

PD 943

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 24, 2023

Talar A. Berberian
Thompson Coburn
55 E. Monroe St.
37th Floor
Chicago, IL 60603

Re: Minor change to parking at PD 943, 4400-4430 N. Broadway Ave. and 1036-1040 W. Montrose Ave.

Dear Ms. Berberian:

Please be advised that your request for a minor change to Residential Business Planned Development No. 943 ("PD 943") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement No. 12 of PD 943. You are requesting a minor change on behalf of Target Wilson Yard Development I, LLC, with the consent of the other PD 943 property owner, Wilson Yard Development I, LLC.

You are seeking a minor change to allow an automobile parking reduction from the current 646 spaces to 626 spaces so that Target can dedicate spaces in the existing, below grade parking garage for use as "drive-up" order pick-up stalls. A new elevator will also be installed to allow Target employees access to the below grade parking stalls. The resulting 626 parking spaces will still exceed the minimum of 598 spaces required. Additionally, the property is a transit served location and based on an underlying commercial zoning district, it is eligible for a parking reduction. An Overall Site Plan, Demolition Plan, and Improvement Plan are attached.

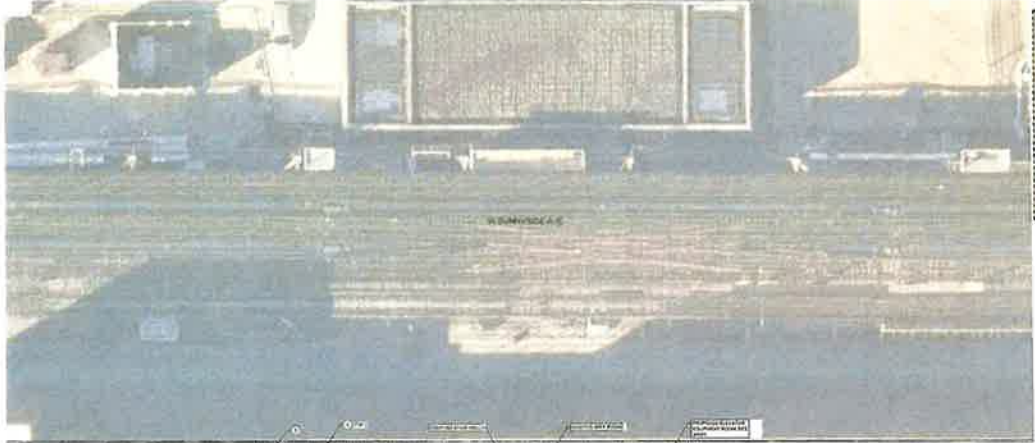
The Department of Planning and Development has determined that allowing the proposed parking reduction will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 943, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

Noah Szafraniec
Assistant Commissioner, Plan Commission

C: Mike Marmo, Janice Hill, Main file



KEY MAP
1/1/2022

LEGEND

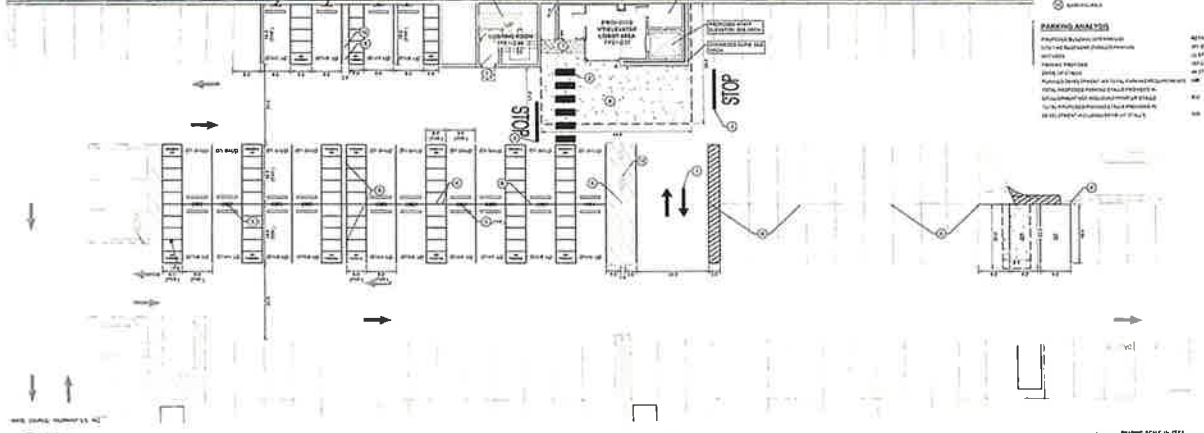
[Symbol]	EXISTING DRIVE
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING CURB
[Symbol]	EXISTING DRIVE

- CONSTRUCTION NOTES**
1. SEE PLAN FOR ALL DIMENSIONS.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATIONS.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATIONS.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATIONS.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATIONS.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATIONS.
 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATIONS.
 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATIONS.
 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATIONS.
 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO DEPARTMENT OF PUBLIC WORKS (DPW) SPECIFICATIONS.

PARKING ANALYSIS

PROPOSED PARKING SPACES: 100
 EXISTING PARKING SPACES: 0
 TOTAL PARKING SPACES: 100

DATE: 07/11/2022



IMPROVEMENT PLAN
1/1/2022



Kimley-Horn
 CONSULTING ENGINEERS



DATE: 07/11/2022

TARGET
 12-2373 CHICAGO WILSON YARD, IL
 4660 WILSON YARD, CHICAGO, IL 60640

PROJECT NUMBER: T-2373

IMPROVEMENT PLAN

C11





City of Chicago
Richard M. Daley, Mayor

Department of Zoning and
Land Use Planning

Patricia A. Scudiero
Commissioner

City Hall, Room 905
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-5777 (Voice)
(312) 744-6552 (FAX)
(312) 744-2950 (TTY)

<http://www.cityofchicago.org>

September 11, 2009

Mr. Forrest E. Russell
Target Corporation
Regional Development Manager
Property Development
1000 Nicollet Mall
Minneapolis, MN 55403

Re: **Administrative Relief request for Residential Business Planned Development No. 943, as amended, Target Store at Wilson Yard**

Dear Mr. Russell:

Please be advised that your request for a minor change to Residential Business Planned Development No. 943 has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.


Specifically, you requested a material and color change to the vertical architectural reveals along the east (Broadway) and north (Sunnyside) elevations of the Target Store at N. Broadway and W. Sunnyside Avenues. Seven metal panel reveals along the east elevation and four metal panels along the north elevation would be replaced with precast panels painted red, as shown on revised Exterior Elevations, prepared by RSP Architects, Ltd., and dated June 23, 2009.

With regard to your request, the Department of Zoning and Land Use Planning has determined that replacing the above-referenced metal panels with red painted precast panels will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 943, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Finally, your request letter of August 17, 2009, also discussed placing a 300-foot long and 16-foot high sign along Target's rear elevation. As you are now aware, you must submit a sign permit application to the Department of Buildings for this proposed sign. Since Statement 6 of the Planned Development permits a maximum total sign area of 6,500 square feet within the Planned Development, and this proposed sign would be 4,800 square feet, please include square footage calculations for all existing signs within the Planned Development with your application.

Sincerely,


Patricia A. Scudiero
Commissioner

P:AS HG:tm

cc: Alderman Helen Shiller, Mary Boucane, Don Holstad, Mike Marino, Matt Ito





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

August 1, 2007

Mr. Paul W. Shadle
DLA Piper US LLP
203 North LaSalle Street
Suite 1900
Chicago, IL 60601-1293

Re: **Administrative Relief request for Residential Business Planned Development No. 943, Wilson Yard**

Dear Mr. Shadle:

Please be advised that your request for a minor change to Residential Business Planned Development No. 943 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested a revision to the Site Plan, Landscape Plan, Building Elevations, and Bulk Regulations and Data Table in order to accommodate the removal of a movie theater component and require a minimum number of 598 parking spaces and a minimum number of 5 loading berths. Additionally, revisions have been made to the building elevations for the proposed residential tower.

A revised Bulk Regulations and Data Table, dated May 10, 2007, along with the following revised drawings, also dated May 10, 2007, shall be inserted into the main file in anticipation of Part II:

- Site Plan
- Landscape Plan
- Plant List and Details
- Building Elevations (4 sheets)

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 943, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Kathleen Nelson 
First Deputy Commissioner

KCN:MRD:tm

cc: Alderman Helen Shiller, Kathleen Nelson, Danita Childers, Mike Marmo, Pat Haynes, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

June 13, 2007

Mr. Paul W. Shadle
DLA Piper US LLP
203 North LaSalle Street
Suite 1900
Chicago, IL 60601-1293

Re: **Administrative Relief request for Residential Business Planned
Development No. 943, Wilson Yard**

Dear Mr. Shadle:

Please be advised that your request for a minor change to Residential Business Planned Development No. 943 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested a revision to the Site Plan, Landscape Plan, Building Elevations, and Bulk Regulations and Data Table in order to accommodate the removal of a movie theater component and require a minimum number of 598 parking spaces and a minimum number of 5 loading berths. Additionally, revisions have been made to the building elevations for the proposed residential tower.

A revised Bulk Regulations and Data Table, dated May 10, 2007, along with the following revised drawings, also dated May 10, 2007, shall be inserted into the main file in anticipation of Part II:

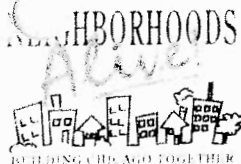
- Site Plan
- Landscape Plan
- Enlarged Landscape Plan
- Plant List and Details
- Building Elevations (4 sheets)

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 943, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Kathleen Nelson
First Deputy Commissioner

KCN:MRD:tm
cc: Kathleen Nelson, Danita Childers, Mike Marmo, Pat Haynes, DPD files



RESIDENTIAL BUSINESS PLANNED DEVELOPMENT NO. 943
PLAN OF DEVELOPMENT
BULK REGULATIONS AND DATA TABLE

Gross Site Area (297,495 square feet) = Net Site Area (244,216 square feet) + Area Remaining in Public Right-Of-Way (53,297 square feet)

Maximum Floor Area Ratio:	4.0
Maximum Number of Dwelling Units:	195
Maximum Site Coverage:	In accordance with the Site Plan
Minimum Number of Off-Street Parking Spaces:	598*
Minimum Number of Bicycle Parking Spaces:	25
Minimum Number of Off-Street Loading Berths:	5
Maximum Building Height:	140 feet
Minimum Setbacks from Property Line:	0 feet (In accordance with the Site Plan)

*Parking spaces for family dwelling units will be provided at a ratio of 1 parking space for each dwelling unit. Parking for dwelling units for elderly persons will be provided at a ration of 1 parking space for every 3 dwelling units.

the public alley next north of and parallel to West 47th Street; South Leclaire Avenue; West 47th Street; and a line 158.72 feet west of and parallel to South Leclaire Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and approval.



Reclassification Of Area Shown On Map Number 11-G.

(As Amended)

(Application Number 15097) *RBPD 943,99*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the Residential Business Planned Development Number 943 symbols and indications as shown on Map Number 11-G in the area bounded by:

North Broadway; West Montrose Avenue; a line from a point on the centerline of West Montrose Avenue a distance of 542.42 feet west of the intersection of the centerline of North Broadway and West Montrose Avenue extending along the easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way; and a line from a point on the easterly boundary of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way approximately 377.34 feet east of the north boundary of West Montrose Avenue extending to the centerline of North Broadway,

to those of the Residential Business Planned Development Number 943, as amended, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development
Number 943, As Amended.*

Plan Of Development Statements.

1. The area delineated herein as Residential-Business Planned Development Number 943, as amended (the "Planned Development") consists of approximately two hundred forty-four thousand two hundred sixteen (244,216) net square feet (five and six-tenths (5.6) acres) of real property located in the area generally located at 4400 North Broadway and bounded as follows:

North Broadway; West Montrose Avenue; a line from a point on the centerline of West Montrose Avenue a distance of 542.42 feet west of the intersection of the centerlines of North Broadway and West Montrose Avenue extending along the easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way; and a line from a point on the easterly boundary of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way approximately 377.34 feet north of the north boundary of West Montrose Avenue extending to the centerline of North Broadway (the "Property").

The Property is currently owned by four (4) entities: the Chicago Transit Authority (C.T.A.), Aldi, Inc., Marvin Ganek and Lawrence Montrose. Holsten Real Estate Development Corporation, an Illinois corporation (the "Applicant") is the Applicant for this Planned Development with the authorization of C.T.A., Aldi, Inc., Marvin Ganek and Lawrence Montrose.

2. The Applicant or its successors, assignees or grantees shall obtain all applicable official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees, and approval by the City Council; provided, however, that the Applicant shall have the right, at its discretion, to dedicate land for public right-of-way purposes in a portion of the Property adjacent to the north and west sides of the buildings to be constructed on the Property in order to extend West Sunnyside Avenue and create an alley linking the Property to West Montrose Avenue (the "Proposed Sunnyside Extension Dedication"). The completion of the Proposed Sunnyside Extension Dedication shall not be required as a condition to the issuance of any permits or other approvals required for the construction of the improvements to be located in the Planned Development, or the issuance of a certificate of occupancy for improvements located on the Property.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assignees and, if different than the Applicant, the legal titleholders and any ground lessors except as provided herein. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assignees and, if different than the Applicant, the legal titleholders and any ground lessors and their respective successors and assignees. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this statement shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors of the Property subject, however, to the following exceptions and conditions: (a) any changes or modifications to this Planned Development applicable to or in a given subarea designated pursuant to Statement Number 10 below need only be made or authorized by the owners and/or ground lessors of such subarea; provided, however, that for so long as the Applicant or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the Applicant; and (b) where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness) and solely with respect to the portion of the Property so transferred, the term "the Applicant" shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof (and its beneficiaries if such seller or transferor is a land trust) shall thereafter be released from any and all obligations or liability hereunder; provided, however, that the Applicant's right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property as set forth in clause (a) of this Statement Number 3 above shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder.

4. This plan of development consists of these seventeen (17) statements; a Bulk Regulations and Data Table; and the following documents prepared by FitzGerald Associates Architects, dated August 18, 2005 (collectively, the "Plans"): an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Property Line and Boundary Map; a Site Plan; a Landscape Plan; Details and Plant Palette; and Building Elevations. Full-sized copies of the Plans are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a Planned Development.
5. The following uses of the Property shall be permitted: dwelling units and other household living uses; eating and drinking establishments; entertainment; food and beverage sales; office; retail sales; theaters; public transportation operations and maintenance uses; accessory and non-accessory parking; temporary buildings for construction purposes; accessory uses; and all other uses permitted in the C2-5 Motor Vehicle-Related Commercial District.
6. Signs shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development, in accordance with the requirements of the C2-5 Motor Vehicle-Related Commercial District; provided that the maximum total sign area permitted in the Planned Development shall be six thousand five hundred (6,500) square feet. No approvals shall be required for any signage located in and designed to be viewed solely from the interior of any improvements on the Property.
7. The improvements of the Property shall be designed, constructed and maintained in substantial conformance with the Plans described in Statement 4 above with respect to architectural expression and quality of materials and in accordance with the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance. Any changed design of garage structures will, to the extent feasible, be pedestrian-friendly, include appropriate articulation, avoid blank walls, provide window displays at the pedestrian level, be screened with active uses at street level and, where open-air parking is provided, direct ventilation openings to secondary elevations rather than street elevations.
8. In addition to the maximum heights of the buildings and any appurtenances attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.

9. For purposes of floor area, floor area ratio ("F.A.R.") and building height calculations, the definitions of the Chicago Zoning Ordinance in effect as of the date hereof shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, such floor area shall not include (a) all floor area devoted to mechanical equipment which exceeds five thousand (5,000) square feet, and (b) all floor area associated with parking and loading areas; for purposes of calculating F.A.R., all structured parking shall be considered accessory parking. The calculation of F.A.R. shall be made based on the net site area of the Planned Development. If the Proposed Sunnyside Extension Dedication is completed, the site area included within such dedication shall continue to be included in the calculation of net site area for purposes of calculating floor area and F.A.R.. In addition, the calculation of any building height shall not include elevator shafts, ingress/egress towers, mechanical penthouses and enclosures, telecommunications facilities or architectural design elements such as spires.
10. The Planned Development will conform to the Plans and is intended to include five (5) separate primary components containing (a) a big box retail use, (b) a theater use, (c) housing for elderly persons, (d) rental apartments, and (e) space for small retail, service and other commercial uses. Subject in all cases to the Plans and the other statements, terms, regulations and provisions of this Planned Development, the Applicant shall have the right to designate subareas (which may include air-rights parcels) within the Planned Development from time to time in order to promote orderly development, to facilitate financing, acquisition, leasing or disposition of the Property or relevant portions thereof, to designate zoning control or to otherwise administer this Planned Development. The designation and redesignation of subareas shall not in and of itself require an amendment or minor change to this Planned Development; provided, however, Applicant shall provide notice of all material terms of any such designation to the Department of Planning and Development, including the designated area and bulk regulations that will apply in any such subarea, for said Department's administrative purposes to facilitate Part II review for any such designated subarea. In furtherance of the foregoing, and in all cases subject to compliance with the other statements, terms, regulations and provisions of this Planned Development, the Applicant may allocate or assign the development rights under this Planned Development to and among the designated subareas, including, but not limited to, floor area and F.A.R., signage, building height and parking; provided, however, that the limitations set forth in the Bulk Regulations and Data Table and the Plans identified in Statement 4 applicable to the

entirety of the Planned Development shall not be exceeded or increased as a result of any such designation(s).

11. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Any changes to ingress and egress as depicted in the Plans and as set forth below shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and loading facilities shall be provided in compliance with this Planned Development. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.
12. The requirements of the Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development (the "Commissioner") upon application and a determination by the Commissioner that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of the Planned Development by the Commissioner shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance. Notwithstanding the provisions of Section 17-13-0611 of the Chicago Zoning Ordinance, such minor changes may include a reduction of the minimum required distance between structures, a reduction of periphery setbacks, an increase of the maximum percent of land covered, dedications of public rights-of-way, and changes to the location, size or display of signage. It is acknowledged that the demising walls for the interior spaces are illustrative only and that the location and relocation of demising walls or division of interior spaces shall not be deemed to require any further approvals pursuant hereto.
13. The Chicago Transit Authority (the "C.T.A.") shall have the right to review proposed changes to subareas or modifications to the Planned Development related to portions of the Property that the C.T.A. owns to confirm that such changes or modifications do not adversely affect the C.T.A.'s operation or maintenance of C.T.A. facilities located on the Property.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of natural resources. Notwithstanding

anything to the contrary on the Plans, the Applicant shall design, construct and maintain all buildings located on the Property in a manner generally consistent with the requirements of the City of Chicago's Building Green/Green Roof Matrix in effect as of the date of approval of this Planned Development. The components of the proposed improvements containing rental apartments and housing for elderly persons will adhere to the green criteria that have been adopted by the Department of Housing as of the date of approval of this Planned Development. If the number of affordable dwelling units falls below twenty percent (20%) of the total number of dwelling units in the Planned Development, then the green requirement will be that fifty percent (50%) of the net area of the roof (net of roof area dedicated as parking area) will be covered in vegetation (i.e. green roof) or the buildings will be L.E.E.D. Certified. Retail space in excess of ten thousand (10,000) square feet will be required to have seventy-five percent (75%) of its net roof area (net of roof area dedicated as parking area) covered in vegetation, or fifty percent (50%) of its net roof area (net of roof area dedicated as parking area) covered in vegetation if its building is L.E.E.D. Certified. When the vehicular use area in the North Broadway public right-of-way adjacent to the Planned Development is widened the landscaped area shown on the Landscape Plan shall be reduced as required to accommodate such widening.

15. Prior to issuance by the Commissioner of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II Approval") for any development of a residential structure above the retail base on the Property, elevations for the proposed residential tower shall be submitted to the Commissioner for approval. This approval is intended to assure that the residential structures conform to the bulk regulations of this Planned Development and that the elevations of the proposed residential structures are architecturally consistent with the design characteristics and quality of materials of the other improvements on the Property. Such elevations shall only be required to include the area or subarea of the Property (if so designated pursuant to Statement Number 10) for which approval is being sought by the Applicant. No Part II Approval for development of a residential structure within the Property shall be granted until the applicable elevations have been approved. The elevations submitted for approval shall, at a minimum, provide the following information with respect to the proposed improvements:

- the location of such component within the Property boundaries;
- roof plan (if applicable);

- cross-sections of the improvements and material details;
 - statistical information for the applicable improvements, including floor area and floor area ratio, uses to be established and building heights and setbacks; and
 - such other information as may be necessary to demonstrate conformity with the applicable provisions of the Planned Development.
16. The Applicant acknowledges that it is in the public interest to design, construct and maintain the improvements of the Property in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities at the time of application for a building permit.
17. Unless substantial construction of the new buildings contemplated by this Planned Development has commenced within six (6) years following adoption of this Planned Development, and unless completion of such buildings is pursued thereafter, then this Planned Development shall expire. If this Planned Development expires under the provisions of this section, then the zoning of the Property shall automatically revert to the underlying C2-5 Motor Vehicle-Related Commercial District classification. Said six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for such an extension is shown.

[Existing Zoning Map; Existing Land-Use Map; Property Line and Boundary Map; Site Plan; Landscape Plan and Details; Details and Plant Palette and Street Elevations; referred to in these Plan of Development Statements printed on pages 56184 through 56193 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

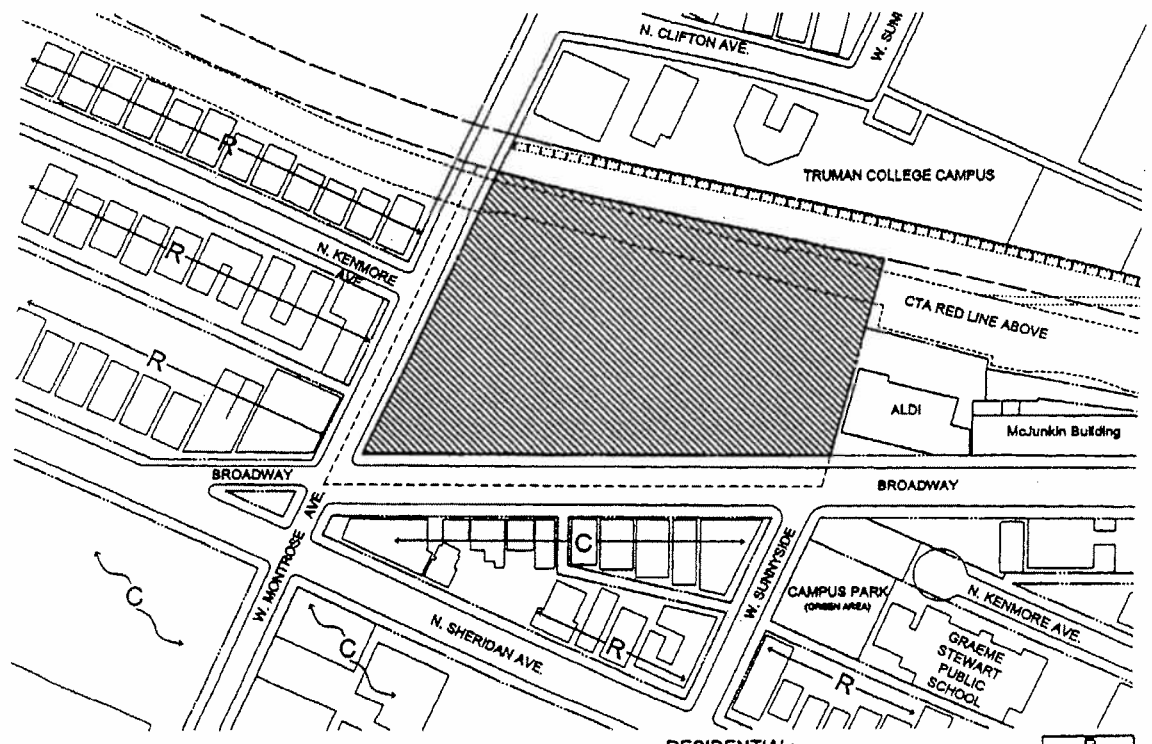
*Residential-Business Planned Development.**Plan Of Development.**Bulk Regulations And Data Table.*

Gross Site Area (297,495 square feet) = Net Site Area (244,216 square feet) + Area Remaining in Public Right-of-Way (53,297 square feet)

Maximum Floor Area Ratio:	4.0
Maximum Number of Dwelling Units:	195
Maximum Site Coverage:	In accordance with the Site Plan
Minimum Number of Off-Street Parking Spaces:	826*
Minimum Number of Bicycle Parking Spaces:	25
Minimum Number of Off-Street Loading Berths:	8
Maximum Building Height:	140 feet
Minimum Setback from Property Line:	0 feet (In accordance with the Site Plan)

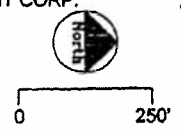
* Parking spaces for family dwelling units will be provided at a ratio of one (1) parking space for each dwelling unit. Parking for dwelling units for elderly persons will be provided at a ratio of one (1) parking space for every three (3) dwelling unit.

Existing Land-Use Map.



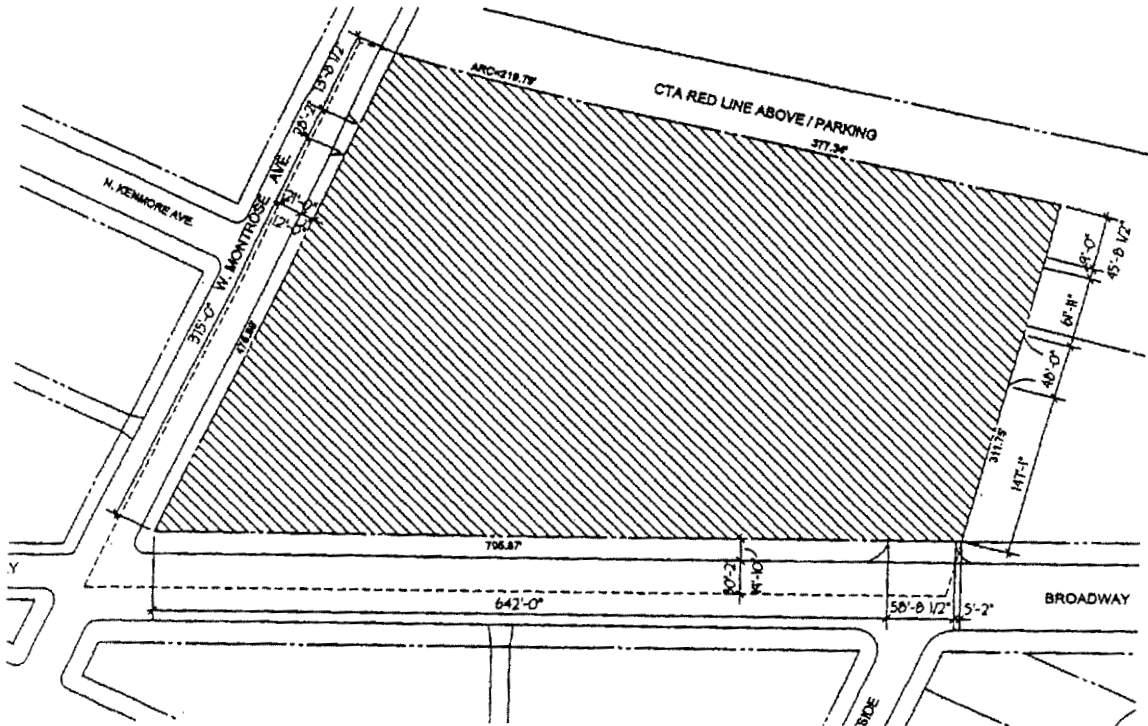
APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

DATE: JUNE 29, 2005
REVISED: AUGUST 18, 2005



- RESIDENTIAL: [R]
- COMMERCIAL: [C]
- PROPERTY LINES [---]
- PLANNED DEVELOPMENT BOUNDARY [---]
- INDICATES PROPERTY FOR LAND DEVELOPMENT [diagonal shading]

Property Line And Boundary Map.



APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

DATE: JUNE 29, 2005
REVISED: AUGUST 18, 2005

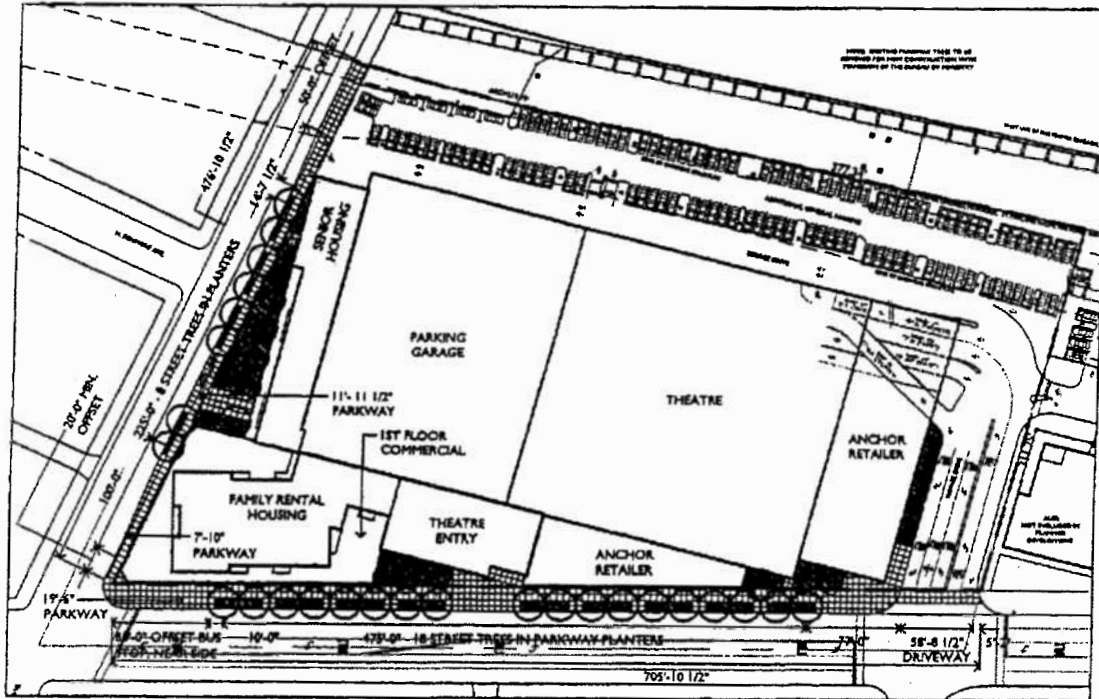


0 100'

PLANNED DEVELOPMENT BOUNDARY
PROPERTY LINES
INDICATES PROPERTY FOR
LAND DEVELOPMENT



Landscape Plan.

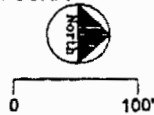


APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

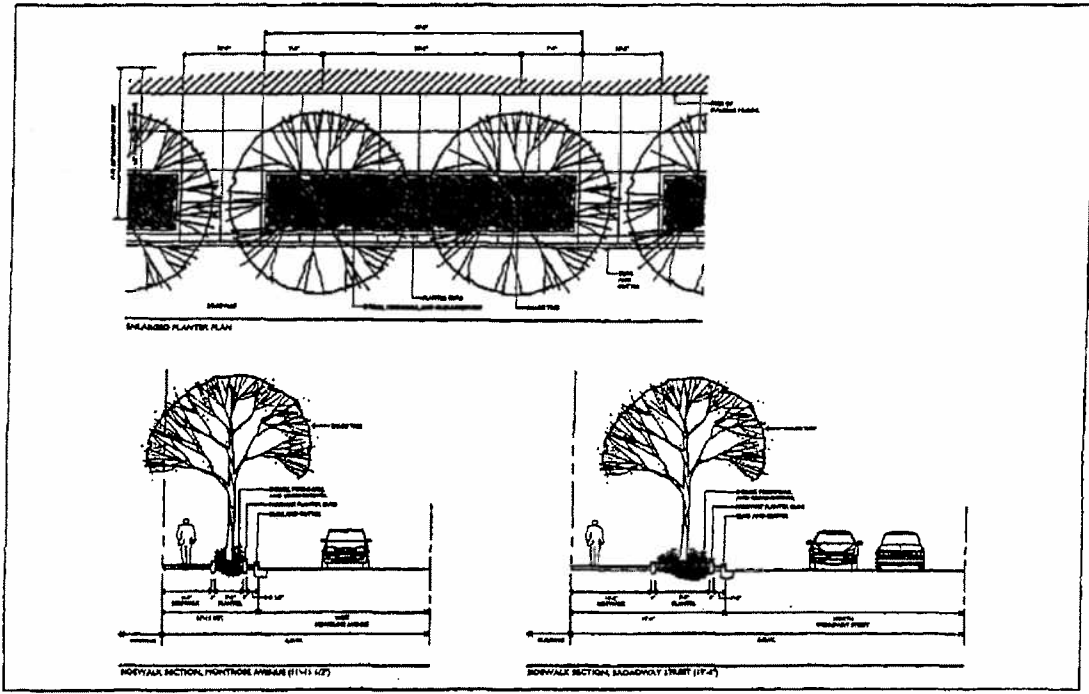
PLANNED DEVELOPMENT BOUNDARY
PROPERTY LINES



DATE: JUNE 29, 2005
REVISED: AUGUST 18, 2005

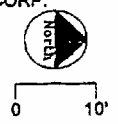


Landscape Details.

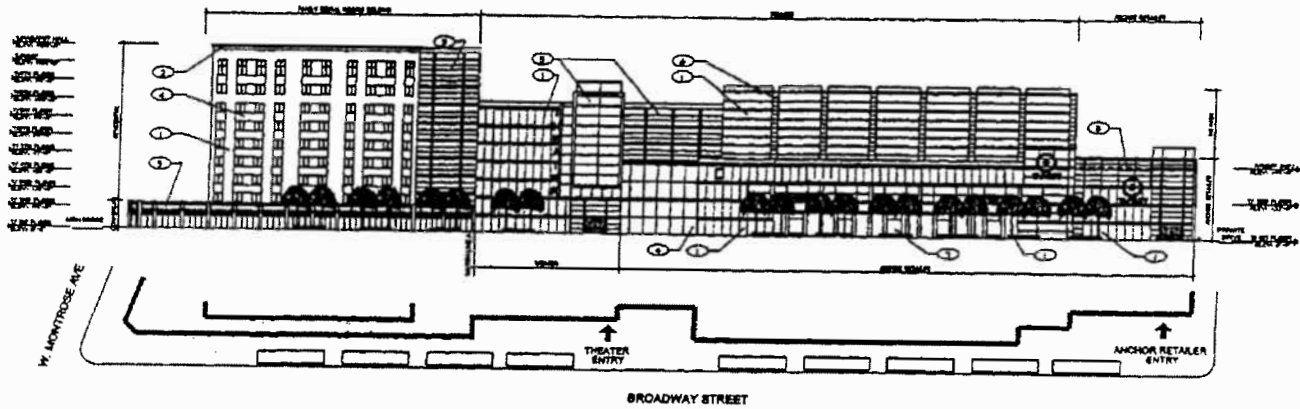


APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

DATE: JUNE 29, 2005
REVISED: AUGUST 18, 2005

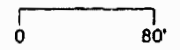


Broadway Street Elevation.



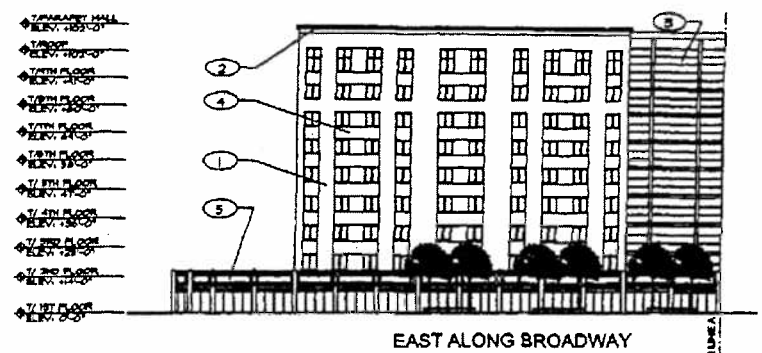
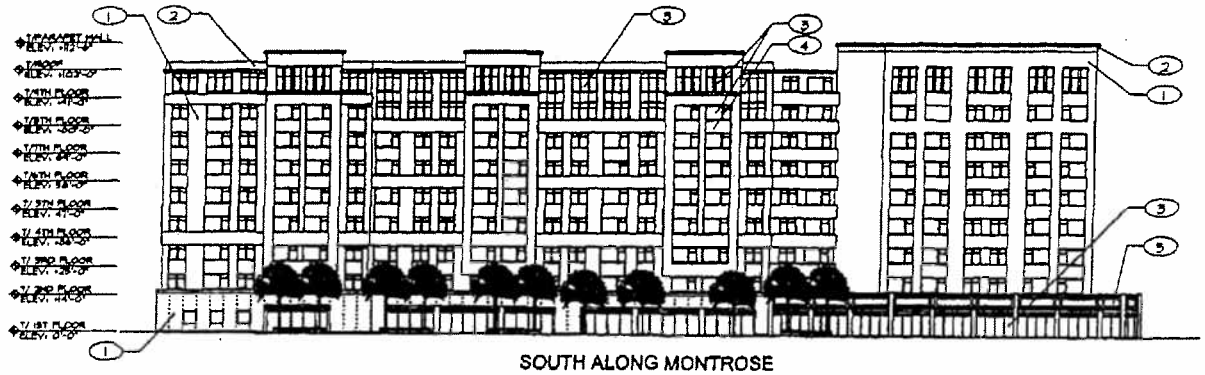
APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

DATE: JUNE 29, 2005
REVISED: AUGUST 18, 2005



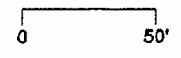
- KEYNOTES:
- 1. BRICK
 - 2. STONE
 - 3. ALUMINUM & GLASS WINDOW
 - 4. METAL PANEL
 - 5. TERRACOTTA
 - 6. ALUMINUM & GLASS WINDOWS & LOUVERS
 - 7. GLASS WINDOW DISPLAY CASE

Exterior Elevations.
(Page 1 of 2)



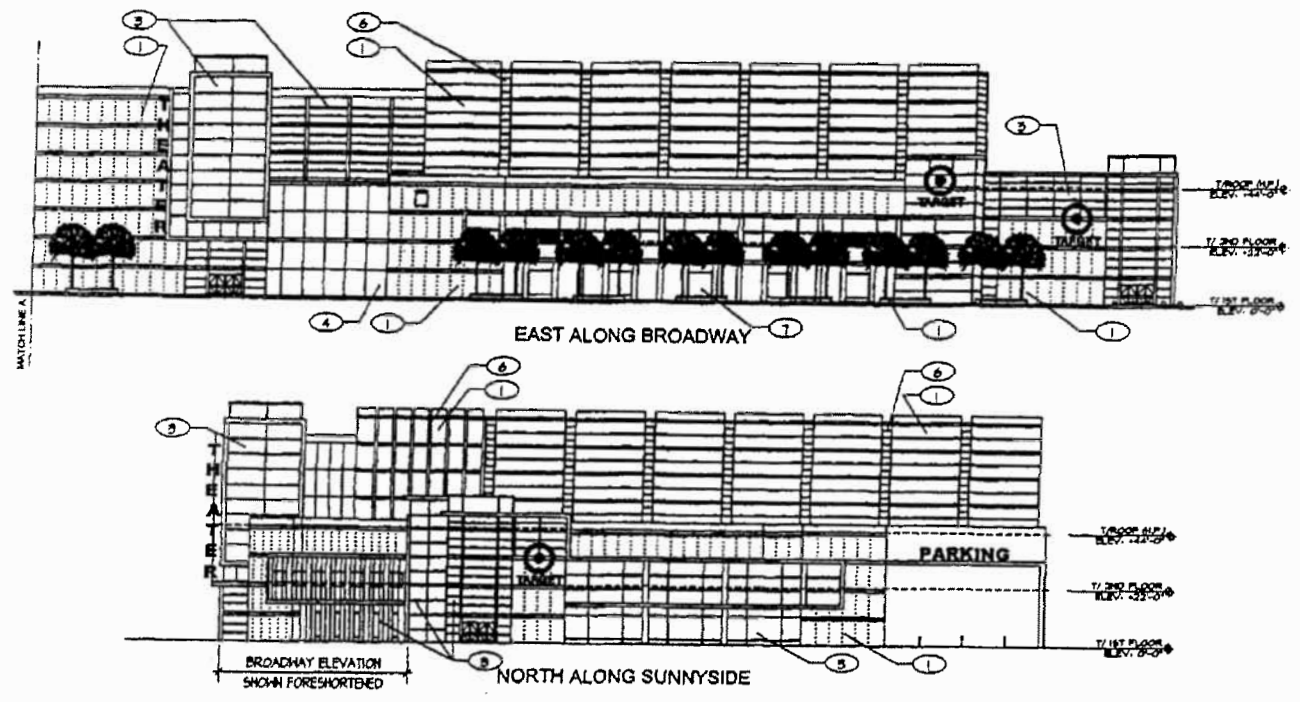
APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

DATE: JUNE 29, 2005
REVISED: AUGUST 16, 2005



- KEYNOTES:
- 1. BRICK
 - 2. STONE
 - 3. ALUMINUM & GLASS WINDOW
 - 4. METAL PANEL
 - 5. TERRACOTTA

Exterior Elevations.
(Page 2 of 2)



- KEYNOTES:
- 1. BRICK
 - 2. STONE
 - 3. ALUMINUM & GLASS WINDOW
 - 4. METAL PANEL
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 - 7. GLASS WINDOW DISPLAY CASE

APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

DATE: JUNE 29, 2005
REVISED: AUGUST 18, 2005



SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map Number 11-G.

(As Amended)

(Application Number 14666) *RBPD 943*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the C2-3 Motor Vehicle-Related Commercial District symbols and indications as shown on Map Number 11-G in the area described as:

that part of the northwest quarter of Section 17, Township 40 North, Range 14 East of the Third Principal Meridian, bounded and described as follows:

beginning at the point of intersection of the westerly line of North Broadway with the north line of West Montrose Avenue; thence west on the north line of West Montrose Avenue, a distance of 476.89 feet to the point of intersection of said north line of West Montrose Avenue with the easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way; thence northerly along said easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way, being the arc of a circle, convex to the northeast, having a radius of 2,694.90 feet, an arc distance of 219.79 feet to a point of tangency, said point of tangency being 216.05 feet north of the north line of West Montrose Avenue, as measured along a line perpendicular thereto and 380.36 feet southwesterly of the southwesterly line of North Broadway, as measured along a line perpendicular thereto; thence continuing northwesterly along said easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way, being a straight line tangent to the last described arc, a distance of 377.34 feet to a point; thence easterly along a straight line, which forms the counterclockwise angle, from south to east, of 88 degrees, 01 minutes, 01 seconds, with the last described line, a distance of 311.75 feet to a point on the west line of North Broadway; thence southeasterly along the westerly line of North Broadway, a distance of 705.87 feet to the point of beginning and the area adjacent to said land to the centerlines of the public rights-of-way on North Broadway and West Montrose Avenue, in Cook County, Illinois,

to those of a C2-5 Motor Vehicle-Related Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the C2-5 Motor Vehicle-Related Commercial District symbols and indications as shown on Map Number 11-G in the area described as:

that part of the northwest quarter of Section 17, Township 40 North, Range 14 East of the Third Principal Meridian, bounded and described as follows:

beginning at the point of intersection of the westerly line of North Broadway with the north line of West Montrose Avenue; thence west on the north line of West Montrose Avenue, a distance of 476.89 feet to the point of intersection of said north line of West Montrose Avenue with the easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way; thence northerly along said easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way, being the arc of a circle, convex to the northeast, having a radius of 2,694.90 feet, an arc distance of 219.79 feet to a point of tangency, said point of tangency being 216.05 feet north of the north line of West Montrose Avenue, as measured along a line perpendicular thereto, and 380.36 feet southwesterly of the southwesterly line of North Broadway, as measured along a line perpendicular thereto; thence continuing northwesterly along said easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way, being a straight line tangent to the last described arc, a distance of 377.34 feet to a point; thence easterly along a straight line, which forms the counterclockwise angle, from south to east, of 88 degrees, 01 minutes, 01 seconds, with the last described line, a distance of 311.75 feet to a point on the west line of North Broadway; thence southeasterly along the westerly line of North Broadway, a distance of 705.87 feet to the point of beginning and the area adjacent to said land to the centerlines of the public rights-of-way on North Broadway and West Montrose Avenue, in Cook County, Illinois,

to those of a Residential Business Planned Development and a corresponding use district is hereby established in the area above described.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential Business Planned Development Number 943.

Plan Of Development Statements.

1. The area delineated herein as Residential Business Planned Development (the "Planned Development") consists of approximately two hundred forty-four thousand two hundred sixteen (244,216) net square feet (five and six-tenths (5.6) acres) of real property located in the area generally located at 4400 North Broadway and described as follows:

that part of the northwest quarter of Section 17, Township 40 North, Range 14 East of the Third Principal Meridian, bounded and described as follows:

beginning at the point of intersection of the westerly line of North Broadway with the north line of West Montrose Avenue; thence west on the north line of West Montrose Avenue, a distance of 476.89 feet to the point of intersection of said north line of West Montrose Avenue with the easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way; thence northerly along said easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way, being the arc of a circle, convex to the northeast, having a radius of 2,694.90 feet, an arc distance of 219.79 feet to a point of tangency, said point of tangency being 216.05 feet north of the north line of West Montrose Avenue, as measured along a line perpendicular thereto, and 380.36 feet southwesterly of the southwesterly line of North Broadway, as measured along a line perpendicular thereto; thence continuing northwesterly along said easterly line of the former Chicago, Milwaukee, St. Paul and Pacific Railroad right-of-way, being a straight line tangent to the last described arc, a distance of 377.34 feet to a point; thence easterly along a straight line, which forms the counterclockwise angle, from south to east, of 88 degrees, 01 minutes, 01 seconds, with the last described line, a distance of 311.75 feet to a point on the west line of North Broadway; thence southeasterly along the westerly line of North Broadway, a distance of 705.87 feet to the point of beginning and the area adjacent to said land to the centerlines of the public rights-of-way on North Broadway and West Montrose Avenue (the "Property").

The Property is currently owned by four (4) entities: the Chicago Transit Authority (C.T.A.), Aldi, Inc., Marvin Ganek and Lawrence Montrose. Holsten Real Estate Development Corporation, an Illinois corporation (the "Applicant") is the Applicant for this Planned Development with the authorization of C.T.A., Aldi, Inc., Marvin Ganek and Lawrence Montrose.

2. The Applicant or its successors, assignees or grantees shall obtain all applicable official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees, and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assignees and, if different than the Applicant, the legal titleholders and any ground lessors except as provided herein. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assignees and, if different than the Applicant, the legal titleholders and any ground lessors and their respective successors and assignees. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this statement shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise), shall be made or authorized by all the owners of the Property and any ground lessors of the Property subject, however, to the following exceptions and conditions: (a) any changes or modifications to this Planned Development applicable to or in a given subarea designated pursuant to statement number 10 below need only be made or authorized by the owners and/or ground lessors of such subarea; provided, however, that for so long as the Applicant or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by the Applicant; and (b) where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness) and solely with respect to the portion of the Property so transferred, the term "the Applicant" shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof (and its

beneficiaries if such seller or transferor is a land trust) shall thereafter be released from any and all obligations or liability hereunder; provided, however, that the Applicant's right to authorize changes or modifications to this Planned Development for so long as it owns or controls all or any portion of the Property as set forth in clause (a) of this statement Number 3 above shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder.

4. This plan of development consists of these sixteen (16) statements; a Bulk Regulations and Data Table; and the following documents prepared by Fitzgerald Associates Architects, dated November 3, 2004 (collectively, the "Plans"): an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Property Line and Boundary Map; a Site Plan; a Landscape Plan; and Building Elevations. Full-sized copies of the Plans are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The following uses of the Property shall be permitted: dwelling units and other household living uses; eating and drinking establishments; entertainment; food and beverage sales; office; retail sales; theaters; public transportation operations and maintenance uses; accessory and non-accessory parking; temporary buildings for construction purposes; accessory uses; and all other uses permitted in the C2-5 Motor Vehicle-Related Commercial District.
6. Signs shall be permitted within the Planned Development in accordance with the requirements of the C2-5 Motor Vehicle-Related Commercial District; provided that the Maximum Total Sign Area permitted in the Planned Development shall be six thousand five hundred (6,500) square feet. No approvals shall be required for any signage located in and designed to be viewed solely from the interior of any improvements on the Property.
7. The improvements of the Property shall be designed, constructed and maintained in substantial conformance with the Plans described in Statement 4 above, and in accordance with the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance.
8. In addition to the maximum heights of the buildings and any appurtenances attached thereto prescribed in this Planned Development,

the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.

9. For purposes of floor area, floor area ratio ("F.A.R.") and building height calculations, the definitions of the Chicago Zoning Ordinance in effect as of the date hereof shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, such floor area shall not include (a) all floor area devoted to mechanical equipment which exceeds five thousand (5,000) square feet, and (b) all floor area associated with parking and loading areas. The calculation of F.A.R. shall be made based on the net site area of the Planned Development. In addition, the calculation of any building height shall not include elevator shafts, ingress/egress towers, mechanical penthouses and enclosures, telecommunications facilities or architectural design elements such as spires.
10. The Planned Development will conform to the Plans and is intended to include five (5) separate primary components containing (a) a big box retail use, (b) a theater use, (c) housing for elderly persons, (d) rental apartments, and (e) space for small retail, service and other commercial uses. Subject in all cases to the Plans and the other statements, terms, regulations and provisions of this Planned Development, the Applicant shall have the right to designate subareas (which may include air-rights parcels) within the Planned Development from time to time in order to promote orderly development, to facilitate financing, acquisition, leasing or disposition of the Property or relevant portions thereof, to designate zoning control or to otherwise administer this Planned Development. The designation and redesignation of subareas shall not in and of itself require an amendment or minor change to this Planned Development; provided, however, Applicant shall provide notice of all material terms of any such designation to the Department of Planning and Development, including the designated area and bulk regulations that will apply in any such subarea, for said Department's administrative purposes to facilitate Part II review for any such designated subarea. In furtherance of the foregoing, and in all cases subject to compliance with the other statements, terms, regulations and provisions of this Planned Development, the Applicant may allocate or assign the development rights under this Planned Development to and among the designated subareas, including, but not limited to, floor area and F.A.R., signage, building height and parking; provided, however, that the limitations set forth in the Bulk Regulations and Data Table and the Plans identified in statement 4 applicable to the entirety of the Planned Development shall not be exceeded or increased as a result of any such designation(s).

11. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Any changes to ingress and egress as depicted in the Plans and as set forth below shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and loading facilities shall be provided in compliance with this Planned Development. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.
12. The requirements of the Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development (the "Commissioner") upon application and a determination by the Commissioner that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of the Planned Development by the Commissioner shall be deemed to be a minor change in the Planned Development as contemplated by Section 17.13-0611 of the Chicago Zoning Ordinance. Notwithstanding the provisions of Section 17-13-0611 of the Chicago Zoning Ordinance, such minor changes may include a reduction of the minimum required distance between structures, a reduction of periphery setbacks, an increase of the maximum percent of land covered and changes to the location, size or display of signage. It is acknowledged that the demising walls for the interior spaces are illustrative only and that the location and relocation of demising walls or division of interior spaces shall not be deemed to require any further approvals pursuant hereto.
13. The Chicago Transit Authority (the "C.T.A.") shall have the right to review proposed changes to subareas or modifications to the Planned Development related to portions of the Property that the C.T.A. owns to confirm that such changes or modifications do not adversely affect the C.T.A.'s operation or maintenance of C.T.A. facilities located on the Property.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of natural resources. Notwithstanding anything to the contrary on the Plans, the Applicant shall design, construct and maintain all buildings located on the Property in a manner generally consistent with the requirements of the City of Chicago's Building Green/Green Roof Matrix in effect as of the date of approval of

this Planned Development. The components of the proposed improvements containing rental apartments and housing for elderly persons will adhere to the Green Criteria that have been adopted by the Department of Housing as of the date of approval of this Planned Development. If the number of affordable dwelling units falls below twenty percent (20%) of the total number of dwelling units in the Planned Development, then the green requirement will be that fifty percent (50%) of the net area of the roof will be covered in vegetation (i.e. green roof) or the buildings will be L.E.E.D. Certified. Retail space in excess of ten thousand (10,000) square feet will be required to have seventy-five percent (75%) of its net roof area covered in vegetation, or fifty percent (50%) of its net roof area covered in vegetation if its building is L.E.E.D. Certified. When the vehicular use area in the Broadway public right-of-way adjacent to the Planned Development is widened the landscaped area shown on the Landscape Plan shall be reduced as required to accommodate such widening.

15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the improvements of the Property in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities at the time of application for a building permit.
16. Unless substantial construction of the new buildings contemplated by this Planned Development has commenced within six (6) years following adoption of this Planned Development, and unless completion of such buildings is pursued thereafter, then this Planned Development shall expire. If this Planned Development expires under the provisions of this section, then the zoning of the Property shall automatically revert to the underlying C2-5 Motor Vehicle-Related Commercial District classification. Said six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for such an extension is shown.

[Existing Zoning Map; Existing Land-Use Map; Property Line and Boundary Map; Site Plan; Landscape Plan; Landscape Details; Details and Plant Palette; Building Elevations; and First Floor Plan referred to in these Plan of Development Statements printed on pages 41285 through 41296 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development 943

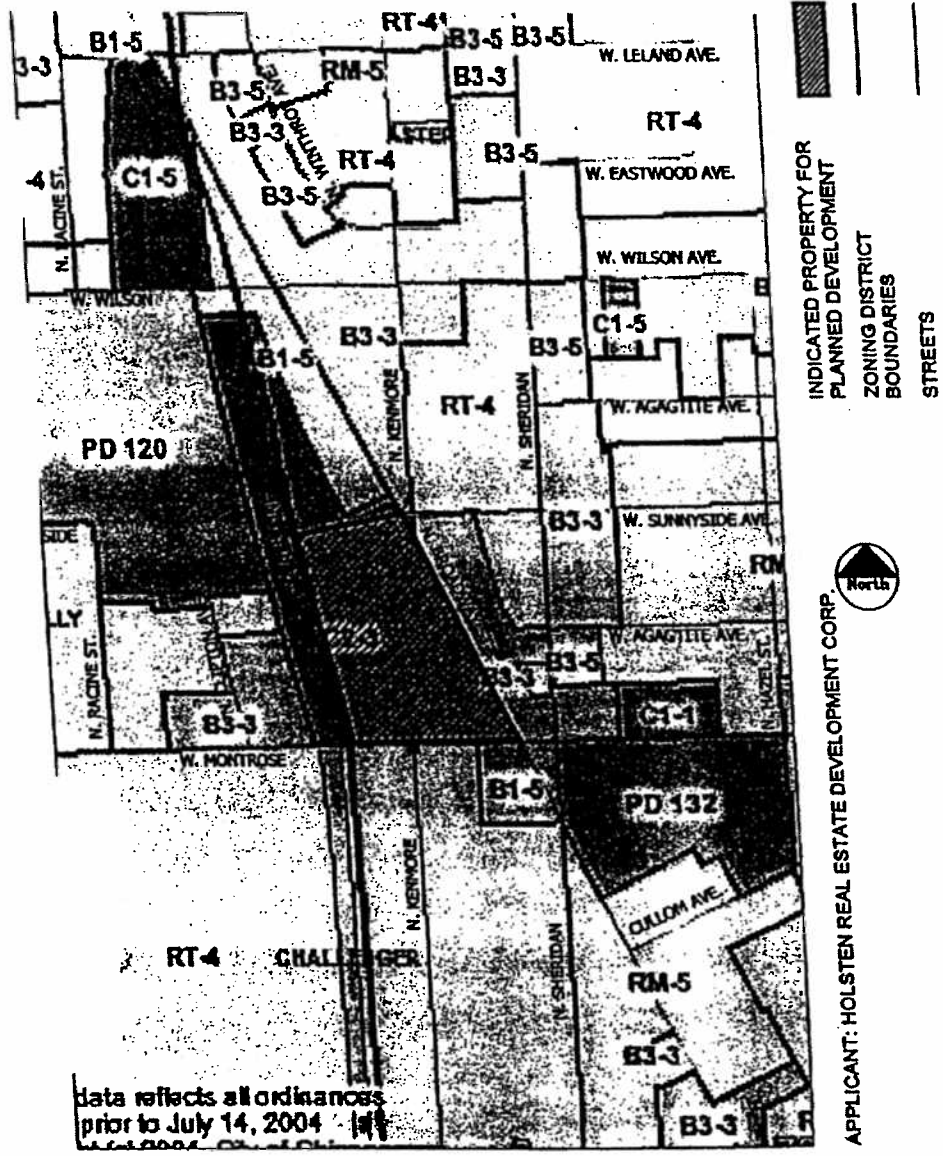
Plan Of Development.

Bulk Regulations And Data Table.

Gross Site Area (297,495 square feet) = Net Site Area (244,216 square feet) + Area Remaining in Public Right-of-Way (53,297 square feet)

Maximum Floor Area Ratio:	4.0
Maximum Number of Dwelling Units:	150
Maximum Site Coverage:	In accordance with the Site Plan
Minimum Number of Off-Street Parking Spaces:	971
Minimum Number of Bicycle Parking Spaces:	25
Minimum Number of Off-Street Loading Berths:	In accordance with the Site Plan
Maximum Building Height:	In accordance with the Site Plan
Minimum Setbacks from Property Line:	In accordance with the Site Plan

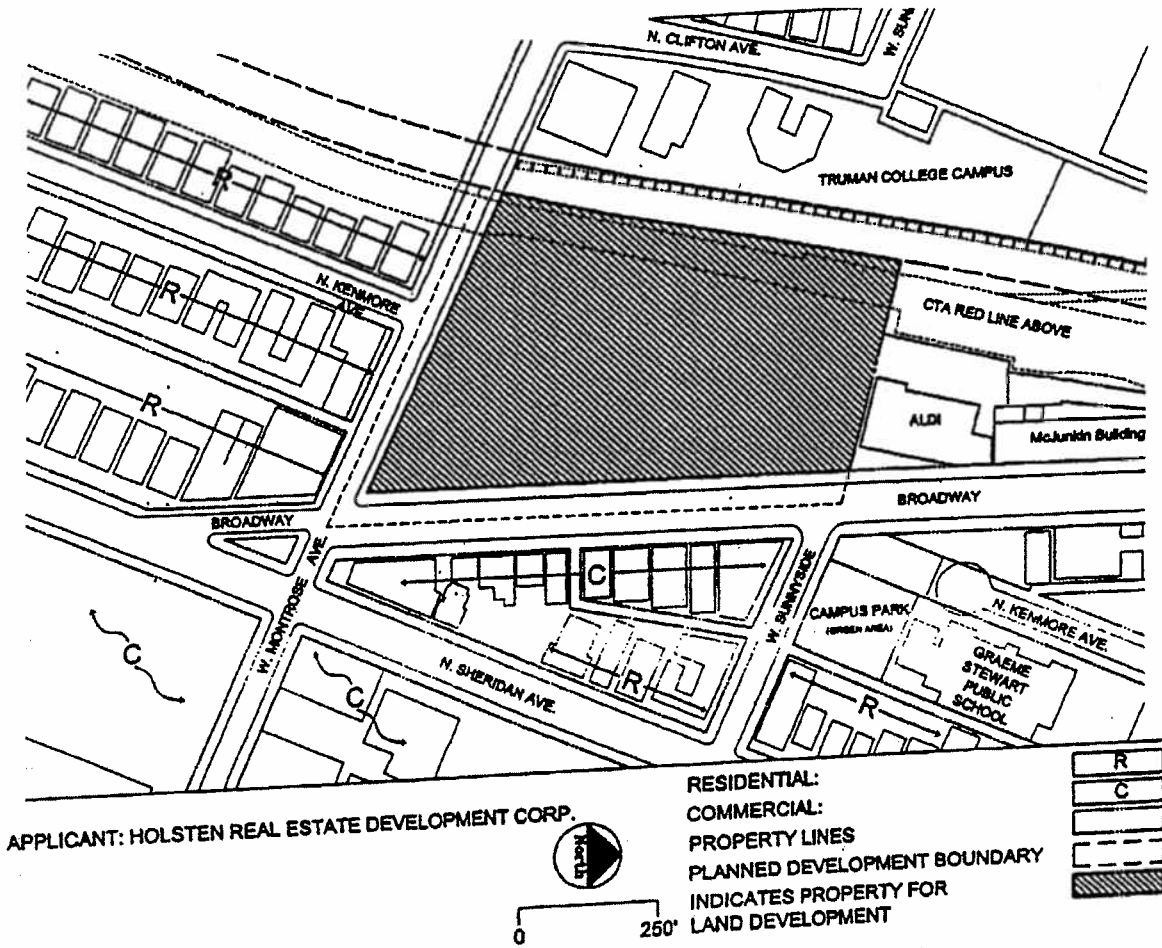
Existing Zoning Map.



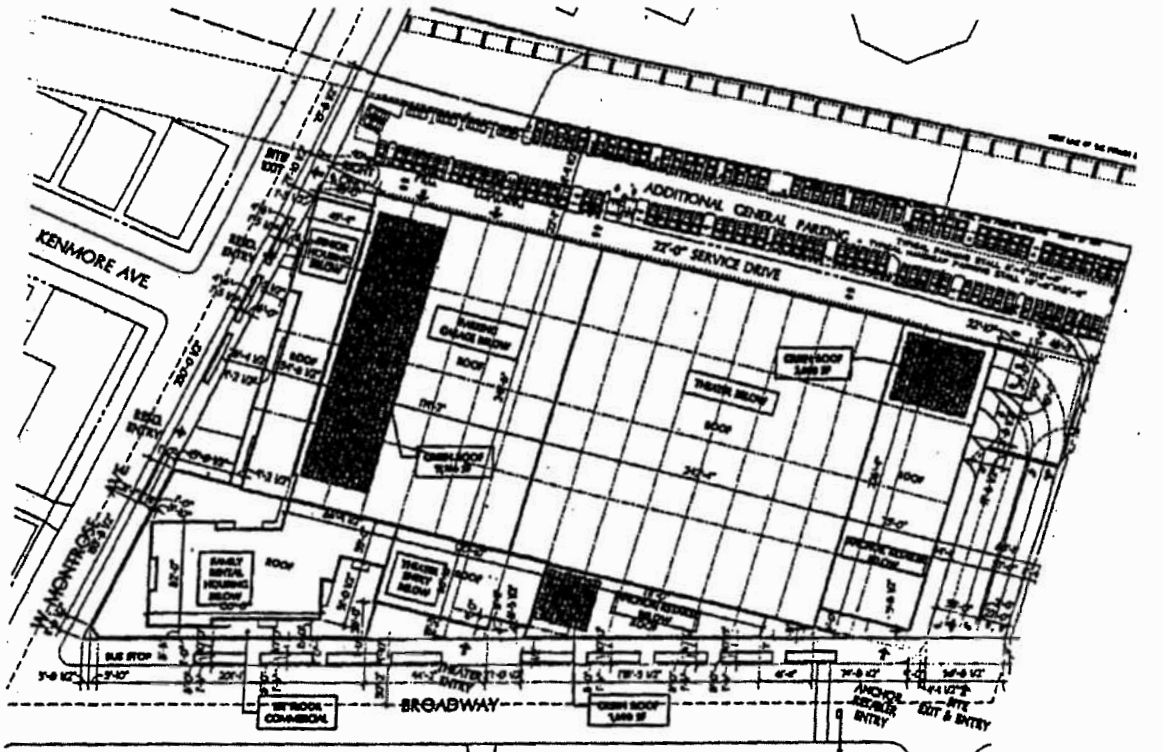
data reflects all ordinances prior to July 14, 2004

APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

Existing Land-Use Map.

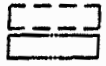
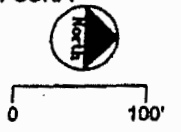


Site Plan.



APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

PLANNED DEVELOPMENT BOUNDARY
PROPERTY LINES

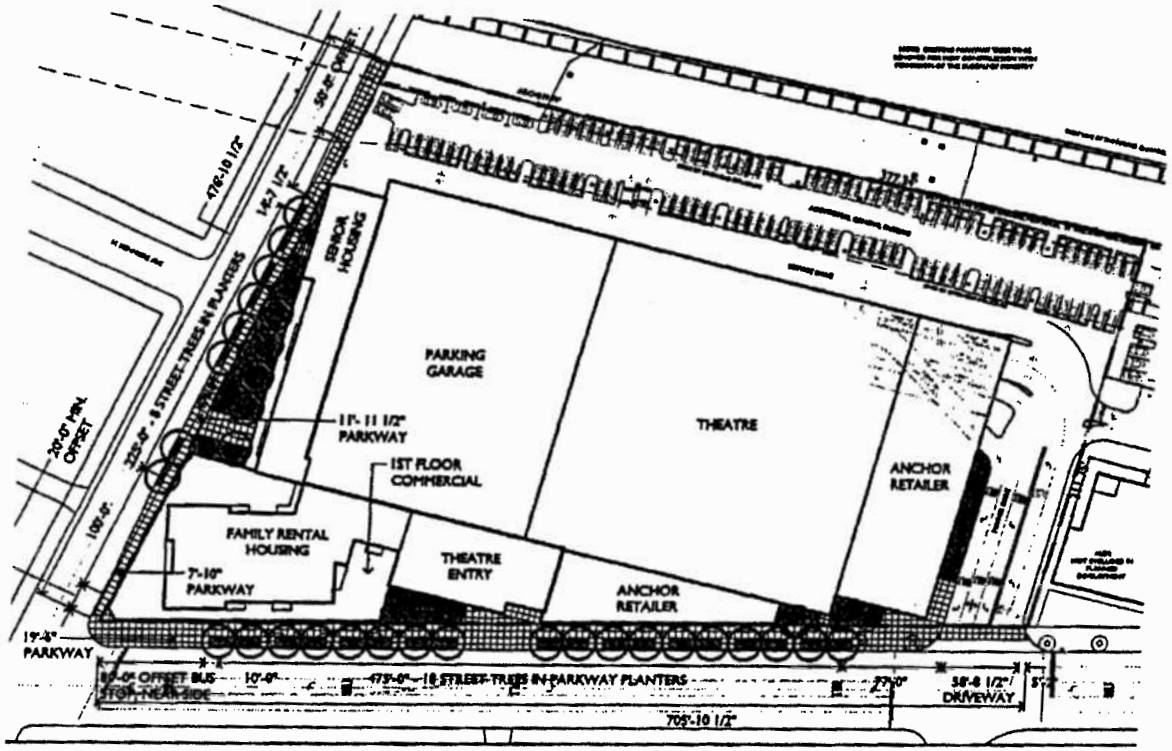


1/11/2005

SPECIAL MEETING

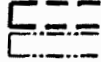
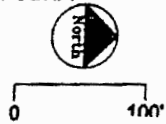
41289

Landscape Plan.

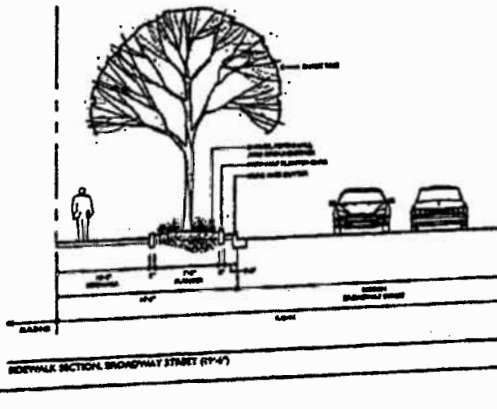
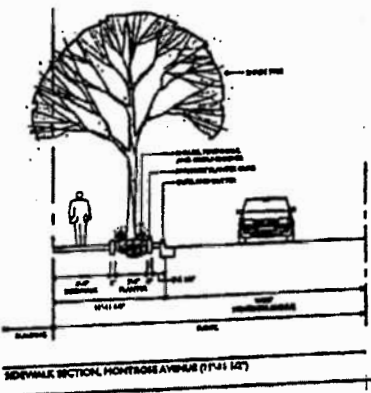
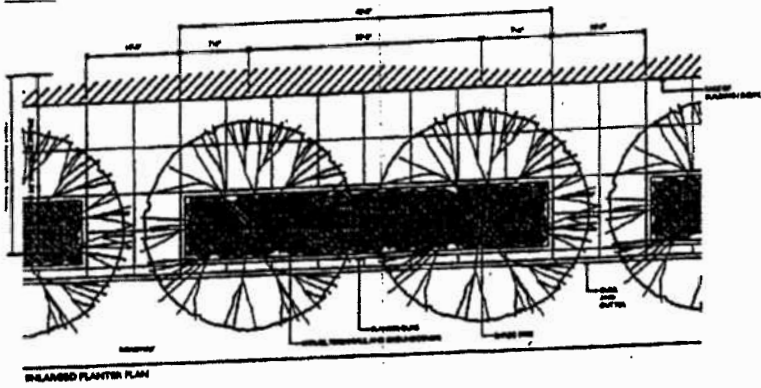


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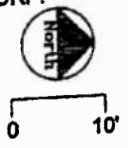
PLANNED DEVELOPMENT BOUNDARY
PROPERTY LINES



Landscape Details.



APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

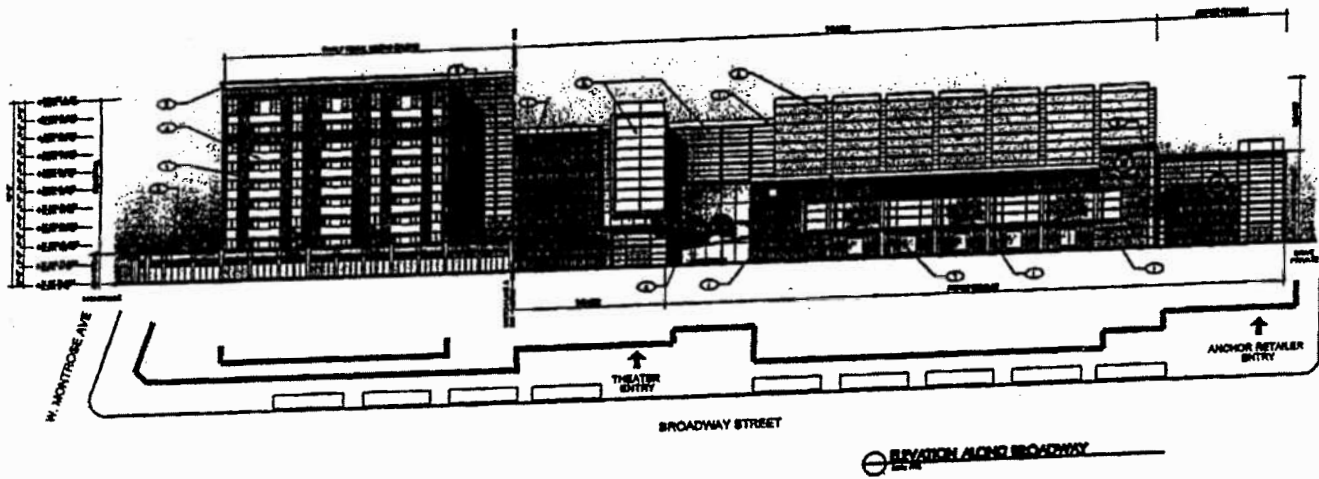


41292

JOURNAL--CITY COUNCIL--CHICAGO

1/11/2005

Elevation Along Broadway.



KEYNOTES:

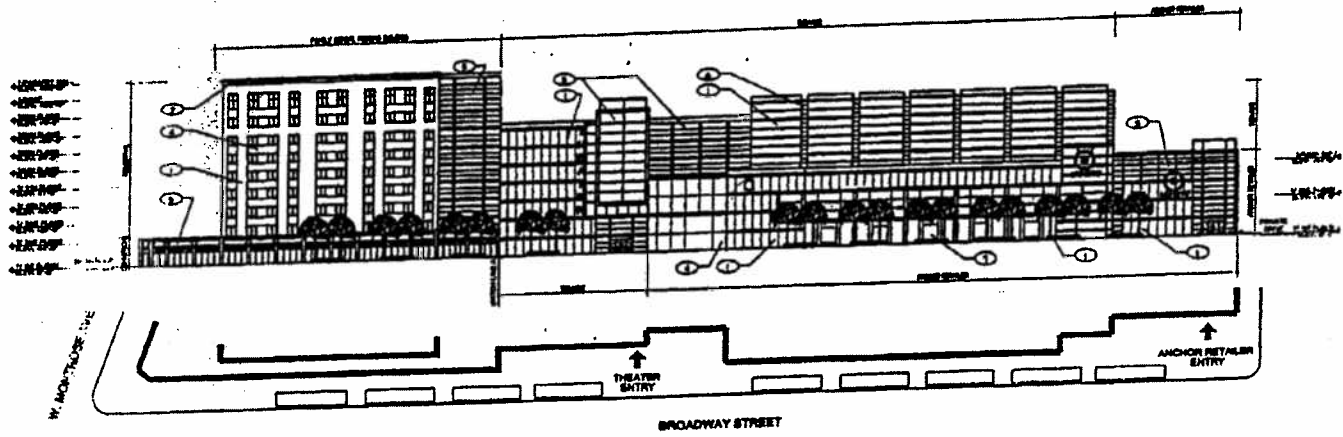
1. BRICK
2. STONE
3. ALUMINUM & GLASS WINDOW
4. METAL PANEL
5. TERRACOTTA
6. ALUMINUM & GLASS WINDOWS & LOUVERS
7. GLASS WINDOW DISPLAY CASE

1/11/2005

SPECIAL MEETING

41293

Broadway Street Elevation.



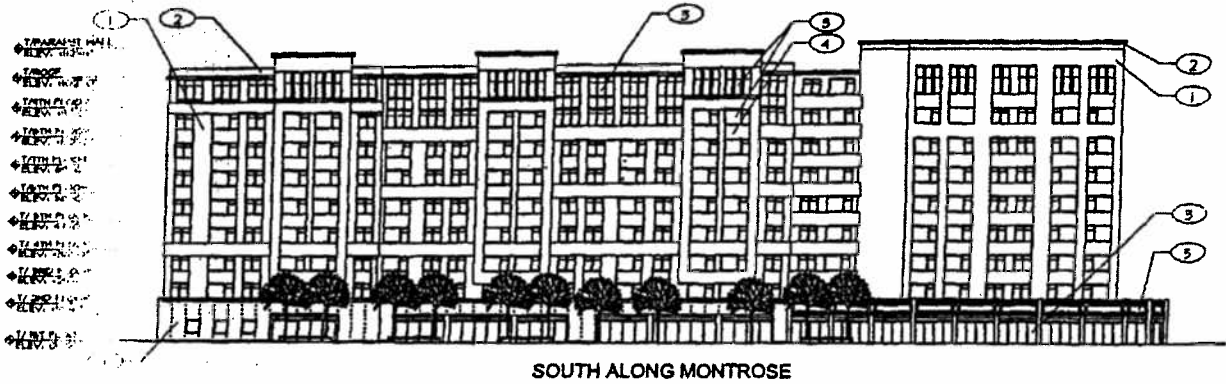
APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

KEYNOTES:

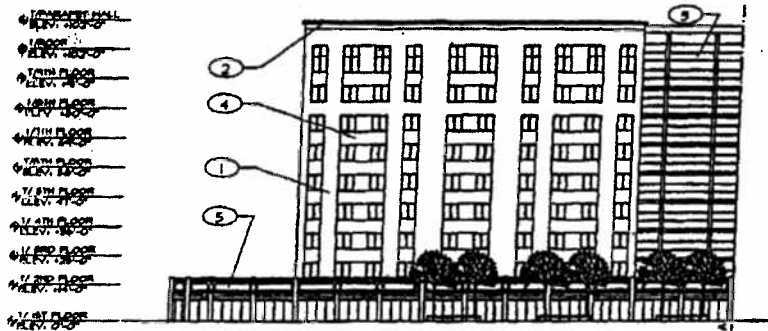
- 1. BRICK
- 2. STONE
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- 5. TERRACOTTA
- 6. ALUMINUM & GLASS WINDOWS & LOUVERS
- 7. GLASS WINDOW DISPLAY CASE

0 80'

Exterior Elevations.
(Page 1 of 2)



SOUTH ALONG MONTROSE

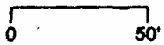


EAST ALONG BROADWAY

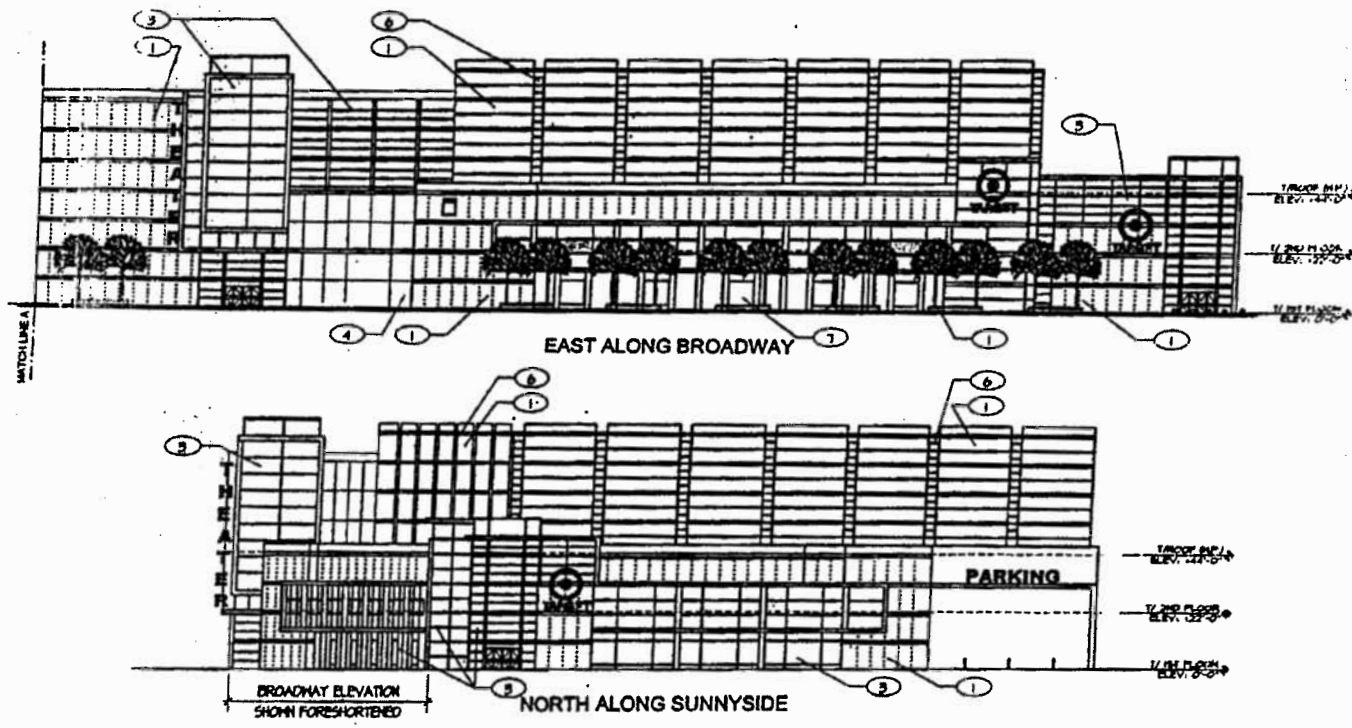
APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

KEYNOTES:

- 1. BRICK
- 2. STONE
- 3. ALUMINUM & GLASS WINDOW
- 4. METAL PANEL
- 5. TERRACOTTA

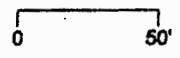


Exterior Elevations.
(Page 2 of 2)

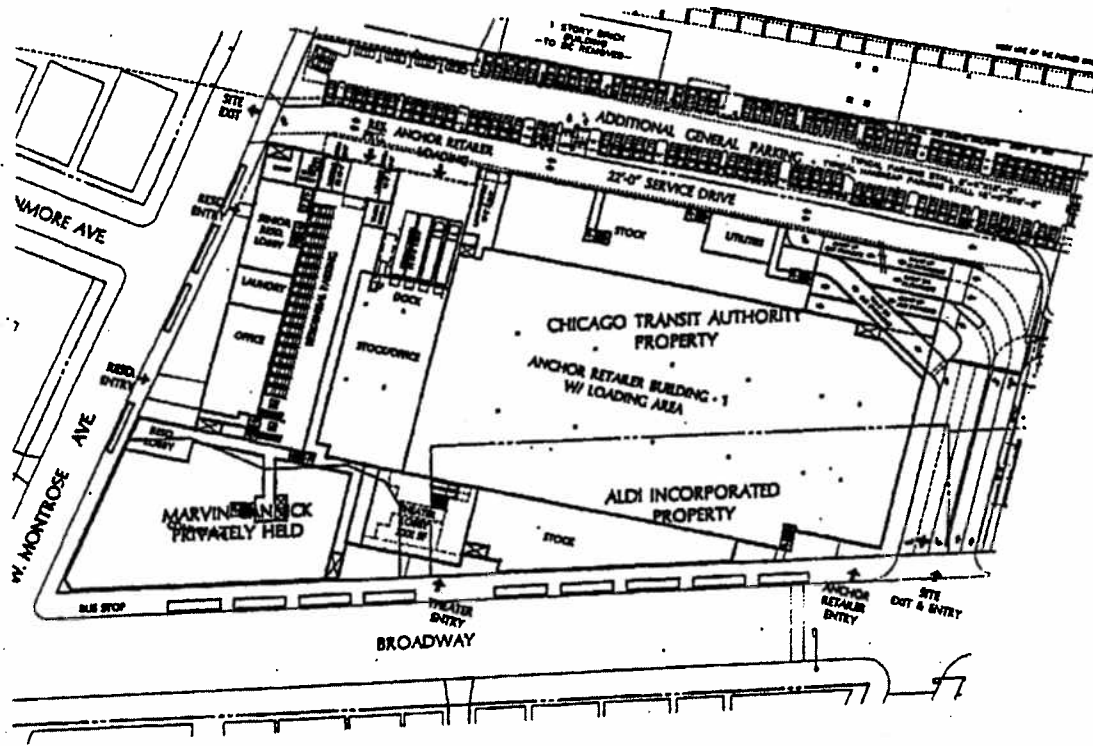


- KEYNOTES:
- 1. BRICK
 - 2. STONE
 - 3. ALUMINUM & GLASS WINDOW
 - 4. METAL PANEL
 - 5. TERRACOTTA
 - 6. ALUMINUM & GLASS WINDOWS & LOUVERS
 - 7. GLASS WINDOW DISPLAY CASE

APPLICANT: HÖLSTEN REAL ESTATE DEVELOPMENT CORP.



First Floor Plan.



APPLICANT: HOLSTEN REAL ESTATE DEVELOPMENT CORP.

