

PD 927

Table of Contents

10/01/2015 Minor Change **2**
 Exhibits 3
06/26/2013 Site Plan **6**
09/01/2004 PD Adoption **7**
 Ordinance 7
 Statements 8
 Bulk Table 14
 Exhibits 15



DEPARTMENT OF PLANNING AND DEVELOPMENT

October 1, 2015

CITY OF CHICAGO

Andrew P. Scott
Dykema Gossett PLLC
10 S. Wacker Dr., Suite 2300
Chicago, IL 60606

**Re: Administrative Relief request for Institutional Planned Development No. 927
Rogers Park Montessori School, 1800 W. Balmoral Avenue**

Dear Mr. Scott:


Please be advised that your request for a minor change to Institutional Planned Development No.927 ("PD 927"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 927.

Your client and the owner of all of the property within PD 927, Rogers Park Montessori School, is seeking administrative relief for design revisions to the school's addition. Site Plan Approval was granted on June 26, 2013, for the two-story, approximately 12,920 square foot addition. You are now seeking to enclose two, 2nd floor balconies on the east elevation and redesign the rooftop canopy. During our review of this request, it was determined that portions of the recently constructed addition are clad in exterior insulated finish system ("EIFS"), a material that is not allowed, rather than the approved metal panels. Please be advised that the 2nd floor balcony enclosures and the redesigned rooftop canopy cannot be constructed using EIFS as a cladding material.

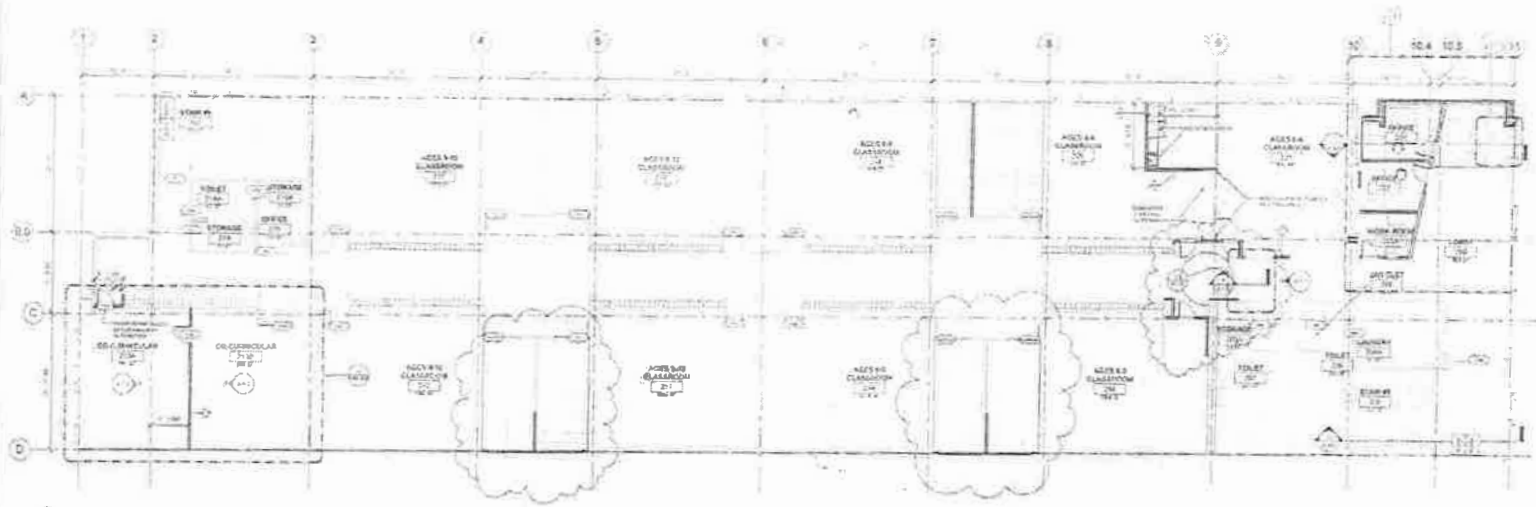
With regard to your request, the Department of Planning and Development has determined that allowing the balcony enclosures and redesigned rooftop canopy will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. The revised, attached Second Floor Plan, Roof Plan, and Building Elevations dated, April 22, 2015, shall be inserted in the main file.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Institutional Planned Development No. 927, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

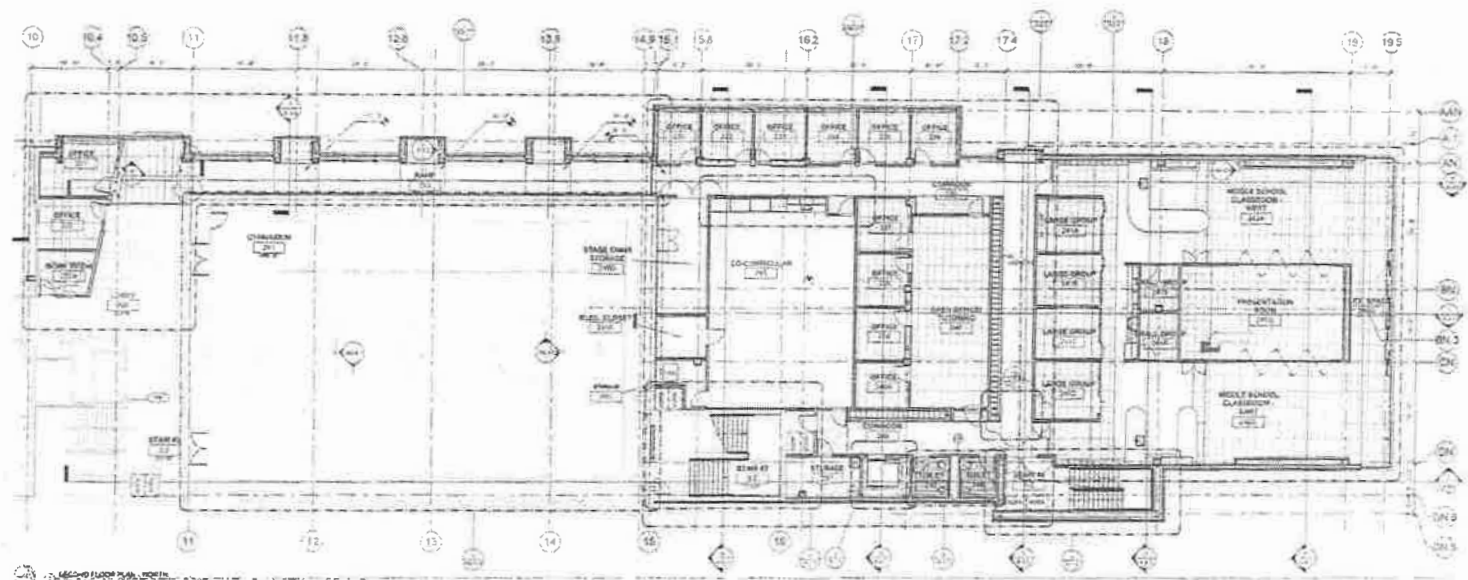
Sincerely,


Patricia A. Scudiero
Zoning Administrator

C: Mike Marmo, Erik Glass, Fred Deters, Main file



1st FLOOR PLAN



2nd FLOOR PLAN

ROGERS PARK



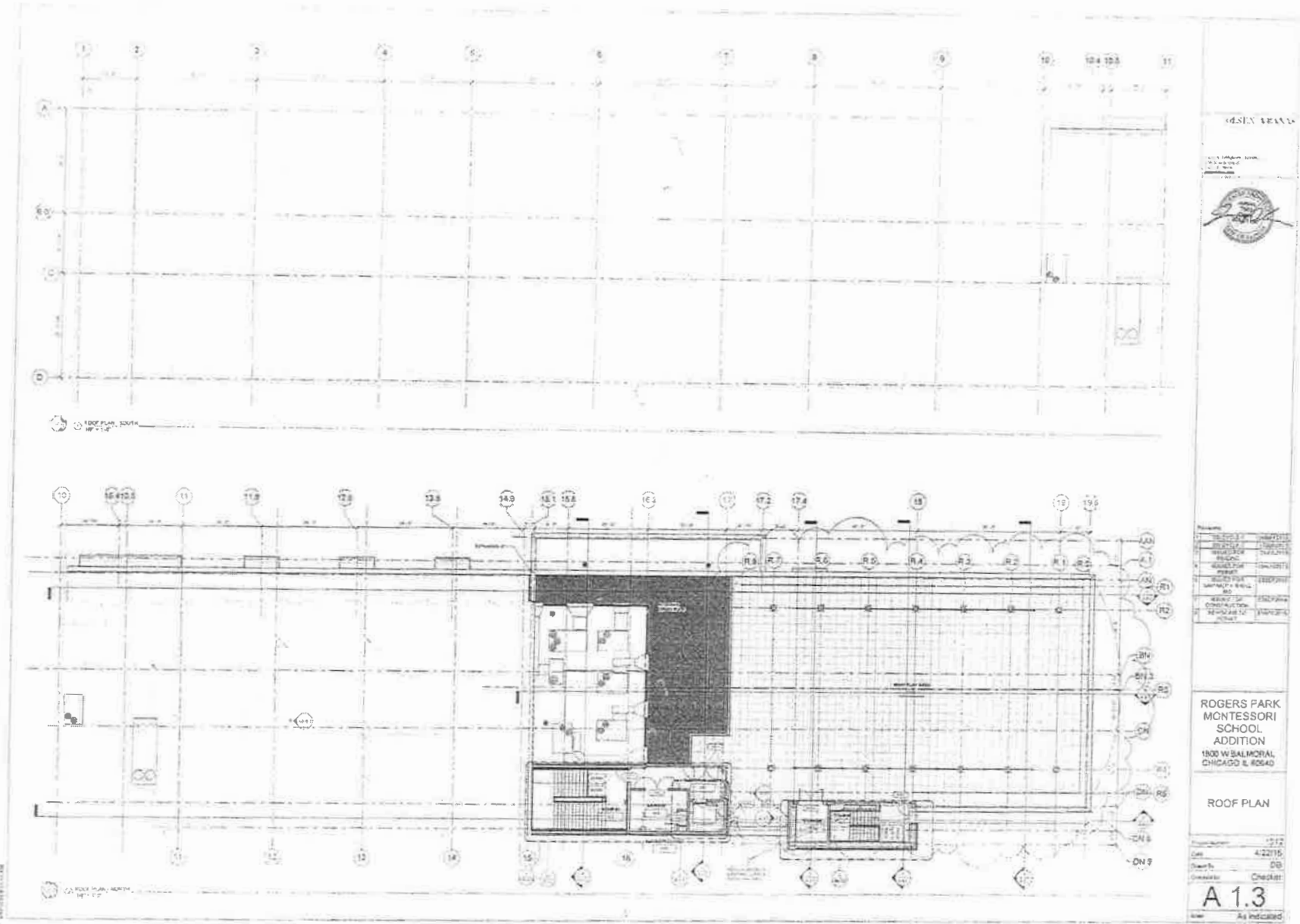
NO.	DESCRIPTION	DATE
1	CONCEPT	1/15/18
2	SCHEMATIC	2/15/18
3	PRELIMINARY	3/15/18
4	PERMIT	4/15/18
5	CONSTRUCTION	5/15/18
6	AS-BUILT	6/15/18

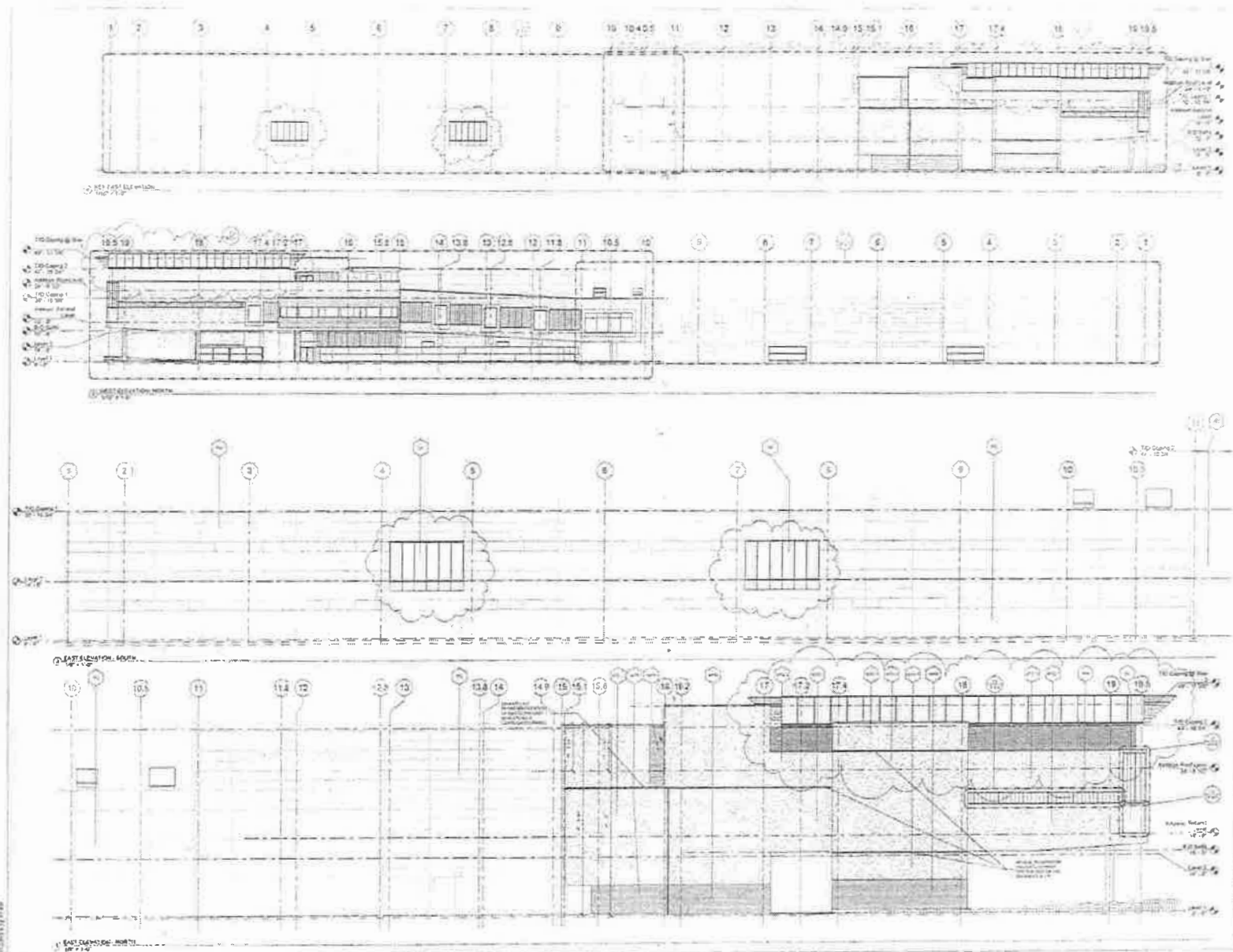
ROGERS PARK
 MONTESSORI
 SCHOOL
 ADDITION
 1800 W BALSOMAL
 CHICAGO IL 60640

SECOND FLOOR
 PLAN

Project No. 1572
 Date 4/22/18
 Scale 1/8" = 1'-0"
 Drawn By CHADWICK

A 1.2
 Title As indicated





MEYER HANNA



MEYER HANNA ARCHITECTS

- 1.0000 - 100% Design
- 2.0000 - 90% Design
- 3.0000 - 80% Design
- 4.0000 - 70% Design
- 5.0000 - 60% Design
- 6.0000 - 50% Design
- 7.0000 - 40% Design
- 8.0000 - 30% Design
- 9.0000 - 20% Design
- 10.0000 - 10% Design
- 11.0000 - 5% Design
- 12.0000 - 0% Design
- 13.0000 - 0% Design
- 14.0000 - 0% Design
- 15.0000 - 0% Design
- 16.0000 - 0% Design
- 17.0000 - 0% Design
- 18.0000 - 0% Design

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/15/11
2	ISSUED FOR PERMITS	11/15/11
3	ISSUED FOR PERMITS	11/15/11
4	ISSUED FOR PERMITS	11/15/11
5	ISSUED FOR PERMITS	11/15/11
6	ISSUED FOR PERMITS	11/15/11
7	ISSUED FOR PERMITS	11/15/11
8	ISSUED FOR PERMITS	11/15/11
9	ISSUED FOR PERMITS	11/15/11
10	ISSUED FOR PERMITS	11/15/11
11	ISSUED FOR PERMITS	11/15/11
12	ISSUED FOR PERMITS	11/15/11
13	ISSUED FOR PERMITS	11/15/11
14	ISSUED FOR PERMITS	11/15/11
15	ISSUED FOR PERMITS	11/15/11
16	ISSUED FOR PERMITS	11/15/11
17	ISSUED FOR PERMITS	11/15/11
18	ISSUED FOR PERMITS	11/15/11

**ROGERS PARK
MONTESSORI
SCHOOL
ADDITION**
1800 W BALMORAL
CHICAGO IL 60640

**BUILDING
ELEVATIONS**

Sheet Number: 3312
Date: 4/22/15
Drawn by: DC
Checked by: [blank]

A 3.0
Name: AG INTERIOR



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

June 26, 2013

Mr. Andrew P. Scott
Dykema Gossett PLLC
10 South Wacker Drive; Suite 2300
Chicago, IL 60606

Re: **Site Plan Approval for Institutional Planned Development No. 927**

Proposal: The construction of a new, two (2) story addition to an existing school building with approximately 12,920 square feet of floor area.

Location: 1800 West Balmoral Avenue

Dear Mr. Scott:

We have reviewed the plans submitted by you on behalf of Rogers Park Montessori School for the construction of a two-story addition to the Rogers Park Montessori School with approximately 12,920 square feet of floor area at 1800 West Balmoral Avenue. Those plans, dated April 23, 2013, and prepared by B3 architecture/Olsen-Vranas consist of:

- Site Plan and Data Table;
- Addition Plans/ First and Second Floor Plans;
- Roof Plan; and
- Elevations.

These plans are submitted in accordance with Statement No. 11 of Institutional Planned Development No. 927.

Features of the submittal include middle-school classrooms, offices, and storage space on the first two floors. The roof would contain a covered and screened play area. At least 10% of the net flat roof area would consist of extensive and intensive green roofs, as required by the Plan of Development. Thirty-three (33) off-street accessory parking spaces and the one (1) loading space would be provided as required by the Plan of Development.

Upon review of the material submitted, the Department of Housing and Economic Development has determined that these plans are consistent with, and satisfy the requirements of, the Plan of Development. Accordingly, this Site Plan submittal for Institutional Planned Development No. 927 is hereby approved as conforming to the Plan of Development as passed by the Chicago City Council on September 1, 2004. This Site Plan Approval does not cover any signage, which must be covered by a separate application.

Sincerely,



Patricia A. Scudiero,
Zoning Administrator

Originated by: Fred Deters
cc: Mike Marmo, Erik Glass, Planned Development files

9/1/2004

REPORTS OF COMMITTEES

14389
30615

Reclassification Of Area Shown On Map Number 11 -L.
(Application Number A-5450)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the B4-2 Restricted Service District symbols and indications as shown on Map Number 11-L in the area bounded by:

a line 110 feet south of West Agatite Avenue (as measured along the east line of North Milwaukee Avenue); the public alley next east of and parallel to North Milwaukee Avenue; a line 205 feet southeast of West Agatite Avenue (as measured along the east line of North Milwaukee Avenue); and North Milwaukee Avenue,

to those of a B2- 1 Restricted Retail District.

SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map Number 13-H.
(As Amended)

(Application Number 14389) IPD 927

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M2-2 General Manufacturing District and M1-1 Restricted Manufacturing District symbols and indications as shown on Map Number 13-H in the area bounded by:

a line 365 feet south of the south line of West Bryn Mawr Avenue; a line ending 46.42 feet west of the west line of the Chicago Northwestern Railway right-of-way (said line, being 30.24 feet long and travelling southwesterly beginning at a point at the intersection of a line 365 feet south of the south line of West Bryn Mawr Avenue and a line approximately 44 feet west of the west line of the Chicago Northwestern Railway right-of-way and ending at a point at the intersection of a line approximately 395.24 feet south of the south line of West Bryn Mawr

Avenue and a line approximately 46.42 feet west of the west line of the Chicago Northwestern Railway right-of-way); a line approximately 395.24 feet south of the south line of West Bryn Mawr Avenue; the west line of the Chicago Northwestern Railway right-of-way; West Balmoral Avenue; and a line 12 1.45 feet west of the west line of the Chicago Northwestern Railway right-of-way,

to those of a C1-2 Restricted Commercial District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the C1-2 Restricted Commercial District symbols and indications as shown on Map Number 13-H in the area bounded by:

a line 365 feet south of the south line of West Bryn Mawr Avenue; a line 46.42 feet west of the west line of the Chicago Northwestern Railway right-of-way (said line, being 30.24 feet long, travelling southwesterly and beginning at a point at the intersection of a line 365 feet south of the south line of West Bryn Mawr Avenue and a line approximately 44 feet west of the west line of the Chicago Northwestern Railway right-of-way and ending at a point at the intersection of a line approximately 395.24 feet south of the south line of West Bryn Mawr Avenue and a line approximately 46.42 feet west of the west line of the Chicago Northwestern Railway right-of-way); a line approximately 395.24 feet south of the south line of West Bryn Mawr Avenue; the west line of the Chicago Northwestern Railway right-of-way; West Balmoral Avenue; and a line 12 1.45 feet west of the west line of the Chicago Northwestern Railway right-of-way,

to those of an Institutional Planned Development, which is hereby established in the area described above subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 927

Plan Of Development Statements.

1. The area delineated herein as an Institutional Planned Development (the "Property") consists of approximately one hundred four thousand eight

hundred nineteen (104,8 19) square feet (approximately two and forty-one hundredths (2.41) acres of land area) and is depicted on the attached Planned Development Boundary and Property Line Map. The Property is owned by Balmoral Properties, L.L.C., an Illinois limited liability company (the "Owner"). Rogers Park Montessori School, an Illinois not-for-profit corporation (the "Applicant"), is the contract purchaser of the Property and makes this application with the consent of the Owner. These plan of development statements, together with the exhibits hereto, and this ordinance, may hereafter be referred to as the "Planned Development".

2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets or alleys or easements and any adjustment of rights-of-way shall require a separate submittal by the Applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholder(s), ground lessor(s), ground lessees and lessees of the Property. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant, its successors and assigns and, if different than the Applicant, the legal title holder(s), ground lessor(s), ground lessees and lessees. Pursuant to the requirements of Section 11.1 1- 1 of the Chicago Zoning Ordinance, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, the Property shall be under single ownership or under single designated control. Single designated control for purposes of this Statement 3 shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all of the owners of the Property. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness) and solely with respect to the portion of the Property so transferred, the term the Applicant shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof (and its beneficiaries if such seller or transferor is a land trust) shall thereafter be released from any and all obligations or liability hereunder with respect to the portion of the Property so transferred.

4. This Planned Development consists of fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map, an Existing Land-Use Map; and a Planned Development Boundary and Property Line Map, prepared by Okrent & Associates, Inc. and dated July 15, 2004; a Site and Landscape Plan; a Site and Landscape Plan -- Proposed Initial Construction and Future Addition; Exterior Elevations; a Roof Plan; and a Green Building Plan, prepared by OWP/P Architects and dated July 15, 2004. Full size sets of the Site and Landscape Plan and Exterior Elevations are on file with the Department of Planning and Development (the "Department"). These and no other zoning controls shall apply to the Property. This Planned Development conforms with the intent and purposes of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago and all requirements thereof, and satisfies the established criteria for approval as a Planned Development.
5. The following uses of the Property shall be permitted: schools, including but not limited to nursery, elementary and high schools; playgrounds and athletic fields incidental to school uses; day care facilities; parks and playgrounds (private); accessory parking uses; and uses related or accessory to any of the foregoing uses, included but not limited to food service and cafeterias.
6. Institutional identification signs shall be permitted upon the Property subject to the review and approval of the Department. Temporary signs such as construction signs, marketing signs, and temporary identification signs shall be permitted, subject to the review and approval of the Department.
7. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Chicago Department of Transportation ("C.D.O.T.") in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the reasonable review and approval of C.D.O.T. and of the Department. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Off-street parking and loading facilities shall be provided in compliance with this Planned Development. A minimum of two percent

(2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.

8. In addition to the maximum heights of the buildings and any appurtenances attached thereto described in this Planned Development, the height of any improvements shall also be subject to height limitations as certified and approved by the Federal Aviation Administration.
9. For purposes of floor area ratio calculations, the definitions in the Chicago Zoning Ordinance in effect as of the filing date of this Planned Development shall apply.
10. The improvements on the Property, including landscaping along the adjacent rights-of-way and all entrances and exists to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the exhibits described in Statement 4 of this Planned Development. The Applicant shall comply with the parkway tree planting provisions of the Chicago Zoning Ordinance. The applicable building elevations may be modified, so long as they remain generally consistent with the nature and design of the improvements contemplated by this Planned Development.
11. Prior to issuance by the Department of Planning and Development of a determination pursuant to Section 11.3-3(c) of the Chicago Zoning Ordinance ("Part II approval") for the expansion of the building as depicted on the Site Plan and Landscape Plan -- Proposed Initial Construction and Future Addition, site plans for the proposed expansion development shall be submitted to the Commissioner of the Department of Planning for Site Plan approval. Site Plan approval shall solely be required for expansion of the building as depicted on the Site Plan and Landscape Plan -- Proposed Initial Construction and Future Addition. All future expansion shall be subject to the provisions of this Planned Development and all relevant Ordinances and City policies in effect at the time of submittal. Site Plan approval is intended to assure that the expansion conforms to this Planned Development, as well as relevant Ordinances and City policies, and to assist the City in monitoring on-going development. Materials submitted for Site Plan approval shall, at a minimum, provide the following information:
 - a. boundaries of development parcels;
 - b. building footprints;
 - c. dimensions of all setbacks;

- d. location and depiction of all parking spaces (including relevant dimensions);
- e. location and depiction of all loading berths (including relevant dimensions);
- f. all drives, roadways, and vehicular routes;
- g. all landscaping (including species and size);
- h. all pedestrian circulation routes and points of ingress/egress (including sidewalks);
- i. all site statistics applicable to the development parcel or parcels, including:
 - (1) floor area and floor area ratio as represented on submitted drawings;
 - (2) number of parking spaces provided;
 - (3) number of loading berths provided; and
 - (4) uses of development of parcel;
- j. parameters of the building envelope, including:
 - (1) maximum building height; and
 - (2) setbacks and vertical setbacks, required and provided.

The Site Plan approval materials shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this Planned Development and any City Ordinances or policies in effect at the time of the submission of the request for Site Plan approval. Following approval by the Commissioner, the approved Site Plan(s) shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this Planned Development. The approved Site Plans may be changed or modified pursuant to the minor change provisions of Section 11.11-3(c) of the Chicago Zoning Ordinance.

- 12. The requirements of the Planned Development may be modified administratively by the Commissioner of the Department (the "Commissioner") upon application and a determination by the

Commissioner that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of the Planned Development by the Commissioner shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Notwithstanding the provisions of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes may include a reduction in the minimum required distance between structures, a reduction in periphery setbacks and an increase of the maximum percent of land covered.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and **maximizes** the conservation of natural resources. The Applicant shall use reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. Prior to issuance by the Department of Planning and Development of a determination pursuant to Section 11.3-3(c) of the Chicago Zoning Ordinance ("Part II approval") for development within this Planned Development, the Applicant shall submit to the Commissioner documentation of building features and programs listed on the Green Building Plan. The Applicant shall install and maintain a vegetative (green) roof on at least ten percent (10%) of the net flat roof areas of the building. Net flat roof area is defined as the area of flat roof, less those areas devoted to roof-top mechanical equipment, mechanical penthouses, and any perimeter setback required by City Code.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and **maximizes** universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
15. Unless substantial construction as contemplated by this Planned Development has commenced within six (6) years of the effective date hereof and unless completion of those improvements is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert to the M1-1 Restricted Manufacturing

District and M2-2 General Manufacturing District classifications as provided on Map Number 13-H of the 2003 Chicago Zoning Ordinance. The six (6) year period may be extended for up to one (1) additional year if, prior to expiration, the Commissioner of the Department determines that cause for an extension is shown.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary And Property Line Map; Site And Landscape Plans; Exterior Elevations; Roof Plan; and Green Roof Plan referred to in these Planned of Development Statements Printed on pages 30623 through 30633 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

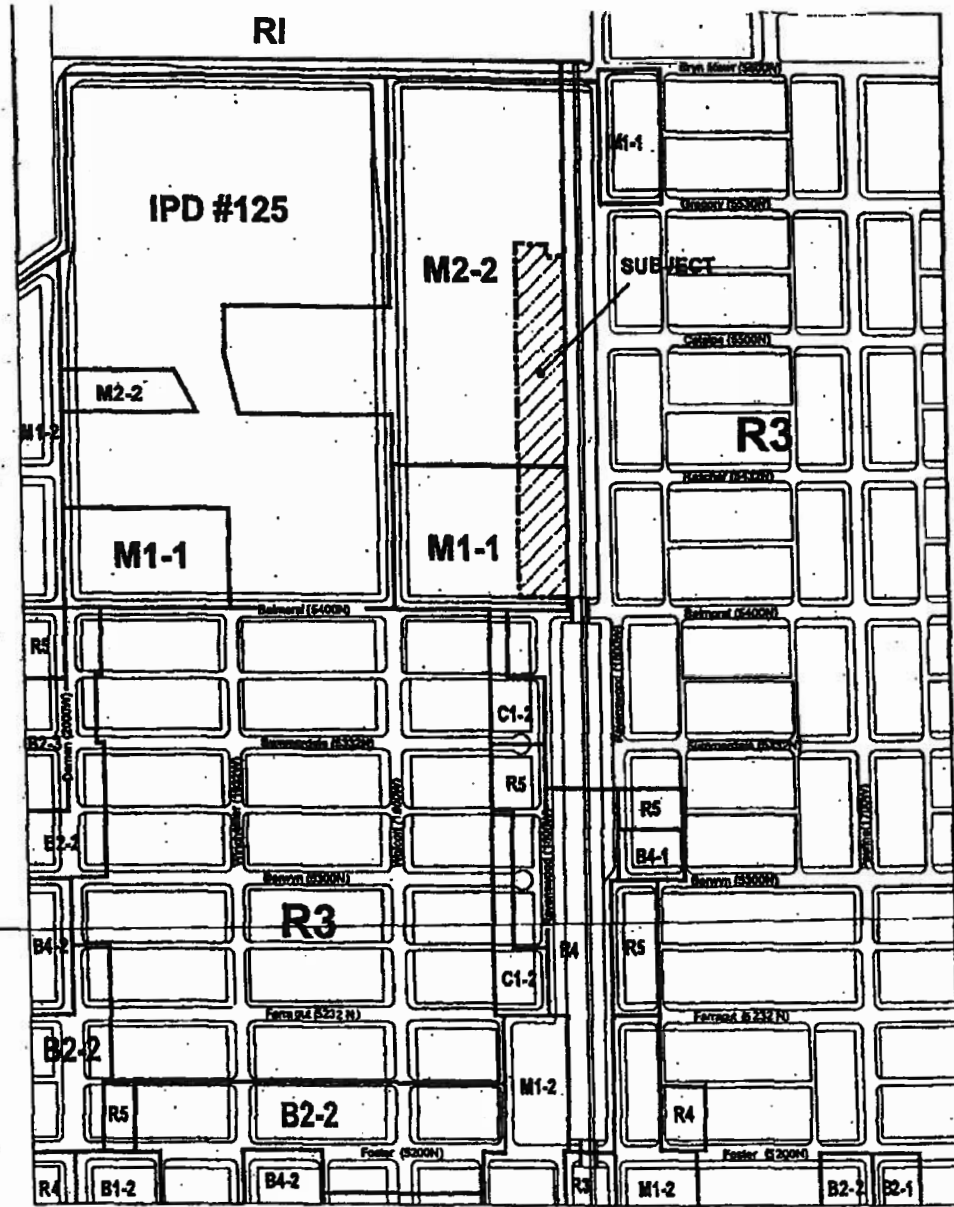
Institutional Planned Development Number 927.

Bulk Regulations And Data Table.

Gross Site Area (108,827 square feet) = Net Site Area (104,814 square feet) + Area Remaining in Public Right-of-Way (4,008 square feet).

Maximum Floor Area Ratio:	0.70
Minimum Number of Off-Street Loading Spaces:	1
Minimum Number of Off-Street Parking Spaces:	33
Minimum Required Setbacks:	In accordance with the Site Plan
Maximum Building Height:	In accordance with the Exterior Elevations
Maximum Percentage of Site Coverage:	In accordance with the Site Plan

Existing Zoning Map.



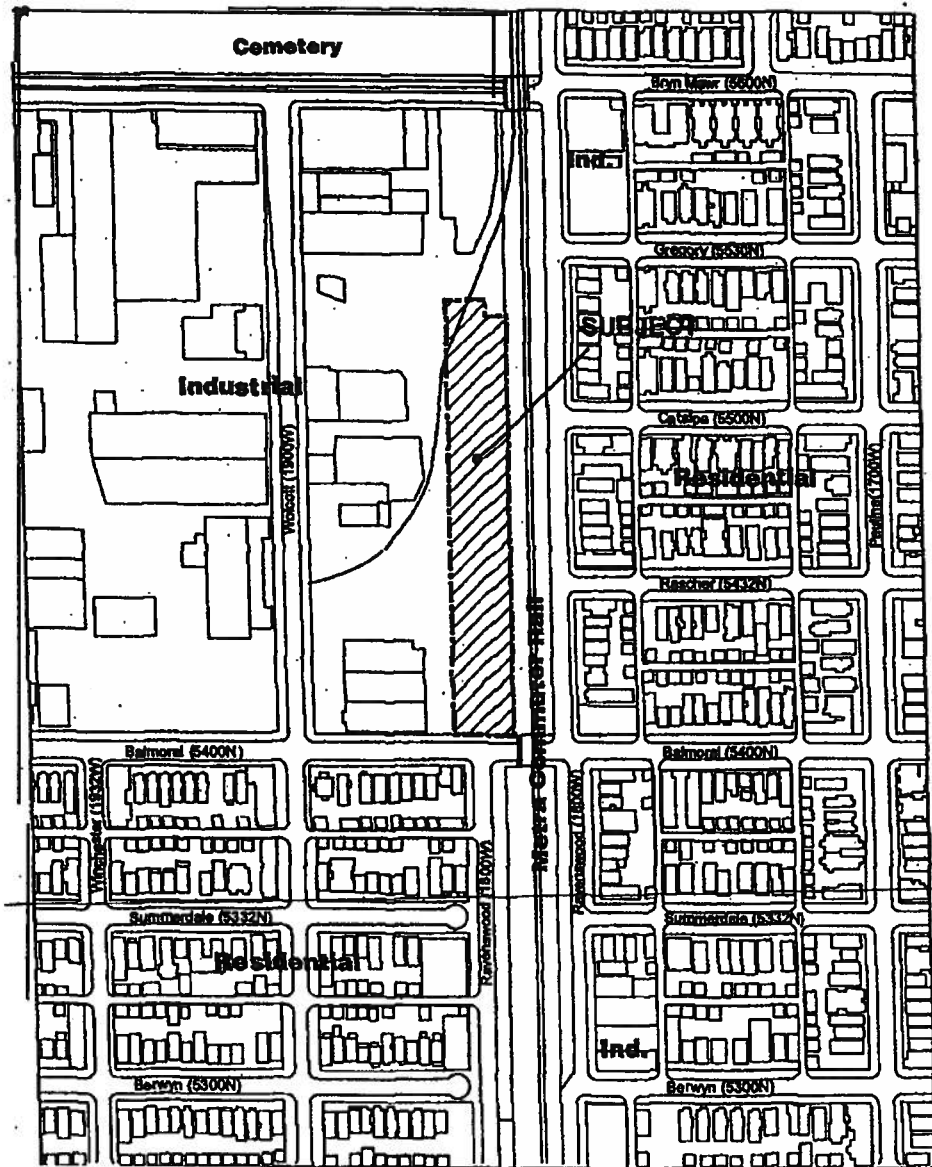
APPLICANT: Rogers Park Montessori School
 ADDRESS: 1800 West Balmoral Avenue
 Chicago, IL 60640

DATE: May 26, 2004
 REVISED: July 15, 2004

Existing Zoning Map



Existing Land-Use Map.



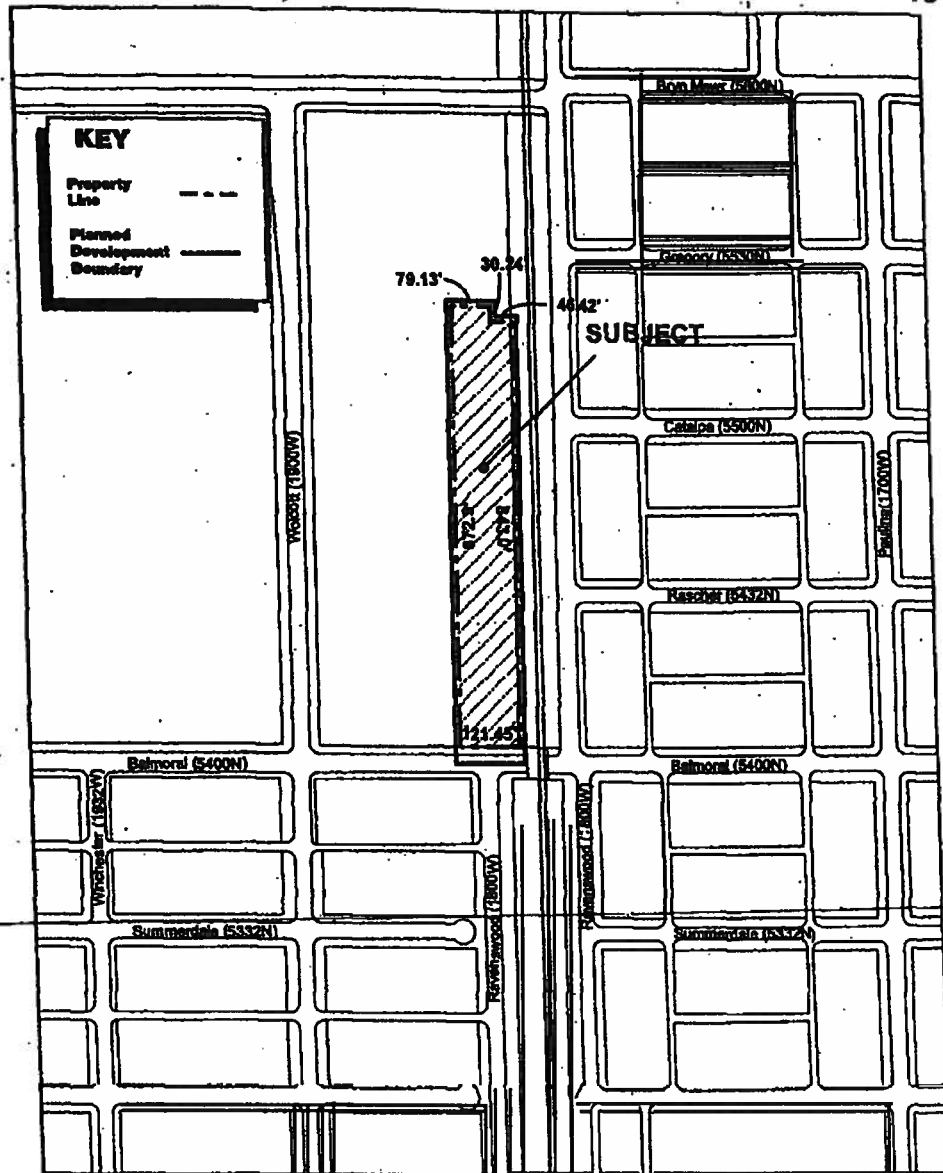
APPLICANT: Rogers Park Montessori School
 ADDRESS: 1800 West Belmont Avenue
 Chicago, IL 60640

DATE: May 26, 2004
 REVISED: July 15, 2004

Existing Land Use Map



Planned Development Boundary
And Property Line Map.



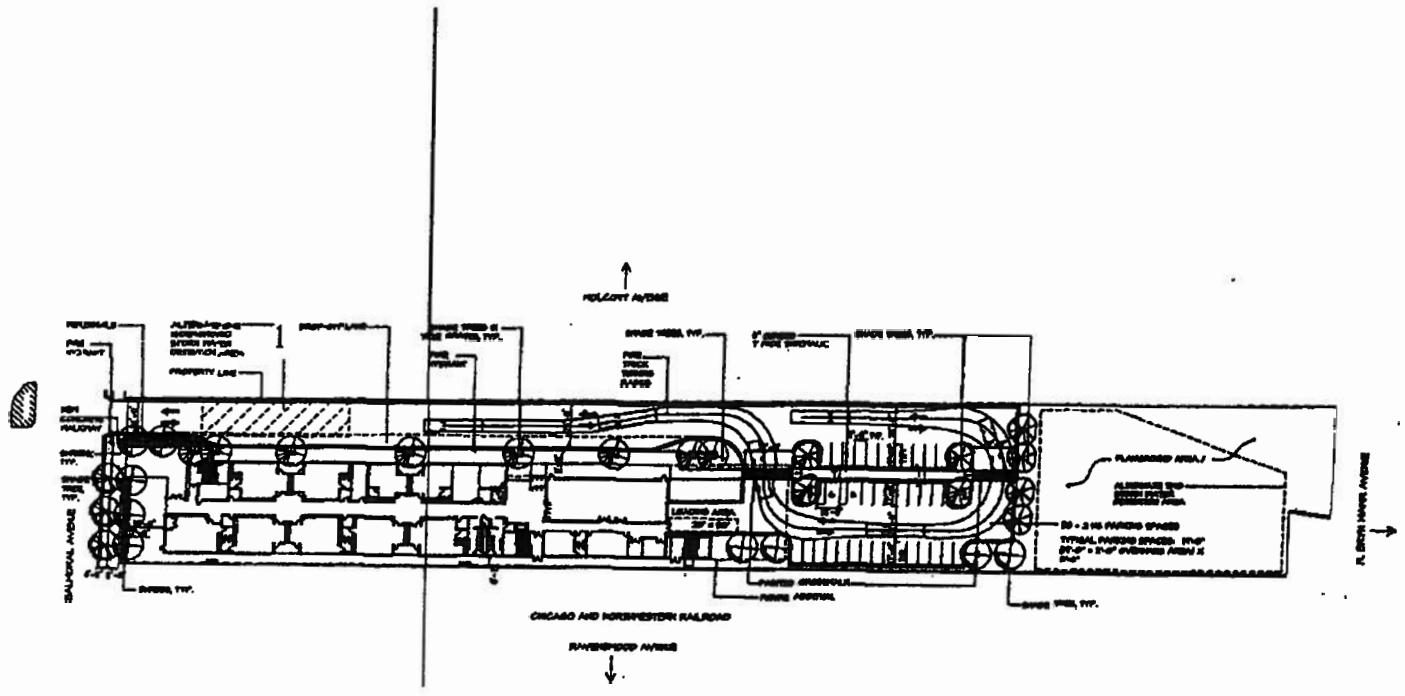
APPLICANT: Rogers Park Montessori School
ADDRESS: 1800 West Balmoral Avenue
 Chicago, IL 60640

DATE: May 26, 2004
REVISED: July 15, 2004

**Planned Development Boundary
 and Property Line Map**



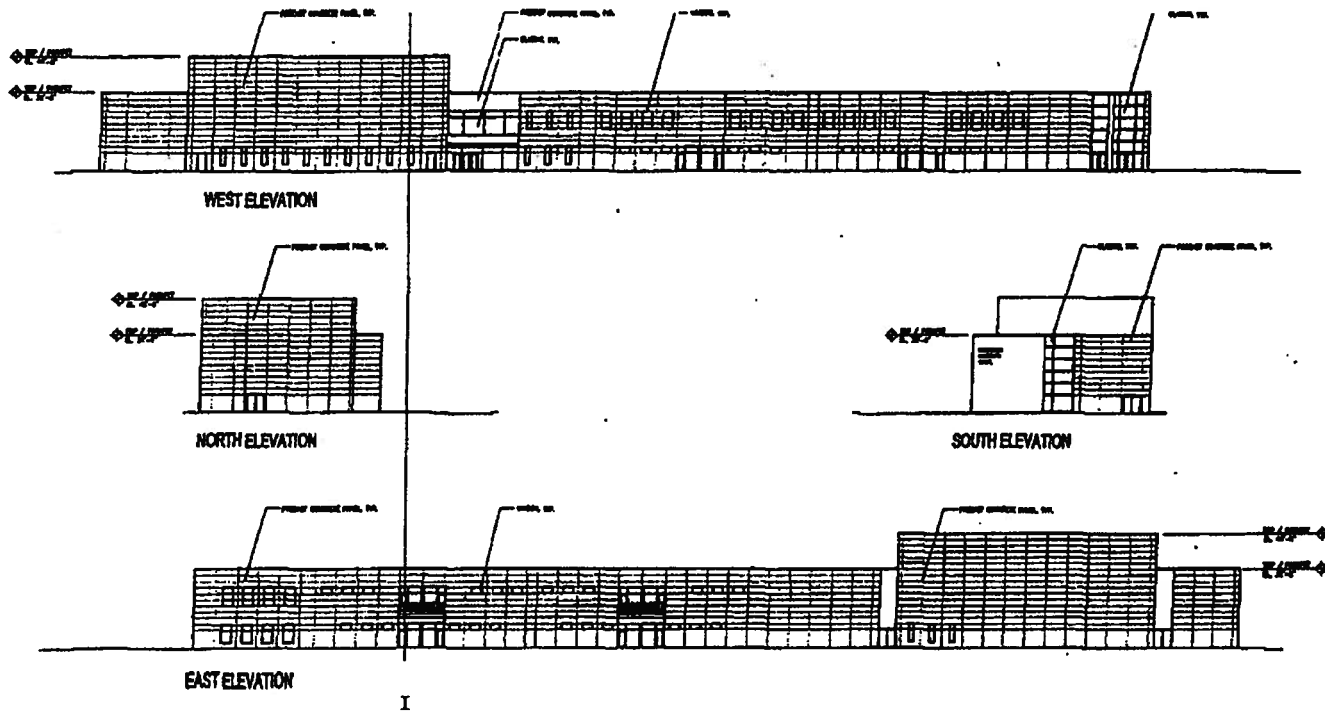
Site And Landscape Plan.



SITE AND LANDSCAPE PLAN

Applicant: Rogers Park Montessori School
 Address: 1800 W. Balmoral Avenue
 Date: May 26, 2004
 Revised: July 15, 2004

Exterior Elevations.



EXTERIOR ELEVATIONS



Applicant: Rogers Park Montessori School
 Address: 1800 W. Belmont Avenue
 Date: May 26, 2004
 Revised: July 15, 2004

Green Building Plan.
(Page 1 of 4)

Rogers Park Montessori School

Number	LEED Credit	Description	Points			Responsibility		Remarks
			Available	Yes	Maybe	No	Design Documents	
SS P1	Erosion & Sedimentation Control	Design a sediment and erosion plan which conforms to United States Environmental Protection Agency document No. EPA 632/R-82-003 (Sept. 1982) OR Local erosion standards, whichever is more stringent.		1				
SS C1	Site Selection	Do not develop in environmentally sensitive locations.		1				
SS C4.1	Alternate Transportation: Public Transportation Access	Locate 1/2 mile from commuter rail, light rail, or subway station or 1/4 mile from two or more public or campus bus lines usable by building occupants.		1				
SS C4.3	Alternate Transportation: Alternative Fuel Vehicles	Provide alternative fuel vehicles for 3% of building occupants AND provide preferred parking for those vehicles, OR install alternative-fuel refueling stations for 3% of the total vehicle parking capacity of the site.		1				
SS C4.4	Alternate Transportation: Parking Capacity	Size parking capacity to meet, but not exceed, minimum local zoning requirements AND provide preferred parking for carpools or vanpools capable of serving 6% of the building occupants; OR add no new parking for rehabilitation projects AND provide preferred parking.		1				
SS C5.2	Reduced Site Disturbance: Development Footprint	Reduce development footprint (defined as entire building footprint, access roads and parking) to exceed the local zoning's open space requirement by 25%. For areas with no zoning, designate open space area adjacent to the building that is equal to the development footprint.		1				
SS C6.1	Stormwater Management: Rate and Quantity	If existing imperviousness is less than or equal to 50%, implement a stormwater management plan that prevents the post-development 1.5 year, 24 hour peak discharge rate from exceeding the pre-development 1.5 year 24 hour peak discharge rate OR if existing imperviousness is greater than 50%, implement a stormwater management plan that results in a 25% decrease in the rate and quantity of stormwater runoff.		1				
SS C7.1	Heat Island Effect: Non-Roof	Provide shade (within 6 years) and/or use light-colored/high-albedo materials (reflectance of at least 0.3 and/or open grid pavement for at least 30% of site's non-roof impervious surface OR place a minimum of 50% of parking underground covered by structured parking; OR Use an open grid pavement system (less than 50% impervious) for a minimum of 60% of the parking lot area.		1				
SS C7.2	Heat Island Effect: Roof	Choose ENERGY STAR Roof-compliant (high-reflectance) roofing AND high emissivity roofing (emissivity of at least 0.9 when tested in accordance with ASTM 408) for 75% of roof; OR install a "green" (vegetated) roof for at least 50% of the roof area. Combinations of high albedo and vegetated roof can be used providing they collectively cover 75% of the roof area.		1				

Green Building Plan.
(Page 2 of 4)

Rogers Park Montessori School

Number	Description	LEED Credit	Points				Responsibility		Remarks
			Available	Yes	Maybe	No	Design Documents	LEED Submittal Documents	
SS C8	Light Pollution Reduction	Meet or provide lower light levels and uniformity ratios than those recommended by the Illuminating Engineering Society of North America Recommended Practice Manual Lighting for Exterior Environments (RP-33-00) AND Choose full cut-off site luminaires so no light leaves the site as required.	1						
WE C3.1	Water Use Reduction: 20% Reduction	Employ strategies that in aggregate use 20% less water than the water use baseline calculated for the building (not including irrigation) after meeting the energy Policy Act of 1992 fixture performance requirements.		1					
EA P1	Fundamental Building Systems Commissioning	Implement or have a contract in place to implement the required fundamental best practice commissioning procedures.							
EA P2	Minimum Energy Performance	Design the building to comply with ASHRAE/IESNA Standard 90.1-1999 (without amendments) or the local energy code, whichever is more stringent.		P					
EA P3	CFC Reduction for HVAC/R	Zero use of CFC-based refrigerants in new base building HVAC/R systems. When reusing existing base building HVAC equipment, complete a comprehensive CFC phase-out conversion.		P					
EA C1	Optimize Energy Performance	Reduce design energy cost compared to the energy cost budget for energy systems regulated by ASHRAE/IESNA Standard 90.1-1999 (without amendments), as demonstrated by a whole building simulation using Energy Cost Budget Method described in Section 11 of the standard. If an analysis has been made comparing the proposed design to local energy standards and a defensible equivalency (at minimum) to ASHRAE/IESNA Standards 90.1-1999 has been established, then the comparison against the local code may be used in lieu of an ASHRAE Standard. Regulated systems and method as per requirements.	2	4	4				
EA C3	Additional Commissioning	In addition to the fundamental Building Commissioning prerequisites, implement or have a contract in place to implement the required additional commissioning procedures.					1		
EA C4	Ozone Depletion	Install base building level HVAC and refrigeration equipment and fire suppression systems that do not contain HCFCs or CFCs.		1					
EA C5	Measurement & Verification	Install continuous metering equipment for the required end-uses. Develop a Measurement and Verification plan that incorporates the monitoring information from the required end-uses and is consistent with Option B, C or D of the 2001 International Performance Measurement & Verification Protocol (IPMVP) Volume 1: Concepts and Options for Determining energy and Water Savings.					1		

Green Building Plan
(Page 3 of 4)

Rogers Park Montessori School

LEED Credit	Description	Points			Responsibility		Remarks	
		Available	Yes	Maybe	No	Design Documents		LEED Submittal Documents
C6	Green Power	Provide at least 50% of the building's electricity from renewable sources by engaging in at least a two-year energy contract. Renewable sources are defined by the Center for Resource Solutions (CRS) Green-e products certification requirements.				1		
P1	Store & Collect Recyclables	Provide an easily accessible area that serves the entire building and is dedicated to the separation, collection and storage of materials for recycling including (at a minimum) paper, corrugated cardboard, glass, plastic, and metals.	P					
C2.1	Construction Waste: divert 50% From Landfill	Develop and implement a waste management plan, quantifying diversion goals. Recycle and/or salvage at least 50% of construction, demolition and land clearing waste. Calculations can be done by weight or volume, but must be consistent throughout.				1		
C2.2	Construction Waste: divert 75% From Landfill	Recycle additional 25% (75% total) of construction debris.				1		
C4.1	Recycled Content: 5% (post-consumer + 1/2 post-industrial)	Use materials with recycled content such that the sum of Post-Consumer recycled content plus one-half of the post industrial content constitutes at least 5% of the total value of the materials in the project. The value of the recycled content portion of a material or finishing shall be determined by dividing the weight on recycled content in the item by the total weight on all material in the item, then multiplying the resulting percentage by the total value of the item.				1		
MR C4.2	Recycled Content: 10% (post-consumer + 1/2 post-industrial)	Use materials with recycled content such that the sum of Post-Consumer recycled content plus one-half of the post industrial content constitutes at least 10% of the total value of the materials in the project.				1		
MR C5.1	Regional Materials: 20% manufactured regionally	Use a minimum of 20% of building materials manufactured within 500 miles by cost.				1		
MR C7	Certified Wood	Use a minimum of 50% of wood-based materials and products, certified in accordance with the Forest Stewardship Council's Principles and Criteria, for wood building components including, but not limited to structural framing and general dimensional framing, flooring, finishes, furnishings, and non-vented temporary construction applications.				1		
EQ P1	Minimum IAQ Performance	Meet the minimum requirements of voluntary consensus standard ASHRAE 62-1999, ventilation for Acceptable Indoor Air Quality, and approved Addenda (see ASHRAE 62-2001, Appendix H, for a complete compilation of Addenda) using the Verification Rate Procedure.	P					

Green Building Plan.
(Page 4 of 4)

Rogers Park Montessori School

Number	LEED Credit	Description	Points			Responsibility		Remarks
			Available	Yes	Maybe	No	Design Documents	
EQ P2	Environmental Tobacco Smoke (ETS) Control	Zero exposure of non-smokers to ETS by providing with appropriate accommodations.						
EQ C1	Carbon Dioxide (CO2) Monitoring	Install a permanent carbon dioxide (CO2) monitoring system that provides feedback on space ventilation performance in a form that allows operational adjustments.						
EQ C2	Ventilation Effectiveness	For mechanically ventilated buildings, design ventilation systems that result in an air change effectiveness (Eac) greater than or equal to 0.9 as determined by ASHRAE 120-1987. For naturally ventilated spaces, demonstrate a distribution and transfer flow pattern that involves not less than 90% of the room or zone area in the direction of air flow for at least 95% of hours of occupancy.						
EQ C3.1	Construction IAQ Management Plan: During Construction	Develop Indoor Air Quality (IAQ) Management Plan that follows the requirements including meeting SMACNA guidelines during construction.						
EQ C3.2	Construction IAQ Management Plan: Before Occupancy	Develop and implement an Indoor Air Quality (IAQ) Management Plan for the Pre-occupancy phase which meets the requirements. (In summation - Conduct 2 week minimum building flush-out with new filtration and 100% outside air, OR conduct a baseline indoor air quality testing procedure consistent with current EPA Protocol for Environmental Requirements, Baseline IAQ and Materials, for the Research Triangle Park Campus, Section 01445).						
EQ C4.1	Low-Emitting Materials: adhesives & sealants	The VOC content of adhesives and sealants used must be less than the current VOC content limit of South Coast Air Quality Management District (SCAQMD) Rule 81168, AND all sealants used on floors must meet or exceed the requirements of the Bay Area Air Quality Management District Regulation 8, Rule 83.						
EQ C4.2	Low-Emitting Materials: paints and coatings	VOC emissions from paints and coatings must not exceed the VOC and chemical component limits of Green Seal's Standard GS-11 requirements.						
EQ C4.3	Low-Emitting Materials: carpet	Carpet systems must meet or exceed the requirements of the Carpet and Rug Institute's Green Label Indoor Air Quality Test Program.						
EQ C4.4	Low-Emitting Materials: Composite Wood	Choose composite wood products must contain no added urea-formaldehyde resins.						
EQ C5	Chemical Pollutant Control	Design to minimize pollutant cross-contamination of regularly occupied areas.						
EQ C6.2	Controllability of Systems: Non-Partner Spaces	Provide controls for each individual for airflow, temperature and lighting controls at least 90% of the occupants in non-partner work areas.						
ID C1.1	Innovation Credit							Possible noise pollution reduction
ID C1.1	Innovation Credit							Possible interior acoustical optimization
ID C2	LEED Accredited Professional	Successfully complete the LEED Accredited Professional Exam						

Total Estimated/Total Possible for this project

Total

26-32 Points - LEED Certified
33-38 Points - Silver
39-51 Points - Gold
52+ Points - Platinum