

PD 945

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City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)

<http://www.cityofchicago.org>

October 25, 2007

Mr. Anthony DeGrazia
Riverside Homes, L.L.C.
251 West 31st Street
Chicago, IL 60616

Re: **Site Plan Approval for Residential-Waterway Planned Development No. 945:** River edge setback area and townhouse development between S. Pitney Court and the river edge setback area.

Proposal: The construction of six new townhouses with 12 parking spaces and improvements to the river edge setback area.

Location: 2842 - 2852 South Pitney Court

Dear Mr. DeGrazia:

We have reviewed the plans submitted by you for the construction of six townhouses with 12 parking spaces and for the improvements to the river edge setback area. Those plans consist of:

- Plat of Survey (Mar. 16, 2007), prepared by Studnicka and Associates, Ltd.;
- A - 1 Site and Partial Roof Plan (Sep. 30, 2005);
- A - 4 Elevations, Details, & Lintel Schedule (Sep. 30, 2005) as revised and annotated (Jun. 12, 2007), prepared by Vari Architects;
- L - 1.0 Landscape Plan & Details (Mar. 29, 2006); and
- L - 2.0 Landscape Details (Mar. 29, 2006), prepared by Daniel Weinbach & Partners.

These plans are submitted in accordance with Statement No. 12 of Residential-Waterway Planned Development No. 945.

Features of the submittal include: six four-story townhouses with a total floor area of 15,552 square feet, garage space for 12 automobiles, and a landscaped river edge open space of approximately 23,508 square feet (0.54 acre).

In regard to the riverwalk setback requirements, the Department approves the landscape plans prepared by Weinbach dated 3/29/06 for the riverwalk, regrading of the riverbank, and stormwater management areas within the 60ft river setback area.

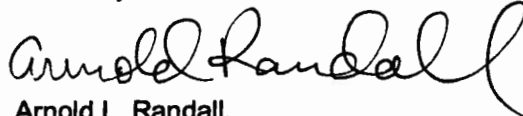
Planned Development Ordinance statement #12 provides for the dedication of the river setback area to the City of Chicago. In lieu of conveyance of the property to the City, the Department and the Applicant mutually agree to dedicate the river setback area in a stormwater management and trail use easement. The purpose of the easement ensures the river setback area be properly maintained for stormwater management and also made publicly accessible. Functioning to manage all the stormwater from the development's residential units, it is critical the river setback area be properly maintained by the homeowners association.



The stormwater management and trail use easement will need to be finalized and executed prior to issuance of occupancy for any of the riverside residential units.

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Accordingly, this Site Plan submittal for the river edge setback area and the townhouses at 2842 - 2852 South Pitney Court in Residential-Waterway Planned Development No. 945 is hereby approved as conforming to the Plan of Development.

Sincerely,



Arnold L. Randall,
Commissioner

Originated by: Fred Deters

cc: Kathleen Nelson, Mary Bonome, Kathleen ^{MD}Dickhut, Nelson Cheung, Mike Marmo, Pat Haynes, Eric Glass, Planned Development files



City of Chicago
Richard M. Daley, Mayor

**Department of Planning
and Development**

Denise M. Casalino, P.E.
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
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<http://www.cityofchicago.org>

September 6, 2005

Mr. John J. George
Daley and George
20 South Clark Street
Chicago, IL 60603

**RE: Request for Minor Change to Residential-Waterway Planned
Development No. 945
(2830 - 2850 S. Lock St.)**

Dear Mr. George:

Please be advised that your request for minor change to Residential-Waterway Planned Development No. 945, on behalf of Riverside Homes, L.L.C., has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of Chicago Zoning Ordinance and Statement No.13 of the Planned Development.

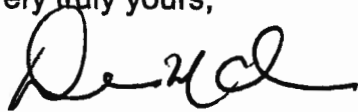
Among other things, you specifically requested to change the widths of all seven (7) lots facing S. Lock St. from 28 feet 4 inches (six lots) and 25 feet 0 inches (1 lot) to 28 feet 0 inches. This was in order to fit the property dimensions as verified in the final property survey and create uniformity in the Site Plan. The four-foot building separation, as specified in the Bulk Regulations and Data Table of the Planned Development for single-family homes, would remain in effect. Further, you requested to substitute the front building elevations for structures at 2830, 2834, and 2842 S. Lock St., as depicted on the drawings labeled A2 by Vari Architects and dated August 1, 2005 and August 2, 2005, for the elevations in the Planned Development.

The Department has reviewed the request and has determined that the proposed modifications, mentioned above, would be appropriate. They would not change the character of the development, nor would they increase the maximum number of dwelling units or the maximum F.A.R. permitted in the Planned Development, nor would they reduce the minimum distance required between structures. The heights of the buildings, as measured according to the Zoning Ordinance, would remain within the maximum permitted by the Planned Development.



Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, I hereby approve the requested Minor Change to this Planned Development.

Very truly yours,

A handwritten signature in black ink, appearing to read "Denise M. Casalino". The signature is fluid and cursive, with a large initial "D" and "C".

Denise M. Casalino, P.E.
Commissioner

DMC:SRP:fwd

cc: Michael Marmo, Tom Smith, Mary Bonome, Planned Development files

2/9/2005

REPORTS OF COMMITTEES

14401
42441

I beg leave to recommend the passage of eight ordinances which were corrected and amended in their amended form. They are Application Numbers 14707, 14708, 14719, 14567, 14071, 14690, 14401 and TAD-323.

Please let the record reflect that I, William J. P. Banks, abstained from voting and recused myself on Application Numbers 14713, 14715, 14716 and 14704 under the provisions of Rule 14 of the City Council's Rules of Order and Procedure.

At this time, I move for passage of the ordinances and substitute ordinance transmitted herewith.

Again, please let the record reflect that I abstain from voting on Application Numbers 14713, 14715, 14716 and 14704 under the provisions of Rule 14 of the City Council's Rules of Order and Procedure.

RW PD 945

Respectfully submitted,

(Signed) WILLIAM J. P. BANKS,
Chairman.

On motion of Alderman Banks, the said proposed ordinances and substitute ordinance transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Flores, Haithcock, Tillman, Preckwinkle, Hairston, Lyle, Beavers, Stroger, Beale, Pope, Balcer, Olivo, T. Thomas, Coleman, L. Thomas, Murphy, Rugai, Troutman, Brookins, Muñoz, Zalewski, Chandler, Solis, Ocasio, Burnett, E. Smith, Carothers, Reboyras, Suarez, Matlak, Mell, Austin, Colón, Banks, Mitts, Allen, Laurino, O'Connor, Doherty, Natarus, Daley, Tunney, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 48.

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to this ordinance in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Number 6-G.
(As Amended)
(Application Number 14401)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the M2-3 General Manufacturing District symbols and indications as shown on Map Number 6-G in the area bounded by:

those parts of Blocks 16 and 17 lying northwesterly of the Chicago Alton and St. Louis Railroad Company in Canal Trustees Subdivision of the south fraction of Section 29, Township 39 North, Range 14, East of the Third Principal Meridian, excepting that part of Block 16 conveyed by Barney McKinley and wife to City of Chicago by deed dated March 19, 1877 and recorded April 6, 1877 in Book 727, page 638 as Document Number 128993, and lying southeasterly of a straight line (and a southwesterly prolongation thereof) drawn from a point in the northeasterly line of said Block 17, which is 124.61 feet southeasterly of the north corner of said Block 17, to a point in the southwesterly line of said Block 17 which is 125.58 feet southeasterly of the west corner of said Block 17, in Cook County, Illinois; also described as those parts of Blocks 16 and 17 lying northwesterly of the Chicago Alton and St. Louis Railroad Company in Canal Trustees Subdivision of the south fraction of Section 29, Township 39 North, Range 14, East of the Third Principal Meridian; except that part of said Blocks 16 and 17 lying northwesterly of a straight line (and a southwesterly prolongation thereof) drawn from a point on the northeasterly line of said Block 17, which is 124.61 feet southeasterly of the north corner of said Block 17, to a point in the southwesterly line of said Block 17 which is 125.58 feet southeasterly of the west corner of said Block 17; and except that part of Block 16 conveyed by Barney McKinley and wife to the City of Chicago by deed dated March 19, 1877 and recorded April 6, 1877 in Book 727, page 638 as Document Number 128993; and except that part falling in the south branch of the Chicago River, all in Cook County, Illinois,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications established in Section 1 above to the designation of a Residential-Waterway Planned Development which is hereby established in the area described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Waterway Planned Development Number 945.

Plan Of Development Statements.

1. The area delineated herein as Residential-Waterway Planned Development Number 945 consists of approximately one hundred forty-three thousand one hundred seventy (143,170) square feet (three and twenty-nine hundredths (3.29) acres) and is owned or controlled by the applicant, Riverside Homes, L.L.C.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property shall be under single ownership or under single designated control at the time any applications for amendments, modifications or changes (legislative or otherwise) to this planned development are made. "Single designated control" for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors. An agreement among property owners, the board of directors of any property owners association, or a covenant binding property owners, may designate the authorized party for any further amendment, modification or change.

4. This plan of development consists of these sixteen (16) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary, Property Line and Right-Of-Way Adjustment Map; a Site/Landscape Plan; Single-Family Type A Building Elevations; Single-Family Type B Building Elevations; Single-Family Type C Building Elevations; Duplex Building Elevations; and Townhome Elevations (collectively, the "Building Elevations") dated December 16, 2004 prepared by Ron Vari Architects. Full size sets of the Site/Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area delineated herein as "Residential-Waterway Planned Development": single-family detached residences, two-flat residences, townhouses, publicly-accessible open space, parking and related uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development.
7. Off-street parking and off-street loading facilities shall be provided in compliance with the planned development, subject to the review and approval of the Department of Transportation and Department of Planning and Development.
8. Any service drives or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such emergency areas. Ingress and egress, as well as the final location, configuration and design of all public streets and alleys shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

9. In addition to the maximum height of the buildings and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
10. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply.
11. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site/Landscape Plan and Building Elevations, and in accordance with the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. The rear yard open space area for the detached single-family and duplex residences shall not be less than three hundred thirty (330) square feet as indicated on the Site/Landscape Plan. In order to maintain the riveredge setback required in the planned development, the applicant is permitted to construct the garages for the townhome units at the property line as depicted on the Site/Landscape Plan.
12. The applicant acknowledges the importance of the Chicago River as a resource for both commerce and recreation and also acknowledges the City's goal of improving the south fork of the south branch of the Chicago River, commonly known as Bubbly Creek, for public recreational use and environmental benefit, and to establish a continuous recreational path for jogging, bicycling and similar activities. To further these goals, the applicant agrees to: (a) provide a sixty (60) foot publicly accessible and ungated landscaped river setback area, riverwalk and other furnishings as indicated in the Site Plan, open to the public during normal Park District hours and continuous with the riverwalk on adjacent properties when developed, and the final design to be approved by the Department of Planning and Development; (b) regrade and stabilize the riverbank with native vegetation; (c) provide a stormwater management system in the river setback area to manage stormwater from the site, that includes vegetated bio-swales or other stormwater best management practices; (d) permit the installation of one (1) or more riverwalk identification and stormwater interpretive signs; and (e) provided that the applicant and the City of Chicago and/or Chicago Park District mutually agree, dedicate the river setback area and riverside stormwater management areas, upon completion, to the City of Chicago, the Chicago Park District, or other agreed-upon entity for long term maintenance and operation. The

riverwalk will also accommodate a future south underbridge riverwalk connection. Because river setback improvements are, in part, intended to manage stormwater runoff from the site, those improvements shall be substantially complete prior to granting of an occupancy permit for the first residential unit which does not front on South Lock Street, provided that planting may be delayed if consistent with good landscape practice, but not longer than one (1) year following granting of the occupancy certificate. The sixty (60) foot setback area described in paragraph (a) above is established at the current location of the top of bank as indicated on the Topographical Survey dated November 11, 2004 prepared by Studnicka and Associates, Ltd. and the line established thereby is not affected by any future regrading of the riverbank.

Prior to issuance by the Department of Planning and Development of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II approval") for any future development or improvements within the riveredge zone (that area between the westernmost street and the river's water edge, including the sixty (60) foot riveredge setback), Site Plans for proposed development shall be submitted to the Commissioner of the Department of Planning and Development for Site Plan approval. Site Plan approval for the riveredge zone is intended to assure that specific development proposals or improvements conform with this planned development, as well as relevant ordinances and City policies. No Part II approval for development or improvements within the riveredge zone shall be granted until an applicable Site Plan has been approved.

A Site Plan shall include such information as may be necessary to illustrate conformance with the applicable provisions of this planned development and any City ordinances or policies in effect at the time of submission of the Site Plan.

Following approval by the Commissioner, the approved Site Plan(s) shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this planned development. The approved Site Plans may be changed or modified pursuant to the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

The Site/Landscape Plan provides for additional publicly-accessible open space in the riveredge zone, beyond the cited sixty (60) foot setback from the top of the riverbank. Certain encroachments are permitted within the

sixty (60) foot setback when part of an approved Site Plan and matched by off-setting space within the additional open space referenced above.

Those permitted encroachments are: limited portions of two (2) townhomes, limited portions of three (3) townhome private yards, private sidewalk access to the front entrances of townhomes facing the river and public street.

13. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the applicant and after a determination by the Commissioner that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development.
15. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No building permit shall be issued by the Department of Construction and Permits until the Director of M.O.P.D. has approved detailed construction drawings for the building or improvement proposed to be constructed pursuant to the permit.
16. Unless substantial construction has commenced within six (6) years following adoption of this planned development, and unless completion is

thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to that of the RT4, Residential Two-Flat, Townhouse and Multi-Unit District designation.

[Existing Zoning Map; Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; Site/Landscape Plan; and Building Elevations referred to in these Plan of Development Statements printed on pages 42450 through 42457 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Waterway Planned Development Number 945.

Bulk Regulations And Data Table.

1. Net Site Area: 93,175 square feet (2.13 acres)

Gross Site Area (151,837 square feet/3.48 acres) - Area in Existing Public Way (8,110 square feet/0.18 acre) - Area in Streets and Alleys to be Dedicated (50,552 square feet/1.15 acres) = Net Site Area (93,175 square feet/2.13 acres).
2. Maximum Floor Area Ratio (F.A.R.) for Total Net Site Area: 1.2
3. Maximum Number of Permitted Residential Units: 44 (includes 4 units that could be built on the alley easements, should the easements ever be released)
4. Maximum Site Coverage: Per Site/Landscape Plan

5. Minimum Number of Off-Street Parking Spaces:

- | | |
|--|------------------------|
| a) Single-Family houses and townhomes: | 2 per residential unit |
| b) Duplex buildings: | 1 per residential unit |

6. Minimum Number of Loading Spaces: 0

7. Maximum Building Height: 38 feet

8. Setbacks and Yards:

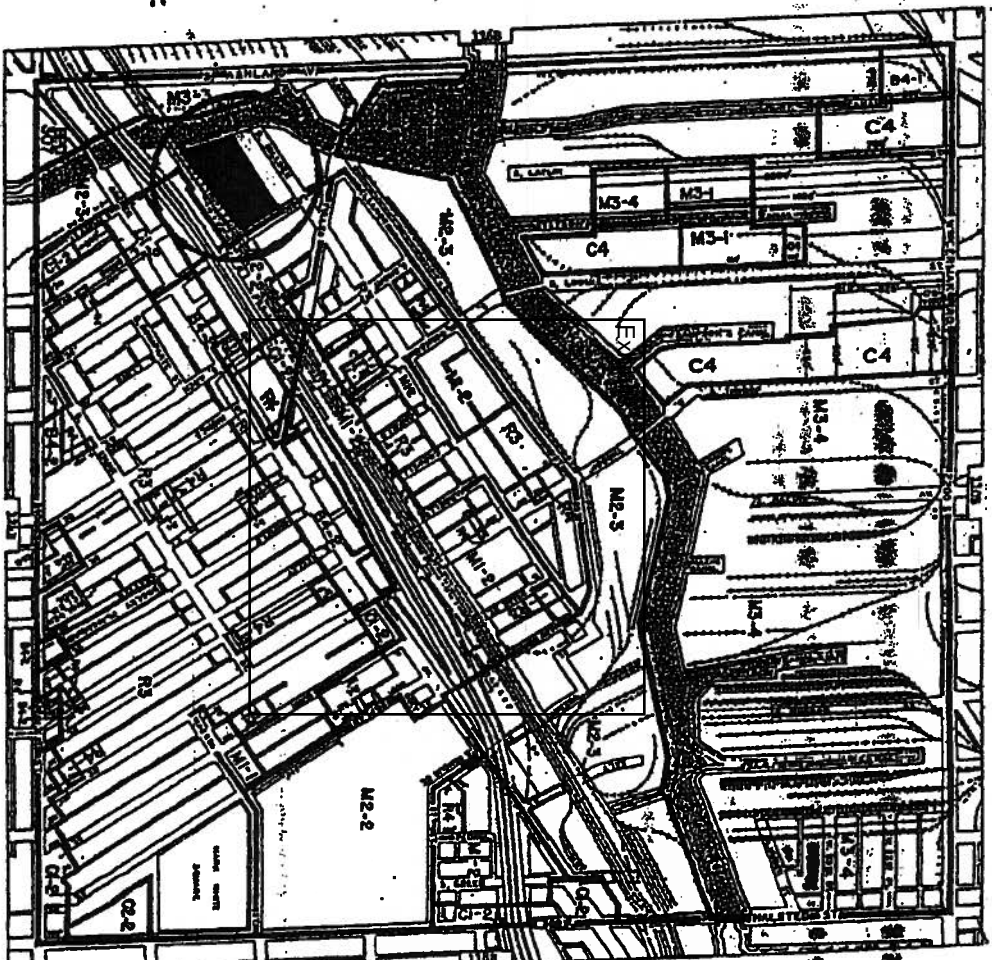
Single-Family and Duplex:

- | | |
|---------------------------------|--|
| Minimum front setback: | 5 feet |
| Minimum combined side setbacks: | 4 feet |
| Minimum rear setback: | 29 feet |
| Minimum rear yard: | 330 square feet; with minimum 7 foot dimension |

Townhomes:

- | | |
|--|-----------------|
| Minimum front setback from street: | 5 feet |
| Minimum rear setback from street (for those units with garages facing the street): | 0 feet |
| Minimum private yard: | 100 square feet |

Existing Zoning Map.

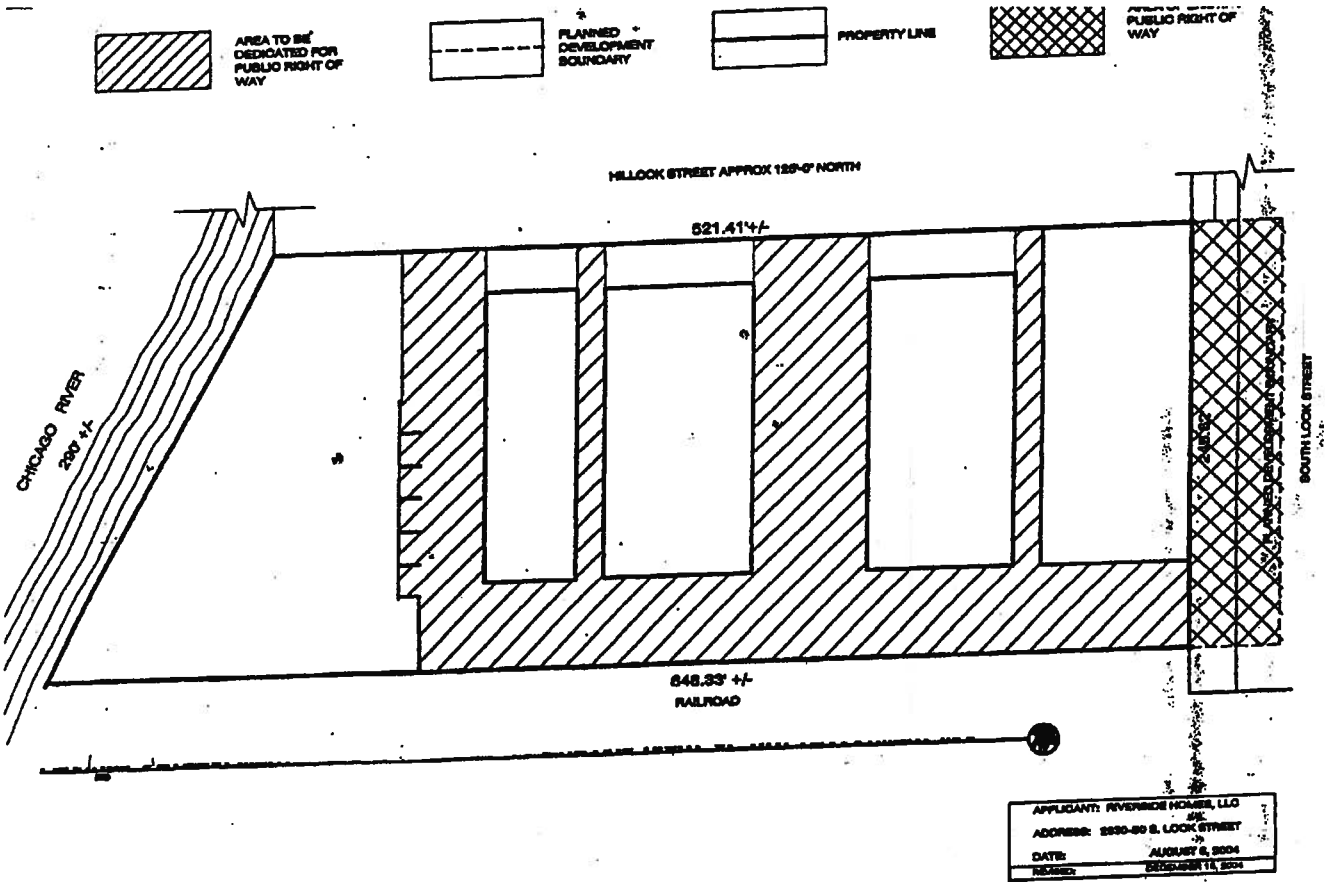


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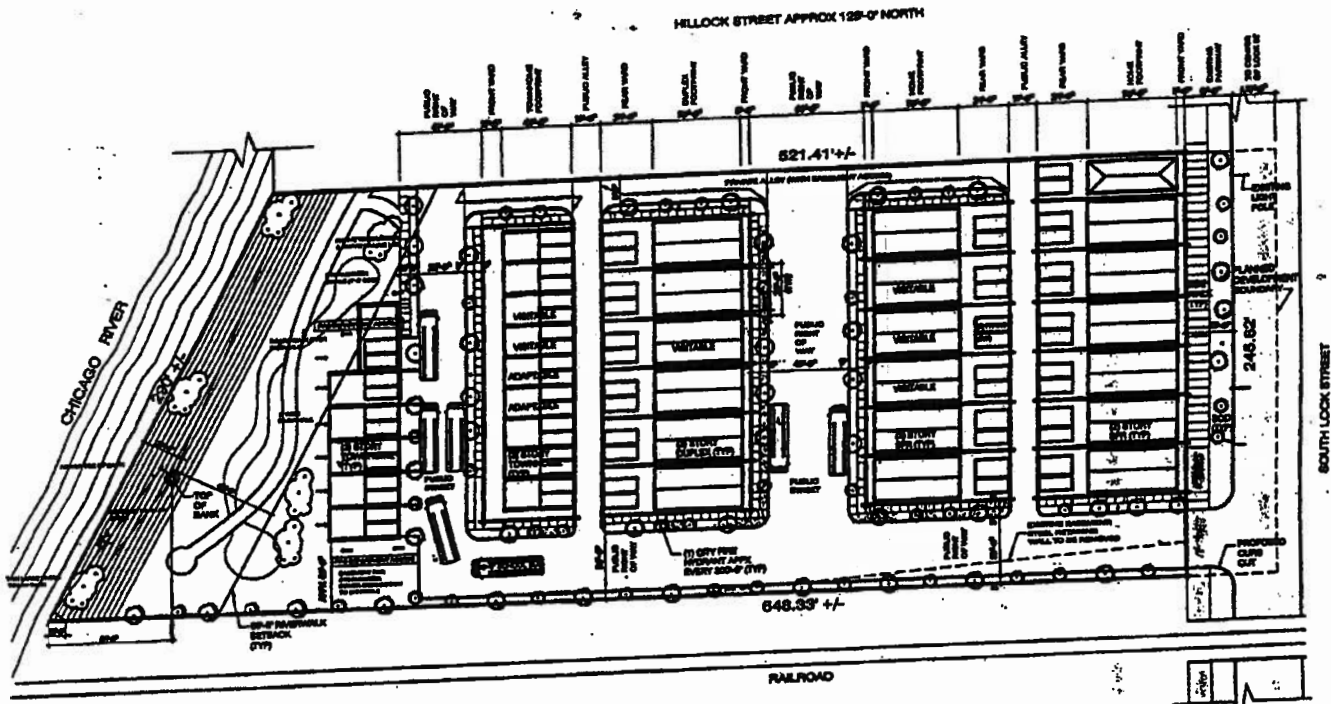
REPORTS OF COMMITTEES

42451

Planned Development Boundary, Property Line And Right-Of-Way Adjustment Map.



Site/Landscape Plan.

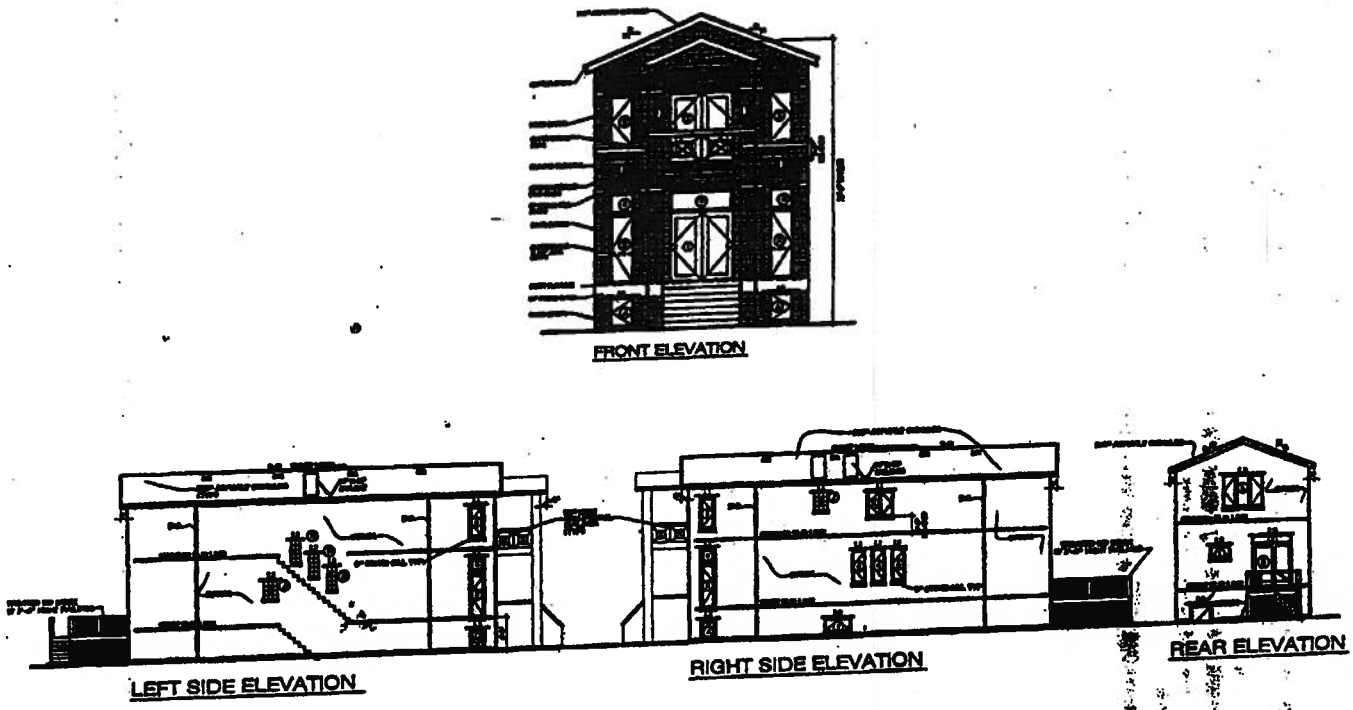


FIRE DEPARTMENT COMPLIANCE
 ALL FIRE DEPARTMENT COMPLIANCE REQUIREMENTS SHALL BE MET. THE APPLICANT SHALL PROVIDE A LETTER FROM THE CHICAGO FIRE DEPARTMENT CONFIRMING COMPLIANCE WITH ALL REQUIREMENTS.

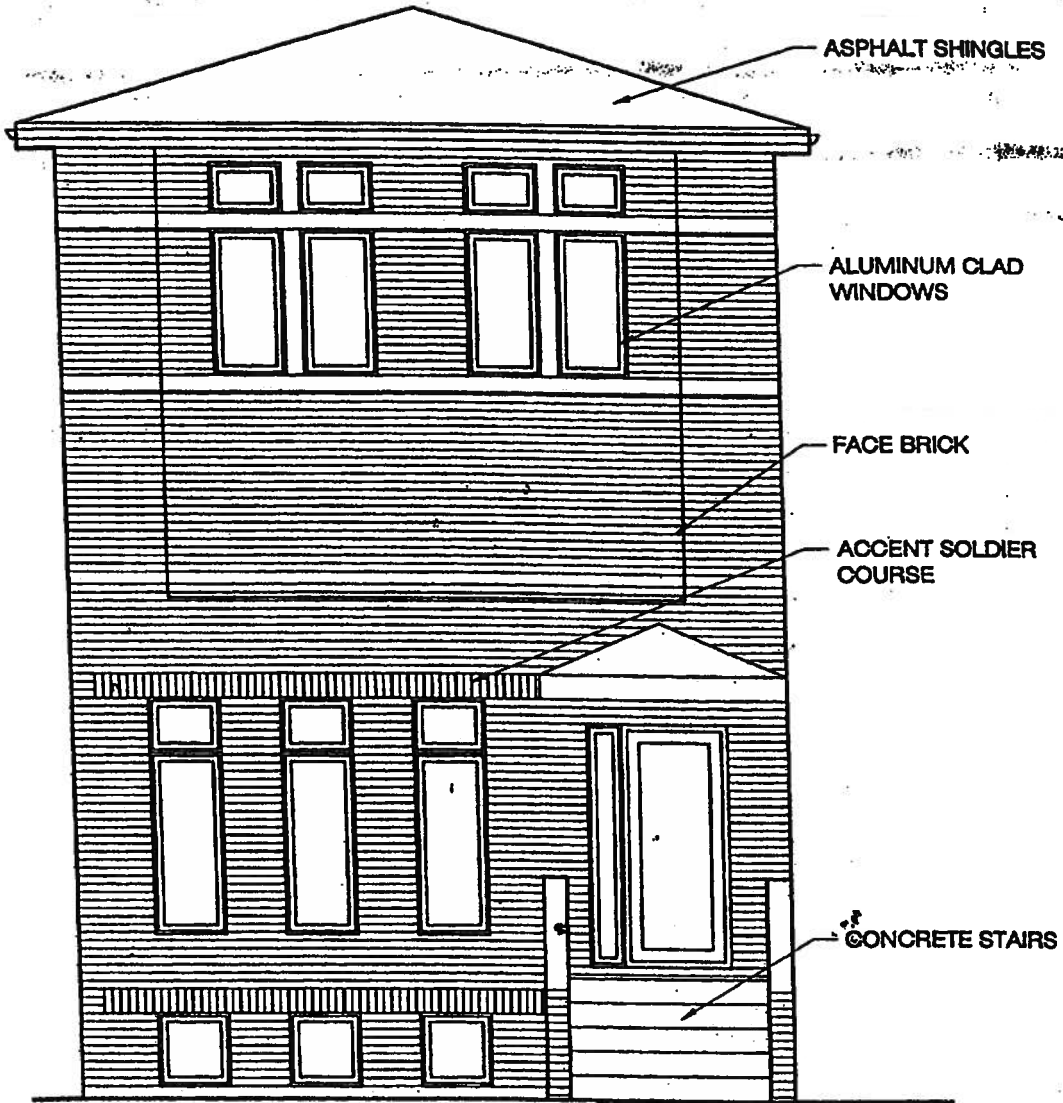
MOPD COMPLIANCE
 THE APPLICANT SHALL PROVIDE A LETTER FROM THE METROPOLITAN POLICE DEPARTMENT CONFIRMING COMPLIANCE WITH ALL REQUIREMENTS.

APPLICANT: RIVERSIDE HOMES, LLC
 ADDRESS: 2880-80 S. LACK STREET
 DATE: AUGUST 8, 2004
 REVISION: DECEMBER 14, 2004

Building Elevations.
(Single-Family Residence Type B)

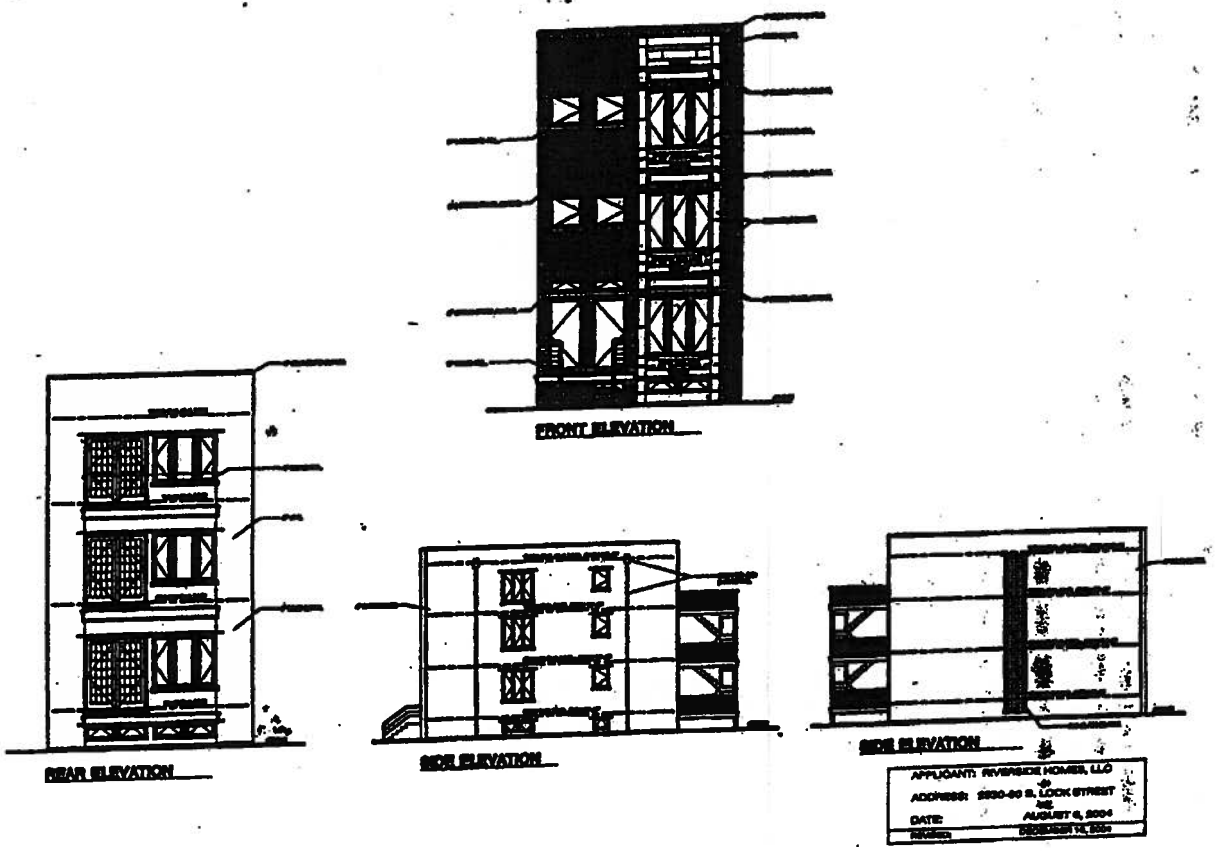


Building Elevations.
(Single-Family Residence Type C)



TYPE C

Duplex Condo Building Elevation.

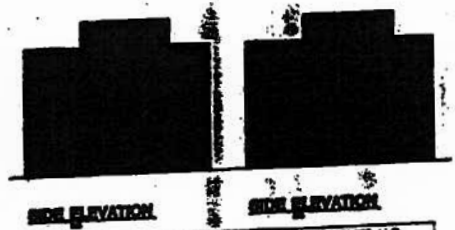
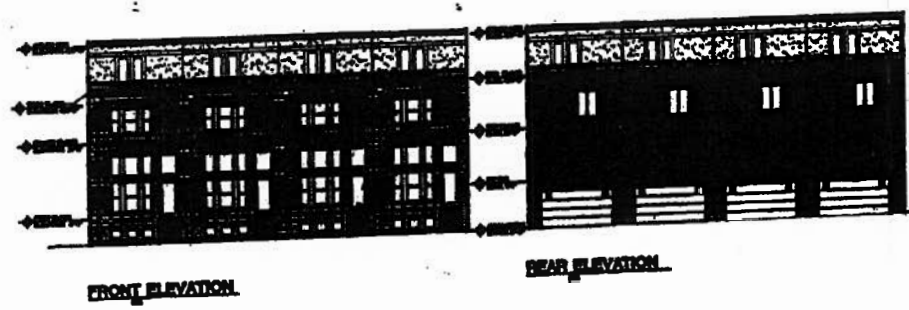
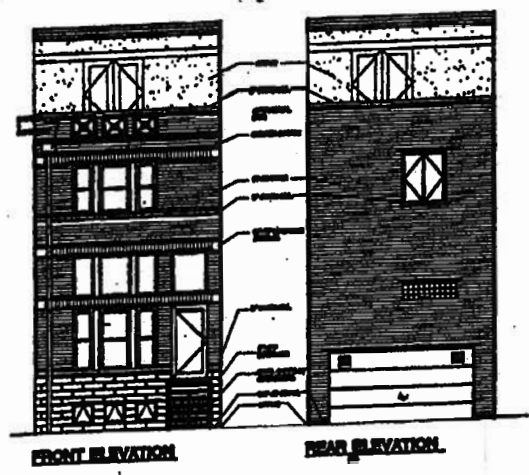


2/9/2005

REPORTS OF COMMITTEES

42457

Townhome Elevations.



APPLICANT: RIVERSIDE HOMES, LLC
ADDRESS: 2830-80 S. LOCK STREET
DATE: AUGUST 6, 2004
SCALE: AS SHOWN