

PD 917

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DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

November 22, 2013


Mr. Art Gurevich
Jenny Builders, Inc.
3528 Walnut Avenue
Wilmette, IL 60091

**Re: Waterway Residential Planned Development No. 917, Sub area B
Parking for the proposed four-unit residential building at 2301 West Wolfram Street**

Dear Mr. Gurevich:

Please be advised that we have reviewed your proposed site plan for the construction of a four-unit residential building with five parking spaces at 2301 W. Wolfram St., within Waterway Residential Planned Development No. 917 ("PD 917"). While PD 917 requires a minimum of six parking spaces for the four-unit building, it does not include an accessible space. Since your proposed building will contain one accessible dwelling unit, you are required to provide one accessible parking space. Therefore, a total of five parking spaces (four non-accessible and one accessible) can be provided in the same area that was approved for six, non-accessible parking spaces. Typically, one parking space is required per dwelling unit and your proposal exceeds that ratio by providing 1.25 spaces per dwelling unit. Therefore, we have no objection to the five parking spaces as shown on the attached Site Plan, prepared by AP Architects and dated June 15, 2013. If you have any questions or need additional information, please contact Teresa McLaughlin of my staff at (312) 744-4891.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm
C: Erik Glass, Main file



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT
CITY OF CHICAGO

September 11, 2012

Art Gurevich
Jenny Builders, Inc.
3528 Walnut Avenue
Wilmette, IL 60091

Re: Administrative Relief request for Waterway Residential Planned Development No. 917, Sub area A, Fifteen (15) proposed town homes at North Oakley Avenue and the North Branch of the Chicago River

Dear Mr. Gurevich:

Please be advised that your request for a minor change to Waterway Residential Planned Development No. 917 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development ("PD").


The PD was passed by City Council on July 21, 2004, and permitted a 54-dwelling unit building within Sub area A. On October 1, 2007, a minor change was granted to allow fifteen (15) town homes in Sub area A instead of the 54-dwelling unit building. You have recently acquired the property and are requesting design modifications to the fifteen (15) approved town homes. As shown on the attached drawings, the proposed town homes are smaller in floor area and height than those previously approved. Each town home will include an attached two car garage and will be clad in brick and metal panels. Since each town home has its own roof, maintained by the individual homeowner, and without stair access, a green roof is not required. The following drawings, prepared by AP Architects LLC and dated August 29, 2012, shall be inserted into the main file: Proposed Site Plan, Typical Building Elevations, and Typical Building Elevations Aerial View.

With regard to your request, the Department of Housing and Economic Development has determined that allowing these town house design modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Waterway Residential Planned Development No. 917, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS: HG: tm

C: Patrick Murphey, Mike Marmo, Erik Glass, Main file



City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)

<http://www.cityofchicago.org>

October 1, 2007

John J. Pikarski, Jr.
Gordon and Pikarski
303 West Madison Street; Suite 1800
Chicago, Illinois 60606

Re: Request for Minor Change to Waterway-Residential Planned Development
No. 917 (2825 & 2822 N. Oakley Avenue)

Dear Mr. Pikarski:

Your request for a minor change to Waterway-Residential Planned Development No. 917, submitted on behalf of CenterStone Development Group, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested minor change in the Planned Development to construct fifteen (15) townhouses on Subarea A instead of the 54-dwelling unit mid-rise building depicted in the Planned Development. The townhouses would be arranged around an interior auto court that would be open to the river. A vegetated ("green") roof would cover approximately 2,678 square feet of the townhouse complex.

With regard to your request, the Department of Planning and Development has determined that such a revision to the Planned Development would constitute minor changes pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development, as amended.

I hereby approve the following minor changes, but no other changes, to Waterway-Residential Planned Development No. 917:

1. Statement #5: Townhouses shall be a permitted use in Subarea A of the Planned Development
2. Bulk Regulations and Data Table: Minimum Number of Off-Street Parking Spaces shall be: 29 in Subarea A; 6 in Subarea B; and 35 total in the entire Planned Development.
3. Exhibits
The following plans shall be substituted for the Site Plan and Landscape Plan incorporated in the Planned Development:
 - a. A2.0 Site Plan (Subarea A), by IPSA Corp., dated February 26, 2007;
 - b. A-1 Site Plan (Subarea B - 2303 W. Wolfram), by MJC Architects, undated, submitted May 30, 2007; and
 - c. Three Landscape Plans (Overall Site & Details; Subarea A; and Subarea B) by Pugsley & LaHaie, Ltd., dated July 16, 2006.

The following Elevations are hereby incorporated into the Planned Development:

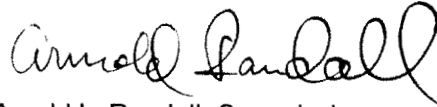


- a. By IPSA Corp. for Subarea A (2525 - 2531 N. Oakley Street):
 - 1.) A 4.1 Elevations - East Courtyard & North Elevation, dated February 26, 2007;
 - 2.) A 4.2 Elevations - East & West, dated February 26, 2007;
 - 3.) A 4.3 Elevations - West Courtyard & South, dated August 20, 2007.

- b. By MJC Architects, undated, delivered May 30, 2007 for Subarea B (2303 W. Wolfram Ave.):
 - 1.) A - 5 Elevations (North & South)
 - 2.) A - 6 Elevation (East)
 - 3.) A - 7 Elevation (West).

Also, I call your attention to Statement No. 14 of the Planned Development and its requirements regarding the thirty-foot river setback and riverwalk path along the North Branch of the Chicago River. These requirements shall remain in force.

Sincerely,



Arnold L. Randall, Commissioner

Originated by: Fred Deters

cc: Kathleen Nelson, Michael Marmo, Danita Childers, Val Zillig, Planned Development files

Reclassification Of Area Shown On Map Number 7-H.
(As Amended)
(Application Number 14288)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M2-3 General Manufacturing District and C1-1 Restricted Commercial District symbols and indications as shown on Map Number 7-H in the area bounded by:

the north branch of the Chicago River; a line 141 feet east of and parallel to North Oakley Avenue; a line 222 feet north of and parallel to West Diversey Avenue; North Oakley Avenue; the alley next south of West Wolfram Street; a line 33.2 feet west of and parallel to North Oakley Avenue; West Wolfram Street; and North Oakley Avenue (extended),

to those of an R4 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing the R4 General Residence District established in Section 1 above to the designation of a Waterway/Residential Planned Development and a corresponding district is hereby established in the area above described.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to in this ordinance read as follows:

Waterway/Residential Planned Development Number 917

Plan Of Development Statements.

1. The area delineated herein as a Waterway/Residential Planned Development consists of a net site area of approximately seventy-six hundredths (.76) acres (thirty-three thousand one hundred seventy-two (33,172) square feet) which is controlled by Centerstone, Inc. (the "Applicant") for purposes of this residential planned development.

2. The Applicant shall obtain all applicable official reviews, approvals of permits which are necessary to implement this plan of development. Any dedication or vacation of street or alleys or easements or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require separate submittal on behalf of the applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions within this planned development shall be binding upon the Applicant, its successors and assigns and if different than the Applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant, successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.1 1-01 of the Chicago Zoning Ordinance, the property, at the time of applications for amendments, modifications or change (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. "Single designated control" for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant or its direct successor, or the owners of all the property or any homeowners associations which is formed to represent the property owners.
4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; a Zoning Map; a Planned Development Property Line Boundary and Right-of-Way Adjustment Map; a Site Plan; a Landscape Plan; and an Existing Zoning and Land-Use Map prepared by Pappageorge/Haynes Ltd., dated February 6, 2004. A full size set of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code of Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply to the area delineated herein.
5. The following uses shall be permitted within the area delineated herein: two (2) multi-family dwelling unit buildings accessory uses and accessory parking.
6. Identification signs shall be permitted within the planned development subject to review and approval of the Department of Planning and

Development. Temporary construction and marketing signs shall be permitted within the planned development subject to review and approval of the Department of Planning and Development. Temporary sales offices shall be allowed subject to the approval of the Department of Planning and Development.

7. Ingress and egress shall be subject to the view and approval of the Department of Transportation and the Department of Planning and Development.
8. Off-street parking shall be provided in compliance with this plan of development subject to the review of the Department of Transportation and Planning and Development. The minimum number of off-street parking spaces shall be determined in accordance with the attached Bulk Regulations and Data Table.
9. The height restriction of any building or any appurtenance attached hereto shall not exceed the height established in the Bulk Regulations and Data Table and Building Elevations and shall also be subject to height limitations established by the Federal Aviation Administration.
10. The maximum permitted floor area ratio for the entire parcel shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor area ratio calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply.
11. Improvements of the property, including landscaping and all entrances and exits to the parking and loading areas, shall be designed and installed in substantial conformance with the Bulk Regulations and Data Table and the Site Plan attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the applicable standards of the City of Chicago Zoning Ordinance and corresponding regulations and guidelines.
12. The terms, conditions and exhibits of this planned development ordinance may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the application for such modification by the Applicant and after a determination by the Commissioner, that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a

minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes may include a reduction in the minimum required distance between structures, a reduction in periphery setbacks, an increase in the maximum percent of land covered, or subsequent setback reduction pertaining to individual residential units.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.1 1-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
14. The Applicant acknowledges the importance of the Chicago River as a resource for commerce and recreation and also acknowledges the City's goal of establishing a continuous public riverside trail for bicycling, jogging and other recreational purposes. To further this goal, the applicant agrees to: (a) provide a landscaped thirty (30) foot river setback and **riverwalk** path as indicated in the Site Plan; (b) dedicate a public access easement for the riverwalk and street access as approved by the Department of Planning and Development; (c) install **signage** to indicate river-walk path is open to the public free of charge during normal Chicago park hours; and (d) develop and implement a riverbank stabilization plan intended to provide natural river bank improvements by removing debris, stabilizing the bank and planting vegetation using predominantly native species. A tree inventory of the riverbank and river setback is required for all trees with a diameter at breast height of five (5) inches or greater as part of the riverbank stabilization program. River setback and street access improvements are to be substantially complete prior to granting of occupancy certificate for the adjacent building. The applicant is responsible for costs to establish the public access easement, not to exceed Twenty Thousand Dollars (\$20,000).
15. Unless substantial construction of the improvements contemplated by the planned development has commenced within six (6) years following

adoption of this planned development, and unless completion thereof is diligently pursued, then this planned development shall expire and the property shall automatically revert to that of its preexisting M2-3 General Manufacturing District and C1-1 Restricted Commercial District.

[Building Elevations referred to in these Plan of Development Statements unavailable at time of printing.]

[Zoning Map; Planned Development Property Line, Boundary and Right-of-Way Adjustment Map; Site Plan; Landscape Plan; and Existing Zoning and Land-Use Map referred to in these Plan of Development Statements printed on pages 28942 through 28946 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Bulk Regulations And Data Table.

	Subarea A	Subarea B	Area Total
Net Site Area (square feet):	29,047	4,125	33,172
Net Site Area (acres):	0.67	0.09	0.76
Gross Site Area (square feet):	32,751	10,379	43,130
Gross Site Area (acres):	0.75	0.24	0.99

7/21/2004

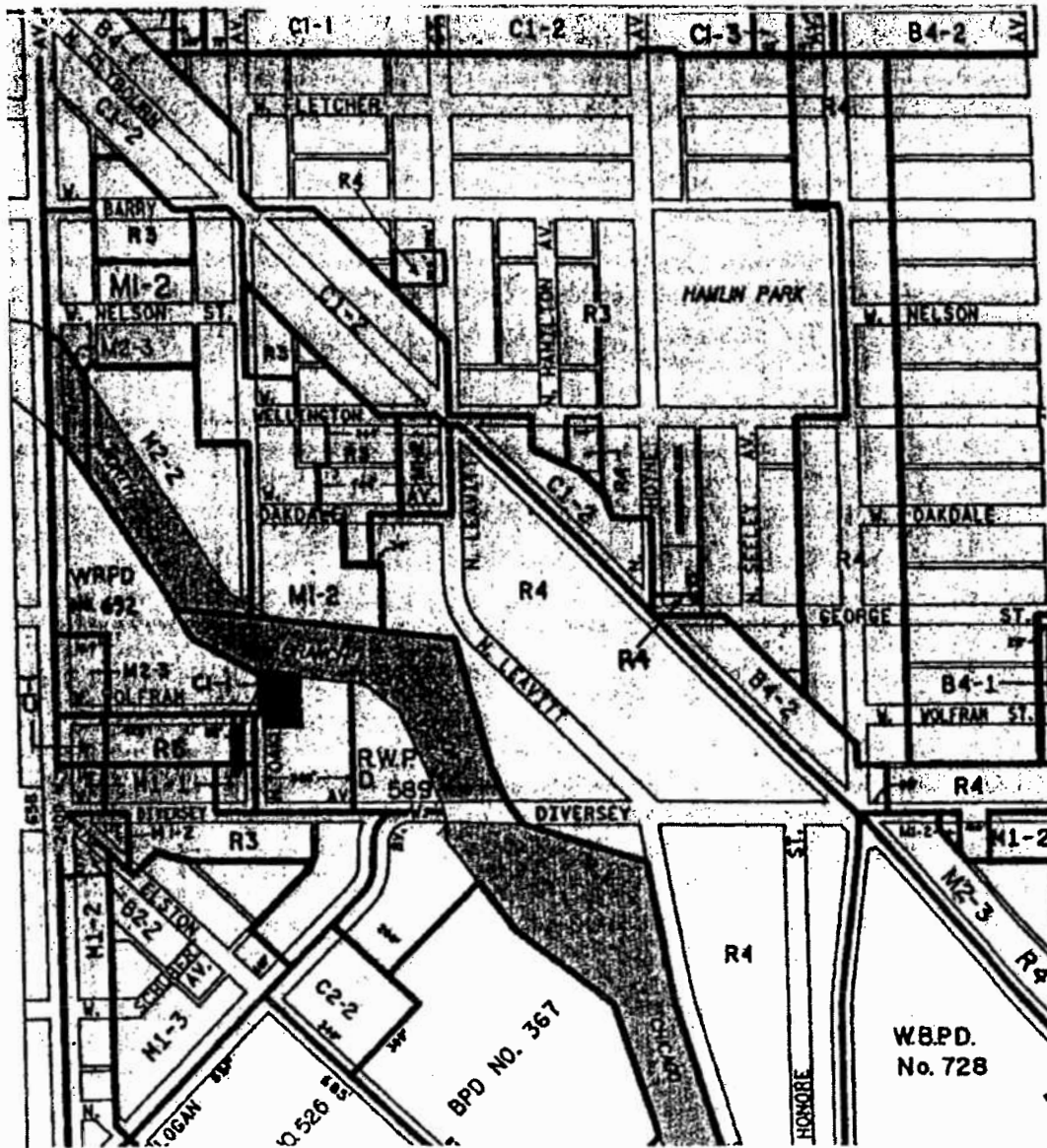
REPORTS OF COMMITTEES

28941

	Subarea A	Subarea B	Area Total
Floor Area Ratio Site Area (square feet):	29,047	4,125	33,172
Floor Area Ratio Site Area (acres):	0.67	0.09	0.76
Total Proposed Building Area:	71,538	8,889	80,427
Proposed Floor Area Ratio:	2.46	2.15	2.42
Maximum Number of Units:	54	4	58
Minimum Number of Parking Spaces:*	81	6	87
Maximum Permitted Building Height:	Per approved Building Elevations		
Maximum Site Coverage:	Per approved Site Plan		
Minimum Periphery Setbacks:	Per approved Site Plan		

* Parking ratio over 1: 1 may be achieved through the use of mechanical parking lifts.

Zoning Map.



Zoning Map
Not to scale

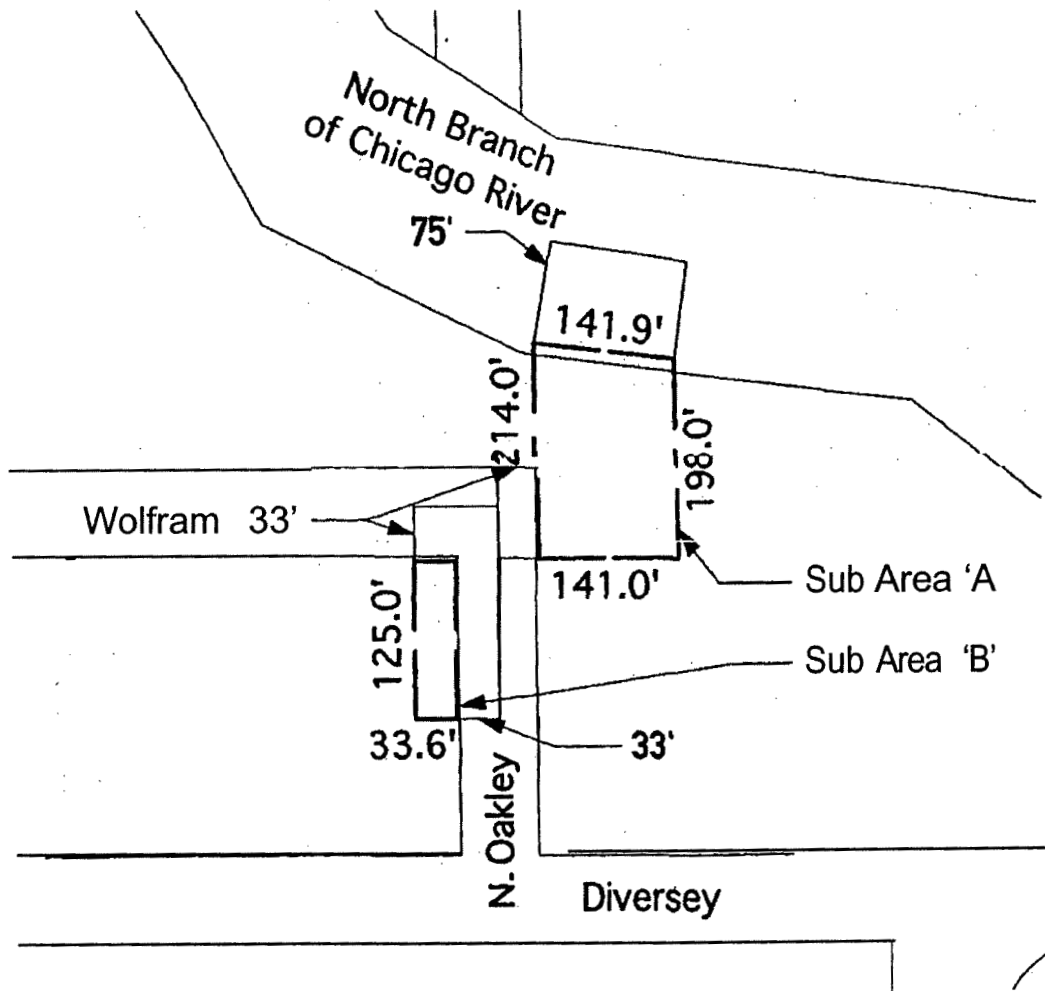
Date: May 13, 2004
Applicant: CenterStone Development Group, Inc.
Address: 2825 N. Oakley & 2822 N. Oakley

Legend
■ Subject Property



PAPAGEORGE/HAYMES Ltr
ARCHITECT

Planned Development Property Line, Boundary
And Right-Of-Way Adjustment Map.



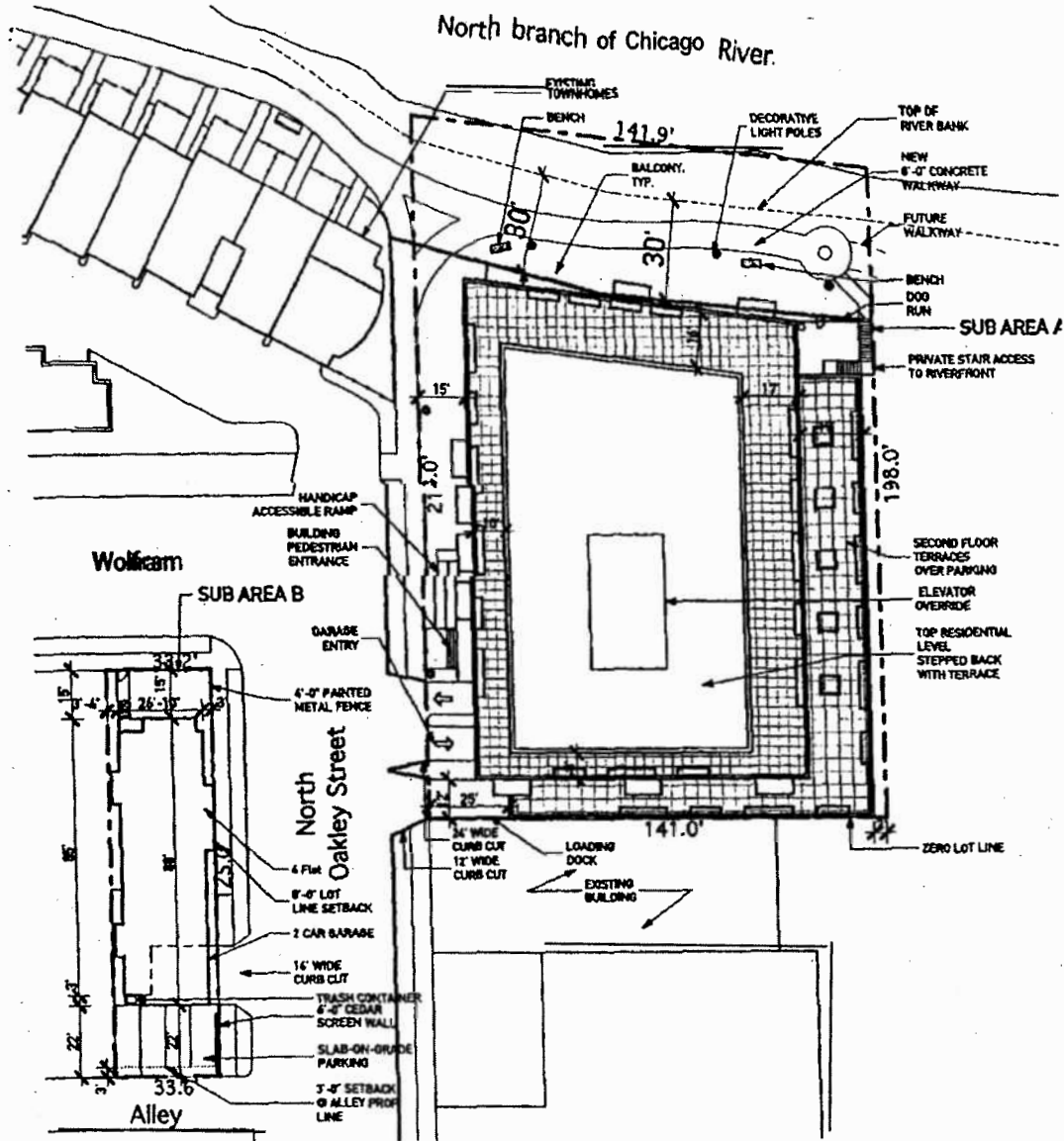
Planned Development Property Line,
Boundary, and Right of Way Adjustment Map
Not to scale

Date: May 13, 2004
Applicant: CenterStone Development Group, Inc.
Address: 2825 N. Oakley & 2822 N. Oakley



PAPPAGEORGE/HAYMES Ltd
ARCHITECTS

Site Plan.



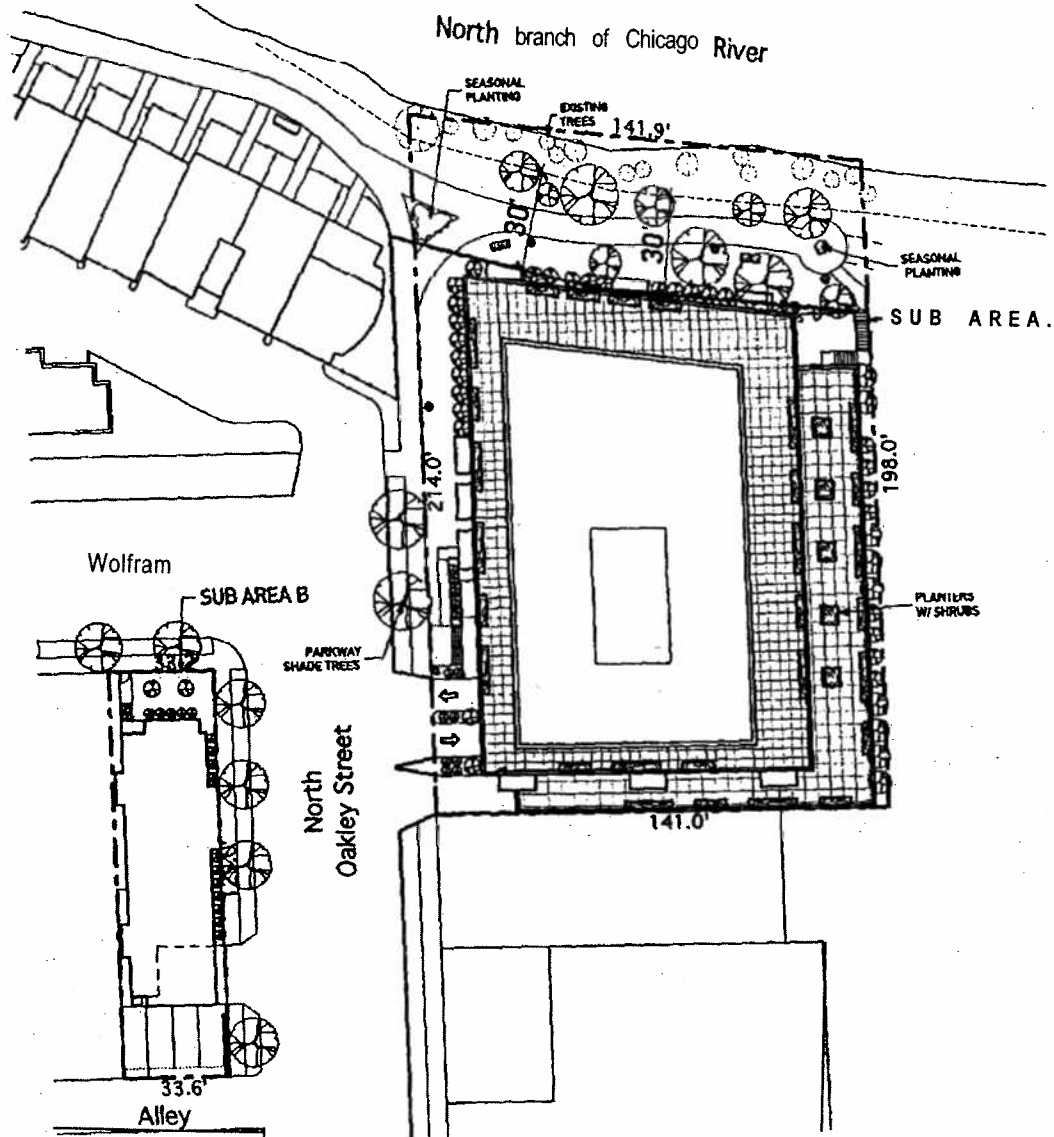
Site Plan
Scale 1"=40'-0"

Date: May 13, 2004
Applicant: CenterStone Development Group, Inc.
Address: 2825 N. Oakley & 2822 N. Oakley



PAPPAGEORGE/HAYMES Ltd.
ARCHITECT

Landscape Plan.



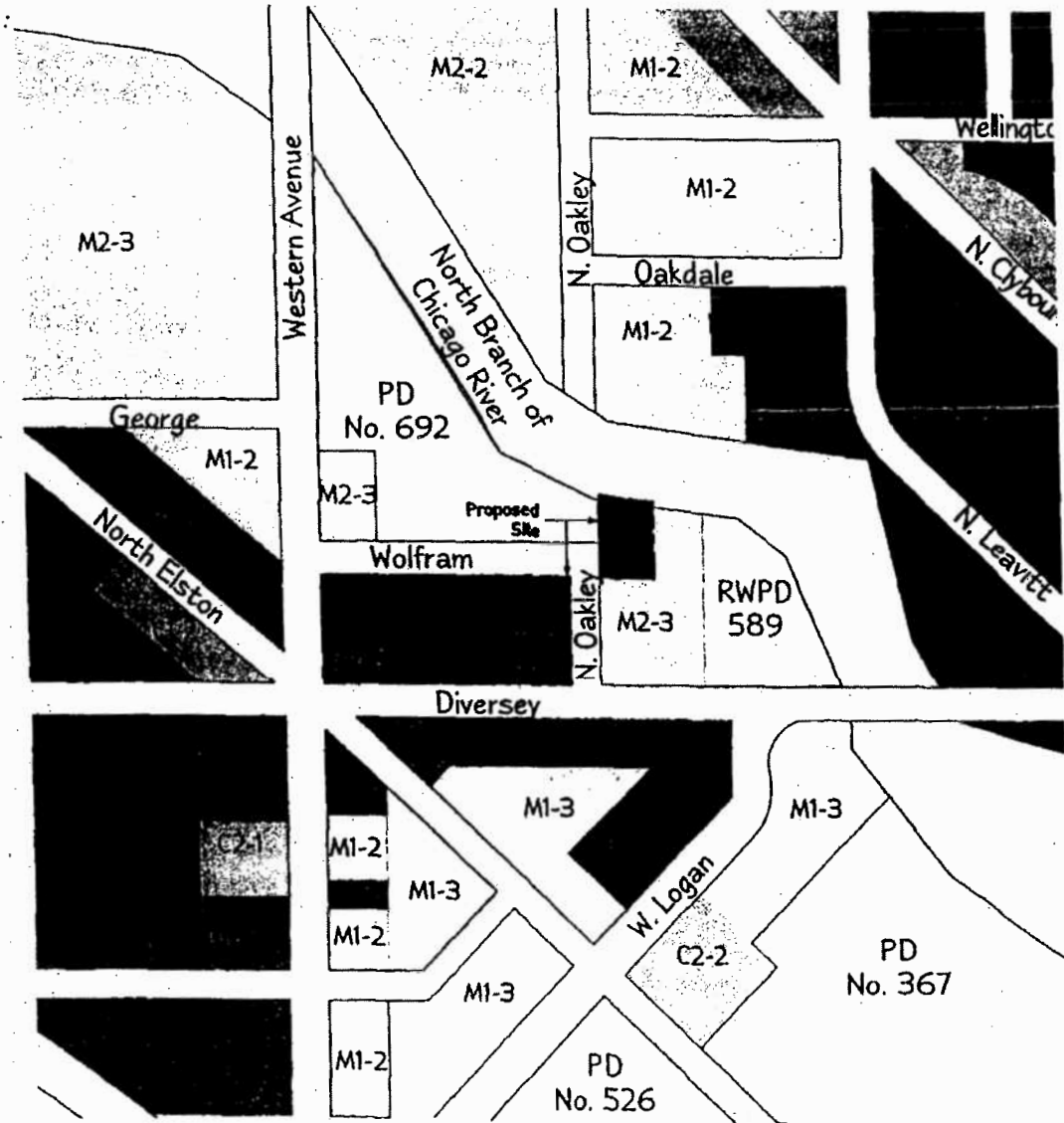
Landscape Plan
Scale 1"=40'-0"

Date: May 13, 2004
Applicant: CenterStone Development Group, Inc.
Address: 2825 N. Oakley & 2822 N. Oakley



PAPAGEORGE/HAYMES Ltd.
ARCHITECT

Existing Zoning And Land-Use Map,



Existing Zoning and Land Use Map
Not to scale

Date: May 13, 2004
Applicant: ContoStano Development Group, Inc.
Address: 2825 N. Oakley & 2822 N. Oakley

- Legend**
-  Site
 -  Business
 -  Commercial
 -  Manufacturing
 -  Residential



PAPPAGEORGE/HAYMES Ltd.
ARCHITECT