

PD 944

Table of Contents

05/11/2005 Minor Change **2**

02/09/2005 PD Adoption **3**

 Ordinance 4

 Statements 5

 Bulk Table 8

 Exhibits 9



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Denise M. Casalino, P.E.
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

May 11, 2005

Mr. Gary Ruderman
Hartshorne & Plunkard Architecture
232 N. Carpenter
Chicago, IL 60607

Re: Request for a minor change to Residential Planned Development
No. 944

Dear Mr. Ruderman:

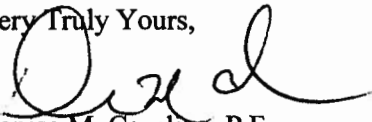

Please be advised that your request for a minor change to Residential Planned Development No. 944 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance.

Specifically, you requested revisions to the inner courtyard as well as parking lot revisions. The changes will eliminate the vehicular drop off at the interior of the courtyard and create a pedestrian path, increasing the landscaping and allowing the first floor residential units to have private terrace space. The vehicular drop off will instead be located at the gated entrance of the building. The parking lot layout will be modified so that the private terraces that will be added to the south units at the first floor will act as a buffer between the units and the parking lot. Also, a striped area with no parking is planned for the area immediately next to existing utility poles that sit on Oakley Avenue.

With regard to your request, the Department of Planning and Development has determined that these revisions to the Planned Development would constitute minor changes pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, I hereby approve the foregoing changes as stated, but no other changes to Residential Planned Development No. 944. The revised site plan, floor plans, and elevations dated April 18, 2005 and prepared by Hartshorne & Plunkard Architecture are hereby made a part of this approval.

Very Truly Yours,


Denise M. Casalino, P.E.
Commissioner 

DMC: SRP: amk

cc: Mike Marmo, PD files

NEIGHBORHOODS
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2/9/2005

REPORTS OF COMMITTEES

14168
42421

bank, savings bank, savings and loan association or credit union that will be located within 600 feet of a bank, savings bank, savings and loan association or credit union that already exists on the pedestrian retail street is allowed only if reviewed and approved in accordance with the special use procedures of Section 17-13-0900; provided further that the review and approval for such special use shall not be required if:

(i) the bank, savings bank, savings and loan association or credit is located above or below curb level of a building with permitted or special uses on the curb level;

(ii) the bank, savings bank, savings and loans association or credit union is accessory to a retail or commercial use; or

(iii) the bank, savings bank, savings and loan association, or credit union is located: (1) in the rear of the building that abuts the pedestrian retail street; and (2) 50 feet or more from the sidewalk that abuts the building facade that faces the pedestrian retail street; and (3) in a building in which a retail or commercial use faces the pedestrian retail street.

SECTION 5. This ordinance shall be in full force and effect from and after its passage and approval.

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE
OF CHICAGO (CHICAGO ZONING ORDINANCE)
BY RECLASSIFICATION OF AREA SHOWN
ON MAP NUMBER 10-H. *RPS 944*
(As Amended)
(Application Number 14168)

(Committee Meeting Held May 19, 2004)

The Committee on Zoning submitted the following report:

CHICAGO, February 9, 2005.

To the President and Members of the City Council:

Reporting for your Committee on Zoning, for which a meeting was held on May 19, 2004, I beg leave to recommend that Your Honorable Body Pass one ordinance transmitted herewith for the purpose of reclassifying a particular area. It is referred to as Application Number 14168 which was corrected and amended in its amended form.

At this time, I move for passage of this ordinance.

Respectfully submitted,

(Signed) WILLIAM J. P. BANKS,
Chairman.

On motion of Alderman Banks, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Flores, Haithcock, Tillman, Preckwinkle, Hairston, Lyle, Beavers, Stroger, Beale, Pope, Balcer, Olivo, Burke, T. Thomas, Coleman, L. Thomas, Murphy, Rugai, Troutman, Brookins, Muñoz, Zalewski, Chandler, Solis, Ocasio, Burnett, E. Smith, Carothers, Reboyras, Suarez, Matlak, Mell, Austin, Colón, Banks, Mitts, Allen, Laurino, O'Connor, Doherty, Natarus, Daley, Tunney, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 49.

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M2-4 General Manufacturing District symbols and indications as shown on Map Number 10-H in area bounded by:

West Pershing Road; a line 418.24 feet east of and parallel to South Western Boulevard; the northeasterly right-of-way line of the former Chicago River and Indiana Railroad; a line 107.75 feet south of and parallel to West Pershing Road; and South Western Boulevard,

to those of a B4-3 Restricted Service District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the B4-3 Restricted Service District symbols and indications established in Section 1 above to the designation of a Business Planned Development which is hereby established in the area described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential Planned Development Number 944

Plan Of Development Statements.

1. The area delineated herein as Residential Planned Development Number 944 consists of approximately one hundred forty-six thousand ninety-nine (146,099) square feet (three and thirty-five hundredths (3.35) acres) and is owned or controlled by Patrick Degnan, Janice Degnan, Robert Stacey and Leona Stacey.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees, and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property shall be under single ownership or under single designated control at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made. "Single designated control" for purposes of this paragraph shall mean that any

application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors.

4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Vicinity Map; a Planned Development Boundary and Property Line Map; a Site Plan, a Landscape Plan, a Roof Plan, Building Elevations (north and west), and a Balcony Detail Plan dated April 22, 2004 prepared by Hartshorne + Plunkard Architecture. Full size sets of the Site Plan, the Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area delineated herein as "Residential Planned Development": residential and related facilities and accessory uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development.
7. Off-street parking and off-street loading facilities shall be provided in compliance with the planned development, subject to the review and approval of the Department of Transportation and Department of Planning and Development. A minimum of two percent (2%) of all parking spaces shall be designated for parking for the handicapped.
8. Any service drives or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such emergency areas. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development.
9. In addition to the maximum height of the buildings and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.

10. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply.
11. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
12. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. The building shall have a vegetative green roof as indicated on the Roof Plan.
13. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this planned development in an energy efficient manner, generally consistent with most current energy efficiency standards published by the American Society of Heating, Refrigerating and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
15. Unless substantial construction has commenced within six (6) years following adoption of this planned development and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to that of the pre-existing M2-4 zoning district.

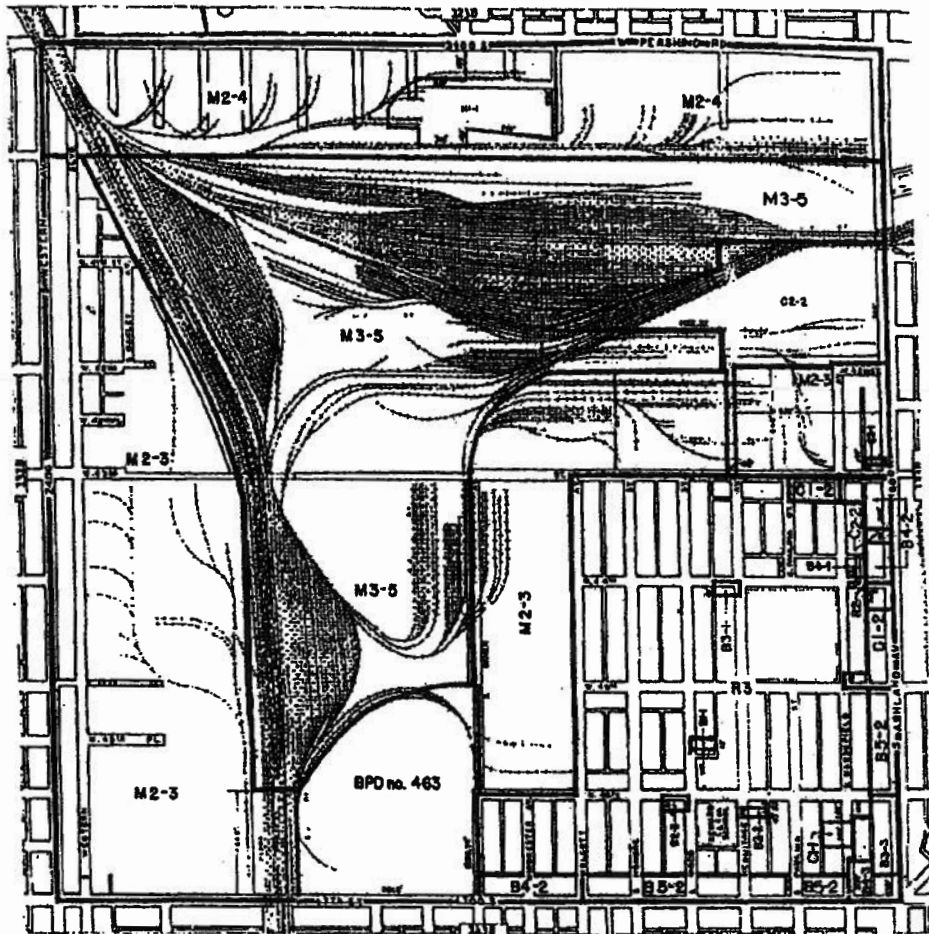
[Existing Drawing Map; Vicinity Map; Existing Land-Use Map; Planned Development Property Line and Boundary Map; Site Plan; Landscape Plan; Roof Plan; Building Elevations; and Balcony Details referred to in these Plan of Development Statements printed on pages 42427 through 42436 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Bulk Regulations And Data Table.

	Area Total
Net Site Area (Square Feet):	124,542 square feet
Net Site Area (Acres):	2.859 acres
Gross Site Area (Square Feet):	146,099 square feet
Gross Site Area (Acres)	3.353 acres
Floor Area Ratio:	2.0
Total Building Gross Area:	207,252 square feet
Maximum Number of Units:	175
Minimum Number of Parking Spaces:	1:1 (minimum)
Maximum Permitted Building Height:	Per Approved Building Elevations
Maximum Site Coverage:	Per Approved Site Plan
Minimum Periphery Setbacks:	Per Approved Site Plan

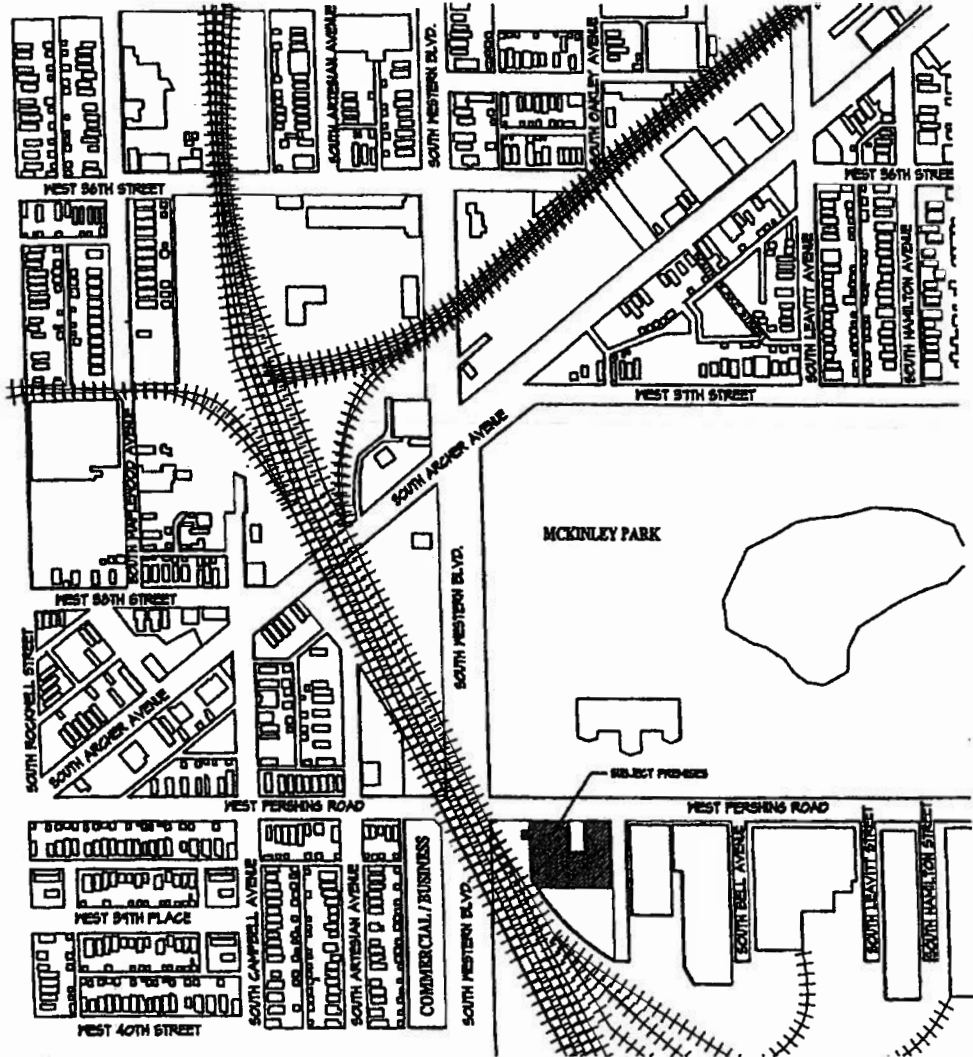
Existing Zoning Map.



① EXISTING ZONING MAP
NTS



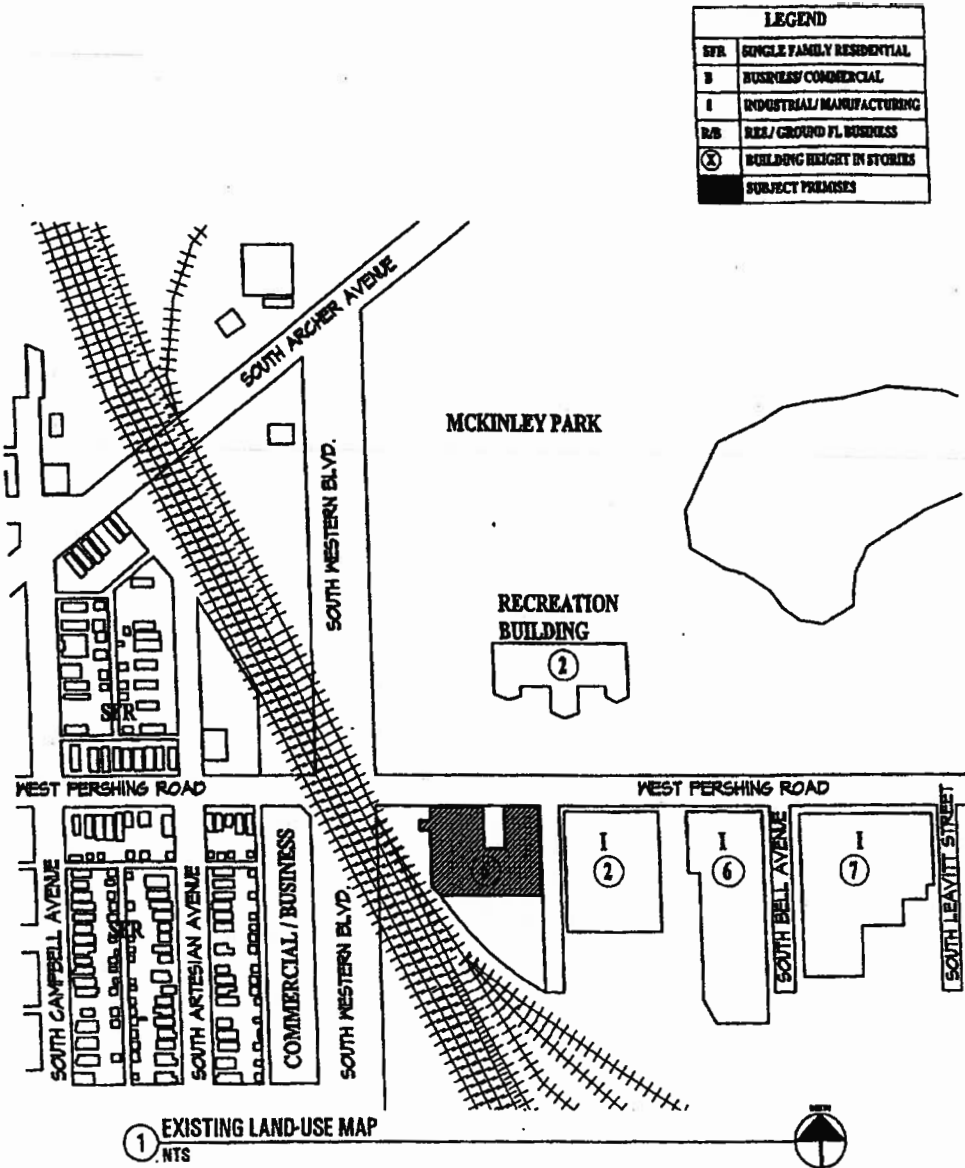
Vicinity Map.



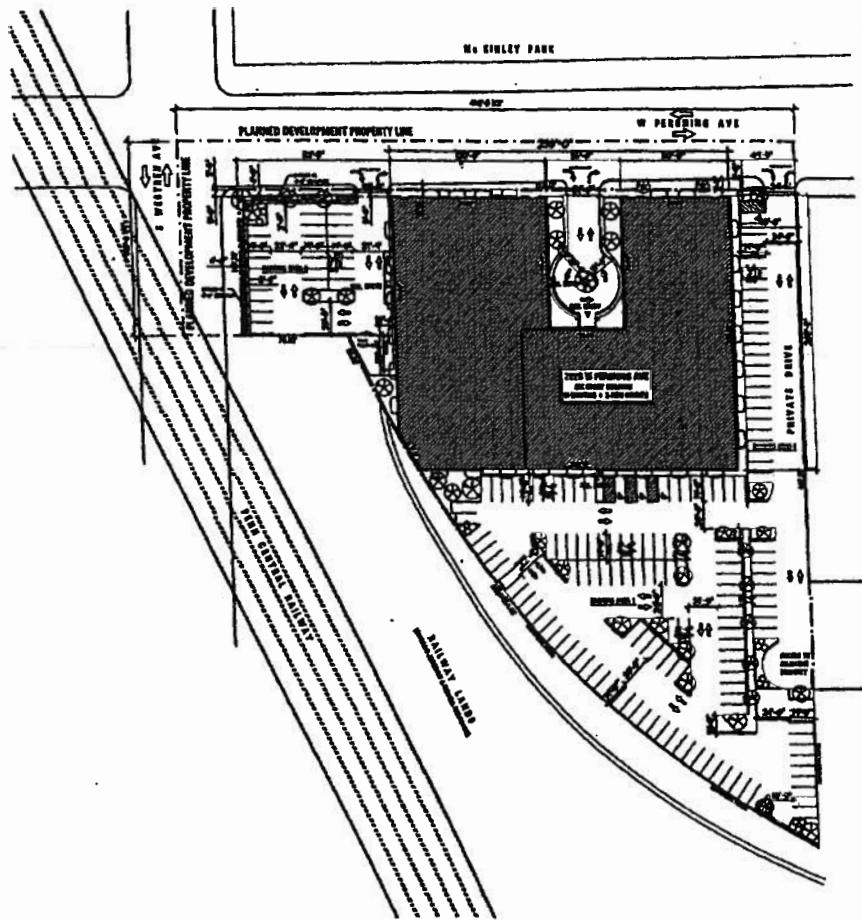
① VICINITY MAP
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Existing Land-Use Map.

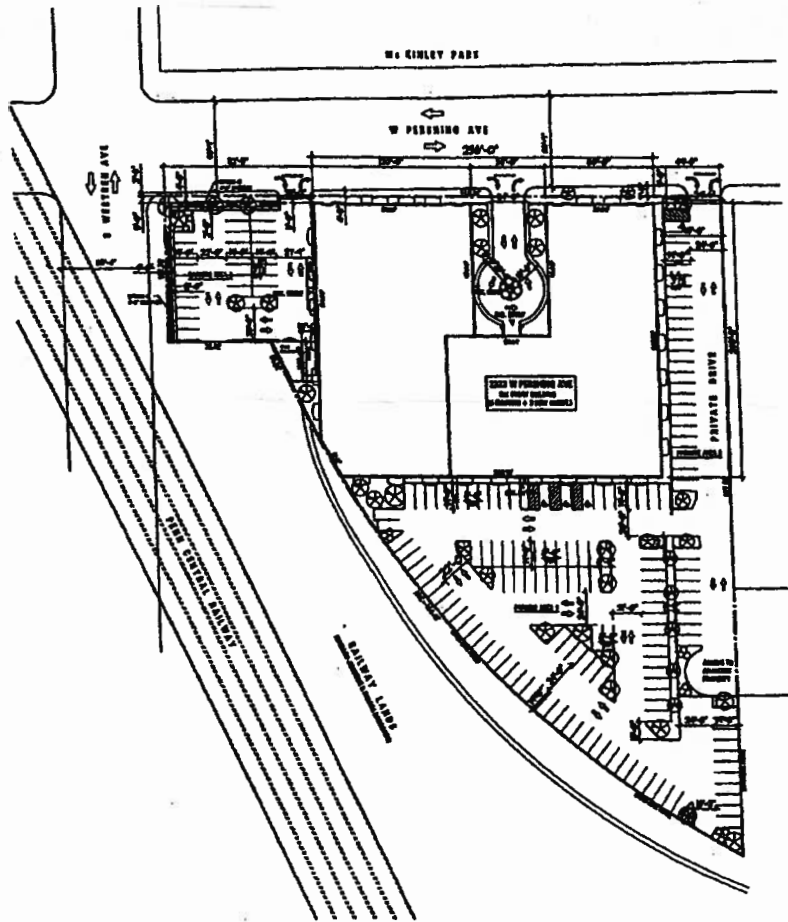


Planned Development Property
Line And Boundary Map.



① PLANNED DEVELOPMENT PROPERTY LINE & BOUNDARY MAP
1/1100" = 1'-0"

Site Plan.



① SITE PLAN
1/100" = 1'-0"



Landscape Plan.

THIS PLANTING DETAIL SHOWS:
 1. ROOT BALL WITH FIBRE CONTAINERS
 2. 2" LAYER OF MULCH OVER ROOT BALL
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PLANT LIST

QUANTITY	REV	SYMBOLICAL NAME	COMMON NAME	USE & SPACING
2		SELESTRA THACAYENS	HONEY LOCUST BOWLE	4' C/L

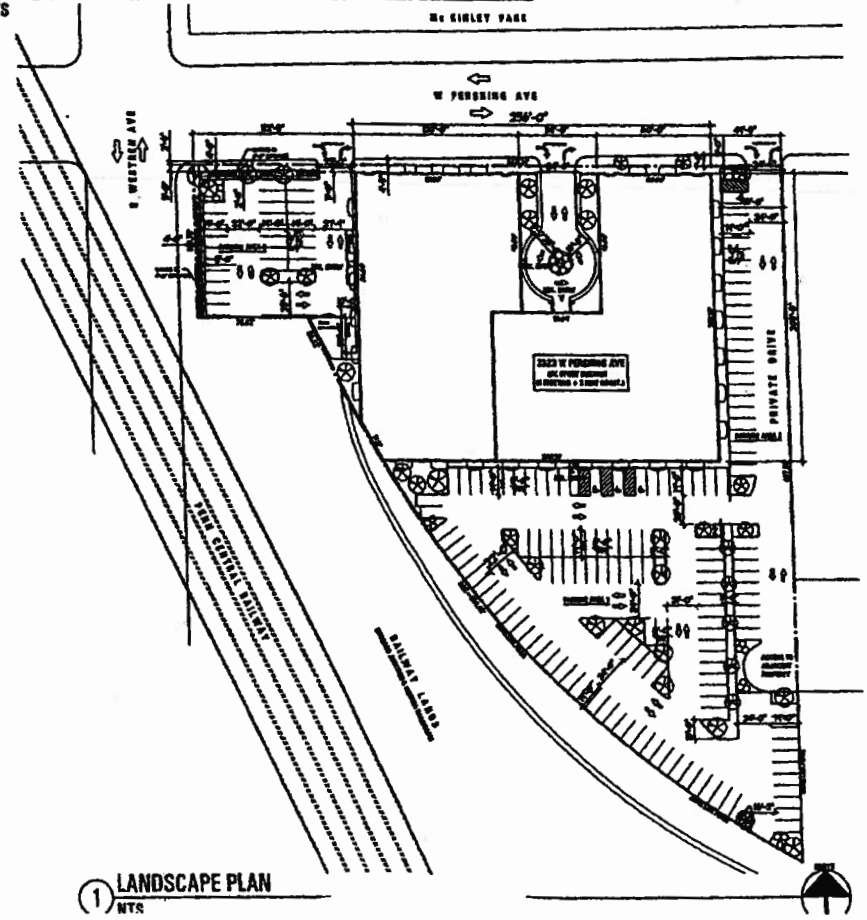
PLANT QUANTITY CALCULATION

PARKING STREET	PARKING AREA 1	PARKING AREA 2	PARKING AREA 3	COURTYARD
2 NEW TREES	20 NEW TREES	7 NEW TREES	4 NEW TREES	4 NEW TREES
TOTAL NEW TREES - 37 NEW TREES				

LANDSCAPING NOTES

1. ALL TREES SHALL BE PLANTED TO LANDSCAPE FRONT OF SITE
 2. ALL TREES SHALL BE PLANTED TO LANDSCAPE REAR OF SITE
 3. ALL TREES SHALL BE PLANTED TO LANDSCAPE SIDE OF SITE
 4. ALL TREES SHALL BE PLANTED TO LANDSCAPE CORNER OF SITE
 5. ALL TREES SHALL BE PLANTED TO LANDSCAPE DRIVEWAY OF SITE
 6. ALL TREES SHALL BE PLANTED TO LANDSCAPE WALKWAY OF SITE
 7. ALL TREES SHALL BE PLANTED TO LANDSCAPE ENTRANCE OF SITE
 8. ALL TREES SHALL BE PLANTED TO LANDSCAPE EXIT OF SITE
 9. ALL TREES SHALL BE PLANTED TO LANDSCAPE PERIMETER OF SITE
 10. ALL TREES SHALL BE PLANTED TO LANDSCAPE INTERIOR OF SITE
 11. ALL TREES SHALL BE PLANTED TO LANDSCAPE EXTERIOR OF SITE
 12. ALL TREES SHALL BE PLANTED TO LANDSCAPE TERRACE OF SITE
 13. ALL TREES SHALL BE PLANTED TO LANDSCAPE BALCONY OF SITE
 14. ALL TREES SHALL BE PLANTED TO LANDSCAPE PORCH OF SITE
 15. ALL TREES SHALL BE PLANTED TO LANDSCAPE PATIO OF SITE
 16. ALL TREES SHALL BE PLANTED TO LANDSCAPE DECK OF SITE
 17. ALL TREES SHALL BE PLANTED TO LANDSCAPE STAIRS OF SITE
 18. ALL TREES SHALL BE PLANTED TO LANDSCAPE ELEVATOR OF SITE
 19. ALL TREES SHALL BE PLANTED TO LANDSCAPE ESCALATORS OF SITE
 20. ALL TREES SHALL BE PLANTED TO LANDSCAPE MECHANICAL ROOMS OF SITE
 21. ALL TREES SHALL BE PLANTED TO LANDSCAPE ELECTRICAL ROOMS OF SITE
 22. ALL TREES SHALL BE PLANTED TO LANDSCAPE TELEPHONE ROOMS OF SITE
 23. ALL TREES SHALL BE PLANTED TO LANDSCAPE JANUARY ROOMS OF SITE
 24. ALL TREES SHALL BE PLANTED TO LANDSCAPE RESTROOMS OF SITE
 25. ALL TREES SHALL BE PLANTED TO LANDSCAPE STORAGE ROOMS OF SITE
 26. ALL TREES SHALL BE PLANTED TO LANDSCAPE OFFICES OF SITE
 27. ALL TREES SHALL BE PLANTED TO LANDSCAPE CONFERENCE ROOMS OF SITE
 28. ALL TREES SHALL BE PLANTED TO LANDSCAPE BOARD ROOMS OF SITE
 29. ALL TREES SHALL BE PLANTED TO LANDSCAPE EXECUTIVE SUITES OF SITE
 30. ALL TREES SHALL BE PLANTED TO LANDSCAPE RECEPTION AREAS OF SITE
 31. ALL TREES SHALL BE PLANTED TO LANDSCAPE LOBBIES OF SITE
 32. ALL TREES SHALL BE PLANTED TO LANDSCAPE WAITING AREAS OF SITE
 33. ALL TREES SHALL BE PLANTED TO LANDSCAPE TICKETS OF SITE
 34. ALL TREES SHALL BE PLANTED TO LANDSCAPE CONCESSIONS OF SITE
 35. ALL TREES SHALL BE PLANTED TO LANDSCAPE RESTAURANTS OF SITE
 36. ALL TREES SHALL BE PLANTED TO LANDSCAPE BARS OF SITE
 37. ALL TREES SHALL BE PLANTED TO LANDSCAPE CLOTHING CHANGING ROOMS OF SITE
 38. ALL TREES SHALL BE PLANTED TO LANDSCAPE LOCKER ROOMS OF SITE
 39. ALL TREES SHALL BE PLANTED TO LANDSCAPE SHOWERS OF SITE
 40. ALL TREES SHALL BE PLANTED TO LANDSCAPE GYMNASIUMS OF SITE
 41. ALL TREES SHALL BE PLANTED TO LANDSCAPE SWIMMING POOLS OF SITE
 42. ALL TREES SHALL BE PLANTED TO LANDSCAPE TENNIS COURTS OF SITE
 43. ALL TREES SHALL BE PLANTED TO LANDSCAPE BASKETBALL COURTS OF SITE
 44. ALL TREES SHALL BE PLANTED TO LANDSCAPE SOFTBALL FIELDS OF SITE
 45. ALL TREES SHALL BE PLANTED TO LANDSCAPE BASEBALL FIELDS OF SITE
 46. ALL TREES SHALL BE PLANTED TO LANDSCAPE GOLF COURSES OF SITE
 47. ALL TREES SHALL BE PLANTED TO LANDSCAPE HORTICULTURAL DISPLAYS OF SITE
 48. ALL TREES SHALL BE PLANTED TO LANDSCAPE BOTANICAL GARDENS OF SITE
 49. ALL TREES SHALL BE PLANTED TO LANDSCAPE ZOO GARDENS OF SITE
 50. ALL TREES SHALL BE PLANTED TO LANDSCAPE AQUARIUMS OF SITE
 51. ALL TREES SHALL BE PLANTED TO LANDSCAPE MUSEUMS OF SITE
 52. ALL TREES SHALL BE PLANTED TO LANDSCAPE THEATRES OF SITE
 53. ALL TREES SHALL BE PLANTED TO LANDSCAPE CONCERT HALLS OF SITE
 54. ALL TREES SHALL BE PLANTED TO LANDSCAPE OPERA HOUSES OF SITE
 55. ALL TREES SHALL BE PLANTED TO LANDSCAPE CINEMAS OF SITE
 56. ALL TREES SHALL BE PLANTED TO LANDSCAPE CASINOS OF SITE
 57. ALL TREES SHALL BE PLANTED TO LANDSCAPE HOTELS OF SITE
 58. ALL TREES SHALL BE PLANTED TO LANDSCAPE RESORTS OF SITE
 59. ALL TREES SHALL BE PLANTED TO LANDSCAPE CRUISE SHIPS OF SITE
 60. ALL TREES SHALL BE PLANTED TO LANDSCAPE AIRCRAFT OF SITE
 61. ALL TREES SHALL BE PLANTED TO LANDSCAPE TRAINS OF SITE
 62. ALL TREES SHALL BE PLANTED TO LANDSCAPE BUSES OF SITE
 63. ALL TREES SHALL BE PLANTED TO LANDSCAPE TRUCKS OF SITE
 64. ALL TREES SHALL BE PLANTED TO LANDSCAPE TRACTORS OF SITE
 65. ALL TREES SHALL BE PLANTED TO LANDSCAPE HARVESTERS OF SITE
 66. ALL TREES SHALL BE PLANTED TO LANDSCAPE MILKMAKERS OF SITE
 67. ALL TREES SHALL BE PLANTED TO LANDSCAPE BUTCHERS OF SITE
 68. ALL TREES SHALL BE PLANTED TO LANDSCAPE BAKERS OF SITE
 69. ALL TREES SHALL BE PLANTED TO LANDSCAPE COOKS OF SITE
 70. ALL TREES SHALL BE PLANTED TO LANDSCAPE WAITERS OF SITE
 71. ALL TREES SHALL BE PLANTED TO LANDSCAPE CHEFS OF SITE
 72. ALL TREES SHALL BE PLANTED TO LANDSCAPE CLEANERS OF SITE
 73. ALL TREES SHALL BE PLANTED TO LANDSCAPE MAINTENANCE WORKERS OF SITE
 74. ALL TREES SHALL BE PLANTED TO LANDSCAPE SECURITY GUARDS OF SITE
 75. ALL TREES SHALL BE PLANTED TO LANDSCAPE POLICE OFFICERS OF SITE
 76. ALL TREES SHALL BE PLANTED TO LANDSCAPE FIRE FIGHTERS OF SITE
 77. ALL TREES SHALL BE PLANTED TO LANDSCAPE EMTS OF SITE
 78. ALL TREES SHALL BE PLANTED TO LANDSCAPE NURSES OF SITE
 79. ALL TREES SHALL BE PLANTED TO LANDSCAPE DOCTORS OF SITE
 80. ALL TREES SHALL BE PLANTED TO LANDSCAPE LAWYERS OF SITE
 81. ALL TREES SHALL BE PLANTED TO LANDSCAPE ENGINEERS OF SITE
 82. ALL TREES SHALL BE PLANTED TO LANDSCAPE ARCHITECTS OF SITE
 83. ALL TREES SHALL BE PLANTED TO LANDSCAPE ACCOUNTANTS OF SITE
 84. ALL TREES SHALL BE PLANTED TO LANDSCAPE CONSULTANTS OF SITE
 85. ALL TREES SHALL BE PLANTED TO LANDSCAPE MANAGERS OF SITE
 86. ALL TREES SHALL BE PLANTED TO LANDSCAPE SUPERVISORS OF SITE
 87. ALL TREES SHALL BE PLANTED TO LANDSCAPE ASSISTANTS OF SITE
 88. ALL TREES SHALL BE PLANTED TO LANDSCAPE CLERKS OF SITE
 89. ALL TREES SHALL BE PLANTED TO LANDSCAPE RECEPTIONISTS OF SITE
 90. ALL TREES SHALL BE PLANTED TO LANDSCAPE SALESPEOPLE OF SITE
 91. ALL TREES SHALL BE PLANTED TO LANDSCAPE CUSTOMERS OF SITE
 92. ALL TREES SHALL BE PLANTED TO LANDSCAPE VISITORS OF SITE
 93. ALL TREES SHALL BE PLANTED TO LANDSCAPE EMPLOYEES OF SITE
 94. ALL TREES SHALL BE PLANTED TO LANDSCAPE CONTRACTORS OF SITE
 95. ALL TREES SHALL BE PLANTED TO LANDSCAPE SUBCONTRACTORS OF SITE
 96. ALL TREES SHALL BE PLANTED TO LANDSCAPE VENDORS OF SITE
 97. ALL TREES SHALL BE PLANTED TO LANDSCAPE SUPPLIERS OF SITE
 98. ALL TREES SHALL BE PLANTED TO LANDSCAPE DISTRIBUTORS OF SITE
 99. ALL TREES SHALL BE PLANTED TO LANDSCAPE RETAILERS OF SITE
 100. ALL TREES SHALL BE PLANTED TO LANDSCAPE WHOLESALE DEALERS OF SITE

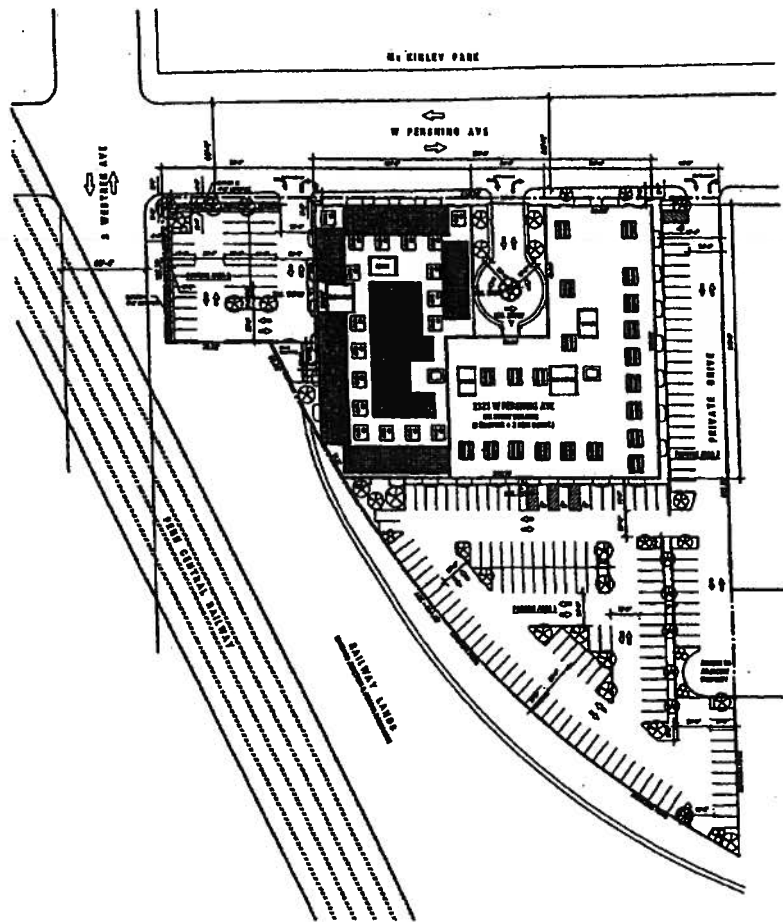
2 LANDSCAPE PLANTING DETAILS
NTS



1 LANDSCAPE PLAN
NTS

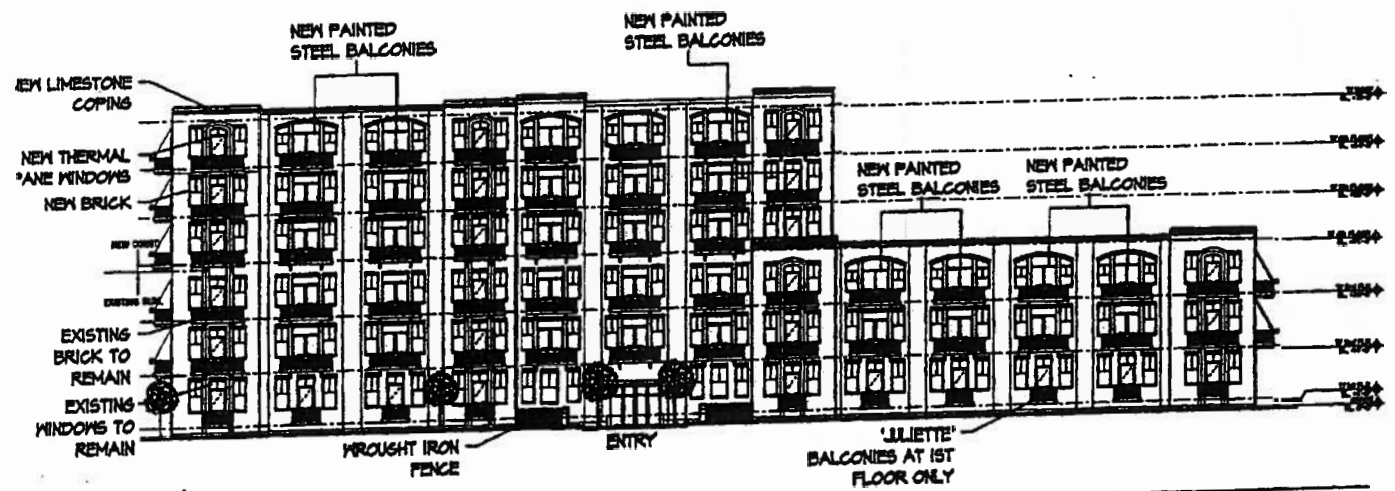
Roof Plan.

LEGEND	
	GREEN ROOF MODULE Area to be 25% of Green Roof Area



① SITE PLAN
1/100" = 1'-0"

North Building Elevation.



1 NORTH ELEVATION
1/8" = 1'-0"

2/9/2005

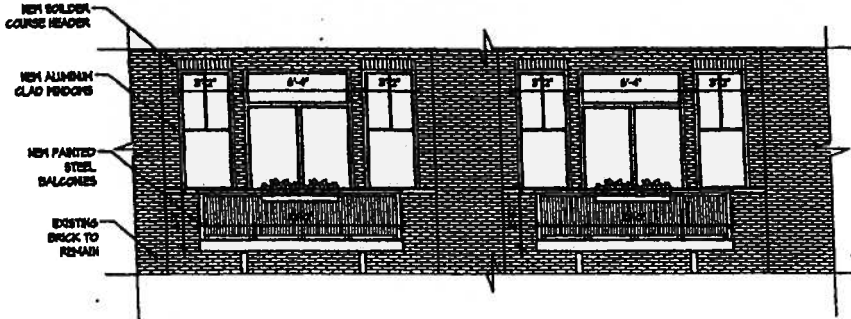
REPORTS OF COMMITTEES

42435

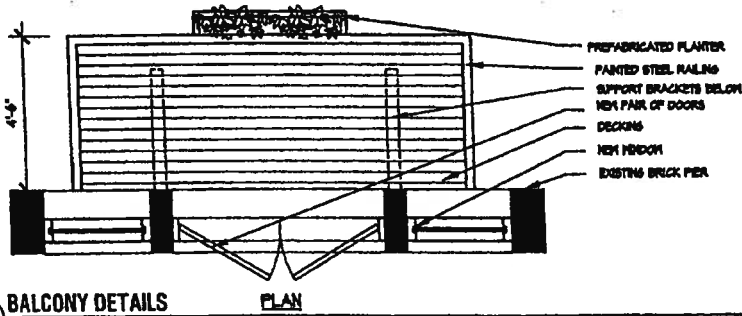
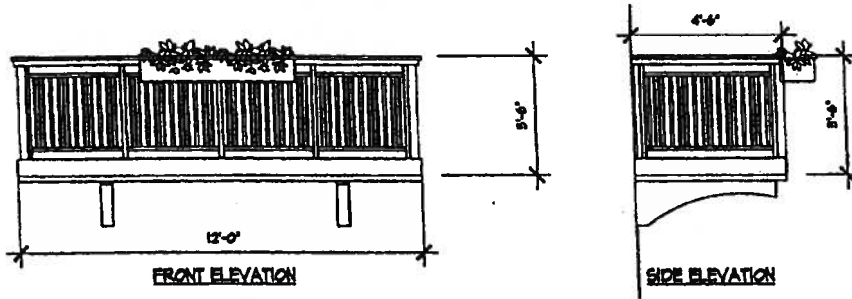
West Building Elevation.



Balcony Details.



2 TYPICAL PAIR OF BALCONIES
1/8"=1'-0"



1 BALCONY DETAILS
1/4"=1'-0"