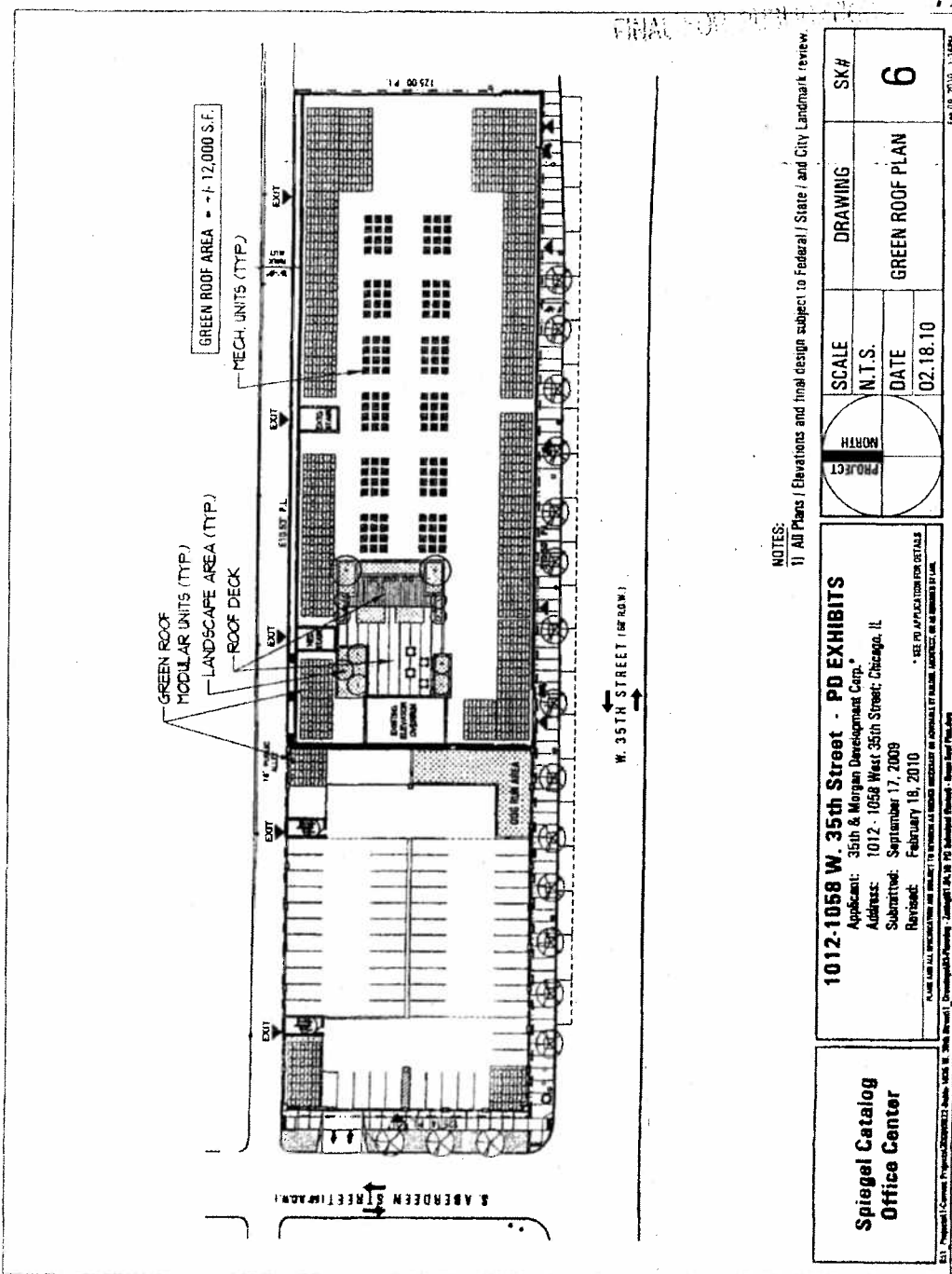
1012-1058 W. 35th Street - PD EXHIBITS
 Applicant: 35th & Morgan Development Corp.
 Address: 1012 - 1058 West 35th Street, Chicago, IL
 Submitted: September 17, 2009
 Revised: February 18, 2010

PLEASE READ ALL SPECIFICATIONS AND CONTACT THE SUBMITTER AS NECESSARY TO RESOLVE ANY ISSUES OR QUESTIONS. SEE ALL ATTACHED PLANS.
 * SEE PD APPLICATION FOR DETAILS

DATE: 02/18/2010 5:09PM

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Green Roof Plan.



NOTES:
 1) All Plans / Elevations and final design subject to Federal / State / and City Landmark review.

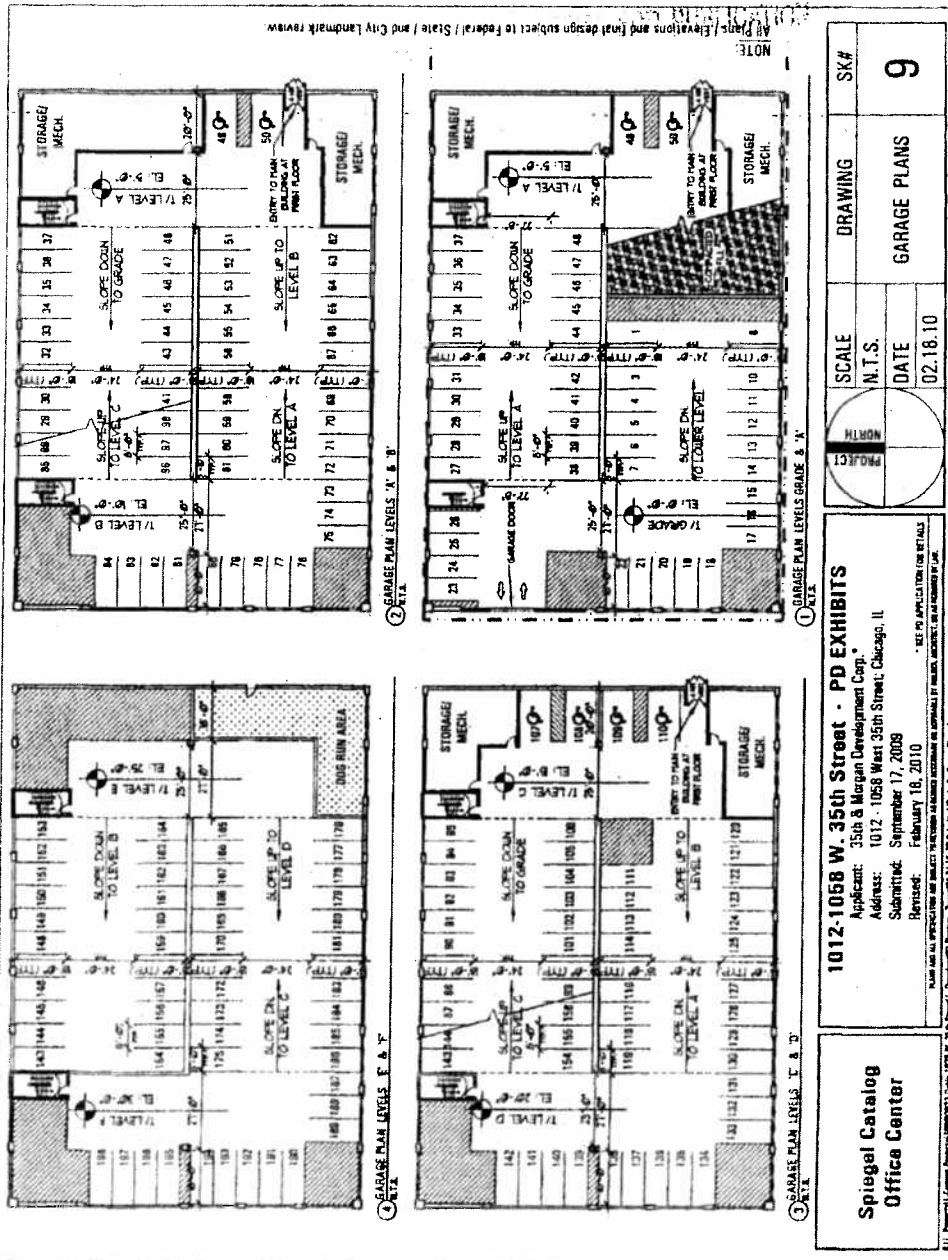
PROJECT	SCALE	DRAWING	SK#
	N.T.S.	GREEN ROOF PLAN	6
DATE		02.18.10	

1012-1058 W. 35th Street - PD EXHIBITS
 Applicant: 35th & Morgan Development Corp.
 Address: 1012 - 1058 West 35th Street, Chicago, IL
 Submitted: September 17, 2009
 Revised: February 18, 2010
* SEE PD APPLICATION FOR DETAILS
 PLEASE USE ALL APPLICABLE CODES AND STANDARDS TO DETERMINE ALL REQUIRED ACCESSORIES OR ADJUSTMENTS TO BE SUBMITTED AS PART OF THE PD APPLICATION.

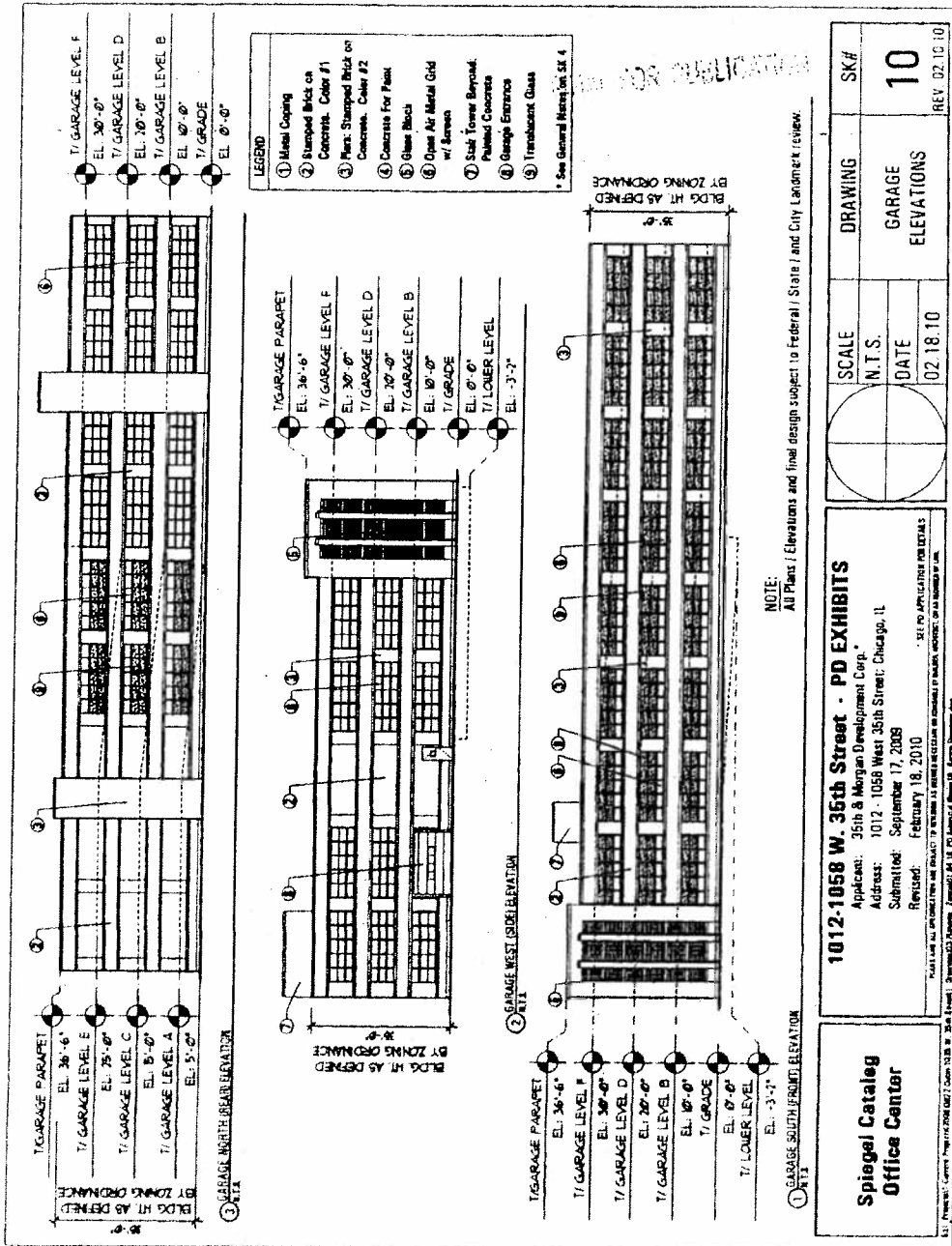
**Spiegel Catalog
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Garage Plans.



Garage Elevations.



NOTE:
 All Plans / Elevations and final design subject to Federal / State / and City Landmark review.

SCALE	DRAWING	SK#
N.T.S.	GARAGE ELEVATIONS	10
DATE		
02.18.10		
		REV 02.10.10

1012-1058 W. 36th Street - PD EXHIBITS
 Applicant: 35th & Morgan Development Corp.
 Address: 1012 - 1058 West 36th Street, Chicago, IL
 Submitted: September 17, 2009
 Revised: February 18, 2010

ALL WORK AND INFORMATION ON EXHIBIT IS SUBJECT TO REVIEW AND APPROVAL BY CHICAGO DEPARTMENT OF PUBLIC WORKS, SUBJECT TO A REVIEW BY THE CITY ENGINEER AND THE CITY COMMISSIONER OF PUBLIC WORKS.

Spiegel Catalog Office Center

1012-1058 W. 36th Street - PD EXHIBITS

Chicago Builds Green Form.

(Page 1 of 3)

Project Name:

Spiegel Catalog Office Center - Bridgeport Lofts - Adaptive Reuse of Existing Building

Project Location:

* Street Number (if the address only includes one street number, please fill only the cell "From"):

From*	To*	Direction:	Street Name:	Select Street Type:
1012	1058	W	35 th	St

Ward No. Community Area No.

11	60
----	----

Check applicable:

Project Type:

Planned Development Redevelopment Agreement Zoning Change

↳ PD No: ↳ RDA No: ↳ From: To:

Public project Landmark

Project Size:

Total land area in sq. ft.:	Total building(s) footprint in sq. ft.:	Total vehicular use area in sq. ft.:
63,850	62,373	130

DPD Project Manager:

Enter First Name Last Name

Fred Deters

BG/GR Matrix:

Select project category:

Res. 4 or more Market Rate

Financial Incentives:

Check applicable:

TIF Empowerment Zone Grant Class L

GRIF Ind. Dev. Revenue Bonds Class 6b

SBIF Bank Participation Loan DOH

Land Sale Write Down

Density Bonus:

Check applicable:

Public plaza & pocket park Water features in a plaza or pocket park

Chicago Riverwalk improvements Setbacks above the ground floor

Winter gardens Lower level planting terraca

Indoor through-block connection Green roof

Sidewalk widening Underground parking and loading

Arcades Concealed above-ground parking

Chicago Builds Green Form.

(Page 2 of 3)

Landscaping:

7' Landscape Setback
 Interior Landscape Area
 No. of Interior Trees
 No. of Parkway Trees

	Required per Zoning Code or Green Roof/Building Green Matrix	To be Provided by the development:
Square footage:	0	0
Square footage:	0	0
	0	0
	17	17

Open Space:

River Setback
 Private Open Space
 Privately developed Public Open Space

Square footage:	0	0
Square footage:	0	2000
Square footage:	0	0

Stormwater Management (At-grade volume control):

Permeable paving
 Raingarden
 Filter strip
 Bioswale
 Detention pond
 Native landscaping
 Rain-water collection cistern/barrel
 Total impervious area reduction

Square footage:	0
Check applicable:	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
Square footage:	0
Gallons:	0
Square footage:	0

Other sustainable surface treatments:

Green roof
 Energy Star roof
 High-albedo pavement

Square footage:	11,500	11,500
Square footage:	0	0
Square footage:		0

Transportation:

No. of accessory parking spaces
 Total no. of parking spaces (Accessory + Non- Acc.)
 No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)
 No. of bicycle parking
 Within 600 ft of CTA or Metra station entrance

	158	158
		198
	0	2
	32	32

Check if applicable:

Chicago Builds Green Form.

(Page 3 of 3)

Building Certification:

- | | | |
|----------------------------------|--------------------------|--------------------------|
| Energy Star building | <input type="checkbox"/> | <input type="checkbox"/> |
| LEED certification | <input type="checkbox"/> | |
| LEED Certified | | <input type="checkbox"/> |
| LEED Silver | | <input type="checkbox"/> |
| LEED Gold | | <input type="checkbox"/> |
| LEED Platinum | | <input type="checkbox"/> |
| Chicago Green Homes | <input type="checkbox"/> | |
| Chicago Green Homes [one-star] | | <input type="checkbox"/> |
| Chicago Green Homes [two-star] | | <input type="checkbox"/> |
| Chicago Green Homes [three-star] | | <input type="checkbox"/> |

Energy efficiency strategies not captured above:

(i.e. Other than Energy Star Roof - or Energy Star Building Certification)

Mechanical design to exceed ASHRAE 90.1-2004 by at least 14%

Other sustainable strategies and/or Project Notes:

Adaptive Reuse of Existing Building



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

February 17, 2006

Mr. David A. Bonoma
Reyes & Bonoma
One North La Salle Street; Suite 4500
Chicago, Illinois 60602

RE: Request for Minor Change to Residential Planned Development No. 961
(1038 West 35th Street)

Dear Mr. Bonoma:

Please be advised that your request for Minor changes to Residential Planned Development No. 961 on behalf of Dubin Residential has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested the following:

Relocation of the Loading Dock. You requested to relocate the loading dock from the location approved in the Planned Development along the alley to the west end of the parking structure with access from South Aberdeen Street. This was depicted on Exhibit 2: First Floor/Site Plan by Hartshorne + Plunkard Architecture, dated December 22, 2005. This change would be to provide safer, more convenient access to the loading dock than could be done from the alley.

Redesign of the Balconies. You requested to redesign the balconies so that there would be overhanging balconies on floors 2 through 6 on the south (35th Street) side of the building, and that there would be recessed balconies on floors 1 through 4 and overhanging balconies on floors five and six on the north (alley) side of the building. The proposal is illustrated in Exhibit 4: Building Elevation - South by Hartshorne + Plunkard Architecture, dated December 22, 2005. The Planned Development called for recessed balconies on floors 1 through 6 on the south side of the building and hanging balconies on floors 2 through 6 on the north side. These changes would allow the developer to retain more of the building's original brick work along W. 35th Street and eliminate the possibility of balconies than overhang the alley interfering with utility wires in the alley.

Redesign of Front Entrance on West 35th Street. You requested to move the front entrance on W. 35th Street from the west end of the existing building where it abuts the proposed parking deck to the middle of the 35th Street elevation of the existing building, also illustrated in Exhibit 4. The facade work of this entrance would be in keeping with the style and detailing of the existing building. This change would be to permit a more convenient internal circulation arrangement for the residents of the building.

Root-top Deck. You requested approval of a roof-top deck for the common use of the building's residents (Exhibit 5: Proposed Roof Deck by Hartshorne + Plunkard Architecture, dated December 22, 2005).



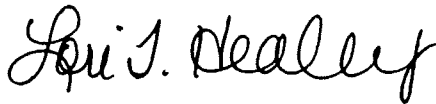
42



The Department has reviewed the request and has determined that the proposed minor changes would conform to the requirements of Section 17-13-0611 of the Zoning Ordinance and would be appropriate. The relocation of the loading dock from the alley to S. Aberdeen Street would improve access and safety, would not significantly interrupt the movement of pedestrians along S. Aberdeen Street, and has been approved by the Chicago Department of Transportation. The redesign of the balconies would allow more light into the units on the south side of the building and remove a potentially dangerous location of balconies near the utility wires in the alley. Please be aware that the construction of any structures (e.g., balconies) into or above the public way (35th Street or the alley) will require a permit from the Department of Transportation. The relocation of the main 35th Street entrance is consistent with the intent of the Planned Development. The proposed common roof-top deck would not be visible from the street and would not add to either the height or FAR of the building. Such a deck, however, shall be included in the net roof area of the building for determining the amount of vegetated ("green") roof that must be provided.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and the Planned Development, I hereby approve the requested Minor Changes to this Planned Development.

Very truly yours,



Lori T. Healey 
Commissioner

Originated by: Fred Deters

cc: Michael Marmo, Patricia Scudiero, Mary Bonome, Planned Development files

*Reclassification Of Area Shown On Map Number 8-G.
(As Amended)
(Application Number 14747)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-1 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 8-G in the area bounded by:

the alley next north of and parallel to West 35th Street; a line 511.0 feet east of and parallel to South Aberdeen Street; West 35th Street; and South Aberdeen Street,

to those of a B2-5 Neighborhood Mixed-Use District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the B2-5 Neighborhood Mixed-Use District symbols and indications established in Section 1 above to the designation of a Residential Planned Development which is hereby established in the area described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential Planned Development Number 961.

Plan Of Development Statements.

1. The area delineated herein as Residential Planned Development Number 961, consists of approximately sixty-three thousand eight hundred nineteen (63,819) square feet (one and forty-six hundredths (1.46) acres) and is owned or controlled by the applicant, Aberdeen L.L.C.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments

of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees, or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and if different than the applicant, then to the owners of record title to all of the property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors. An agreement among property owners, the board of directors or any property owners association or a covenant binding property owners, may designate the authorized party for any future amendment, modification or change.
4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Property Line and Boundary Map; a Site Plan; a Landscape Plan; and Building and Garage Elevations dated April 14, 2005, prepared by Fitzgerald Associates Architects. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply. In any instance where a provision of this planned development conflicts with the Chicago Building Code, the Building Code shall apply.
5. The following uses shall be permitted within the area delineated herein as "Residential Planned Development": multi-family dwelling units, accessory parking and related uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development.
7. Off-street parking and off-street loading facilities shall be provided in compliance with the planned development, subject to the review and

approval of the Department of Transportation and Department of Planning and Development.

8. Any service drives or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such emergency areas. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
9. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
10. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply.
11. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance. The applicant shall install and maintain a vegetative ("green") roof on at least twenty-five percent (25%) of the net roof area of the existing building within this Planned Development. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures and roof-mounted equipment.
12. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this Planned Development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned

development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.

13. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this planned development in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System ("L.E.E.D."). Copies of these standards may be obtained from the Department of Planning and Development. If City financial assistance is sought in connection with development within this planned development, then relevant City policy in effect at the time such assistance is sought regarding vegetative ("green") roofs and other environmental requirements shall apply.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No building permit shall be issued by the Department of Construction and Permits until the Director of M.O.P.D. has approved detailed construction drawings for the building or improvement proposed to be constructed pursuant to the permit.
15. Unless substantial construction of the improvements contemplated within this planned development has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to the pre-existing M1-1 Light Manufacturing/Business Park District.

[Figure 1 -- Existing Zoning Map; Figure 2 -- Planned Development Boundary and Property Line Map; Figure 3 -- Site Plan; Figure 4 -- Landscape Plan; Figure 5 -- South Elevation; Figure 6 -- North Elevation; Figure 7 -- East and West Elevations; Figure 8 -- Garage South Elevation; and Figure 9 -- Garage North and West Elevations referred to in these Plan of Development Statements printed on pages 48591 through 48599 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential Planned Development.

Bulk Regulations And Data Table.

Gross Site Area:	90,228 square feet	
Net Site Area:	63,819 square feet = Gross Site Area (90,228 square feet) - Area in Adjoining Public Streets and Alleys (26,409 square feet)	
Maximum Floor Area Ratio: 4.4		
Maximum Number of Residential Units:	158 units	
Maximum Site Coverage:	In accordance with Site Plan	
Minimum Number of Off-Street Parking Spaces:	158 spaces	
Minimum Number of Loading Spaces:	1	
Minimum Building Setbacks from the Property Line:	Existing Building	Garage (new)
South	0 feet	1 foot
West	N.A	3 feet
North	0 feet	0 feet
East	0 feet	N.A
Maximum Building Height:	78 feet, as defined and prescribed in Section 17-17-0311 of the Chicago Zoning Ordinance	

Figure 1 -- Existing Zoning Map.

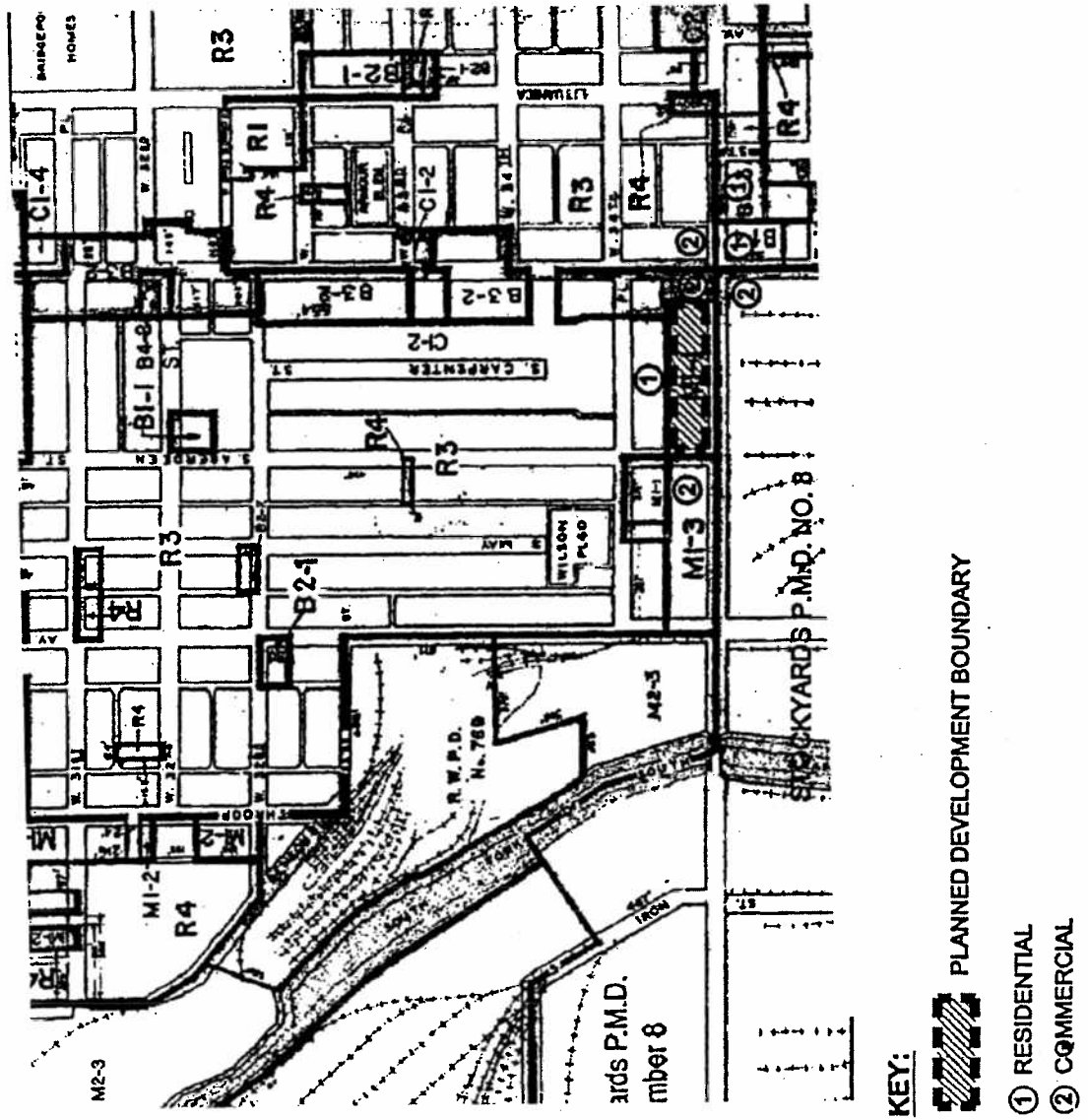


Figure 2 -- Planned Development Boundary
And Property Line Map.

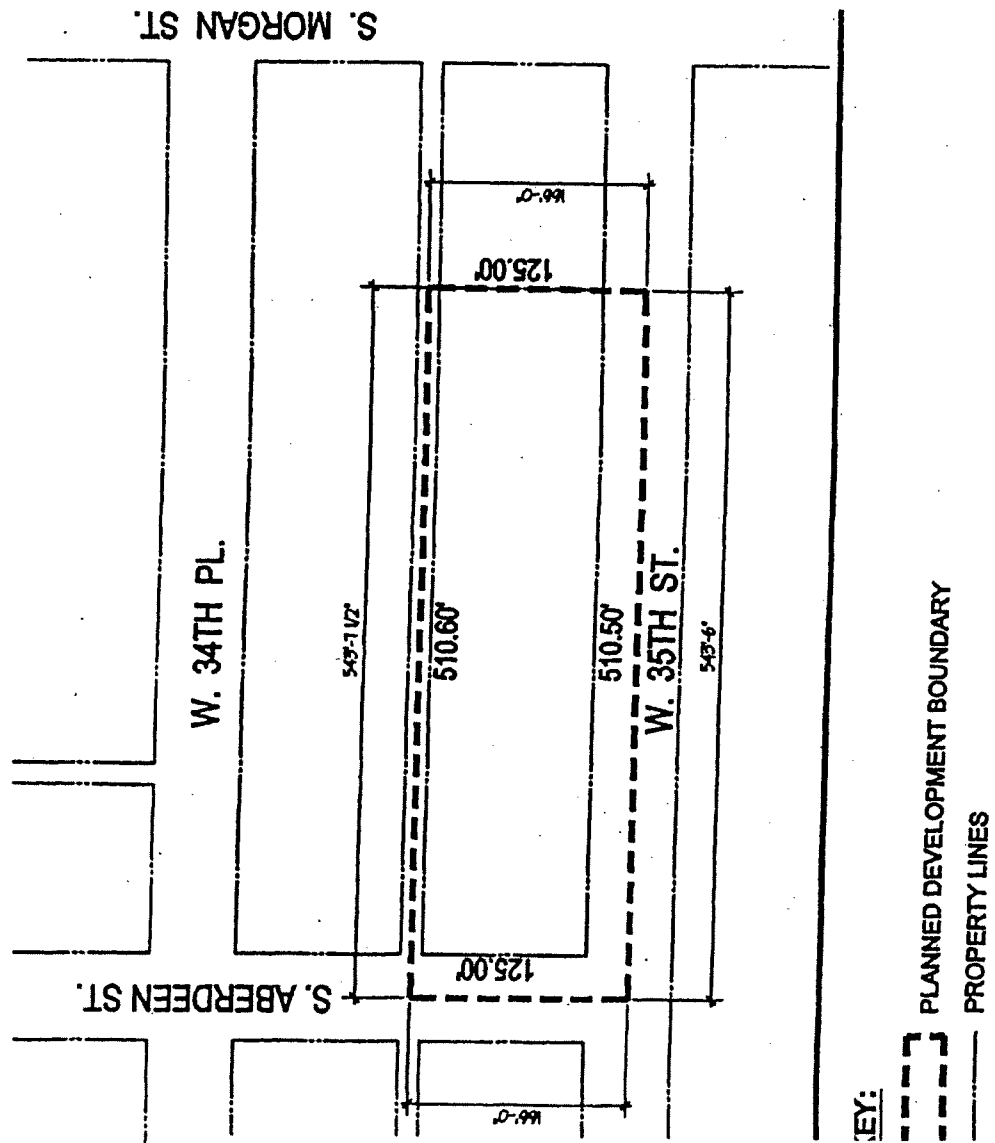


Figure 4 -- Landscape Plan.

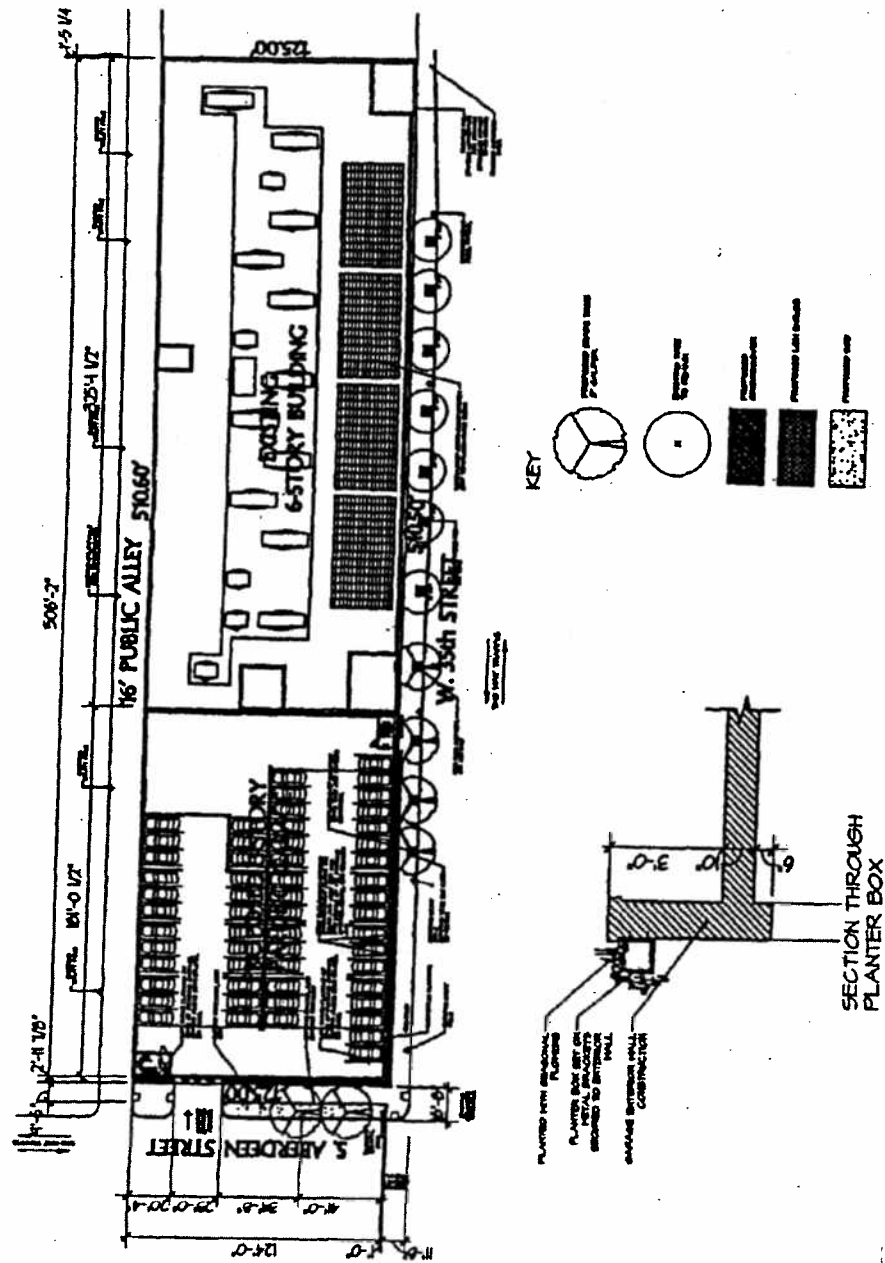
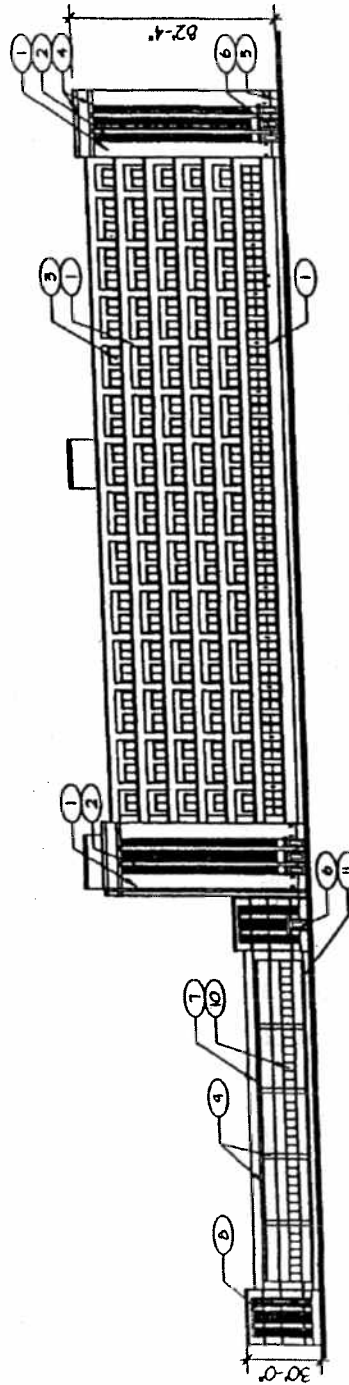
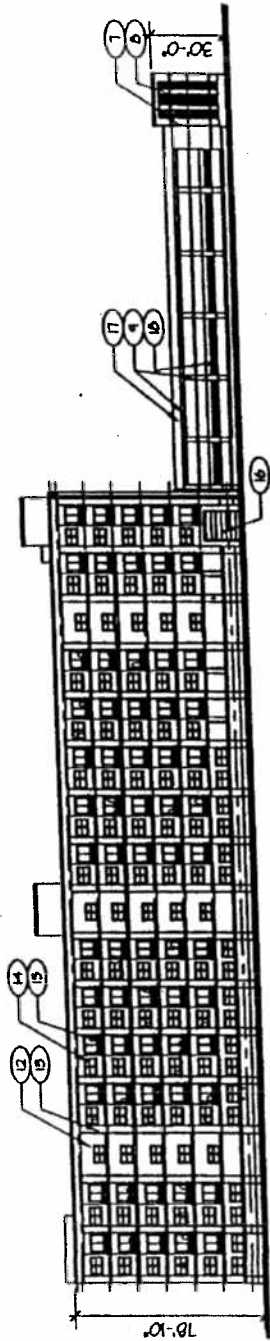


Figure 5 -- South Elevation.



- KEY:**
- ① EXISTING FACE BRICK
 - ② EXISTING GLASS BLOCK
 - ③ PREFINISHED ALUMINUM WINDOWS AND DOORS
 - ④ EXISTING LIMESTONE TRIM
 - ⑤ EXISTING LIMESTONE BASE
 - ⑥ PREFINISHED ALUMINUM AND GLASS DOORS
 - ⑦ FACE BRICK
 - ⑧ GLASS BLOCK
 - ⑨ PRECAST CONCRETE COLUMNS AND HEADER TRIM
 - ⑩ PREFINISHED ALUMINUM WINDOWS W/ TRANSLUCENT GLAZING
- ⑪ PRECAST CONCRETE BASE
 - ⑫ EXISTING COMMON BRICK
 - ⑬ EXISTING CONCRETE COLUMN
 - ⑭ PREFINISHED ALUMINUM WINDOWS
 - ⑮ PAINTED METAL SUSPENDED BALCONY
 - ⑯ OVERHEAD SECTIONAL DOOR
 - ⑰ GROUND-FACE CONCRETE MASONRY UNITS
 - ⑱ ORNAMENTAL METAL GRILLES
 - ⑲ EXISTING CONCRETE SLAB EDGE

Figure 6 -- North Elevation.

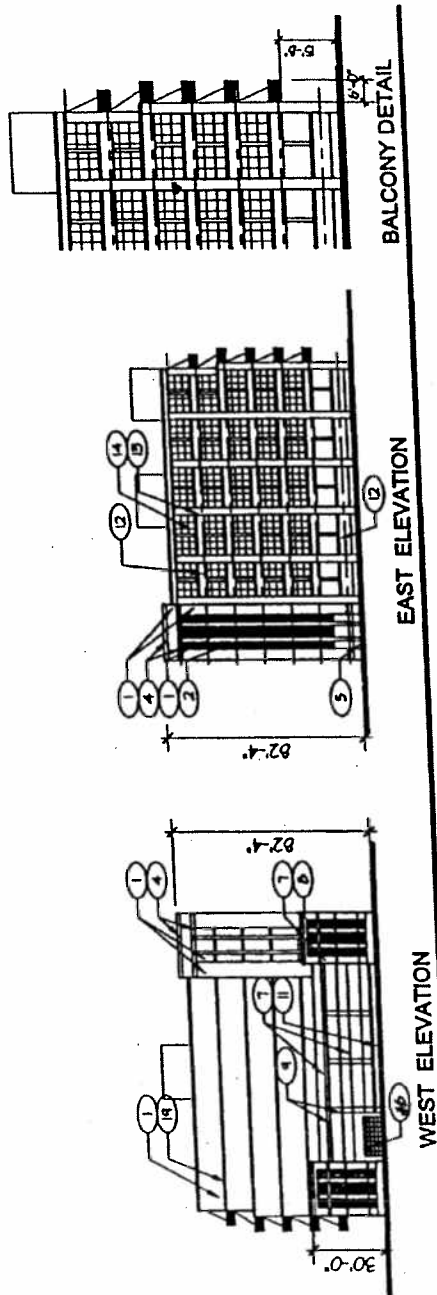


KEY:

- 1 EXISTING FACE BRICK
- 2 EXISTING GLASS BLOCK
- 3 PREFINISHED ALUMINUM WINDOWS AND DOORS
- 4 EXISTING LIMESTONE TRIM
- 5 EXISTING LIMESTONE BASE
- 6 PREFINISHED ALUMINUM AND GLASS DOORS
- 7 FACE BRICK
- 8 GLASS BLOCK
- 9 PRECAST CONCRETE COLUMNS AND HEADER TRIM
- 10 PREFINISHED ALUMINUM WINDOWS W/ TRANSLUCENT GLAZING

- 11 PRECAST CONCRETE BASE
- 12 EXISTING COMMON BRICK
- 13 EXISTING CONCRETE COLUMN
- 14 PREFINISHED ALUMINUM WINDOWS
- 15 PAINTED METAL SUSPENDED BALCONY
- 16 OVERHEAD SECTIONAL DOOR
- 17 GROUND-FACE CONCRETE MASONRY UNITS
- 18 ORNAMENTAL METAL GRILLES
- 19 EXISTING CONCRETE SLAB EDGE

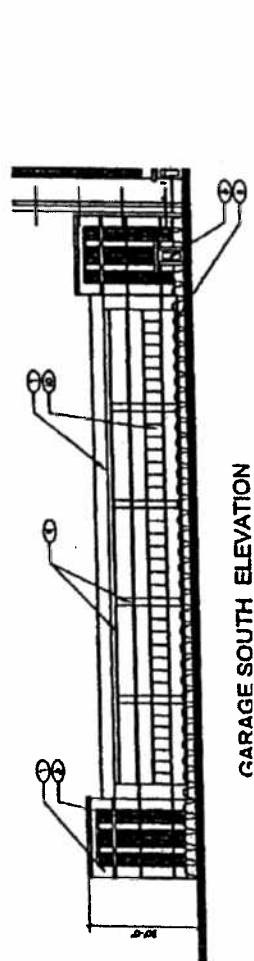
Figure 7 -- East And West Elevations.



- 1) PRECAST CONCRETE BASE
- 2) EXISTING COMMON BRICK
- 3) EXISTING CONCRETE COLUMN
- 4) PREFINISHED ALUMINUM WINDOWS
- 5) PAINTED METAL SUSPENDED BALCONY
- 6) OVERHEAD SECTIONAL DOOR
- 7) GROUND-FACE CONCRETE MASONRY UNITS
- 8) ORNAMENTAL METAL GRILLES
- 9) EXISTING CONCRETE SLAB EDGE

- KEY:**
- 1) EXISTING FACE BRICK
 - 2) EXISTING GLASS BLOCK
 - 3) PREFINISHED ALUMINUM WINDOWS AND DOORS
 - 4) EXISTING LIMESTONE TRIM
 - 5) EXISTING LIMESTONE BASE
 - 6) PREFINISHED ALUMINUM AND GLASS DOORS
 - 7) FACE BRICK
 - 8) GLASS BLOCK
 - 9) PRECAST CONCRETE COLUMNS AND HEADER TRIM
 - 10) PREFINISHED ALUMINUM WINDOWS W/ TRANSLUCENT GLAZING

Figure 8 -- Garage South Elevation.



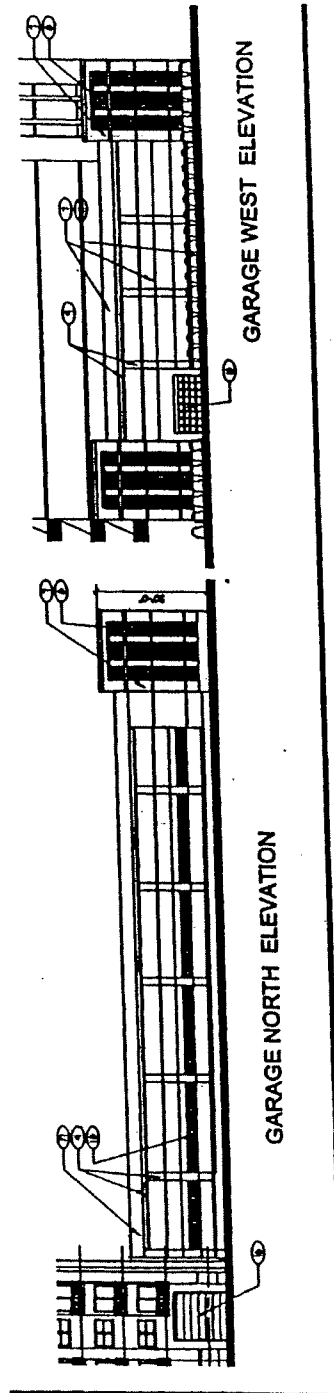
GARAGE SOUTH ELEVATION

KEY:

- ① EXISTING FACE BRICK
- ② EXISTING GLASS BLOCK
- ③ PREFINISHED ALUMINUM WINDOWS AND DOORS
- ④ EXISTING LIMESTONE TRIM
- ⑤ EXISTING LIMESTONE BASE
- ⑥ PREFINISHED ALUMINUM AND GLASS DOORS
- ⑦ FACE BRICK
- ⑧ GLASS BLOCK
- ⑨ PRECAST CONCRETE COLUMNS AND HEADER TRIM
- ⑩ PREFINISHED ALUMINUM WINDOWS W/ TRANSLUCENT GLAZING

- ⑪ PRECAST CONCRETE BASE
- ⑫ EXISTING COMMON BRICK
- ⑬ EXISTING CONCRETE COLUMN
- ⑭ PREFINISHED ALUMINUM WINDOWS
- ⑮ PAINTED METAL SUSPENDED BALCONY
- ⑯ OVERHEAD SECTIONAL DOOR
- ⑰ GROUND-FACE CONCRETE MASONRY UNITS
- ⑱ ORNAMENTAL METAL GRILLES
- ⑲ EXISTING CONCRETE SLAB EDGE

Figure 9 -- Garage North And West Elevations.



KEY:

- ① EXISTING FACE BRICK
- ② EXISTING GLASS BLOCK
- ③ PREFINISHED ALUMINUM WINDOWS AND DOORS
- ④ EXISTING LIMESTONE TRIM
- ⑤ EXISTING LIMESTONE BASE
- ⑥ PREFINISHED ALUMINUM AND GLASS DOORS
- ⑦ FACE BRICK
- ⑧ GLASS BLOCK
- ⑨ PRECAST CONCRETE COLUMNS AND HEADER TRIM
- ⑩ PREFINISHED ALUMINUM WINDOWS W/ TRANSLUCENT GLAZING

- ⑪ PRECAST CONCRETE BASE
- ⑫ EXISTING COMMON BRICK
- ⑬ EXISTING CONCRETE COLUMN
- ⑭ PREFINISHED ALUMINUM WINDOWS
- ⑮ PAINTED METAL SUSPENDED BALCONY
- ⑯ OVERHEAD SECTIONAL DOOR
- ⑰ GROUND-FACE CONCRETE MASONRY UNITS
- ⑱ ORNAMENTAL METAL GRILLES
- ⑲ EXISTING CONCRETE SLAB EDGE