

# PD 899

- Table of Contents** ..... 2
- 08/14/2017 Zoning Letter** ..... 2
- 09/14/2005 Minor Change** ..... 3
- 02/11/2004 PD Adoption** ..... 4
  - Ordinance ..... 4
  - Statements ..... 4
  - Bulk Table ..... 9
  - Exhibits ..... 11



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

August 14, 2017

Meg George  
Akerman LLP  
71 S. Wacker Dr.  
46<sup>th</sup> Floor  
Chicago, IL 60606

**Re: Advisory Opinion for Planned Development No. 899, Sub area A  
Proposed Club Pilates at 901 W. Madison Street**

Dear Ms. George:

This letter is in response to your recent request. The property at 901 W. Madison St. is located within Planned Development Number 899 ("PD 899"), Sub area A. Your client, Club Pilates, is interested in leasing a portion of the property for Pilates classes, with a small retail component, which would sell Pilates accessories and apparel. You are seeking confirmation that the proposed use would be allowed within PD 899, Sub area A.

Pursuant to Statement Number 5 of PD 899, Sub area A permits all uses in the B4-4 Restricted Service District, dwelling units totaling 147 with accessory uses and accessory parking and loading. The B4-4 District was converted to the DX-5 District and pursuant to Section 17-4-0207 Use Table and Standards of the Chicago Zoning Ordinance, personal services are a permitted use in the DX District. Personal services include a Pilates studio, therefore, this use is permitted within PD 899, Sub area A. If you have any questions, please contact Teresa McLaughlin of my staff at (312) 744-3509.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

PAS:tm

C: Vicki Ortega, Terry Robinson, Main file



City of Chicago  
Richard M. Daley, Mayor

Department of Planning  
and Development

Denise M. Casalino, P.E.  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-4190  
(312) 744-2271 (FAX)  
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<http://www.cityofchicago.org>

September 14, 2005

Mr. James J. Banks  
Law offices of  
Samuel V. P. Banks  
221 North La Salle Street  
38<sup>th</sup> Floor  
Chicago, Illinois 60601

**Re:** Request for a minor changes to Residential-Business  
Planned Development No.899

Dear Mr. Banks:

Please be advised that your request for a minor change to Residential Planned Development No. 899 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you requested to increase the height of the building from 115 feet to 129 feet and to increase the number of units from 147 to 148 units.

With regard to your request, the Department of Planning and Development has determined that these changes are acceptable if the Applicant increases the total percentage of green roof from 25% to 30% of the proposed net roof area. These revisions to the Planned Development would constitute a minor change pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, Residential-Business Planned Development No.899, I hereby approve the foregoing minor changes as stated, but no other changes to Residential Planned Development No 899 and in accordance with the revised Dated August 29, 2005, site plan, landscaping plan, floor plans and elevations by Hirsch Associates LLC.

Very Truly Yours,

Denise M. Casalino, P.E.  
Commissioner

dmc/spr/cvh/mb

cc: Mike Marmo, Pat Haynes, PD files



ordinances, he had a familial relationship with the applicants' attorney.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map Number 2-G.*  
(As Amended)  
(Application Number 14028)

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the C2-3 General Commercial District symbols and indications as shown on Map Number 2-G in the area bounded by:

West Madison Street; South Peoria Street; West Monroe Street; a line 126 feet west of and parallel to South Peoria Street; a line 196.07 feet north of West Monroe Street; and South Sangamon Street,

to those of a B4-4 Restricted Service District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the B4-4 Restricted Service District established in Section 1 above to the designation of a Residential-Business Planned Development which is hereby established in the area described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential Business Planned Development Number 899*

*Plan Of Development Statements.*

1. The area delineated herein as a Residential-Business Planned Development consists of a total lot area of approximately seventy-five

thousand three hundred sixty (75,360) square feet (one and seventy-three hundredths (1.73) acres) of property and is owned or controlled by Terrapin Properties, L.L.C. (the "Applicant").

2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets or alleys or easements or adjustments of rights-of-way or consolidation or re-subdivision of parcels shall require separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions applicable within this planned development shall be binding upon the Applicant its successors and assigns, and if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns, and if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.1 1-1 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant, the owners of all property within the planned development, or any homeowners association(s) formed to succeed the Applicant for purposes of control and management of any portion of the planned development.
4. This plan of development consists of fourteen (14) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Property Line and Boundary Map; a First Floor; Site Plan; Landscape Plan, Building Elevations and Rooftop Landscape Plan; dated January 22, 2004 prepared by Hirsch & Assoc. L.L.C.; full size sets of the First Floor/Site/Landscape Plan and Building Elevations, and Rooftop Plan are on file with the Department of Planning and Development. This plan of development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code of Chicago) and all requirements thereof and satisfies the established criteria for approval of a planned development. These and no other zoning controls shall apply to the area delineated herein.
5. The following uses shall be permitted within the areas delineated herein:

Subarea "A" All uses permitted in the B4-4 Restricted Service District, dwelling units totaling one hundred forty-seven (147) units with accessory uses and accessory parking and loading.

Subarea "B" Institution uses, which includes offices, school uses, classrooms, performance spaces, food services, accessory retail, bookstore and any use deemed to be accessory to the operation of the Merit School of Music or its successors.

6. Identification and business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted within the planned development subject to review and approval of the Department of Planning and Development. Temporary sales offices shall be allowed.

7. Any service drives or other ingress or egress including emergency vehicle access shall be adequately designed, constructed and paved in accordance with the Municipal Code of Chicago and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking or storage of garbage receptacles within such paved areas, except as noted on the site plan, or within fire lanes. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development.

Off-street parking and off-street loading facilities shall be provided in compliance with this plan of development subject to review of the Department of Transportation and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review of the Chicago Department of Transportation.

There shall be no parking within such paved areas or fire lanes. Ingress and egress shall be subject to the review and approval of the Departments of Transportation, and Planning and Development. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in accordance with the Municipal Code of the City of Chicago.

8. In addition to the maximum height of any building or any appurtenance

attached thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.

9. The maximum permitted floor area ratio shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definitions of the City of Chicago Zoning Ordinance shall apply.
10. The improvements of the property shall be designed, installed and maintained in substantial conformance with the First Floor/Site/Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Specifically the Applicant has agreed to (a) minimum of fifteen thousand two hundred (15,200) square feet of retail/commercial space shall be provided at the ground floor as indicated on First Floor/Site/Landscaping Plan (b) provide an exterior dog walk area on the fourth (4<sup>th</sup>) floor terrace deck area.

Prior to submittal of a Part II application for any existing structure located in Subarea B, the Applicant, shall submit an elevation plan for review and approval to the Department of Planning and Development.

Also, consistent with the City's policy of promoting green roofs as a means of reducing the urban heat island effect and storm water run-off, the Applicant for Part II approval under this planned development agrees to:

- A. Install a green roof system, reasonably approved by the Department of Planning and Development at the time of Part II approval (but in no event to be less than six thousand two hundred thirty-three (6,233) square feet. Plaza green roof area: one thousand sixty-seven (1,067) square feet and five thousand one hundred sixty-six (5,166) square feet at the roof), on the ten (10) story mixed-use building to be constructed in Subarea A immediately north and adjacent to the existing two (2) story Merit School of Music building — as further depicted and defined on the Site Plan, revised on January 22, 2004 -- within one (1) year after receiving a certificate of occupancy for the ten (10) story building. In addition, the Applicant for Part II approval in Subarea B, also agrees to work with the Department of Planning and Development to determine whether a green roof is reasonable at the time when the third (3<sup>rd</sup>) floor is to be constructed.
- B. Provide the Department of Planning and Development with an

affidavit from a structural engineer that the ten (10) story building will support the weight load of a green roof at the time of Part II approval. In addition, a similar affidavit from a structural engineer will also be provided in connection with a green roof for Subarea B, will be provided (at the time of Part II approval for Subarea B).

- C. Construct roofs for the new building in Subarea A and the third (3<sup>rd</sup>) story addition proposed in Subarea B meet the City's then applicable energy code standards for reflecting and emissivity. The foregoing requirements shall only apply to those portions of the new roofs not covered by a green roof system.

Items A and B above are subject to: (a) approval of the green roof systems by all funding bodies and (b) funds being made available by the funding bodies for the installation of the green roofs and any incremental structural construction costs reselling therefrom.

11. The terms, conditions and exhibits of this Planned Development Ordinance may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the written request for such modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development, that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this planned development. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and

2/11/2004

REPORTS OF COMMITTEES

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maximizes the conservation of natural resources. The Applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within the property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating.

14. Unless substantial construction of the improvements for Subarea A contemplated in this planned development has commenced within six (6) years following adoption of this planned development, and unless completion thereof is diligently pursued, then this planned development shall expire and the property shall automatically revert to that of a C2-3 General Commercial District.

[Existing Zoning Map and Land-Use Map; Planned Development and Boundary Line Map; Subarea A Site Plan; Roof Plan; Landscaping Plan; and Building Elevations referred to in these Plan of Development Statements printed on pages 18669 through 18676 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Residential-Business Planned Development Number 899.*

*Bulk Regulations And Data Table.*

Gross Site Area:	100,348 square feet (2.33 acres)
Net Site Area:	75,360 square feet (1.73 acres)
Subarea "A":	34,874 square feet (0.80 acres)
Subarea "B":	40,486 square feet (0.93 acres)
Maximum Floor Area Ratio:	3.9 F.A.R. (293,904 square feet)
Subarea "A":	6.1 F.A.R. (2 12,932 square feet)
Subarea "B":	2.0 F.A.R. (80,972 square feet)

Maximum Number of  
Residential Units:

Subarea "A": 147  
Subarea "B": 0

Minimum Number of Off-Street  
Parking Spaces to be Provided:

Total: 208

Maximum Ratio of Accessory  
Parking:

Subarea "A": 172 spaces (1.1 spaces per dwelling unit)  
Subarea "B": 36 spaces

Minimum Number of Off-Street  
Loading Spaces:

Total: 2 spaces

Subarea "A": 2 loading spaces  
Subarea "B": 0 loading spaces

Maximum Site Coverage:

In accordance with the Site Plan

Maximum Building Height:

Subarea "A": 115 feet at the top of roof  
Subarea "B": 65 feet

Commercial/Retail Space  
to be Provided:

Subarea "A": Minimum of 15,200 square feet.

Subarea "B": The entire building may be used as offices, performance spaces, limited accessory retail spaces, classrooms, et cetera

These regulations relate to the ultimate development with the planned development area and interim stages of development may exceed these permitted standards subject to the approval of the Department of Planning and Development.

2/11/2004

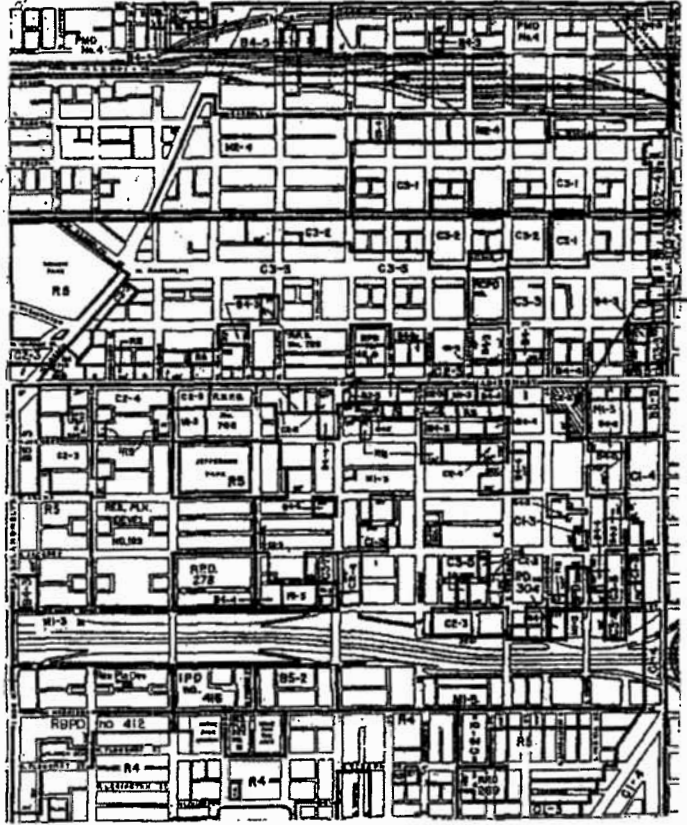
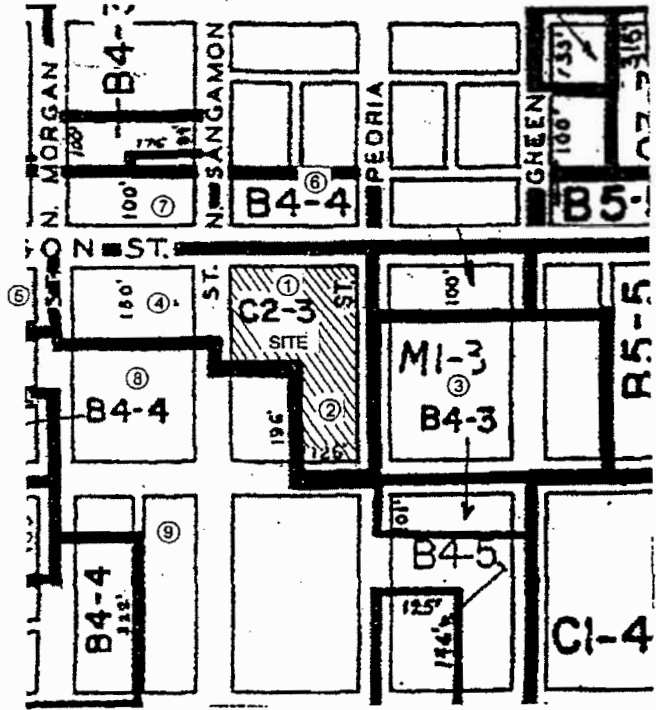
REPORTS OF COMMITTEES

18669

Existing Zoning Map And Land-Use Map.

# RESIDENTIAL BUSINESS PLANNED DEVELOPMENT NO. 899

LAND USE CONTEXT	
①	SITE-PROPOSED - 10 STORY CONDOMINIUM
②	PROPOSED MERIT SCHOOL OF MUSIC 2-3 STORY
③	H2O - 1 STORY
④	CONDOMINIUM - 6 STORY
⑤	CONDOMINIUM - 7 STORY
⑥	CONDOMINIUM - 10 STORY
⑦	CONDOMINIUM - 6 STORY
⑧	PROPOSED CONDOMINIUM - 10 STORY
⑨	CONDOMINIUM - 10 STORY

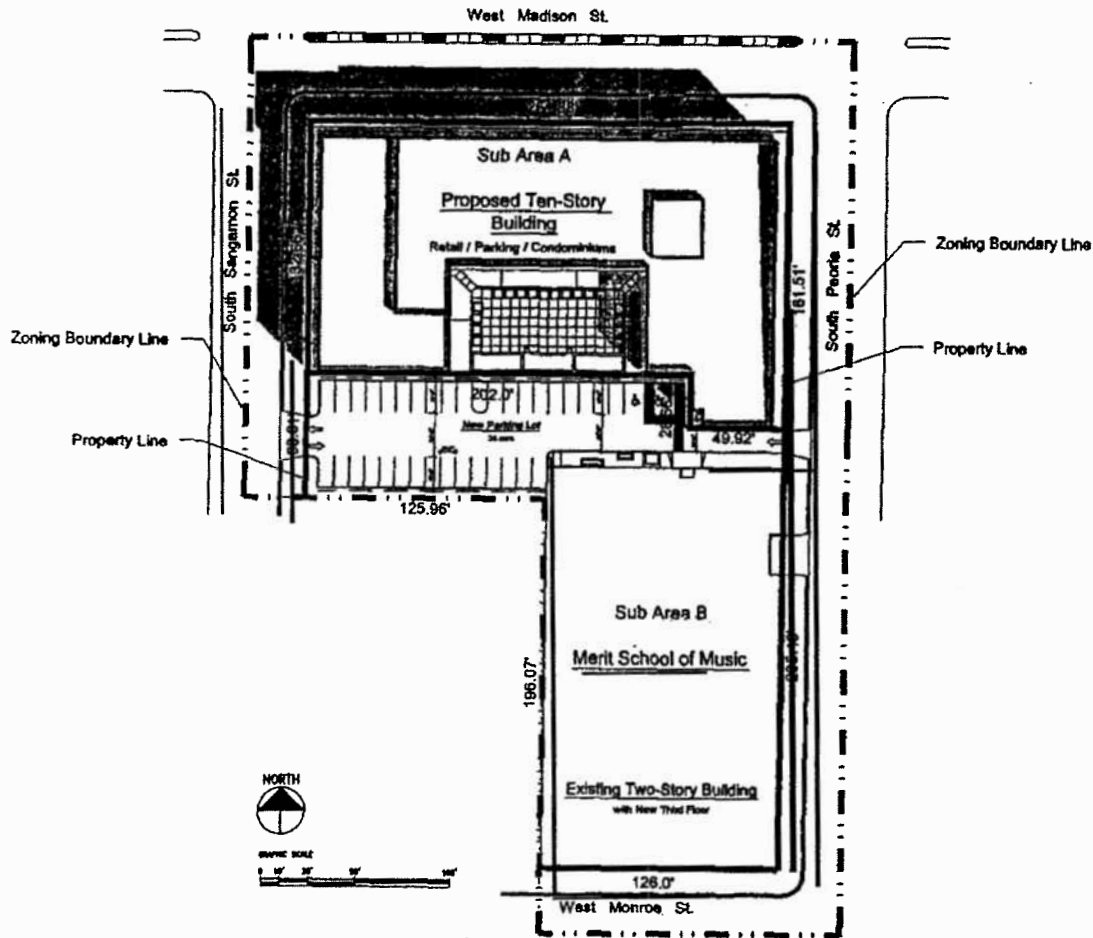


901 West Madison Condominiums Existing Zoning Map & Land Use Map Chicago, IL

Terrapin Properties, Inc. n.Ls. Revised: January 22, 2004

Planned Development Property Line  
And Boundary Line Map.

RESIDENTIAL BUSINESS PLANNED DEVELOPMENT NO. \_\_\_\_\_



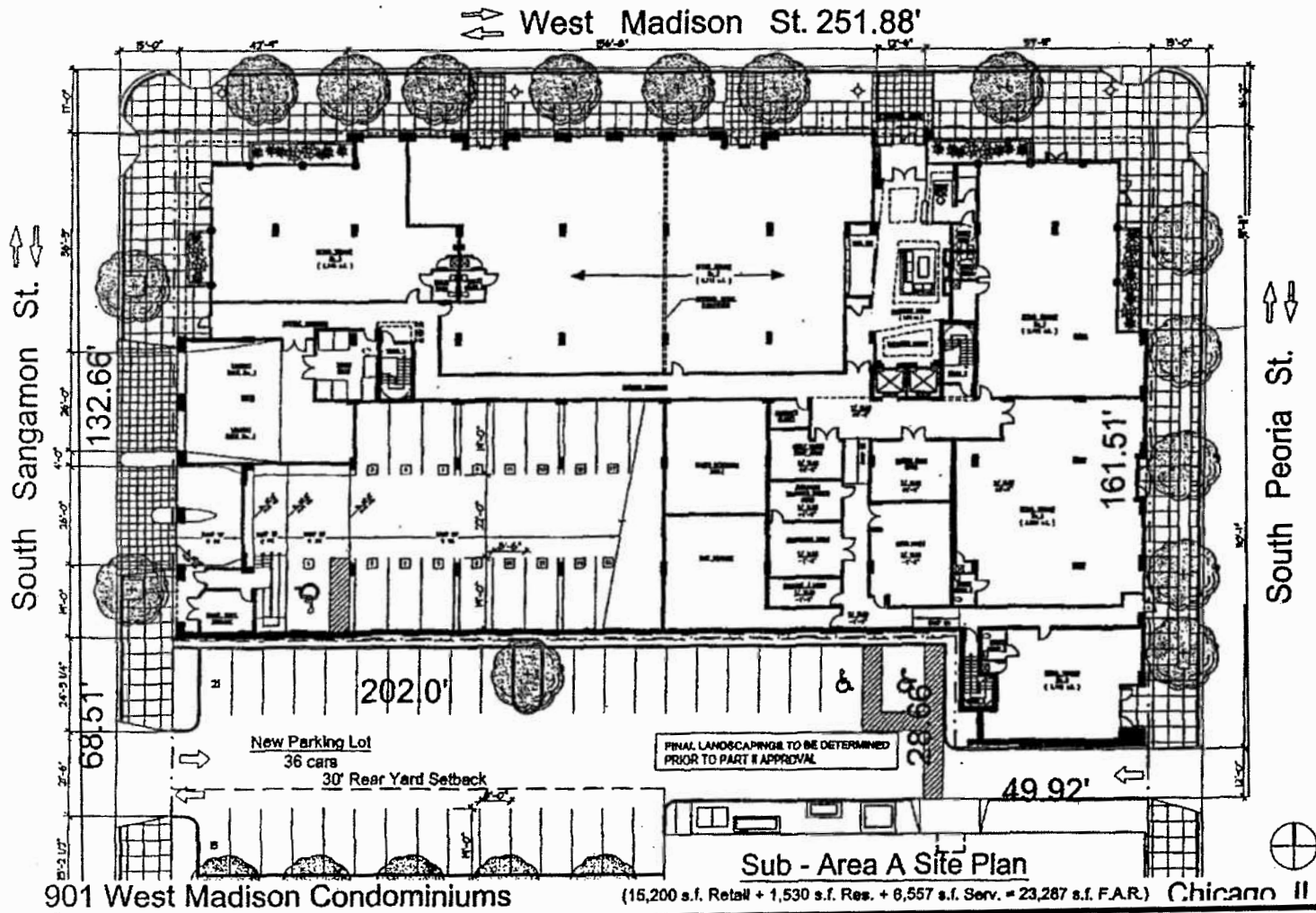
RESIDENTIAL BUSINESS PLANNED DEVELOPMENT NO 899

2/11/2004

REPORTS OF COMMITTEES

18671

Subarea A Site Plan.

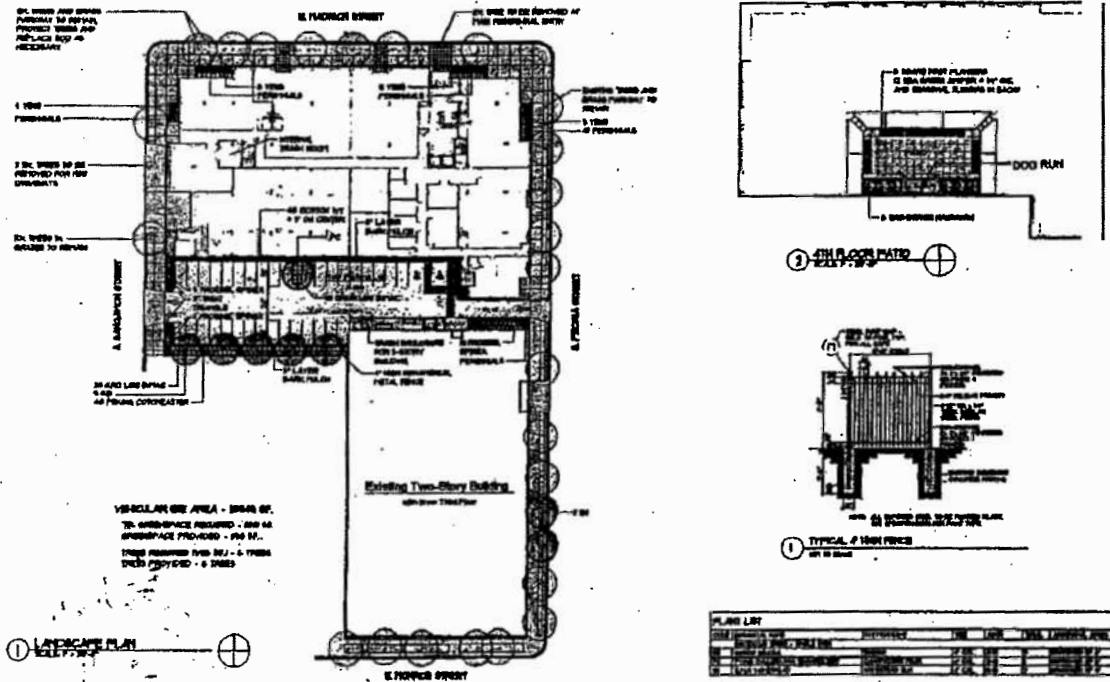


RESIDENTIAL BUSINESS PLANNED DEVELOPMENT NO. 899

2/11/2004

REPORTS OF COMMITTEES

Landscaping Plan.



North Building Elevation,

RESIDENTIAL BUSINESS PLANNED DEVELOPMENT NO. 899



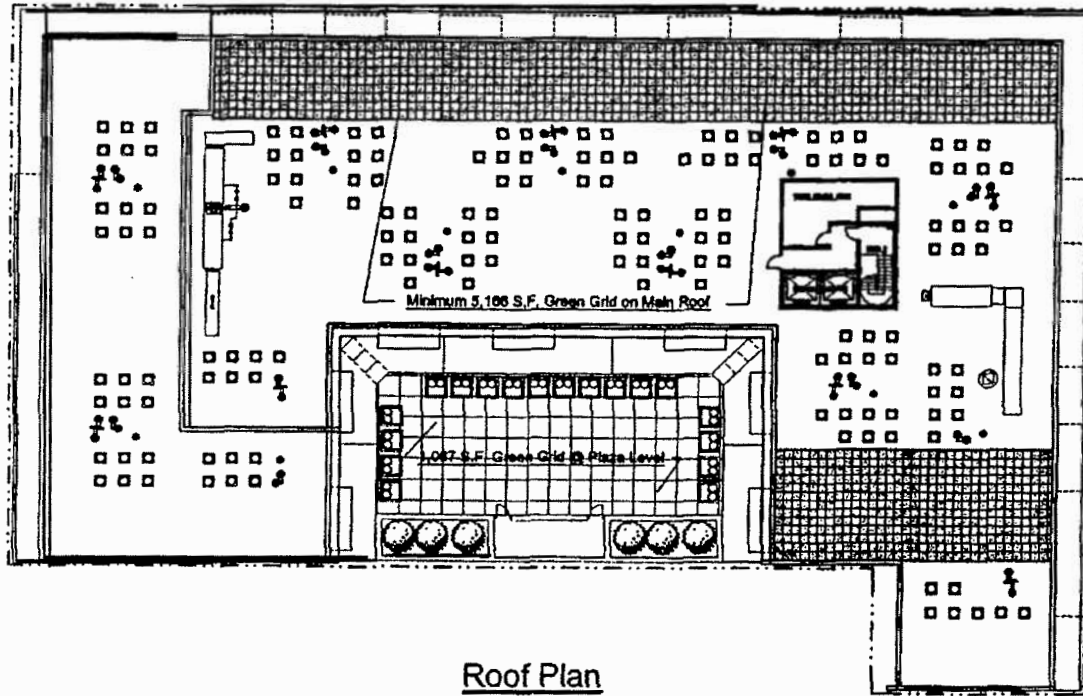
North Elevation

Madison St.

901 West Madison Condominiums

Chicago, IL

RESIDENTIAL BUSINESS PLANNED DEVELOPMENT NO 899



Roof Plan

(24,930 s.f.)

(Minimum 25%=6,233 S.F. Green Roof)

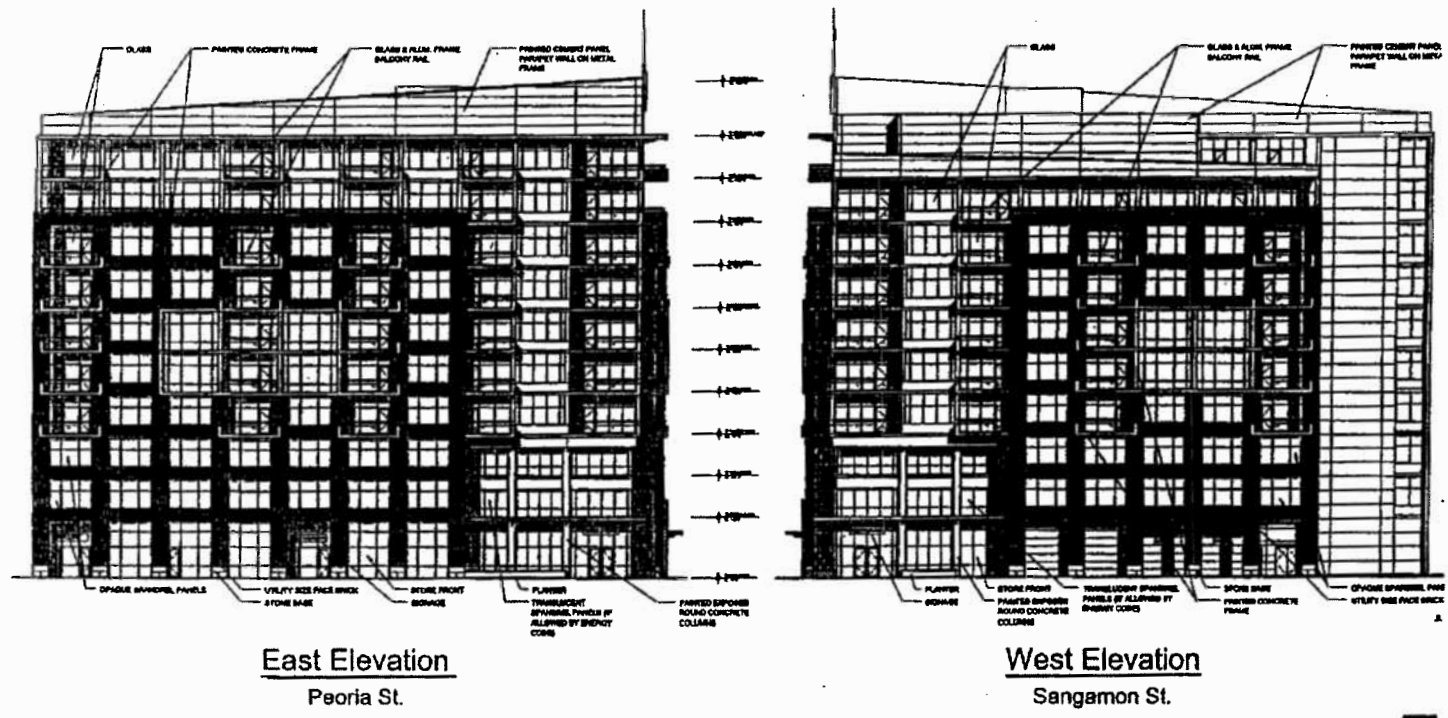
West Madison Condominiums

Roof Plan.



East/West Building Elevations.

RESIDENTIAL BUSINESS PLANNED DEVELOPMENT NO. 899



East Elevation  
Peoria St.

West Elevation  
Sangamon St.

901 West Madison Condominiums

Chicago, IL

FORTRAN PROPERTIES, INC.

NOT TO SCALE Peritect January 14, 2004 RP, MV, TCR 0290

Hirsch Associates, LLC.

