

PD 928

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*Reclassification Of Area Shown On Map Number 9-F.
(As Amended)
(Application Number A-7404)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the Residential Planned Development Number 928 symbols and indications as shown on Map Number 9-F in the area bounded by:

West Cornelia Avenue; a line 650 feet northeast of and parallel to North Broadway; West Stratford Place; and a line 600 feet northeast of and parallel to North Broadway,

to those of Residential Planned Development Number 928, as amended, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and approval.

Plan of Development Statements attached to this ordinance read as follows:

*Residential-Business Planned Development
Number 928, As Amended.*

RBPD 928,09

Plan Of Development Statements.

1. The area delineated herein as Residential Business Planned Development Number 928, as amended (the "Planned Development"), consists of approximately ten thousand (10,000) net square feet (zero and twenty-two hundredths (0.22) acre) of real property generally located at 541 West Cornelia Avenue and bounded as follows:

West Cornelia Avenue; a line 650 feet northeast of and parallel to North Broadway; West Stratford Place; and a line 600 feet northeast of and parallel to North Broadway in Chicago, Illinois (the "Property").

Cornelia Associates, L.L.C., an Illinois limited liability company (the "Owner"), is the current owner of the Property. The City of Chicago is the applicant for this Planned Development amendment.

2. The Owner or its successors, assignees or grantees shall obtain all applicable official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Owner or its successors, assignees or grantees, and approval by the City Council.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Owner, its successors and assignees and, if different than the Owner, the owners of all the property within this Planned Development or any homeowners association(s) formed to succeed the Owner for purposes of control and management of any portion of this Planned Development, legal titleholders and any ground lessees. All rights granted hereunder to the Owner shall inure to the benefit of the Owner's successors and assignees and, if different than the Owner, the legal titleholders and any ground lessees. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness) and solely with respect to the portion of the Property so transferred, the term "Owner" shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust). For any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance in effect as of the date of the ordinance adopting this Planned Development shall apply; provided, however, that the phrase "owner of or designated controlling party for each subarea", as used in Section 17-8-0400, shall be deemed to refer solely to (a) any homeowners association(s) formed to succeed Cornelia Associates, L.L.C., for purposes of control and management of any portion of this Planned Development, (b) if no such homeowners association(s) has been formed with respect to a portion of the Property, the owner of or designated controlling party for each single-family dwelling unit on such portion of the Property for which such amendment, modification or change is requested, or (c) with respect to portions of the Property that have been submitted to the Illinois Condominium Property Act, the condominium association and not to the individual unit owners therein, so long as any such amendment, modification or change will not reduce any bulk, density, parking or similar development requirement generally available or applicable to all of the Property, or will not materially adversely reduce the right of access to portions of the Property that are not the subject of such applications, or will not materially adversely reduce open space, walkways, or similar design requirements applicable to all or a portion of the Property, or will not render any portion of the Property that is not the subject of such applications a nonconforming use. In addition to the foregoing, for so long as Cornelia Associates, L.L.C., or any affiliate thereof owns or controls any part of the Property, any application to the City for any such changes or modifications (administrative, legislative or otherwise) must in all cases be authorized by Cornelia Associates, L.L.C.. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein.
4. This plan of development consists of these sixteen (16) statements; a Bulk Regulations and Data Table; and the following plans and maps prepared by the Owner, all dated May 14, 2008, and revised June 19, 2008 (collectively, the "Plans"): Existing Zoning Map; Land-Use Map; Planned Development Boundary/Property Line Map; Site/Landscape/Roof Plan; Basement Floor Plan; Cornelia Avenue Building Elevations; Stratford Place Building Elevations; East Elevation; and West Elevation. Full-sized copies of the Site/Landscape Plan, Basement Floor Plan, Cornelia Avenue Building Elevations, Stratford Place Building Elevations, East Elevation, and West

Elevation are on file with the Department of Planning and Development (the "Department"). This Planned Development is in conformity with the intent and purposes of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development. These and no other zoning controls shall apply to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control.

5. The following uses are permitted on the Property under this Planned Development: All types of Household Living Residential dwelling units, including detached house, townhouse and multi-unit residential dwelling units; temporary construction staging, temporary storage of construction materials, and temporary buildings for construction purposes; accessory parking; accessory uses; related uses; and all other permitted uses in the RM5 Residential Multi-Unit District.
6. Temporary signs such as construction and marketing signs shall be permitted subject to the reasonable review and approval of the Department. Identification signs shall be permitted within the Planned Development subject to the review and approval of the Department. No off-premises signage shall be permitted.
7. Service drives or other means of ingress or egress, including for emergency vehicles shall be adequately designed and paved in accordance with the Municipal Code and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking within such paved areas or fire lanes. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development.
8. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations, floor area measurements and Building Height calculations, the definitions of the Chicago Zoning Ordinance in effect as of the date hereof shall apply.
10. The improvements on the Property, including landscaping and all entrances and exits to the parking and loading areas, shall be designed and installed in substantial conformance with the Plans described in Statement Number 4 above and the attached Bulk Regulations and Data Table. In addition, parkway trees and other landscaping in the parkway shall be installed and maintained at all times in accordance with the attached Site/Landscape/Roof Plan.
11. The City of Chicago established a Part II Review Fee in the amount of Zero and 25/100 Dollars (\$0.25) per square foot for the total buildable square feet (as calculated for F.A.R. purposes). The Part II Review Fee will be assessed by D.P.D. during the actual Part II review. The total amount of the Fee due, as determined by D.P.D. staff at that time, is final and binding on the Owner and must be paid to the

Department of Planning and Development prior to the issuance of any Part II approval.

12. The terms, conditions and exhibits of this Planned Development ordinance may be modified administratively by the Commissioner of the Department (the "Commissioner") upon application and a determination by the Commissioner that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this Planned Development by the Commissioner shall be deemed to be a minor change to the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
13. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Any changes to ingress and egress as depicted in the Plans and as set forth below shall be subject to the review and approval of the Department of Transportation and the Department. Off-street parking and loading facilities shall be provided in compliance with this Planned Development.
14. The Owner acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of natural resources. The Owner shall use commercially reasonable efforts to design and maintain all buildings located on the Property in a manner generally consistent with the Energy Star System, Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System or Chicago Green Homes. The Owner shall provide a green roof consisting of fifty percent (50%) of the net roof area (currently estimated to consist of one thousand five hundred sixty-eight (1,568) square feet) that is not accessible from dwelling units.
15. The Owner acknowledges that it is in the public interest to design, construct and maintain the improvements of the Property in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") at the time of application for a building permit to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
16. Unless substantial construction of the improvements on the Property has commenced within six (6) years of the date of City Council approval of this Planned Development ordinance, then the zoning of the Property shall automatically revert to the RM5 Residential Multi-Unit District. Said six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for such an extension is shown.

[Land-Use Map; Roof Plan; Basement Floor Plan; and Stratford Place Building Elevations referred to in these Plan of Development Statements unavailable at time of printing.]

[Existing Zoning Map; Planned Development Boundary/Property Line Map; Building Elevations; Site Landscape Plan; and Chicago Builds Green Applications referred to in these Plan of Development Statements printed on pages 33462 through 33470 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

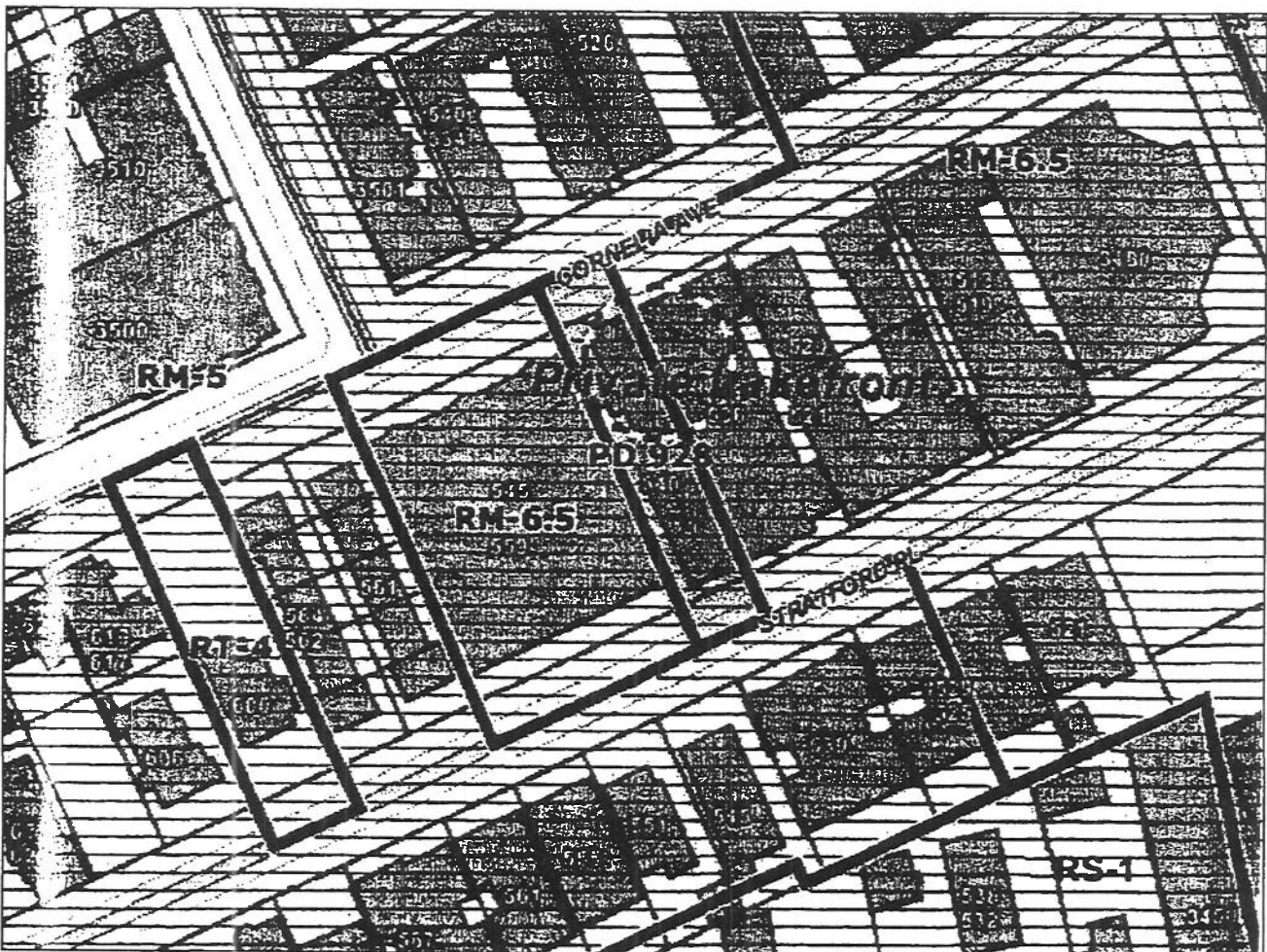
*Residential-Business Planned Development
Number 928, As Amended.*

Bulk Regulations And Data Table.

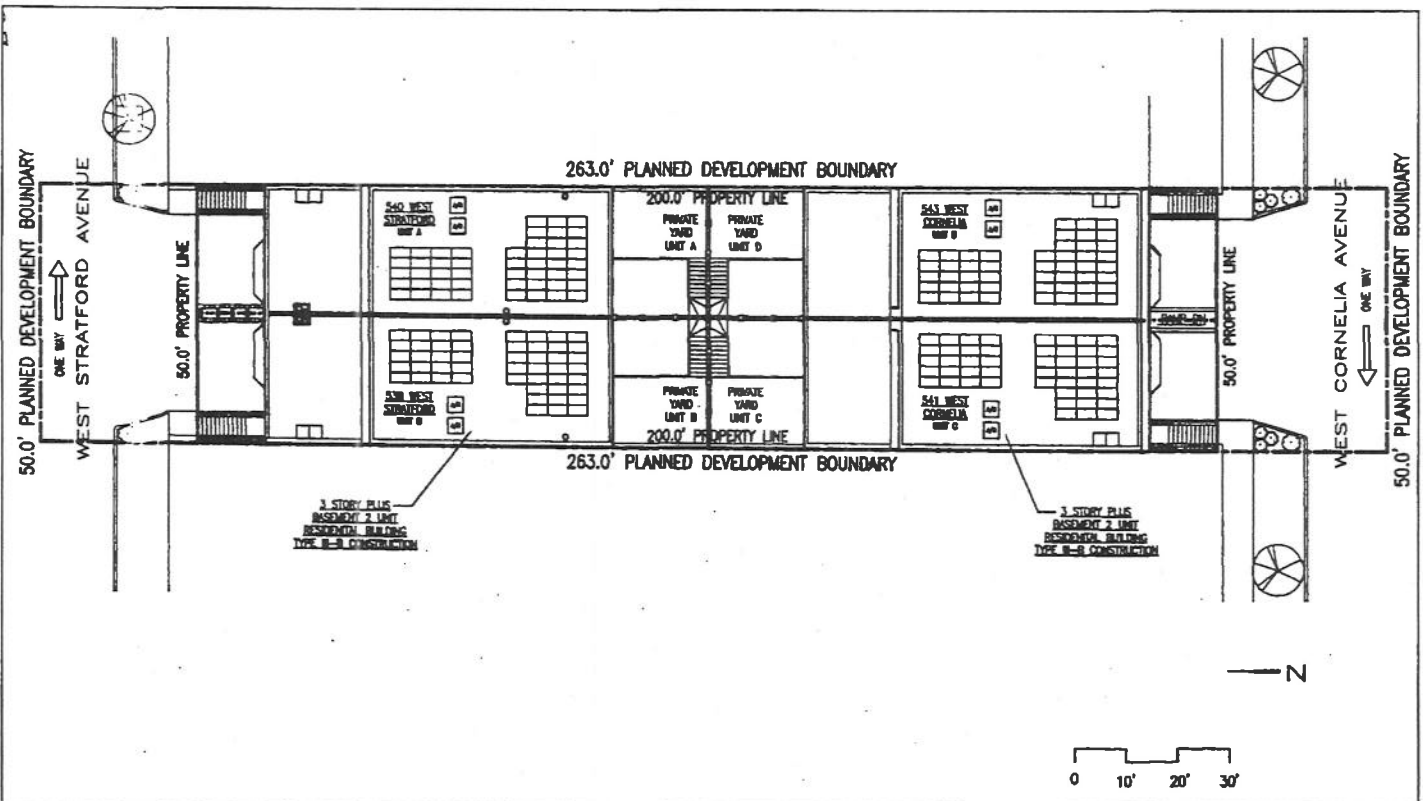
Gross Site Area, 13,176 square feet (0.3 acre) = Net Site Area, 10,000 square feet (0.23 acre) + Area Remaining in Public Right-of-Way, 3,176 square feet (0.07 acre)

Maximum Floor Area Ratio:	2.5
Maximum Number of Dwelling Units:	4
Maximum Site Coverage:	In accordance with the Site Plan
Minimum Building Setbacks:	In accordance with the Site Plan
Minimum Number of Off-Street Parking Spaces:	8
Minimum Number of Off-Street Loading Berths:	0
Maximum Building Height:	50 feet
Minimum On-Site Open Space	400 square feet per dwelling unit, at least 200 square feet of which shall be located at ground level or on a terrace, deck or patio located within 4 feet of ground level

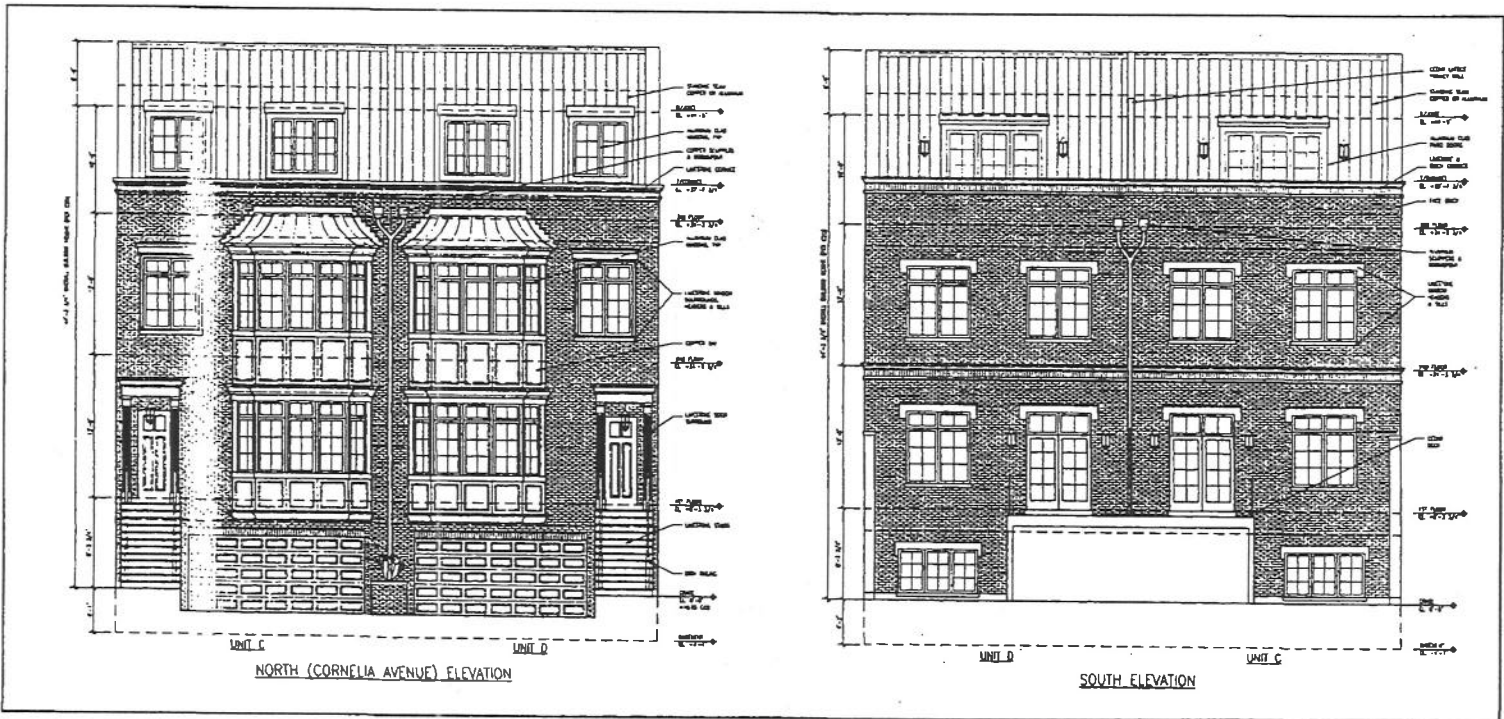
Existing Zoning Map.



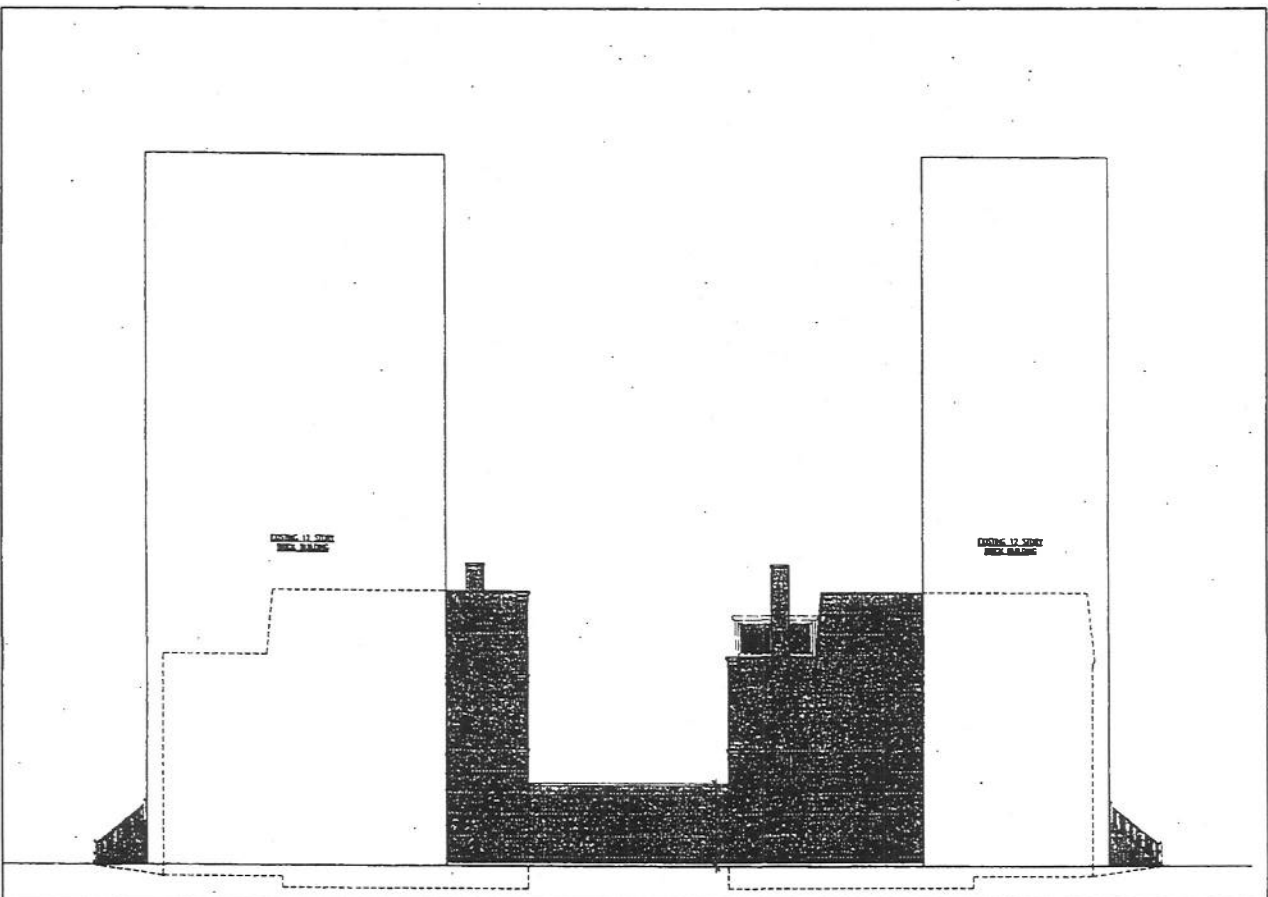
Planned Development Boundary/Property Line Map.



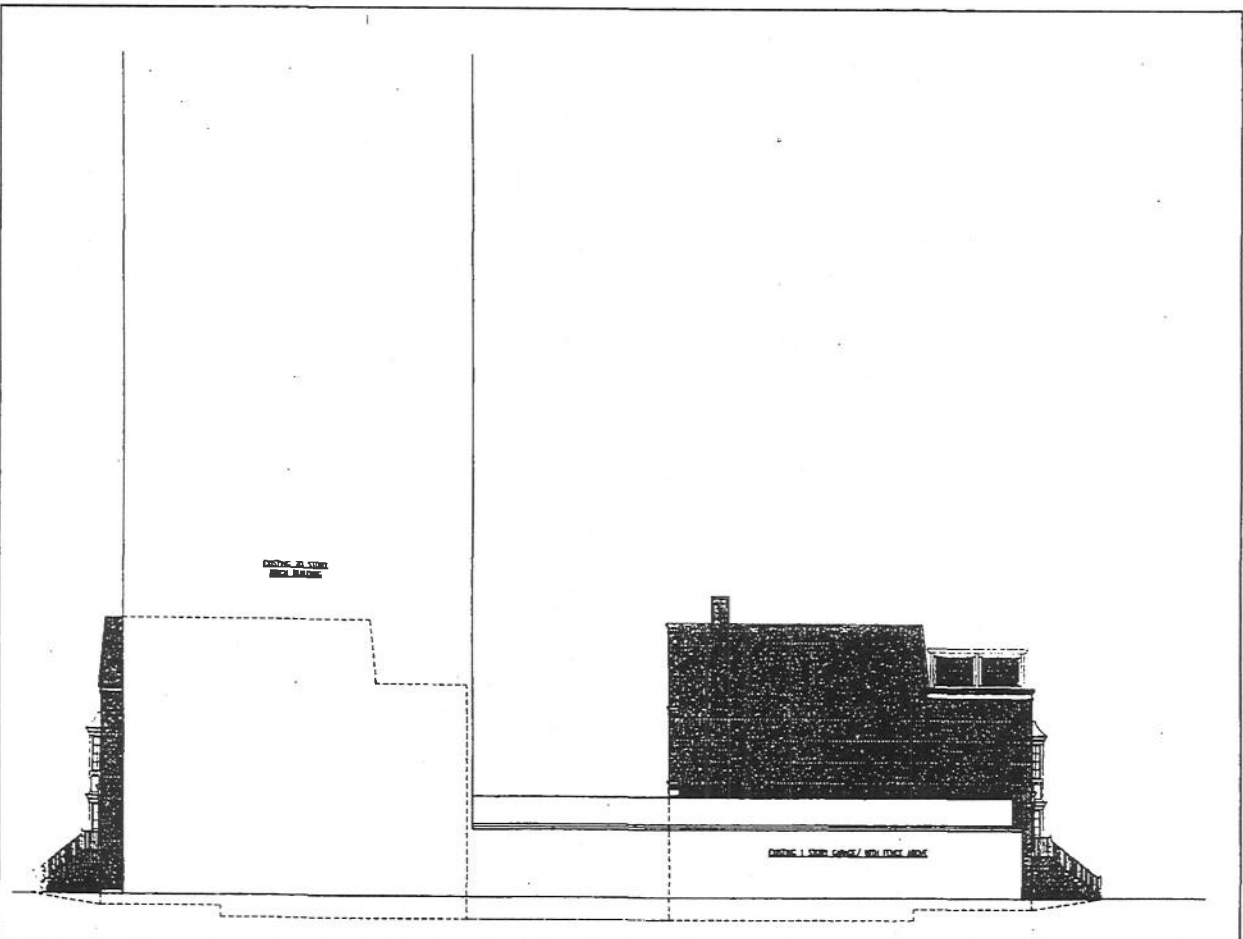
North/South (East Cornelia Avenue) Elevation.



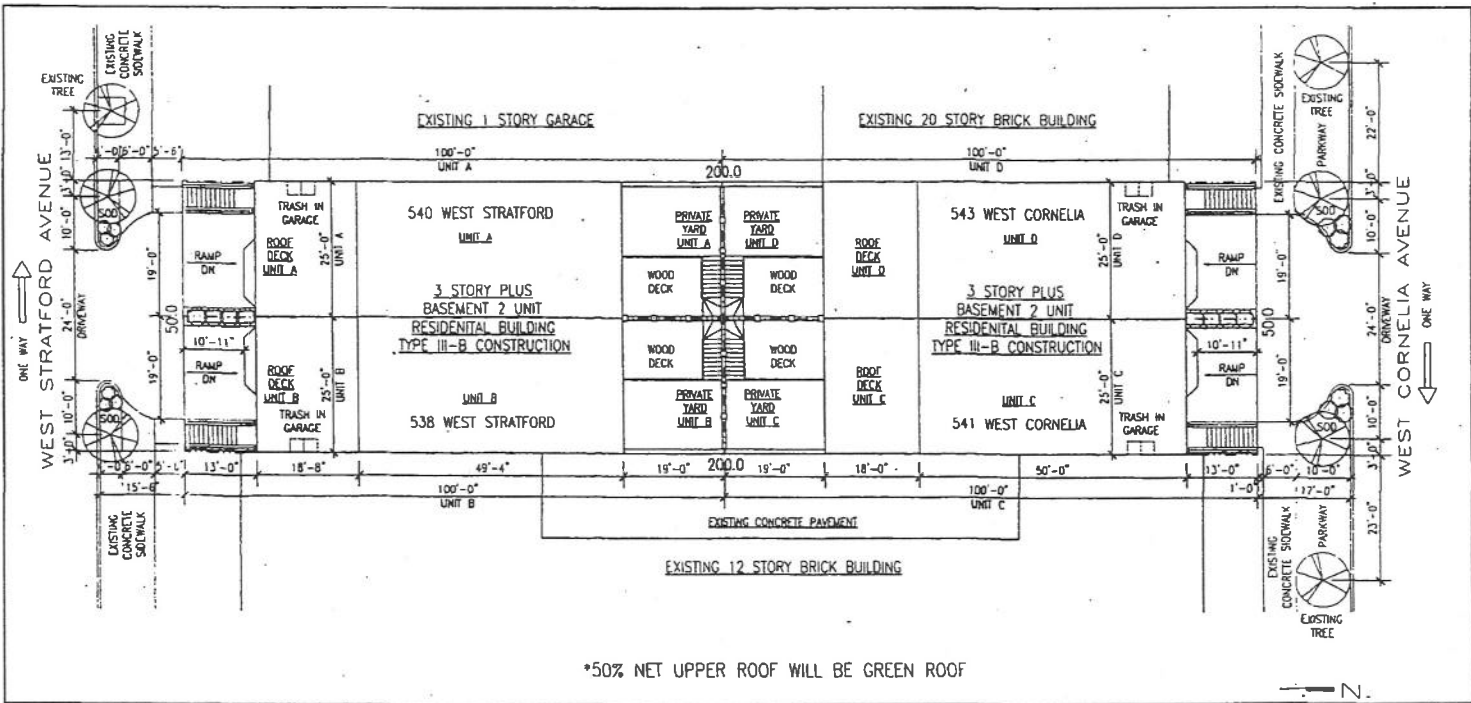
East Elevation.



West Elevation.



Site/Landscape Plan.



Chicago Builds Green Application.
(Page 1 of 3)

Project Name: 541 West Cornelia – Cornelia/Stratford Residences

Project Location:

* Street Number (if the address only includes one street number, please fill only the cell "From")

From	To	Direction	Street Name	Select Street Type
538	540	W	Stratford	PI
541	543	W	Cornelia	Ave

Ward No. Community Area No.
46th

Project Type:

Check Applicable

Planned Development Redevelopment Agreement Zoning Change

PD No.: 928 RDA No.: From: To:

Public Project Landmark

Project Size:

Total land area in sq.ft...	Total building(s) footprint in sq.ft...	Total vehicular use area in sq.ft.
10,000	6,888	900

DPD Project Manager: Enter First Name Last Name

BG/GR Matrix: Select Project Category
Res. 4 Units or More Market Rate

Financial Incentives:

Check Applicable

TIF Empowerment Zone Grant Class L
 GRIF Ind. Dev. Revenue Bonds Class 6b
 SBIF Bank Participation Loan DOH
 Land Sale Write Down

Density Bonus:

Check Applicable

Public plaza & pocket park Water feature in a plaza or pocket park
 Chicago Riverwalk improvements Setbacks above the ground floor
 Winter gardens Lower level planting terrace
 Indoor through-block connection Green roof
 Sidewalk widening Underground parking and loading
 Staircases Concealed above-ground parking

Chicago Builds Green Application.
(Page 2 of 3)

		Required per Zoning Code or Green Roof/Building Green Mandate	To be Provided by the development
<i>Please fill, if applicable</i>			
Landscaping:	7' Landscape Setback	Square footage	
	Interior Landscape Area	Square footage	
	No. of Interior Trees		
	No. of Parkway Trees		
Open Space:	River Setback	Square footage	
	Private Open Space	Square footage	
	Privately developed Public Open Space	Square footage	
Stormwater Management (At-grade volume control):			
Permeable Paving		Square footage	
Raingarden		Check Applicable	
Filter Strip			
Bioswale			
Detention pond			
Native landscaping		Square footage	
Rain-water collection cistern/barrel		Gallons	
Total impervious area reduction		Square footage	
Other sustainable surface treatments:			
Green Roof		Square footage	
Energy Star roof		Square footage	
High-albedo pavement		Square footage	
Transportation:	No. of accessory parking spaces		
	Total no. of parking spaces (Accessory + Non-Acc.)		
	No. of parking spaces dedicated to car sharing services (E.g., I-Go, Zip-Car)		0
	No. of bicycle parking		0
	Within 600 ft of CTA or Metra station entrance		<input type="checkbox"/>

Chicago Builds Green Application.
(Page 3 of 3)

Building Certification:

- Energy Star building
- LEED Certification
 - LEED Certified
 - LEED Silver
 - LEED Gold
 - LEED Platinum
- Chicago Green Homes
 - Chicago Green Homes [one-star]
 - Chicago Green Homes [two-star]
 - Chicago Green Homes [three-star]

This area contains a redacted form with several checkboxes. The first row has two checked boxes. The second row has one checked box. The third row has two checked boxes. The fourth row has one checked box. The fifth row has one checked box. The sixth row has one checked box. The seventh row has one checked box. The eighth row has one checked box. The ninth row has one checked box. The tenth row has one checked box. The eleventh row has one checked box. The twelfth row has one checked box. The thirteenth row has one checked box. The fourteenth row has one checked box. The fifteenth row has one checked box. The sixteenth row has one checked box. The seventeenth row has one checked box. The eighteenth row has one checked box. The nineteenth row has one checked box. The twentieth row has one checked box. The twenty-first row has one checked box. The twenty-second row has one checked box. The twenty-third row has one checked box. The twenty-fourth row has one checked box. The twenty-fifth row has one checked box. The twenty-sixth row has one checked box. The twenty-seventh row has one checked box. The twenty-eighth row has one checked box. The twenty-ninth row has one checked box. The thirtieth row has one checked box. The thirty-first row has one checked box. The thirty-second row has one checked box. The thirty-third row has one checked box. The thirty-fourth row has one checked box. The thirty-fifth row has one checked box. The thirty-sixth row has one checked box. The thirty-seventh row has one checked box. The thirty-eighth row has one checked box. The thirty-ninth row has one checked box. The fortieth row has one checked box. The forty-first row has one checked box. The forty-second row has one checked box. The forty-third row has one checked box. The forty-fourth row has one checked box. The forty-fifth row has one checked box. The forty-sixth row has one checked box. The forty-seventh row has one checked box. The forty-eighth row has one checked box. The forty-ninth row has one checked box. The fiftieth row has one checked box. The fifty-first row has one checked box. The fifty-second row has one checked box. The fifty-third row has one checked box. The fifty-fourth row has one checked box. The fifty-fifth row has one checked box. The fifty-sixth row has one checked box. The fifty-seventh row has one checked box. The fifty-eighth row has one checked box. The fifty-ninth row has one checked box. The sixtieth row has one checked box. The sixty-first row has one checked box. The sixty-second row has one checked box. The sixty-third row has one checked box. The sixty-fourth row has one checked box. The sixty-fifth row has one checked box. The sixty-sixth row has one checked box. The sixty-seventh row has one checked box. The sixty-eighth row has one checked box. The sixty-ninth row has one checked box. The seventieth row has one checked box. The seventy-first row has one checked box. The seventy-second row has one checked box. The seventy-third row has one checked box. The seventy-fourth row has one checked box. The seventy-fifth row has one checked box. The seventy-sixth row has one checked box. The seventy-seventh row has one checked box. The seventy-eighth row has one checked box. The seventy-ninth row has one checked box. The eightieth row has one checked box. The eighty-first row has one checked box. The eighty-second row has one checked box. The eighty-third row has one checked box. The eighty-fourth row has one checked box. The eighty-fifth row has one checked box. The eighty-sixth row has one checked box. The eighty-seventh row has one checked box. The eighty-eighth row has one checked box. The eighty-ninth row has one checked box. The ninetieth row has one checked box. The ninety-first row has one checked box. The ninety-second row has one checked box. The ninety-third row has one checked box. The ninety-fourth row has one checked box. The ninety-fifth row has one checked box. The ninety-sixth row has one checked box. The ninety-seventh row has one checked box. The ninety-eighth row has one checked box. The ninety-ninth row has one checked box. The hundredth row has one checked box.

**Energy efficiency strategies
not captured above:**

*I.E., Other than Energy Star Roof - or Energy Star Building
Certification*

This area contains a large redacted form, likely for listing energy efficiency strategies not captured above.

**Other sustainable strategies
and/or Project Notes:**

This area contains a large redacted form, likely for listing other sustainable strategies and project notes.



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

January 22, 2007

Mr. Rick Wendy
DLA Piper US LLP
203 North LaSalle Street
Suite 1900
Chicago, IL 60601-1263

Re: **Administrative Relief request for Residential Planned Development
No. 928, 541 West Cornelia Avenue**

Dear Mr. Wendy:

Please be advised that your request for a minor change to Residential Planned Development No. 928 has been considered by the Department of Planning and Development pursuant to Sections 17-13-0611 and 17-10-1010-A.1 of the Chicago Zoning Ordinance and Statement No.11 of the Planned Development. Section 17-10-1010-A.1 states "If an automotive lift(s) is expressly approved as part of a planned development, the automotive lift(s) shall be exempt from the standards of this Section 17-10-1010."

Specifically, you are requesting to satisfy an accessory parking requirement with an automotive lift system which will provide parking for a maximum of 33 automobiles. This request will allow eleven (11) automotive lifts with up to three platform levels, each level supporting a single vehicle. It will be owned by the condominium association as a common element. A handicapped parking space is also located within the one-story garage enclosure, for a total of 34 parking spaces. In the event that any or all of the automotive lifts are removed from the Property or become permanently unavailable for use (other than during temporary periods of repair, maintenance, Acts of GOD or other conditions preventing availability) then the condominium association shall cause alternative parking spaces to be available upon the Property in such number and in accordance with the City of Chicago's Zoning Ordinance. In no event shall there be less than one parking space for each dwelling unit located at the Property.

The following drawings, prepared by A. Epstein and Sons International and dated January 10, 2006, shall be inserted into the main file in anticipation of Part II:

- AS-1 Site Plan
- CA-101 Level 1 Floor Plan
- A-301 Overall Building Elevations, North and East
- A-302 Overall Building Elevations, South and West
- Automotive Lift Section Detail (Prepared by Annex 5 Architecture, November 22, 2005)



With regard to your request, the Department of Planning and Development has reviewed the request and has determined that allowing automotive lifts will not create an adverse impact on the Planned Development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 928, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,



Lori T. Healey 
Commissioner

LTH:MRD:tm

cc: Alderman Helen Shiller, Joe Harmening, Patti Scuderio, Kathleen Nelson,
Danita Childers, Mike Marmo, Patrick Haynes, DPD files

Avenue; West 79th Street; and a line 132.55 feet west of and parallel to South Winchester Avenue,

to those of an B4- 1 Restricted Service District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification Of Area Shown On Map Number 28-J.
(Application Number 14399)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B4-1 Restricted Service District symbols as shown on Map Number 28-J in the area bounded by:

a line 420 feet south of and parallel to West 11th Street; South Kedzie Avenue;
a line 540 feet south of and parallel to West 11th Street; and the public alley next west of and parallel to South Kedzie Avenue,

to those of an R4 General Residence District.

SECTION 2. This ordinance takes effect after its passage and approval

Reclassification Of Area Shown On Map Number 58-B.
(As Amended)
(Application Number 13629) RPD 928

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R7 symbols and indications as shown on Map Number 58-B in the area bounded by:

West Comelia Avenue; a line 650 feet northeast of and parallel to North Broadway; West Stratford Place; and a line 600 feet northeast of and parallel to North Broadway,

to those of a Residential Planned Development and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

Residential Planned Development Number 918.

Plan Of Development Statements.

1. The area delineated herein as a Residential Planned Development consists of a net site area of approximately twenty-two hundredths (.22) acres (ten thousand (10,000) square feet) which is controlled by 540 Stratford L.L.C.
2. The applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require separate submittal on behalf of the applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions applicable within this planned development shall be binding upon the applicant, its successors and assigns and if different than the applicant, the owners of all the property within the planned development or any homeowners association(s) formed to succeed the applicant for purposes of control and management of any portion of the planned development, the legal titleholder and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant, successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 1 1 1 1 - 1 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications, or changes (administrative,

legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any modification or change thereto (administrative, legislative or otherwise) shall be made by the applicant, the owners of all the property within the planned development or any homeowners association(s) formed to succeed the applicant for purposes of control and management of any portion of the planned development. No amendment may be sought without written approval by the homeowners association unless the right to do so has been retained by applicant and its successors in title documents.

4. This plan of development consists of these fourteen (14) statements; a Bulk Regulations and Data Table; a Planned Development Boundary and Property Line Map; an Existing Zoning and Land-Use Map; Site Plan; Landscape Plan; Area Map; Building Cross Section; and Building Elevations dated July 15, 2004, prepared by Hartshome + Plunkard Architecture and Architects, which are all incorporated herein. Full size sets of the Site Plan, Building Elevations and Landscape Plan are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code of Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply to the area delineated herein.
5. The following uses shall be permitted within the areas delineated herein: multi-family dwelling units; uses as permitted in the R5 General Residence District; accessory parking; accessory uses; and related uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the planned development subject to review and approval of the Department of Planning and Development.
7. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Closure

of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in accordance with the Municipal Code of the City of Chicago. Off-street parking and off-street loading facilities shall be provided in compliance with this Plan of Development subject to review of the Departments of Transportation and Planning and Development.

8. In addition to the maximum height of any building or any appurtenance attached thereto the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply.
10. Improvements of the property, including landscaping and all entrances and exits to the parking and loading areas, shall be designed and installed in substantial conformance with the exhibits to this planned development. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Landscape Plan and the Parkway Tree Provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
11. The terms, conditions and exhibits of this planned development ordinance may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the written request for such modification by the applicant and after a determination by the Commissioner of the Department of Planning and Development, that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this planned development. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
12. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all

buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.

13. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner, which promotes and maximizes the conservation of energy resources. The applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within this planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating. The applicant shall install and maintain a vegetative (green) roof on at least ten percent (10%) of the net flat roof areas of the building. Net flat roof area is defined as the area of flat roof, less those areas devoted to rooftop mechanical equipment, mechanical penthouses and any perimeter setback required by the City Code.
14. Unless substantial construction of the building has begun within the Planned Development within six (6) years of the date of passage of the Planned Development, the zoning of that property shall revert to the R5 General Residence District. The six (6) year period may be extended for one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that there is good cause for such an extension.

[Planned Development Boundary and Property Line Map; Existing Zoning and Land-Use Map; Proposed Site and Landscape Plan; Area Map; Proposed Building Cross Section; and Proposed Building Elevations referred to in these Plan of Development Statements printed on pages 30642 through 30648 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

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REPORTS OF COMMITTEES

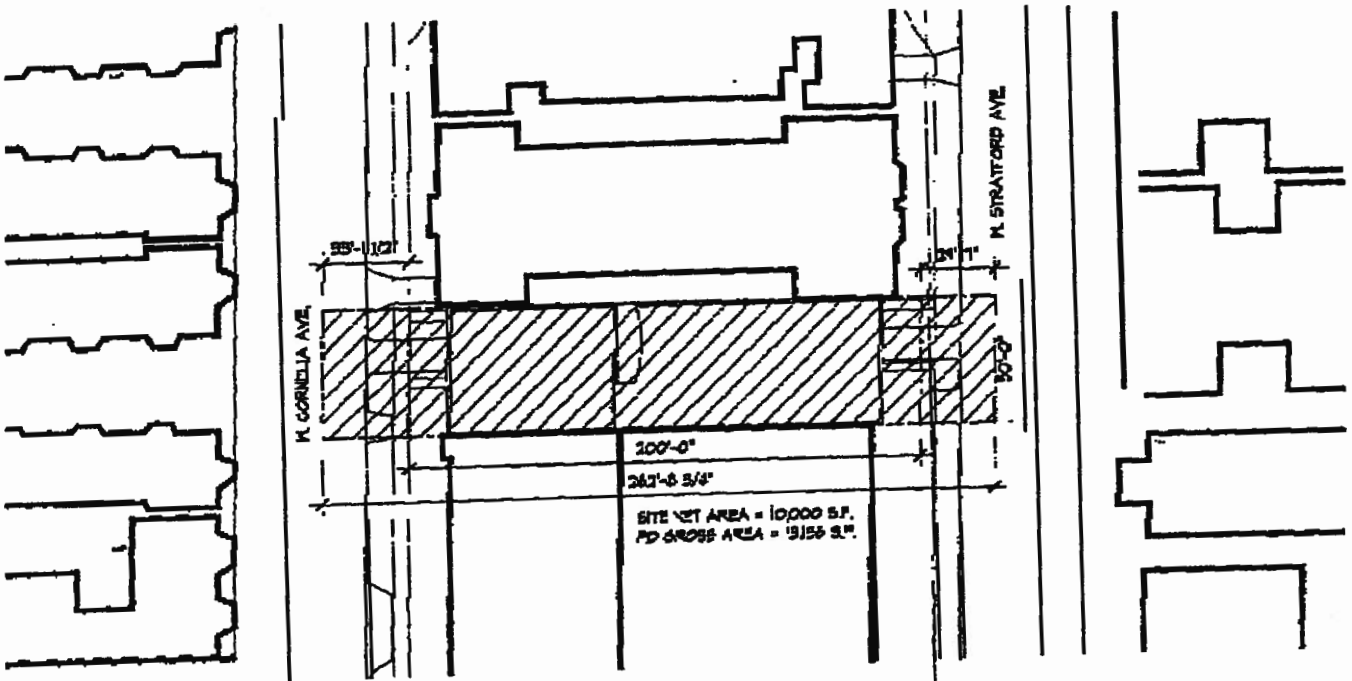
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30641

Residential Planned Development Number 928.

Bulk Regulations And Data Table.

Gross Site Area:	13,176 square feet (.3 acres)
Net Site Area:	Total = Gross Site Area (13,176 square feet) - Area in Public and Private Streets and Alleys (3,176 square feet) = Net Site Area of 10,000 square feet (.23 acres)
Maximum Floor Area Ratio:	7
Maximum Number of Residential Units:	23 units
Maximum Site Coverage:	In accordance with the Site Plan
Maximum Number of Off-Street Parking Spaces:	34 parking spaces. If fewer residential units are constructed, the number of parking spaces shall be reduced so long as the same ratio is maintained.
Maximum Number of Off-Street Loading Areas:	1
Minimum Building Setbacks:	In accordance with the Site Plan
Maximum Building Height:	In accordance with Building Elevations

Planned Development Boundary
And Property Line Map.



PLANNED DEVELOPMENT BOUNDARY & PROPERTY LINE MAP

1" = 60'-0"

233 N. STATE ST.
CHICAGO, IL 60610
P. 312.228.6666
F. 312.228.6666
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hartshorn + plankard architecture

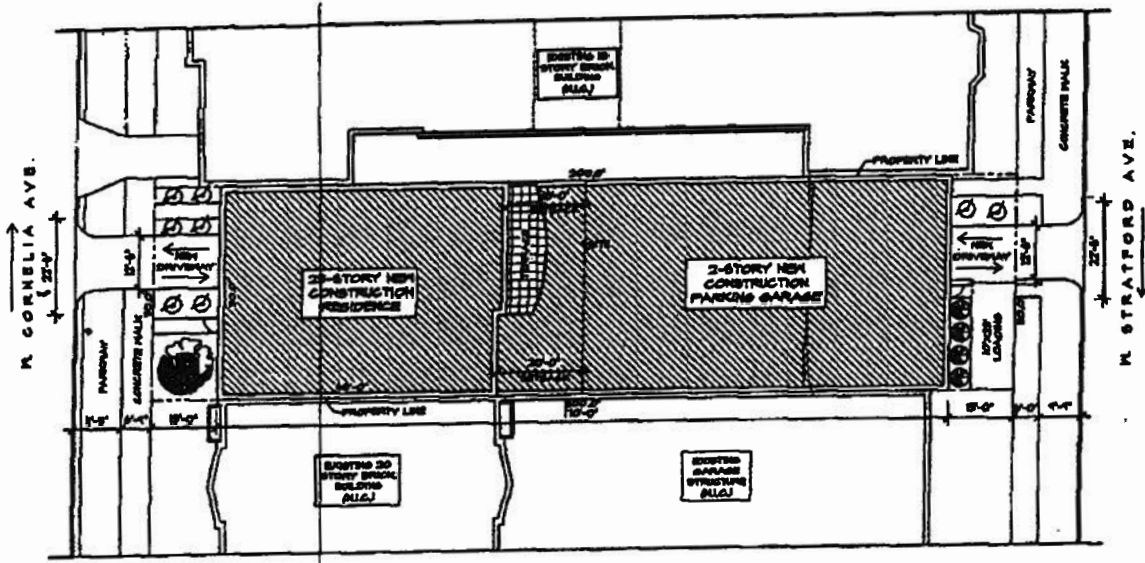
**541 W.
CORNELIA**
CHICAGO, IL

540 W. STRATFORD, L.L.C.
2711 W. BURNHAM CHICAGO, IL 60664
P. 773.292.8888
F. 773.292.8888

FIGURE 1
PLANNED DEVELOPMENT BOUNDARY & PROPERTY LINE MAP

03.20.02
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Site And



PROPOSED SITE & LANDSCAPE F
1"=30'-0"

233 N. Cassiday
Chicago, IL 60607
P. 312.228.4488
F. 312.228.4488
www.hartshorn.com
hartshorn + planckard architects

541 W.
CORNELIA
CHICAGO, IL

540 W. STRATFORD, L.L.C.
2711 N. ROXBOROUGH CHICAGO, IL 60640
P. 773.282.8888
F. 773.282.8882

FIGURE 2
PROPOSED SITE & LANDSCAPE PLAN

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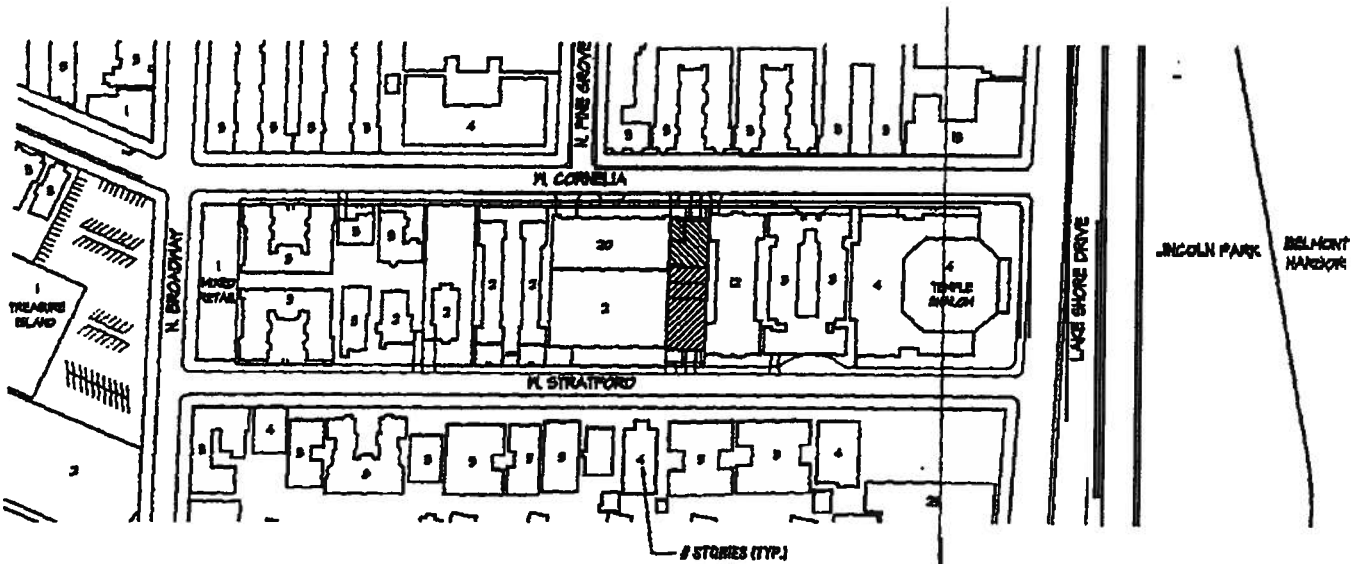
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Area Map.



AREA MAP
N.T.S.

252 N. Dearborn
Chicago, IL 60610
P. 312.232.4000
F. 312.232.4000
www.hartzborne.com
hartzborne + plankard architecture

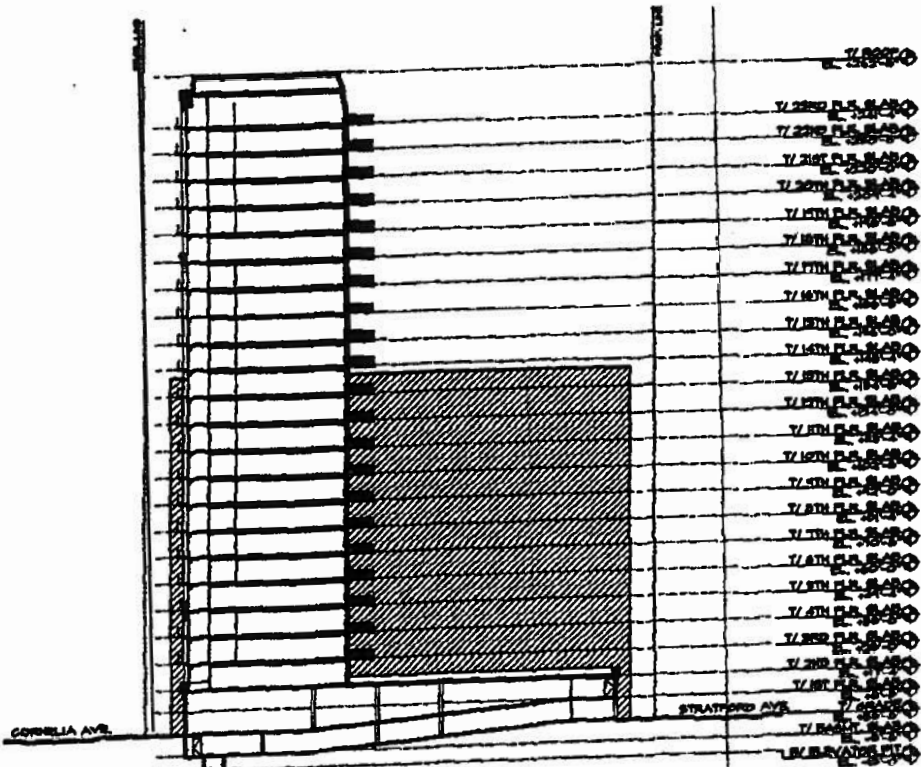
541 W.
CORNELIA
CHICAGO, IL

540 W. STRATFORD, L.L.C.
2711 W. BROADWAY CHICAGO, IL 60608
P. 773.232.2000
F. 773.232.2000

FIGURE 1
MAP OF THE VICINITY OF THE SITE

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3

Proposed Building Cross Section -- Looking East.



1 PROPOSED BUILDING CROSS SECTION - LOOKING EAST
1" = 80'-0"

222 N. CORNELIA
CHICAGO, IL 60612
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CHICAGO, IL

540 W. STRATFORD, L.L.C.
2011 W. DIVISION CHICAGO, IL 60608
OO 773.382.8888
OO 773.382.8882

FIGURE 4
PROPOSED BUILDING CROSS SECTION

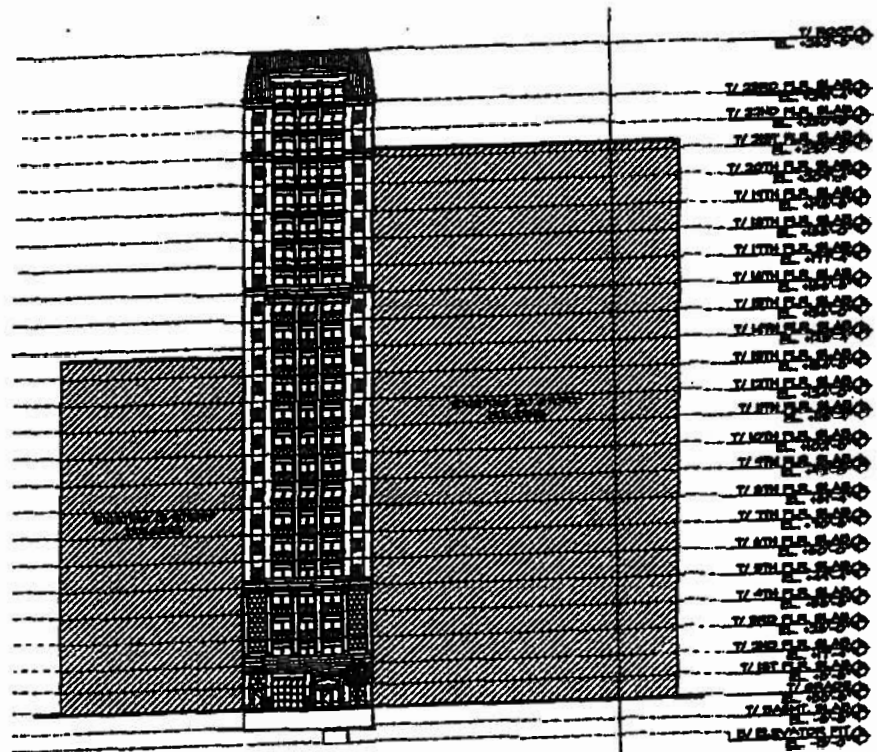
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Proposed Building North Elevation.



PROPOSED BUILDING NORTH ELEVATION
 ① 1" = 60'-0"

230 N. WABASH
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 F. 312.526.4400
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 hartshorne + phinckard architecture

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CORNELIA
 CHICAGO, IL

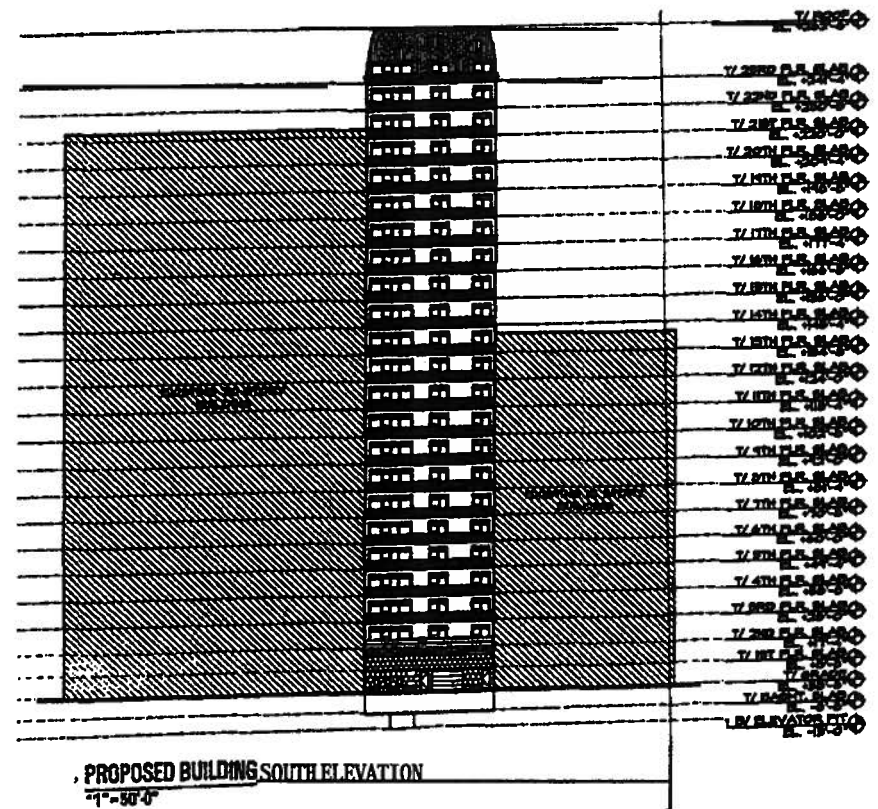
640 W. STRATFORD, L.L.C.
 2711 W. HOWARD CHICAGO, IL 60604
 312.526.4400
 312.526.4400

FIGURE 4
 PROPOSED BUILDING NORTH ELEVATION

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 10

Fig 4

Proposed Building South Elevation.



PROPOSED BUILDING SOUTH ELEVATION
1"=30'-0"

<p>232 n. wacker chicago, il 60606 p. 312.238.4400 f. 312.238.4400 www.horshorn.com horshorn + plankard architecture</p>	<p>541 W. CORNELIA CHICAGO, IL</p>	<p>540 W. STRATFORD, L.L.C. 2711 W. WASHINGTON CHICAGO, IL 60640 60 773.582.7000 60 773.582.8882</p>	<p>FIGURE 4 PROPOSED BUILDING SOUTH ELEVATION</p>	<p>03.20.02 11</p>
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