

PD 921

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**DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO**

December 2, 2025

VIA EMAIL

Dakotah Lucas, Project Architect
Partners by Design
363 West Erie Street, Suite 600
Chicago, IL 60654

Re: Site Plan Review Request within Planned Development No. 921 at 7230 S. South Chicago Ave

Dear Mr. Lucas:

Please be advised that your request for site plan approval for Planned Development No. 921 (“PD #921”) has been considered by the Department of Planning and Development pursuant to Section 17-13-0800 of the Chicago Zoning Ordinance and Statement No. 13 of PD #921.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The applicant proposes to construct a greenhouse and a prefabricated container farm located on the Youth Garden connected to the Gary Comer Youth Center.

The proposed greenhouse and container farm will not affect the Maximum Permitted Floor Area Ratio (FAR) of 1.9. Both structures are well below the maximum allowable building height of 20 feet for Youth Garden Storage as established in approved PD #921. Regarding the container farm, only one prefabricated container is proposed on the site.

This request for a site plan approval includes seven (7) exhibits:

- AN-0.0 Cover Sheet
- AN-0.2 Site & Landscape Plan
- A-1.0 Foundation Plan
- A-1.1 Construction Plan
- A-2.0 Reflected Ceiling Plan
- A-4.0 Container Details
- A-4.1 Greenhouse Details

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of Planned Development No. 921. Additionally, the Site Plan has been approved by the Chicago Department of Transportation (CDOT), the Chicago Fire Department (CFD), the Mayor's Office for People with Disabilities (MOPD), and Stormwater. Accordingly, this Site Plan submittal within Planned Development No. 921 is hereby approved.

If you have any questions or concerns, please contact Yangdi Wang at yangdi.wang@cityofchicago.org.

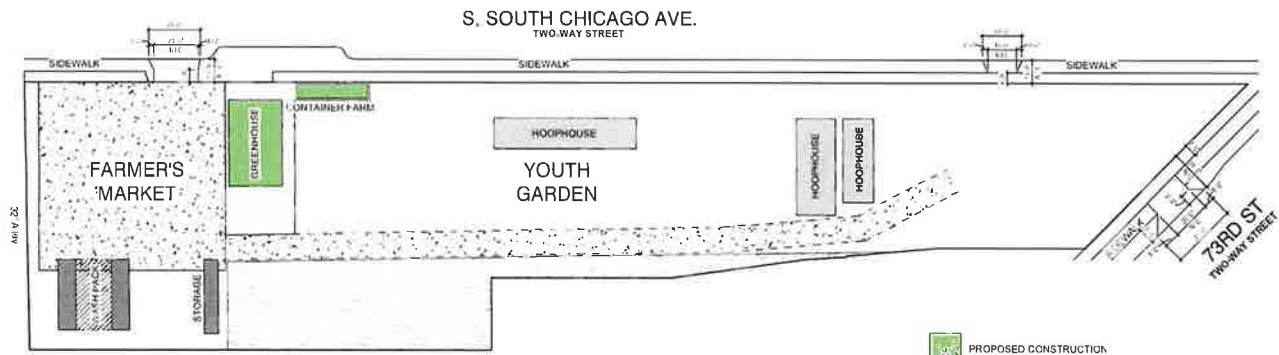
Sincerely,

A handwritten signature in black ink, appearing to read 'Patrick Murphey', with a long, sweeping horizontal line extending to the right.

Patrick Murphey
Zoning Administrator

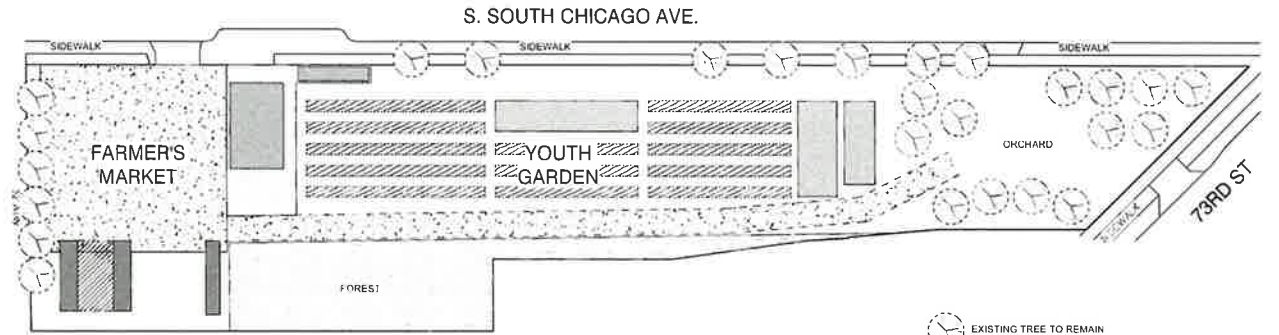
cc: Kyle Bartlett, Noah Szafraniec, Yangdi Wang, Mike Marmo, Stephen Nutt, Jancie Hill
Main File

121 NORTH LASALLE STREET, ROOM 1101, CHICAGO ILLINOIS 60602





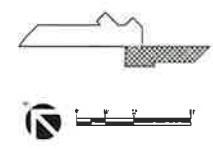
1 | SITE PLAN

 PROPOSED CONSTRUCTION
 EXISTING CONSTRUCTION TO REMAIN
 *ONLY ONE PREFABRICATED CONTAINER IS PROPOSED ON SITE




2 | LANDSCAPE PLAN

 EXISTING TREE TO REMAIN
 EXISTING FARMLAND TO REMAIN



**GARY COMER
YOUTH CENTER**

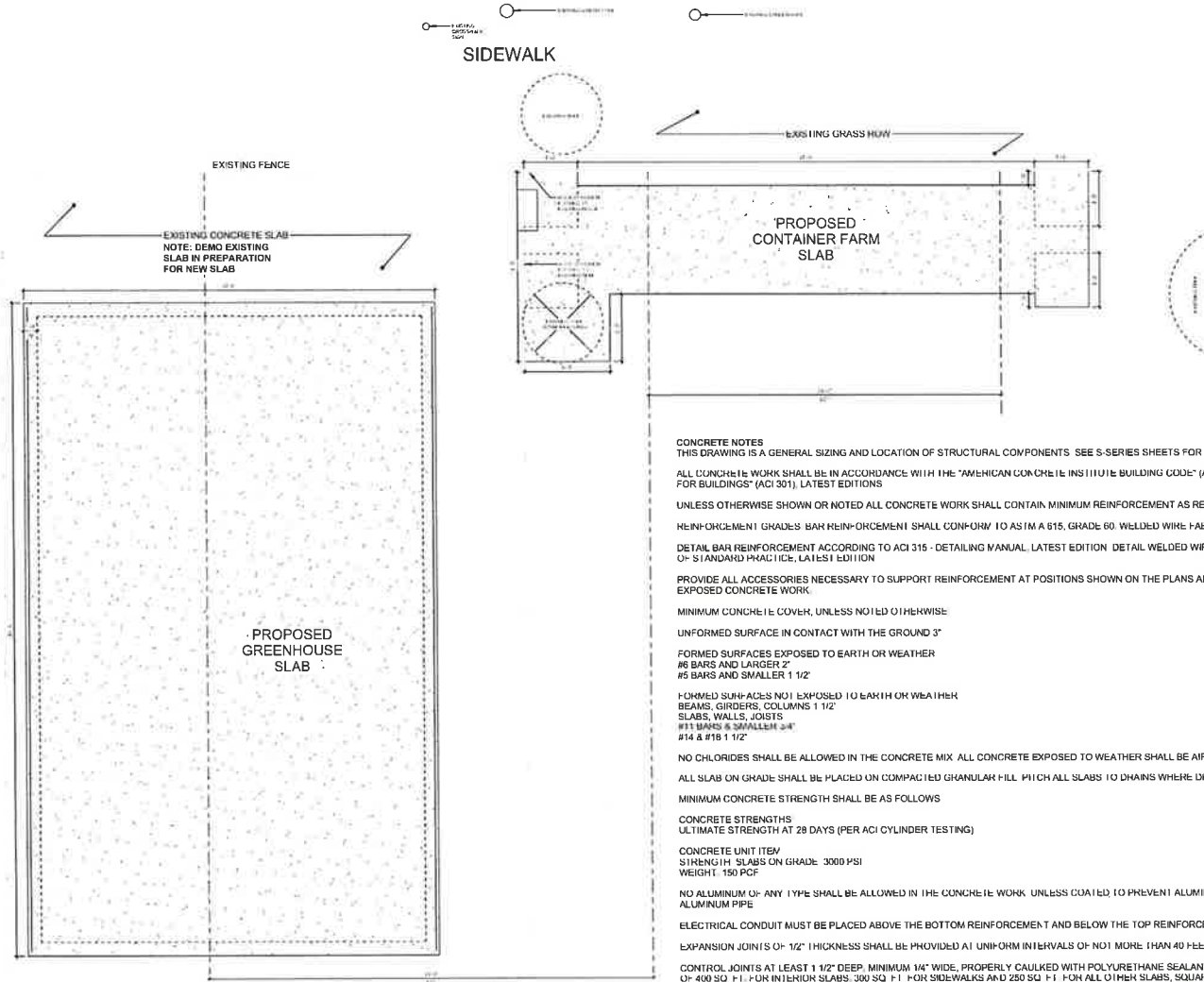
PROJECT NO. **3S** YOUR TRUSTED DESIGN PARTNER
 88 W. 35th St. Suite 121
 Waukegan, IL 60059
 (815) 446-3337

ISSUES | REVISIONS:
 # ISSUE # DATE # DESCRIPTION
 # 2025 03 08 ISSUE FOR CITY COMPLETIONS
 2025 01 16 ISSUE FOR CITY REVIEW

PROJECT NAME
**GCYC URBAN FARM
INSTALLATION**
 # SITE ADDRESS:
**7230 S. SOUTH CHICAGO
AVE., CHICAGO, IL, 60619**
 # SHEET NAME
**SITE & LANDSCAPE
PLAN**
 # SHEET NUMBER
AN-0.2
 # DRAWN BY: AUSTIN # PROJECT

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 x 

S. SOUTH CHICAGO AVE.

NOTE: REDISTRIBUTE ALL EXCAVATED TOPSOIL TO XXX PRIOR TO NEW CONCRETE WORKS



CONCRETE NOTES
 THIS DRAWING IS A GENERAL SIZING AND LOCATION OF STRUCTURAL COMPONENTS. SEE S-SERIES SHEETS FOR DETAILS OF CONSTRUCTION. GC TO COORDINATE IN FIELD.

ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDING CODE" (ACI 318) AND WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), LATEST EDITIONS.

UNLESS OTHERWISE SHOWN OR NOTED ALL CONCRETE WORK SHALL CONTAIN MINIMUM REINFORCEMENT AS REQUIRED BY ACI 318.

REINFORCEMENT GRADES: BAR REINFORCEMENT SHALL CONFORM TO ASTM A 615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185.

DETAIL BAR REINFORCEMENT ACCORDING TO ACI 315 - DETAILING MANUAL, LATEST EDITION. DETAIL WELDED WIRE FABRIC IN ACCORDANCE WITH THE WELDED WIRE FABRIC MANUAL OF STANDARD PRACTICE, LATEST EDITION.

PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT AT POSITIONS SHOWN ON THE PLANS AND DETAILS. PLASTIC COATED ACCESSORIES SHALL BE USED IN ALL EXPOSED CONCRETE WORK.

MINIMUM CONCRETE COVER, UNLESS NOTED OTHERWISE:
 UNFORMED SURFACE IN CONTACT WITH THE GROUND: 3"

FORMED SURFACES EXPOSED TO EARTH OR WEATHER:
 #6 BARS AND LARGER: 2"
 #5 BARS AND SMALLER: 1 1/2"

FORMED SURFACES NOT EXPOSED TO EARTH OR WEATHER:
 BEAMS, GIRDERS, COLUMNS: 1 1/2"
 SLABS, WALLS, JOISTS:
 #11 BARS & SMALLER: 3/4"
 #14 & #18: 1 1/2"

NO CHLORIDES SHALL BE ALLOWED IN THE CONCRETE MIX. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED CONCRETE (SEE SPECIFICATIONS).

ALL SLAB ON GRADE SHALL BE PLACED ON COMPACTED GRANULAR FILL. PITCH ALL SLABS TO DRAINS WHERE DRAINS ARE INDICATED WITH 1% REDUCING THE THICKNESS OF SLAB.

MINIMUM CONCRETE STRENGTH SHALL BE AS FOLLOWS:

CONCRETE STRENGTHS
 ULTIMATE STRENGTH AT 28 DAYS (PER ACI CYLINDER TESTING)

CONCRETE UNIT ITEM
 STRENGTH SLABS ON GRADE: 3000 PSI
 WEIGHT: 150 PCF

NO ALUMINUM OF ANY TYPE SHALL BE ALLOWED IN THE CONCRETE WORK UNLESS COATED TO PREVENT ALUMINUM CONCRETE REACTION. THIS INCLUDES PUMPING THROUGH ALUMINUM PIPE.

ELECTRICAL CONDUIT MUST BE PLACED ABOVE THE BOTTOM REINFORCEMENT AND BELOW THE TOP REINFORCEMENT.

EXPANSION JOINTS OF 1/2" THICKNESS SHALL BE PROVIDED AT UNIFORM INTERVALS OF NOT MORE THAN 40 FEET AND WHERE CONCRETE ABUTS DIFFERING ELEMENTS.

CONTROL JOINTS AT LEAST 1 1/2" DEEP, MINIMUM 1/4" WIDE, PROPERLY CAULKED WITH POLYURETHANE SEALANT, SHALL BE PROVIDED TO LIMIT AREAS OF CONCRETE TO A MAXIMUM OF 400 SQ. FT. FOR INTERIOR SLABS; 300 SQ. FT. FOR SIDEWALKS AND 250 SQ. FT. FOR ALL OTHER SLABS, SQUARE AS FAR AS FEASIBLE.

FINISHES:
 CF-1: TROWELED SMOOTH FINISH
 CF-2: BROOMED FINISH

1 | SLAB PLAN

GARY COMER
 YOUTH CENTER



ISSUES | REVISIONS:

• ISSUE: • DATE: • REVISION:

7/25/2021 08:00:00 AM

GCYC URBAN FARM
 INSTALLATION

SITE | ADDRESS
 7230 S. SOUTH CHICAGO
 AVE. CHICAGO, IL, 60619

SHEET NAME:

FOUNDATION PLAN

SHEET NUMBER:

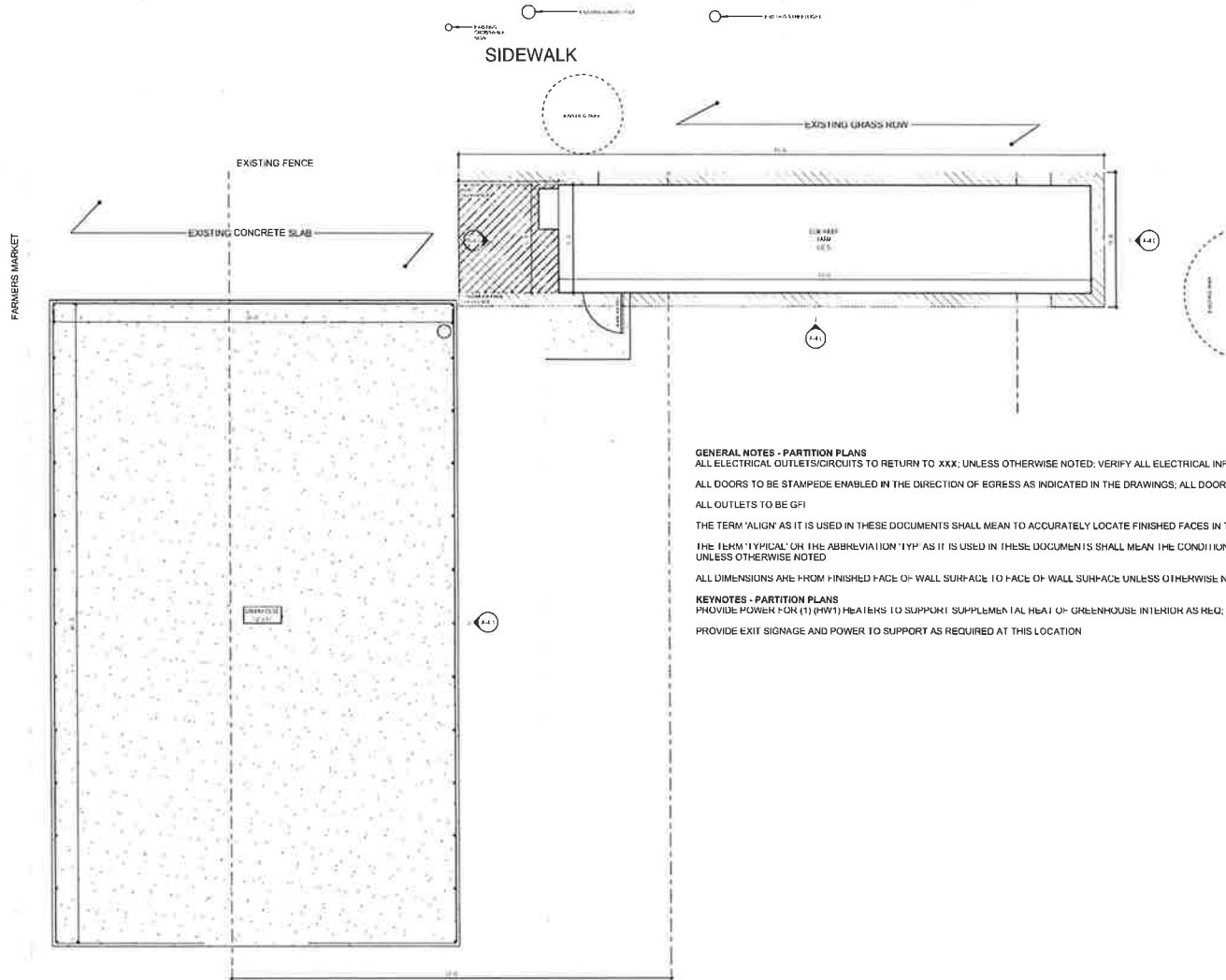
A-1.0

DRAWN BY: JAL PROJECT:

8/27/2021 08:00:00 AM



S. SOUTH CHICAGO AVE.



GENERAL NOTES - PARTITION PLANS

ALL ELECTRICAL OUTLETS/CIRCUITS TO RETURN TO XXX; UNLESS OTHERWISE NOTED; VERIFY ALL ELECTRICAL INFO WITH ELECTRICAL PACKET
 ALL DOORS TO BE STAMPEDE ENABLED IN THE DIRECTION OF EGRESS AS INDICATED IN THE DRAWINGS; ALL DOORS TO BE PROVIDED BY MANUF
 ALL OUTLETS TO BE GFI

THE TERM 'ALIGN' AS IT IS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE

THE TERM 'TYPICAL' OR THE ABBREVIATION 'TYP' AS IT IS USED IN THESE DOCUMENTS SHALL MEAN THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED

ALL DIMENSIONS ARE FROM FINISHED FACE OF WALL SURFACE TO FACE OF WALL SURFACE UNLESS OTHERWISE NOTED

KEYNOTES - PARTITION PLANS

PROVIDE POWER FOR (1) (HW1) HEATERS TO SUPPORT SUPPLEMENTAL HEAT OF GREENHOUSE INTERIOR AS REQ; POWER TO BE MOUNTED TO FACE OF NEARBY WALL
 PROVIDE EXIT SIGNAGE AND POWER TO SUPPORT AS REQUIRED AT THIS LOCATION

1 CONSTRUCTION PLAN



**GARY COMER
 YOUTH CENTER**

3S YOUR TRUSTED
 DESIGN PARTNER

30 WEST PULASKI
 2ND FLOOR, SUITE 107
 CHICAGO, IL 60604
 (312) 468-2377



ISSUES | REVISIONS:

ISSUE DATE DESCRIPTION

2023 08 18 12:50:00 PM GARY COMER

CLIENT
 GCYC URBAN FARM
 INSTALLATION

SITE ADDRESS
 7230 S. SOUTH CHICAGO
 AVE. CHICAGO, IL, 60619

SHEET NAME
 CONSTRUCTION
 PLAN

SHEET NUMBER
A-1.1

DRAWN BY JCL **PROJECT**

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**GARY COMER
YOUTH CENTER**

3S YOUR TRUSTED
DESIGN PARTNER

3S A/E/C/PM/LLC
27475 Perry Road Suite 121
Westerville, OH 43081
(614) 446-3327



ISSUES | REVISIONS:

ISSUE # DATE # DESCRIPTION

1 2/27/24 18 ISSUED FOR CLIENT REVIEW

**GVCY URBAN FARM
INSTALLATION**

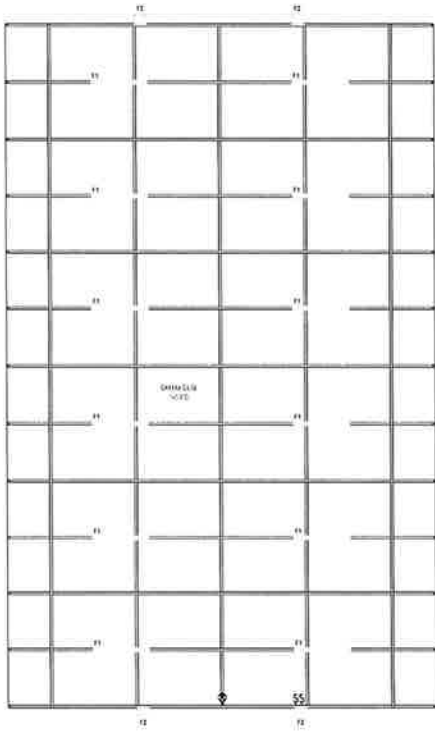
SITE | ADDRESS
7230 S. SOUTH CHICAGO
AVE, CHICAGO, IL, 60619

SHEET NAME
**REFLECTED CEILING
PLAN**

SHEET NUMBER
A-2.0

DRAWN BY: JAL # PROJECT

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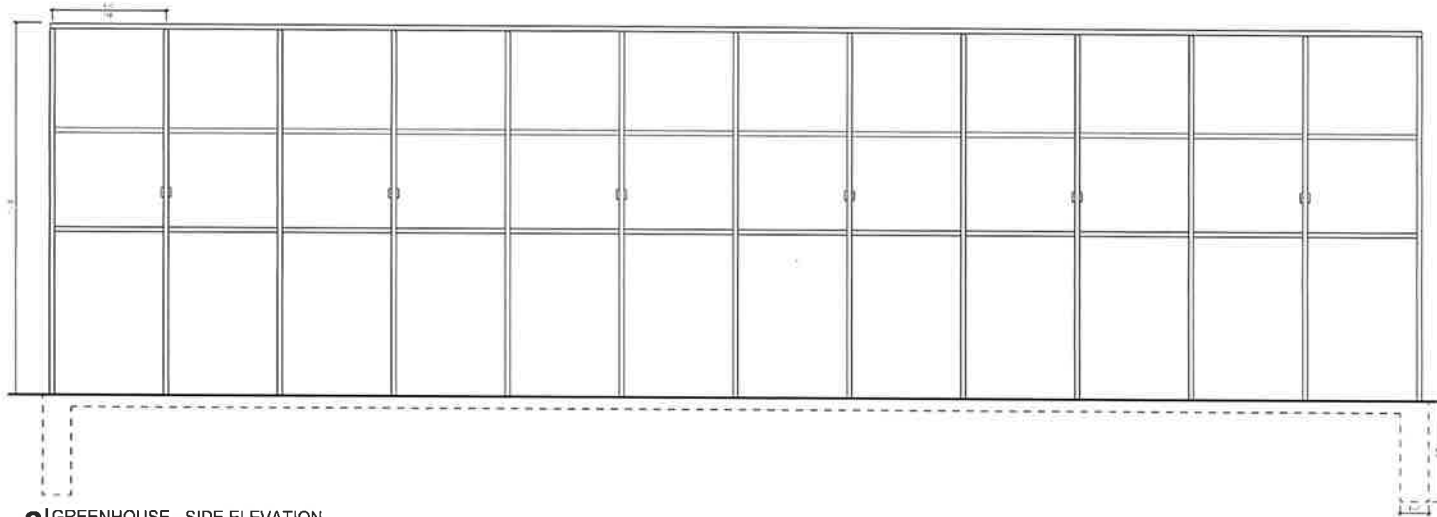
- GENERAL NOTES**
- A. THIS DRAWING INDICATES THE LOCATION OF LIGHT FIXTURES, SWITCHES AND MISCELLANEOUS CEILING ITEMS
 - B. PROVIDE EXIT SIGNS, LIFE SAFETY DEVICES AND EMERGENCY LIGHT FIXTURES AS REQUIRED BY LOCAL CODE. THE NUMBER AND LOCATION OF ALL EXIT SIGNS AND LIFE SAFETY DEVICES IS TO BE APPROVED BY LOCAL FIRE OFFICIALS PRIOR TO HOUGH IN. SALVAGE AND REUSE EXISTING WHERE APPLICABLE
 - C. ALL FIXTURES TO BE FITTED WITH THE SAME TEMPERATURE BULBS THROUGHOUT - 3500K
 - D. ALL SWITCHES TO INCLUDE OCCUPANCY SENSORS

- F1 LIGHTING FIXTURES
LINEAR LIGHT - GREENHOUSE INTERIOR
LED BULB
PACO LIGHTING - PUAC D-4F
48" CYLINDER
4,000 LUMENS
NOTE: BOTTOM OF FIXTURE TO BE INSTALLED AT 7'-6" AFF.
FIXTURE MUST BE MOUNTABLE TO 2" HORIZONTAL METAL POLE
- F2 WALL PACK - GREENHOUSE EXTERIOR
LED BULB
LITHONIA LIGHTING - WPX2 LEC
PACK LIGHT
NOTE: BOTTOM OF FIXTURE TO BE INSTALLED AT 9'-0" AFF.
FIXTURE MUST BE MOUNTABLE TO 2" POLE

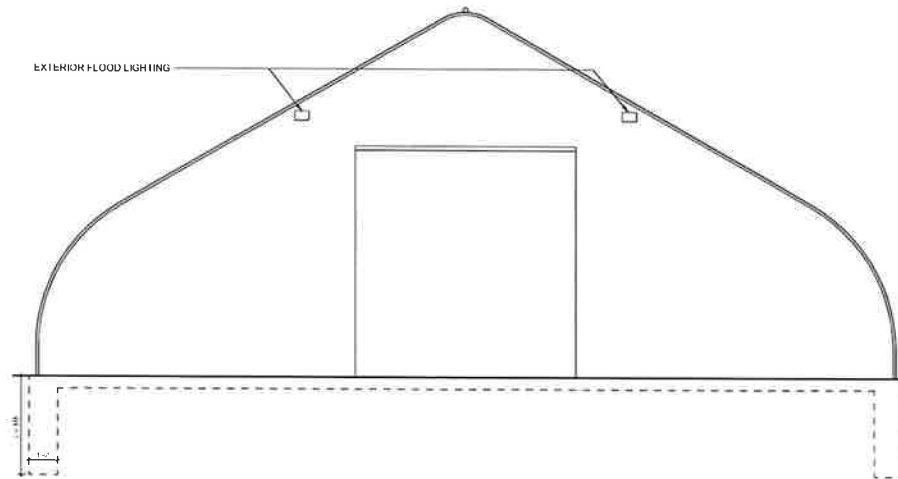
LEGEND

- NEW SWITCH
- EXIT SIGN

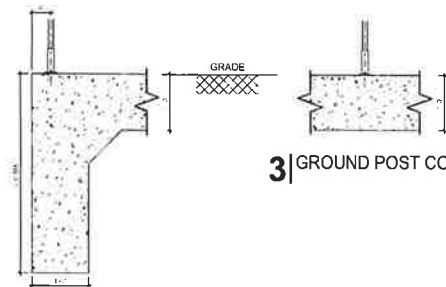
1 | REFLECTED CEILING PLAN



2 | GREENHOUSE - SIDE ELEVATION



1 | GREENHOUSE - FRONT ELEVATION



4 | SLAB FOOTING DETAIL

3 | GROUND POST CONNECTION

GARY COMER
YOUTH CENTER

3S YOUR TRUSTED DESIGN PARTNER
 2825 S. 111th St. #111
 Homewood, IL 60655
 (708) 444-3327

SEAL
 SEAMUS LUCAS
 001 022999
 10.12.2025

ISSUES | REVISIONS:

• REVISION 1 DATE DESCRIPTION

CLIENT: GCYC URBAN FARM INSTALLATION
 SITE ADDRESS: 7230 S. SOUTH CHICAGO AVE. CHICAGO, IL, 60619
 SHEET NAME: GREENHOUSE DETAILS
 SHEET NUMBER: A-4.1
 DRAWN BY: JPL PROJECT

LAB CONSULTING

16991

~~Reclassification Of Area Shown On Map No. 17-O.
(Application No. 17210)
(Common Address: 6405 N. Avondale Ave.
And 7292 W. Devon Ave.)~~

[O2011-762]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the M1-1 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 17-O in the area bounded by:

the alley next north of and parallel to West Devon Avenue; a line 49.94 feet east of the intersection of North Avondale Avenue and West Devon Avenue, as measured along the north right-of-way line of West Devon Avenue and perpendicular thereto; West Devon Avenue; and North Avondale Avenue,

to those of a B1-1 Neighborhood Shopping District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification Of Area Shown On Map No. 18-D.
(As Amended)
(Application No. 16991)
(Common Address: 7101 -- 7149 S. South Chicago Ave.,
7200 S. Ingleside Ave., 7137 -- 7139 S. Drexel Ave.,
And 7230 -- 7296 S. South Chicago Ave.)*

IPD 921,99

[SO2011-3582]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 18-D in the area bounded by:

the alley next northwest of East 73rd Street and perpendicular to South South Chicago Avenue; South South Chicago Avenue; East 73rd Street; the northeasterly property line of the Norfolk Southern Railroad; a line 425.39 feet northwest of the intersection of South South Chicago Avenue and East 73rd Street, as measured along the southwest right-of-way of South South Chicago Avenue and perpendicular thereto; and a line

150 feet southwest of and parallel to South South Chicago Avenue (or the northeast right-of-way line of the Norfolk Southern Railroad);

to those of a C1-2 Neighborhood Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 2. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the RS3 Single-Unit (Detached House) District symbols and indications as shown on Map Number 18-D in the area bounded by:

a line 361.50 feet south of and parallel to East 71st Street; the alley next west of and parallel to South Ingleside Avenue; the alley next south of and parallel to East 71st Street; and South Drexel Avenue;

to those of a C1-2 Neighborhood Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 3. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the C1-2 Neighborhood Commercial District and Institutional Planned Development Number 921 District symbols and indications as shown on Map Number 18-D in the area bounded by:

East 71st Street; the alley next northeast of and parallel to South South Chicago Avenue; South Drexel Avenue or the line thereof if extended where no street exists; a line 361.50 feet south of and parallel to East 71st Street; the alley next west of and parallel to South Ingleside Avenue; the alley next northeast of and parallel to South South Chicago Avenue; the alley next south of and parallel to East 71st Street; South Ingleside Avenue; South South Chicago Avenue; East 73rd Street; the northeasterly property line of the Norfolk Southern Railroad; a line 425.39 feet northwest of the intersection of South South Chicago Avenue and East 73rd Street, as measured along the southwest right-of-way line of South South Chicago Avenue and perpendicular thereto; a line 150 feet southwest of and parallel to South South Chicago Avenue (or the northeast right-of-way line of the Norfolk Southern Railroad); the alley next northwest of East 73rd Street and perpendicular to South South Chicago Avenue; and South South Chicago Avenue;

to those of an Institutional Planned Development Number 921, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in this Plan of Development herewith attached and made a part and to no others.

SECTION 4. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development No. 921, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 921, as amended, consists of approximately 219,197 square feet of net site area or 5.03 acres and is owned or controlled by the applicant, the Comer Science and Education Foundation, an Illinois not-for-profit corporation ("CSEF") which owns and/or controls the Gary Comer Youth Center ("GCYC, LLC"), the Gary Comer College Prep High School ("GCCP, LLC"), the Youth Garden, and Office Annex.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of rights-of-way, or consolidation or resubdivision of parcels, including but not limited to revision or amendments shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees and approved by the City Council.
3. The requirements, obligations and conditions contained within this amended planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders or any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant, then to the owner of record title to all of the property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors. Any agreements among property owners, the board of directors or members of any property owners association, or covenant binding property owners, may designate an authorized party for any future amendment, modification or change.
4. This plan of development consists of these seventeen (17) statements and the following Exhibits: a Bulk Regulations and Data Table; an existing Zoning Map; an existing Land-Use Map; a Planned Development Boundary Line and Right-of-Way Adjustment Map; a Site Plan; Landscape Plan; Student Drop-Off Plan; a Green Roof Plan; and Building Elevations dated March 17, 2011, prepared by John Ronan Architects. Full size copies of the Site Plan, Landscape Plan, and Exterior Elevations are on file with the Department of Housing and Economic Development ("DHED"). The planned development is applicable to the area delineated herein and these and no other zoning

controls shall apply. In any instance where a provision of this planned development conflicts with the Chicago Building Code, the Building Code shall apply.

5. The following uses shall be permitted within the area delineated herein as an "Institutional Planned Development Number 921, as amended" as follows: educational, recreation buildings, community center, green houses, hoop houses, farmers market, accessory parking and loading and other accessory and related uses.

Wind Turbines (maximum height of 55 feet) and solar panels shall be deemed as accessory uses for the Youth Garden site (7230 -- 7296 South South Chicago Avenue), as shown on the attached Site Plan.

6. On-premises signs and temporary signs such as construction and identification signs shall be permitted within the planned development subject to the review and approval of the Department of Housing and Economic Development. Off-premises signs are prohibited within the boundary of the planned development.
7. Ingress and egress shall be subject to the review and approval of the Chicago Department of Transportation ("CDOT"). Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the CDOT. All work proposed in the public way must be designed and constructed in accordance with the CDOT's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

Prior to the issuance of any Part II approval required for the Youth Garden or future Youth Center Office Annex, the applicant will construct the raised pedestrian median in South Chicago Avenue at Ingleside to CDOT standards. An approval letter from CDOT must be provided to the Commissioner of DHED prior to Part II approval.

8. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building or any appurtenance attached hereto shall not exceed the height established in the Bulk Regulations and Data Table and Building Elevations as measured by the Chicago Zoning Ordinance and shall be subject to the height limitations established by the Federal Aviation Administration.
9. The maximum permitted floor area ratio for the parcel shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor area ratio calculations and floor area measurements, the definitions of the Zoning Ordinance shall apply.
10. The applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.

11. The improvements on the property, including the on-site exterior landscaping and the landscaping along the adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the attached Site Plan, Building Elevations and Landscape/Green Roof Plans. In addition, parkway trees shall be installed and maintained in accordance with the parkway tree planting provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines where compatible with the Landscape Plan.
12. The terms, conditions and exhibits of this the planned development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors or designated authorized party as provided in Statement Number 3 above.
13. The Office Annex and additional buildings to be located within the Youth Garden as identified on the site plan have not been fully designed as of the date of this planned development. Site plans, landscape plans and building elevations will be submitted to DHED pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance for Site Plan Approval and Part II Approval prior to construction of these new buildings. Site Plan and Part II Approval is intended to assure that the specific components of these new buildings substantially conform to the character of this planned development. DHED shall retain copies of the approved Site and Landscape Plans and Building Elevations on permanent file at the department and they shall be deemed to be an integral part of this planned development. Site and Landscape Plans and Building Elevations may be changed or modified pursuant to the provisions of Statement Number 12 above.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that provides healthier environments, reduces operating costs and conserves energy and resources. The Gary Comer College Prep High School Building shall be Leadership Energy and Environmental Design ("LEED") Green Building Rating System Certified. The applicant shall design, construct and maintain the high school in an energy efficient manner generally consistent with the Leadership in Energy and Environmental Design.

The applicant shall also provide vegetated ("green") roof totaling 33 percent of the net roof area of all buildings combined in the planned development. The green roof on the Gary Comer Youth Center is 7,588 square feet or 20.85 percent of the green roof area. The green roof on the Gary Comer College Prep High School will be 11,438 square feet or 50 percent of the green roof area. The green roof area of the future Office Annex Building shall be 50 percent of the net roof area.

15. The City of Chicago established a Part II Review Fee in the amount of \$0.25 per square foot for the total buildable square footage (floor area ratio). The Part II Review Fee is

16991

assessed by DHED during the actual Part II Review. The fee as determined by DHED staff at that time is final and binding on the applicant and must be paid to DHED prior to the issuance of Part II Approval.

16. The applicant acknowledges that is in the public interest to design, construct and maintain the project in a manner which promotes and enables universal access throughout the property. Plans for all future improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
17. Unless substantial construction of the improvements contemplated herein within this planned development has commenced within six (6) years following adoption of this amended planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert back to its prior zoning of C1-2 Neighborhood Commercial District classification. The six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Housing and Economic Development determines that good cause for an extension is shown.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary Line and Right-of-Way Adjustment Map; Site Plan; Student Drop-Off Plan; Landscape Plan; Green Roof Plan; Building Elevations; and Chicago Builds Green Form referred to in these Plan of Development Statements printed on pages 115895 through 115912 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional Planned Development No. 921, As Amended.

Bulk Regulations And Data Table.

Gross Site Area:	347,862 square feet/7.99 acres
Public Rights-of-Way:	128,665 square feet/2.95 acres
Net Site Area:	219,197 square feet/5.03 acres

Maximum Permitted Floor**Area Ratio:** 1.9

74,269 square feet -- Gary Comer Youth Center]	
]	
44,797 square feet -- Gary Comer College Prep]	As Built
]	
1,320 square feet -- Youth Garden Hoop House]	

Permitted Uses:

Uses and related uses as listed in Statement Number 5 of this application.

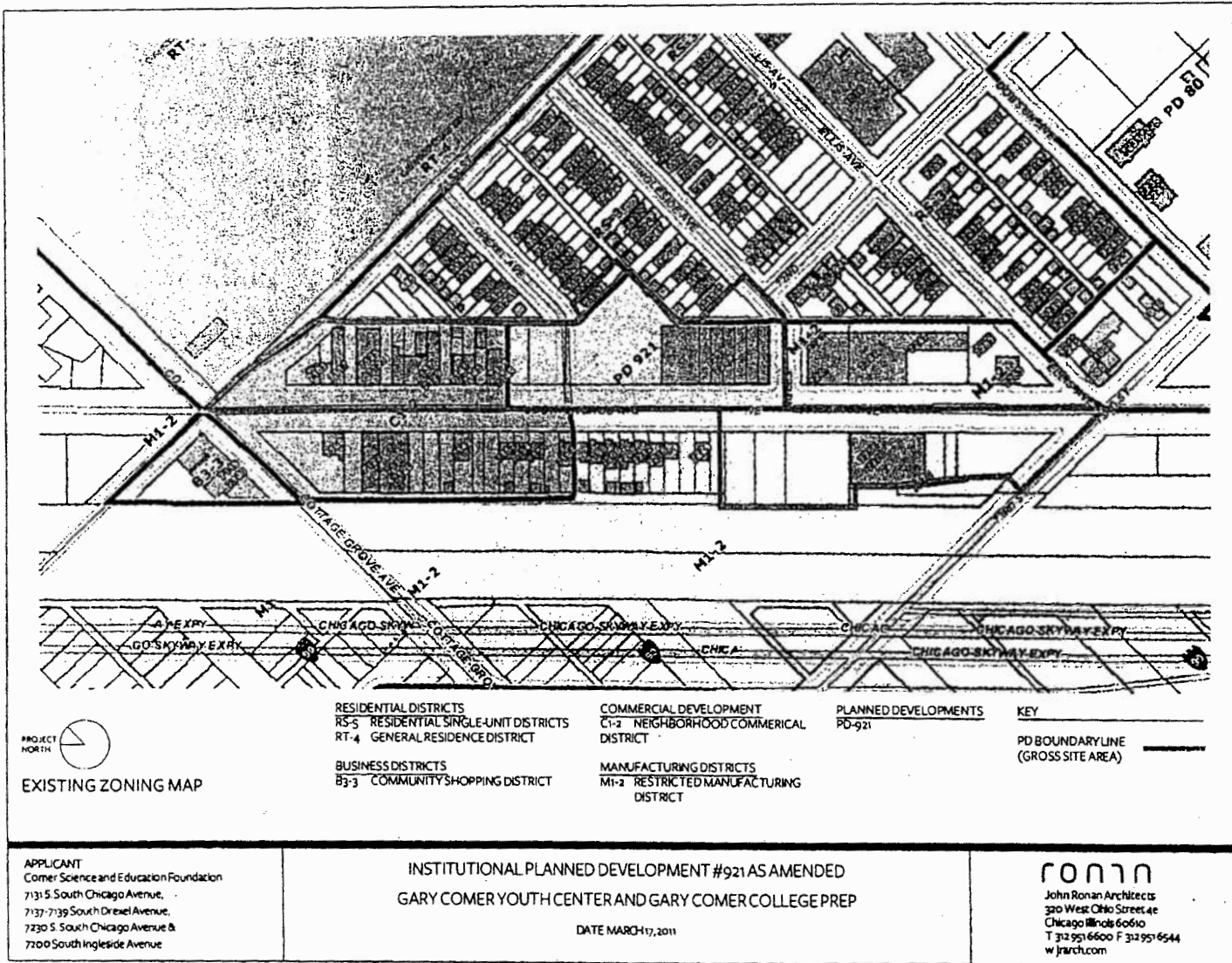
Minimum Number of Off-Street**Parking Spaces:** 109 total, including 6 accessible**Minimum Number of Off-Street****Loading Spaces:** 2 at 10 feet x 25 feet**Minimum Number of Bicycle****Spaces:** 40**Minimum Building Setbacks:**

In accordance with site plan in this application

Maximum Building Height:

80 feet -- Gary Comer Youth Center]	
]	
45 feet -- Gary Comer College Prep]	As Built
]	
20 feet -- Youth Garden Hoop House]	
]	
40 feet -- Office Annex]	As measured by
]	the Chicago
20 feet -- Youth Garden Storage]	Ordinance

Existing Zoning Map.

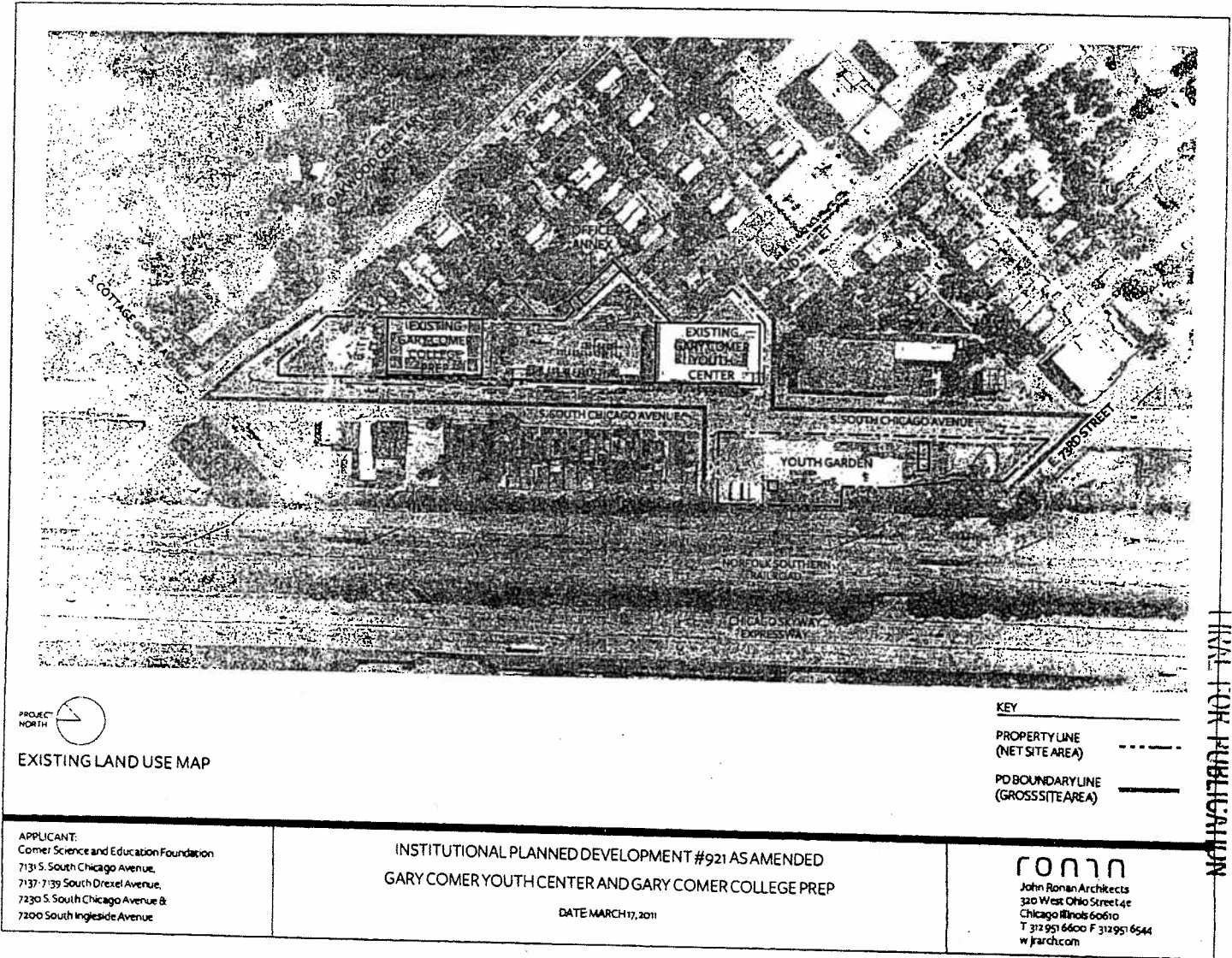


115896

JOURNAL-CITY CCUNCIL--CHICAGO

4/18/2011

Existing Land-Use Map.



FINAL FOR PUBLICATION

PROJECT NORTH 
 EXISTING LAND USE MAP

APPLICANT:
 Comer Science and Education Foundation
 7131 S. South Chicago Avenue,
 7137-7139 South Drexel Avenue,
 7230 S. South Chicago Avenue &
 7200 South Ingleside Avenue

INSTITUTIONAL PLANNED DEVELOPMENT #921 AS AMENDED
 GARY COMER YOUTH CENTER AND GARY COMER COLLEGE PREP

DATE MARCH 17, 2011

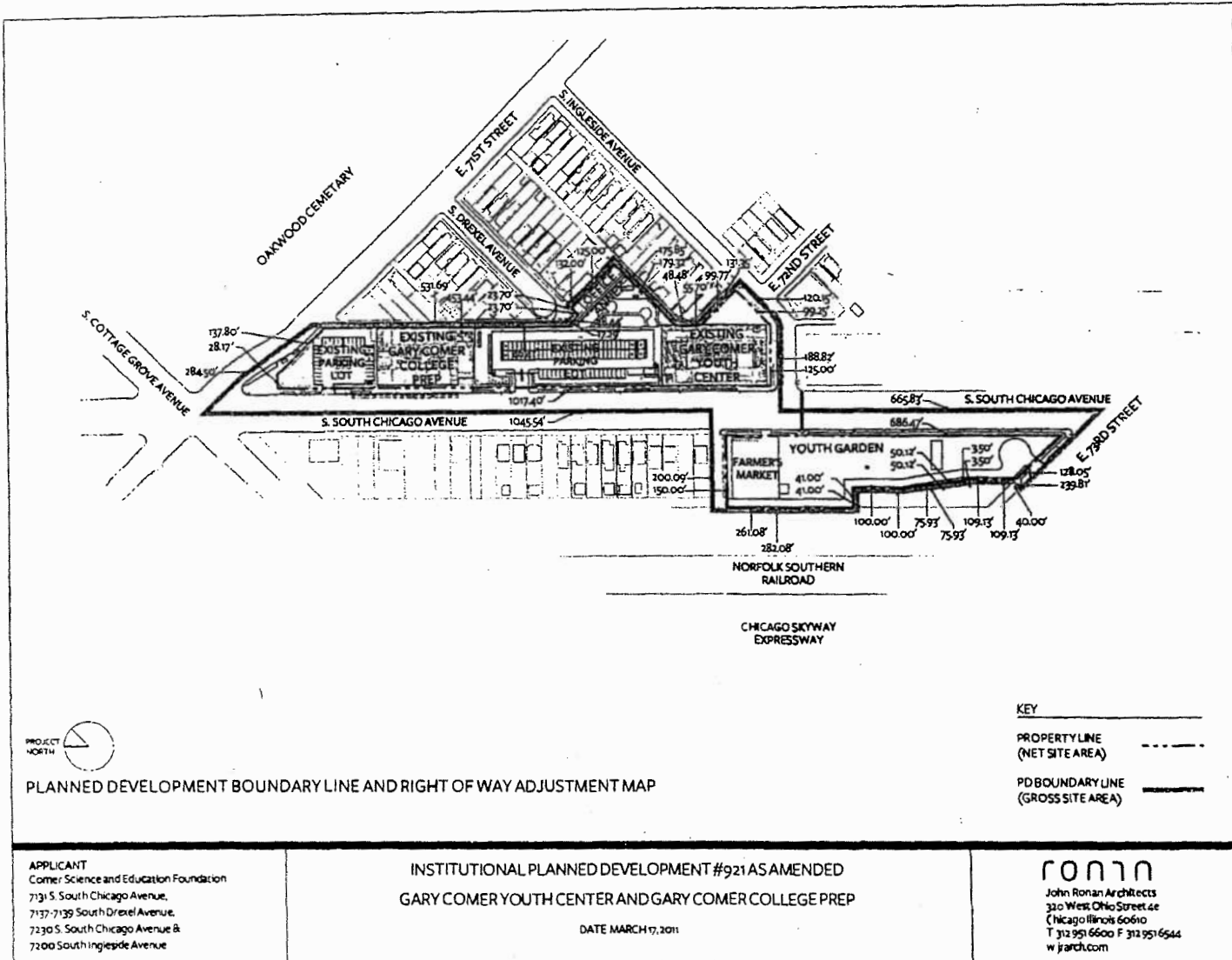
ronan
 John Roman Architects
 320 West Ohio Street 4th
 Chicago Illinois 60610
 T 312 951 6600 F 312 951 6544
 w jrarch.com

4/13/2011

REPORTS OF COMMITTEES

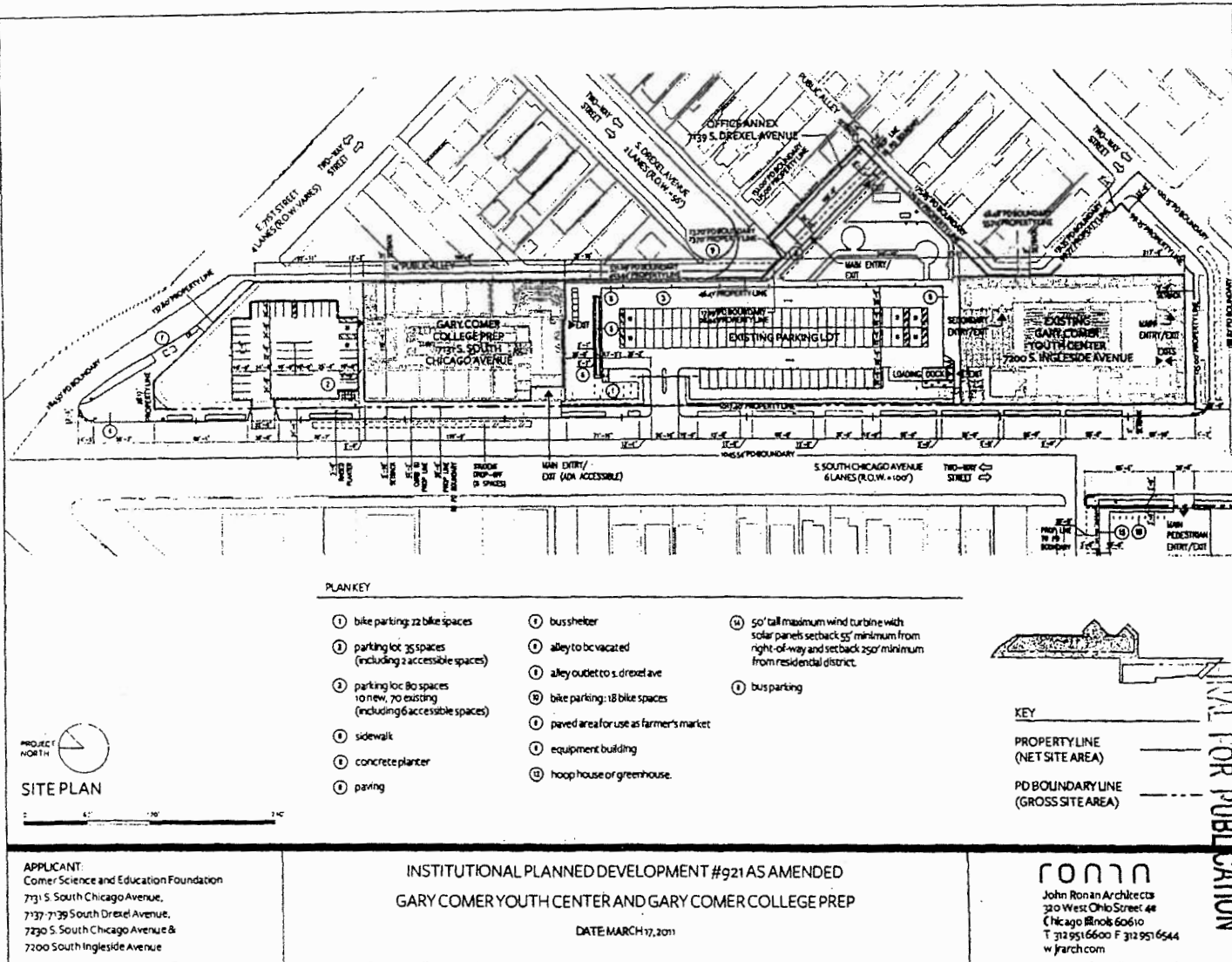
115897

Planned Development Boundary Line And
Right-Of-Way Adjustment Map.



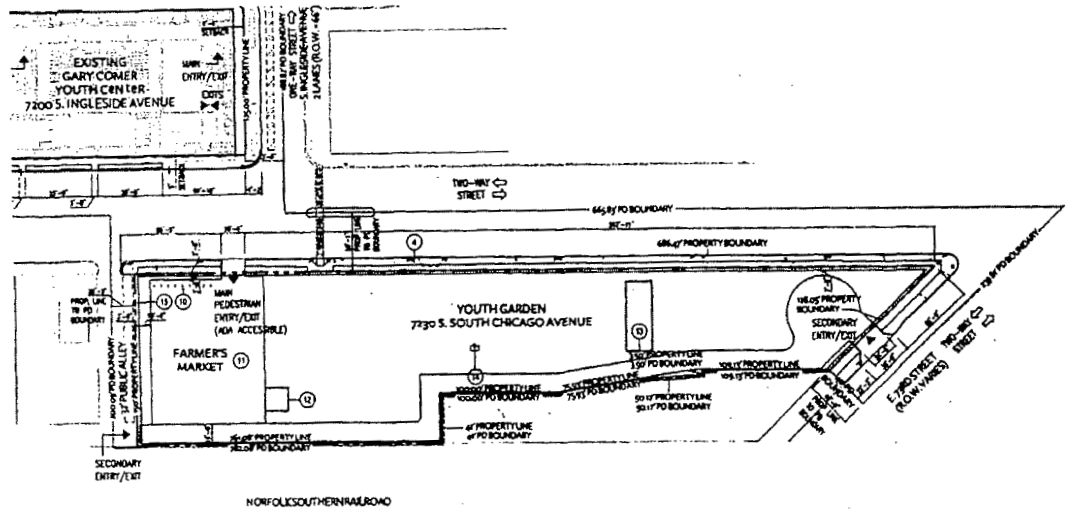
Site Plan.

(Page 1 of 2)



Site Plan.

(Page 2 of 2)



NORFOLK SOUTHERN RAILROAD

PLAN KEY

- Ⓚ bike parking: 32 bike spaces
- Ⓛ parking lot: 35 spaces (including 2 accessible spaces)
- Ⓜ parking lot: 80 spaces (10 new, 70 existing) (including 6 accessible spaces)
- Ⓝ sidewalk
- Ⓞ concrete planter
- Ⓟ paving
- Ⓠ bus shelter
- Ⓡ alley to be vacated
- Ⓢ alley outlet to s. drexel ave
- Ⓣ bike parking: 18 bike spaces
- Ⓤ paved area for use as farmer's market
- Ⓥ equipment building
- Ⓦ hoop house or greenhouse
- Ⓧ 50' tall maximum wind turbine with solar panels setback 55' minimum from right-of-way and setback 250' minimum from residential district
- Ⓨ bus parking



KEY

- PROPERTY LINE (NET SITE AREA) ———
- PD BOUNDARY LINE (GROSS SITE AREA) - - - - -



PROJECT NORTH

SITE PLAN

APPLICANT:
Comer Science and Education Foundation
7131 S. South Chicago Avenue,
7137-7139 South Drexel Avenue,
7230 S. South Chicago Avenue &
7200 South Ingleside Avenue

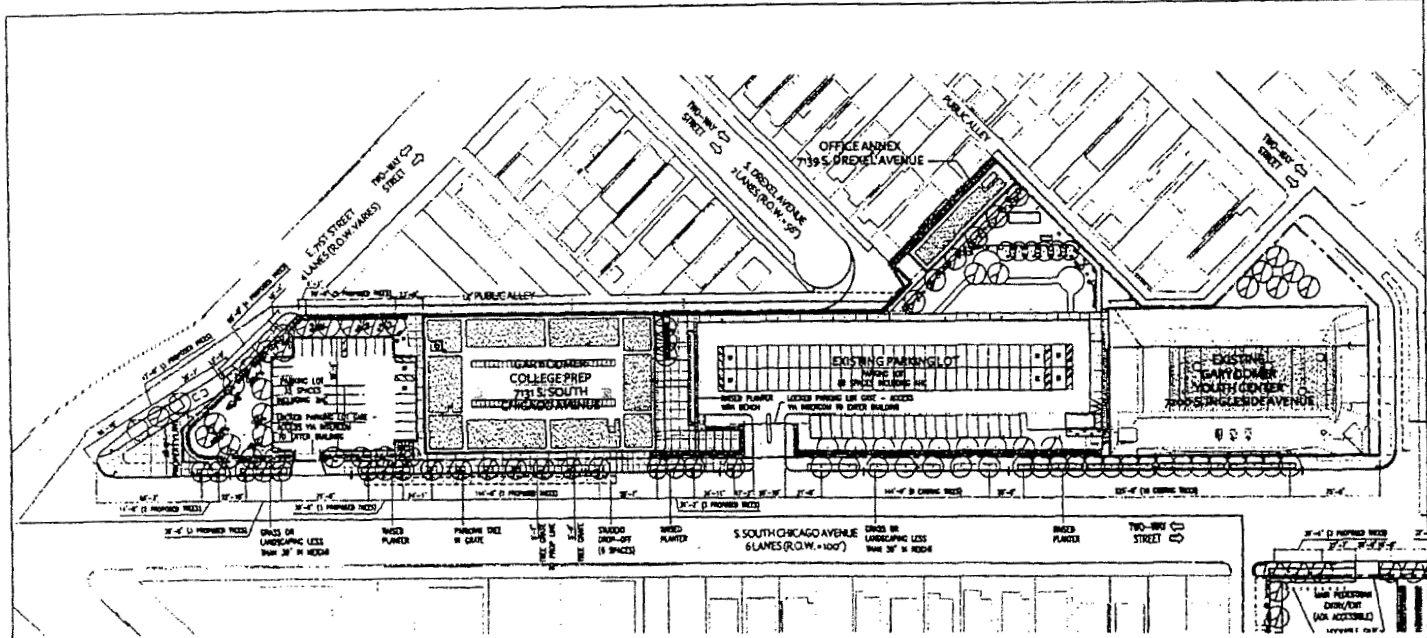
INSTITUTIONAL PLANNED DEVELOPMENT #921 AS AMENDED
GARY COMER YOUTH CENTER AND GARY COMER COLLEGE PREP

DATE: MARCH 17, 2011

ronan
John Ronan Architects
320 West Ohio Street 4E
Chicago Illinois 60610
T 312 951 6600 F 312 951 6544
www.jronan.com

Landscape Plan.

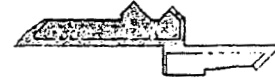
(Page 1 of 2)



LANDSCAPE KEY

- proposed tree: mature height over 30', installation size 2 1/2" caliper or larger
- proposed tree in grate, or protected by (2) bollards planted in 30" of structural soil
- fruit tree (apple, crabapple, cherry or plum)
- existing tree to remain
- proposed planting border, including groundcover, native/adaptative perennial planting and shrubs
- green roof

Note:
Proposed trees in parkway require installation in 30" of constructed soil per Chicago Landscape Ordinance



KEY

- PROPERTY LINE (NET SITE AREA)
- PO BOUNDARY LINE (GROSS SITE AREA)



LANDSCAPE PLAN



APPLICANT:
Comer Science and Education Foundation
7131 S. South Chicago Avenue,
7137-7139 South Drexel Avenue,
7230 S. South Chicago Avenue &
7200 South Ingleside Avenue.

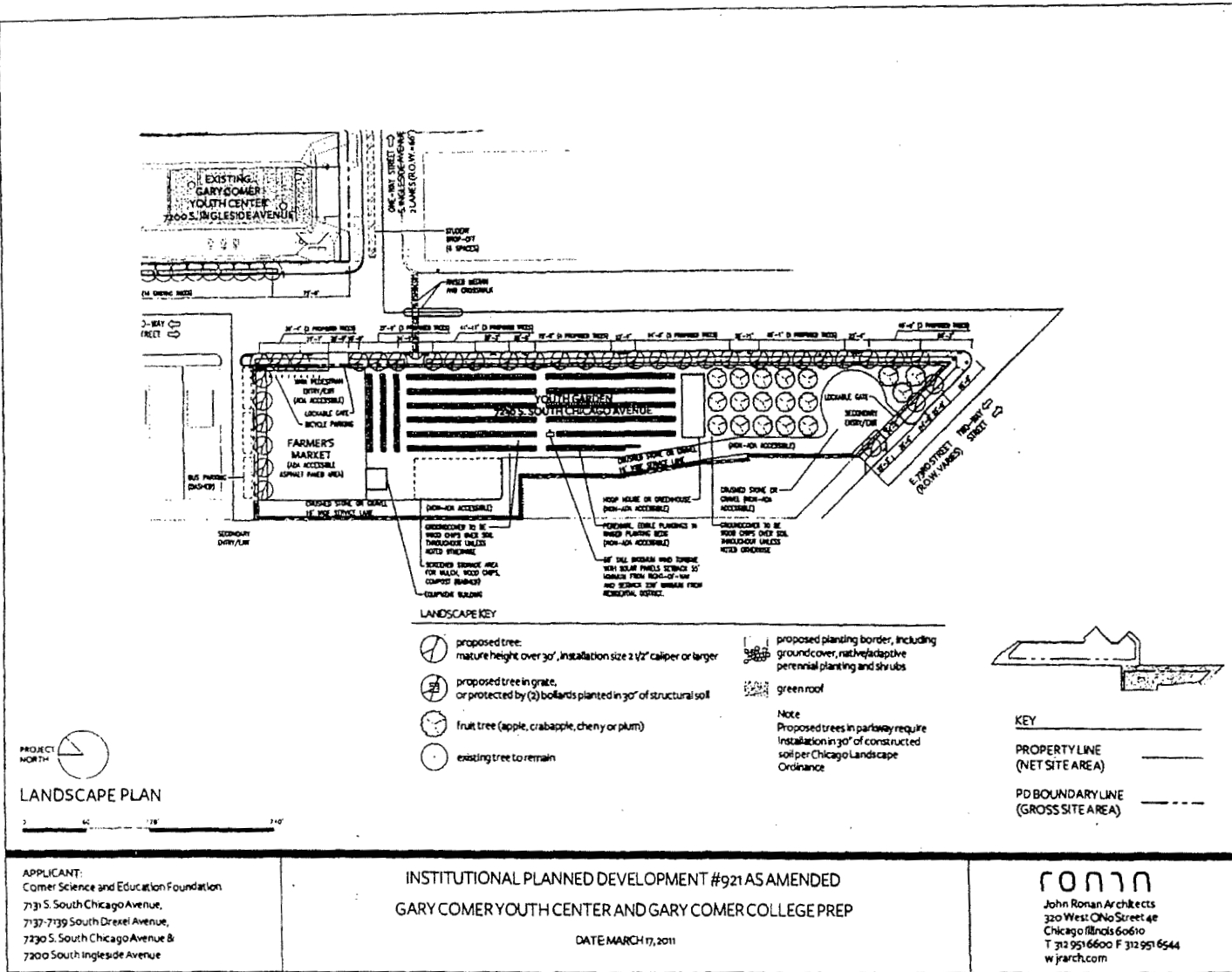
INSTITUTIONAL PLANNED DEVELOPMENT #921 AS AMENDED
GARY COMER YOUTH CENTER AND GARY COMER COLLEGE PREP

DATE: MARCH 17, 2011

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Landscape Plan.

(Page 2 of 2)



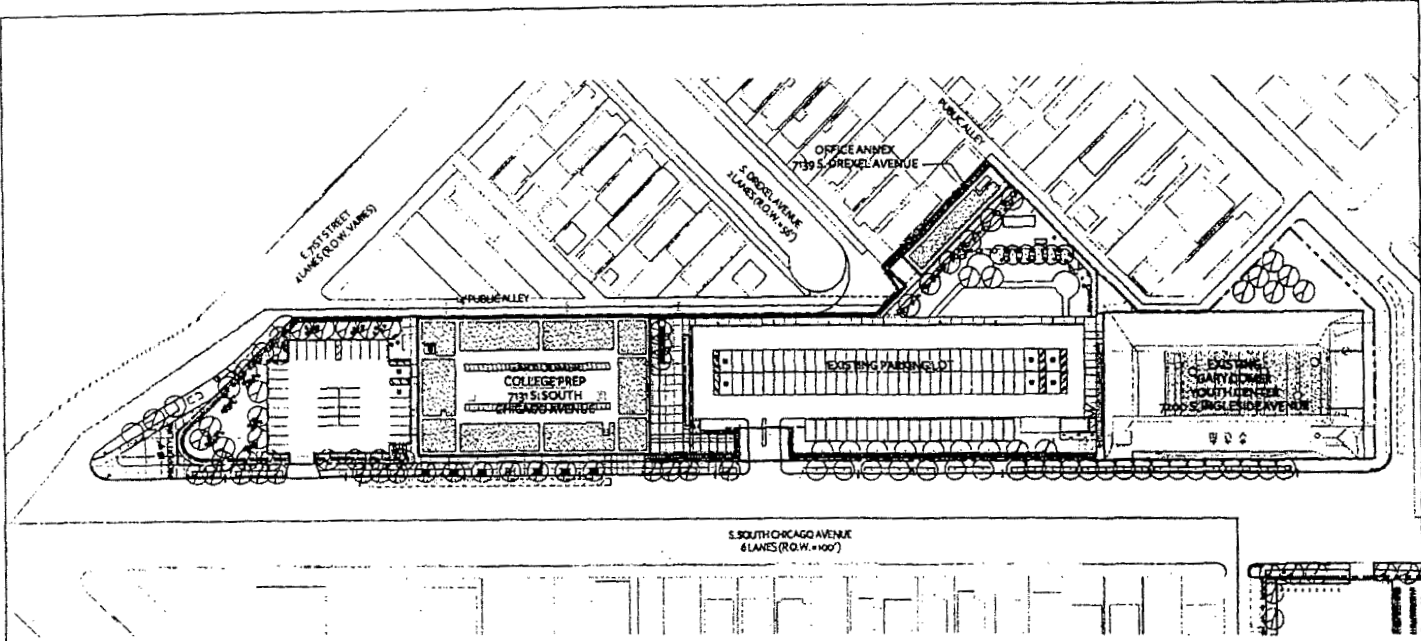
APPLICANT:
Comer Science and Education Foundation
7131 S. South Chicago Avenue,
7137-7139 South Drexel Avenue,
7230 S. South Chicago Avenue &
7200 South Ingleside Avenue

INSTITUTIONAL PLANNED DEVELOPMENT #921 AS AMENDED
GARY COMER YOUTH CENTER AND GARY COMER COLLEGE PREP
DATE MARCH 17, 2011

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T 312 951 6600 F 312 951 6544
wjarch.com

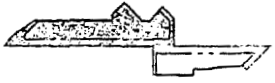
Green Roof Plan.

(Page 1 of 2)



GREENROOF CALCULATIONS

gccp total roof area	22,876 sf
gccp green roof area	11,438 sf
gccp green roof percentage = $11,438 / 22,876 =$	50%
office annex total roof area	2,592 sf
office annex green roof area	1,296 sf
office annex green roof percentage = $1,296 / 2,592 =$	50%
gcyo total roof area	36,391 sf
gcyo green roof area	7,588 sf
gcyo green roof percentage = $7,588 / 36,391 =$	20.85%
OVERALL GREEN ROOF PERCENTAGE = $20,312 / 61,859 =$	33%



KEY

PROPERTY LINE (NET SITE AREA) ———

PD BOUNDARY LINE (GROSS SITE AREA) - - - - -



APPLICANT:
Comer Science and Education Foundation
7131 S. South Chicago Avenue,
7137-7139 South Drexel Avenue,
7230 S. South Chicago Avenue &
7200 South Ingleside Avenue

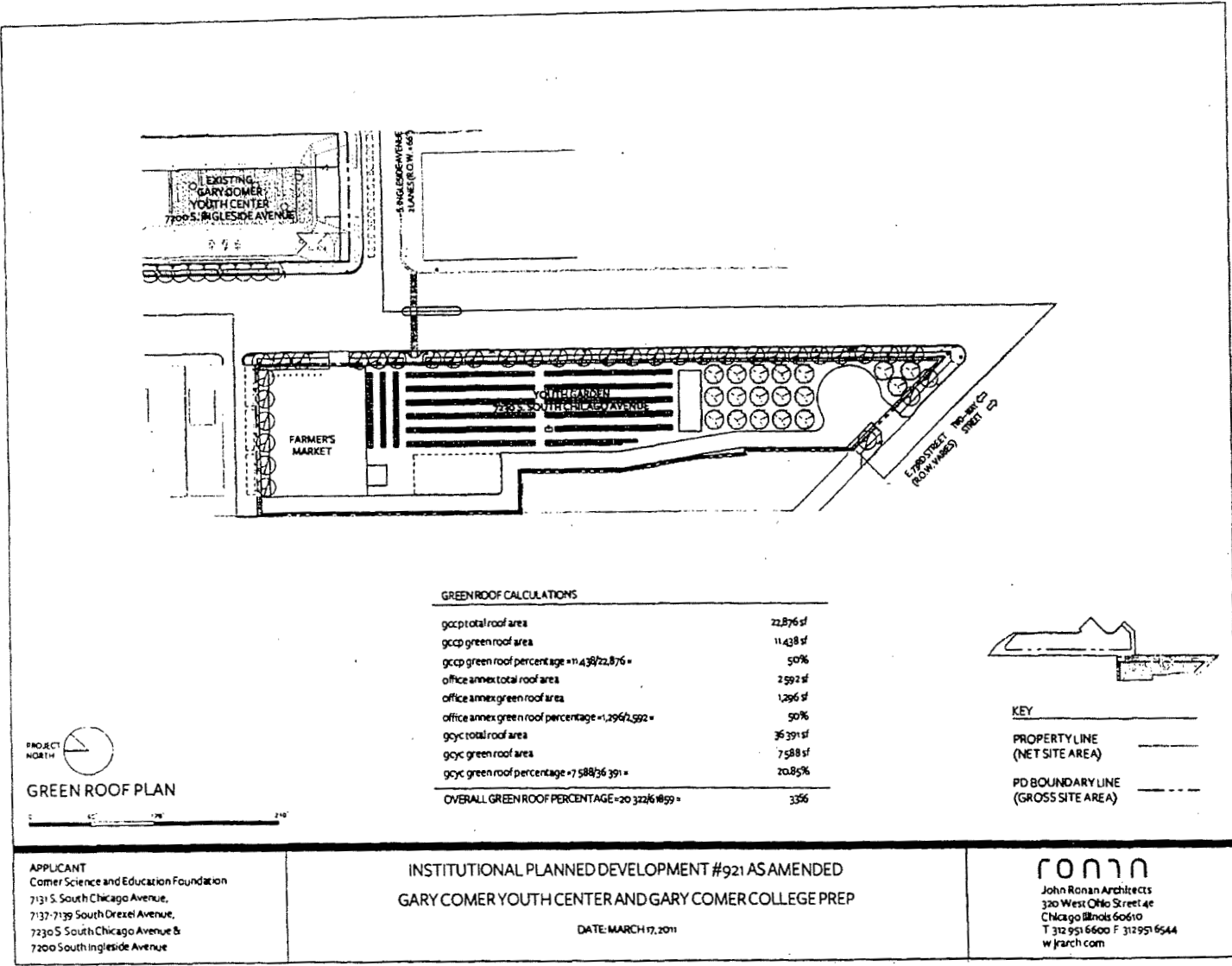
INSTITUTIONAL PLANNED DEVELOPMENT #921 AS AMENDED
GARY COMER YOUTH CENTER AND GARY COMER COLLEGE PREP

DATE: MARCH 17, 2011

ronan
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Chicago, Illinois 60610
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w/jrarch.com

Green Roof Plan.

(Page 2 of 2)



GREEN ROOF CALCULATIONS

gocp1 total roof area	22,876 sf
gocp green roof area	11,438 sf
gocp green roof percentage = $11,438 / 22,876 =$	50%
office annex total roof area	2,592 sf
office annex green roof area	1,296 sf
office annex green roof percentage = $1,296 / 2,592 =$	50%
gocyc total roof area	36,391 sf
gocyc green roof area	7,588 sf
gocyc green roof percentage = $7,588 / 36,391 =$	20.85%
OVERALL GREEN ROOF PERCENTAGE = $20,322 / 97,699 =$	33%



KEY

PROPERTY LINE (NET SITE AREA) ———

PD BOUNDARY LINE (GROSS SITE AREA) - - - - -



APPLICANT
 Comer Science and Education Foundation
 7131 S. South Chicago Avenue,
 7137-7139 South Drexel Avenue,
 7230 S South Chicago Avenue &
 7200 South Ingleside Avenue

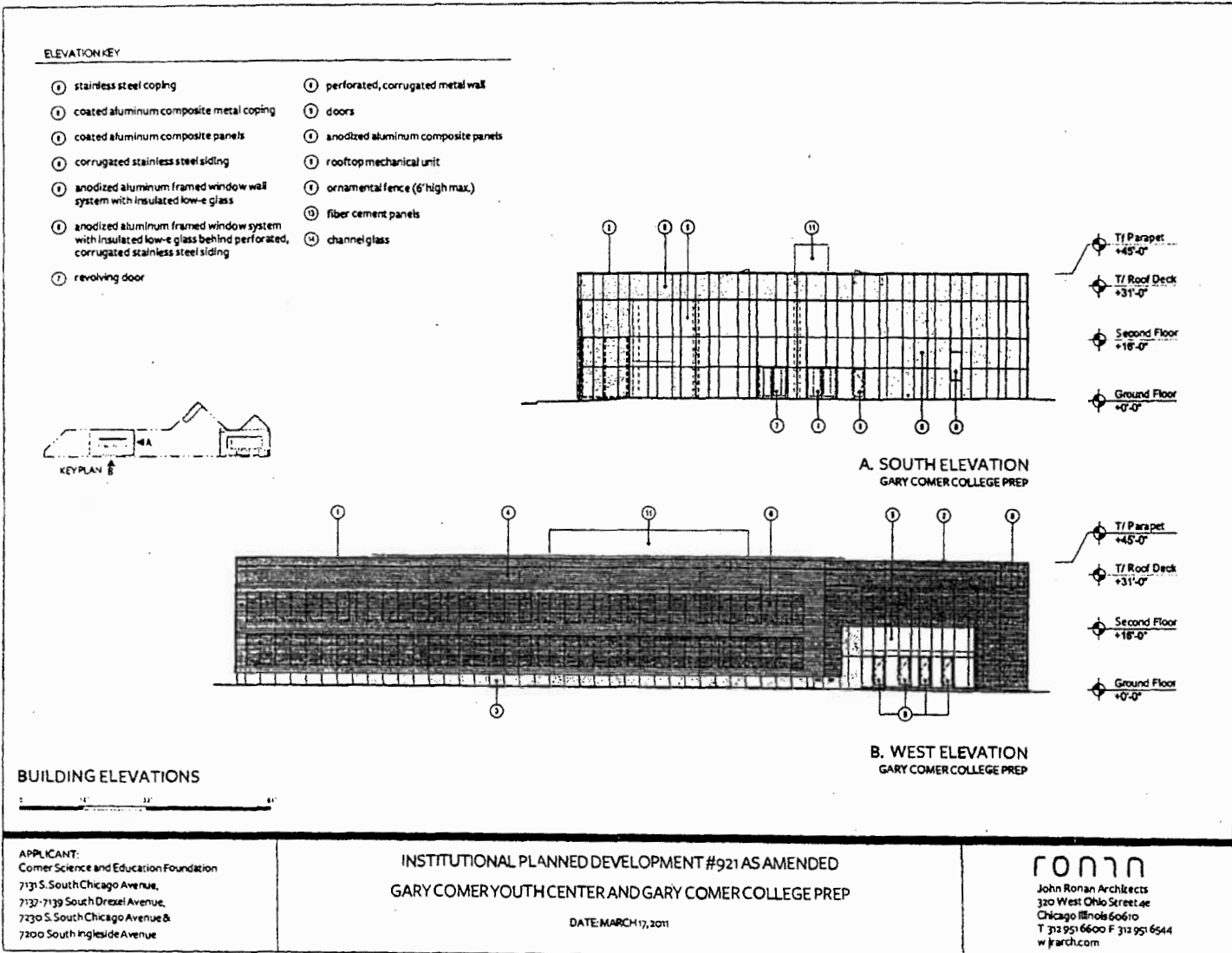
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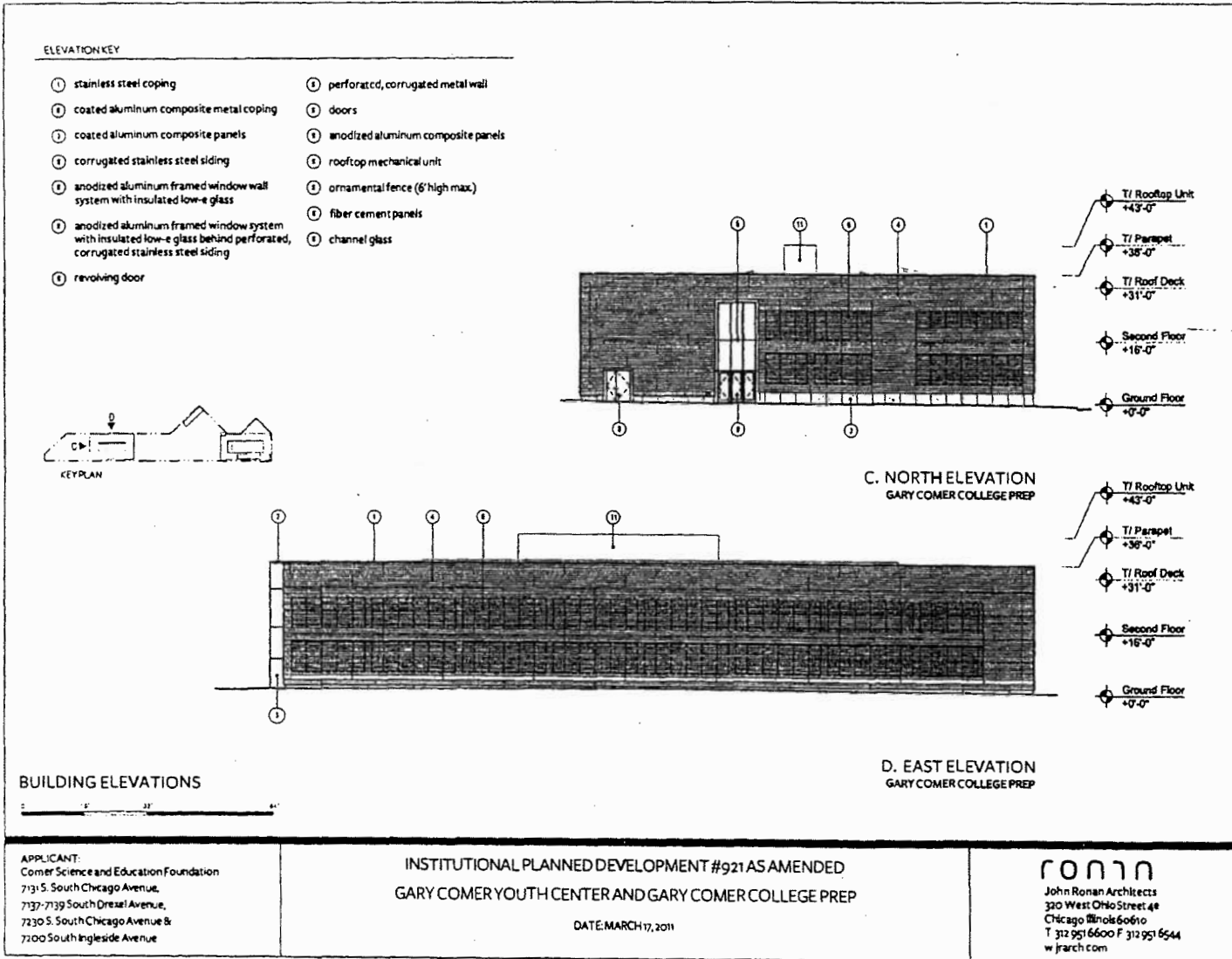
Building Elevations.

(Page 1 of 4)



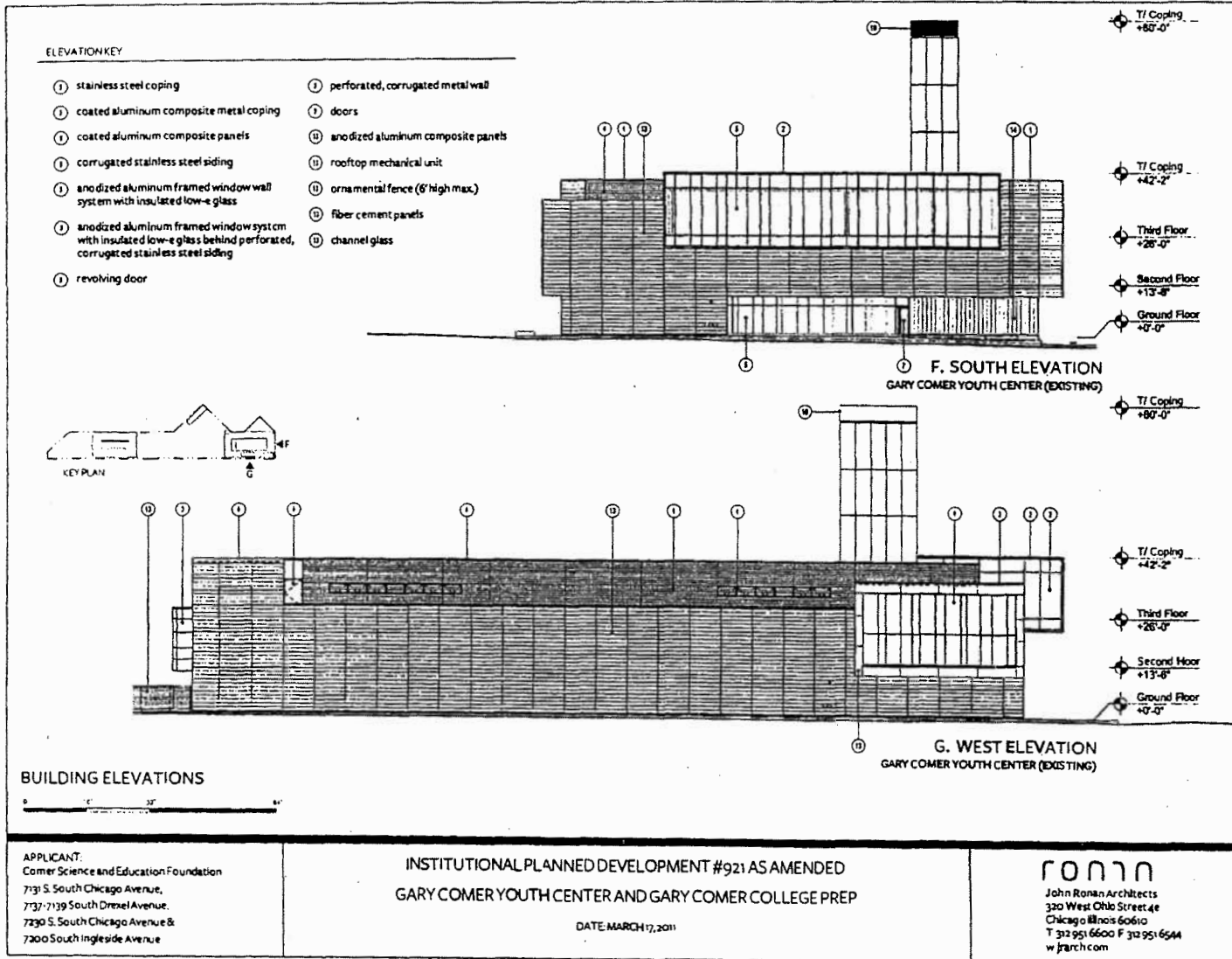
Building Elevations.

(Page 2 of 4)



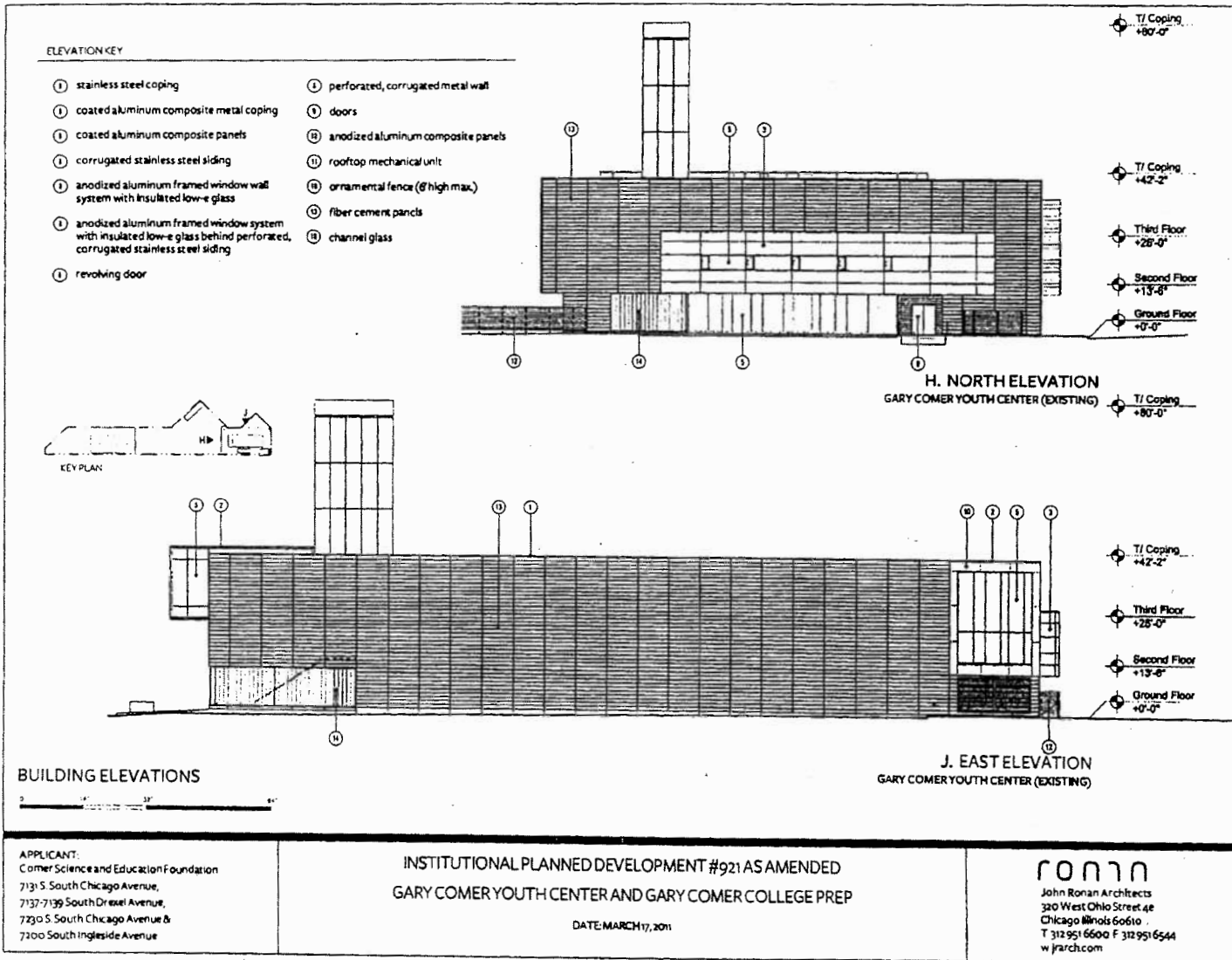
Building Elevations.

(Page 3 of 4)



Building Elevations.

(Page 4 of 4)



Chicago Builds Green.

(Page 1 of 3)

Project Name: Gary Comer Youth Center and Gary Comer College Prep and Office Annex and Youth Garden

Project Location:

* Street Number (if the address only includes one street number, please fill only the cell "From"):

From*	To*	Direction:	Street Name:	Select Street Type:
			7131 S South Chicago Ave	
			7137-7139 South Drexel Ave	
			7200 South Ingleside Ave	
			7230 S South Chicago	Ave

Ward No: 5 **Community Area No:** 69

Project Type:

Check applicable:

Planned Development Redevelopment Agreement Zoning Change

↳ PD No: 921 ↳ RDA No: ↳ From: To:

Public project Landmark

Project Size:

Total land area in sq.ft.:	Total building(s) footprint in sq.ft.:	Total vehicular use area in sq.ft.:
219,917	52,953	58,813

DPD Project Manager: Sarah Sheehan

BG/GR Matrix: InsL School, Com. Center

Financial Incentives:

Check applicable:

TIF Empowerment Zone Grant Class L

GRIF ind. Dev. Revenue Bonds Class 6b

SBIF Bank Participation Loan DOH

Land Sale Write Down

Density Bonus:

Check applicable:

<input type="checkbox"/> Public plaza & pocket park	<input type="checkbox"/> Water features in a plaza or pocket park
<input type="checkbox"/> Chicago Riverwalk improvements	<input type="checkbox"/> Setbacks above the ground floor
<input type="checkbox"/> Winter gardens	<input type="checkbox"/> Lower level planting terrace
<input type="checkbox"/> indoor through-block connection	<input type="checkbox"/> Green roof
<input type="checkbox"/> Sidewalk widening	<input type="checkbox"/> Underground parking and loading
<input type="checkbox"/> Arcades	<input type="checkbox"/> Concealed above-ground parking

Chicago Builds Green.

(Page 2 of 3)

Landscaping:

7' Landscape Setback
Interior Landscape Area
No. of Interior Trees

Matrix
Please fill, if applicable

Square footage:	4,505	11,250
Square footage:	5,200	37,616
	42	37
	88.89	75
	(6.64 on E 71 St + 40.70 on east side of S. S. Chicago Ave + 8.97 on Ingleside Ave + 27.46 on west side of S. S. Chicago Ave + 5.12 on E 73 St)	(3 on E 71 St + 42 on east side of S. S. Chicago Ave + 0 on Ingleside Ave + 27 on west side of S. S. Chicago Ave + 3 on E 73 St))
No. of Parkway Trees		

Open Space:

River Setback
Private Open Space
Privately developed Public Open Space

Square footage:	0	0
Square footage:	0	0
Square footage:	0	0

Stormwater Management (At-grade volume control):

Permeable paving
Raingarden
Filter strip
Bioswale
Detention pond
Native landscaping
Rain-water collection cistern/barrel
Total impervious area reduction

Square footage:	28,328
Check applicable:	<input checked="" type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
	<input type="checkbox"/>
Square footage:	30,579
Gallons:	0
Square footage:	58,907

Other sustainable surface treatments:

Green roof
Energy Star roof
High-albedo pavement

Square footage:	12,734	20,322
Square footage:	0	0
Square footage:	5,073	

Transportation:

No. of accessory parking spaces
Total no. of parking spaces (Accessory + Non-Acc.)
No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)
No. of bicycle parking
Within 600 ft of CTA or Metra station entrance

	109	109
		109
	0	0
	12	40
Check if applicable:		<input checked="" type="checkbox"/>

Chicago Builds Green.

(Page 3 of 3)

Building Certification:

Energy Star building	<input type="checkbox"/>	<input type="checkbox"/>
LEED certification	<input checked="" type="checkbox"/>	
LEED Certified		<input checked="" type="checkbox"/>
LEED Silver		<input type="checkbox"/>
LEED Gold		<input type="checkbox"/>
LEED Platinum		<input type="checkbox"/>
Chicago Green Homes	<input type="checkbox"/>	
Chicago Green Homes (one-star)		<input type="checkbox"/>
Chicago Green Homes (two-star)		<input type="checkbox"/>
Chicago Green Homes (three-star)		<input type="checkbox"/>

Energy efficiency strategies not captured above:

AE: Other than Energy Star Roof - or Energy Star Building Certification.

The following strategies are applicable to the Gary Comer College Prep:

1. Heat recovery and solar control strategies provide a 14% reduction from the baseline energy use.
2. Occupancy sensor and the building automation system mitigate unnecessary lighting usage.
3. Natural daylighting reduces the need for artificial lighting.
4. Joint use of the Gary Comer Youth Center eliminates the need for an additional gymnasium, cafeteria, computer labs, dance room, art classroom.

Other sustainable strategies and/or Project Notes:

The following strategies are applicable to the Gary Comer College Prep:

1. Low flow lavatory faucets and dual flush water closets should reduce the baseline water use by more than 30%.
2. Recyclable, rapidly renewable, low VOG materials have been incorporated into this project.

Reclassification Of Area Shown On Map Number 18-D.
(As Amended)
(Application Number 14336)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the M1-2 Restricted Manufacturing District and C1-2 Restricted Commercial District symbols and indications as shown on Map Number 18-D in the area bounded by:

a line 90.75 feet northwest of and parallel to South Drexel Avenue; the alley next northeast of and parallel to South Chicago Avenue; South Drexel Avenue; the alley next south of and parallel to East 71st Street; the alley next west of and parallel to South Ingleside Avenue; the alley next northeast of and parallel to South Chicago Avenue; South Ingleside Avenue; and South Chicago Avenue,

to the designation of a C2-1 General Commercial District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing the C2-1 General Commercial District established in Section 1 above to the designation of an Institutional Planned Development and a corresponding use district is hereby established in the area described above subject to the use and bulk regulations as set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 3. This ordinance shall be in full force and effect after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

Institutional Planned Development Number 921.

Plan Of Development Statements.

1. The area delineated herein as an Institutional Planned Development consists of approximately seventy-one thousand four hundred fifteen (71,415) square feet (one and sixty-four hundredths (1.64) acres) of net site

area which is depicted on the attached Planned Development Boundary Plan and Right-of-Way Plan. The property is controlled by the applicant, SSDT. L.L.C.

2. The applicant ("Applicant") shall obtain all applicable official reviews, approvals or permits which are necessary to implement this planned development. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submission on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns, grantees and lessees, and if different than the Applicant, the legal titleholders or any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder or any ground lessors. Furthermore, pursuant to the requirements of Section 11.1 1- 1 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors, or by a governmental agency with the power of eminent domain which has designated the property for acquisition.
4. This plan of development consists of the following sixteen (16) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Boundary Plan; a Right-of-Way Plan; a Site Plan; a Landscape Plan; a Floor Plan and Conceptual Building Elevations prepared by John Ronan Architect dated June 10, 2004. Full size sets of the Site/Landscape Plan and Conceptual Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated herein and these and no other zoning controls shall apply. The planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The uses permitted within the area delineated herein as an "Institutional Planned Development" shall include, but not be limited to, the uses

permitted within municipal or privately-owned recreation buildings or community centers with accessory parking.

6. Identification and other necessary signs, including temporary construction signs, may be permitted within the area delineated herein as "Institutional Planned Development", subject to the review and approval of the Department of Planning and Development.
7. Off-street parking and off-street loading facilities shall be provided in compliance with this planned development, subject to the review of the Departments of Transportation and Planning and Development. The minimum number of off-street parking spaces shall be determined in accordance with the attached Bulk Regulations and Data Table. Within the boundaries of this institutional planned development, the number of all handicapped parking spaces shall comply with the Illinois Accessibility Code.
8. Ingress and egress shall be subject to the review and approval of the Department of Transportation/Bureau of Traffic and the Department of Planning and Development. All work in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation.
9. The Applicant will be vacating approximately eight thousand two hundred (8,200) square feet of South Drexel Avenue. The vacation of South Drexel Avenue will allow for the construction of a parking area which will create a campus for the youth center.
10. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.
11. The maximum permitted floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
12. Improvements on the property, including landscaping and all entrances and exits to the parking areas, shall be designed and installed in

substantial conformance with the Site/Landscape Plan, Conceptual Building Elevations and the Bulk Regulations and Data Table attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Site/Landscape Plan and the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Furthermore, new sidewalks adjacent to the property shall be installed consistent with applicable provisions of the City of Chicago Municipal Code.

13. The Applicant acknowledges that it is in the public's interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall design, construct and maintain the building located within the property in a manner generally consistent with the Leadership in Energy and Environment Design Green Building Rating System ("L.E.E.D.S."). The Applicant will be installing a vegetative roof on twenty-five percent (25%) of the gross roof area of the building.
15. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the Applicant and after a determination is made by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-39 of the Chicago Zoning Ordinance.

16. Unless substantial construction has commenced within six (6) years following adoption of this planned development and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to the prior C1-2 Restricted Commercial District and M1-2 Restricted Manufacturing District.

[Zoning Map; Land-Use Map; Boundary Plan; Right-of-Way Plan; Site Plan; Landscape Plan; Ground Floor Plans; Lower Level Plan; Building Elevations; Entry View; Roof Garden View; Parking Lot View; and Street View referred to in these Plan of Development Statements printed on pages 28995 through 29011 of this Journal.]

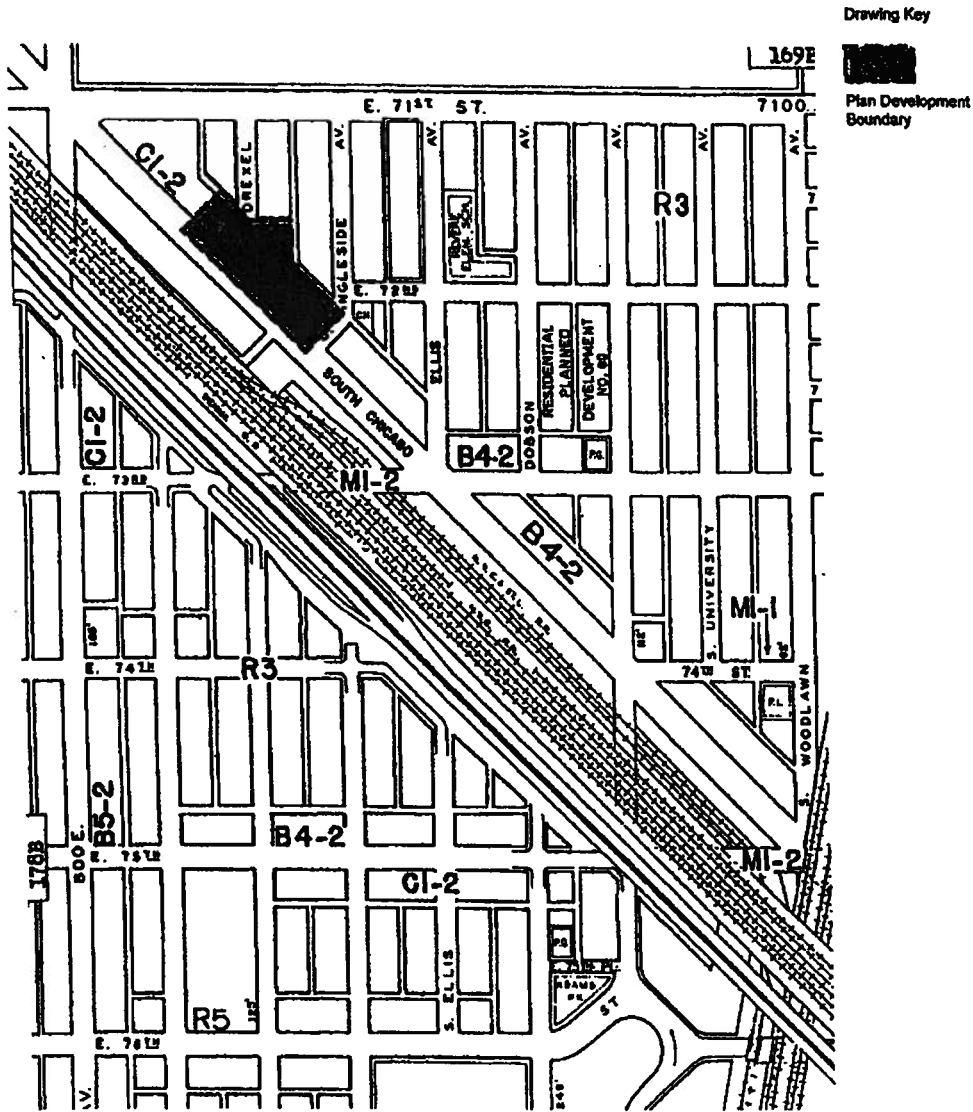
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional Planned Development Number _____.

Bulk Regulations And Data Table.

Gross Site Area:	118,007 square feet (2.71 acres)
Net Site Area:	71,415 square feet (1.84 acres)
Public Right-of-Way Area:	46,592 square feet (1.01 acres)
Maximum Floor Area Ratio:	1.2
Minimum Number of Off-Street Loading Spaces:	
Minimum Number of Off-Street Parking Spaces:	70
Maximum Building Height:	80 feet
Minimum Required Setbacks:	Per Site Plan

Zoning Map.



Drawing Key

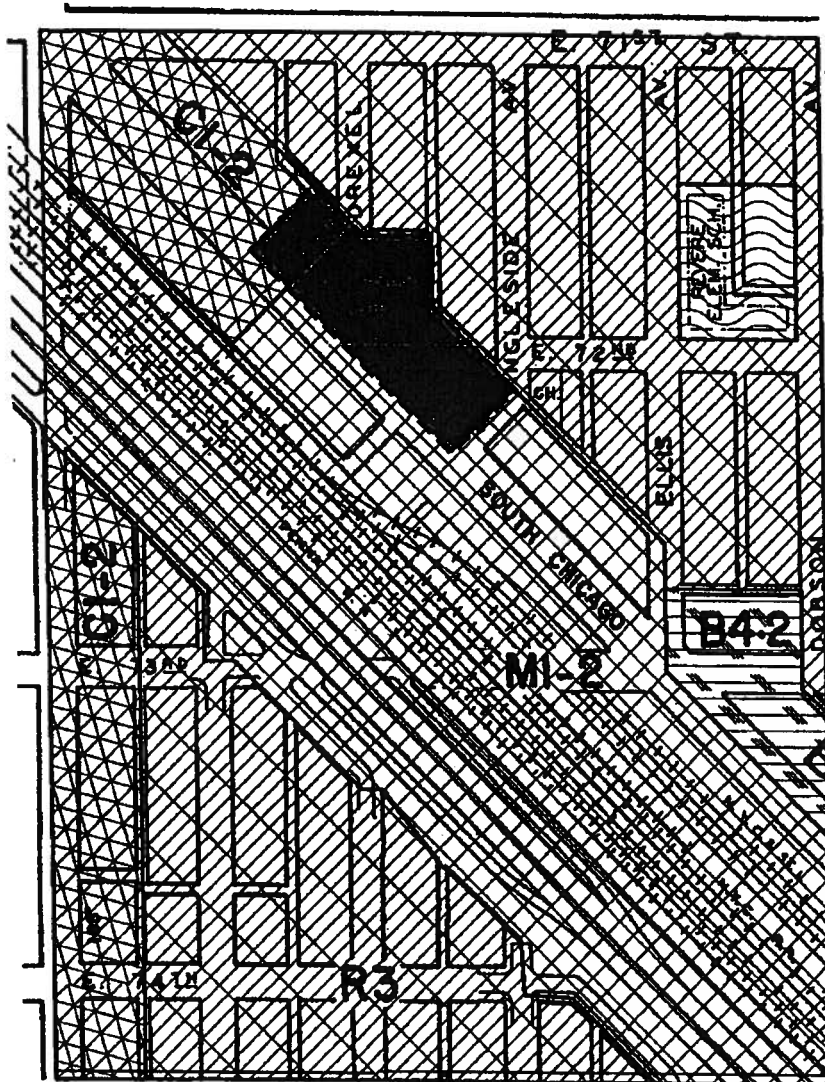
 Plan Development Boundary

ZONING MAP
SCALE: 1"=500'-0"










APPLICANT: SOUTH SHORE DRILL TEAM
ADDRESS: 7208 South Ingleside Ave.
CHICAGO, IL
DATE: MAY 5, 2004
REVISED DATE: JUNE 10, 2004

Land-Use Map.



Drawing Key

-  Plan Development Boundary
-  General Residence District
-  B4-2 Restricted Service District
-  M1-2 Restricted Manufacturing District
-  C1-2 Restricted Commercial District
-  Green Space
-  Schools

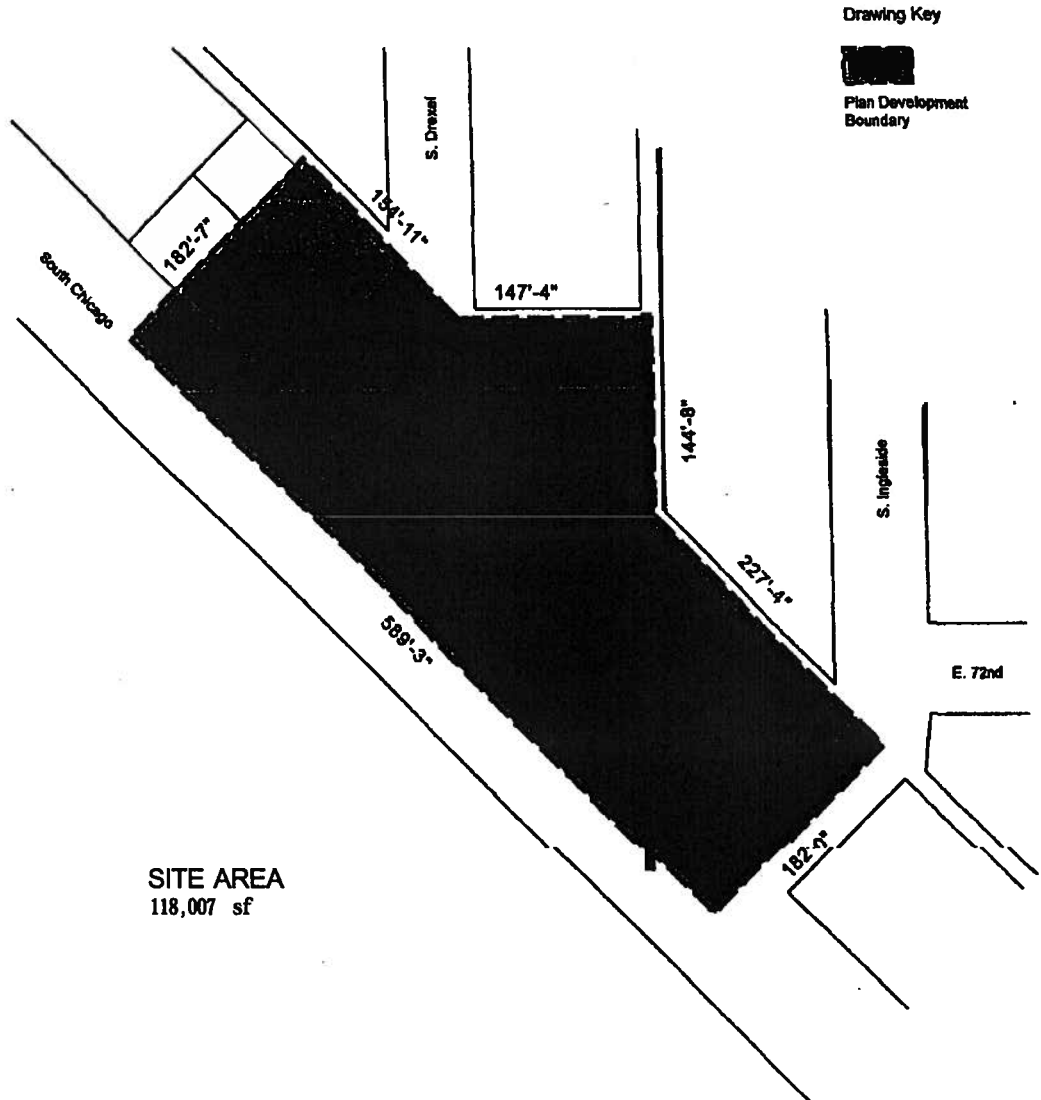
LAND USE MAP
SCALE: 1"=300'-0"



APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7208 South Ingleside Ave.
 CHICAGO, IL

DATE: MAY 5, 2004
 REVISED DATE: JUNE 10, 2004

Boundary Plan.



Drawing Key

 Plan Development Boundary

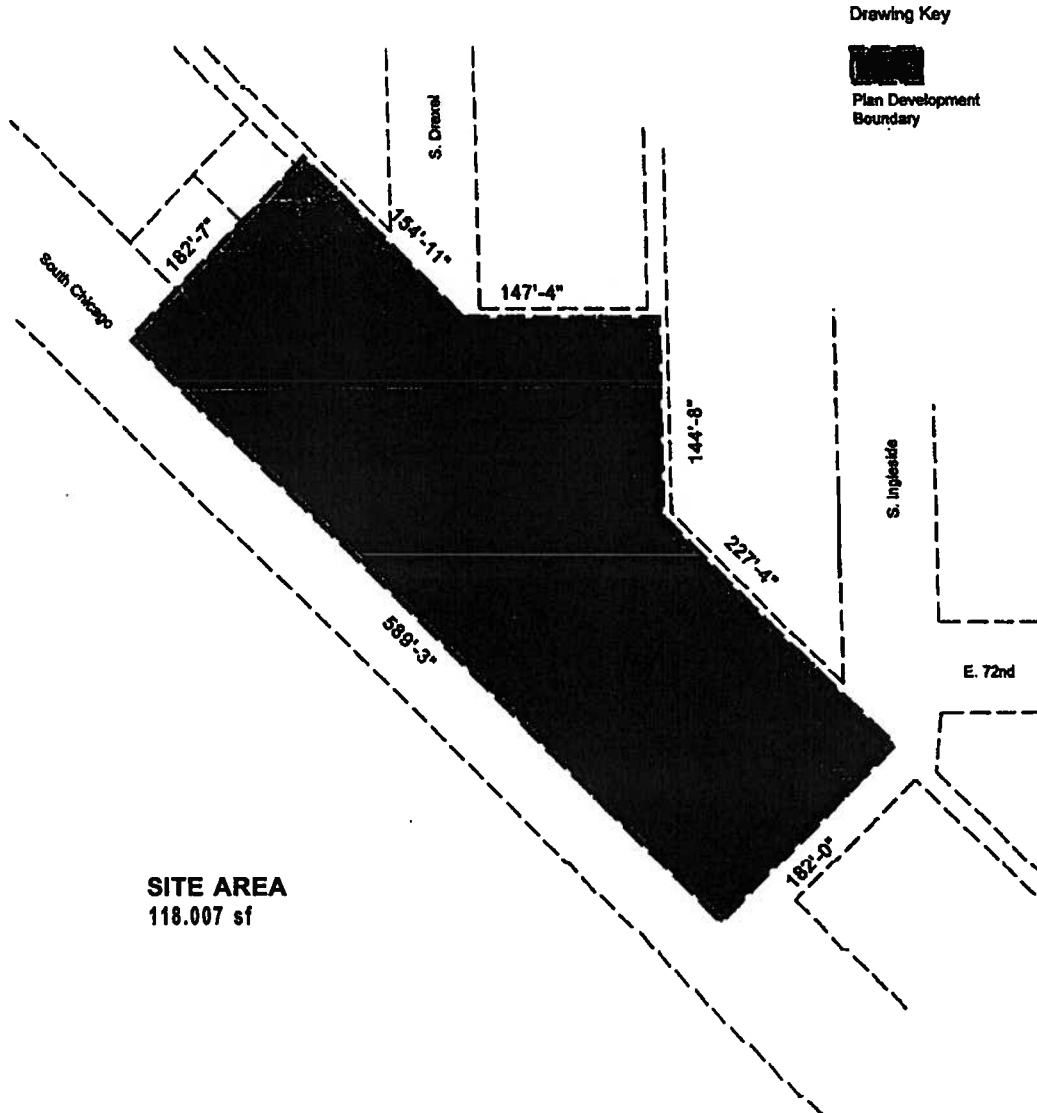
SITE AREA
118,007 sf

BOUNDARY PLAN
SCALE: 1"=100.0'



APPLICANT: SOUTH SHORE DRILL TEAM
ADDRESS: 7206 South Ingleside Ave.
CHICAGO, IL
DATE: MAY 5, 2004
REVISED DATE: JUNE 10, 2004

Right-Of-Way Plan.



SITE AREA
118.007 sf

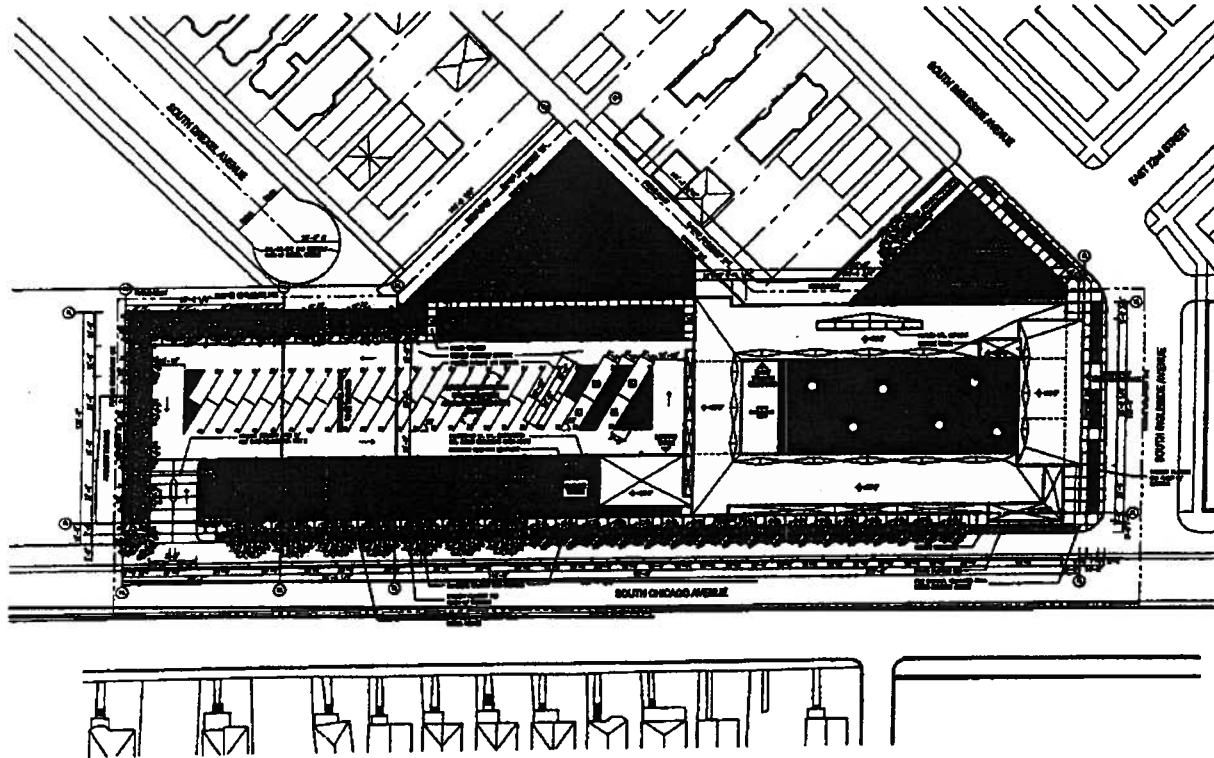
R.O.W. PLAN
SCALE: 1"=100.0"



APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7208 South Ingleside Ave.
 CHICAGO, IL

DATE: MAY 5, 2004
 REVISED DATE: JUNE 10, 2004

Site Plan.



Site Information

Total Net Site Area - 71,416 sf
 Total Area of Public Right of Way - 48,882 sf
 Total Building Area - 74,000 sf
 Total Number of Street Parking Spaces - 74
 Maximum Building Height - 80'-0"

Zoning Information

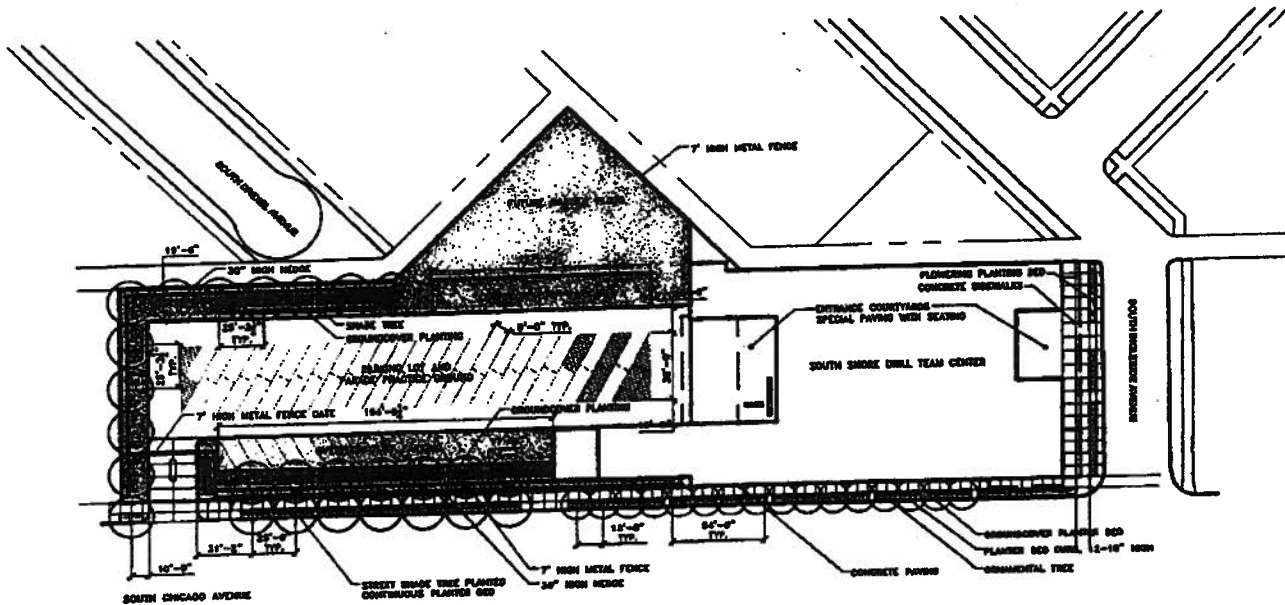
Address: 7208 South Ingleside Avenue
 Zoning District C9-2 / M1-G (Map 1798)
 Property Area 71,416 sf
 Building Footprint 24,416 sf
 Maximum Floor Area Ratio 1.2 (85,699 sf)
 Proposed Building Area (approx. 74,000 sf)
 Off-Street Loading (1 bay)
 Off-Street Parking (74 spaces)

Site Plan

SCALE: 1"=80'-0"



APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7208 South Ingleside Ave.
 CHICAGO, IL
 DATE: MAY 6, 2004
 REVISED DATE: JUNE 10, 2004



Landscape Plan.

Chicago Landscape Ordinance

Parking Lot Area 27,600 of
 Internal Planting Area Required (7.5%) 2,063 of
 Internal Planting Area Provided
 (excluding grassy area) 17,491 of

Landscape Plan
 SCALE: 1"=60'-0"



APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7208 South Ingleside Ave.
 CHICAGO, IL
 DATE: MAY 5, 2004
 REVISED DATE: JUNE 10, 2004

Peter Lindsay Schaudt
 Landscape Architect, Inc.
 401 South Michigan Ave. Suite 602 Chicago, Illinois 60605-3622 Tel: 312.281.8888

John Ronan Architect
 300 West 24th Street Chicago, Illinois 60616 Tel: 312.281.8888

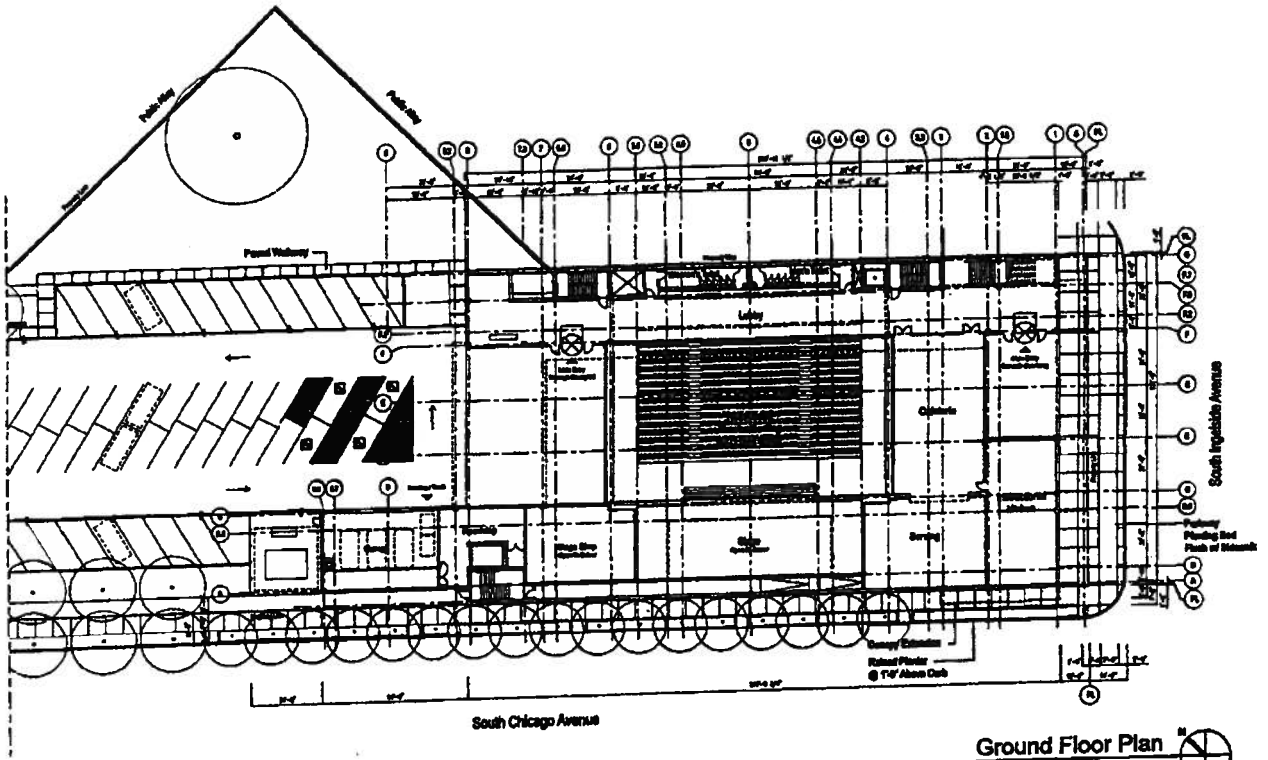
SOUTH SHORE DRILL TEAM 300 South Michigan Ave. Chicago, IL 60605 Fig. 5.0

7/21/2004

REPORTS OF COMMITTEES

2900 1

Ground Floor Plan.



Ground Floor Plan 
 SCALE: 1"=50'-0"

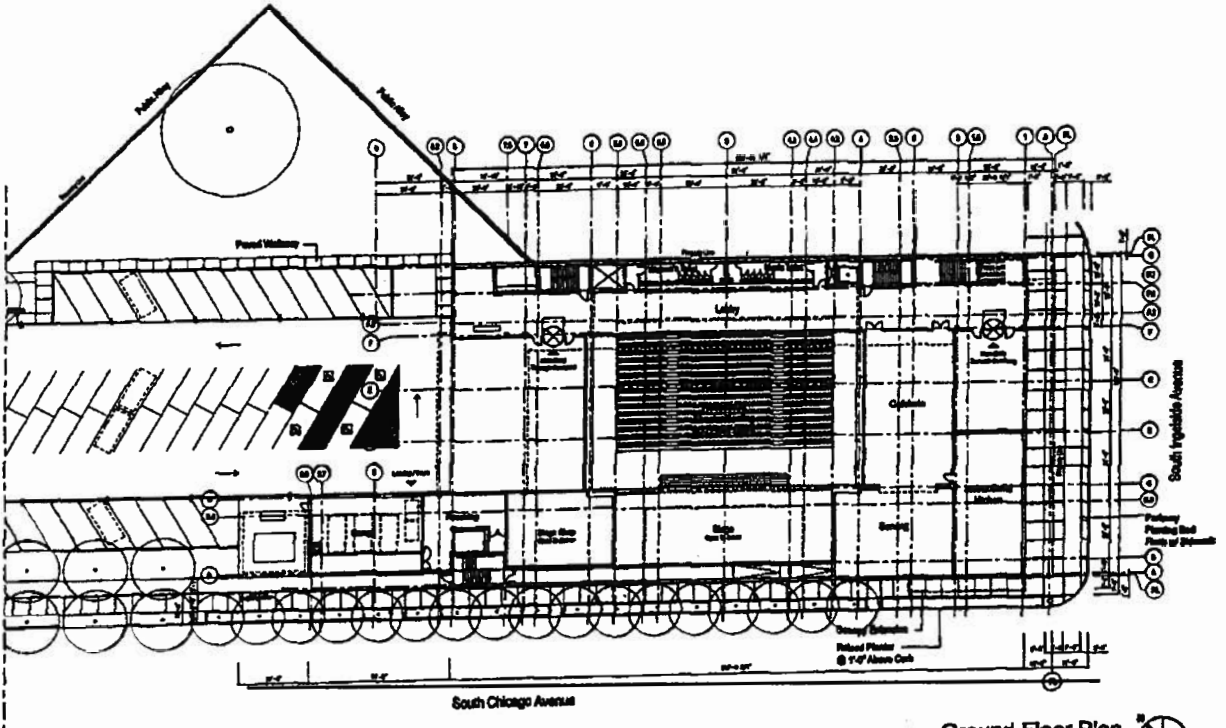
APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7208 South Ingleside Ave.
 CHICAGO, IL

DATE: MAY 5, 2004
 REVISED DATE: JUNE 10, 2004

Architect: [Illegible text]

SOUTH SHORE DRILL TEAM [Illegible text] Fig. 6.1

Second Floor Plan



Ground Floor Plan
SCALE: 1"=50'-0"

APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7206 South Englewood Ave.
 CHICAGO, IL
 DATE: MAY 5, 2004
 REVISED DATE: JUNE 10, 2004

SOUTH SHORE DRILL TEAM

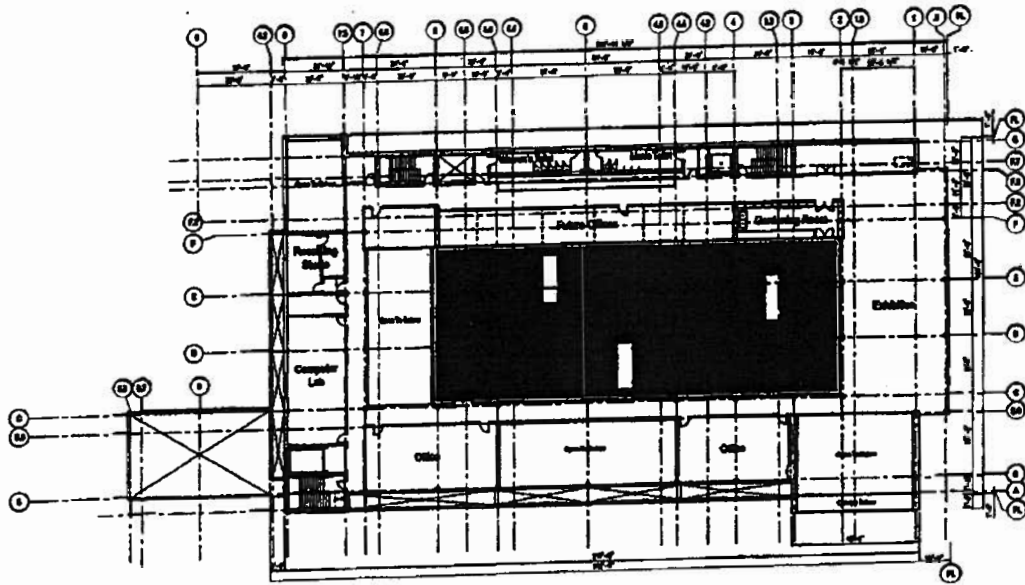
an Architect
 22 West Ohio Street, Chicago, IL 60610
 TEL: 312.467.8800 FAX: 312.467.8804

7/21/2004

REPORTS OF COMMITTEES

29003

Third Floor Plan.



Third Floor Plan

SCALE: 1"=50'-0"

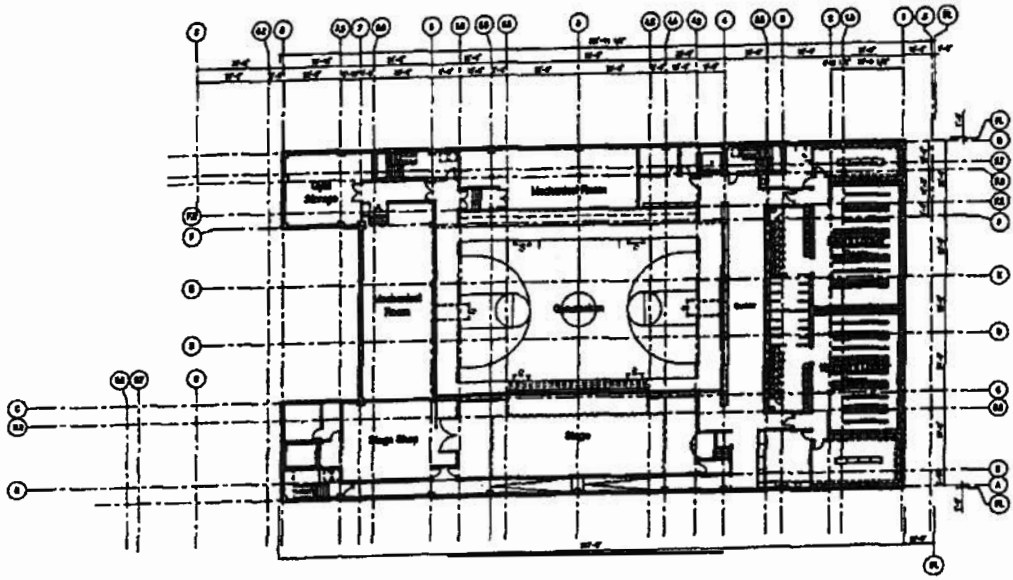


APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7206 South Ingleside Ave.
 CHICAGO, IL
 DATE: MAY 5, 2004
 REVISED DATE: JUNE 10, 2004

John Ronan Architect
 220 West Ohio Street in Chicago, Illinois 60610-3214, USA

SOUTH SHORE DRILL TEAM
 7206 South Ingleside Ave., Chicago, IL 60649
 05 May 04 FIG. 03

Lower Level Plan.



Lower Level Plan
 SCALE: 1"=50'-0"



APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7208 South Englewood Ave.
 CHICAGO, IL
 DATE: MAY 5, 2004
 REVISED DATE: JUNE 10, 2004

SOUTH SHORE DRILL TEAM 100 South Englewood Ave. Chicago, IL 60648 FIG. 8.0



7/21/2004

REPORTS OF COMMITTEES

29005

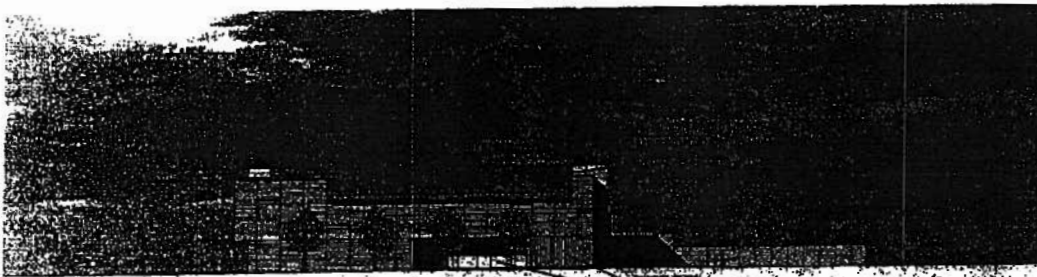
Building Elevations -- South.



FORMER REFINISHED
CONCRETE BOARD
METAL WALL PANEL

FORMER REFINISHED
CONCRETE BOARD
METAL COMPOSITE
WALL PANEL
DROOPY EXTENSION

West Elevation



FORMER REFINISHED
CONCRETE BOARD
METAL WALL PANEL

South Elevation

ELEVATIONS

SCALE: 1"=50'-0"

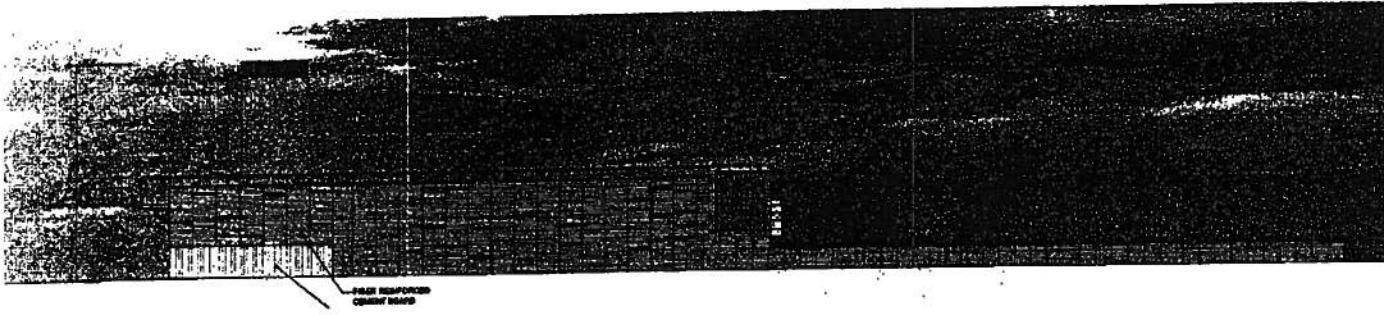
APPLICANT: SOUTH SHORE DRILL TEAM
ADDRESS: 7208 South Highside Ave.
CHICAGO, IL

DATE: MAY 5, 2004
REVISED DATE: JUNE 10, 2004

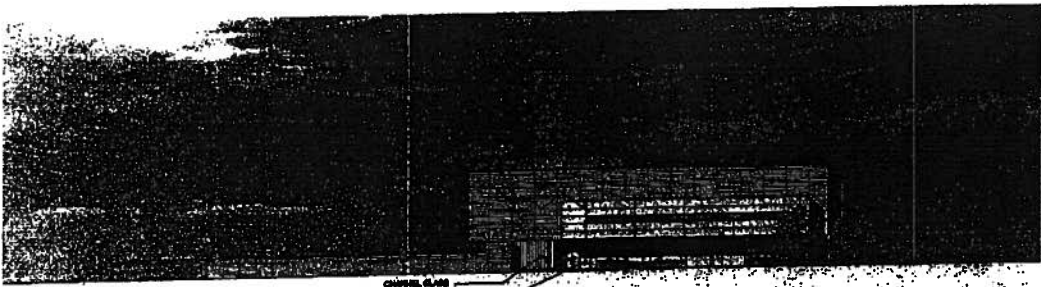
John Ronan Architect 238 West Erie Street in Chicago, Illinois 60601-3181 (312) 467-6644

SOUTH SHORE DRILL TEAM 7208 South Highside Ave. Chicago, IL 60649 Fig. 7.D

Building Elevations -- North.



East Elevation



North Elevation

ELEVATIONS
SCALE: 1"=50'-0"

APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7238 South Ingleside Ave.
 CHICAGO, IL
 DATE: MAY 5, 2004
 REVISED DATE: JUNE 10, 2004

John Ronan Architect
 200 West Ohio Street Chicago Illinois 60610 TEL: 312.467.2211 FAX: 312.467.2212

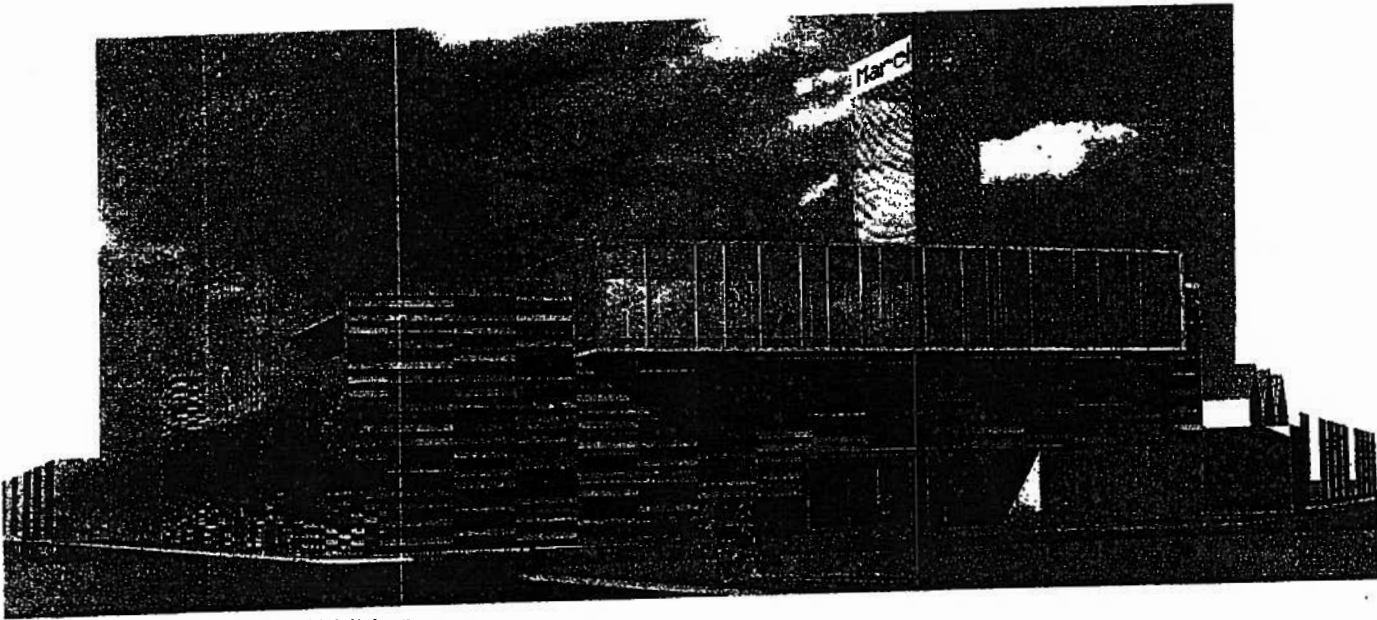
SOUTH SHORE DRILL TEAM
 7238 South Ingleside Ave. Chicago, IL 60649 FIG. 7.1

7/21/2004

REPORTS OF COMMITTEES

29007

Entry View -- South Chicago Avenue
And South Ingleside Avenue

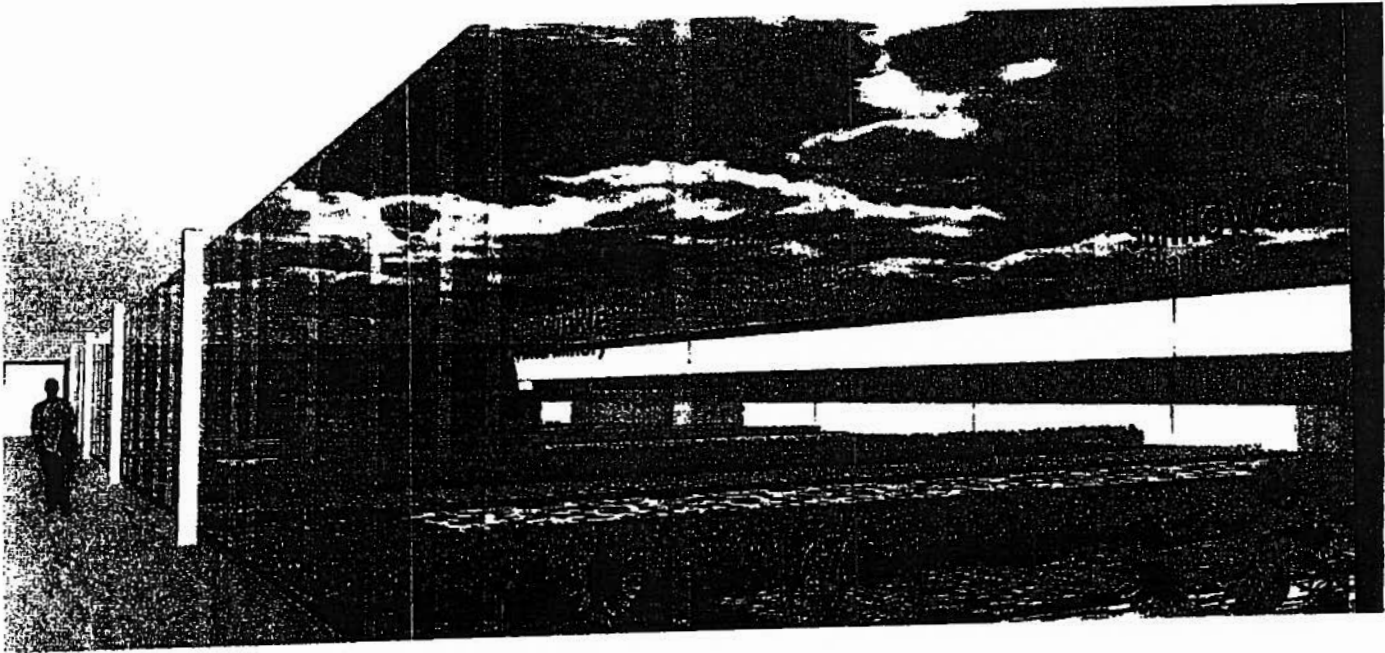


Entry View - South Chicago Avenue and South Ingleside Avenue

APPLICANT : SOUTH SHORE DRILL TEAM
ADDRESS : 7208 South Ingleside Ave.
CHICAGO, IL
DATE : MAY 8, 2004
REVISED DATE : JUNE 10, 2004

John Ronan Architect

SOUTH SHORE DRILL TEAM



Roof Garden View

APPLICANT: SOUTH SHORE DRILL TEAM
 ADDRESS: 7206 South Ingleside Ave.
 CHICAGO, IL
 DATE: MAY 8, 2004
 REVISED DATE: JUNE 10, 2004

John Ronan Architect
 301 West Ohio Street, Chicago, Illinois 60610

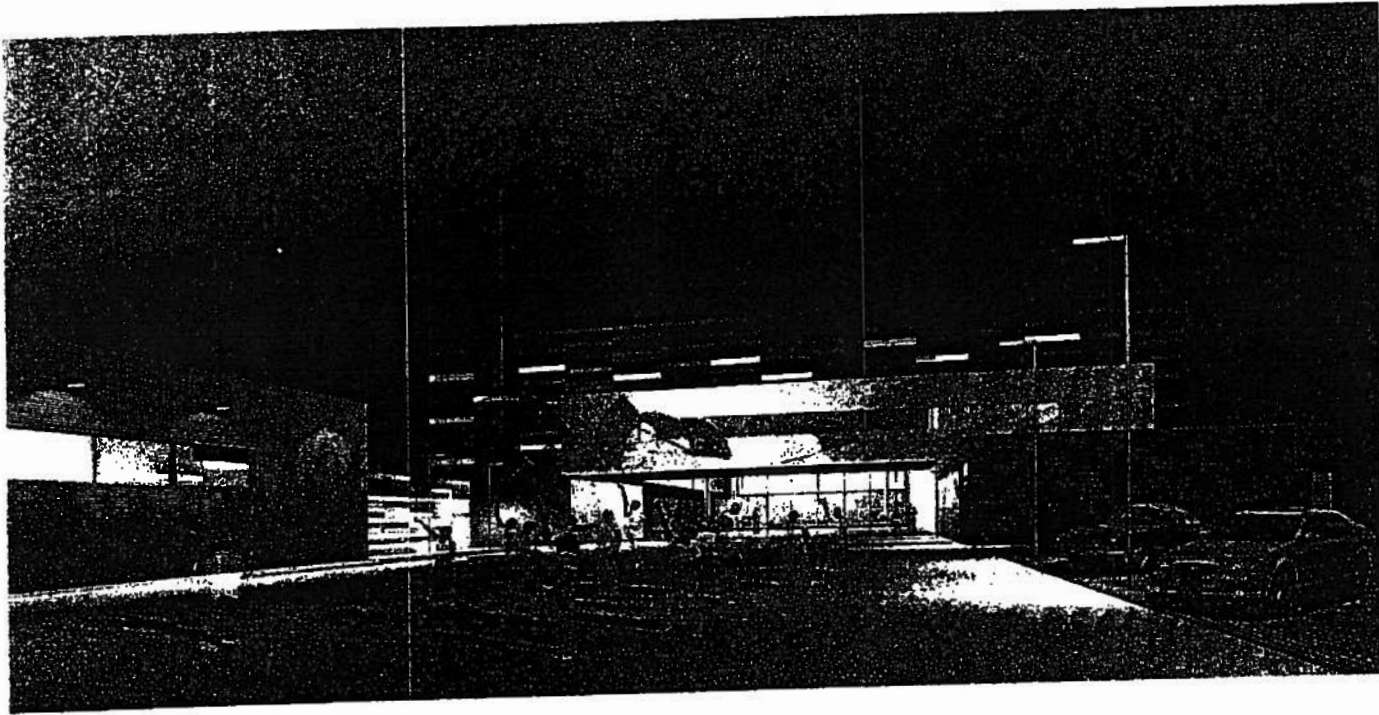
SOUTH SHORE DRILL TEAM
 7206 South Ingleside Ave, Chicago, IL 60619
 FIG. 0.1

7/21/2004

REPORTS OF COMMITTEES

29009

Parking Lot View -- Looking South.



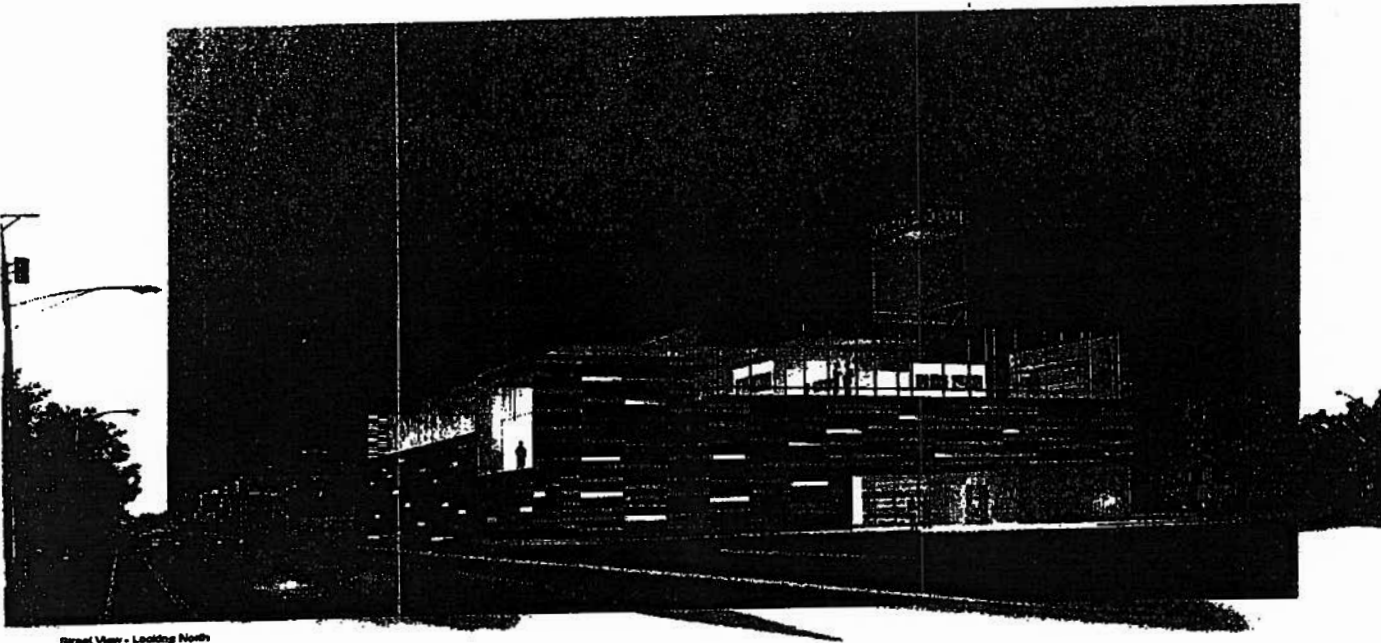
Parking Lot View - Looking South

APPLICANT: SOUTH SHORE DRILL TEAM
ADDRESS: 7208 South Ingleside Ave.
CHICAGO, IL
DATE: MAY 8, 2004
REVISED DATE: JUNE 10, 2004

John Ronan Architect

SOUTH SHORE DRILL TEAM

Street View -- Looking North.



Street View - Looking North

APPLICANT: SOUTH SHORE DRILL TEAM
ADDRESS: 7208 South Ingleside Ave.
CHICAGO, IL
DATE: MAY 6, 2004
REVISED DATE: JUNE 10, 2004

John Ronan Architect
129 West Ohio Street Chicago, Illinois 60604

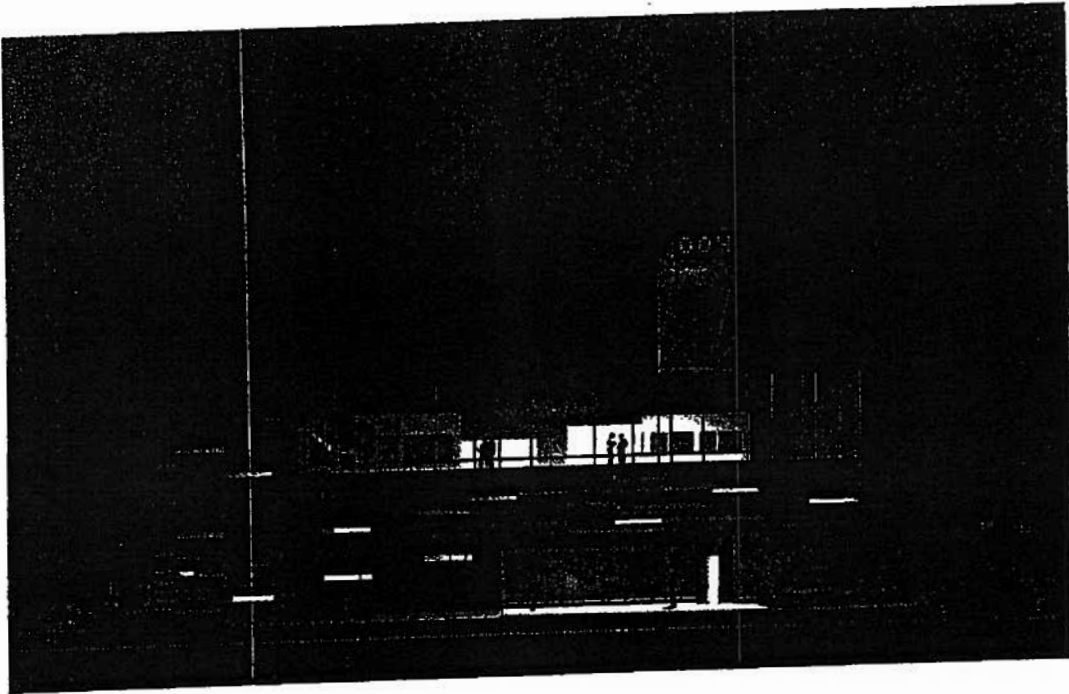
SOUTH SHORE DRILL TEAM 123 South State Ave. Chicago IL 60604 Fig. 8.3

7/21/2004

REPORTS OF COMMUNITY MEETINGS

29011

Entry View -- Looking North.



Entry View - Looking North

APPLICANT: SOUTH SHORE DRILL TEAM
ADDRESS: 7308 South Englewood Ave.
CHICAGO, IL
DATE: MAY 5, 2004
REVISED DATE: JUNE 10, 2004

John Ronan Architect
327 West Ohio Street Chicago Illinois 60610 312.467.8888 or 312.467.8894

SOUTH SHORE DRILL TEAM 225 South Englewood Ave. Chicago, IL 60610 FIG. 8-4