

7/21/2004

REPORTS OF COMMITTEES

14358  
29029

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE OF CHICAGO  
(CHICAGO ZONING ORDINANCE) BY RECLASSIFICATION OF  
AREA SHOWN ON MAP NUMBER 5-J.

(As Amended)

(Application Number 14358)

(Committee Meeting Held July 19, 2004)

RPD 922

The Committee on Zoning submitted the following report:

CHICAGO, July 21, 2004.

To the President and Members **of** the City Council:

Reporting for your Committee on Zoning, for which a meeting was held on July 19, 2004, I beg leave to recommend that Your Honorable Body *Pass* one ordinance transmitted herewith for the purpose of reclassifying a particular area. This ordinance was corrected and amended in its amended form. This matter is referred to as Application Number 14358 and the common address of the property is 1750 -- 1800 North Spaulding Avenue.

At this time, I move for passage of the ordinance transmitted herewith.

Respectfully submitted,

(Signed) WILLIAM J. P. BANKS,  
*Chairman.*

On motion of Alderman Banks, the said proposed ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Flores, Tillman, Preckwinkle, Hairston, Lyle, Beavers, Stroger, Beale, Pope, Baker, Cárdenas, Olivo, Burke, T. Thomas, Coleman, L. Thomas, Murphy, Rugai, Troutman, Brookins, Muñoz, Zalewski, Chandler, Solis, Ocasio, Burnett, E. Smith, Car-others, Reboyras, Suarez, Matlak, Mell, Austin, Colon, Banks, Mitts, Allen, Laurino, O'Connor, Doherty, Natarus, Daley, Tunney, Shiller, Schalter, Moore, Stone -- 47.

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

*Be It Ordained by the City Council of the City Of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-1 Restricted Manufacturing District symbols and indications as shown on Map Number 5-J in the area bounded by:

a line 282.50 feet north of the north line of the Chicago, Milwaukee & St. Paul Railroad; North Spaulding Avenue; a line 139.50 feet south of West Bloomingdale Avenue; the alley next west of North Spaulding Avenue; North Bloomingdale Avenue; a line 123.86 feet west of North Spaulding Avenue; a line from a point 123.86 feet west of North Spaulding Avenue as measured along the north line of the Chicago, Milwaukee & St. Paul Railroad to a point 177.58 feet west of North Spaulding Avenue and 19.80 feet north of the north line of the Chicago, Milwaukee & St. Paul Railroad; and a line 177.58 feet west of North Spaulding Avenue,

to those of an R5 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the R5 General Residence District symbols and indications as shown on Map Number 5-J in the area bounded by:

a line 282.50 feet north of the north line of the Chicago, Milwaukee & St. Paul Railroad; North Spaulding Avenue; a line 139.50 feet south of West Bloomingdale Avenue; the alley next west of North Spaulding Avenue; North Bloomingdale Avenue; a line 123.86 feet west of North Spaulding Avenue; a line from a point 123.86 feet west of North Spaulding Avenue as measured along the north line of the Chicago, Milwaukee & St. Paul Railroad to a point 177.58 feet west of North Spaulding Avenue and 19.80 feet north of the north line of the Chicago, Milwaukee & St. Paul Railroad; and a line 177.58 feet west of North Spaulding Avenue,

to those of a Residential Planned Development which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 3. This ordinance shall be in full force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

*Residential Planned Development Number 922.*

*Plan Of Development Statements.*

1. The area delineated herein as a Residential Planned Development ("Planned Development") consists of a total lot area of approximately seventy-four thousand three hundred twenty-seven (74,327) square feet (one and seventy-one hundredths ( 1.7 1) acres) of property ("Property") and is owned or controlled by A & A Development, L.L.C. ("Applicant").
2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets, alleys or easements, or any adjustment of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders. All rights granted hereunder to the Applicant shall insure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the Applicant, the owners of all the Property within the Planned Development, or any homeowners

association(s) formed to succeed the Applicant for purposes of control or management of any portion of the Planned Development.

4. This plan of development consists of fourteen (14) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; Site Plans; Landscape Plan; and Building Elevations, all prepared by Campbell Tiu Campbell, Incorporated, Architects, dated July 15, 2004. Full size sets of the Site Plans, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. This Planned Development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code of Chicago) and all requirements thereof and satisfies the established criteria for approval of a Planned Development. These and no other zoning controls shall apply to the area delineated herein.
5. The following uses are permitted within the areas delineated herein:
  - Parcel I: Multi-family dwellings, accessory parking and accessory uses.
  - Parcel II: Townhomes, multi-family dwellings, accessory parking and accessory uses.
6. Identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the Planned Development subject to review and approval of the Commissioner of the Department of Planning and Development. Temporary sales offices shall be allowed.
7. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved, in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking or storage of garbage receptacles within such paved areas except as may be noted on the site plan, or within fire lanes. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and off-street loading facilities shall be provided in compliance with this plan of development, subject to the review and

approval of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review of the Department of Transportation.

8. In addition to the maximum height of any building or any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor area ratio ("F.A.R.") calculations, the definitions of the City of Chicago Zoning Ordinance shall apply.
10. The improvements on the Property shall be designed, constructed and maintained in substantial conformance with the Site Plan and Landscape Plan and the Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance.
11. The terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development upon the request of the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this Planned Development. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.1 1-3(b) of the Chicago Zoning Ordinance until the Director of the Mayor's Office for People with Disabilities has approved detailed construction drawings for each building or improvement.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigerating and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.
14. Unless substantial construction has commenced within six (6) years following adoption of this Planned Development, and unless completion thereof is diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert to that of an M 1 - 1 Restricted Manufacturing District.

[Existing Zoning and Street System Map; Existing Land-Use Area Map; Property Line Map and Right-of-Way Adjustment Map; Site Plan; Landscape Plan; Building Elevations; Generalized Land-Use Plan; and Plat of Survey referred to in these Plan of Development Statements printed on pages 29036 through 29046 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Residential Planned Development Number 922.*

*Plan Of Development Bulk Regulations  
And Data Table.*

Gross Site Area:	102,517 square feet
Net Site Area:	74,327 square feet (1.71 acres)
Parcel I:	24,692 square feet
Parcel II:	49,635 square feet

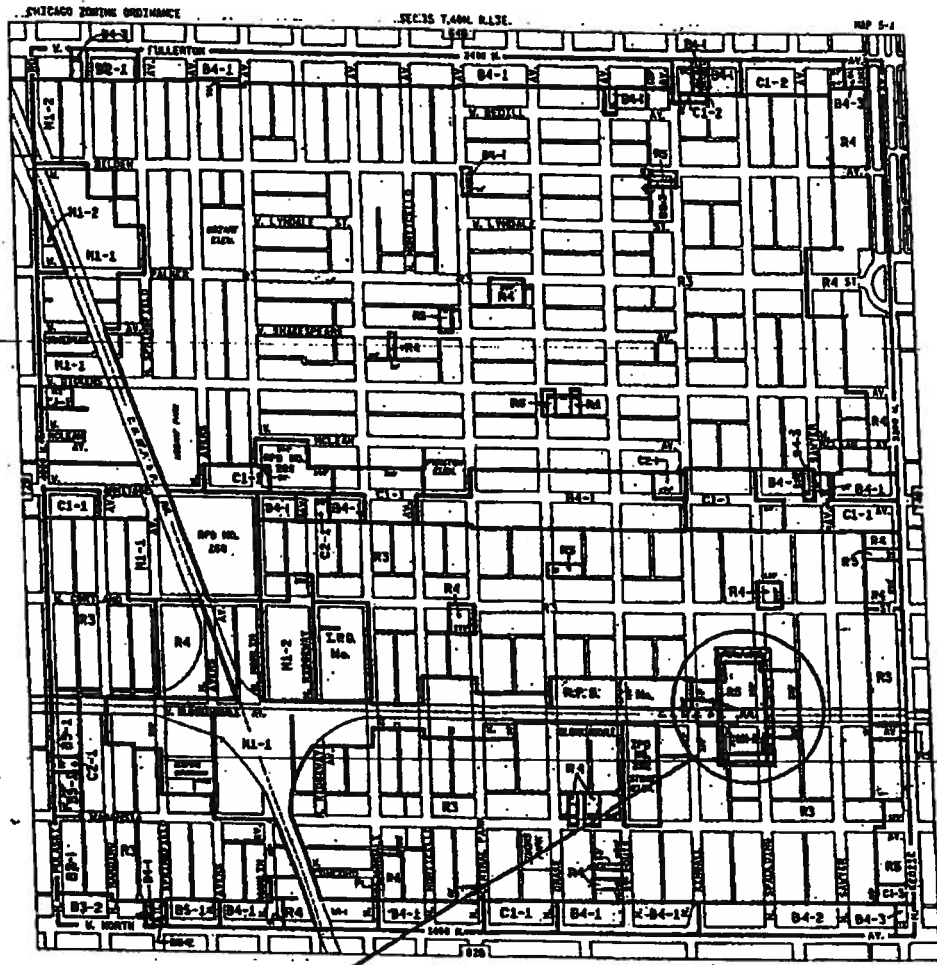
7/21/2004

REPORTS OF COMMITTEES

29035

Maximum Permitted Floor Area Ratio:	2.3
Parcel I:	2.3
Parcel II:	2.3
Maximum Number of Dwelling Units:	101
Parcel I:	36 Multi-family units
Parcel II:	49 Multi-family units 16 Townhouse units
Minimum Number of Off-Street Parking Spaces:	101
Parcel I:	65
Parcel II:	36
Minimum Number of Off-Street Loading Berths:	2
Maximum Building Height:	In accordance with the Building Elevations
Maximum Percentage of Site Coverage:	In accordance with Site Plan
Minimum Setbacks from Property Line:	In accordance with Site Plan

Existing Zoning And Street System Map.

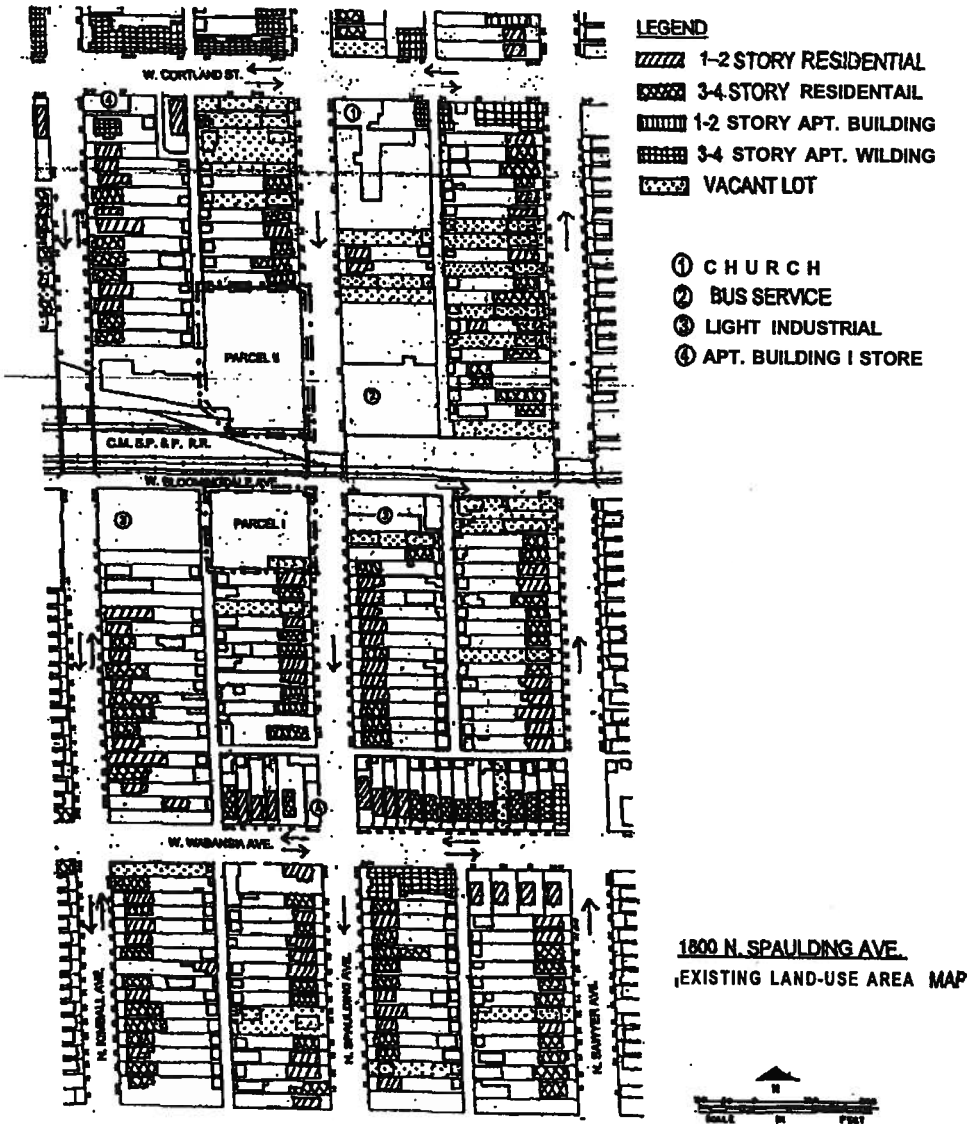


PROPOSED PLAN DEVELOPMENT

1800 N. SPAULDING AVE.  
EXISTING ZONING &  
STREET SYSTEM MAP

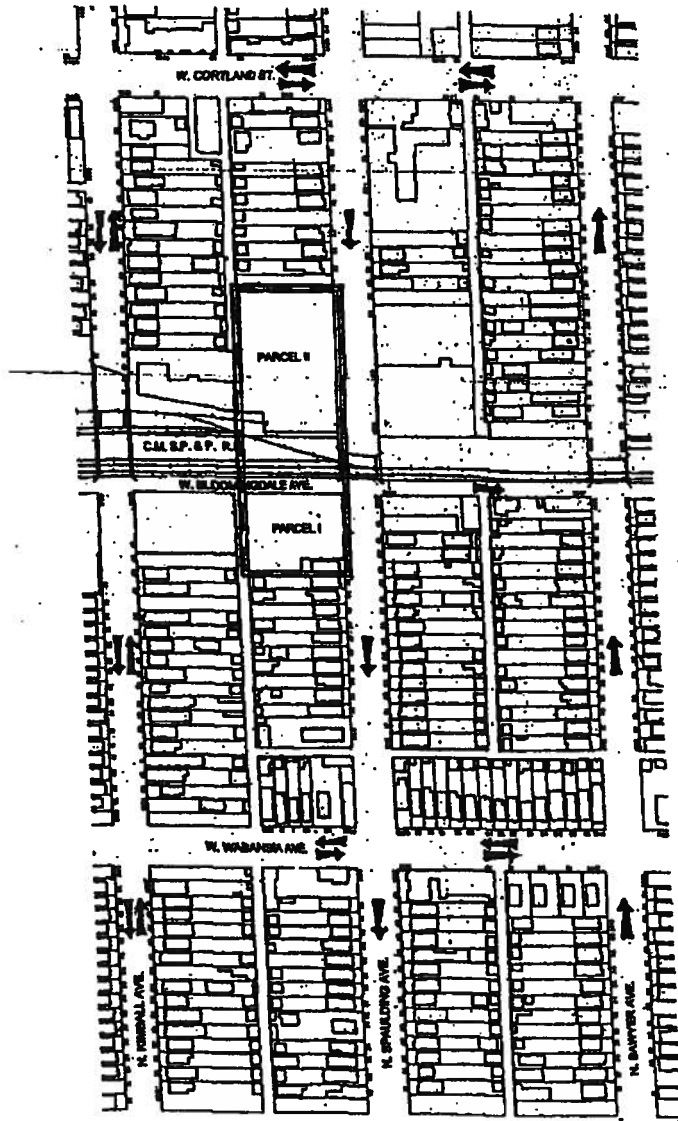
Applicant: A & A Development, LLC  
Address: 1750-1800 N. Spaulding  
Revised Date: July 15, 2004

Existing Land-Use Area Map.



Applicant: A&A Development, LLC  
 Address: 1750-1800 N. Spaulding  
 Revised Date: July 15, 2004

Property Line Map And Right-Of-Way Adjustment Map.



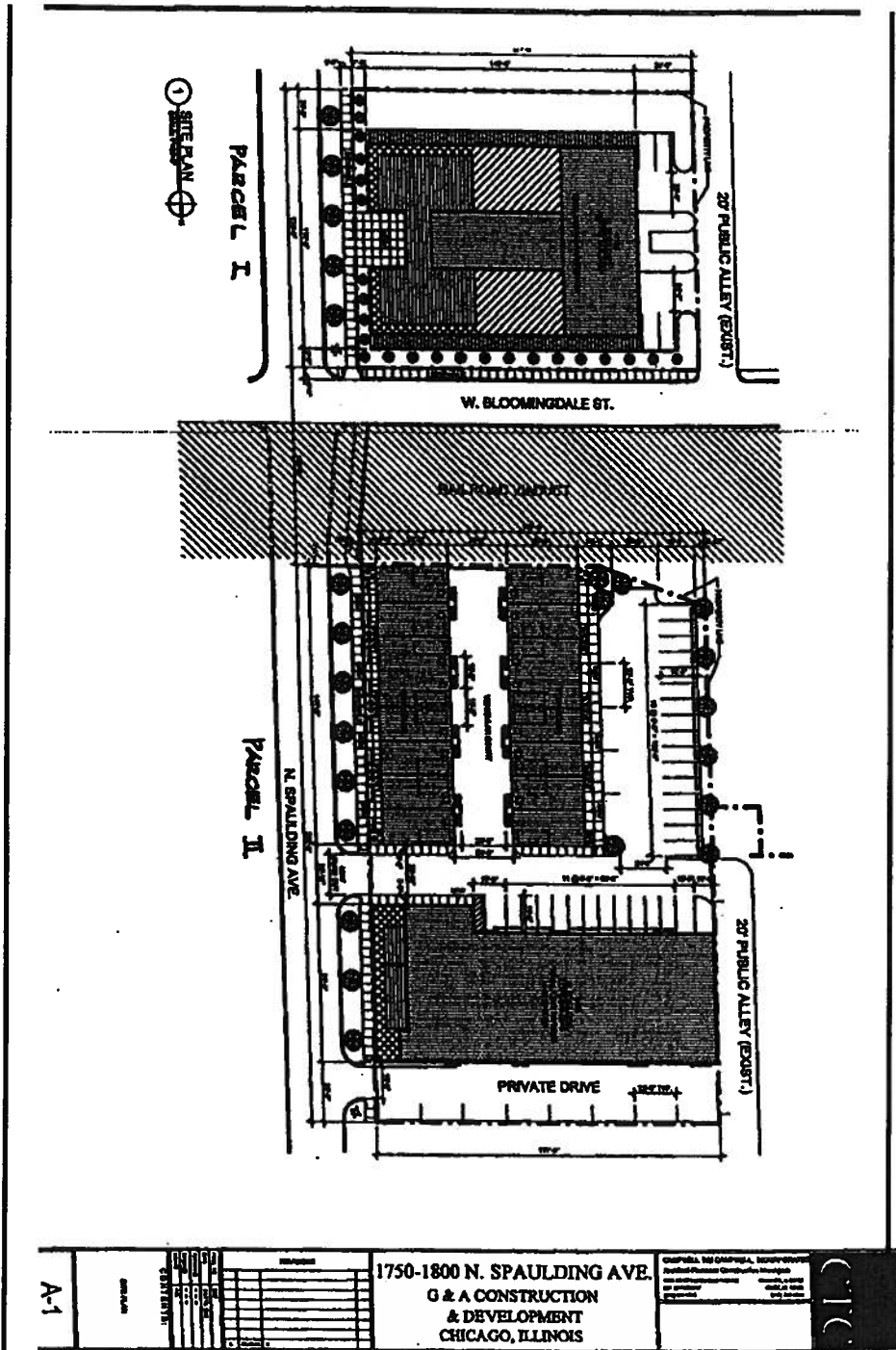
SEE ATTACHED SITE PLAN FOR SUBJECT PROPOSED PARCEL I & PARCEL II

1800 N. SPAULDING AVE.  
PROPERTY LINE MAP &  
RIGHT OF WAY ADJUSTMENT  
MAP



Applicant: A&A Development, LLC  
Address: 1750-1800 N. Spaulding  
Revised Date: July 15, 2004

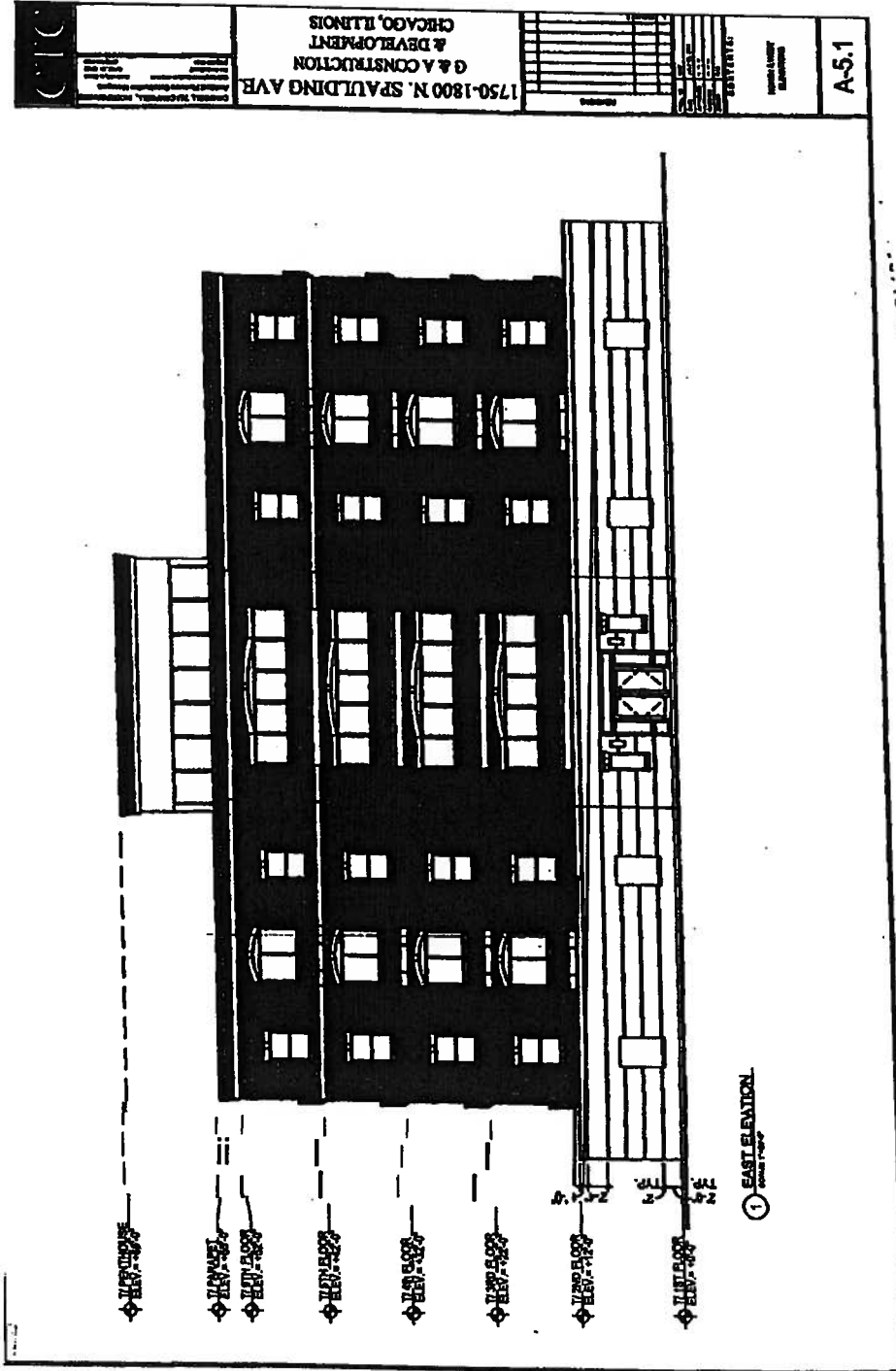
Site Plan.



A-1		1750-1800 N. SPAULDING AVE. G & A CONSTRUCTION & DEVELOPMENT CHICAGO, ILLINOIS	
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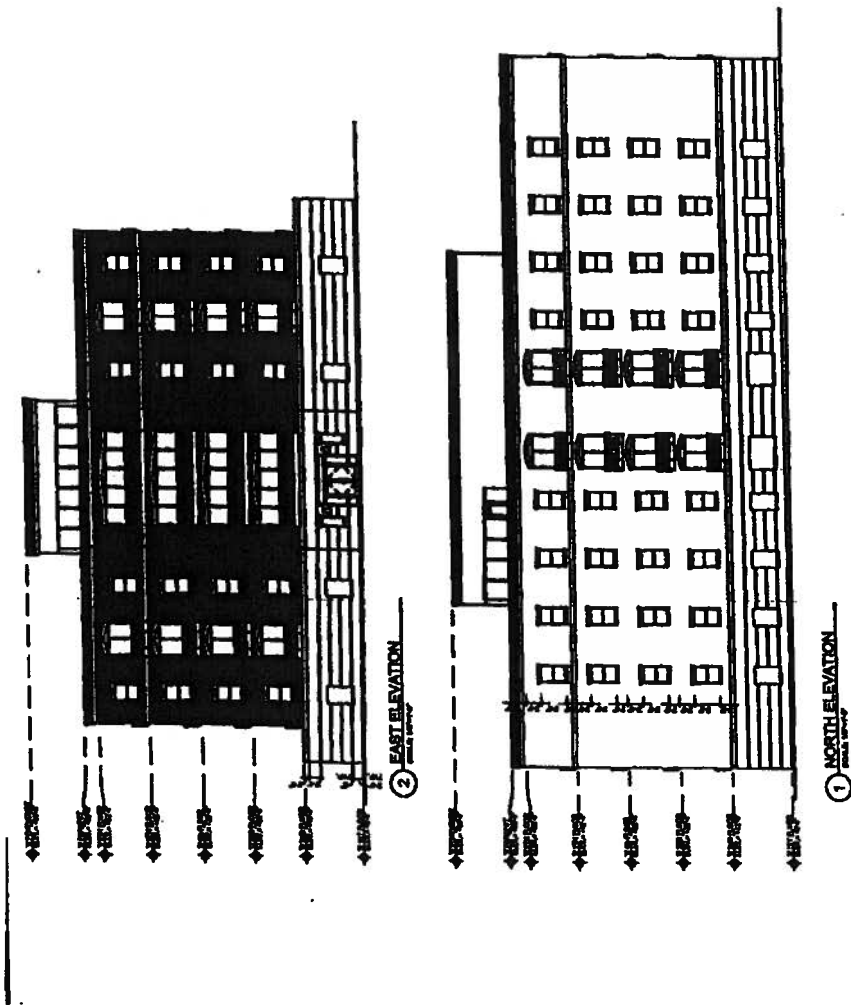


Building Elevations.  
(Page 1 of 4)

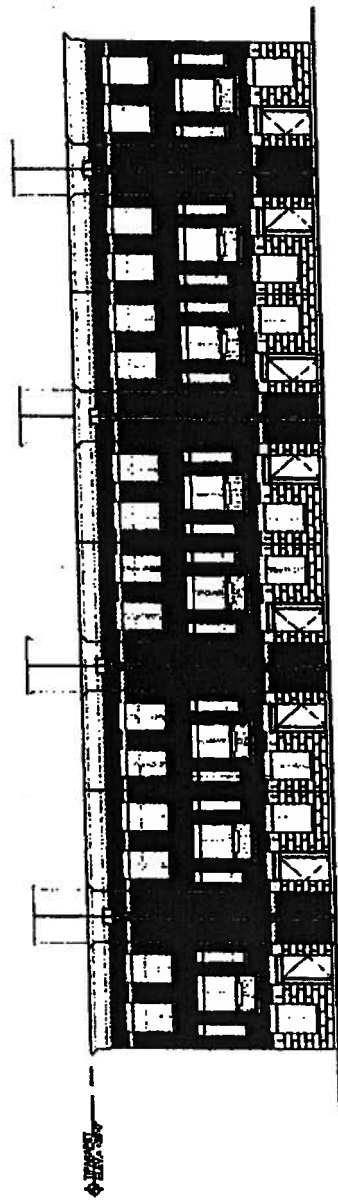


Building Elevations.  
(Page 2 of 4)

	1750-1800 N. SPAULDING AVE. G & A CONSTRUCTION & DEVELOPMENT CHICAGO, ILLINOIS	<table border="1"><tr><td>DATE</td><td>NOV 12 2003</td></tr><tr><td>BY</td><td>...</td></tr><tr><td>CHECKED</td><td>...</td></tr><tr><td>APPROVED</td><td>...</td></tr></table>	DATE	NOV 12 2003	BY	...	CHECKED	...	APPROVED	...	A-5.1
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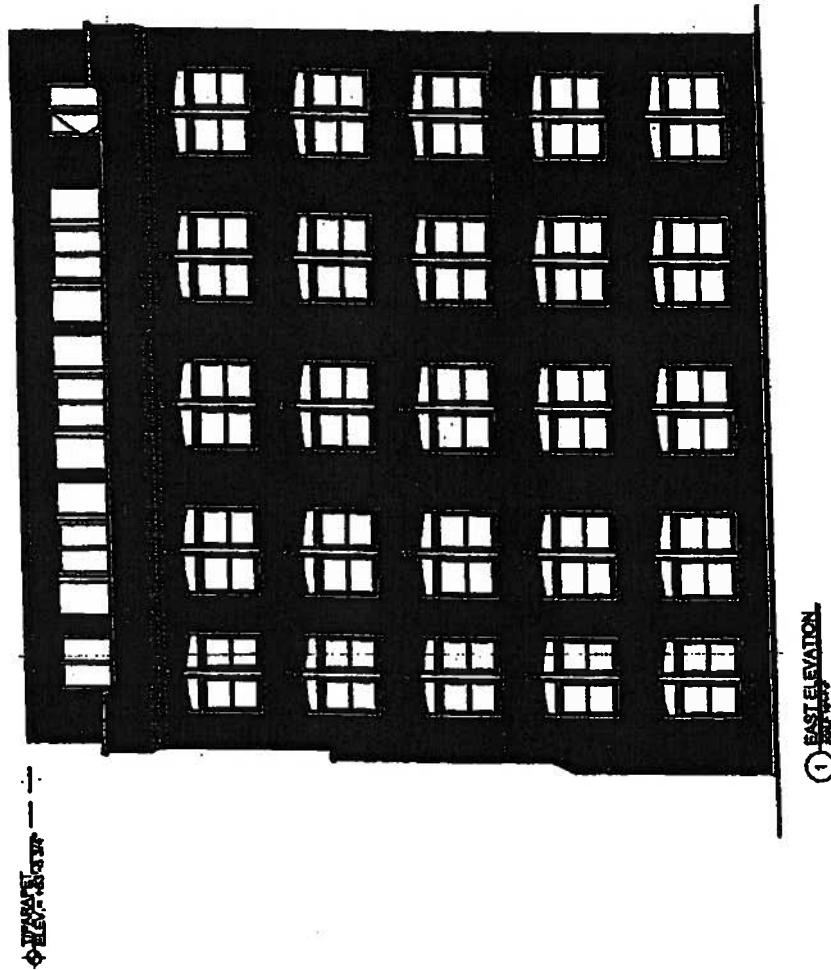


Building Elevations.  
(Page 3 of 4)

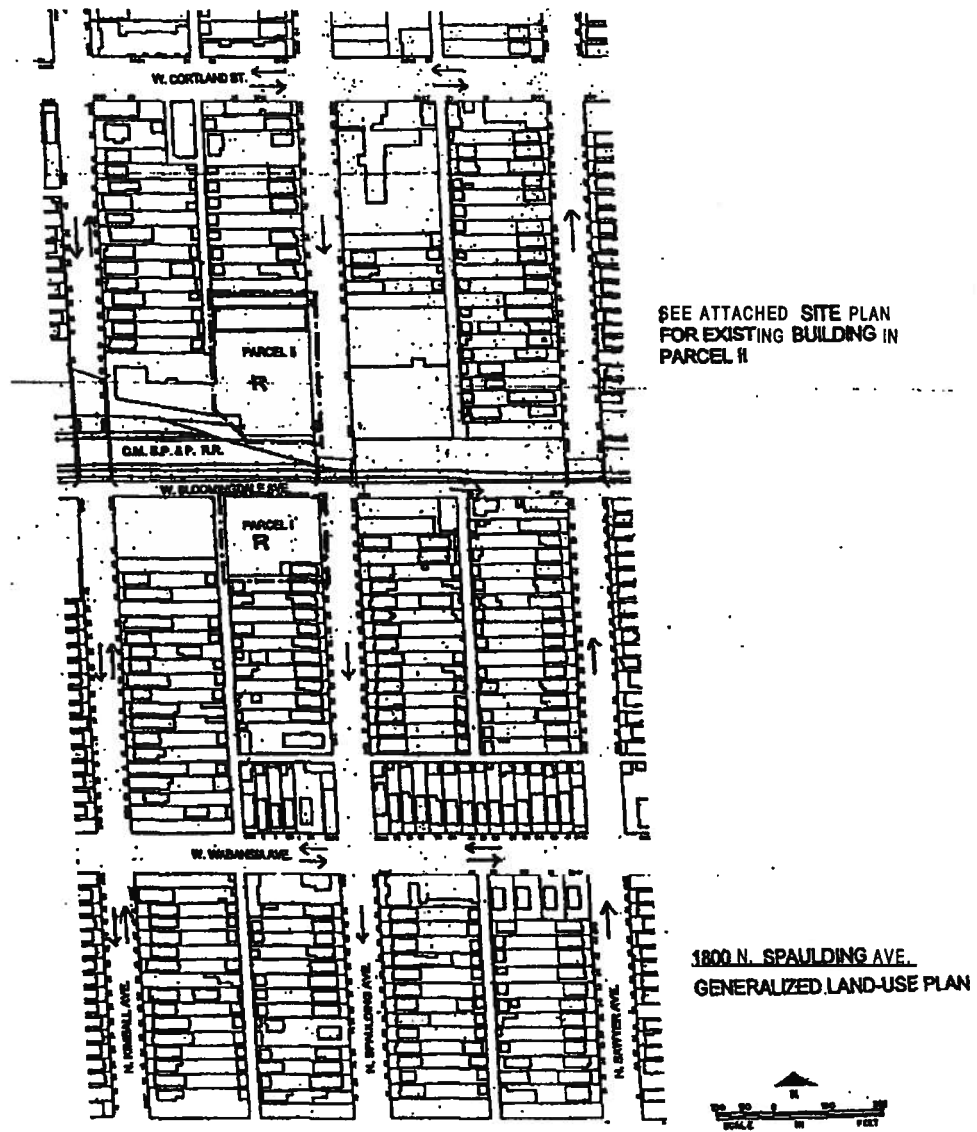


① EAST ELEVATION - TOWNHOUSE

Building Elevations.  
(Page 4 of 4)



Generalized Land-Use Plan.



Applicant: A&A Development, LLC  
Address: 1750-1800 N. Spaulding  
Revised Date: July 15, 2004

Plat Of Survey.

