

# PD 903

## Table of Contents

|                                      |           |
|--------------------------------------|-----------|
| <b>12/11/2024 Site Plan</b> .....    | <b>2</b>  |
| Exhibits .....                       | 4         |
| <b>01/06/2022 Minor Change</b> ..... | <b>17</b> |
| <b>10/12/2017 Minor Change</b> ..... | <b>22</b> |
| Exhibits .....                       | 23        |
| <b>09/26/2017 Site Plan</b> .....    | <b>25</b> |
| Exhibits .....                       | 26        |
| <b>11/15/2010 Minor Change</b> ..... | <b>32</b> |
| <b>12/09/2008 Site Plan</b> .....    | <b>33</b> |
| <b>11/26/2008 Minor Change</b> ..... | <b>34</b> |
| <b>09/20/2006 Minor Change</b> ..... | <b>35</b> |
| Bulk Table .....                     | 37        |
| Exhibits .....                       | 38        |
| <b>03/14/2008 Site Plan</b> .....    | <b>39</b> |
| <b>02/06/2008 Site Plan</b> .....    | <b>40</b> |
| <b>12/26/2007 Site Plan</b> .....    | <b>41</b> |
| <b>01/08/2007 Site Plan</b> .....    | <b>42</b> |
| <b>01/08/2007 Site Plan</b> .....    | <b>44</b> |
| <b>09/20/2006 Minor Change</b> ..... | <b>46</b> |
| <b>10/12/2004 Site Plan</b> .....    | <b>48</b> |
| <b>03/31/2004 PD Adoption</b> .....  | <b>49</b> |
| Ordinance .....                      | 49        |
| Statements .....                     | 50        |
| Bulk Table .....                     | 57        |
| Exhibits .....                       | 59        |



**DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO**

December 11, 2024

Sara K. Barnes  
Gozdecki, Del Giudice, Americus & Brocato LLP  
One East Wacker Drive, Suite 1700  
Chicago, IL 60601

Re: Site Plan Approval for 4431-33 West North Avenue in Business Planned Development 903, Subarea D

To Ms. Barnes:

Please be advised that your request for site plan approval for the property generally located at 4431-33 West North Avenue in Business Planned Development 903 ("PD 903"), Subarea D, has been considered by the Department of Planning and Development (DPD), pursuant to Section 17-8-0900 and 17-13-0600 of the Chicago Zoning Ordinance and Statement No. 11 of PD 9033. This property has a net site area of 36,074 square feet and is currently unimproved.

Panda Restaurant Group, which is under contract to purchase the subject property, is requesting site plan approval to allow for construction of a one-story commercial building with a gross floor area of 2,738 square feet to be occupied by a Panda Express restaurant. The site will include a drive-through facility with capacity for at least 14 vehicles, 29 vehicular parking spaces and six bicycle parking spaces. The proposed bulk, uses, and density of the proposal are found to be compliant with the planned development ordinance reviewed and approved by the Chicago City Council and published in the City Council Journal dated March 31, 2004.

We have reviewed the following drawings and exhibits and those are made part of this planned development and accompany this letter:

- Site Map
- Plat of Survey
- Site Plan
- Landscape Plan
- Parking and circulation plan
- Floor plan
- Building Elevations (North, South, East and West)

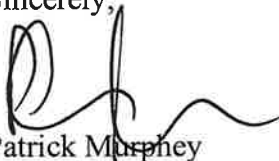
It is the obligation of the development team to remain compliant with the regulations of PD 903 and the Municipal Code of Chicago. Additional review of submitted documents will occur at the time of permitting to ensure compliance. Further, DPD has coordinated with CDOT on this site

plan review request and they have reviewed and approved the proposed site plan. The request for site plan approval has also been reviewed and approved by all relevant City of Chicago entities, including the Fire Department, Department of Water Management and the Mayor's Office for People with Disabilities.

Regarding your request, DPD has determined that the proposed development will not create an adverse impact on the remainder of PD 903 or the surrounding neighborhood, will not result in an increase in the height, bulk or density of Subarea D, as approved, and will not change the general character of the planned development.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 903, I hereby approve the foregoing site plan approval request, but no other changes to PD 903. The attached exhibits are in accordance with and satisfy the requirements of PD 903. Accordingly, this site plan approval request is hereby approved.

Sincerely,

A handwritten signature in black ink, appearing to read 'Patrick Murphy', with a stylized flourish at the end.

Patrick Murphy  
Zoning Administrator  
Department of Planning and Development

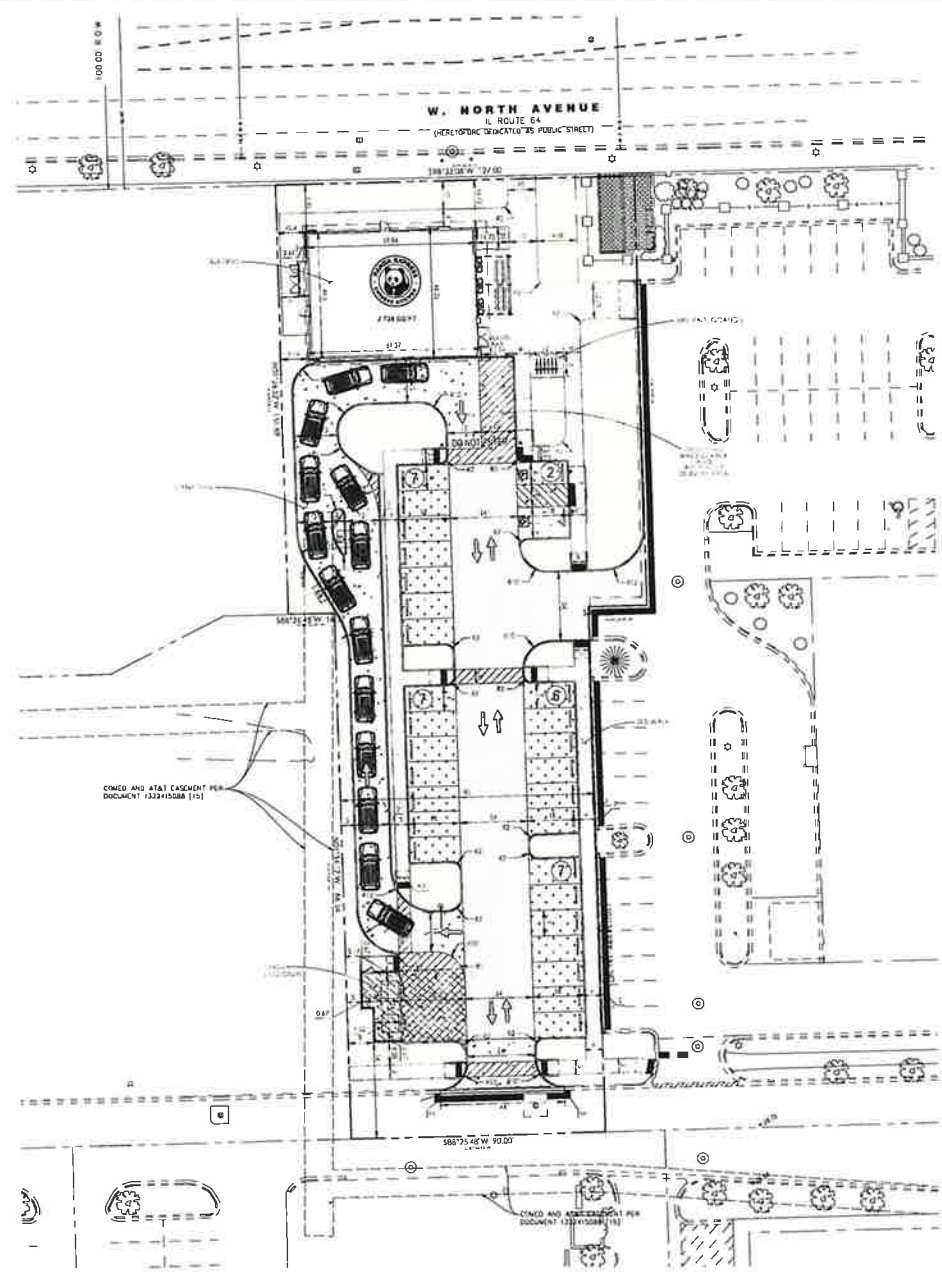
Cc: Brian Hacker, Noah Szafraniec, Mike Marmo, Janice Hill, Stephen Nutt  
PD Main File







User: Job: The City of Chicago, Department of Public Works, Engineering Division, Planning Section, 11/11/2023, 11:11:00 AM, 11/11/2023, 11:11:00 AM, 11/11/2023, 11:11:00 AM



### SITE INFORMATION

|   |  |
|---|--|
| PARCEL NUMBER:  | 1603-105-039   |
| ZONING DISTRICT:  | 35-1: GENERAL SERVICE DISTRICT (PER PD 903)                    |
| LOT AREA:   | 36 07 x 50 FT. (0 828 AC RES)                                  |
| FLOOR AREA:   | 2 738 SQ FT  |
| FLOOR AREA RATIO:   | 0 0750 (7 589)   |
| ADJACENT ZONING:  |  |
| NORTH:  | PMD 9: PLANNED DISTRICT  |
| SOUTH:  | 35-1 GENERAL SERVICE DISTRICT                                  |
| EAST:   | 35-1 GENERAL SERVICE DISTRICT                                  |
| WEST:   | PMD 9: PLANNED DISTRICT  |
| PROPOSED USE:   | NEW GROUND UP PANDA EXPRESS RESTAURANT AND DRIVE-THRU FACILITY |
| BUILDING HEIGHT:  | 25'-6"   |
| BUILDING SETBACKS:  |  |
| FRONT:  | PER PUD REVIEW (BY STAFF)                                      |
| SIDE:   | PER PUD REVIEW (BY STAFF)                                      |
| REAR:   | PER PUD REVIEW (BY STAFF)                                      |
| PARKING DATA:   |  |
| REQUIRED SPACES:  | 0 SPACES   |
| (1) SPACE PER 1 000 SQ FT AREA (IN EXCESS OF 4 000 SQ FT) |  |
| PROVIDED SPACES:  | 29 SPACES  |
| BIKE SPACES REQUIRED:                                     | 6 SPACES   |
| BIKE SPACES PROVIDED:                                     | 6 SPACES   |

### PAVING NOTES

ALL GEOTECHNICAL PAVING SECTIONS ARE PER SEPARATE GEO TECHNICAL ENGINEERING REPORT

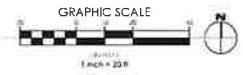
- ### SITE NOTES
1. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SIGNING STRIPES AND BUILDING DETAILS
  2. ALL STRIPES SHALL BE 1/8" HIGH SPRING WATER FINISH
  3. WHEEL FORTRESS IS 4.5" x 10" CONCRETE
  4. STAMPS TO SOLID SHALL BE PLACED AT BUILDING CORNER AND AT 4' ON 30' LARDS
  5. S.A. HAVE TO HAVE LARIC COVER
  6. CONCRETE SHALL BE PLACED WITHIN BACK OF CURB AND FACE OF BUILDING TO ENSURE PROPER DRAINAGE AWAY FROM BUILDING

### CROSS-SECTIONS LEGEND

|  |  |
|--|--|
|  | HEAVY DUTY ASPHALT<br>(OVER STONE BASE)                          |
|  | LIGHT DUTY ASPHALT<br>(OVER STONE BASE)                          |
|  | CONCRETE DRIVE THRU AND<br>PARKING AREA<br>(CONCRETE OVER STONE) |
|  | CONCRETE FOR DRIVE ENCLLOSURE<br>(CONCRETE OVER STONE)           |
|  | CONCRETE SIDEWALK<br>(CONCRETE OVER STONE)                       |
|  | PERMEOUS/LANDSCAPE AREA  |
|  | (C) PROPERTY LINE  |
|  | TRAFFIC FLOW DIRECTION/<br>STRIPING WHEN NOTED                   |

- ### SITE NOTES
1. ALL DIMENSIONS ALONG CURB LINES ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE
  2. RADIUS LABELS ARE TO FACE OF CURB, UNLESS NOTED OTHERWISE
  3. BUILDINGS AND ADJACENT TO BUILDING IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE BUILDING PLANS PROVIDED BY OTHERS AT THE DATE OF THESE PLANS BEING PREPARED. BUILDING PLANS NORMALLY CONTINUE TO CHANGE AFTER SITE PLANS HAVE BEEN APPROVED THEREFORE THE CONTRACTOR SHALL USE THE BUILDING PLANS FOR FINAL BUILDING IMPROVEMENTS, AND VERIFY THAT ALL ADJACENT IMPROVEMENTS ARE CONSISTENT WITH THE DESIGN INTENT AND REQUIREMENTS OF THE SITE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF CLARIFICATION IS NEEDED, OR IF CONFLICTS OR INCONSISTENCIES EXIST.
  4. TOPOGRAPHIC AND BOUNDARY SURVEY PREPARED BY SIGHT ON SOLUTIONS, INC
  5. LAYOUT IS PERPENDICULAR AND PARALLEL TO SOUTH PROPERTY LINE

SITE PLAN



CITY OF CHICAGO USE / STAMP AREA

**PANDA EXPRESS**  
CHINESE KITCHEN

PANDA RESTAURANT GROUP INC.  
1883 Walnut Grove Ave  
Rosemead, California 91768  
Phone: 626 261 8888  
Fax: 626 261 8288

All notes, design, arrangement and plan numbers or requirements by the owner and the property of Panda Express Inc. and approved by the city of Chicago. No part of these plans, drawings, arrangements or plans may be used for any other project, site, or location without the written permission of Panda Express Inc.

### REVISIONS

| NO. | DESCRIPTION         | DATE     |
|-----|---------------------|----------|
| 1   | ISSUE FOR SUBMITTAL | 03/07/24 |
|     |                     |          |
|     |                     |          |
|     |                     |          |

### ISSUE DATE

|            |          |
|------------|----------|
| ISSUE DATE | 03/07/24 |
|------------|----------|

PANDA PROJECT # 26374-037743  
ARCH PROJECT # 21045  
DRAWN BY LRA/JJD

**rtm**  
engineering consultants

401 F. Algerton Road  
Suite 100  
Skokie, Illinois, 60077  
Tel: 847.579.1488  
www.rtmcorp.com  
E: Design Team: rtm@rtmcorp.com

**Heights Venture**  
ARCHITECTURE + DESIGN

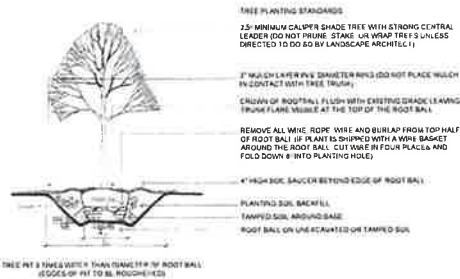
**PANDA EXPRESS**  
PANDA CUSTOMER SERVICE  
443-133 W. NORTH AVENUE  
CHICAGO, IL 60610

SITE PLAN  
C03.0

BEFORE YOU DIG  
IN CHICAGO,  
CALL  
**DIGGER**  
(312) 744-7000

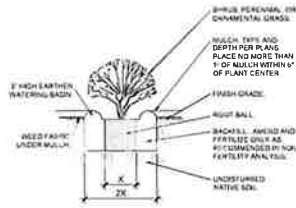
PLANNING SUBMITTAL(S)



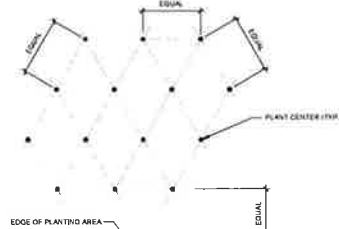


TREE #1 & #2 SHALL BE 1/4" THICKER THAN DIAMETER OF ROOTBALL. EDGES OF #1 TO BE ROUNDED.

**A TREE PLANTING**  
SCALE: NOT TO SCALE



**B SHRUB/GROUND COVER PLANTING**  
SCALE: 1/8" = 1'-0"



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING, EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS. REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

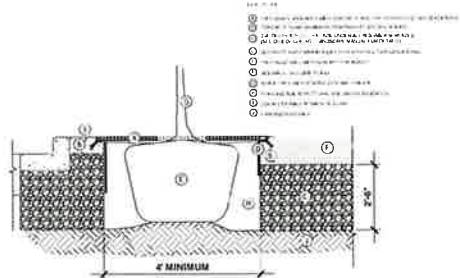
1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:  
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

| PLANT SPACING | AREA DIVIDER | PLANT SPACING | AREA DIVIDER |
|---------------|--------------|---------------|--------------|
| 6"            | 0.22         | 18"           | 1.56         |
| 8"            | 0.33         | 24"           | 3.46         |
| 12"           | 0.67         | 30"           | 5.44         |
| 15"           | 1.33         | 36"           | 7.74         |

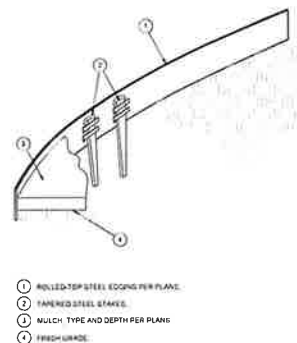
2) STEP 2: SUBTRACT THE ROW(S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

STEP 1: 100 SQ FT / 31 PLANTS = 3 PLANTS  
STEP 2: 51 PLANTS - 140 LF / 1.35 = 21 PLANTS = 35 PLANTS TOTAL

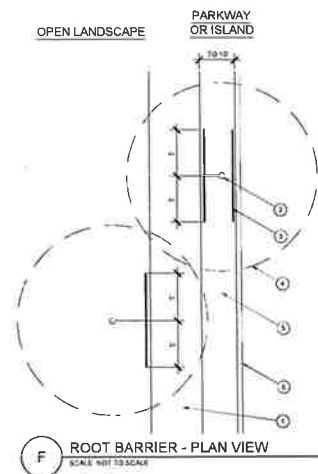
**C PLANT SPACING**  
SCALE: 1/8" = 1'-0"



**D TREE PLANTING IN PIT WITH GRATE**  
SCALE: NOT TO SCALE (FROM CHICAGO LANDSCAPE MANUAL)



**E STEEL EDGING**  
SCALE: NOT TO SCALE



NOTES:  
1) INSTALL ROOT BARRIERS NEAR ALL NEW-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF FINISH OR CURBS.  
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HardsCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.

**F ROOT BARRIER - PLAN VIEW**  
SCALE: NOT TO SCALE

CITY OF CHICAGO USE / STAMP AREA



PANDA RESTAURANT GROUP INC.  
1083 Walnut Grove Ave  
Rosemead California 91770  
Telephone: 626.799.6638  
Facsimile: 626.372.6268

All costs, design, arrangement and plan's not subject to be altered by the drawing as the property of Panda Express Inc. and are made for use on the specific project. Plans of this kind do not constitute a contract and shall be void if not approved by the architect and the owner.

REVISIONS

| NO. | DESCRIPTION       | DATE     |
|-----|-------------------|----------|
| 1   | FOOT RE-SUBMITTAL | 06.02.24 |
| 2   | FOOT RE-SUBMITTAL | 06.03.24 |
| 3   | FOOT RE-SUBMITTAL | 06.17.24 |

ISSUE DATE: 06.23.24  
 ARCH PROJECT #: 23005  
 DRAWN BY: SMS



Heights Venture  
ARCHITECTURE • DESIGN



PANDA EXPRESS  
P.K. CUSTOM NEW URBAN  
4431-4433 W. NORTH AVENUE  
CHICAGO, IL 60640



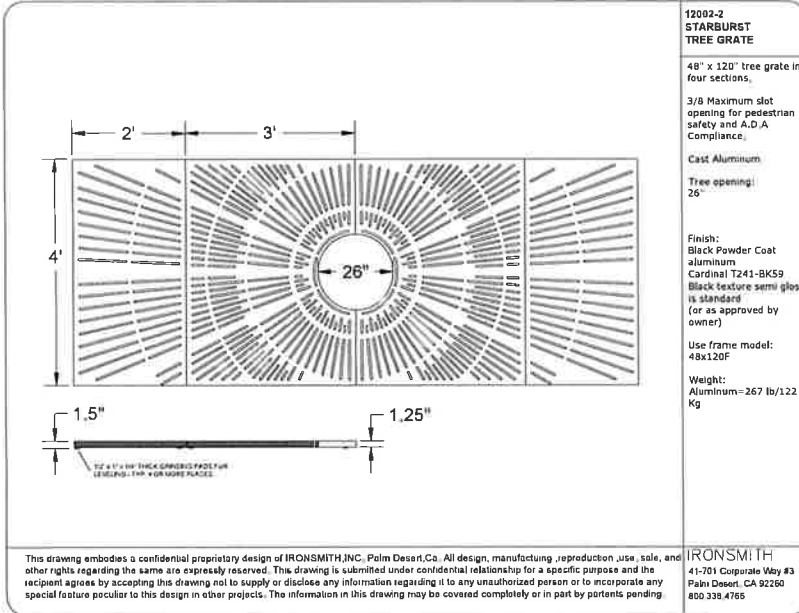
EVERGREEN  
DESIGN GROUP  
1800 BRADLEY  
4635 Linden Blvd. Ste. 700  
941666 MD 02181  
www.EvergreenDesignGroup.com

PLANTING SUBMITTALS(S)

L01.1

PANDA NEW URBANISM 2300-R1

NOTE:  
TREE GRATE AS SHOWN IN THE DETAILS AND SPECIFICATIONS ON THIS PAGE OR OTHER, AS APPROVED BY OWNER. TREE GRATE SELECTION TO BE APPROVED BY CHICAGO DEPARTMENT OF TRANSPORTATION PRIOR TO PURCHASE AND INSTALLATION.



A TREE GRATE  
SCALE: NOT TO SCALE

**TREE GRATE SPECIFICATIONS**

**PART 1 GENERAL**

**1.1 SECTION INCLUDES**

- A. Tree grates as shown on drawings and as specified herein.

**1.2 SUBMITTALS**

- A. Contractor shall submit set(s) of drawings of tree grates and frames for review by architect prior to purchase and installation.

**1.3 QUALITY ASSURANCE**

- A. Manufacturer Qualifications: Minimum 15 years tree grate manufacturing experience
- B. Installer qualifications: 2 years minimum experience installing tree grates and support frames.

**1.4 DELIVERY, STORAGE, AND HANDLING**

- A. Store product in manufacturer's packaging until ready to install.

**1.5 WARRANTY**

- A. Tree grates and frames shall be warranted by the Manufacturer against defects in materials and workmanship for a minimum of five (5) years.

**PART 2 PRODUCTS**

**2.1 TREE GRATES AND FRAMES**

- A. Manufacturer: Tree grates and frames shall be as supplied by IRONSMITH, INC., 41-701 Corporate Way, Unit 3, Palm Desert, CA 92260 (800) 338-4766, no exceptions taken.
- B. Tree grates shall be STARBURST-2 48x120 inch RECTANGULAR Model 12002-2 with 16,18,26 inch tree opening.
- C. Tree grates material shall be cast gray iron or cast aluminum from 100% recycled material. All tree grate castings shall be manufactured true to pattern and component parts, and shall fit together in a satisfactory manner. The castings shall be of uniform pattern and quality, free from blowholes, hard spots, shrinkage, distortion or other defects. Castings shall be cleaned by shot blasting.
- D. Finish: Grates are to be powder coat texture black
- E. Matching steel angle frames provided by tree grate manufacturer model 48x120F shall be provided with installation detail (6) per plans.
- F. Frames to be Powder coat Black (note frames can be powder coated to match grates)

**F. 5 - Total quantity.**

**PART 3 EXECUTION**

**3.1 EXAMINATION**

- A. Do not begin installation until site is properly prepared.
- B. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

**3.2 PREPARATION**

- A. Clean surfaces thoroughly prior to installation
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.

**3.3 INSTALLATION**

- A. Install materials and systems in proper relation with adjacent construction and with uniform appearance. Coordinate with work of other sections.
- B. Install grates and frames where indicated on plans, flush and leveled with surrounding pavement surface.
- C. Install steel angle frame
- D. Flush and leveled with surrounding paving surface, maintain flush and leveled at all times. Frames MUST NOT slope in more than one direction.
- E. Use spreaders or stakes to keep frame from being distorted by concrete pressure.
- F. Install frames per details on plans and manufacturer's recommendations.
- G. Clean concrete and debris from frame prior to tree grate installation.
- H. If needed, grind joints on underside of tree grates to level and prevent tripping in frame.

**3.5 CLEAN-UP AND PROTECTION**

- A. Protect installed product until completion of project.
- B. DO NOT ALLOW water from new concrete to run off or wash onto tree grates to prevent damage from concrete exudates, lime, and efflorescence.
- C. Touch up, repair or replace damaged products.
- D. DO NOT ALLOW ANY CONTAMINATION OF TREE PLANTING AREA! This includes, but is not limited to, construction debris, excess concrete, paint or other chemical contaminants. Any contamination of the planting area may be detrimental to the long term health of the tree.

END OF SECTION

CITY OF CHICAGO USE / STAMP AREA



**PANDA RESTAURANT GROUP INC.**  
1643 Walnut Grove Ave  
Rosemead, California 91770  
Telephone: 626.770.9606  
Facsimile: 626.772.7058

Release, design, arrangement and plans provided or transmitted by the issuing entity are property of Panda Express Inc. and are created for use of the specific project. Plans of this nature, design, arrangement or drawings are not to be used for any other project, time, or purpose without the written permission of Panda Express Inc.

REVISIONS:

|        |                     |          |
|--------|---------------------|----------|
| NO. 01 | DESCRIPTION         | DATE     |
| 1      | ADD RS-20 SUBMITTAL | 06/07/24 |
| 2      | ADD RS-20 SUBMITTAL | 06/18/24 |

ISSUE DATE

|            |          |
|------------|----------|
| ISSUE DATE | 63/07/24 |
| ISSUE DATE | 05/14/24 |
| ISSUE DATE | 02/12/24 |
| ISSUE DATE | 02/23/24 |

PANDA PROJECT # 58-24-027743  
ARCH PROJECT # 72045  
DRAWN BY SWS



**Heights Venture**  
ARCHITECTURE + DESIGN



**PANDA EXPRESS**  
PK CUSTOM NEW URBAN  
441-4433 W. NORTH AVENUE  
CHICAGO, IL 60639

PLANTING DETAILS

**L01.2**

PANDA NEW URBANISM 2500 R1



PLANNING SUBMITTAL(S)



Pro 5 Weed Barrier

DeWitt Pro 5 Weed Barrier is a woven, needle-punched polypropylene fabric for mechanical grade weed control. Specified by leading architects, it is fabricated to allow air, water, and nutrients to pass, while weeds are inhibited from growing through it.

Table with 5 columns: Property, Test Method, Limit, Measurement Average, and Unit. Lists various physical and chemical properties of the weed barrier fabric.

905 South Kingshighway Bldg 200, St. Louis, MO 63101
www.dewitt.com
573.472.0048 phone / 800.886.9609 / 573.471.6715 fax

THE ABOVE IS THE MINIMUM STANDARD. OTHER BRANDS MAY BE SUBSTITUTED AS LONG AS THE SPECIFICATIONS ARE MET OR EXCEEDED. HOWEVER, ANY SUBSTITUTION MUST BE SUBMITTED BY THE CONTRACTOR FOR PANDA PM APPROVAL, PRIOR TO INSTALLATION.

WEED BARRIER PRODUCT SPECIFICATION

DESIGN/BUILD IRRIGATION SPECIFICATIONS

- 1. GENERAL
2. IRRIGATION SYSTEM DESIGN
3. IRRIGATION SYSTEM INSTALLATION
4. IRRIGATION SYSTEM MAINTENANCE
5. IRRIGATION SYSTEM OPERATION
6. IRRIGATION SYSTEM REPAIR
7. IRRIGATION SYSTEM REPLACEMENT
8. IRRIGATION SYSTEM REMOVAL

PLANTING SPECIFICATIONS

- 1. GENERAL
2. PLANTING MATERIALS
3. PLANTING METHODS
4. PLANTING MAINTENANCE
5. PLANTING REPLACEMENT
6. PLANTING REMOVAL

CITY OF CHICAGO (STAMP AREA)



PANDA RESTAURANT GROUP INC.
1653 North Orem Ave.
Evanston, Illinois 60120
Telephone: 630.791.8888
Facsimile: 630.792.0208

Address: 1653 North Orem Ave., Evanston, IL 60120
Phone: 630.791.8888
Fax: 630.792.0208

Table with 2 columns: Item, Date. Lists submittal dates for various items.

PANDA PROJECT # S874-027/43
ARCH PROJECT # 2356
DRAWN BY SMS



PANDA EXPRESS
PX CUSTOM NEW URBAN
4831-4833 N. NORTH AVENUE
CHICAGO, IL 60640

LANDSCAPE SPECIFICATIONS

L01.3

PANDA NEW URBAN# 2500 R1

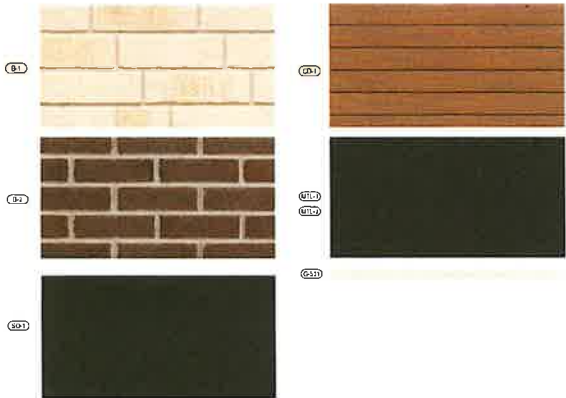
EVERGREEN
1815 N. OGDEN ST.
CHICAGO, IL 60640
(773) 327-0000
www.evergreenlandscape.com

PLANNING SUBMITTALS(S)





| EXTERIOR FINISH SCHEDULE |                    |                         |               |                     |  |
|--------------------------|--------------------|-------------------------|---------------|---------------------|--|
| NO.                      | MANUFACTURER       | ITEM                    | COLOR         | FINISH              | NOTES  |
| (S2)                     | SPS                | EXTERIOR SIGNAGE SYSTEM | GRY TIE       | FINISH              | STUCCO ACCENT BAND AND SIGNAGE   |
| (G1)                     | GLS/KCERF          | FELONYUS SERIES         | FTY DREAM     | WALKER/STUCCO       | WALKER/STUCCO  |
| (G2)                     | GLS/KCERF          | FAMILY STATE SERIES     | ARWILD BROWN  | GREEN HUMBLED SAKED | WALKER/STUCCO  |
| (G3)                     | FIBERFIN           | TRUWOOD                 | SHARROD       | WOOD                | COMPOSITE CLADDING CONTACT MARK SPOELLER 418-744-8114 EQUAL FINISHES@highpointcladding.com |
| (M1)                     | PANDA VENDOR       | ALLEN INDUSTRIES        | FINISH BRICK  | SATURATED           | ACCENT BAND, TRU LITE DREAM TRU CANOPY CANOPY WOODEN LIGHT WOODEN BUILDING                 |
| (M2)                     | EXCEPTIONAL METALS | FRANCIS BRICK           | FRANCIS BRICK | CAPTAIN'S           |  |



EAST ELEVATION | 2  
Scale: N T S | A-200



WEST ELEVATION | 1  
Scale: N T S | A-200

MATERIAL SPECIFICATIONS | 3  
Scale: N T S | A-200

CITY OF CHICAGO USE / STAMP AREA



PANDA RESTAURANT GROUP INC.  
1883 Walnut Grove Ave.  
Rosemead California  
91770  
Telephone: 626 798 8868  
Facsimile: 626 372 6488

All ideas, designs, arrangements and plans produced or prepared by the design are the property of Panda Express Inc. and shall not be used in the construction of any other building, design, arrangement or plan that is used by or derived in any manner, in any form, or in any way without the written permission of Panda Express Inc.

| REVISIONS |  |
|-----------|--|
|           |  |
|           |  |
|           |  |
|           |  |
|           |  |

| ISSUE DATE   |          |
|--------------|----------|
| PROJ PACKAGE | 03/27/24 |
|              |          |
|              |          |
|              |          |

PANDA PROJECT # 55-24-027743  
ARCH PROJECT # 22045  
DRAWN BY LC FLO

**Heights Venture**  
ARCHITECTURE + DESIGN



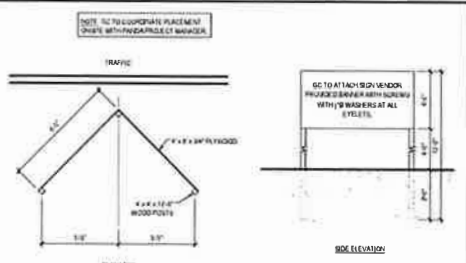
PANDA EXPRESS  
14 CUSTOM NEW URBAN  
WORTH AVENUE AND N KOSTER AVENUE  
CHICAGO, IL 60632

A-200  
EXTERIOR  
ELEVATIONS

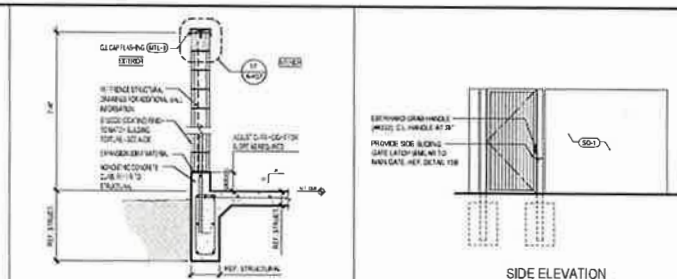
PLANNING SUBMITTAL(S)

PANDA HOME NEW URBAN



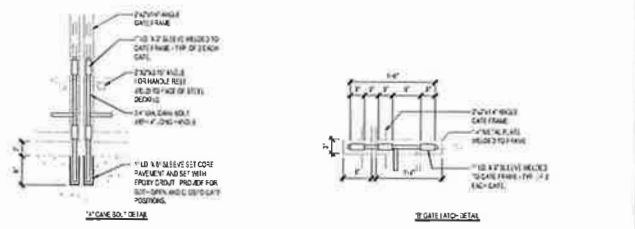


"COMING SOON" SIGN DETAIL 16  
Scale: 1/4" = 1'-0" A-407

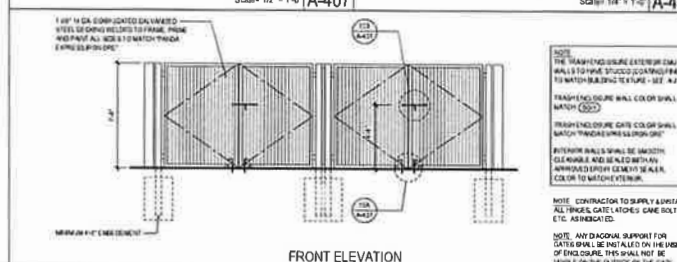


TRASH ENCLOSURE WALL SECTION 8  
Scale: 1/2" = 1'-0" A-407

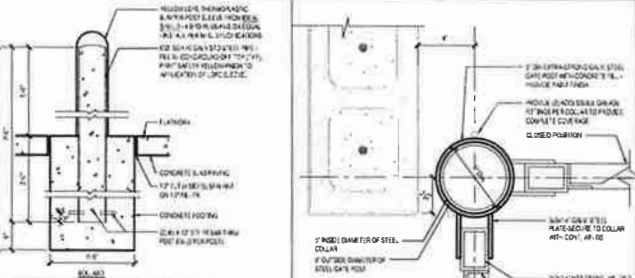
SIDE ELEVATION 4  
Scale: 1/4" = 1'-0" A-407



DUMPSTER GATE LATCH DETAILS 15  
Scale: NTS A-407

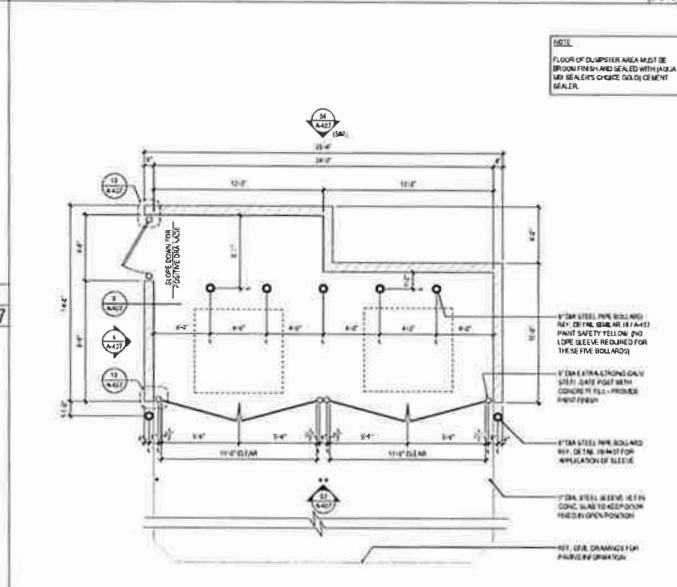


FRONT ELEVATION 2  
Scale: 1/4" = 1'-0" A-407

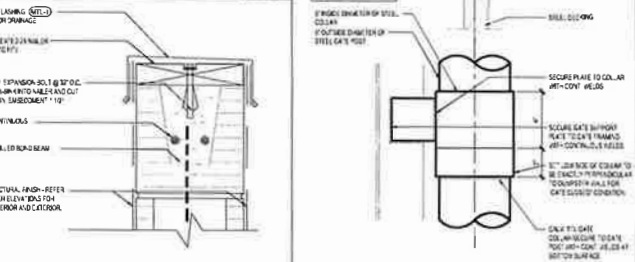


BOLLARD / POST BASE 18  
Scale: 1" = 1'-0" A-407

NOT USED 10  
Scale: A-407

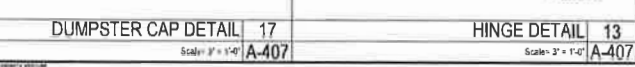


TRASH ENCLOSURE 1  
Scale: 1/4" = 1'-0" A-407



HINGE DETAIL 13  
Scale: 3" = 1'-0" A-407

NOT USED 9  
Scale: A-407



DUMPSTER CAP DETAIL 17  
Scale: 3" = 1'-0" A-407

CITY OF CHICAGO USE / STAMP AREA



PANDA RESTAURANT GROUP INC  
1683 Walnut Grove Ave  
Rosemead, California  
91770  
Telephone: 626.766.8856  
Facsimile: 626.762.8268

All design, drawings, preparation and plans submitted are represented by the drawing as the property of Panda Express Inc. and shall be used for the specific project only. Any other design, drawings, preparation or plans may be used for any other project without the written permission of Panda Express Inc.

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

ISSUE DATE: 03/07/24

PANDA PROJECT # SA-24-027743  
ARCH PROJECT # 23045  
DRAWN BY LC FLO

Heights Venture ARCHITECTURE + DESIGN



PANDA EXPRESS  
PK CUSTOM NEW URBAN  
W NORTH AVE AND N KOSTER AVE  
CHICAGO, IL 60638

A-407

TRASH ENCLOSURE DETAILS

PANDA HOME NEW URBAN

PLANNING SUBMITTAL(S)



January 6, 2022

Tyler Edwards  
Menard, Inc.  
5101 Menard Drive  
Eau Claire, WI 54703

**Re: Minor Change to PD 903 - Subarea A  
Proposed Menards Addition - 4501 W. North Avenue**

Dear Mr. Edwards:

Please be advised that your request for a minor change to Planned Development No. 903 ("PD 903") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 903.

On October 12, 2017, a minor change was issued to allow Menard, Inc. ("Menards"), the sole owner of all the property within Subarea A of PD 903, to build an addition on the north end of its existing warehouse building. The addition was never constructed, and the minor change has since expired. Menards is now ready to move forward with the project and is once again seeking approval of a minor change. However, Menards now intends to build a new separate building, as shown on the attached Site Plan and Elevations, instead of constructing the previously approved addition to the existing building. The new building will be similar in size to the existing building and have similar cladding. A minimum of 449 parking spaces within Subarea A will remain. A revised Landscape Plan and Plant List are also attached.

Regarding your request, the Department of Planning and Development has determined that allowing the proposed addition will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 903, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

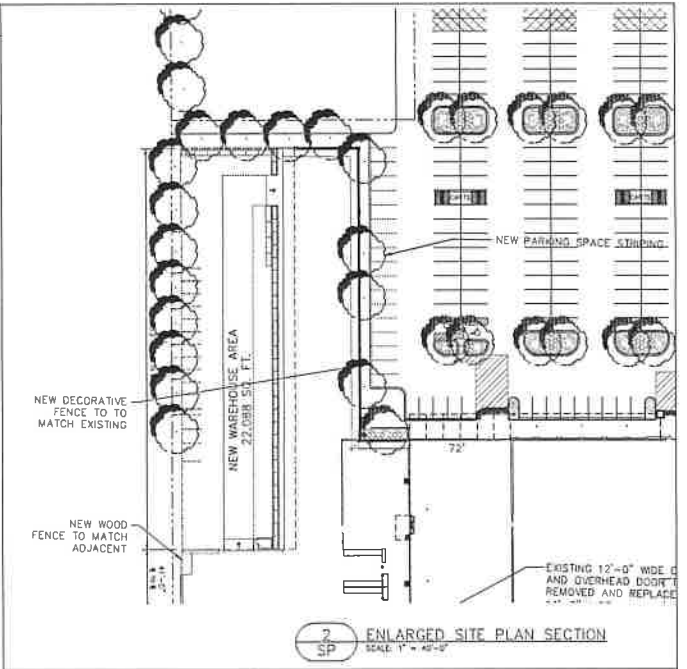
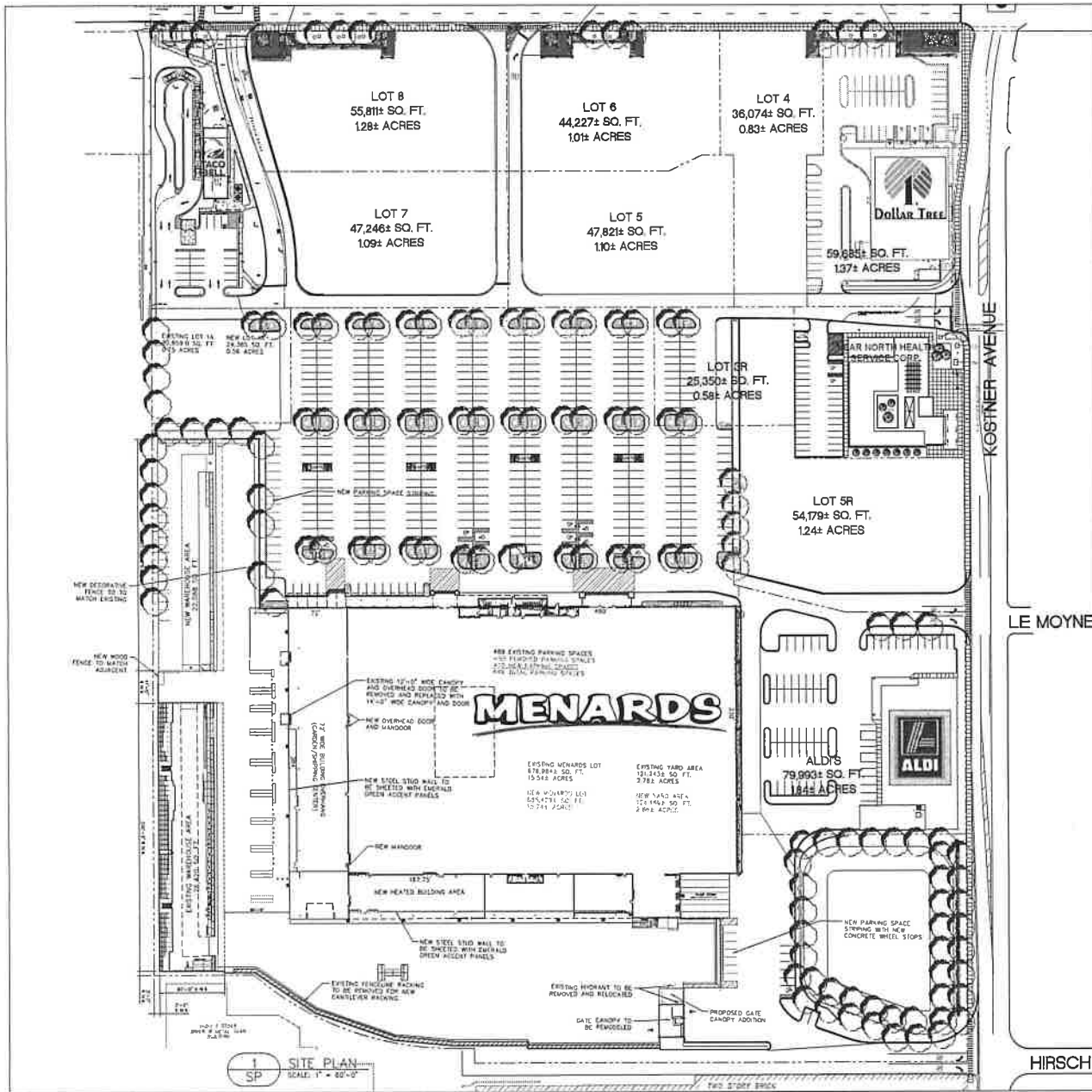
This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

A handwritten signature in black ink, appearing to read "S. Valenziano", with a long horizontal line extending to the right.

Steven Valenziano  
Assistant Zoning Administrator

C: Mike Marmo, Erik Glass, Noah Szafraniec, Ron Daye, Main file



**LANDSCAPE LEGEND**

| Symbol   | Size | SPACING | Notes             |
|----------|------|---------|-------------------|
| (Symbol) | 12"  | 10'     | TREES TO BE MOVED |
| (Symbol) | 12"  | 10'     | NEW TREE LOCATION |

**SP EXISTING PLANT LIST**  
SCALE: 1" = 20'-0"

| SYMBOL | SCIENTIFIC NAME                | COMMON NAME     | SIZE       |
|--------|--------------------------------|-----------------|------------|
| CD     | CORNUS OCCIDENTALIS 'CHICAGO   | CHICAGO DOGWOOD | 7" CAL. BR |
| CO     | QUERCUS ELONGATA               | LONG LEAF PINE  | 7" CAL. BR |
| OR     | QUERCUS LAEVOGLOBOSA 'NUTTALL' | NUTTALL'S OAK   | 7" CAL. BR |
| DR     | DRYAS                          |                 |            |
| BO     | BASS LAEVOGLOBOSA 'CHICAGO'    | CHICAGO DOGWOOD | 7" CAL. BR |
| SP     | SPERMATOPHYTES                 |                 |            |
| FR     | FERNACEAE                      |                 |            |
| LI     | LILIACEAE                      |                 |            |
| PA     | PAPAVERACEAE                   |                 |            |



**MENARDS**

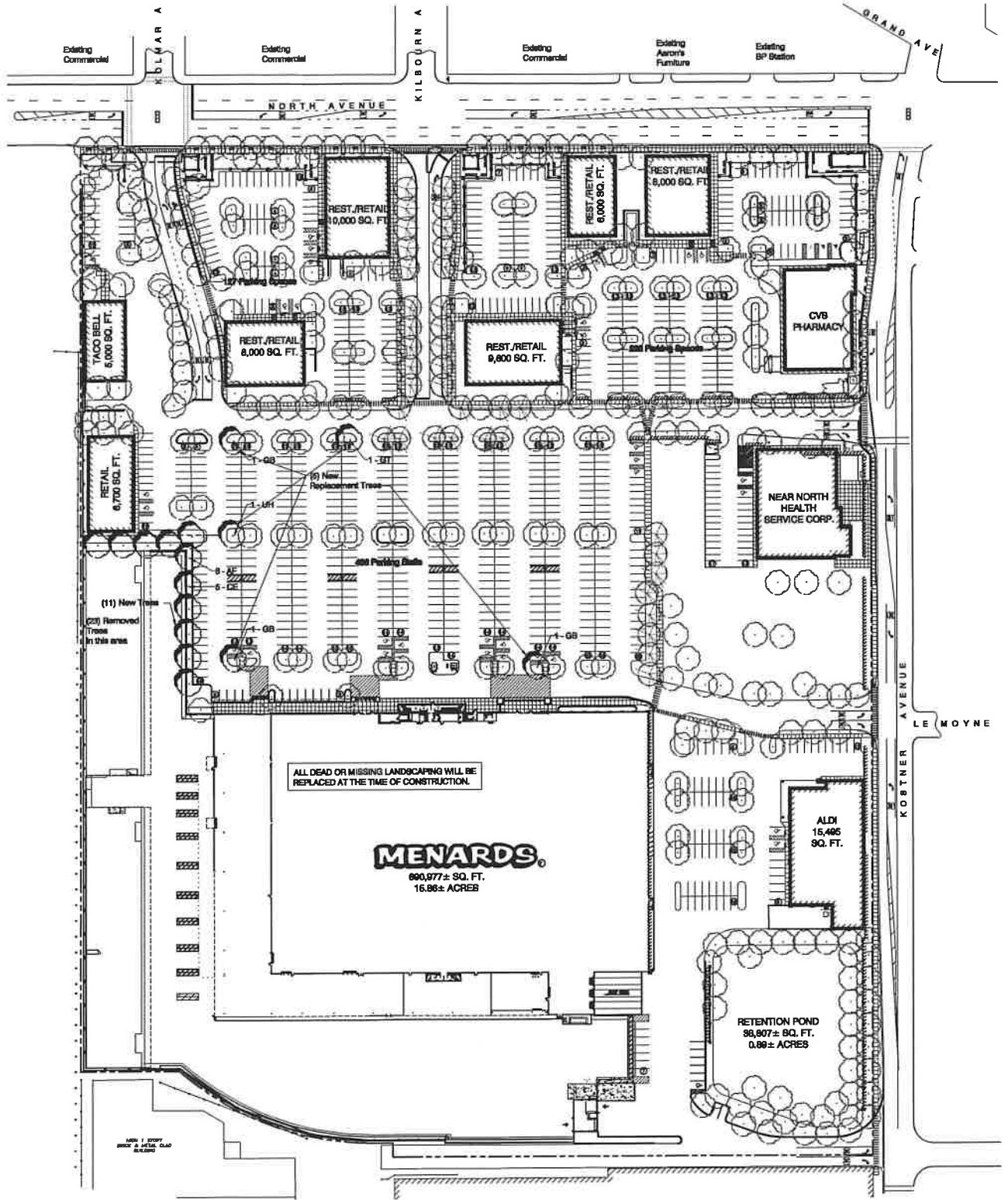
STORE DESIGN DEPARTMENT  
EAU CLAIRE, WISCONSIN

PROJECT TITLE: PS 2007 NORTH AVENUE  
SHEET TITLE: CHICAGO, ILLINOIS  
SITE PLAN

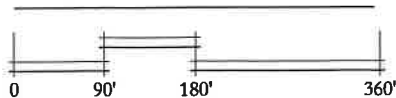
| SCALE        | DRAWN BY | DATE     |
|--------------|----------|----------|
| 1/8" = 1'-0" | MM       | 09-11-13 |

| NO. | DATE | DESCRIPTION | BY | CHKD. ENG. NAME |
|-----|------|-------------|----|-----------------|
|     |      |             |    | CHENG, S.       |
|     |      |             |    | SHEET NO.       |
|     |      |             |    | SP              |





### Interior Landscape Requirements



### Existing Interior Landscape Data

#### CONSOLIDATED SITE LANDSCAPE DATA

- ± 400,500 sq. ft. parking lot and loading area
- ± 40,000 sq. ft. landscaping required (10%)
- ± 41,200 sq. ft. landscaping provided (10%)
- 320 trees required
- 369 trees provided (including Landscape & Detention Area)

### Proposed Interior Landscape Data

#### CONSOLIDATED SITE LANDSCAPE DATA

- ± 368,000 sq. ft. parking lot and loading area
- ± 36,800 sq. ft. landscaping required (10%)
- ± 35,989 sq. ft. landscaping provided (9.8%)
- 304 trees required
- 357 trees provided (including Landscape & Detention Area)

**Menards**  
4401 W. NORTH AVENUE  
CHICAGO, ILLINOIS

APPLICANT:  
ADDRESS:

TEAM MENARD, INC  
4777 MENARD DRIVE  
EAU CLAIRE, WI

**HKM ARCHITECTS + PLANNERS, INC.**

43 SOUTH VAIL AVENUE ARLINGTON HEIGHTS, ILLINOIS 60005 © 2021

### Trees

| sym | Botanic Name                    | Common Name              | Size    |
|-----|---------------------------------|--------------------------|---------|
| AF  | Acer x freemanii 'Marmo'        | Marmo Non-Columnar Maple | 3" BB   |
| CE  | Celtis occidentalis             | Common Hackberry         | 3" BB   |
| GB  | Ginkgo biloba                   | Ginkgo                   | 3" BB   |
| GT  | Gleditsia triacanthos 'Skyline' | Skyline Honeylocust      | 3.5" BB |
| UH  | Ulmus 'Morton' Accolade         | Hybrid Elm               | 3" BB   |

### Plant List

|   |                        |   |            |                                    |   |
|---|------------------------|---|------------|------------------------------------|---|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS | APPLICANT:<br>ADDRESS: | TEAM MENARD, INC<br>4777 MENARD DRIVE<br>EAU CLAIRE, WI | <b>HKM</b> | <b>ARCHITECTS + PLANNERS, INC.</b> | 43 SOUTH VAIL AVENUE ARLINGTON HEIGHTS, ILLINOIS 60005 © 2021 |
|   |                        |   |            |                                    |   |



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

October 12, 2017

Tyler Edwards  
Menard, Inc.  
5101 Menard Drive  
Eau Claire, WI 54703

**Re: Administrative Relief request for Planned Development No. 903, Sub area A  
Proposed Menards addition at 4501 W. North Avenue**

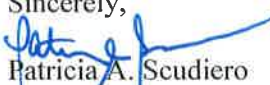
Dear Mr. Edwards:

Please be advised that your request for a minor change to Planned Development No. 903 ("PD 903") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 903.

You are requesting on behalf of Menard, Inc., the sole owner of all of the property within Sub area A of PD 903, administrative relief to allow for an approximately 22,088 square foot addition to the north end of the existing building, and as shown on the attached Site Plan and Elevations. The addition will be built over a portion of the parking lot however, there will still remain a minimum of 449 parking spaces within Sub area A. Menards is also proposing to enclose the overhang along the back of the store in order to create a heated storage space

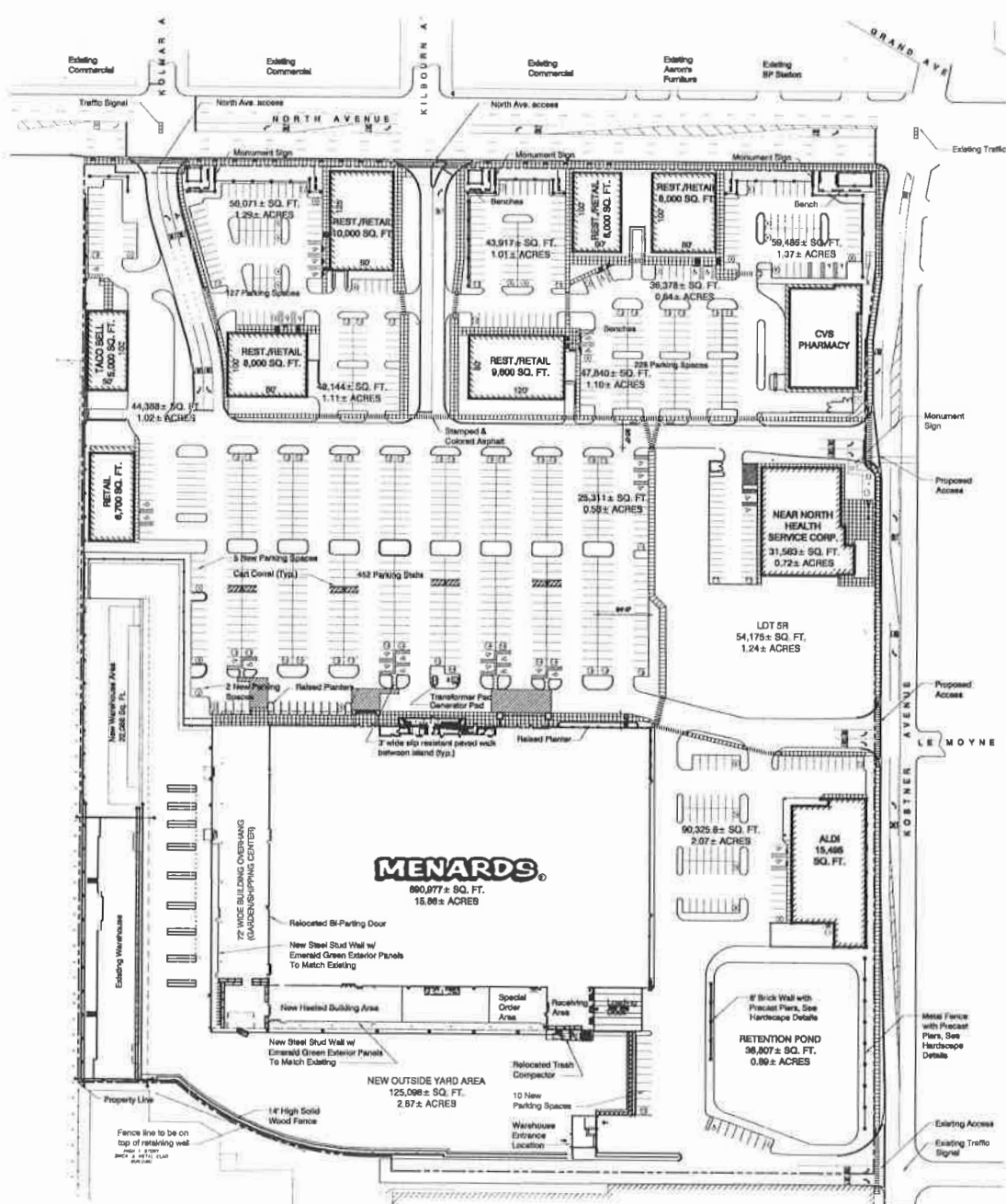
With regard to your request, the Department of Planning and Development has determined that allowing the proposed addition will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 903, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,  
  
Patricia A. Scudiero  
Zoning Administrator

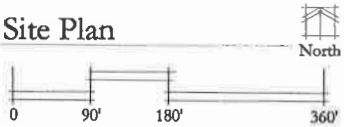
PAS:PM:tm

C: Mike Marmo, Erik Glass, Sean Glowacz, Main file



Note:  
See Civil Engineering drawings for final dimensions, light pole locations, etc.

Site Plan



| Site Data            | Square Footage         | Parking                  |
|----------------------|------------------------|--------------------------|
| Menards (Sub Area A) | 209,092 S.F.           | 452 Spaces (8 for carts) |
| Sub Area B           | See Plan of            |                          |
| Sub Area C           | Development Statements |                          |
| Sub Area D           |                        |                          |

|   |   |   |   |
|---|---|---|---|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS | APPLICANT:<br>ADDRESS:                                    | TEAM MENARD, INC<br>4777 MENARD DRIVE<br>EAU CLAIRE, WI | <b>HKM ARCHITECTS + PLANNERS, INC.</b><br>43 SOUTH VAIL AVENUE ARLINGTON HEIGHTS, ILLINOIS 60005 312/2017 |
|   | BUSINESS PLANNED DEVELOPMENT NO. 903<br>September 7, 2017 |   |   |





**DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO**

September 26, 2017

Michael Thompson, PE  
Hamilton Designs, LLC  
11988 Fishers Crossing Dr., Suite 154  
Fishers, Indiana 46038

**Re: Site Plan Approval for Taco Bell, 4501 W. North Avenue within Business Planned Development 903, Subarea C**

Dear Mr. Thompson:

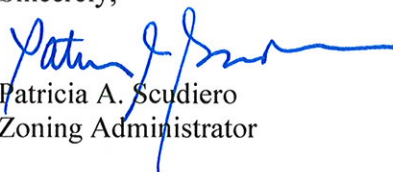
Please be advised that your request for site plan approval submitted for the project identified above and proposed for construction in Business Planned Development No. 903, as amended ("PD 903"), has been considered by the Department of Planning and Development ("DPD") pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 11 of the Planned Development Ordinance.

The project consists of a one-story, 2,530 sf restaurant building with 19 parking spaces (of which two are accessible) and one drive-through lane on a property with a gross site area of approximately 45,302 sf, within Subarea C of PD 903. In accordance with the terms of the Bulk Regulations and Data Table of PD 903, the building's height does not exceed 24' and the maximum percentage of site coverage is well below 50%. Pursuant to Statement Number 5 of the Planned Development Ordinance, a restaurant with a drive-through facility is a permitted use within Subarea C of PD 903. The request for approval includes the following attached documents by Hamilton Designs, LLC and NORR Architects:

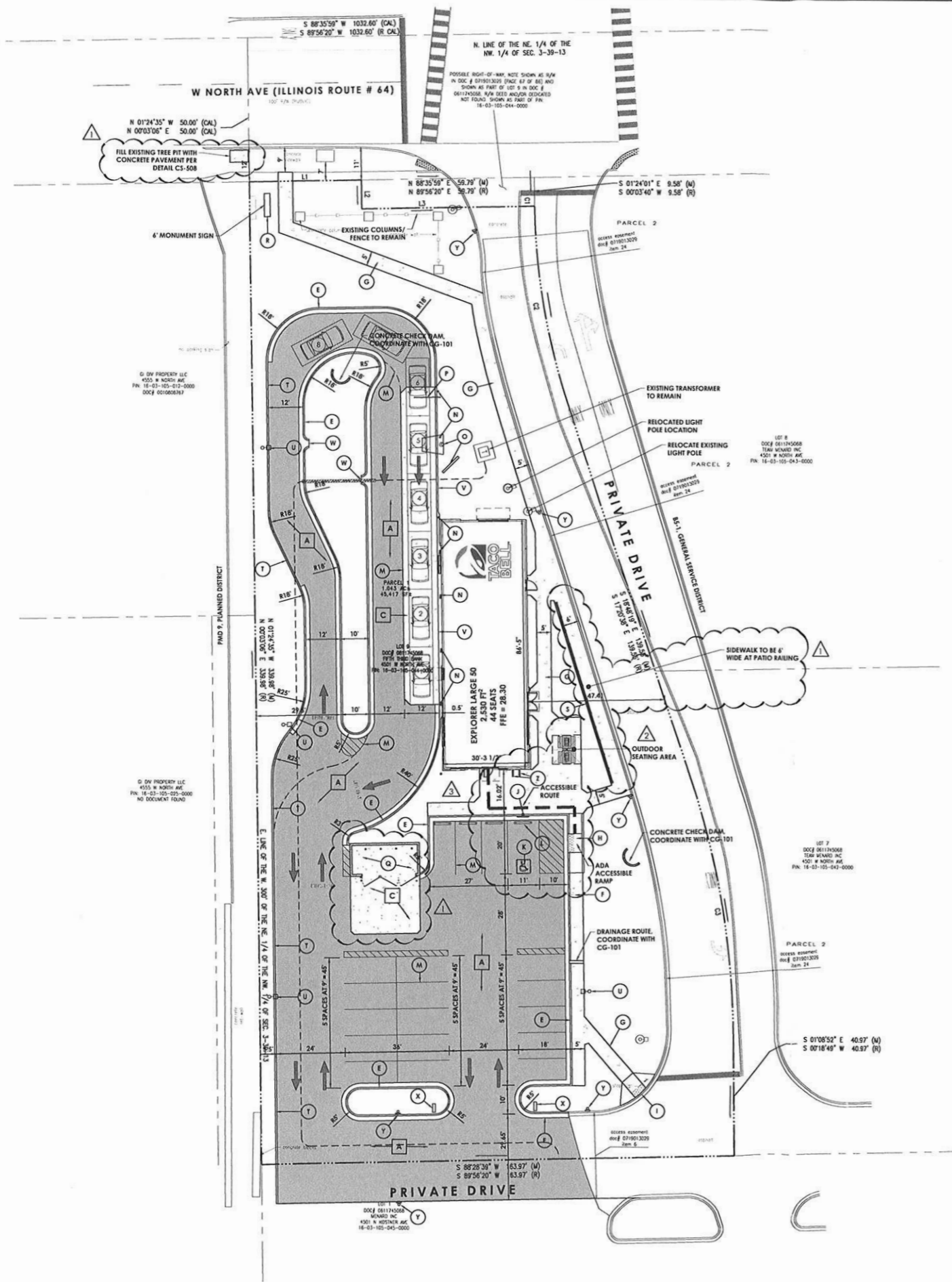
- CS-101: Site Plan (09.07.17)
- A4.0A: East Building Elevation (09.11.17)
- A4.0B: East and South Building Elevations (12.2016)
- A4.1B: West and North Building Elevations (12.2016)
- LP-101: Landscape Plan (09.07.17)
- LP-501: Landscape Details (08.31.17)

Upon review of the materials submitted, DPD has determined that the site plan is consistent with and satisfies the requirements of PD 903. Accordingly, this site plan submittal is hereby approved as conforming to PD 903. This site plan approval does not cover any signage, which must be covered by a separate application.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

Originated by: Heidi Sperry  
cc: Mike Marmo (DPD)  
Erik Glass (DPD)  
Planned Development files



**SITE INFORMATION**

PARCEL NUMBER: 160310544  
 ZONING DISTRICT: BS-1, GENERAL SERVICE DISTRICT (PER PD 903)  
 LOT AREA: 1.04 ACRES  
 BUILDING AREA: 2,530 SF

ADJOINER ZONING:  
 NORTH: PMD 9, PLANNED DISTRICT  
 SOUTH: BS-1, GENERAL SERVICE DISTRICT  
 EAST: BS-1, GENERAL SERVICE DISTRICT  
 WEST: PMD 9, PLANNED DISTRICT

PROPOSED USE: NEW QUICK-SERVE RESTAURANT (TACO BELL)

BUILDING SETBACKS:  
 FRONT: PER PUD REVIEW (BY STAFF)  
 SIDE: PER PUD REVIEW (BY STAFF)  
 REAR: PER PUD REVIEW (BY STAFF)

PARKING DATA:  
 REQUIRED SPACES: 19 SPACES  
 (1) SPACE PER 1,000 SF AREA (IN EXCESS OF 4,000 SF)  
 PROVIDED SPACES: 19 SPACES

**LEGEND OF EXISTING FEATURES**

|     |                          |   |                       |
|-----|--------------------------|---|-----------------------|
| --- | PROPERTY LINE            | + | BENCHMARK             |
| --- | RIGHT-OF-WAY LINE        | ○ | MONUMENT              |
| --- | SETBACK LINE             | △ | SECTION CORNER        |
| --- | EASEMENT                 | ⊠ | TRANSFORMER           |
| --- | SECTION LINE             | ⊠ | HYDRA                 |
| --- | CENTERLINE               | ⊠ | ELECTRIC METER        |
| --- | INTERMEDIATE CONTOUR     | ⊠ | ELECTRIC MANHOLE      |
| --- | INDEX CONTOUR            | ⊠ | POWER POLE   GUY WIRE |
| --- | TELEPHONE UNDER GR.      | ⊠ | LIGHT POLE            |
| --- | TELEPHONE OVERHEAD       | ⊠ | PARKING LOT LIGHTS    |
| --- | FIBER OPTIC SERVICE      | ⊠ | TELEPHONE PEDESTAL    |
| --- | GAS SERVICE              | ⊠ | TELEPHONE MANHOLE     |
| --- | POWER UNDERGROUND        | ⊠ | FIBER OPTIC PEDESTAL  |
| --- | POWER OVERHEAD           | ⊠ | TRAFFIC POLE          |
| --- | WATER SERVICE            | ⊠ | MANHOLE   STOP LIGHT  |
| --- | SANITARY SEWER           | ⊠ | GAS METER             |
| --- | STORM SEWER              | ⊠ | GAS VALVE             |
| --- | POND NORMAL POOL         | ⊠ | STORM MANHOLE         |
| --- | EX. FLOWLINE             | ⊠ | SANITARY MANHOLE      |
| --- | CHAIN LINK FENCE         | ⊠ | STORM INLETS          |
| --- | FARM FENCE               | ⊠ | STORM ENDSECTION      |
| --- | WOOD FENCE               | ⊠ | CLEAN-OUT             |
| --- | IRON FENCE   RAILING     | ⊠ | DOWNPOUT              |
| --- | BUILDING   STRUCTURE     | ⊠ | FIRE HYDRANTS         |
| --- | EX. BUILDING OVERHEAD    | ⊠ | FIRE VALVE            |
| --- | RIM ELEVATION            | ⊠ | WATER METER           |
| --- | INVERT ELEVATION         | ⊠ | POST INDICATOR VALVE  |
| --- | FINISHED FLOOR ELEVATION | ⊠ | FIRE DEPARTMENT CONN. |
| --- |                          | ⊠ | SIGNS                 |
| --- |                          | ⊠ | MAILBOX               |
| --- |                          | ⊠ | ADA PARKING           |
| --- |                          | ⊠ | PARKING COUNT         |
| --- |                          | ⊠ | TREES                 |
| --- |                          | ⊠ | SHRUB                 |

**SITE PLAN LEGEND - PROPOSED**

|     |   |                 |
|-----|---|-----------------|
| A   | HEAVY DUTY ASPHALT PAVEMENT   | CS-50           |
| B   | NOT USED  |                 |
| C   | BLACK CONCRETE PAVEMENT   | CS-50           |
| D   | NOT USED  |                 |
| E   | COMBINED CURB & GUTTER  | CS-50           |
| F   | CONCRETE CURB AND WALK  | CS-50           |
| G   | CONCRETE SIDEWALK   | CS-50B          |
| H   | CITY OF CHICAGO PARALLEL RAMP   | CS-50B          |
| I   | CITY OF CHICAGO SHARED PERPENDICULAR RAMP AT CORNER   | CS-50B          |
| J   | ACCESSIBLE PARKING SIGNAGE  | CS-50   CS-50S  |
| K   | ACCESSIBLE PARKING PAVEMENT MARKINGS  | CS-50           |
| L   | PRECAST CONCRETE WHEELSTOP  | CS-50           |
| M   | PAVEMENT STRIPING, 4" SOLID   |                 |
| N   | BOLLARD   | CS-50           |
| O   | MENU BOARD, ORDER CONFIRMATION, AND CANOPY  | CS-50S   CS-50A |
| P   | CLEARANCE BAR   | CS-50S   CS-50A |
| Q   | DUMPSTER ENCLOSURE  | CS-50S          |
| R   | PROPOSED SIGNAGE  |                 |
| S   | PATIO RAILING   | CS-50S          |
| T   | 12" CONCRETE CURB   |                 |
| U   | LIGHT POLE  | CS-50S          |
| V   | 6" CONCRETE CURB  | CS-50           |
| W   | CURB TURNOUT  | CS-50           |
| X   | DIRECTIONAL SIGNAGE   | CS-50S          |
| Y   | NO PARKING SIGN PER CITY ORDINANCE / CODE REGARDING INSTALLATION AND SIGN DETAIL REQUIREMENTS |                 |
| Z   | SECURE BIKE RACKS. REFER TO SHEET LP-101  |                 |
| --- | ACCESSIBLE ROUTE  |                 |

**CHICAGO DEPARTMENT OF TRANSPORTATION NOTES**

1. PROVIDE THE LATEST REVISION OF ALL APPLICABLE CDOT DETAILS AND ALL APPLICABLE CDOT ADA STANDARDS.

**CHICAGO DEPARTMENT OF BUILDING NOTES**

1. NUMBER OF STORIES: 1  
 2. BASEMENT: NO

REVISION BLOCK

1. 08/25/2017 MSO REVISED PER CITY AND OWNER COMMENTS  
 2. 08/31/2017 MSO CITY OF CHICAGO REVISIONS  
 3. 09/13/2017 MAT CITY OF CHICAGO REVISIONS

**MICHAEL A. THOMPSON**  
 LICENSED PROFESSIONAL ENGINEER OF ILLINOIS  
 062-068844

DATE: 09/07/2017  
 DRAWN BY: JTL  
 CHECKED BY: MAT

**HAMILTON DESIGNS**  
 A LIMITED LIABILITY COMPANY

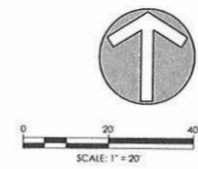
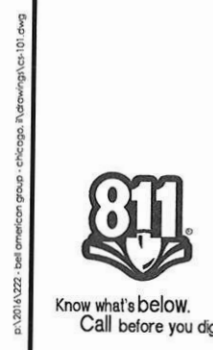
11988 Fishers Crossing Drive, Suite 154  
 Fishers, Indiana 46038  
 P. (317) 570-8800  
 www.hamilton-designs.com

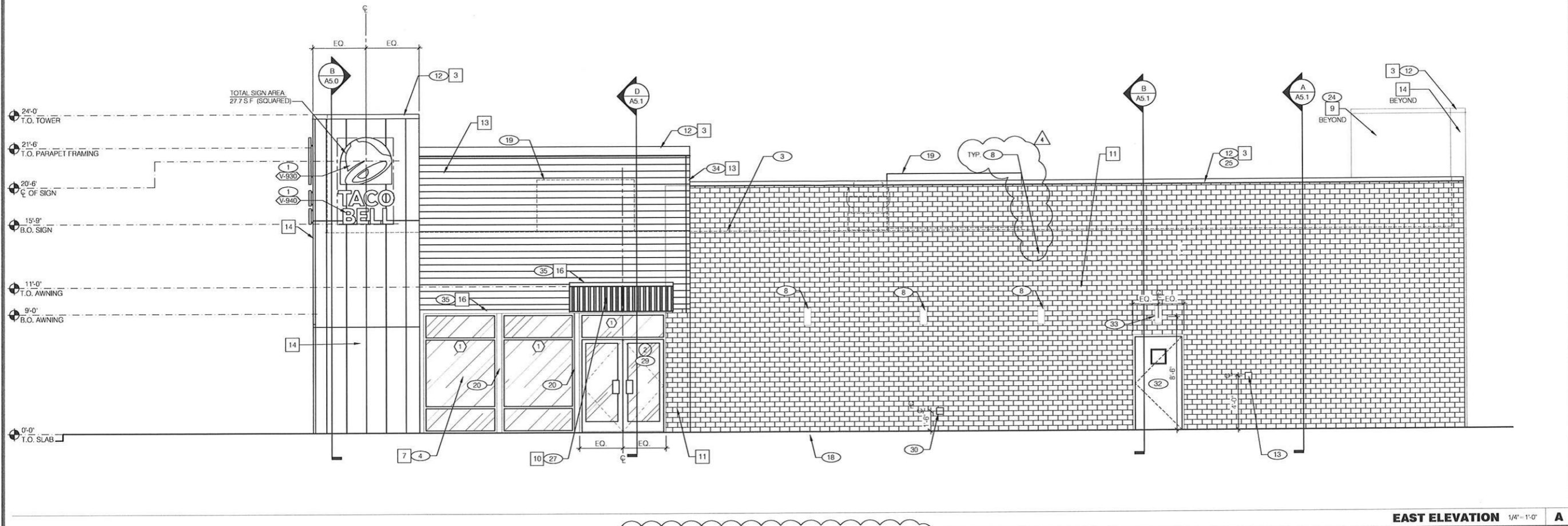
CONSTRUCTION PLANS FOR:

**TACO BELL | CHICAGO, IL**  
 4523 W. North Avenue  
 Chicago, Illinois 60639

**BELL AMERICAN GROUP, LLC**  
 8930 Basin Street, Suite L  
 Indianapolis, Indiana 46256

PROJECT NO. 2016-222  
 DATE 09/07/2017  
 SCALE 1" = 20'  
 SHEET NAME **SITE PLAN**  
 SHEET NO. **CS-101**





**EAST ELEVATION** 1/4" = 1'-0" **A**

**MISCELLANEOUS**  
 A. SEE SHT A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.  
 B. ALL WINDOWS AND SPANDREL GLAZING TO BE TREATED WITH "FEATHER FRIENDLY" LARGE-FORMAT BIRD COLLISION DETERRENT FOR COMMERCIAL & INSTITUTIONAL BUILDINGS.

**SEALERS (REFER TO SPECS):**  
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.  
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL @ WINDOWS.  
 C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING & CANOPY.

**"CRITICAL" DIMENSIONS:**  
 A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/ BUILDING ELEMENTS DIMENSIONS.

**NOTE:** NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

NOTE: SIGNAGE UNDER SEPARATE PERMIT

| QTY | ITEM DESCRIPTION                      | ELEC |
|-----|---------------------------------------|------|
| 4   | TB 3'-6" x 4'-0" LOGO BELL - FACE LIT | X    |
| 4   | TB 14" CHANNEL LETTER WHITE           | X    |

**SIGN SCHEDULE** N.T.S. **C**

| SYMBOL | AREA                    | MANUFACTURER                 | COLOR  | ALTERNATE MFR    | ALTERNATE COLOR    | CONTACT INFORMATION   |
|--------|-------------------------|------------------------------|--|------------------|--------------------|---|
|        |                         |                              |  |                  |                    | SHERWIN WILLIAMS; BRAD HARRINGTON, 216-228-54988 (PHONE), BRAD.E.HARRINGTON@SHERWIN.COM (EMAIL) |
| 3      | PARAPET CAP (TOWER)     | DUROLAST (25)                | MEDIUM BRONZE (FACTORY FINISH)                                       | SHERWIN WILLIAMS | SW 7069 "IRON ORE" | DURO-LAST; LEE COBB, 800-434-3876 (PHONE)   |
| 4      | PARAPET CAP (FRONT)     | DURALAST                     | MEDIUM BRONZE (FACTORY FINISH)                                       |                  |                    |   |
| 5      | PARAPET CAP (SIDES)     | DUROLAST (25)                | MEDIUM BRONZE (FACTORY FINISH)                                       |                  |                    |   |
| 6      | PARAPET CAP (COOLER)    | DUROLAST (25)                | MEDIUM BRONZE (FACTORY FINISH)                                       |                  |                    |   |
| 7      | STOREFRONT WINDOWS      | TBD                          | CLEAR ANODIZED   |                  |                    |   |
| 8      | PIPE BOLLARDS           | STREET SMART                 | YELLOW - 1/4" THICK PLASTIC COVER (US POSTMAN.COM) OR EQUAL.         |                  |                    |   |
| 9      | PARAPET BACK ROOFING    | DUROLAST                     | THE COLOR SHALL BE FACTORY COLORED "WHITE." EQUAL ALTERNATE ALLOWED. |                  |                    | DURO-LAST; LEE COBB, 800-434-3876 (PHONE)   |
| 10     | AWNING                  | BERPRIDGE                    | S-DECK PREWEATHERED GALVALUME  |                  |                    |   |
| 11     | THIN BRICK              | BELDEN                       | RED BRICKS - BELCREST 700  |                  |                    |   |
| 13     | FIBER CEMENT PANELS     | NICHIHA - ROUGH SAWN         | "SMOKE"  |                  |                    | NICHIHA; CHRIS TATE, 404-538-1261 (PHONE), ctate@nichiha.com (EMAIL)                            |
| 14     | METAL PANELS            | WESTERN STATES METAL ROOFING | 18" A606-4 RUSTWALL PANELS   |                  |                    | WESTERN METAL DECK; RUSTY FAILS - RUSTY@METALDECK.COM - WWW.METALDECK.COM                       |
| 16     | FIBER CEMENT BOARD TRIM | JAMES HADJIE                 | 3/4" X 3 1/2" SMOOTH   |                  |                    |   |
| 17     | SPANDREL GLAZING        | ICD OPACI                    | 1" INSULATED SPANDREL GLAZING UNIT - COAT - #3-0586 MEDIUM GRAY      |                  |                    |   |

**EXTERIOR FINISH SCHEDULE** **H**

- 1 BUILDING SIGN, BY VENDOR. SEE STRUCTURAL BLOCKING ELEVATIONS, SHEET S5.0 FOR MORE INFORMATION. SEE ELECTRICAL PLANS FOR POWER REQUIREMENTS.
- 2 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 3 DASHED LINE INDICATES ROOF BEYOND.
- 4 STOREFRONT, TYPICAL.
- 5 TUBE STEEL POST. SEE STRUCTURAL DWGS.
- 6 SWITCH GEAR. PAINT TO MATCH WALL.
- 7 CORRUGATED METAL ROOF.
- 8 EXTERIOR LAMP. (CENTER OF BRACKET AT 11'-0" A.F.F.).
- 9 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 10 DASHED BOX INDICATES AREA OF PAINTED 15W x 6H WALL MURAL. (NOT USED)
- 11 TOWER WITH METAL PANEL FINISH.
- 12 PARAPET COPING. IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM. SEE DETAIL 2/A6.0.
- 13 CO2 FILLER VALVE & COVER. SEE DETAIL 5/A6.2 SIM.
- 14 NOT USED.
- 15 GAS SERVICE.
- 16 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 17 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
- 18 CONCRETE CURB.
- 19 RTU BEYOND. PAINT TO MATCH MAIN BUILDING COLOR.
- 20 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT. SEE 3/A6.1
- 21 OVERFLOW SCUPPER
- 22 WOOD RAFTERS. SEE STRUCTURAL DWGS.
- 23 BOLLARD
- 24 SINGLE MEMBRANE ROOFING.
- 25 IF THE DURO LAST PARAPET CAP TRIM IS USED IT SHALL NOT BE PAINTED.
- 26 WOOD HEADER BEAM. SEE STRUCTURAL DWGS.
- 27 METAL AWNING - BY OTHERS
- 28 4" Ø BOLLARDS AT ALL DOWNSPOULTS.
- 29 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- 30 HOSE BIBB LOCATION. REFER TO PLUMBING AND DETAIL 8/A6.2
- 31 GUTTER AND DOWNSPOUT, PAINT TO MATCH COLUMN
- 32 SERVICE DOOR TO BE PAINTED SAME COLOR AS ADJACENT WALL COLOR
- 33 WALL PACK LIGHT FIXTURE
- 34 PRE-FAB CORNER TO MATCH FIBER CEMENT PANEL.
- 35 3 1/2" FIBER CEMENT BOARD TRIM - PAINT TO MATCH ADJACENT FIBER CEMENT BOARD PANEL.

**KEY NOTES** **D**

**ENGINEER:**  
 William J. Akenneyer, P.E.  
 303 Memorial Avenue, Suite 119  
 Chicago, IL 60654  
 Phone (312) 772-3282  
 Fax (312) 772-3814

**ARCHITECT:**  
**NORR**  
 ARCHITECTS  
 PLANNERS  
 285 N. LaSalle | Suite 501 | Chicago, IL 60654  
 (312) 467-3687 | (312) 467-3688



- 06-23-2017 ISSUED FOR REVIEW
- 07-19-2017 ISSUED FOR PERMIT
- 08-08-2017 ISSUED FOR PERMIT
- 08-17-2017 ISSUED FOR BID
- 08-23-2017 PERMIT REVISION
- 08-30-2017 PERMIT REVISION
- 09-11-2017 HEALTH DEPT. REV.

CONTRACT DATE:  
 BUILDING TYPE:  
 PLAN VERSION:  
 SITE NUMBER:  
 STORE NUMBER:



**EXTERIOR ELEVATIONS**  
**A4.0**



**EAST ELEVATION** 1/4" = 1'-0" **A**

THESE DOCUMENTS ARE BEING RELEASED FOR COLOR ELEVATION PURPOSES. THEY ARE NOT TO BE USED FOR PERMITTING OR CONSTRUCTION PURPOSES.

| SYMBOL | AREA                    | MANUFACTURER                 | COLOR  | ALTERNATE MFR    | ALTERNATE COLOR    | SAMPLE PHOTO |
|--------|-------------------------|------------------------------|--|------------------|--------------------|--------------|
| 1      | PARAPET CAP (TOWER)     | DUROLAST (25)                | MEDIUM BRONZE (FACTORY FINISH)                                       | SHERWIN WILLIAMS | SW 7069 'IRON ORE' |              |
| 2      | STOREFRONT WINDOWS      | TBD                          | CLEAR ANODIZED   |                  |                    |              |
| 3      | PIPE BOLLARDS           | STREET SMART                 | YELLOW - 1/4" THICK PLASTIC COVER (US POSTMAN.COM) OR EQUAL          |                  |                    |              |
| 4      | PARAPET BACK ROOFING    | DUROLAST                     | THE COLOR SHALL BE FACTORY COLORED "WHITE" - EQUAL ALTERNATE ALLOWED |                  |                    |              |
| 5      | AWNING                  | BERRIDGE                     | S-DECK PREWEATHERED GALVALUME  |                  |                    |              |
| 6      | THIN BRICK              | BELDEN                       | RED BRICKS - BELCREST 700  |                  |                    |              |
| 7      | FIBER CEMENT PANELS     | NICHIHA - ROUGH SAWN         | "SMOKE"  |                  |                    |              |
| 8      | METAL PANELS            | WESTERN STATES METAL ROOFING | 18" A606-4 RUSTWALL PANELS   |                  |                    |              |
| 9      | FIBER CEMENT BOARD TRIM | JAMES HARDIE                 | HARDIETRIM - 5/4" X 3 1/2" SMOOTH                                    |                  |                    |              |
| S      | SPANDREL GLAZING        | TBD                          |  |                  |                    |              |

**EXTERIOR FINISH SCHEDULE** **C**



**SOUTH ELEVATION** 1/4" = 1'-0" **B**

CONTRACT DATE: XX.XX.XX  
 BUILDING TYPE: EXPLORER LG50  
 PLAN VERSION: DECEMBER 2016  
 SITE NUMBER: XXX-XXX  
 STORE NUMBER: XXXXX

**TACO BELL**  
 4501 W NORTH AVE  
 CHICAGO, ILLINOIS 60639



**EXTERIOR ELEVATIONS**

**A4.0B**



WEST ELEVATION 1/4" = 1'-0" A

THESE DOCUMENTS ARE BEING RELEASED FOR COLOR ELEVATION PURPOSES. THEY ARE NOT TO BE USED FOR PERMITTING OR CONSTRUCTION PURPOSES.

| SYMBOL | AREA                    | MANUFACTURER                 | COLOR  | ALTERNATE MFR    | ALTERNATE COLOR  | SAMPLE PHOTO |
|--------|-------------------------|------------------------------|--|------------------|------------------|--------------|
| 1      | PARAPET CAP (TOWER)     | DUROLAST (25)                | MEDIUM BRONZE (FACTORY FINISH)                                       | SHERWIN WILLIAMS | SW 7069 IRON ORE |              |
| 2      | STOREFRONT WINDOWS      | TBD                          | CLEAR ANODIZED   |                  |                  |              |
| 3      | PIPE BOLLARDS           | STREET SMART                 | YELLOW - 1/4" THICK PLASTIC COVER (US.POSTMAN.COM) OR EQUAL          |                  |                  |              |
| 4      | PARAPET BACK ROOFING    | DJROLAST                     | THE COLOR SHALL BE FACTORY COLORED 'WHITE.' EQUAL ALTERNATE ALLOWED. |                  |                  |              |
| 5      | AWNING                  | BERRIDGE                     | S-DECK PREWEATHERED GALVALUME  |                  |                  |              |
| 6      | THIN BRICK              | BELDEN                       | RED BRICKS - BELCREST 700  |                  |                  |              |
| 7      | FIBER CEMENT PANELS     | NICHIHA - ROUGH SAWN         | 'SMOKE'  |                  |                  |              |
| 8      | METAL PANELS            | WESTERN STATES METAL ROOFING | 18" A606-4 RUSTWALL PANELS   |                  |                  |              |
| 9      | FIBER CEMENT BOARD TRIM | JAMES HARDIE                 | HARDIETRIM - 5/4" X 3 1/2" SMOOTH                                    |                  |                  |              |
| S      | SPANDREL GLAZING        | TBD                          |  |                  |                  |              |

EXTERIOR FINISH SCHEDULE C



NORTH ELEVATION 1/4" = 1'-0" B

CONTRACT DATE: XX.XX.XX  
 BUILDING TYPE: EXPLORER LG50  
 PLAN VERSION: DECEMBER 2016  
 SITE NUMBER: XXX-XXX  
 STORE NUMBER: XXXXX

TACO BELL  
 4501 W NORTH AVE  
 CHICAGO, ILLINOIS 60639



EXTERIOR ELEVATIONS

**A4.1B**

**PLANT SCHEDULE**

| Key                     | Botanical Name                             | Common Name                      | Quantity | Size   | Condition | Remarks        |
|-------------------------|--|----------------------------------|----------|--------|-----------|----------------|
| <b>CANOPY TREES</b>     |  |                                  |          |        |           |                |
| AS                      | Acer saccharum 'Green Mountain'            | Green Mountain Sugar Maple       | 6        | 2.5 in | B&B       | Native Species |
| GT                      | Gleditsia triacanthos 'Shademaster'        | Shademaster Honeylocust          | 8        | 2.5 in | B&B       | Native Species |
| QR                      | Quercus rubra                              | Red Oak                          | 9        | 2.5 in | B&B       | Native Species |
| UM                      | Ulmus minor 'New Horizon'                  | New Horizon Elm Tree             | 1        | 2.5 in | B&B       | Native Species |
| <b>EVERGREEN SHRUBS</b> |  |                                  |          |        |           |                |
| IG                      | Ilex glabra 'Compacta'                     | Compact Inkberry                 | 26       | 24 in  | #7 Cont.  | Native Species |
| TM                      | Taxus x media 'Densiformis'                | Dense Yew                        | 20       | 24 in  | #7 Cont.  |                |
| <b>DECIDUOUS SHRUBS</b> |  |                                  |          |        |           |                |
| AM                      | Aronia melanocarpa                         | Black Chokeberry                 | 11       | 24 in  | #7 Cont.  | Native Species |
| BT                      | Berberis thunbergii 'Atropurpurea'         | Red Barberry                     | 12       | 24 in  | #7 Cont.  | Native Species |
| CC                      | Cercis sericea 'lanif'                     | Isonts Red Stem Dogwood          | 17       | 24 in  | #7 Cont.  | Native Species |
| VT                      | Viburnum trilobum 'Compactum'              | Compact American Cranberrybush   | 11       | 24 in  | #7 Cont.  | Native Species |
| <b>ORNAMENTAL GRASS</b> |  |                                  |          |        |           |                |
| CA                      | Calamagrostis x acutiflora 'Karf Forester' | Karf Forester Feather Reed Grass | 11       | 12 IN. | #3 Cont.  |                |
| <b>ANNUAL FLOWERS</b>   |  |                                  |          |        |           |                |
| VI                      | VIOLA X WITROCKINA                         | PANSY                            | SEE PLAN |        | 1 OZ.     |                |

**LEGEND OF EXISTING FEATURES**

|     |                          |   |                                   |
|-----|--------------------------|---|-----------------------------------|
| --- | PROPERTY LINE            | + | BENCHMARK                         |
| --- | RIGHT-OF-WAY LINE        | ○ | MONUMENT                          |
| --- | SETBACK LINE             | △ | SECTION CORNER                    |
| --- | EASEMENT                 | □ | TRANSFORMER                       |
| --- | SECTION LINE             | □ | HVAC                              |
| --- | CENTERLINE               | □ | ELECTRIC METER                    |
| --- | INTERMEDIATE CONTOUR     | □ | ELECTRIC MANHOLE                  |
| --- | INDEX CONTOUR            | □ | POWER POLE   GUY WIRE             |
| --- | TELEPHONE UNDER GR.      | □ | LIGHT POLE                        |
| --- | TELEPHONE OVERHEAD       | □ | PARKING LOT LIGHTS                |
| --- | FIBER OPTIC SERVICE      | □ | TELEPHONE PEDESTAL                |
| --- | GAS SERVICE              | □ | TELEPHONE MANHOLE                 |
| --- | POWER UNDERGROUND        | □ | FIBER OPTIC PEDESTAL              |
| --- | POWER OVERHEAD           | □ | TRAFFIC POLE MANHOLE   STOP LIGHT |
| --- | WATER SERVICE            | □ | GAS METER                         |
| --- | SANITARY SEWER           | □ | GAS VALVE                         |
| --- | STORM SEWER              | □ | STORM MANHOLE                     |
| --- | POND NORMAL POOL         | □ | SANITARY MANHOLE                  |
| --- | EX. FLOWLINE             | □ | STORM INLETS                      |
| --- | CHAIN LINK FENCE         | □ | STORM INTERSECTION                |
| --- | FARM FENCE               | □ | CLEAN-OUT DOWNPOUT                |
| --- | WOOD FENCE               | □ | FIRE HYDRANT FIRE VALVE           |
| --- | IRON FENCE   RAILING     | □ | WATER METER                       |
| --- | BUILDING   STRUCTURE     | □ | WATER VALVES                      |
| --- | EX. BUILDING OVERHEAD    | □ | POST INDICATOR VALVE              |
| --- | RIM ELEVATION            | □ | FIRE DEPARTMENT CONN.             |
| --- | INVERT ELEVATION         | □ | SIGNS                             |
| --- | FINISHED FLOOR ELEVATION | □ | MAILBOX                           |
|     |                          | □ | ADA PARKING                       |
|     |                          | □ | PARKING COUNT                     |
|     |                          | □ | TREES                             |
|     |                          | □ | SHRUB                             |
|     |                          | □ | SPOT GRADE                        |

**LANDSCAPE LEGEND - PROPOSED**

|     |                                    |   |                 |
|-----|------------------------------------|---|-----------------|
| □   | BRICK CHP MULCH<br>SEE SHEET C-002 | ○ | EVERGREEN TREE  |
| □   | HYDROSEEDING SEEDING               | ○ | DECIDUOUS TREE  |
| □   | SOD                                | ○ | DECIDUOUS TREE  |
| □   | FORM AND SEDGE<br>PLUG PLANTING    | ○ | ORNAMENTAL TREE |
| --- | LANDSCAPE EDGING                   | ○ | ORNAMENTAL TREE |
| ○   | DECIDUOUS SHRUB                    | ○ | ORNAMENTAL TREE |
| ○   | DECIDUOUS SHRUB                    | ○ | ORNAMENTAL TREE |
| ○   | EVERGREEN SHRUB                    | ○ | MULTI-STEM TREE |
| ○   | ORNAMENTAL GRASS                   | ○ |                 |
| ○   | PLANT TAG                          |   |                 |

**SUSTAINABLE DEVELOPMENT DOCUMENTATION**

**4.1 WORKING LANDSCAPE CALCULATIONS:**  
 1. NUMBER OF PLANTS SPECIFIED: 121. NUMBER OF NATIVE SPECIES SPECIFIED: 88. PERCENT OF NATIVE SPECIES SPECIFIED: 73% (60% MINIMUM REQUIRED).  
 2. PLANT STRUCTURE TYPES SPECIFIED ON THE PLAN:  
 • TREES  
 • SHRUBS  
 • FORMS AND SEDGE PLANTINGS

**4.3 TREE PLANTING:**  
 REFER TO SHEET LP-501 FOR PLANT MATERIAL INSTALLATION REQUIREMENTS THAT INCLUDES THE SPECIFICATION FOR THE SOIL VOLUME REQUIREMENTS FOR CANOPY TREES.

**7.4 BIKE PARKING COMMERCIAL AND INDUSTRIAL:**  
 PROVIDE AT LEAST TWO SECURE INDOOR OR OUTDOOR PARKING SPACES FOR EVERY 5 AUTOMOBILE PARKING SPACES.  
 • PARKING SPACES PROVIDED: 19 / 5 = 3.8 BICYCLE SPACES REQUIRED  
 • SECURE BICYCLE SPACES PROVIDED: 4

**HAMILTON DESIGNS**  
**LANDSCAPE / FENCE PROTECTION STATEMENT**

Date: 08/09/2017  
 Ms. Patricia A. Scudiero  
 Zoning Administrator and Managing Deputy  
 Attn: Ms. Heidi Sperry  
 Department of Planning and Development  
 Bureau of Zoning and Land Use  
 Room 905 - City Hall  
 121 N. LaSalle Street  
 Chicago, Illinois 60602

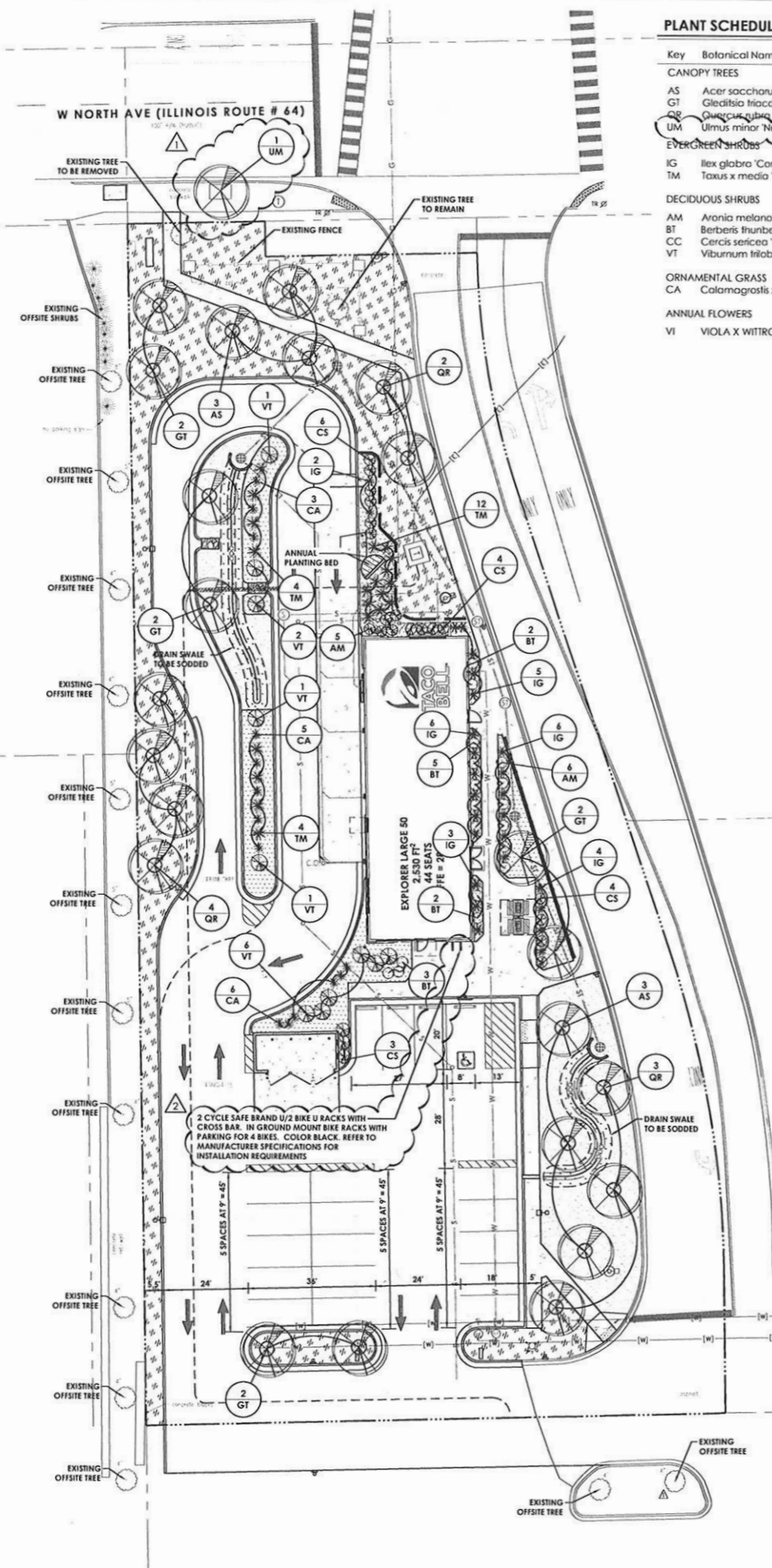
RE: Planned Development: Team Menard, Inc Subdivision, Subarea Lot 9  
 Taco Bell | Chicago, Illinois

Dear Ms. Scudiero:  
 The undersigned acknowledges that the landscape planting shown on the landscape plan(s) for the property at 4501 W. North Avenue, Chicago, IL 60659 has, to the best of the undersigned applicant's knowledge, been designed and will be installed, maintained and replaced as required by the current and subsequent owners in accordance with the requirements of the Landscape Ordinance of the City of Chicago and of this publication, "Guide to the Chicago Landscape Ordinance."

Very truly yours,

T. Robert Lach  
 Bell Great Lakes, LLC

HAMILTON DESIGNS, LLC  
 11988 Fishers Crossing Drive, Suite 154  
 Fishers, Indiana 46038  
 317-570-8800  
 www.hamilton-designs.com



Know what's below.  
 Call before you dig.



SCALE: 1" = 20'

REVISION BLOCK  
 1. 08/25/2017 HSD REVISED PER CITY AND OWNER COMMENTS  
 2. 08/31/2017 HSD CITY OF CHICAGO REVISIONS



DATE: 09/07/2017  
 DRAWN BY: JTL  
 CHECKED BY: MAT

**HAMILTON DESIGNS**  
 A LIMITED LIABILITY COMPANY

11988 Fishers Crossing Drive, Suite 154  
 Fishers, Indiana 46038  
 P. (317) 570-8800  
 www.hamilton-designs.com

CONSTRUCTION PLANS FOR:  
**TACO BELL | CHICAGO, IL**  
 4523 W. North Avenue  
 Chicago, Illinois 60639

**BELL AMERICAN GROUP, LLC**  
 8930 Bash Street, Suite L  
 Indianapolis, Indiana 46256

PROJECT NO. 2016-222  
 DATE 09/07/2017  
 SCALE 1" = 20'  
 SHEET NAME LANDSCAPE PLAN  
 SHEET NO. LP-101

09/20/16 222 - bell american group - chicago, indiana/il-101.dwg

**Specifications for Installing Native Plant Plugs**

Installation shall be performed between April 10 and October 1. Under no circumstances shall the site be stabilized with winter rye, grain rye, or winter wheat. These plants produce toxins that inhibit prairie seed germination.

**Plug Planting Specifications**

Plugs shall be in 2 3/8" square X 3 1/2" deep open-bottomed pots. Plugs shall be thoroughly rooted through the container. No species shall be substituted without approval of the architect.

Plugs shall be inoculated with VAM (Vesicular Arbuscular Mycorrhizae) endomycorrhizal fungi as provided by Spence Restoration Nursery or approved source where available.

Mulch shall be clean black leaf compost. Compost shall not contain manure or bio-solids.

**Plugs**

**Grasses**

Little Bluestem (*Andropogon scoparius*)  
Side-Oats Grass (*Astilola curtipendula*)  
Northern Dropseed (*Grabaus heterolepis*)

**Wildflowers**

Nodding Wild Onion (*Wolffia caroliniana*)  
Hoop Aster (*Aster ericoides*)  
New England Aster (*Aster novae-angliae*)  
White Top (*Indigofera leucocarpa*)  
Purple Coneflower (*Rudbeckia hirta*)  
False Sunflower (*Helianthus scaberrimus*)  
Benjamin's Thistle (*Helianthus divaricatus*)  
Mountain Mint (*Yucca virginiana*)  
Yellow Coneflower (*Rudbeckia pinnata*)  
Sweet Black-Eyed Susan (*Xanthoxylum suberectum*)  
Gray Goldenrod (*Solidago nemoralis*)  
Kiddey's Goldenrod (*Solidago riddellii*)

**Preparation**

Verify that site is within 4 inches of specified grade.  
Verify that site is clean and free of debris.

If vegetation exists on the site, apply a 2% glyphosate herbicide at least two weeks prior to installation on all actively growing vegetation. Verify that a good kill has resulted from the herbicide application prior to planting.

**Plug Specifications**

Spread specified mulch to a depth of two inches across the area to be plugged.

Do not apply any fertilizer other than compost.

Installation  
Use an auger or other appropriate tool to excavate planting holes on 1 foot centers in a staggered pattern.

Evenly distribute prairie grasses throughout planting. Place wildflowers in informal drifts of 3-7 of any one species with the edges blended into adjacent species to avoid a formal appearance.

Plant plugs level with existing soil grade. Be certain that soil is placed around the plugs and firmed into place. Do not fill around plugs with mulch.

Thoroughly soak plugged area with water until soil is moist to a depth of 4 inches.

**Maintenance**

Full weeds of the following species deemed detrimental to prairie plantings:

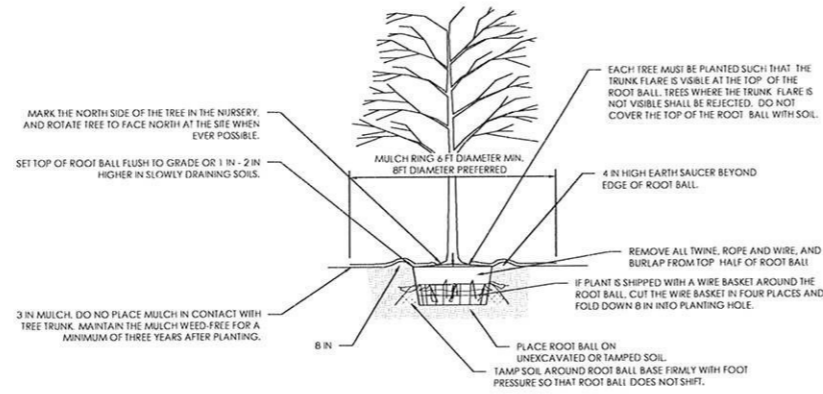
Canada Thistle (*Cirsium arvense*)  
Queen Anne's Lace (*Daucus carota*)  
Sweet Clover (*Melilotus spp.*)

Subsequent waterings shall be the responsibility of the owner. Watering and rainfall shall supply a minimum of 1 inch of water per week.

**Acceptance**

Plugs shall exhibit vigorous growth and be thoroughly rooted by the end of first growing season.

A minimum of 95% of plugs shall be alive and growing at the end of the first growing season.



- NOTE:
1. THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN AN 8' SQUARE OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.
  2. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
  3. WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
  4. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
  5. FOR DIMENSIONS OF PLANTING AREAS, TYPES OF SOIL AMENDMENTS, OR SOIL REPLACEMENT, SEE "SOIL VOLUME DETAIL FOR TREE PLANTINGS" THIS SHEET.

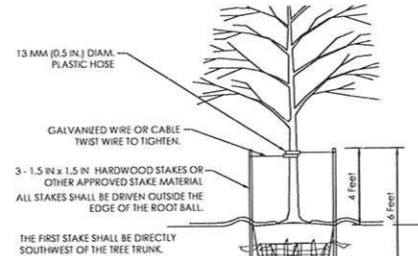
**TREE PLANTING DETAIL, FOR B&B ALL SOIL TYPES**

NOT TO SCALE

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:  
TREES UP TO 2.5 IN CALIPER - 14 GAUGE  
TREES 2.5 IN TO 75 MM 3 IN CALIPER - 12 GAUGE

TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 IN OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.

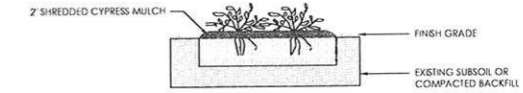
TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.



REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST FULL GROWING SEASON AFTER PLANTING. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE STAKING MATERIALS.

**TREE STAKING DETAIL, 3" CALIPER OR LESS**

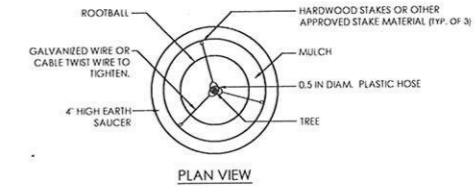
NOT TO SCALE



PLANTING SOIL TO BE 1 PART MANURE, 5 PARTS TOPSOIL AND 4 PARTS PEATMOSS TO A DEPTH OF 4". INCLUDE FERTILIZER AT APPROVED RATES.

**ANNUAL CHANGE-OUT BED**

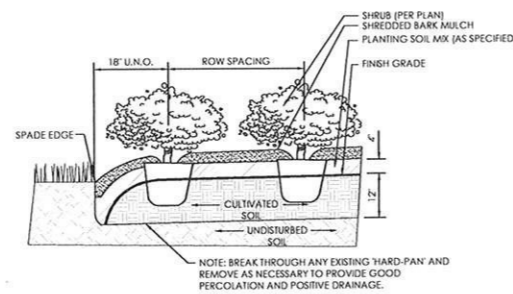
NOT TO SCALE



1. LOCATE (1) STAKE DIRECTLY SOUTHWEST OF TREE TRUNK

**TREE STAKING DETAIL**

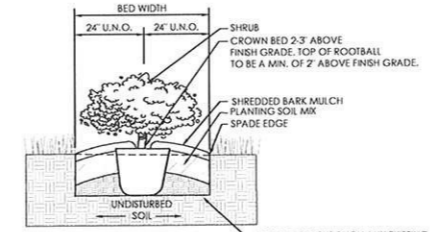
NOT TO SCALE



- PLANTING PROCEDURE**
1. LAYOUT BED AND OUTLINE WITH SPADE EDGE.
  2. ROTOTILL BED TO 12" DEPTH.
  3. SPREAD 4" MIN. LAYER OF PLANTING SOIL MIX OVER BED.
  4. ROTOTILL PLANTING SOIL MIX INTO TOP OF BED.
  5. INSTALL PLANTS, MULCH AND WATER THOROUGHLY.

**SHRUB MASS PLANTING**

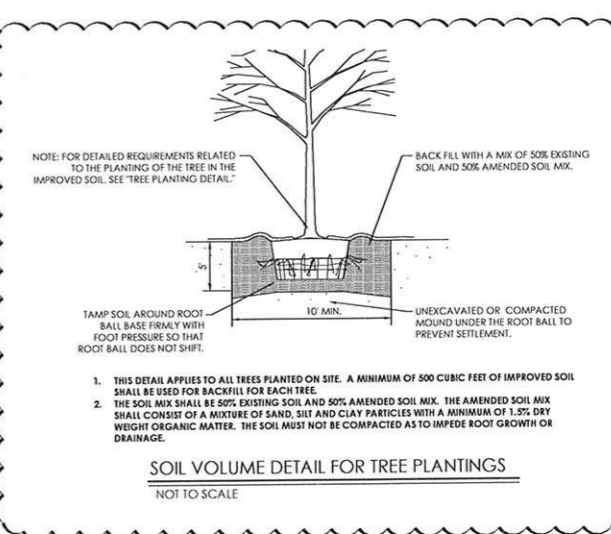
NOT TO SCALE



- PLANTING PROCEDURE**
1. LAYOUT BED AND OUTLINE WITH SPADE EDGE.
  2. ROTOTILL BED TO 12" DEPTH.
  3. SPREAD 6" MIN. LAYER OF PLANTING SOIL MIX OVER BED.
  4. ROTOTILL PLANTING SOIL MIX INTO TOP OF BED.
  5. INSTALL PLANTS, MULCH AND WATER THOROUGHLY.

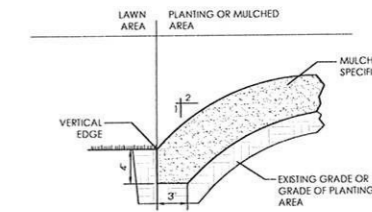
**HEDGE PLANTING**

NOT TO SCALE



**SOIL VOLUME DETAIL FOR TREE PLANTINGS**

NOT TO SCALE



**SPADE EDGE**

NOT TO SCALE

REVISION BLOCK  
2. 08/31/2017 MSO REVISED PER SUSTAINABILITY REQUIREMENTS



Michael Thompson

DATE: 08/31/2017  
DRAWN BY: JTL  
CHECKED BY: MAT

**HAMILTON DESIGNS**  
A LIMITED LIABILITY COMPANY

11988 Fishers Crossing Drive, Suite 154  
Fishers, Indiana 46038  
P: (317) 570-8800  
www.hamilton-designs.com

CONSTRUCTION PLANS FOR:  
**TACO BELL | CHICAGO, IL**  
4501 W. North Avenue  
Chicago, Illinois 60639

**BELL AMERICAN GROUP, LLC**  
8930 Barn Street, Suite L  
Indianapolis, Indiana 46256

PROJECT NO.  
**2016-222**

DATE  
**08/31/2017**

SHEET NAME  
**LANDSCAPE DETAILS**

SHEET NO.  
**LP-501**



City of Chicago  
Richard M. Daley, Mayor

Department of Zoning and  
Land Use Planning

Patricia A. Scudiero  
Commissioner

City Hall, Room 905  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-5777 (Voice)  
(312) 744-6552 (FAX)  
(312) 744-2950 (TTY)

<http://www.cityofchicago.org>

November 15, 2010

Carol D. Stubblefield  
Neal and Leroy, LLC  
203 North LaSalle St., Suite 2300  
Chicago, Illinois 60601-1243

**Re: Administrative Relief request for Business Planned Development  
No. 903, Sub area B, Proposed Louise Landau Health Center at  
West North Avenue and North Kostner Avenue**

Dear Ms. Stubblefield:

Please be advised that your request for a minor change to Business Planned Development No. 903 has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Near North Health Service Corporation is planning to build an approximately 25,700 square foot clinic, the Louise Landau Health Center, on a vacant lot within Sub area B of the Planned Development. You are requesting to:

- Reduce the required parking from 32 spaces to 30 spaces
- Reduce the required loading from 2 docks to 1 dock
- Increase the maximum building height from 24 feet to 26 feet

The following drawings, dated September 22, 2010, shall be inserted into the main file: Site Plan, First Floor, Second Floor, Mechanical Plan, Roof Plan, East, North, West and South Elevations.

With regard to your request, the Department of Zoning and Land Use Planning has determined that these revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 903, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

  
Patricia A. Scudiero  
Commissioner

PAS: HG: tm  
C: Mike Marmo, Erik Glass, Main file





City of Chicago  
Richard M. Daley, Mayor

Department of Planning and  
Development

Arnold L. Randall  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
312 744-4190  
312 744-2271 (FAX)  
312 744-2578 (TTY)

<http://www.cityofchicago.org>

December 9, 2008

Mr. Robert Peinado, Sr  
LRS Interests LLC  
6330 LBJ Freeway #239  
Dallas, TX 75240

Re: **Site Plan Approval for Business Planned Development #903 -  
Subarea B - New Retail Building (FAMSA + spec tenant)**  
**Proposal:** Construction of 32,170 square foot retail building  
**Location:** North Kostner Avenue and West Le Moyne Street

Dear Mr. Peinado:

We have reviewed the Site Plan and Elevations prepared by Gensler and dated November 4, 2008 and the Landscape Plan prepared by Manhard Consulting Ltd and dated November 18, 2008; all submitted by you for the construction of a single-storey 32,170 square foot retail facility containing two tenant spaces, 68 parking spaces (of which 4 are ADA compliant) on a property with a gross site area of 87,685 square feet. These plans are submitted in accordance with Statement #11 of Business Planned Development No. 903.

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Accordingly, this Site Plan submittal for a parcel within a portion of Subarea B with Business Planned Development #903 is hereby approved as conforming to the Plan of Development and passed by the Chicago City Council on March 31, 2004.

Sincerely,

Arnold L. Randall,  
Commissioner

Originated by: Benet Haller  
cc: Danita Childers, Mike Marmo, Linda Korsah





City of Chicago  
Richard M. Daley, Mayor

Department of Planning and  
Development

Arnold L. Randall  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
312 744-4190  
312 744-2271 (FAX)  
312 744-2578 (TTY)

<http://www.cityofchicago.org>

November 26, 2008

Robert Peinado, Sr.  
LRS Real Estate Service, Inc.  
6330 LBJ Freeway  
Suite 239  
Dallas, Texas 75240

**Re: Administrative Relief request for Business Planned Development  
No. 903, Subarea B, Proposed Famsa Store at West North Avenue  
and North Kostner Avenue**

Dear Mr. Peinado:

Please be advised that your request for a minor change to Business Planned Development No. 903 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you are requesting to replace two smaller proposed commercial buildings within Subarea B with one larger commercial building. The proposed one-story commercial building will be occupied by a Famsa store of approximately 25,170 square feet and an unknown retailer occupying approximately 7,000 square feet. A revised Site Plan, prepared by Gensler, and dated September 17, 2008, shall be inserted into the main file.

With regard to your request, the Department of Planning and Development has determined that substituting one larger commercial building in place of two smaller commercial buildings will not create an adverse impact on the Planned Development or surrounding neighborhood, will not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 903, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Arnold L. Randall  
Commissioner

ALR:SA:HG:tm

cc: Danita Childers, Mike Marmo, Pat Haynes, Erik Glass, Benet Haller, DPD files



*sample*



City of Chicago  
Richard M. Daley, Mayor

Department of Planning  
and Development

Lori T. Healey  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-4190  
(312) 744-2271 (FAX)  
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

September 20, 2006

Danielle Meltzer Cassel  
DLA PIPER US LLP  
203 N. LaSalle Street  
Suite 1900  
Chicago, Illinois 60601-1293

**Re: Administrative Relief request for Business Planned Development  
No. 903, North Avenue and Kostner Avenue**

Dear Ms. Cassel:

Please be advised that your request for a minor change to Business Planned Development No. 903 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to substitute new architectural drawings and a new Bulk Regulations and Data Table for those previously approved. The new drawings reflect the following changes:

- The Menards anchor within Sub-Area A will be a single-story building, rather than a two-story building, as previously approved.
- Up to five smaller outlot buildings will be located within Sub-Areas B and C, rather than a second, in-line store adjacent to the Menards anchor, as previously approved. In accordance with the Plan of Development Statements, each outlot building will require separate Site Plan approval from the Department of Planning and Development.

As a result of these changes: the boundaries of Sub-Areas A, B, and C have been slightly modified to accommodate these smaller outlot buildings; there is no increase in the allowable floor area (the Menards square footage decreases from 210,943 square feet to 178,000 square feet); the parking ratio increases (from 5.23 to 5.39 spaces per 1,000 square feet of gross floor area); the Kostner streetscape and pedestrian improvements are principally the same, with accommodations to the new configuration of outlot buildings; the interior landscaping changes slightly (the number of trees increases from 365 to 385); additional brick facing has been added to Menards's east elevation.

The following attachments, prepared by HKM Architects + Planners, Inc. and dated August 9, 2006, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- Existing Zoning & Land Use Map
- Planned Development Property Line & Boundary Map
- Sub Area Map
- Site Plan
- Landscape Plan

*see Revised  
Bulk Table  
Herein*



- Interior Landscape Requirements
- Landscape Details 1 & 2
- Landscape Details 3 & 4
- Landscape Detail 5
- Landscape Detail 6
- Plant List
- Site Furnishings
- Plant Details
- Hardscape Details
- Hardscape Elevations
- Elevations
- Floor Plan
- Green Roof Plan
- Conceptual Outlot Elevations
- Phase One Improvements

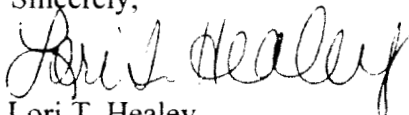
The new Bulk Regulations and Data Table, dated September 11, 2006, shall be substituted in place of the previously approved Table and inserted into the main file in anticipation of Part II. The new Table reflects the following changes:

- Eliminates the statement that the maximum Floor Area Ratio of 0.5 applied to the Planned Development as a whole and retains the statement that the maximum Floor Area Ratio of 0.5 applies to each Sub-Area.
- Re-wording of the effective standard for minimum automobile parking spaces within Sub-Areas A, B, C, and D to conform to the Parking Group terminology and ratios set forth in the current Zoning Ordinance. (The original Planned Development was approved prior to the comprehensive amendment in Nov. 2004.)
- Includes standards for minimum loading and minimum bicycle parking as required under the current Zoning Ordinance.
- Now that Sub-Area C will have smaller outlot buildings along Kostner instead of in-line stores adjacent to Menards, the new Bulk Table links the maximum building height within this Sub-Area to the same maximum height which applies in Sub-Areas B and D.

With regard to your request, the Department of Planning and Development has determined that these changes: do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 903, I hereby approve the foregoing minor change, but no other changes to Business Planned Development No. 903.

Sincerely,



Lori T. Healey  
Commissioner

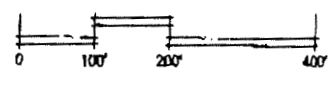
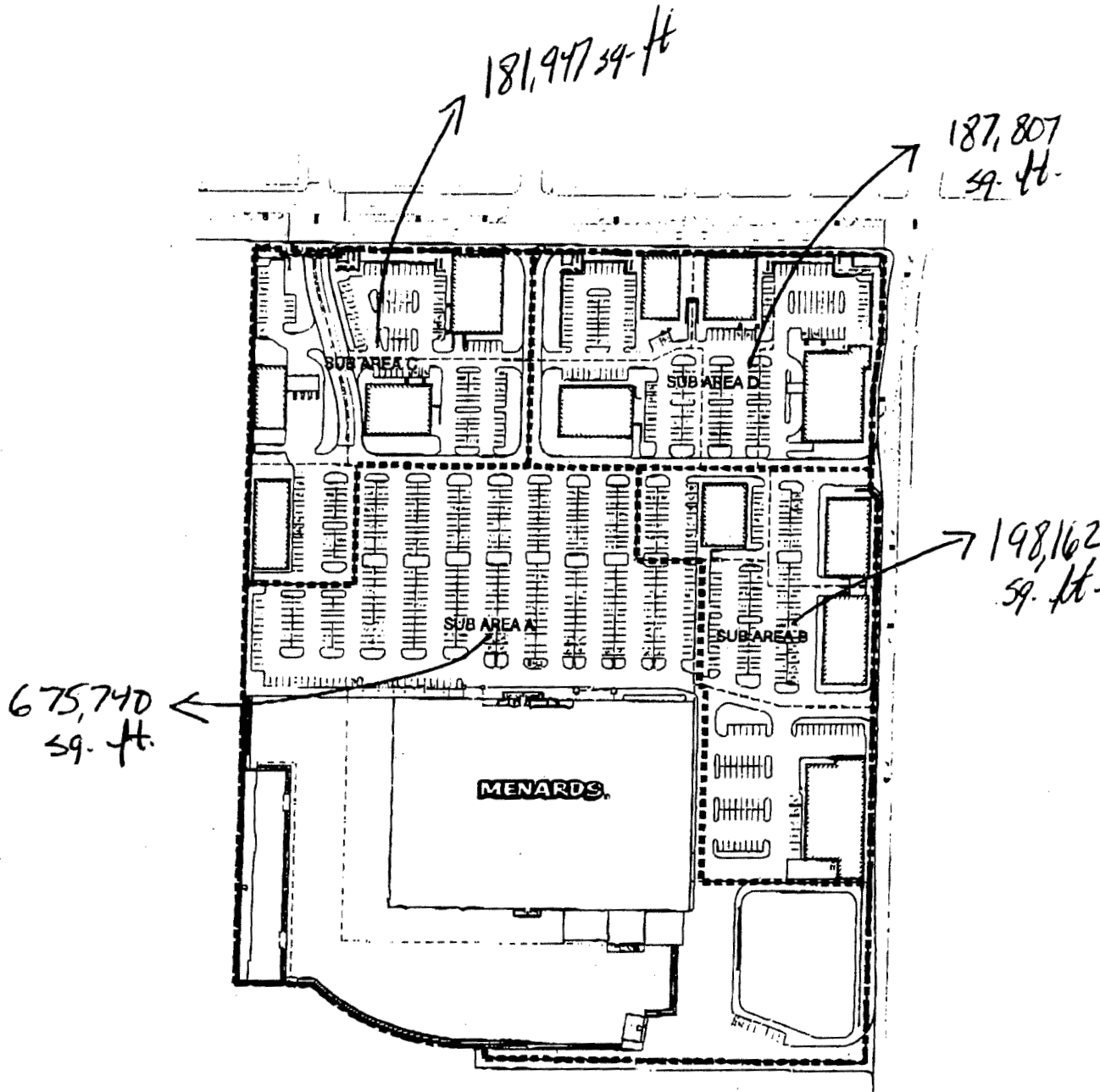
LTH:MRD:tm

cc: Kathleen Nelson, Danita Childers, Mike Marmo, DPD files

*Business Planned Development Number 903*

*Bulk Regulations And Data Table*

|  |  |             |
|--|--|-------------|
| Net Site Area:   | 1,246,178 square feet  | 28.61 acres |
| Public Right-of-Way Area:                                | 94,660 square feet   | 2.17 acres  |
| Gross Site Area:<br>(Net + Public Right-of-Way)          | 1,340,838838 square feet   | 30.78 acres |
| Maximum Floor Area Ratio:                                | 0.5 within each Sub-Area   |             |
| Minimum Number of Off-Street, Automobile Parking Spaces: | SubArea A: 449<br>SubAreas B, C and D:<br>Banks, Business or Professional Offices: 2 parking spaces for each 1,000 square feet of floor area in excess of 10,000 square feet.<br>Restaurant and Retail uses: 2.5 parking spaces for each 1,000 square feet of floor area in excess of 4,000 square feet.   |             |
| Minimum Bicycle Parking                                  | SubArea A: In substantial conformance with the Site Plan.<br>SubAreas B, C and D: 1 per 5 required automobile parking spaces.  |             |
| Minimum Loading  | SubArea A: In substantial conformance with the Site Plan.<br>SubAreas B, C and D:<br>Buildings with floor area of 0-9,999 square feet: None<br>Buildings with floor area of 10,000 to 24,999 square feet: One (1), at ten (10) feet by twenty-five (25) feet.<br>Buildings with floor area of 25,000 to 49,999 square feet: Two (2), at ten (10) feet by fifty (50) feet each. |             |
| Maximum Percentage of Site Coverage:                     | SubArea A: In substantial conformance with the Site Plan.<br>SubAreas B, C and D: fifty percent (50%) within each Sub-Area   |             |
| Building Setbacks  | SubArea A: In substantial conformance with the Site Plan.<br>SubAreas B, C and D: Per Statement 12.  |             |
| Maximum Permitted Building Height:                       | SubArea A: In substantial conformance with the Building Elevations.<br>SubAreas B, C and D: One-story or twenty-four (24) feet   |             |



**Sub Area Map**

|   |                        |  |   |
|---|------------------------|--|---|
| <b>Menards</b><br>6401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS | APPLICANT:<br>ADDRESS: | TEAM MENARD, INC.<br>4777 MENARD DRIVE<br>EAU CLAIRE, WI | <b>HKM ARCHITECTS + PLANNERS, INC.</b><br>43 SOUTH WAL, AVENUE    ARLINGHEIM HEIGHTS, ILLINOIS    60460    © 2008 |
|---|------------------------|--|---|

BUSINESS PLANNED DEVELOPMENT NO. 903  
 AUGUST 9, 2008



City of Chicago  
Richard M. Daley, Mayor

Department of Planning and  
Development

Arnold L. Randall  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
312 744-4190  
312 744-2271 (FAX)  
312 744-2578 (TTY)

<http://www.cityofchicago.org>

March 14, 2008

Mr. Timothy Eyeart  
Corporate Counsel  
Menards  
4777 Menard Drive  
Eau Claire, WI 54703

Re: Business Planned Development No. 903 – North & Kostner, Sub-  
Area C Lot 9 - Fifth-Third Bank

Dear Mr. Eyeart:

This letter is in response to your request for an additional Site Plan Approval for the proposed Fifth-Third Bank located in Sub-Area C, Lot 9 of the Planned Development. You have expressed concern that the relocation of the Fifth Third Bank to the northwest corner of Lot 9 and the subsequent removal of part of the fencing and landscaping at that location will result in a later request from the Department of Planning and Development to replace said fencing and landscaping.

The Department of Planning and Development will not make such a request nor penalize Menards for these alterations, as the Department has already approved these changes in a Site Plan Approval issued to Fifth Third Bank on December 26, 2007. The December 26, 2007 Site Plan Approval and a full set of drawings have been approved by Commissioner Arnold L. Randall and are officially filed with the original Business Planned Development No. 903. Please feel free to contact me if you have any further questions or concerns at 312-744-0063 or [heather.gleason@cityofchicago.org](mailto:heather.gleason@cityofchicago.org).

Sincerely,

Heather Gleason  
Assistant Commissioner  
Department of Planning and Development

Cc: Arnold L. Randall, Commissioner  
Eileen Figel, First Deputy  
Sam Assefa, Deputy Commissioner  
Danita Childers, Deputy Commissioner  
Jerry Cairo, Capri Development  
Katrina McGuire, Schain, Burney, Ross & Citron  
Jason Gustavson, Stone Real Estate  
Teresa McLaughlin, Mike Marmo, Pat Haynes, Erik Glass, DPD Files

NEIGHBORHOODS





City of Chicago  
Richard M. Daley, Mayor

Department of Planning and  
Development

Arnold L. Randall  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
312 744-4190  
312 744-2271 (FAX)  
312 744-2578 (TTY)

<http://www.cityofchicago.org>

February 6, 2008

Paul A. Kolpak  
Kolpak and Lerner  
6767 North Milwaukee Avenue  
Suite 202  
Niles, Illinois 60714

**Re: Site Plan Approval for Business Planned Development No. 903,  
Subarea C, Lot 7**

**Proposal:** The construction of a one-story masonry building consisting of  
four retail spaces, including a 1,865 square foot Starbucks Coffee Shop.

**Location:** 4517 West North Avenue

Dear Mr. Kolpak:

We have reviewed the Site Plan, Landscape Plan and Building Elevations submitted for the construction of a one-story, 8,967 square foot retail building. The retail building will include parking for 29 automobiles, one off-street loading space, and a one lane drive thru facility serving the proposed Starbucks. These drawings are submitted in accordance with Statement No. 11 of the Planned Development.

The following drawings were reviewed and will be inserted into the main file in anticipation of a Part II:

- Land Title Survey (6-17-07)
- C-1 Cover Sheet (Watermark Engineering, 11-15-07)
- C-2 Geometric Plan (Watermark Engineering, 1-9-08)
- C-3 Grading Plan (Watermark Engineering, 1-9-08)
- C-4 Utility Plan (Watermark Engineering, 11-15-07)
- C-5 Project Details (Watermark Engineering, 11-15-07)
- C-6 Project Specifications (Watermark Engineering, 11-15-07)
- L-1 Landscape Plan (Couture Landscape Construction, 1-9-08)
- L-2 Landscape Details (Couture Landscape Construction, 1-9-08)
- P-1 Photometric Plan (Couture Landscape Construction, 11-14-07)
- Renaissance Masonry Units Product Literature
- A3.0 East and South Elevations (Infinity Dzines Inc., 7-31-07)
- A3.1 North and West Elevations (Infinity Dzines Inc., 7-31-07)

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Accordingly, this Site Plan submittal for Business Planned Development No. 903, is hereby approved as conforming to the Plan of Development as passed by the Chicago City Council on March 31, 2004.

Sincerely,

Arnold L. Randall  
Commissioner

ALR:SA:tm

cc: Danita Childers, Mike Marmo, Pat Haynes, Erik Glass, DPD files





City of Chicago  
Richard M. Daley, Mayor

Department of Planning and  
Development

Arnold L. Randall  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
312 744-4190  
312 744-2271 (FAX)  
312 744-2578 (TTY)

<http://www.cityofchicago.org>

December 26, 2007

Katrina S. McGuire  
Schain, Burney, Ross & Citron, Ltd.  
222 N. LaSalle Street  
Suite 1910  
Chicago, Illinois 60601-1102

**Re: Site Plan Approval for Business Planned Development No. 903,  
Sub-Area C**

**Proposal:** The construction of a Fifth Third Bank with parking and a drive thru facility.

**Location:** Southwest corner of West North Avenue and West Kolmar Avenue

Dear Ms. McGuire:

We have reviewed the Site Plan, Landscape Plan and Building Elevations submitted for the construction of a one-story, 4,100 square foot Fifth Third Bank building with 27 parking spaces and five drive-thru lanes within Sub-Area C of the Planned Development. These drawings are submitted in accordance with Statement No. 11 of the Planned Development.

The following drawings, prepared by Camburas & Theodore, Ltd., and approved by the Department of Transportation on December 20, 2007, were reviewed and will be inserted into the main file:

- Survey and Site Plan
- L1 Landscape Plan
- B-2 North, East, West and South Elevations

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Accordingly, this Site Plan submittal for Business Planned Development No. 903, is hereby approved as conforming to the Plan of Development as passed by the Chicago City Council on March 31, 2004.

Sincerely,

Arnold L. Randall  
Commissioner

ALR:SA:tm  
cc: Danita Childers, Mike Marmo, Pat Haynes, Erik Glass, DPD files

NEIGHBORHOODS





City of Chicago  
Richard M. Daley, Mayor

Department of Planning  
and Development

Lori T. Healey  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-4190  
(312) 744-2271 (FAX)  
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

January 8, 2007

Danielle Meltzer Cassel  
DLA PIPER US LLP  
203 N. LaSalle Street  
Suite 1900  
Chicago, Illinois 60601-1293

**Re: Site Plan Approval for Business Planned Development No. 903,  
Sub-Area A**

**Proposal:** The construction of a Menards anchor store with 481 surface parking spaces (Phase One)

**Location:** 4401 W. North Avenue and North Kostner Avenue

Dear Ms. Cassel:

We have reviewed the Site Plan, Landscape Plan and Building Elevations submitted for the construction of a one-story, 178,000 square foot Menards store with 481 surface parking spaces (plus eight additional spaces for cart corrals) within Sub-Area A of the Planned Development. These drawings, prepared by HKM Architects + Planners, Inc. and dated October 17, 2006, are submitted in accordance with Statement No. 11 of the Planned Development.

The following attachments, previously submitted and approved in an Administrative Relief letter dated September 20, 2006, shall be inserted into the main file in anticipation of Part II:

- Existing Zoning & Land Use Map
- Planned Development Property Line & Boundary Map
- Sub Area Map
- Site Plan
- Landscape Plan
- Interior Landscape Requirements
- Landscape Details 1 & 2
- Landscape Details 3 & 4
- Landscape Detail 5
- Landscape Detail 6
- Plant List
- Site Furnishings
- Plant Details
- Hardscape Details
- Hardscape Elevations
- Elevations
- Floor Plan
- Green Roof Plan
- Phase One Improvements



Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Although no changes have been made to the previously approved ingress and egress routes, the Department of Transportation has reviewed and approved the site plan. Accordingly, this Site Plan submittal for Business Planned Development No. 903, is hereby approved as conforming to the Plan of Development as passed by the Chicago City Council on March 31, 2004.

Sincerely,

A handwritten signature in black ink, appearing to read "Lori T. Healey". The signature is fluid and cursive, written over the printed name.

Lori T. Healey  
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Danita Childers, Mike Marmo, DPD files



City of Chicago  
Richard M. Daley, Mayor

Department of Planning  
and Development

Lori T. Healey  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-4190  
(312) 744-2271 (FAX)  
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

January 8, 2007

Danielle Meltzer Cassel  
DLA PIPER US LLP  
203 N. LaSalle Street  
Suite 1900  
Chicago, Illinois 60601-1293

**Re: Site Plan Approval for Business Planned Development No. 903,  
Sub-Area A**

**Proposal:** The construction of a Menards anchor store with 481 surface parking spaces (Phase One)

**Location:** 4401 W. North Avenue and North Kostner Avenue

Dear Ms. Cassel:

We have reviewed the Site Plan, Landscape Plan and Building Elevations submitted for the construction of a one-story, 178,000 square foot Menards store with 481 surface parking spaces (plus eight additional spaces for cart corrals) within Sub-Area A of the Planned Development. These drawings, prepared by HKM Architects + Planners, Inc. and dated October 17, 2006, are submitted in accordance with Statement No. 11 of the Planned Development.

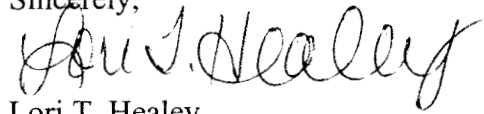
The following attachments, previously submitted and approved in an Administrative Relief letter dated September 20, 2006, shall be inserted into the main file in anticipation of Part II:

- Existing Zoning & Land Use Map
- Planned Development Property Line & Boundary Map
- Sub Area Map
- Site Plan
- Landscape Plan
- Interior Landscape Requirements
- Landscape Details 1 & 2
- Landscape Details 3 & 4
- Landscape Detail 5
- Landscape Detail 6
- Plant List
- Site Furnishings
- Plant Details
- Hardscape Details
- Hardscape Elevations
- Elevations
- Floor Plan
- Green Roof Plan
- Phase One Improvements



Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Although no changes have been made to the previously approved ingress and egress routes, the Department of Transportation has reviewed and approved the site plan. Accordingly, this Site Plan submittal for Business Planned Development No. 903, is hereby approved as conforming to the Plan of Development as passed by the Chicago City Council on March 31, 2004.

Sincerely,



Lori T. Healey  
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Danita Childers, Mike Marmo, DPD files



City of Chicago  
Richard M. Daley, Mayor

Department of Planning  
and Development

Lori T. Healey  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-4190  
(312) 744-2271 (FAX)  
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

September 20, 2006

Danielle Meltzer Cassel  
DLA PIPER US LLP  
203 N. LaSalle Street  
Suite 1900  
Chicago, Illinois 60601-1293

**Re: Administrative Relief request for Business Planned Development  
No. 903, North Avenue and Kostner Avenue**

Dear Ms. Cassel:

Please be advised that your request for a minor change to Business Planned Development No. 903 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to substitute new architectural drawings and a new Bulk Regulations and Data Table for those previously approved. The new drawings reflect the following changes:

- The Menards anchor within Sub-Area A will be a single-story building, rather than a two-story building, as previously approved.
- Up to five smaller outlot buildings will be located within Sub-Areas B and C, rather than a second, in-line store adjacent to the Menards anchor, as previously approved. In accordance with the Plan of Development Statements, each outlot building will require separate Site Plan approval from the Department of Planning and Development.

As a result of these changes: the boundaries of Sub-Areas A, B, and C have been slightly modified to accommodate these smaller outlot buildings; there is no increase in the allowable floor area (the Menards square footage decreases from 210,943 square feet to 178,000 square feet); the parking ratio increases (from 5.23 to 5.39 spaces per 1,000 square feet of gross floor area); the Kostner streetscape and pedestrian improvements are principally the same, with accommodations to the new configuration of outlot buildings; the interior landscaping changes slightly (the number of trees increases from 365 to 385); additional brick facing has been added to Menards's east elevation.

The following attachments, prepared by HKM Architects + Planners, Inc. and dated August 9, 2006, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- Existing Zoning & Land Use Map
- Planned Development Property Line & Boundary Map
- Sub Area Map
- Site Plan
- Landscape Plan



- Interior Landscape Requirements
- Landscape Details 1 & 2
- Landscape Details 3 & 4
- Landscape Detail 5
- Landscape Detail 6
- Plant List
- Site Furnishings
- Plant Details
- Hardscape Details
- Hardscape Elevations
- Elevations
- Floor Plan
- Green Roof Plan
- Conceptual Outlot Elevations
- Phase One Improvements

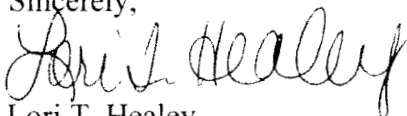
The new Bulk Regulations and Data Table, dated September 11, 2006, shall be substituted in place of the previously approved Table and inserted into the main file in anticipation of Part II. The new Table reflects the following changes:

- Eliminates the statement that the maximum Floor Area Ratio of 0.5 applied to the Planned Development as a whole and retains the statement that the maximum Floor Area Ratio of 0.5 applies to each Sub-Area.
- Re-wording of the effective standard for minimum automobile parking spaces within Sub-Areas A, B, C, and D to conform to the Parking Group terminology and ratios set forth in the current Zoning Ordinance. (The original Planned Development was approved prior to the comprehensive amendment in Nov. 2004.)
- Includes standards for minimum loading and minimum bicycle parking as required under the current Zoning Ordinance.
- Now that Sub-Area C will have smaller outlot buildings along Kostner instead of in-line stores adjacent to Menards, the new Bulk Table links the maximum building height within this Sub-Area to the same maximum height which applies in Sub-Areas B and D.

With regard to your request, the Department of Planning and Development has determined that these changes: do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 903, I hereby approve the foregoing minor change, but no other changes to Business Planned Development No. 903.

Sincerely,



Lori T. Healey  
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Danita Childers, Mike Marmo, DPD files



City of Chicago  
Richard M. Daley, Mayor

Department of Planning  
and Development

Denise M. Casalino, P.E.  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-4190  
(312) 744-2271 (FAX)  
(312) 744-2578 (TTY)  
<http://www.cityofchicago.org>

October 12, 2004

Mr. Lee Winter  
Gershman Brown Associates, Inc.  
1200 Shermer Road, Suite 202  
Northbrook, Illinois 60062

**Re:** Site Plan Review for Business Planned Development No.  
903, Sub-area D (CVS Pharmacy)

Dear Mr. Winter:

The Department of Planning and Development (the "Department") has reviewed the Site Plan, Landscape Plan, and Building Elevations submitted by you on behalf of your client, CVS Pharmacy, for the construction of a one-story, 13,013 square-foot retail building with 55 surface parking spaces (including 3 handicap spaces), a two-lane drive-through, a two-berth loading and trash area with masonry screen wall, and landscaping on Sub-area D of the Planned Development. In accordance with Statement No.11 of the Planned Development, these drawings by Archideas, V3 Consultants, and Daniel Weinbach & Partners, Ltd. have been submitted for Site Plan Review.

Upon review of the materials submitted, the Department has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. These plans depict a pedestrian plaza at the corner of W. North Avenue and N. Kostner Avenue, as well as sidewalks along both of those streets, to be completed by others.

Accordingly, this Site Plan submittal for Business Planned Development No. 903 for the construction of a retail pharmacy building and site improvements on Sub-area D, is hereby approved as conforming to the Plan of Development as passed by the Chicago City Council on March 31, 2004. The site plan, building elevations, and landscape plan are hereby made a part of this approval.

Very truly yours,

Denise M. Casalino, P.E.  
Commissioner

DMC:SRP:fwd

CC: Michael Marmo, Tom Smith, Danita Childers, Planned Development files



14097

to those of an M1-1 Restricted Manufacturing District.

SECTION 2. This ordinance takes effect after its passage and approval.

*Reclassification Of Area Shown On Map Number 3-K.*

(As Amended)

(Application Number 14097)

BPD 903

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M2-2 General Manufacturing District symbols and indications as shown on Map Number 3-K in the area bounded by:

West North Avenue; North Kostner Avenue; a line 635 feet south of and parallel to West North Avenue; and a line 999.4 feet west of and parallel to North Kostner Avenue,

to those of a B5-1 General Service District.

SECTION 2. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the M1-2 Restricted Manufacturing District symbols and indications as shown on Map Number 3-K in the area bounded by:

a line 635 feet south of and parallel to West North Avenue; North Kostner Avenue; a line 1,269.4 feet south of and parallel to West North Avenue; a line 607.48 feet west of and parallel to North Kostner Avenue; a line 1,251.4 feet south of and parallel to West North Avenue; thence northwesterly on a curved line tangent to said last described line convex to the southwest and having a radius of 373.07 feet, a distance of 267.33 feet to a line that is 109.75 feet north of and parallel with the south line of the northeast quarter of the northwest quarter of Section 3, Township 39 North, Range 13 East of the Third Principal Meridian; a line 1,161.82 feet south of and parallel to West North Avenue; and a line 999.4 feet west of and parallel to North Kostner Avenue,

to those of a B5-1 General Service District.

SECTION 3. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B5-1 General Service District symbols and indications as shown on Map Number 3-K in the area bounded by:

West North Avenue; North Kostner Avenue; a line 1,269.4 feet south of and parallel to West North Avenue; a line 607.48 feet west of and parallel to North Kostner Avenue; a line 1,251.4 feet south of and parallel to West North Avenue; thence northwesterly on a curved line tangent to said last described line convex to the southwest and having a radius of 373.07 feet, a distance of 267.33 feet to a line that is 109.75 feet north of and parallel with the south line of the northeast quarter of the northwest quarter of Section 3, Township 39 North, Range 13 East of the Third Principal Meridian; a line 1,161.82 feet south of and parallel to West North Avenue; and a line 999.4 feet west of and parallel to North Kostner Avenue,

to those of a Business Planned Development and a corresponding use district is hereby established in the area above described.

SECTION 4. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Business Planned Development Number 903.*

*Plan Of Development Statements.*

1. The area delineated herein as a Business Planned Development consists of approximately one million two hundred forty-six thousand one hundred seventy-eight (1,246,178) square feet (twenty-eight and sixty-one hundredths (28.61) acres) and is owned or controlled by the applicant, Team Menard, Inc., a Wisconsin corporation.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within the planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.1 1-1 of the Chicago Zoning Ordinance, the property shall be under single ownership or single designated control at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by both: (i) the applicant; and (ii) the owners and any ground lessors of the portion of the property that is the subject of the application.
4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning and Land-Use Map; a Planned Development Property Line and Boundary Map; a Subarea Map; a Site Plan; a Landscape Plan; an Interior Landscape Requirements Sheet; four (4) Landscape Plan Details Sheets; a Plant List Sheet; a Site Furnishings Sheet; a Plant Details Sheet; a Hardscape Details Sheet; a Hardscape Elevations Sheet; a Building Elevations Sheet; a First Floor Plan; a Second Floor Plan; a Phase One Improvements Plan; a Green Roof Plan; and a Conceptual **Outlot** Elevation, each dated February 19, 2004 and prepared by HKM Architects + Planners, Inc.. Full size sets of the Site Plan, Landscape Plans and Building Elevation Sheet are on file with the Department of Planning and Development. The Planned Development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the areas delineated herein as "Business Planned Development": all uses permitted in a **B5- 1** General Service District, including retail drug stores and restaurants with **drive-through** facilities, sale of home improvements, gardening and seasonal items (such as Christmas trees) from outdoor or unenclosed sales areas (but limited only to the yard area south of and behind the principal buildings within Subareas A and B), auto service stations and accessory parking and related uses; and excluding the following: residential uses, hotels, motels, video arcades, stand alone liquor stores and adult uses.
6. Business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. In furtherance of the foregoing, the location, size, materials and design of the signs to be constructed within

Subarea A and the monument signs to be constructed within Subareas C and D, as such signs are depicted on the Site Plan, Landscape Plan; four (4) Landscape Plan Details Sheets; Hardscape Details Sheet, Hardscape Elevations Sheet, and Building Elevations Sheet, are hereby approved. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development.

7. Any service drives or other ingress or egress shall be adequately designed, and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such emergency areas. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation.

West North Avenue: Applicant shall pay for the cost of one (1) new traffic signal that is to be located on West North Avenue at the property's North Kolmar Avenue entrance, subject to Illinois Department of Transportation ("I.D.O.T.") approval and warrants. As depicted on the Site Plan, the property's signalized access drive at West North Avenue and North Kolmar Avenue shall be a full-access permitting all movements, but the unsignalized access drive at West North Avenue and North Kilbourn Avenue shall permit only right-in, right-out and left-in movements while prohibiting left-turn movements from West North Avenue into the project and northbound through movements from the access drive onto North Kilbourn Avenue. Applicant also shall seek C.D.O.T. and I.D.O.T. approvals necessary to eliminate the existing on-street parking spaces on the south side of West North Avenue.

North Kostner Avenue: Applicant also shall, at applicant's expense, cause that portion of the existing North Kostner Avenue right-of-way adjacent to the property to be improved as follows, all as depicted on the Site Plan: (a) the vehicular lane areas of North Kostner Avenue (shall be widened by reducing the width of the existing sidewalk on the west side and shall be re-striped such that a center left-turn lane is created and one (1) northbound and one (1) southbound lane shall remain; (b) the existing sidewalk and on-street parking on the east side of North Kostner Avenue shall remain; (c) the west side of North Kostner Avenue shall have a sidewalk with a minimum width of five (5) feet and no on-street parking; and (d) an approximately ten (10) foot by one hundred fifty (150) foot

portion of the property shall be dedicated to expand the existing **right-of-way** and create a dedicated right-turn lane into the most northerly entrance drive off of North Kostner Avenue. Each of the foregoing improvements shall be subject to C.D.O.T. approval, to the City's issuance of required permits and to the City's approval of the elimination of the existing on-street parking spaces on the west side of North Kostner Avenue.

8. In addition to the maximum height of the buildings and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations as approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, floor area devoted to mechanical equipment which exceeds five thousand (5,000) square feet in any single location within a building, all rooftop mechanical equipment, and the floor area of any accessory warehouse buildings shall be excluded.
10. The improvements of Subarea A of the property as well as those property access drives, including associated landscaping and lighting, depicted on the Phase One Plan shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan, Interior Landscape Requirements Sheet, four (4) Landscape Plan Details Sheets, Plant List Sheet, Site Furnishings Sheet, Plant Details Sheet, Hardscape Details Sheet, Hardscape Elevations Sheet, Building Elevations Sheet, First Floor Plan, Second Floor Plan, Phase One Improvements Plan, and Green Roof Plan and otherwise in accordance with the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. The improvements of Subareas B, C and D of the property (other than those property access drives, associated landscaping and lighting depicted on the Phase One Plan) shall be designed, installed and maintained in accordance with these Plan of Development Statements, the Bulk Regulations and Data Table, and the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines except as such provisions, regulations and guidelines conflict with the aforementioned Plans and Details.
11. Prior to issuance by the Department of Planning and Development of a determination pursuant to Section 11.11-3(b) of the Chicago Zoning

Ordinance ("Part II Approval") for any future development of any portion the property for which a site plan has not been previously approved, a site plan for such proposed development shall be submitted to the Department of Planning and Development for approval. No Part II Approval for a portion of the property shall be granted until an applicable site plan has been approved by the Department of Planning and Development for such portion. Approval of a site plan is intended to assure that specific development proposals substantially conform with this Plan of Development and assist the City in monitoring ongoing development. Such site plan need only include that portion of the property for which approval is being sought by the applicant.

A site plan shall, at a minimum, provide the following information with respect to the proposed improvements within the boundaries of the area to be developed:

- (a) building elevations;
- (b) footprint of the improvements;
- (c) preliminary landscaping plan;
- (d) pedestrian circulation;
- (e) **preliminary** cross-sections of the improvements; and
- (f) statistical information applicable to the area, including floor area and floor area ratio, uses to be established, building heights and setbacks.

A site plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this planned development.

A site plan shall demonstrate that: (i) the architectural design and materials of the proposed buildings will be consistent or compatible with the architecture and building materials of the principal building within Subarea A; (ii) the proposed improvements will comply with the parameters set out in the attached Bulk Regulations and **Data Table**; (iii) loading areas will be screened; (iv) the proposed building siting, vehicular and pedestrian areas, landscaping and hardscape elements will be compatible with the property's existing improvements and improvements that are approved and pending; (v) the proposed building siting, vehicular and pedestrian areas,

landscaping and hardscape elements will be conceptually consistent with the Site Plan, Landscape Plan, the four (4) Landscape Plan Details Sheets, the Hardscape Details Sheet and the Hardscape Elevations Sheet; (vi) visibility for the principal building within Subarea A from West North Avenue and North Kostner Avenue will be maintained; (vii) at least three (3) of the buildings within Subareas C and D will be located with at least one (1) side aligned to the West North Avenue or North Kostner Avenue public sidewalks; (viii) the buildings within Subareas C and D shall have four (4) sided architecture and provide clear store windows along West North Avenue consistent with the occupant's merchandising practices. If a site plan substantially demonstrates the foregoing elements, the Commissioner shall approve said site plan and shall issue written approval thereof to the applicant. If the Commissioner determines that a site plan does not do so, the Commissioner shall advise the applicant in writing of the specific reasons for such adverse determination and the **specific** areas in which the site plan and supporting data and materials do not substantially demonstrate the foregoing elements. The Commissioner shall thereafter review any subsequent resubmission and issue a determination in writing to the applicant within a reasonable period.

Following approval of a site plan by the Department of Planning and Development, the site plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this planned development. After a site plan approval or Part II Approval by the Department of Planning and Development concerning the property or a portion thereof, the same may be changed or **modified** pursuant to the provisions of Statement Number 12 of this planned development.

The attached plans constitute the Site Plan for Subarea A of the property and for those property access drives and associated landscaping and lighting depicted on the Phase One Plan and are hereby approved; provided however, that the applicant still must apply for and obtain Part II Approval from the Department of Planning and Development. The attached plans are intended only as a conceptual guide for Subareas B, C and D (other than those property access drives, including associated landscaping and lighting, depicted on the Phase One Plan) and do not constitute an approved site plan for such portions of the property.

12. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements

contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.

13. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.1 1-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within the property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. However, in consideration of the extensive environmental remediation work undertaken by the applicant at the applicant's sole cost and expense in preparing the property for development and use, and in consideration for applicant's provision of those green roof improvements within Subarea A depicted on the Green Roof Exhibit, further consistency with the L.E.E.D. System shall not serve as grounds for conditioning or denying approval of building elevations, site plans or applications for Part II Approval for the property or portions thereof. Specifically, no green roof improvements shall be required for the property or any portion thereof other than those depicted on the Green Roof Exhibit. The applicant may design, manufacture and install the green roof components to be provided within Subarea A.
15. Unless substantial construction has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire; provided however, that if the City Council amends the Chicago Zoning Ordinance to provide and automatically revert to the preexisting B5-1 General Service District.

[Existing Zoning and Land-Use Map; Planned Development property Line and Boundary Map; Subarea Map; Site Plan; Landscape Plan; Phase One Improvements; Landscape Details; Hardscape Details; Hardscape Elevations; Building Elevations; Green Roof Plan; Conceptual Outlot Elevations; Interior Landscape Requirements; Plant List; Site Furnishings; Plant Details; and Floor Plans referred to in these Plan of Development Statements printed on pages 21762 through 21782 this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Business Planned Development Number 903.*

*Bulk Regulations And Data Table.*

|   |  |
|---|--|
| Net Site Area:                                  | 1,246,178 square feet (28.61 acres)  |
| Public Right-of-Way Area:                       | 94,660 square feet (2.17 acres)  |
| Gross Site Area<br>(Net + Public Right-of-Way): | 1,340,838 square feet (30.78 acres)  |
| Maximum Floor Area Ratio:                       | 0.5 overall<br>0.5 within each subarea   |
| Minimum Number of Off-Street Parking Spaces:    |  |
| Subarea A:                                      | 449  |
| Subareas B. C and D:                            | Banks, Business or Professional Offices:<br>one parking space for each 500 square feet of floor area in excess of 4,000 square feet. |

Restaurant uses: one parking space for each 400 square feet of floor area in excess of 4,000 square feet.

Furniture and Appliance Stores, Wholesale Stores, Household Equipment or Furniture Repair Shops, Upholstering Shops or Machinery Sales: one parking space for each 600 square feet of floor area in excess of 4,000 square feet.

Other retail uses: one parking space for each 400 square feet of floor area in excess of 4,000 square feet.

Maximum Percentage of  
Site Coverage:

Subarea A: In substantial conformance with the Site Plan.

Subareas B, C and D: 50% within each subarea.

Building Setbacks:

Subarea A: In substantial conformance with the Site Plan.

Subareas B, C and D: Per Statement 12.

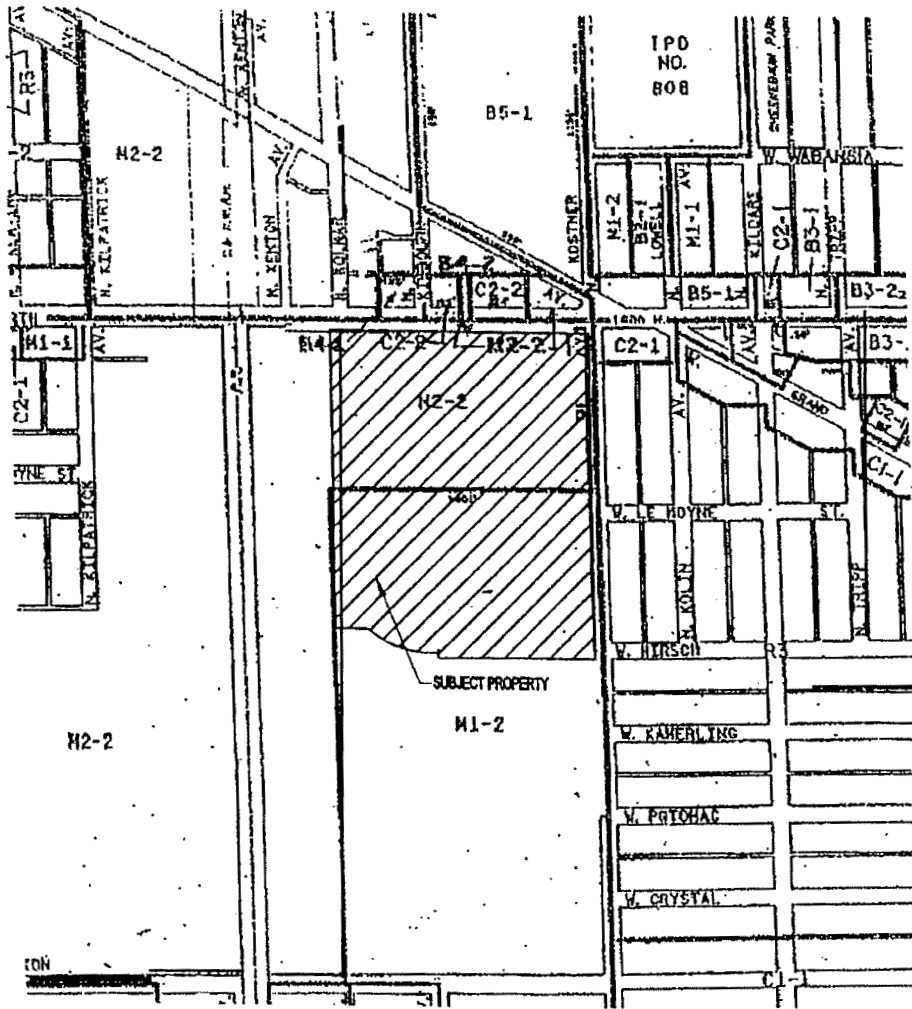
Maximum Permitted Building  
Height:

Subarea A: In substantial conformance with the Building Elevations.

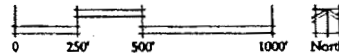
Subarea B: The height of existing improvement within Subarea A.

Subareas C and D: One story or 24 feet.

Existing Zoning And Land-Use Map.

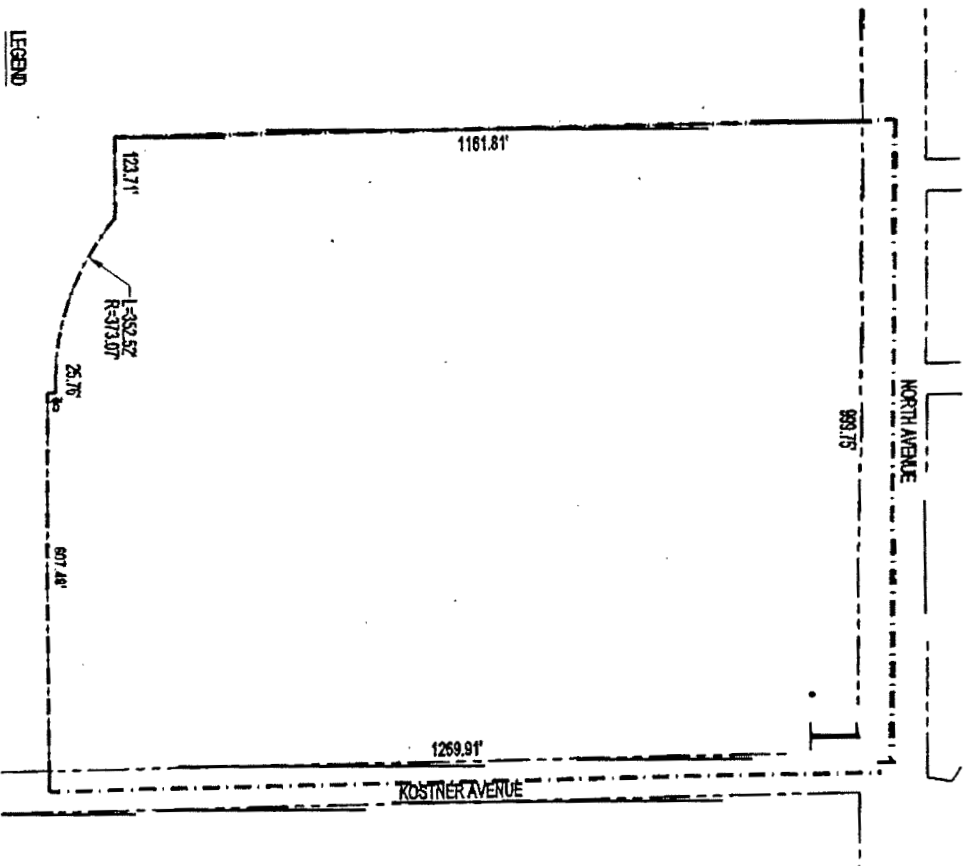


Existing Zoning & Land Use Map



|   |   |  |   |
|---|---|--|---|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS<br>BUSINESS PLANNED DEVELOPMENT NO. 300 | APPLICANT:<br>ADDRESS:<br>DATE SUBMITTED: | TEAM MENARD, INC.<br>4777 MENARD DRIVE<br>EAU CLAIR, WI<br>FEBRUARY 19, 2004 | <b>HKM ARCHITECTS + PLANNERS, INC.</b><br>8 SOUTH WALDEN AVENUE<br>ARLINGTON HEIGHTS, ILLINOIS 60005 © 2004 |
|   | BUSINESS PLANNED DEVELOPMENT NO. 300      |  |   |

Planned Development Property  
Line And Boundary Map.



LEGEND

PROPERTY LINE —————

BOUNDARY LINE - - - - -

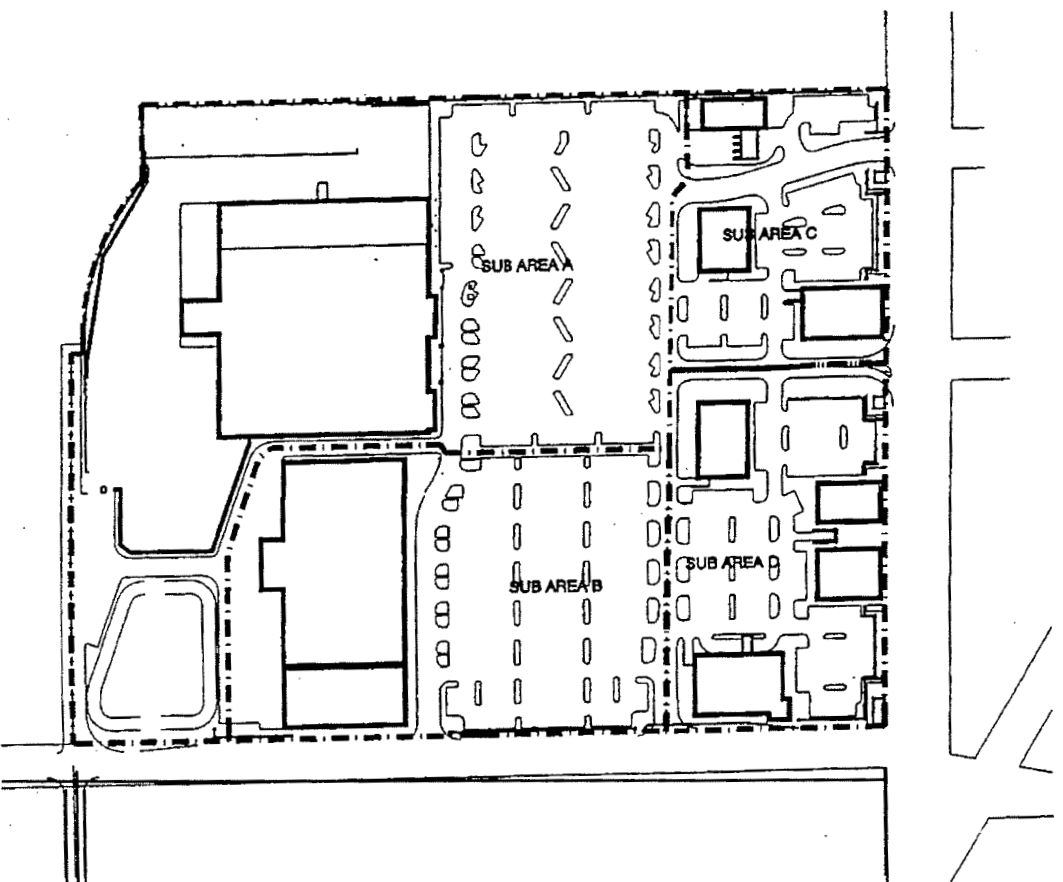
FINAL FOR PUBLICATION

Planned Development  
Property Line & Boundary Map



|                                      |                 |                     |            |   |
|--------------------------------------|-----------------|---------------------|------------|---|
| <b>Menards</b>                       | ARCHITECT:      | TECHNICAL INC       | <b>HMM</b> | <b>ARCHITECTS + PLANNERS, INC.</b>      |
| 4401 W. NORTH AVENUE                 | ADDRESS:        | 5200 N. W. 10TH AVE |            | 5200 N. W. 10TH AVE                     |
| CHICAGO, ILLINOIS                    | DATE SUBMITTED: | RESUBMIT IN 2004    |            | JANICION PROJECT, ILLINOIS 61801 © 2004 |
| BUSINESS PLANNED DEVELOPMENT NO. 233 |                 |                     |            |   |

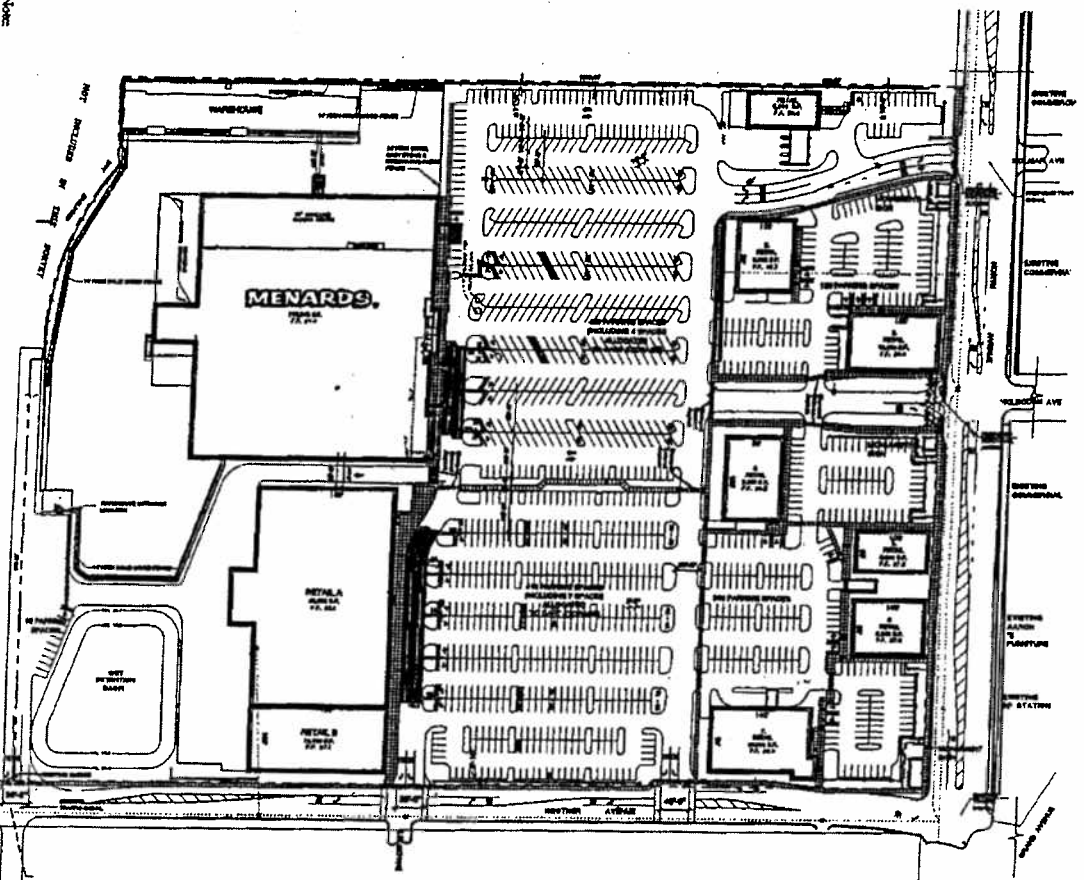
Subarea Map.



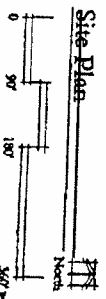
Sub Area Map FINAL FOR PUBLICATION

|   |                              |                                    |  |                                 |                          |                                 |                                     |                                 |                                   |                              |
|---|------------------------------|------------------------------------|--|---------------------------------|--------------------------|---------------------------------|-------------------------------------|---------------------------------|-----------------------------------|------------------------------|
| <b>Menards</b><br>CHICAGO, ILLINOIS<br>BUSINESS PLANNED DEVELOPMENT NO. 202 | <b>APPLICANT:</b><br>MENARDS | <b>DATE SUBMITTED:</b><br>11/19/03 | <b>PREPARED BY:</b><br>MENARDS                         | <b>PROJECT NO.:</b><br>11111111 | <b>DATE:</b><br>11/19/03 | <b>PROJECT NAME:</b><br>MENARDS | <b>PROJECT ADDRESS:</b><br>11111111 | <b>PROJECT CITY:</b><br>CHICAGO | <b>PROJECT STATE:</b><br>ILLINOIS | <b>PROJECT ZIP:</b><br>60600 |
|   |                              |                                    | <b>PREPARED BY:</b><br>HMM ARCHITECTS + PLANNERS, INC. |                                 |                          |                                 |                                     |                                 |                                   |                              |
|   |                              |                                    | <b>ADDRESS:</b><br>11111111                            |                                 |                          |                                 |                                     |                                 |                                   |                              |
|   |                              |                                    | <b>CITY:</b><br>CHICAGO                                |                                 |                          |                                 |                                     |                                 |                                   |                              |
|   |                              |                                    | <b>STATE:</b><br>ILLINOIS                              |                                 |                          |                                 |                                     |                                 |                                   |                              |
|   |                              |                                    | <b>ZIP:</b><br>60600                                   |                                 |                          |                                 |                                     |                                 |                                   |                              |

Site Plan.



Note:  
See Civil Engineering drawings for all final  
dimensions, light pole locations, etc.



FINAL FOR PUBLICATION

|                                      |  |   |  |
|--------------------------------------|--|---|--|
| <b>Menards</b>                       |  | <b>APPlicant:</b> TRUM LINDARD, INC.                            |  |
| 700 N. NORTH AVENUE                  |  | 5777 MENARD DRIVE   |  |
| CHICAGO, ILLINOIS                    |  | EASTON, IL 60121  |  |
| BUSINESS PLANNED DEVELOPMENT NO. 100 |  | DATE SUBMITTED: FEBRUARY 19, 2004                               |  |
|                                      |  | <b>PREPARED BY:</b> <b>TRUM ARCHITECTS &amp; PLANNERS, INC.</b> |  |
|                                      |  | 3800 WALTON AVENUE AMMONK HEIGHTS, ILLINOIS 60011-0384          |  |

**Site Data**

Menards: Square Footage 210,943 S.F.

Sub Area A) Parking 449 Spaces (4 for cars)

1st-Line Road

Sub Area B)

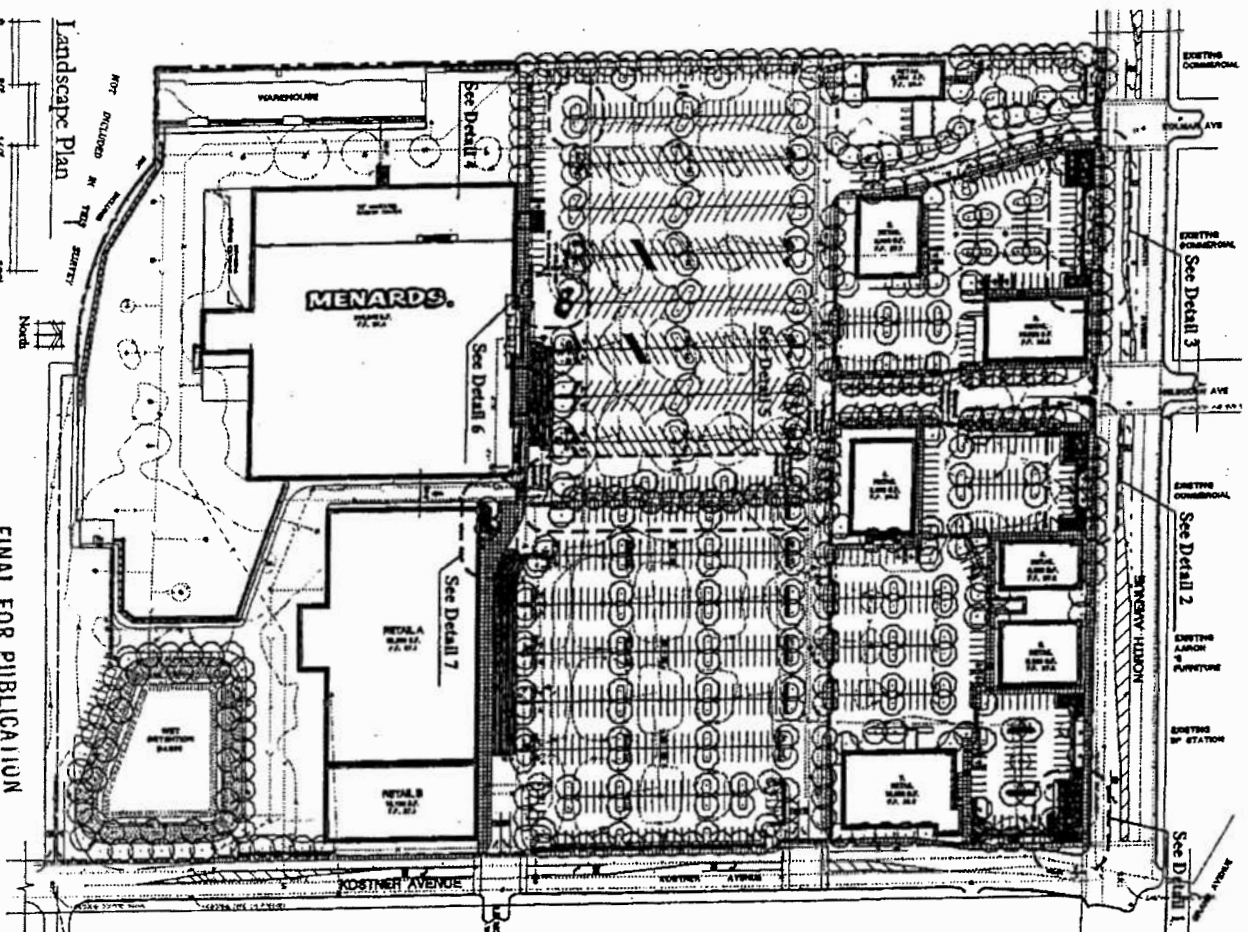
Outdoor West

Sub Area C) See Plan of Development Statements

Outdoor East

Sub Area D)

Landscape Plan.



**Menards**  
 4401 W. NORTH AVENUE  
 CHICAGO, ILLINOIS

ARCHITECT: TEAM MENARDS, INC.  
 ADDRESS: 4777 MENARD DRIVE  
 DATE SUBMITTED: FEBRUARY 14, 2004

**HKMM** ARCHITECTS + PLANNERS, INC.  
 1400 N. WAB AVENUE AMARILION ILLINOIS 60005-0384

LANDSCAPE PLANNING DEVELOPMENT NO. 2004

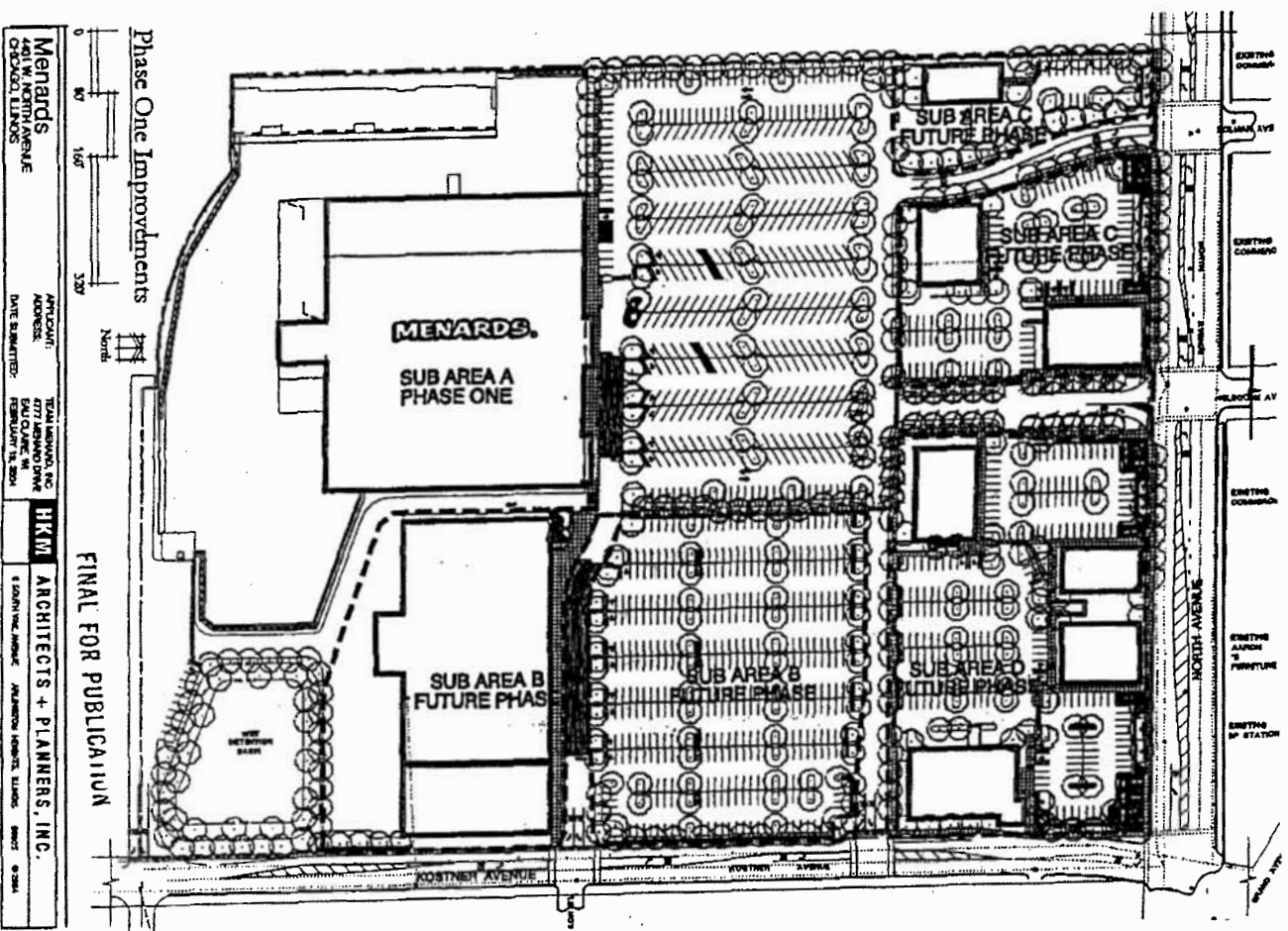
FINAL FOR PUBLICATION

3/31/2004

REPORTS OF COMMITTEES

21767

Phase One Improvements.



Phase One Improvements

0 50 100 150

North

**Menards**  
4411 W. NORTH AVENUE  
CHICAGO, ILLINOIS

APPROXIMATE ADDRESS: 4411 W. NORTH AVENUE  
DATE SUBMITTED: FEBRUARY 19, 2004

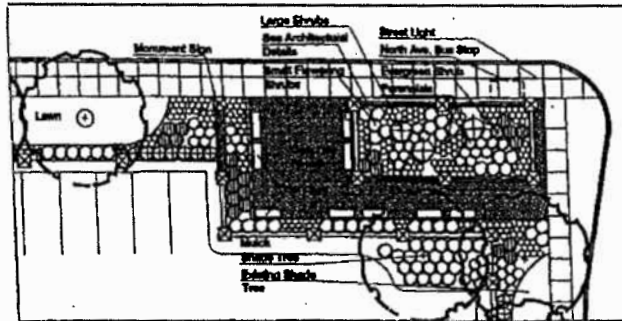
TOTAL LOT AREA: 100,000 SQ. FT.  
TOTAL IMPROVEMENTS: 100,000 SQ. FT.  
ENCLOSURE NO. 100

**HKM ARCHITECTS + PLANNERS, INC.**  
1500 N. LAUREL AVENUE, SUITE 100  
CHICAGO, ILLINOIS 60642

PROJECT NO. 04001

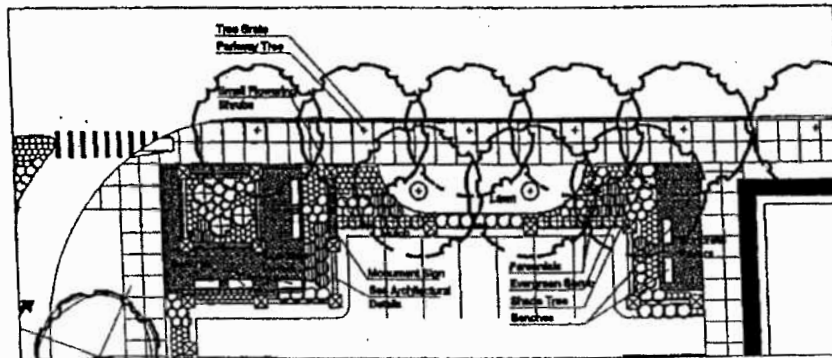
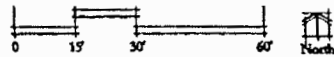
FINAL FOR PUBLICATION

Landscape Details 1 And 2.



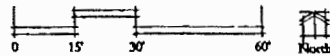
North and Kostner Corner

Landscape Detail 1



SE Corner at Kilbourn

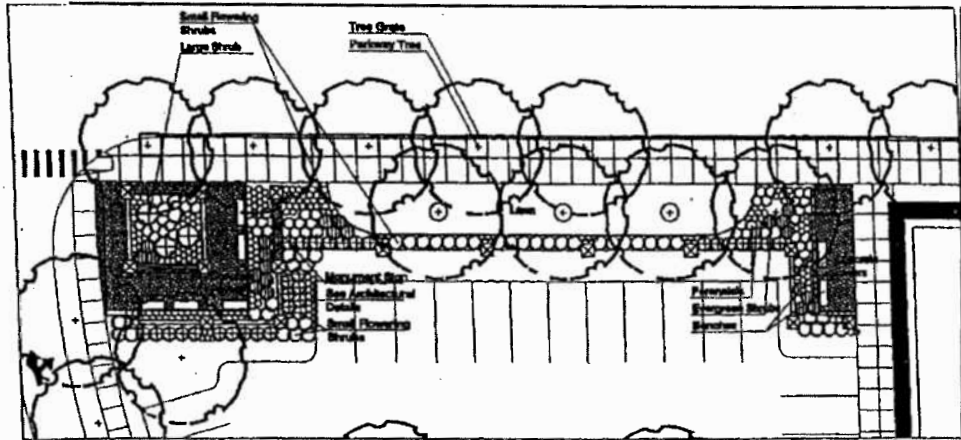
Landscape Detail 2



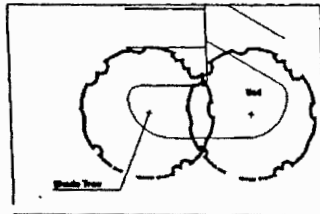
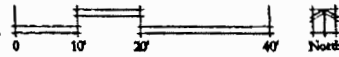
FINAL FOR PUBLICATION

|   |   |   |
|---|---|---|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS | APPLICANT:<br>ADDRESS:<br>DATE SUBMITTED: | TEAM MENARD, INC.<br>6771 MENARD DRIVE<br>6041 CLARK, ILL<br>FEBRUARY 19, 2004<br><b>HKM ARCHITECTS + PLANNERS, INC.</b><br>8 SOUTH WALDEN AVENUE ARLINGTON HEIGHTS, ILLINOIS 60005 |
| BUSINESS PLANNED DEVELOPMENT NO. 2004                       |   |   |

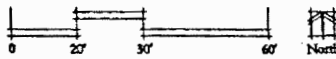
Landscape Details 3 And 4.



SE Corner at Kolmar  
Landscape Detail 3



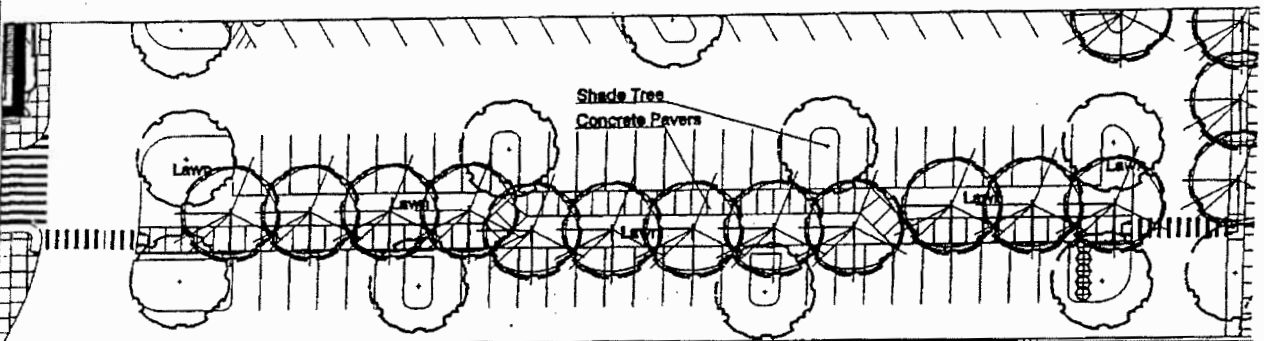
Typ. Parking Lot Island  
Landscape Detail 4



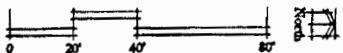
FINAL FOR PUBLICATION

|  |   |   |
|--|---|---|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS<br>BUSINESS PLANNED DEVELOPMENT NO. 3000 | APPLICANT: TEAM MENARD, INC.<br>ADDRESS: 4777 MENARD DRIVE<br>EARL CLARE, WI<br>DATE SUBMITTED: FEBRUARY 18, 2004 | <b>HMM ARCHITECTS + PLANNERS, INC.</b><br>8 20th N WIS. AVENUE ARLINGTON HEIGHTS, ILLINOIS 60005 © 2004 |
|--|---|---|

Landscape Details 5.



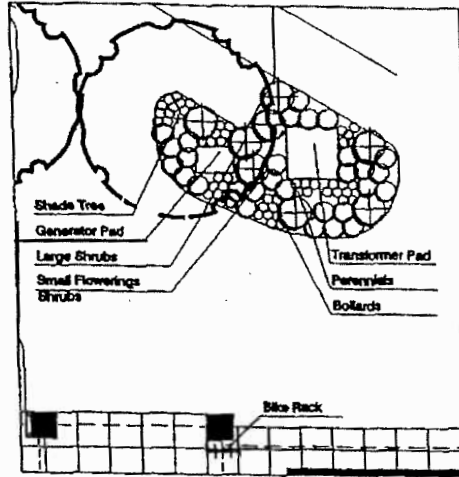
Pedestrian Walkway  
Landscape Detail 5



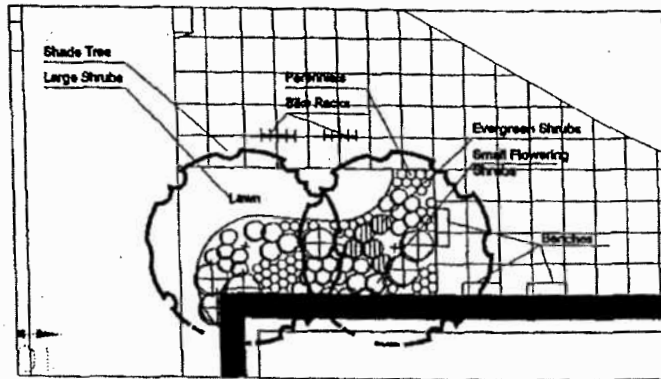
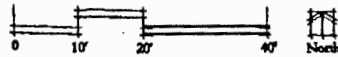
FINAL FOR PUBLICATION

|                                      |                     |  |                      |
|--------------------------------------|---------------------|--|----------------------|
| <b>Manards</b>                       |                     | <b>HRM ARCHITECTS + PLANNERS, INC.</b>                         |                      |
| BUSINESS PLANNED DEVELOPMENT NO. 200 |                     | 4 SOUTH WALDEN AVENUE ARLINGTON HEIGHTS, ILLINOIS 60007 © 2004 |                      |
| ARTICULATOR:                         | ADDRESS:            | DATE SUBMITTED:  | REVISIONARY NO. 2004 |
| MANARDS                              | 7501 LINDEN         | 5/11/04  |                      |
| MANARDS                              | 4777 WOODLAND DRIVE | 5/11/04  |                      |
| MANARDS                              | 5411 OLIVE W        | 5/11/04  |                      |
| MANARDS                              | 7501 LINDEN         | 5/11/04  |                      |

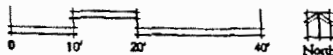
Landscape Details 6 And 7.



Transformer Detail and Bike Rack  
Landscape Detail 6



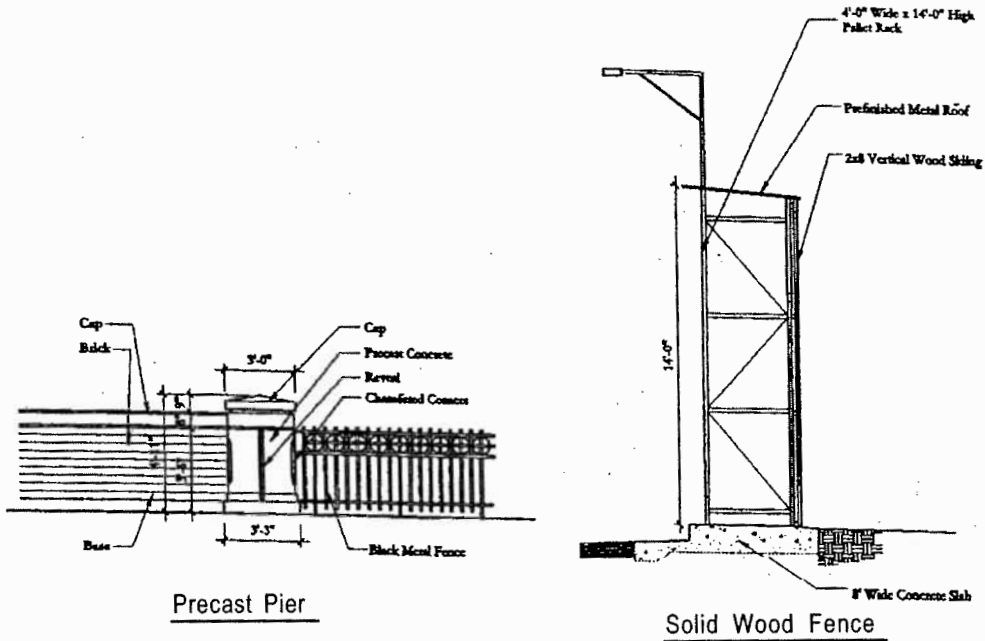
Pedestrian Gathering Space  
Landscape Detail 7



FINAL FOR PUBLICATION

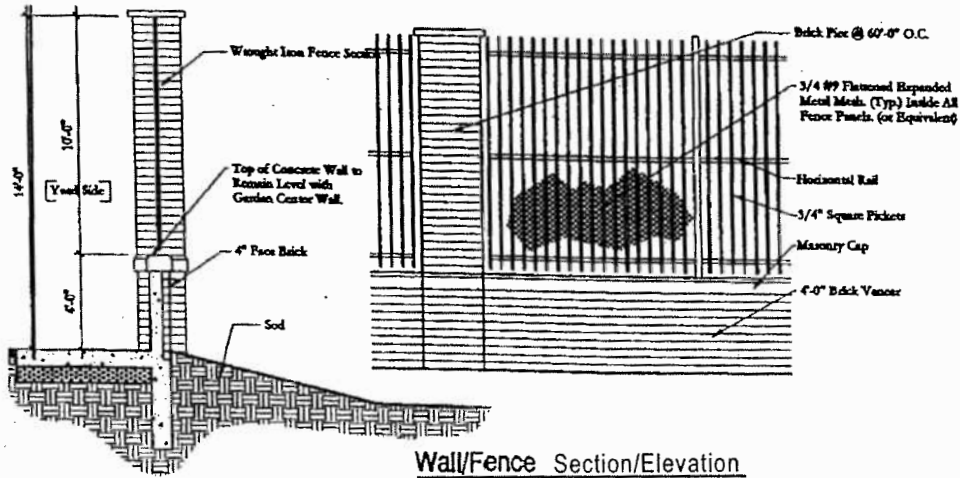
|   |  |   |
|---|--|---|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS<br><small>BUSINESS PLANNED DEVELOPMENT NO. 3004</small> | <small>APPLICANT:</small> TEAM MENARD, INC.<br><small>ADDRESS:</small> 4777 MENARD DRIVE<br>EAU CLAIRE, WI<br><small>DATE SUBMITTED:</small> FEBRUARY 19, 2004 | <b>BKM ARCHITECTS + PLANNERS, INC.</b><br><small>8 SOUTH WAL. AVENUE ARLINGTON HEIGHTS, ILLINOIS 60005 © 2004</small> |
|   | <small>© 2004</small>  |   |

Hardscape Details.



Precast Pier

Solid Wood Fence



Wall/Fence Section/Elevation

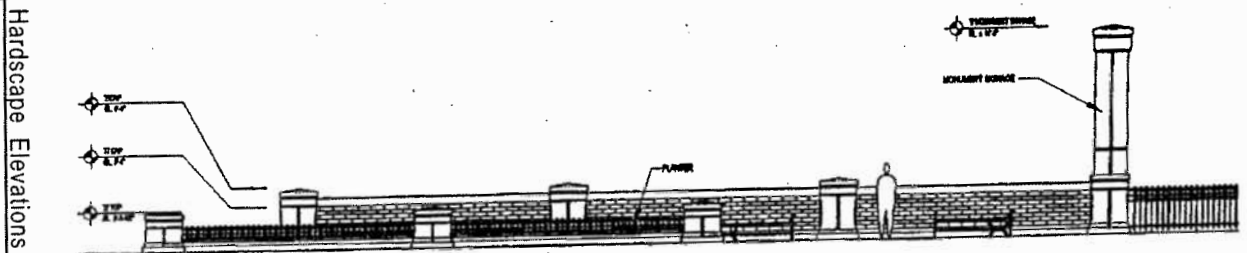
Hardscape Details

Scale: 3/16" = 1'-0"

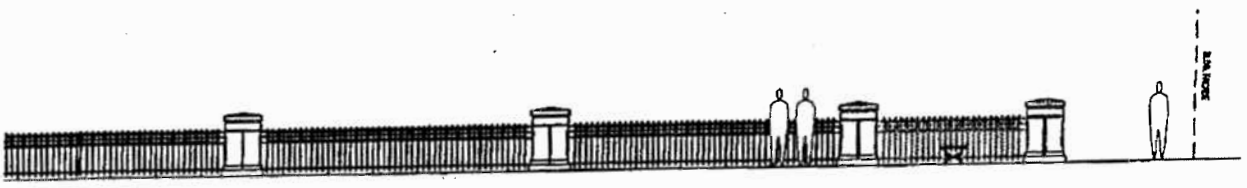
FINAL FOR PUBLICATION

|   |   |   |
|---|---|---|
| <p><b>Menards</b><br/>4401 W. NORTH AVENUE<br/>CHICAGO, ILLINOIS</p> <p><small>BUSINESS PLANNED DEVELOPMENT NO. 100</small></p> | <p><small>APPLICANT:</small><br/>ADDRESS:<br/><small>DATE: 03/16/04</small></p> | <p><small>TEAM MENARD, INC.</small><br/>4771 MENARD DRIVE<br/>EMU CLARE, MI<br/>48824-1304</p> <p><b>HMM ARCHITECTS + PLANNERS, INC.</b><br/>1301 N. WALDEN AVE. ARLINGTON HEIGHTS, ILLINOIS 60004 © 2004</p> |
|---|---|---|

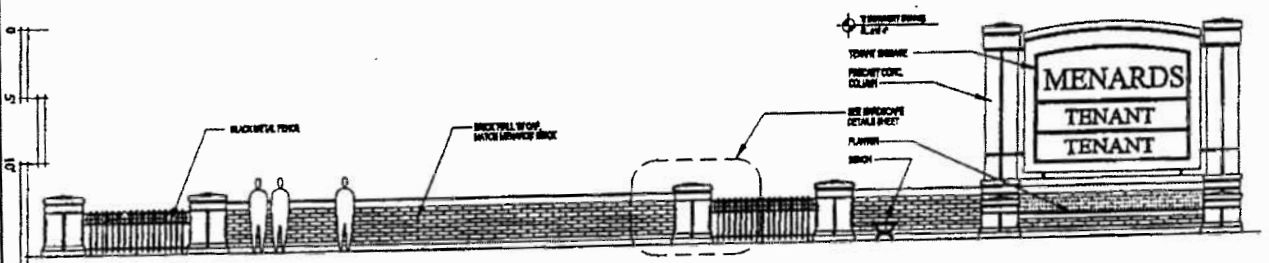
Hardscape Elevations.



Partial North Elevation @ North and Kostner



Partial Elevation @ North and Kostner



East Elevation @ North and Kostner

**MENARDS**  
401 W. NORTH AVENUE  
CHICAGO, ILLINOIS

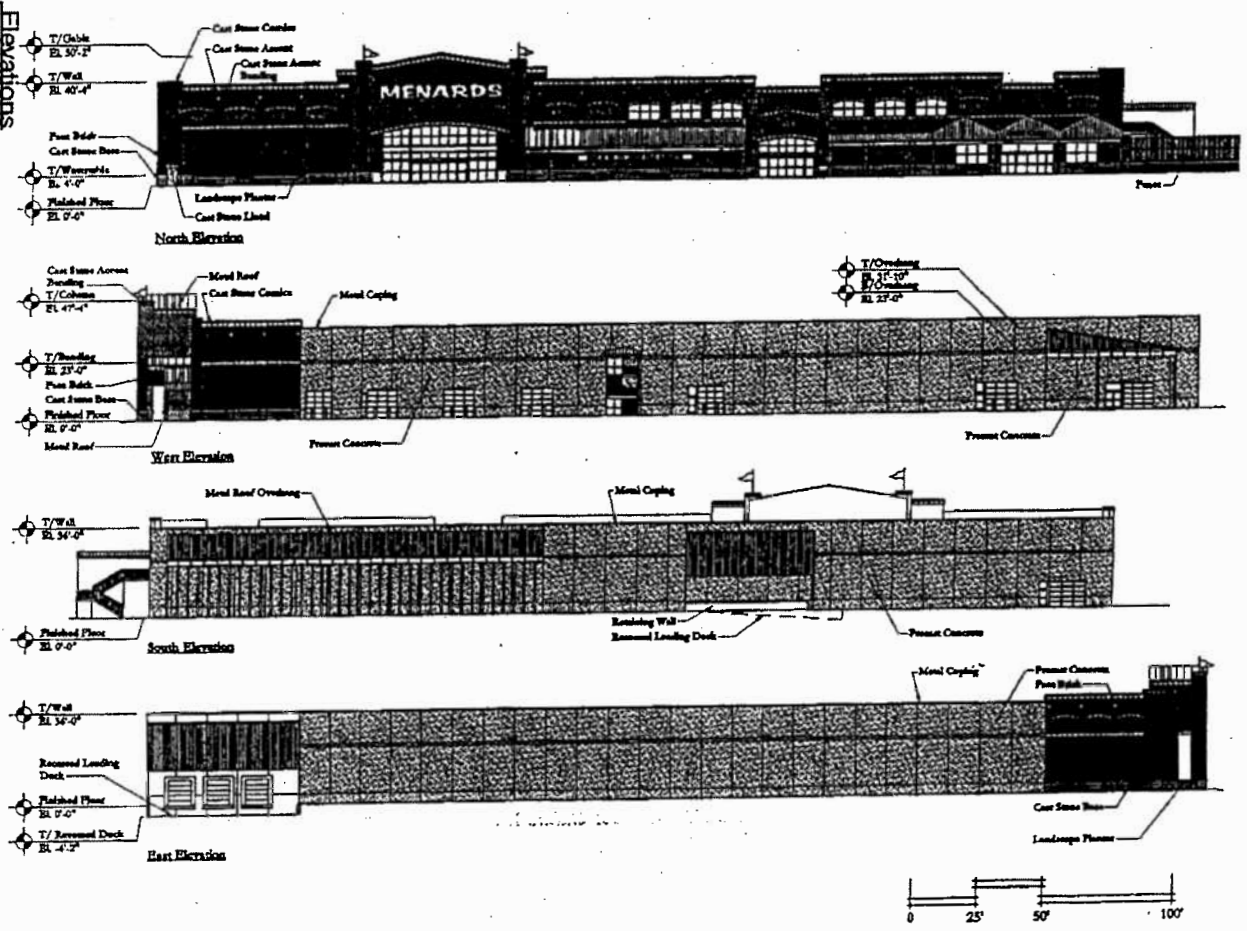
**HKM ARCHITECTS + PLANNERS, INC.**  
1500 N. W. AVENUE  
ANN ARBOR, MICHIGAN

ARCHITECT  
DATE SUBMITTED: FEBRUARY 18, 2004

TECHNICAL  
4777 HAWTHORNE DRIVE  
EVANSTON, ILLINOIS

BUSINESS PLANNED DEVELOPMENT NO. 333

Building Elevations.



**Elevations**

**Menards**  
 1401 W. NORTH AVENUE  
 CHICAGO, ILLINOIS

BUSINESS PLANNED DEVELOPMENT NO. 200

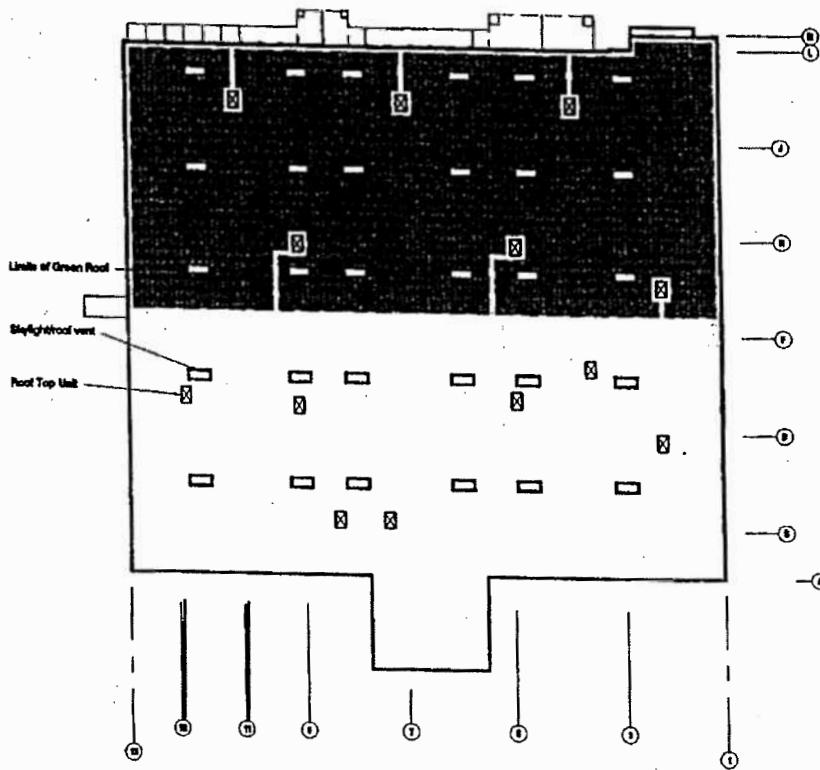
ARCHITECT:  
 ADDRESS:  
 DATE SUBMITTED:

TELEPHONE NO.  
 4777 WASHINGTON DRIVE  
 EVANSTON, ILLINOIS 60201

**HMM ARCHITECTS + PLANNERS, INC.**  
 4300 N. STATE STREET  
 ANAHEIM HEIGHTS, ILLINOIS 60018

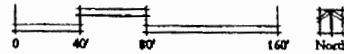
### Green Roof Plan.

Note: This graphic representation is for conceptual purposes only. Technical design and construction may require some variation.



Note: Green roof area limited to 80% of the available roof area less roof top equipment, walkways and workpiece areas. Skylights, mechanical equipment and walkways, etc. require curbs for separation from soil and plants.

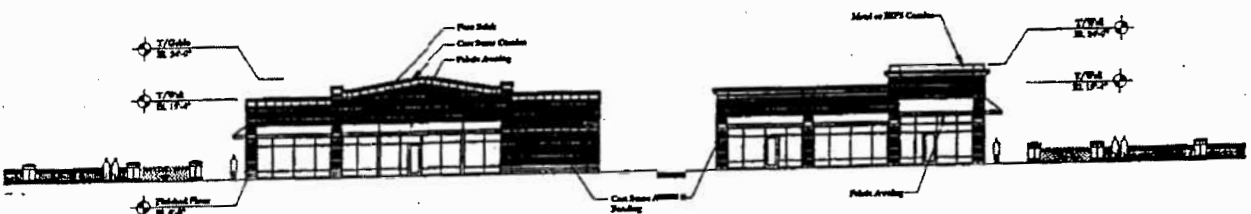
### Green Roof Plan



|   |                        |  |   |
|---|------------------------|--|---|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS | APPLICANT:<br>ADDRESS: | TEAM MENARD, INC.<br>4777 MENARD DRIVE<br>LAUREL, WI | <b>HKM ARCHITECTS + PLANNERS, INC.</b><br>6 SOUTH WALK AVENUE<br>ARLINGTON HEIGHTS, ILLINOIS 60005 © 2004 |
|   | DATE SUBMITTED:        | FEBRUARY 18, 2004                                    |   |

BUSINESS PLANNED DEVELOPMENT NO. 000

Conceptual Outlet Elevations.



Conceptual Outlet Elevations

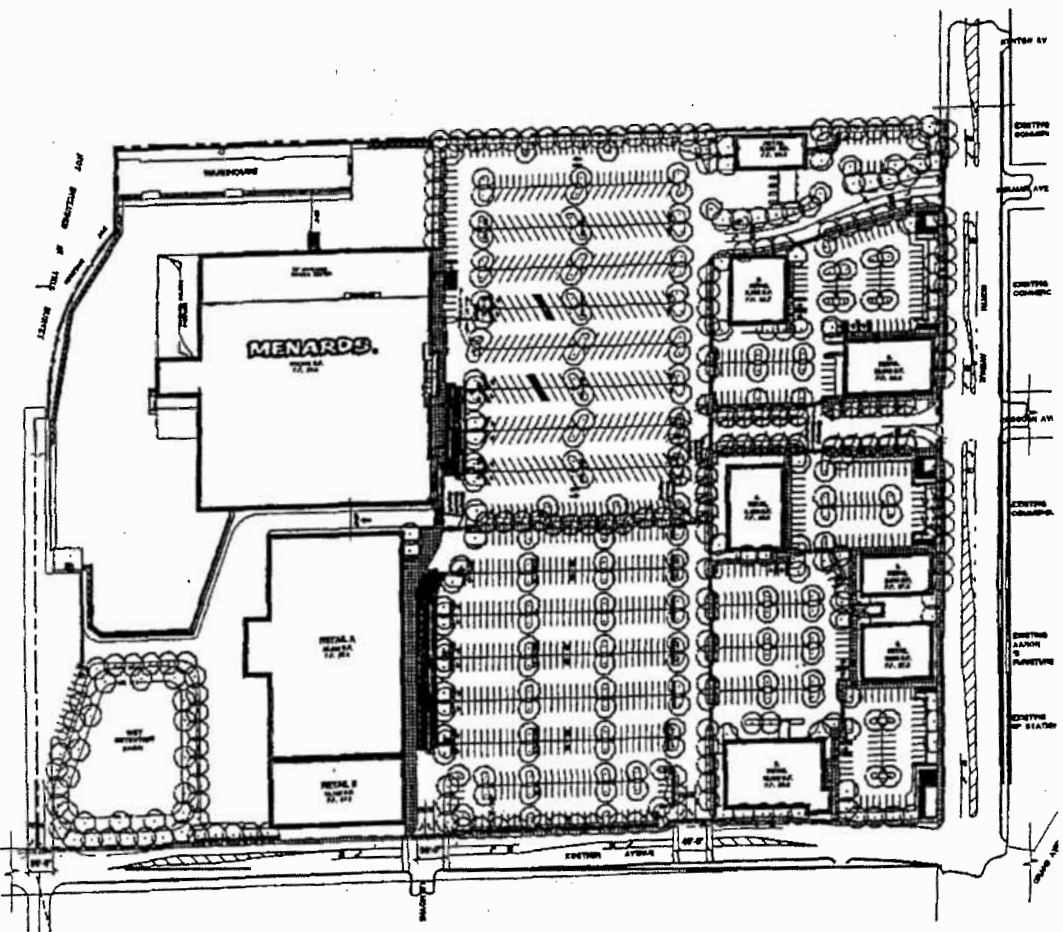
|  |                         |  |
|--|-------------------------|--|
| <b>Menards</b>                               | <b>PROJECT ADDRESS:</b> | <b>TECHNICAL STAFF:</b>                |
| 4411 W. NORTH AVENUE                         | 4777 LAWRENCE DRIVE     | <b>HKM ARCHITECTS + PLANNERS, INC.</b> |
| CHICAGO, ILLINOIS                            | FULL CLARE, ILL.        | 8 BOONVILLE AVENUE                     |
| <b>BUSINESS PLANNED DEVELOPMENT NO. 3002</b> | <b>DATE SUBMITTED:</b>  | EVANSTON, ILLINOIS 60009               |
|  | FEBRUARY 19, 2004       | © 2004                                 |

3/31/2004

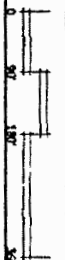
REPORTS OF COMMITTEES

21777

Interior Landscape Requirements.



**Interior Landscape Requirements**






**Interior Landscape Data**


CONTINGENTED INTER-LANDSCAPE DATA  
 1. All plants to be installed in accordance with the  
 2. All plants to be installed in accordance with the  
 3. All plants to be installed in accordance with the  
 4. All plants to be installed in accordance with the  
 5. All plants to be installed in accordance with the  
 6. All plants to be installed in accordance with the  
 7. All plants to be installed in accordance with the  
 8. All plants to be installed in accordance with the  
 9. All plants to be installed in accordance with the  
 10. All plants to be installed in accordance with the

|   |   |                                      |   |  |   |
|---|---|--------------------------------------|---|--|---|
| <b>Menards</b><br>1000 WEST BROADWAY<br>CHICAGO, ILLINOIS | APPLICANT:<br>MENARDS, INC.<br>ADDRESS:<br>4777 BROADWAY<br>CHICAGO, ILLINOIS | DATE SUBMITTED:<br>FEBRUARY 11, 2004 | TEAM LEADER, INC.<br>7777 BROADWAY<br>CHICAGO, ILLINOIS | <b>H&amp;M</b><br><b>ARCHITECTS &amp; PLANNERS, INC.</b><br>1300 N. W. ANNEA<br>MILWAUKEE, WISCONSIN | OWNER<br>MENARDS, INC.<br>CHICAGO, ILLINOIS |
|---|---|--------------------------------------|---|--|---|

Plant List.

| SHADE TREES  |   | 2.5" - 3.5" BB             |
|--|---|----------------------------|
|  AF | ACER x FREEMANI 'CULTIVARS'               | FREEMAN MAPLE              |
| AP   | ACER PLATANOIDES 'CULTIVARS'              | NORWAY MAPLE               |
| AS   | ACER SACCHARUM 'GREEN MOUNTAIN'           | GREEN MOUNTAIN SUGAR MAPLE |
| CO   | CELTIS OCCIDENTALIS                       | COMMON HACKBERRY           |
| GT   | OLEDTISIA TRIACANTHOS INERMIS 'CULTIVARS' | THORNLESS HONEYLOCUST      |
|  FC | PYRUS CALLERYANA 'CHANTICLEER'            | CHANTICLEER PEAR           |
| TC   | TILIA CORDATA 'GREENSPIRE'                | GREENSPIRE LINDEN          |

| FLOWERING/EVERGREEN SHRUBS   |   | 12" AN - 10" RB         |
|--|---|-------------------------|
| CA   | COTONEASTER ACUTIFOLIA                  | PEKING COTONEASTER      |
|  CI | CORNUS SERICEA 'ISANT'                  | ISANTI DOGWOOD          |
| EA   | EUONYMUS ALATA 'COMPACTA'               | COMPACT BURNING BUSH    |
| JS   | JUNIPERUS CHINENSIS 'SARGENTII VIRIDIS' | GREEN SARGENT JUNIPER   |
| RA   | RHUS AROMATICA 'GRO-LO'                 | GRO LO SUMAC            |
| SB   | SPIRAEA x BUMALDA 'ANTHONY WATERER'     | ANTHONY WATERER SPIREA  |
| SF   | SPIRAEA x BUMALDA 'FROEBELI'            | FROEBEL'S BUMALD SPIREA |
| SP   | SYRINGA PATULA 'MISS KIM'               | MISS KIM LILAC          |
| TT   | TAXUS X MEDIA 'TAUNTONI'                | TAUNTON YEW             |
| VH   | VIBURNUM TRILODUM 'HAHS'                | HAHS VIBURNUM           |

| PERENNIALS/GROUNDCOVER  |                                    | 3" POT - 1 QT.           |
|---|------------------------------------|--------------------------|
|  COREOPSIS | COREOPSIS VERTICILATA 'MOONBEAM'   | MOONBEAM COREOPSIS       |
| EUONYMUS  | EUONYMUS COLORATUS 'WINTERCREEPER' | PURPLELEAF WINTERCREEPER |
| ECHINACEA   | ECHINACEA PURPUREA                 | PURPLE CONEFLOWER        |
| HEMEROCALLIS  | HEMEROCALLIS 'STELLA D'ORO'        | YELLOW DAYLILLY          |
| HEMEROCALLIS  | HEMEROCALLIS 'BABY BETSY'          | RED DAYLILLY             |
| PENNISETUM  | PENNISETUM ALOPECUROIDES           | FOUNTAIN GRASS           |
| PEROVSKIA   | PEROVSKIA ATRIPLICIFOLIA           | RUSSIAN SAGE             |
| RUBECKIA  | RUBECKIA 'GOLDSTRUM'               | BLACK-EYED SUSAN         |
| SALVIA  | SALVIA 'MAY KNIGHT'                | MAY KNIGHT SALVIA        |
| SEDUM   | SEDUM SPECTABILE 'AUTUMN JOY'      | AUTUMN JOY STONECROP     |

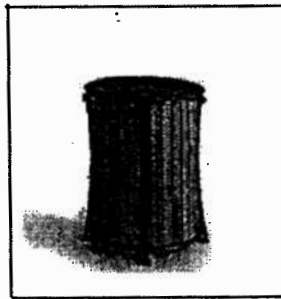
Plant List

|   |                        |  |  |
|---|------------------------|--|--|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS | APPLICANT:<br>ADDRESS: | TEAM MEMBER, INC.<br>4111 MENARD DRIVE<br>EARL CLARE, WA | <b>ARCHITECTS + PLANNERS, INC.</b><br>9 SOUTH WALDEN AVENUE ARLINGTON HEIGHTS, ILLINOIS 60005 © 2004 |
|   | DATE SUBMITTED:        | FEBRUARY 19, 2004  |  |

BUSINESS PLANNED DEVELOPMENT NO. 000

Site Furnishings.

Trash Receptacle



Tree Grate



Bench



Bike Rack



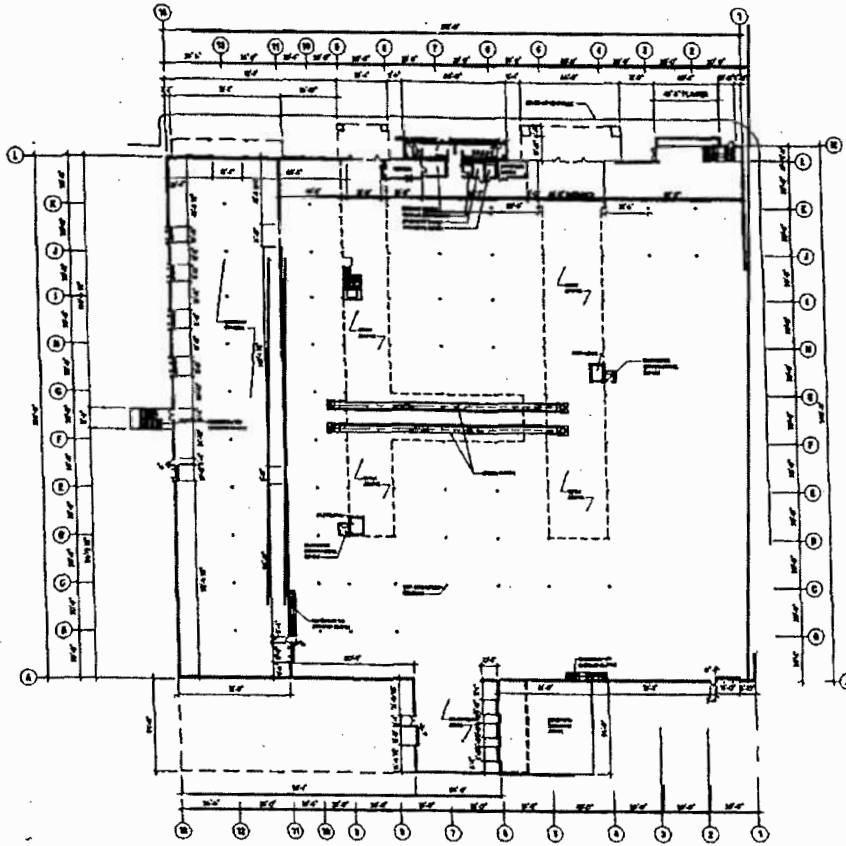
Site Furnishings

|   |   |   |   |
|---|---|---|---|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS | APPLICANT:<br>ADDRESS:<br>DATE SUBMITTED: | TEAM MENARD, INC.<br>4777 MENARD DRIVE<br>SAU CLAIR, ILL<br>FEBRUARY 18, 2004 | <b>HKM ARCHITECTS + PLANNERS. INC.</b><br>8 SOUTH WAL AVENUE ARLINGTON HEIGHTS, ILLINOIS 60006 © 2004 |
|---|---|---|---|

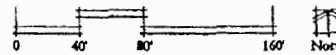
BUSINESS PLANNED DEVELOPMENT NO. 000



First Floor Plan.

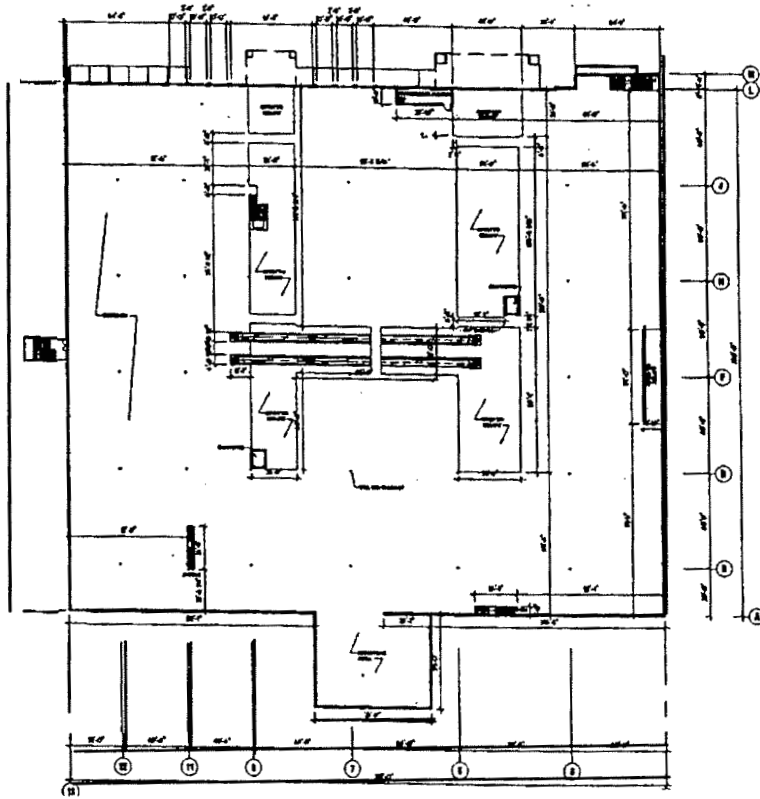


First Floor Plan

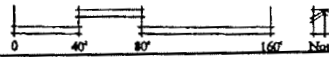


|   |                 |                                    |  |
|---|-----------------|------------------------------------|--|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS | APPLICANT:      | TEAM MENARDS, INC.                 | <b>HKM ARCHITECTS + PLANNERS, INC.</b>                       |
|   | ADDRESS:        | 4777 MENARD DRIVE<br>EAU CLARE, WI |  |
| BUSINESS PLANNED DEVELOPMENT NO. XXX                        | DATE SUBMITTED: | FEBRUARY 19, 2004                  | 8 SOUTH WALK AVENUE, ANLAWTON HEIGHTS, ILLINOIS 60607 © 2004 |

Second Floor Plan.



Second Floor Plan



|   |            |                   |  |  |  |
|---|------------|-------------------|--|--|--|
| <b>Menards</b><br>4401 W. NORTH AVENUE<br>CHICAGO, ILLINOIS | APPLICANT: | TEAM MENARD, INC. | <b>HKM ARCHITECTS + PLANNERS, INC.</b> | 4771 MIDLAND DRIVE<br>EAU CLARE, MI<br>FEBRUARY 16, 2004 | 4 SOUTH WALK AVENUE<br>ARLINGTON HEIGHTS, ILLINOIS 60004-0308A |
|   | ADDRESS:   |                   |  |  |  |
| BUSINESS PLANNED DEVELOPMENT NO. 00X                        |            |                   |  |  |  |