

PD 946

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Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Number 1-F.
(As Amended)
(Application Number 14567)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing the current DX-7 Downtown Mixed-Use District symbols and indications as shown on Map Number 1-F in the area bounded by:

West Chicago Avenue; a line 186.38 feet east of and parallel to the east line of North LaSalle Drive, West Superior Street; and a line 106 feet east of and parallel to the east line of North LaSalle Drive.

to the designation of a Residential-Business Planned Development which is hereby established in the area described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follow:

Residential-Business Planned Development Number 946.

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development (the "Planned Development") consists of approximately twenty-two thousand four hundred thirteen (22,413) square feet or zero and five hundred fifteen thousandths (0.515) acres of real property depicted on the attached Planned Development Boundary and Property Line Map (the "Property"). The Property is owned or controlled by the City

of Chicago Department of Planning and Development (the "Applicant"). The Property consists of Subarea A and Subarea B as shown on the attached Generalized Land-Use Map.

2. The Applicant, its successors or assigns, shall obtain all necessary reviews, approvals, licenses and permits in connection with this Planned Development. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant, its successors or assigns and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property shall, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, be under single ownership or under single designated control, subject to the last sentence of this statement. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the Applicant, its successors or assigns; provided, however, that applications for any modification or change affecting only one (1) subarea may be made by the legal titleholder of that subarea without the consent or authorization of the titleholder of the non-applying subarea.
4. This Planned Development consists of sixteen (16) statements; a Bulk Regulations and Data Table; a Planned Development Boundary and Property Line Map; a Generalized Land-Use Map; an Existing Land-Use Map; an Existing Zoning Map; and, for Subarea A, a Grade Level Plan, North Elevation, East Elevation, South Elevation and West Elevation, each prepared by LCM Architects and last dated November 18, 2004. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The following uses are permitted in the Planned Development:
 - Subarea A: Business and professional offices, commercial, retail, not-for-profit and social service uses, charitable activities, educational uses, job training, day care centers, accessory parking and other accessory uses.
 - Subarea B: Any permitted or special use and accessory uses permitted in the DX-7 district or in such other underlying zoning district which may apply to the Property at the time that application is made pursuant to Statement 11.
6. Identification signs shall be permitted within the Planned Development subject to the review and approval of the Commissioner of the Department of Planning and Development. The conceptual location and size of the identification signs within Subarea A are depicted on the Building Elevations. Temporary signs, such as construction and marketing signs, also shall be permitted subject to the review and approval of the Department of Planning and Development.
7. Off-street parking and off-street loading facilities shall be provided in compliance with the Planned Development, subject to review and approval of the Department of Transportation and Department of Planning and Development. A minimum of two percent (2%) of all parking spaces shall be designated for parking for the handicapped.
8. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that, in addition to the other exclusions from the F.A.R. that are permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical uses in excess of one thousand (1,000) square feet in a single location shall not be included as floor area.
9. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago. There shall be no parking

within such emergency areas. Ingress and egress shall be subject to the review and approval of the Department of Transportation.

11. Prior to the issuance by the Department of Planning of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II approval") for development of improvements on Subarea B, a site plan for each proposed improvement (the "Site Plan") shall be reviewed and approved by the Chicago Plan Commission (the "Plan Commission"). Review and approval of the Site Plan by the Plan Commission is intended to assure that specific development proposals conform with this Planned Development. No Part II approval for work for which a Site Plan must be submitted to the Plan Commission shall be granted until the Site Plan has been approved.

Following approval of the Site Plan by the Plan Commission, the approved plan shall be kept on permanent file with the Department of Planning and shall be deemed to be an integral part of this Planned Development.

After approval of a Site Plan by the Plan Commission, the approved Site Plan may be changed or modified pursuant to the provisions of Statement 12.

In the event of an inconsistency between the approved Site Plan and the terms of the statements and Bulk Regulations and Data Table of this Planned Development in effect at the time of approval of such plan or of modifications thereto, the term of the statements and Bulk Regulations and Data Table of the Planned Development shall govern.

A Site Plan shall, at a minimum, provide the following information:

- 1) the boundaries of Subarea B and the Property;
- 2) the footprint of the improvements;
- 3) location and dimensions of all loading berths;
- 4) all proposed landscaping, including species and size;
- 5) elevations of the improvements; and
- 6) all statistical information applicable to the Property, including:
 - a) floor area and floor area ratio;

- b) uses to be established; and
- c) building heights.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this Planned Development. An application for approval of a Site Plan shall be deemed complete if the Applicant submits to the Plan Commission an application for approval which contains all the information listed immediately above.

12. Notwithstanding anything to the contrary in Section 17-13-0611 of the Chicago Zoning Ordinance, the terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development upon the request of the Applicant and after a determination by the Commissioner that such a modification is minor, appropriate and consistent with the nature of the development of the Property contemplated herein and will not result in increasing the maximum floor area ratio for the total net site area established in this Planned Development. Any such modification shall be deemed a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
13. The improvements on the Property shall be designed, constructed and maintained in substantial conformance with the Site Plan, Floor Plans and Building Elevations, and in accordance with the parkway and tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System ("L.E.E.D."). Copies of these standards may be obtained from the Department of Planning and Development. At least fifty percent (50%) of the gross roof area within Subarea A shall be covered by a vegetative ("green") roof. Such vegetative roof may be constructed once the building structure within Subarea A is complete.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables

and maximizes universal access throughout the Property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

- 16. Unless substantial construction of the improvements contemplated on the Property by this Planned Development has commenced within six (6) years of the effective date hereof and unless completion of those improvements is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert to the DX-7 district. This six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for an extension is shown.

[Planned Development Boundary and Property Line Map;
Generalized Land-Use Map; Existing Land-Use Map;
Existing Zoning Map; Grade Level Plan; and
Building Elevations referred to in these
Plan of Development Statements
printed on pages 42469
through 42477 of
this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statement reads as follows:

Residential-Business Planned Development Number 946.

Plan Of Development.

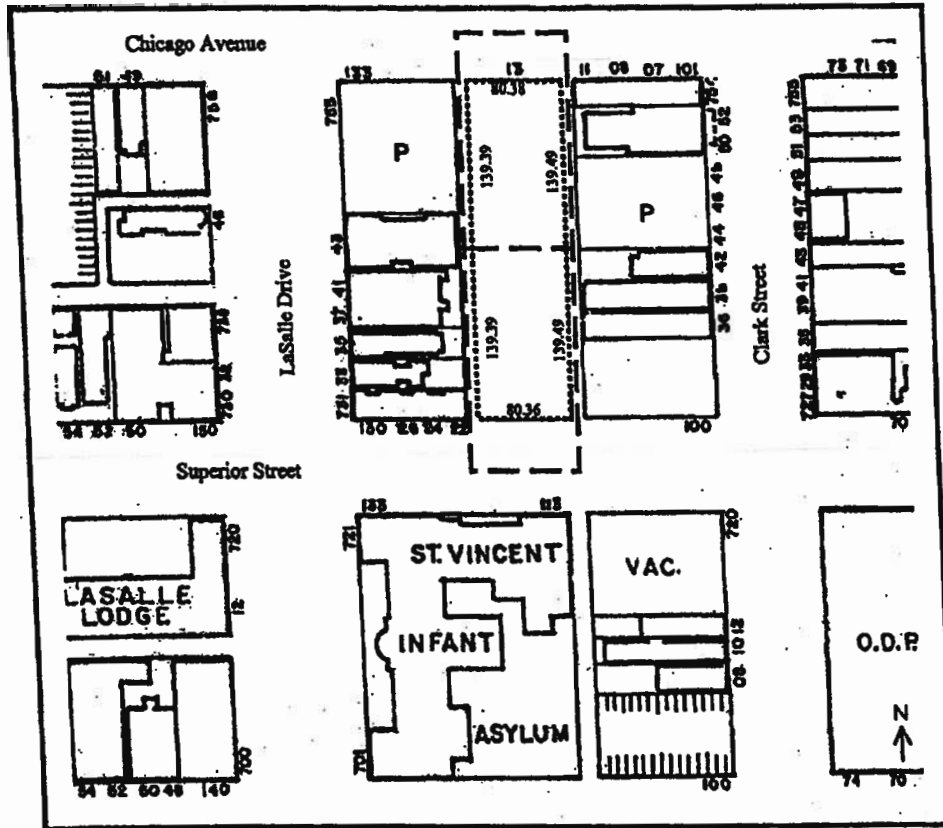
Bulk Regulation And Data Table.

	Subarea A		Subarea B		Total	
	Square Feet	Acres	Square Feet	Acres	Square Feet	Acres
Net Site Area:	11,206	0.257	11,206	0.257	22,413	0.515

	Subarea A		Subarea B		Total	
	Square Feet	Acres	Square Feet	Acres	Square Feet	Acres
Public Rights-of-Way:	5,913	0.136	4,738	0.109	10,651	0.245
Gross Site Area:	17,119	0.393	15,944	0.366	33,064	0.759

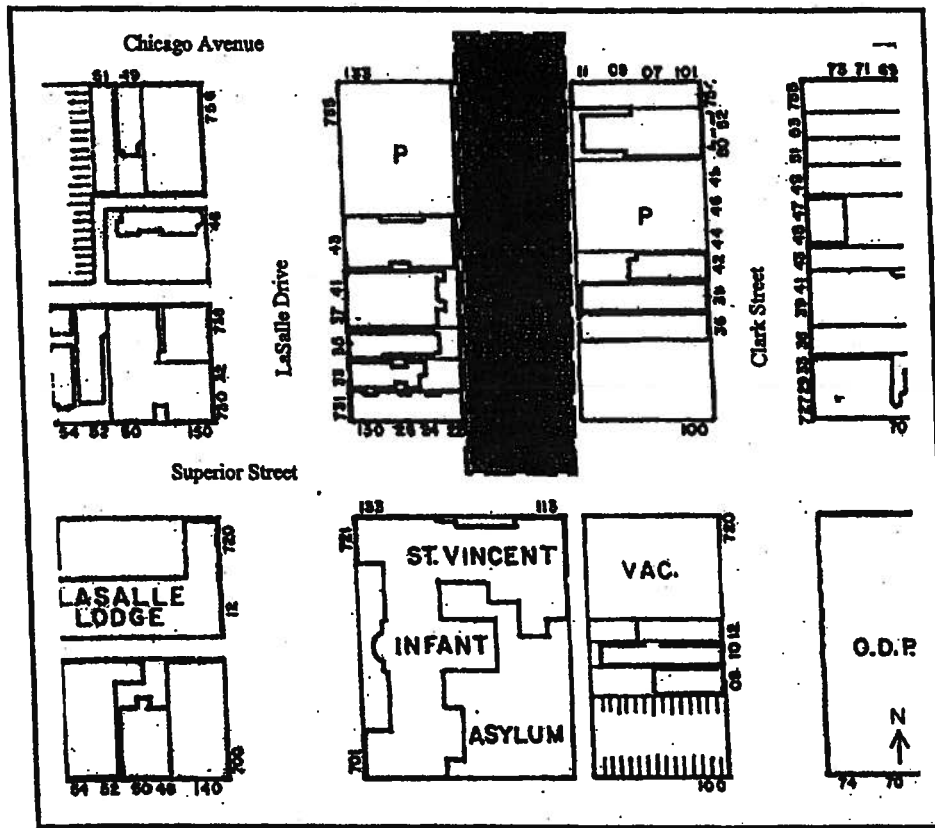
	Subarea A	Subarea B	Total
Maximum Permitted Floor Area Ratio:	3.5	10.5	7
Maximum Percent of Land Coverage:		Per approved site plan	
Minimum Number of Parking Spaces:	Per approved Grade Level Plan	Per Dx-7 zoning district	
Minimum Number of Off-Street Loading Space:		Per Dx-7 zoning district	
Minimum Building Setbacks:	0 Feet	0 Feet	
Maximum Number of Dwelling Units:	Per DX-7 zoning district, based on the permitted Floor Area Ratio		
Maximum Number of Lodging Rooms:	Per DX-7 zoning district, based on the permitted Floor Area Ratio		

Planned Development Boundary
And Property Line Map.



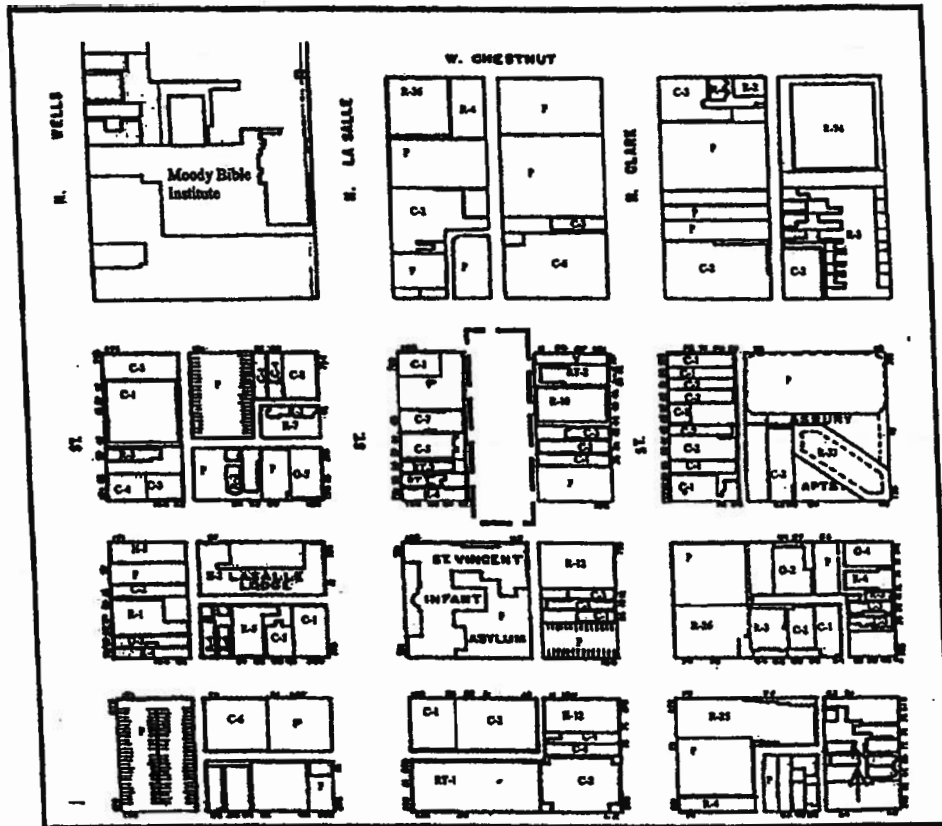
Applicant	City of Chicago Department of Planning and Development
Date	September 29, 2004, revised November 18, 2004
Address	115 West Chicago Avenue, 108-110 West Superior Street
.....	Subject Property Boundary
---	Planned Development Boundary

Generalized Land-Use Map.



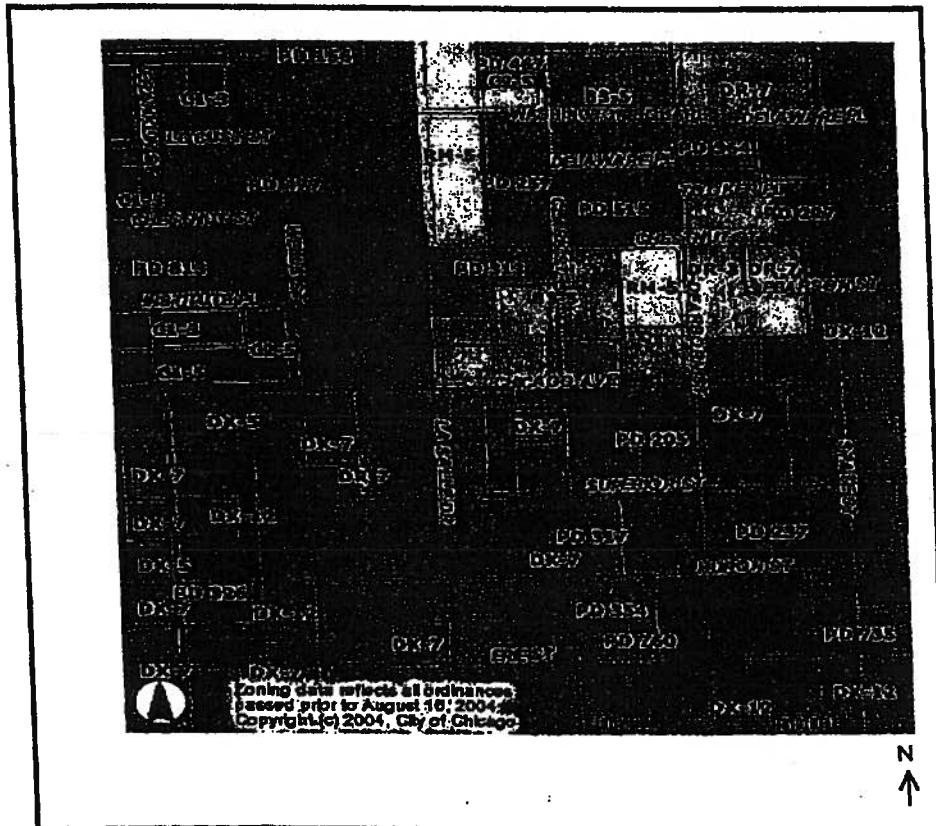
Applicant City of Chicago Department of Planning and Development
 Date September 29, 2004, revised November 18, 2004
 Address 115 West Chicago Avenue, 108-110 West Superior Street
 --- Planned Development Boundary
 ■ See Statement No. 5

Existing Land-Use Map.



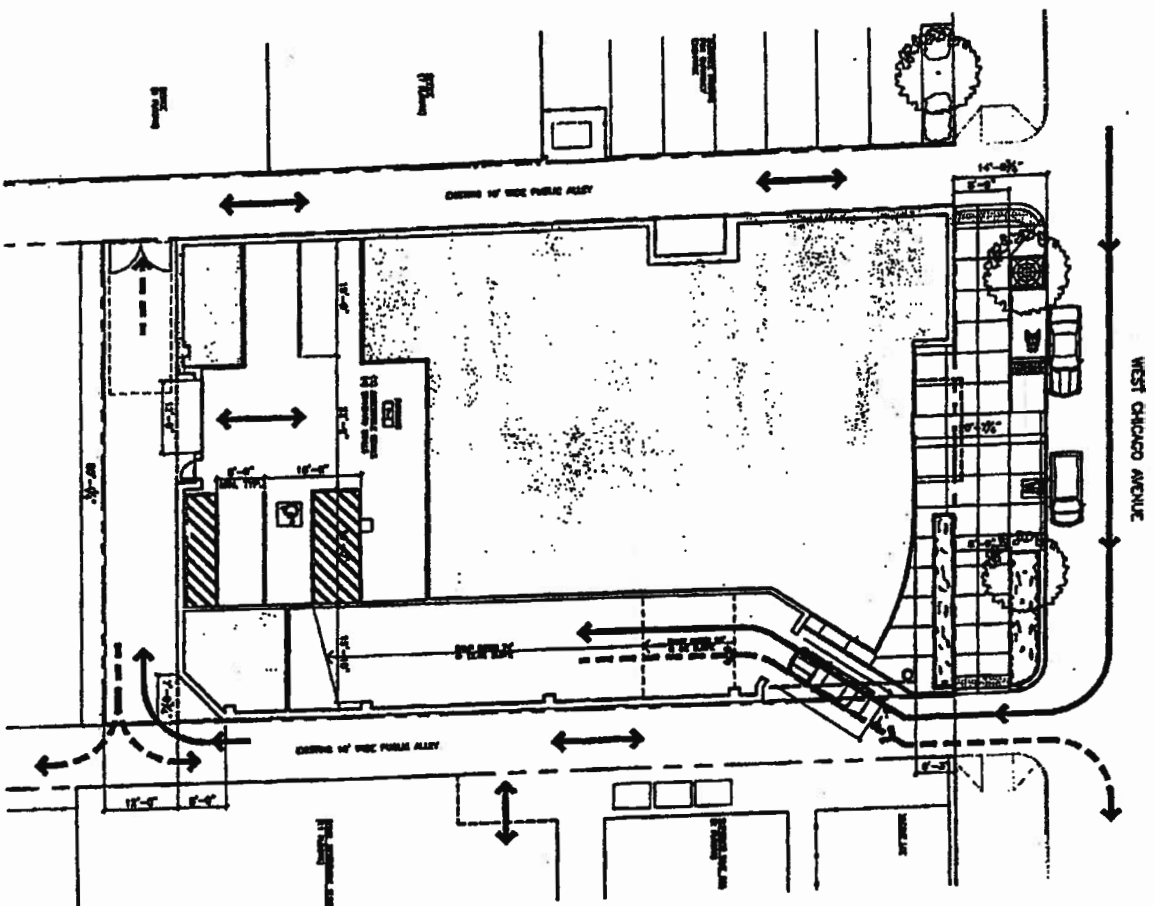
Applicant City of Chicago Department of Planning and Development
 Date September 29, 2004, revised November 18, 2004
 Address 115 West Chicago Avenue, 108-110 West Superior Street
 --- Planned Development Boundary
 [C-1] Type of use and number of stories (C=Commercial, R=Residential, RT-Retail, O=Office, P=Parking, V=Vacant, H=Hotel)



Existing Zoning Map.



Applicant City of Chicago Department of Planning and Development
Date September 29, 2004, revised November 18, 2004
Address 115 West Chicago Avenue, 108-110 West Superior Street
--- Planned Development Boundary

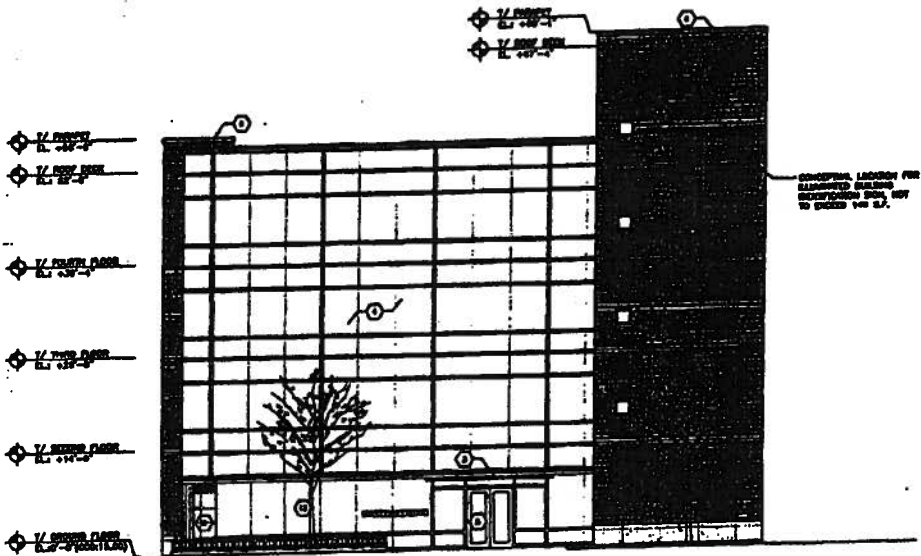
Grade Level Plan.




 Applicant: **GRADLEVELOPMENT**, Department of Planning and Development
 Date: **TRAFLETTO ARCHITECTS**, Revised November 18, 2004
 Address: 1721 S West Chicago Avenue, 108-110 West Superior Street


North Building Elevation.

- NOTES: DIMENSIONAL NOTES**
- ① SCREEN WALL
 - ② FACE BRICK
 - ③ ENTRANCE CANOPY
 - ④ ALUMINUM CURTAIN WALL SYSTEM
 - ⑤ GYPSUM VESTIBULE
 - ⑥ BRASS DOOR
 - ⑦ LIMESTONE BASE
 - ⑧ LIMESTONE SHOWN
 - ⑨ LIMESTONE CAP
 - ⑩ EXPANDED LUMBER AND/OR SILL
 - ⑪ EXPANDED JOIST
 - ⑫ SICAL LANTERN
 - ⑬ ALUMINUM STOREFRONT
 - ⑭ CMU
 - ⑮ IMPERMEABLE CMU
 - ⑯ FIBER ALUMINUM WINDOW



CONSTRUCTION LEGEND FOR
 ALUMINUM CURTAIN WALLING
 SEE SECTION 05 50 00
 TO CHECK THE SET

2/9/2005

REPORTS OF COMMITTEES

42477

West Building Elevation.

