

PD 897

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**DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO**

August 2, 2021

Steven D. Friedland
Applegate & Thorne-Thomsen
425 S. Financial Pl.
Suite 1900
Chicago, IL 60605

Re: Site Plan Approval Request Planned Development Number 897 (the “Planned Development”), Subarea II, 42 W 37th St

Dear Mr. Friedland:

Please be advised that your request for site plan approval for Residential Planned Development No. 897 (“PD 897”), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement and Statement Number 11 of PD 897

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The project consists of the construction a new 40-unit midrise building in Subarea II. The building is located at the northwest corner of 37th Street and Dearborn Street. The parking along the north side of the building will be accessed by a driveway from Dearborn St. and when the remainder of the block is developed in the next phase, the driveway will be improved and dedicated as a city alley. The unit mix in the proposed building will be 18 public housing units, 16 affordable rental units and 6 market rate units.

The request for approval includes the following attached documents dated June 12, 2021, prepared by Johnson & Lee, LTD Architects:

- Site Plan and Landscape Plan
- North & South Elevations
- East and West Elevations
- Roof Plan
- Building Section Detail Plan
- Mechanical Duct plan

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of Residential Planned Development No. 897, as amended.

If you have any questions or need further clarification on these comments, please contact Kimberly Morris at (312) 744-4477 or at Kimberly.morris@cityofchicago.org.

Sincerely,



Patrick Murphey
Zoning Administrator

Originated by: Kimberly Morris

cc: James Miller, Stateway Associates
Erik Glass, DPD
Mike Marmo, DPD
Kimberly Morris, DPD
Noah Szafraniec, DPD
Planned Development files

February 5, 2021

By Email

Patrick Murphey
Commissioner
Bureau of Planning and Zoning
Department of Planning and Development
Room 905, City Hall
121 North LaSalle Street
Chicago, Illinois 60602

**Re: Site Plan Approval Request
Planned Development Number 897 (the “Planned Development”)**

Dear Commissioner Murphey:

Our law firm represents Stateway Associates (the “**Applicant**”). The Applicant controls all of the Planned Development. The Planned Development land is owned by the Chicago Housing Authority. CHA will provide a separate consent to this request.

Applicant seeks Site plan approval for a new 40-unit midrise building in Subarea II of the Planned Development.

The applicant seeks site plan approval for a new 40-unit midrise building in Subarea II. The building is located at the northwest corner of 37th Street and Dearborn Street. This building is basically a mirror image of the north building ins Subarea I. The unit mix in this building will also be 18 public housing units, 16 affordable rental units using low income housing tax credits and 6 market rate units.

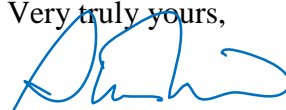
Also, similar to the north building, the parking spaces along the north side of the building will be accessed by a driveway from Dearborn Street. When the remainder of the block is developed in a later phase, the driveway will be improved and dedicated as a city alley.

Attached is a site plan, elevations and a rendering of the building.

Patrick Murphey
February 5, 2021
Page 2

If you have any questions or need any further information, please do not hesitate to call.

Very truly yours,

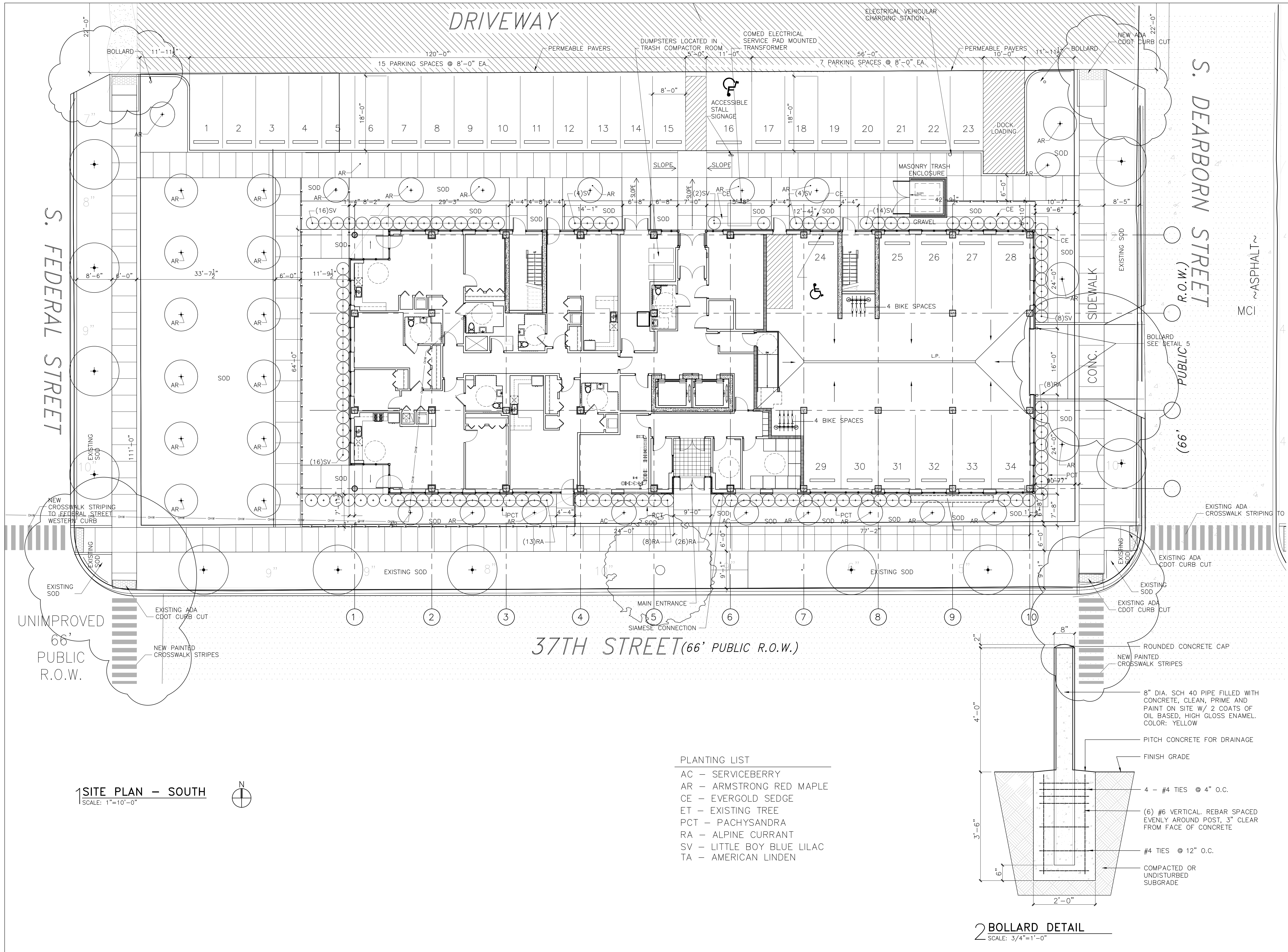


Steven D. Friedland

cc: Kimberly Morris
Noah Szafraniec
Teresa McLaughlin
James Miller

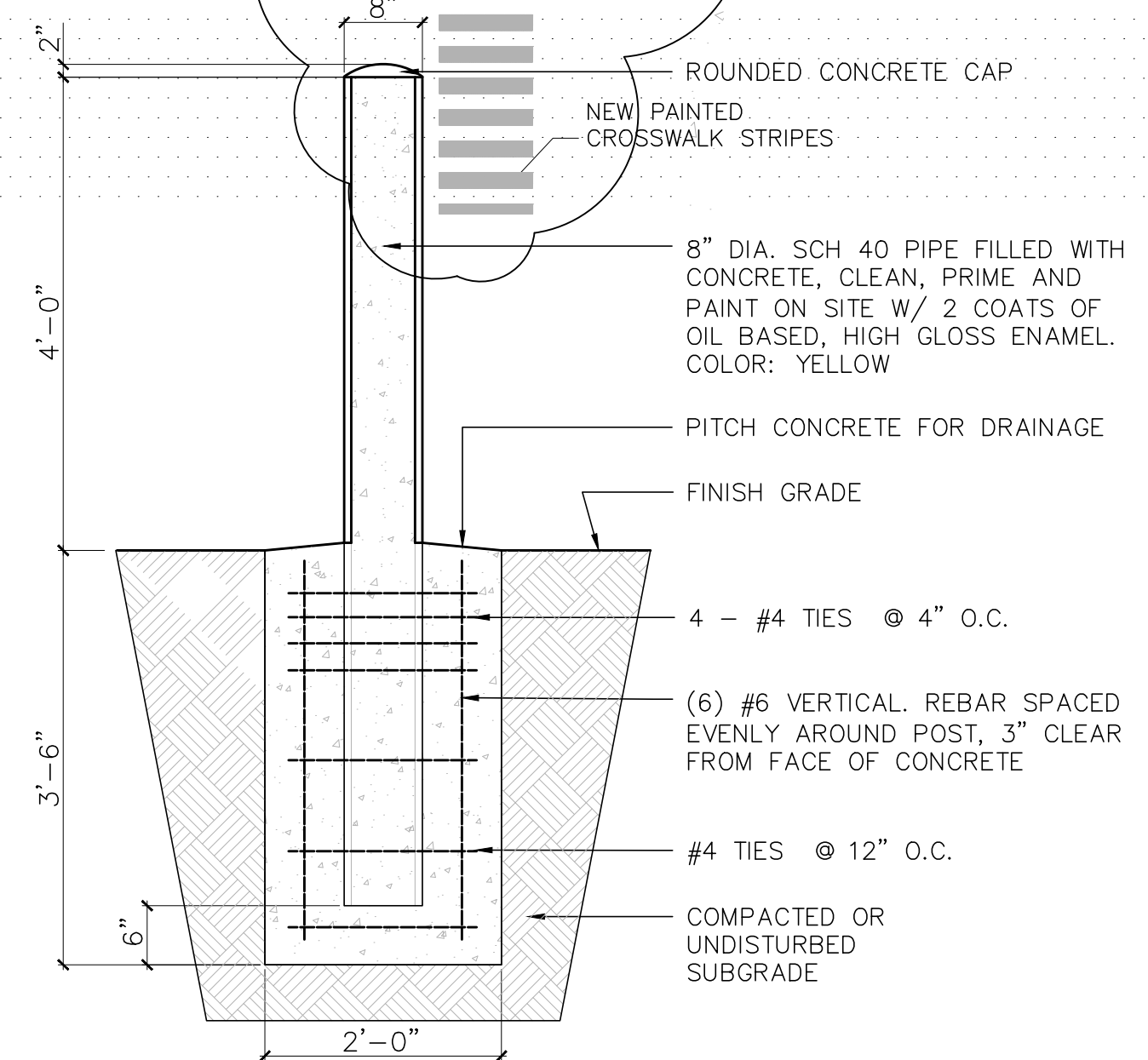
Encl.





1 SITE PLAN - SOUTH
SCALE: 1"=10'-0"

- PLANTING LIST
- AC - SERVICEBERRY
 - AR - ARMSTRONG RED MAPLE
 - CE - EVERGOLD SEDGE
 - ET - EXISTING TREE
 - PCT - PACHYSANDRA
 - RA - ALPINE CURRANT
 - SV - LITTLE BOY BLUE LILAC
 - TA - AMERICAN LINDEN



2 BOLLARD DETAIL
SCALE: 3/4"=1'-0"

DOB APPROVAL STAMP

ARCHITECT
JOHNSON & LEE, LTD
Architects + Planners
1 East 8th Street, Suite 200
Chicago, Illinois 60605
p. 312.663.0225
f. 312.663.4491
www.jlarch.net

Owner
PARK BOULEVARD PHASE III-B

41 W. 36TH STREET
City, State 60609

Consultants
MILHOUSE ENGINEERING
CHICAGO, ILLINOIS
CIVIL ENGINEER

ATRIUM LANDSCAPE
CHICAGO, ILLINOIS
LANDSCAPE ARCHITECT

MILHOUSE ENGINEERING
CHICAGO, ILLINOIS
STRUCTURAL ENGINEER

dbHMS
CHICAGO, ILLINOIS
MEP ENGINEER



Key Plan

Issued For

Issuance

Mark	Description	Date
1	PROGRESS SET	09/30/20
2	PROGRESS SET	10/22/20
3	PROGRESS SET	10/29/20
4	PROGRESS SET	11/6/20
5	PERMIT SET	11/6/20
6	PERMIT CORRECTIONS	2/12/21
7	REVISIONS	6/12/21

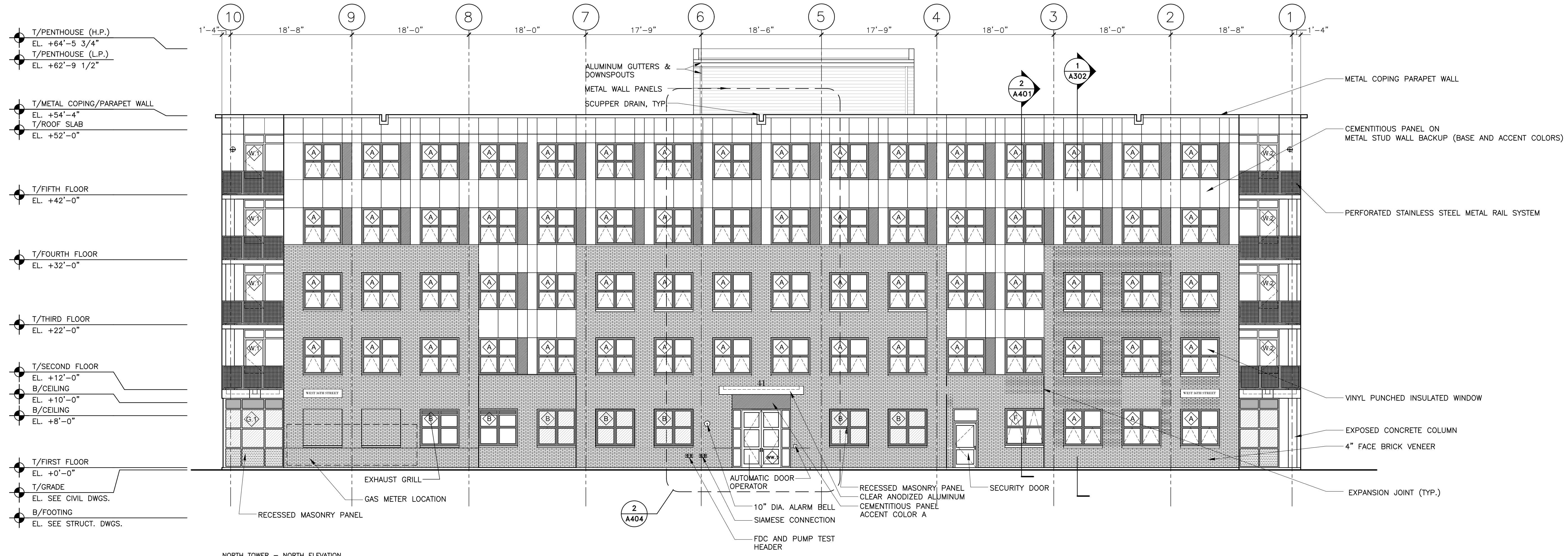
Revisions

Mark	Description	Date

Project Name: Park Boulevard Phase 3B
Project No.: 1720

Title
SITE PLAN
LANDSCAPE PLAN

Sheet
S-SP100



NORTH TOWER - NORTH ELEVATION
1 NORTH MIDRISE - NORTH ELEVATION (WEST 36TH STREET ELEVATION)
 SCALE: 1/8"=1'-0"



2 NORTH MIDRISE - SOUTH ELEVATION - (ALLEY ELEVATION)
 SCALE: 1/8"=1'-0"

SEE NORTH ELEVATION FOR BUILDING NOTES.

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ARCHITECT
 JOHNSON & LEE, LTD
 Architects + Planners
 1 East 8th Street, Suite 200
 Chicago, Illinois 60605
 p. 312.663.0225
 f. 312.663.4491
 www.jlarch.net

Owner
 PARK BOULEVARD PHASE III-E

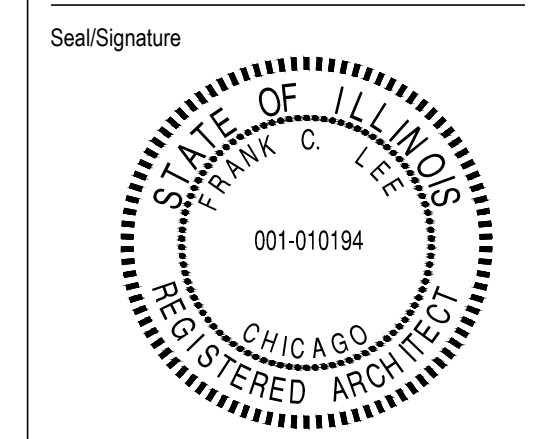
41 W. 36TH STREET
 City, State 60609

Consultants
MILHOUSE ENGINEERING
 CHICAGO, ILLINOIS
 CIVIL ENGINEER

ATRIUM LANDSCAPE
 CHICAGO, ILLINOIS
 LANDSCAPE ARCHITECT

MILHOUSE ENGINEERING
 CHICAGO, ILLINOIS
 STRUCTURAL ENGINEER

dbHMS
 CHICAGO, ILLINOIS
 MEP ENGINEER



Key Plan

Issued For

Issuance

Mark	Description	D
1	PROGRESS SET	09/30/21
2	PROGRESS SET	10/22/21
3	PROGRESS SET	10/29/21
4	PROGRESS SET	11/6/21
5	PERMIT SET	11/6/21
6	DEBUT OF SUBMITTALS	3/1/22
7	REVISIONS	6/12/22

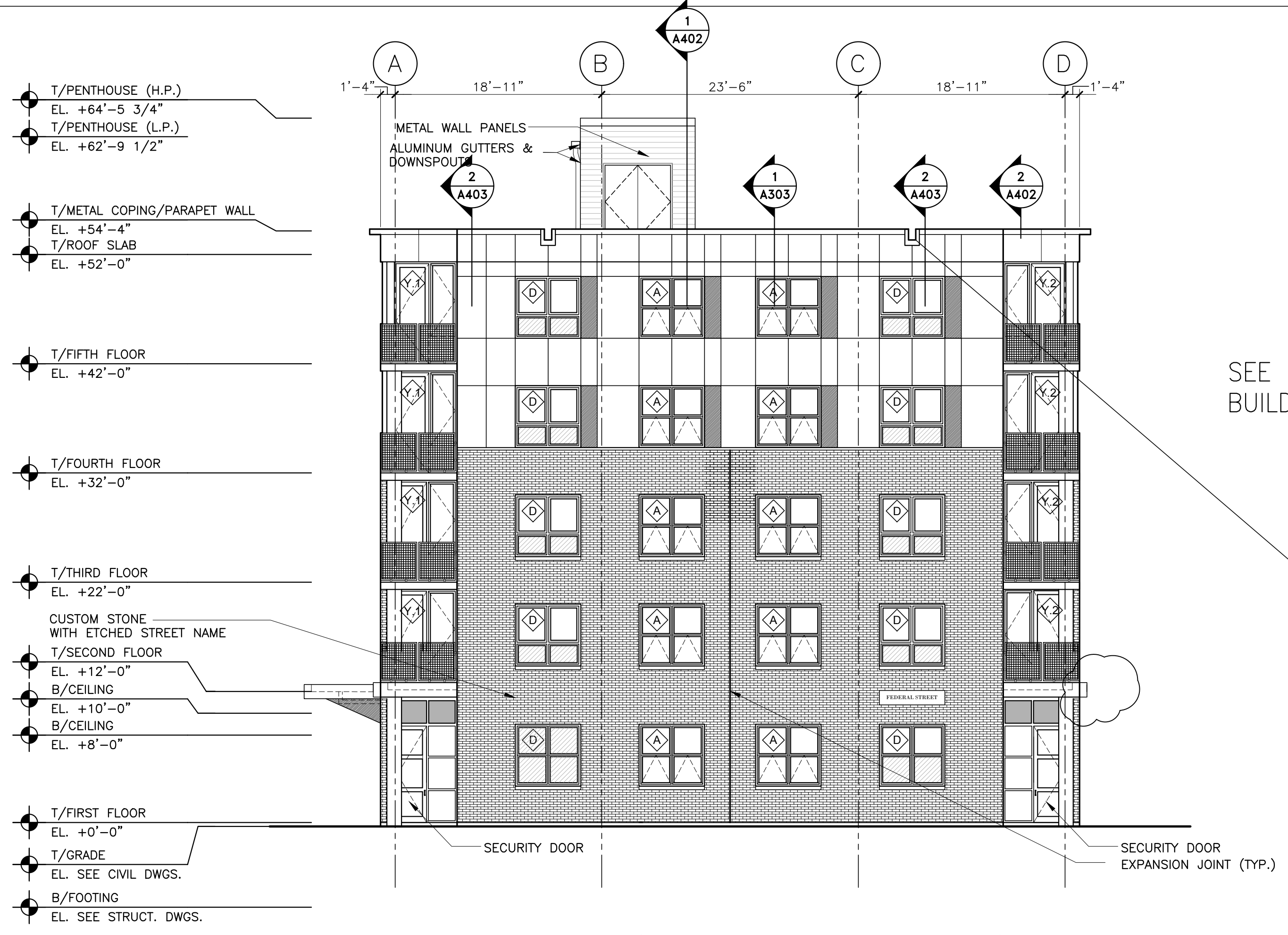
Revisions

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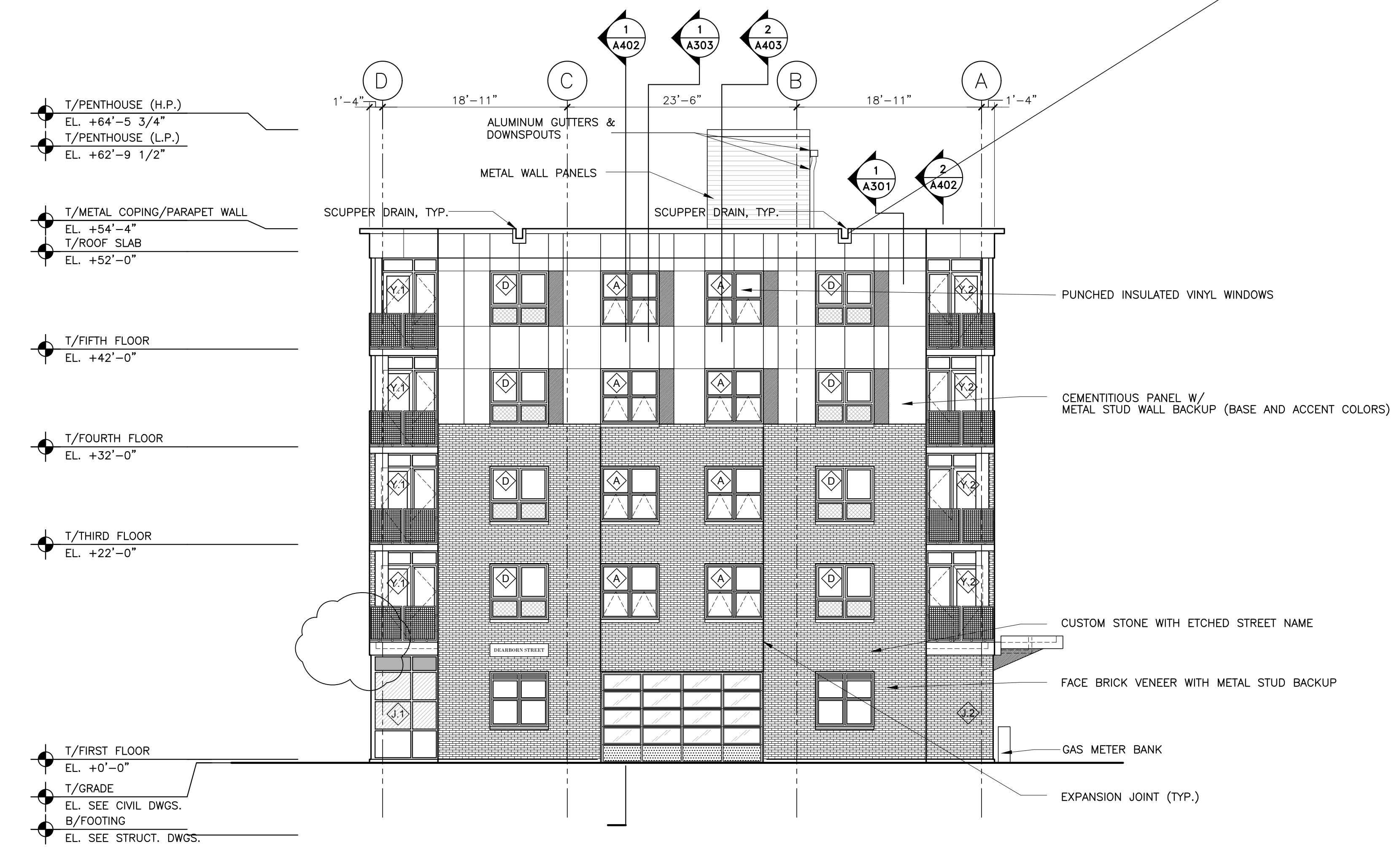
Project Name: Park Boulevard Phase 3B
 Project No.: 1720

Title
NORTH MIDRISE ELEVATIONS

Sheet
N-A201



1 WEST ELEVATION—(FEDERAL STREET ELEVATION)
SCALE: 1/8"=1'-0"



2 EAST ELEVATION—(DEARBORN STREET ELEVATION)
SCALE: 1/8"=1'-0"

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ARCHITECT
JOHNSON & LEE, LTD
Architects • Planners
1 East 8th Street, Suite 200
Chicago, Illinois 60605
p. 312.663.0225
f. 312.663.4491
www.jlarch.net

Owner
PARK BOULEVARD PHASE III-B

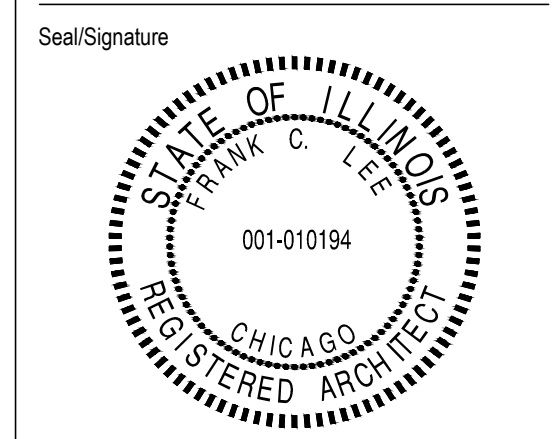
41 W. 36TH STREET
City, State 60609

Consultants
MILHOUSE ENGINEERING
CHICAGO, ILLINOIS
CIVIL ENGINEER

ATRIUM LANDSCAPE
CHICAGO, ILLINOIS
LANDSCAPE ARCHITECT

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MEP ENGINEER



Key Plan

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Issuance

Mark	Description	Date
1	PROGRESS SET	09/30/20
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3	PROGRESS SET	10/29/20
4	PROGRESS SET	11/6/20
5	PERMIT SET	11/6/20
6	DEBUT OF SUBMITTAL	2/10/21
7	REVISIONS	6/12/21

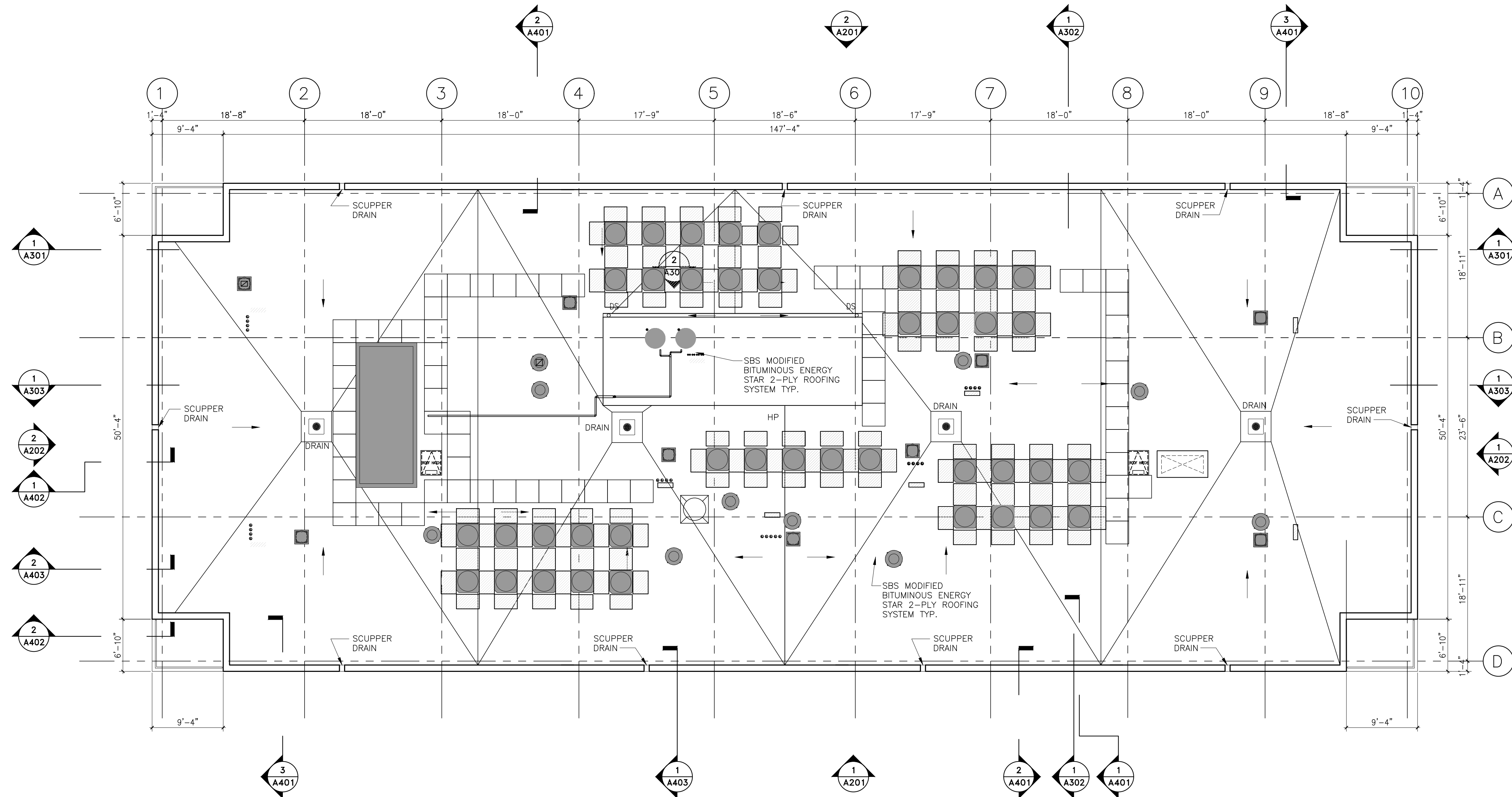
Revisions

Mark	Description	Date

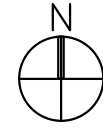
Project Name: Park Boulevard Phase 3B
Project No.: 1720

Title
EAST & WEST ELEVATIONS

Sheet
N-A202



1 ROOF PLAN
SCALE: 1/8"=1'-0"



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ARCHITECT
JOHNSON & LEE, LTD
 Architects - Planners
 1 East 8th Street, Suite 200
 Chicago, Illinois 60605
 p. 312.663.0225
 f. 312.663.4491
 www.jlarch.net

Owner
PARK BOULEVARD PHASE III-B

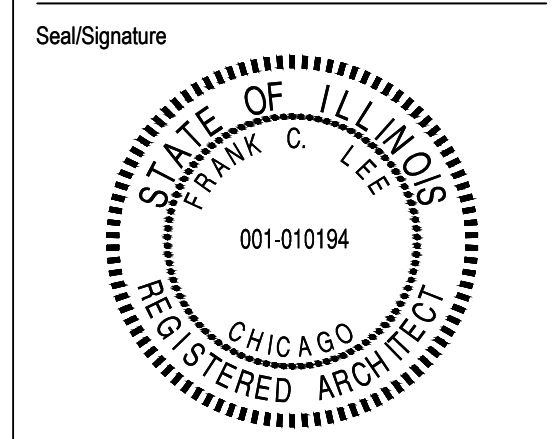
42 W. 36TH STREET
 City, State 60609

Consultants
MILHOUSE ENGINEERING
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 CIVIL ENGINEER

ATRIUM LANDSCAPE
 CHICAGO, ILLINOIS
 LANDSCAPE ARCHITECT

MILHOUSE ENGINEERING
 CHICAGO, ILLINOIS
 STRUCTURAL ENGINEER

dbHMS
 CHICAGO, ILLINOIS
 MEP ENGINEER



Key Plan

Issued For

Issuance

Mark	Description	Date
1	PROGRESS SET	09/30/20
2	PROGRESS SET	10/22/20
3	PROGRESS SET	10/29/20
4	PROGRESS SET	11/6/20
5	PERMIT SET	11/6/20

Revisions

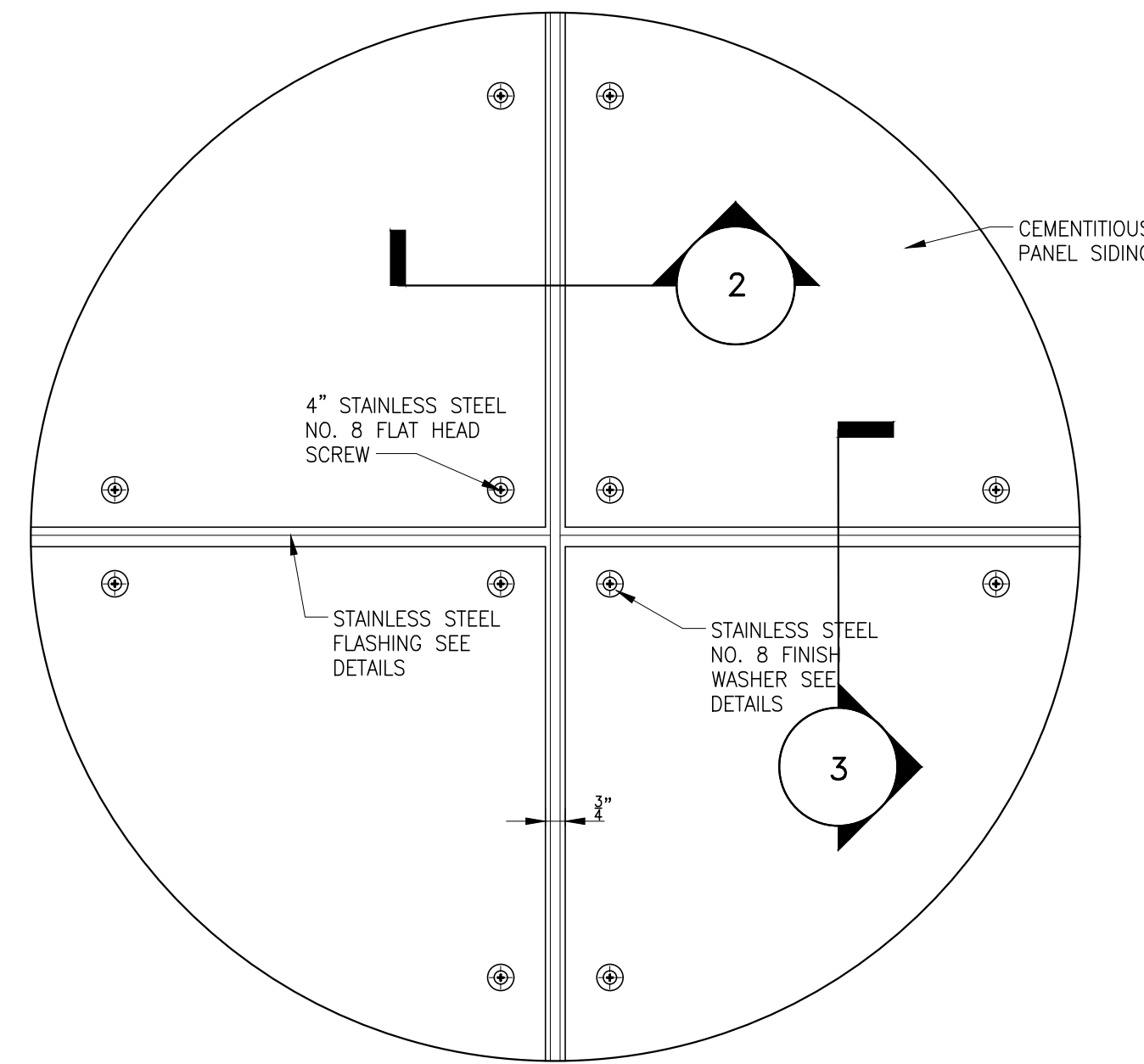
Mark	Description	Date

Project Name: Park Boulevard Phase 3B
 Project No.: 1720

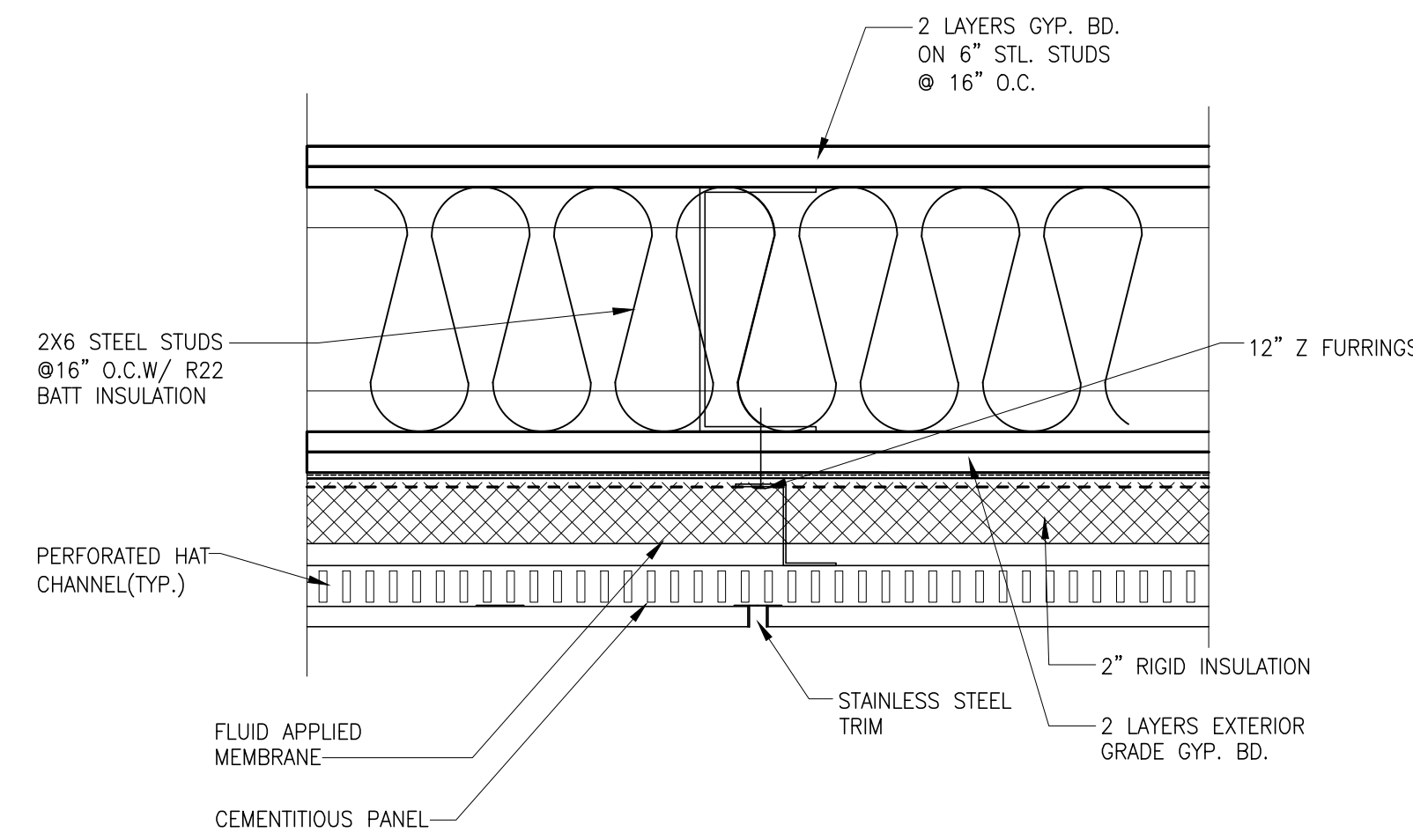
Title
**NORTH MIDRISE
 HIGH ROOF PLAN**

Sheet
A107

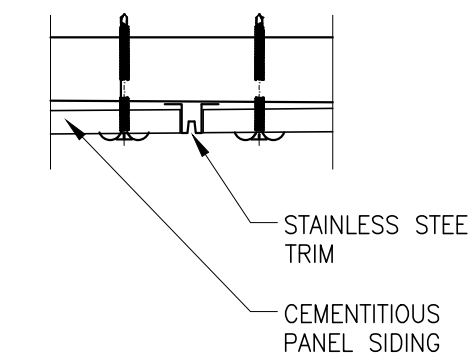
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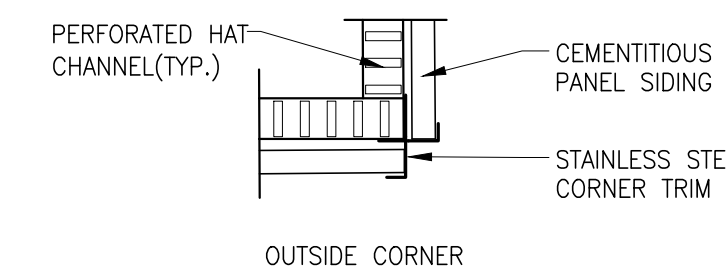
1 CEMENTITIOUS PANEL FASTENER DETAIL
SCALE: 3"=1'-0" WS01



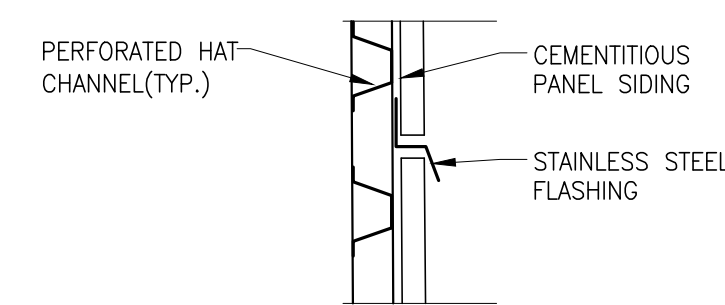
2 VERTICAL PANEL DETAIL
SCALE: 3"=1'-0"



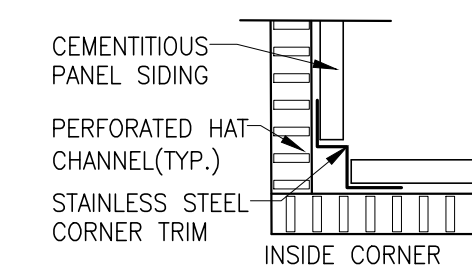
4 VERTICAL PANEL DETAIL
SCALE: 3"=1'-0" WS01



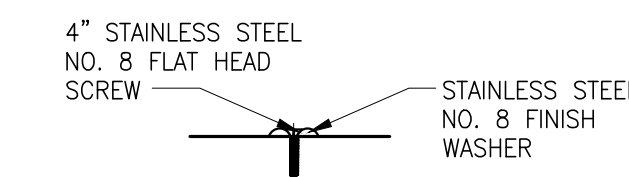
5 CORNER DETAILS
SCALE: 3"=1'-0"



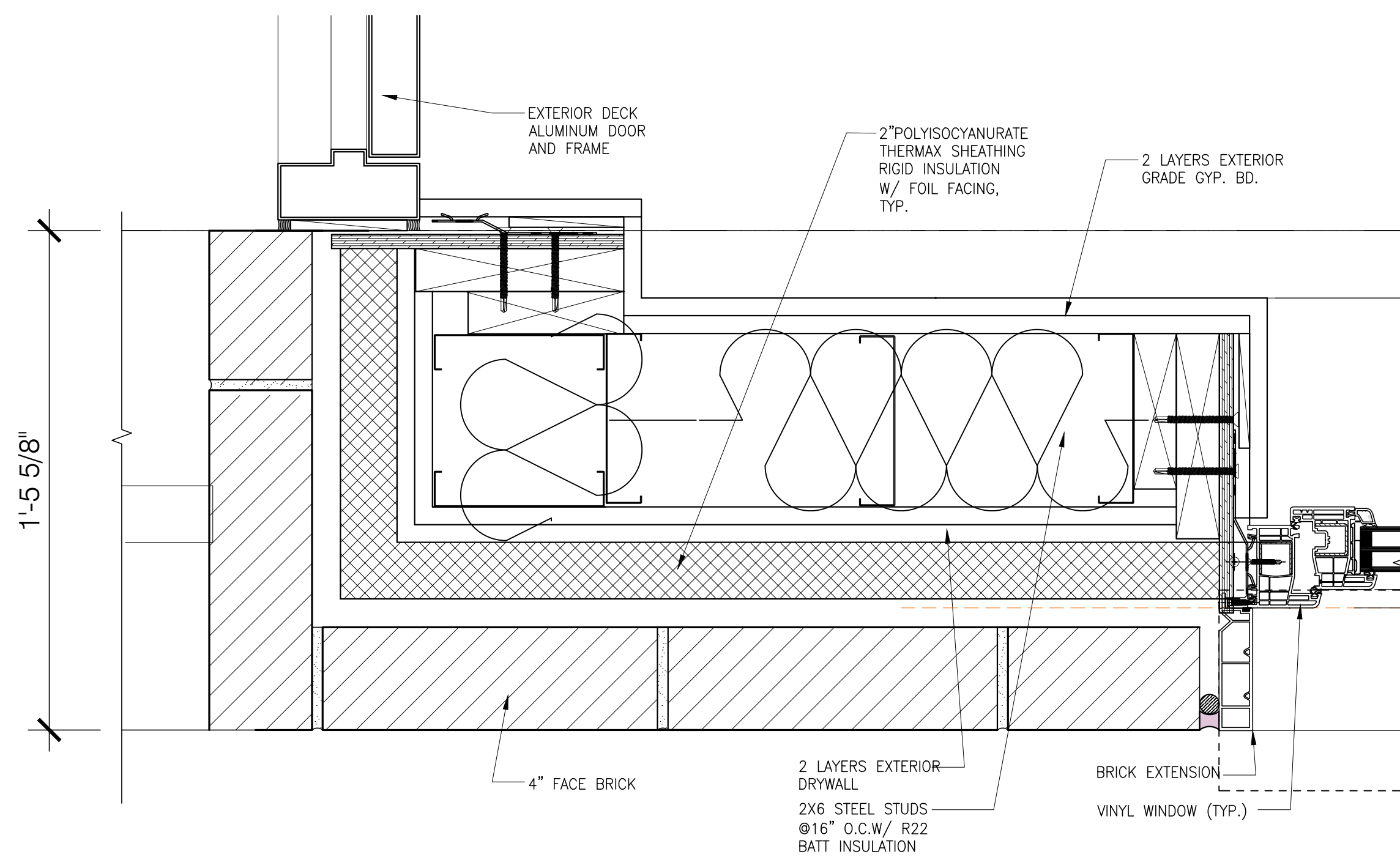
3 HORIZONTAL PANEL DETAIL
SCALE: 3"=1'-0"



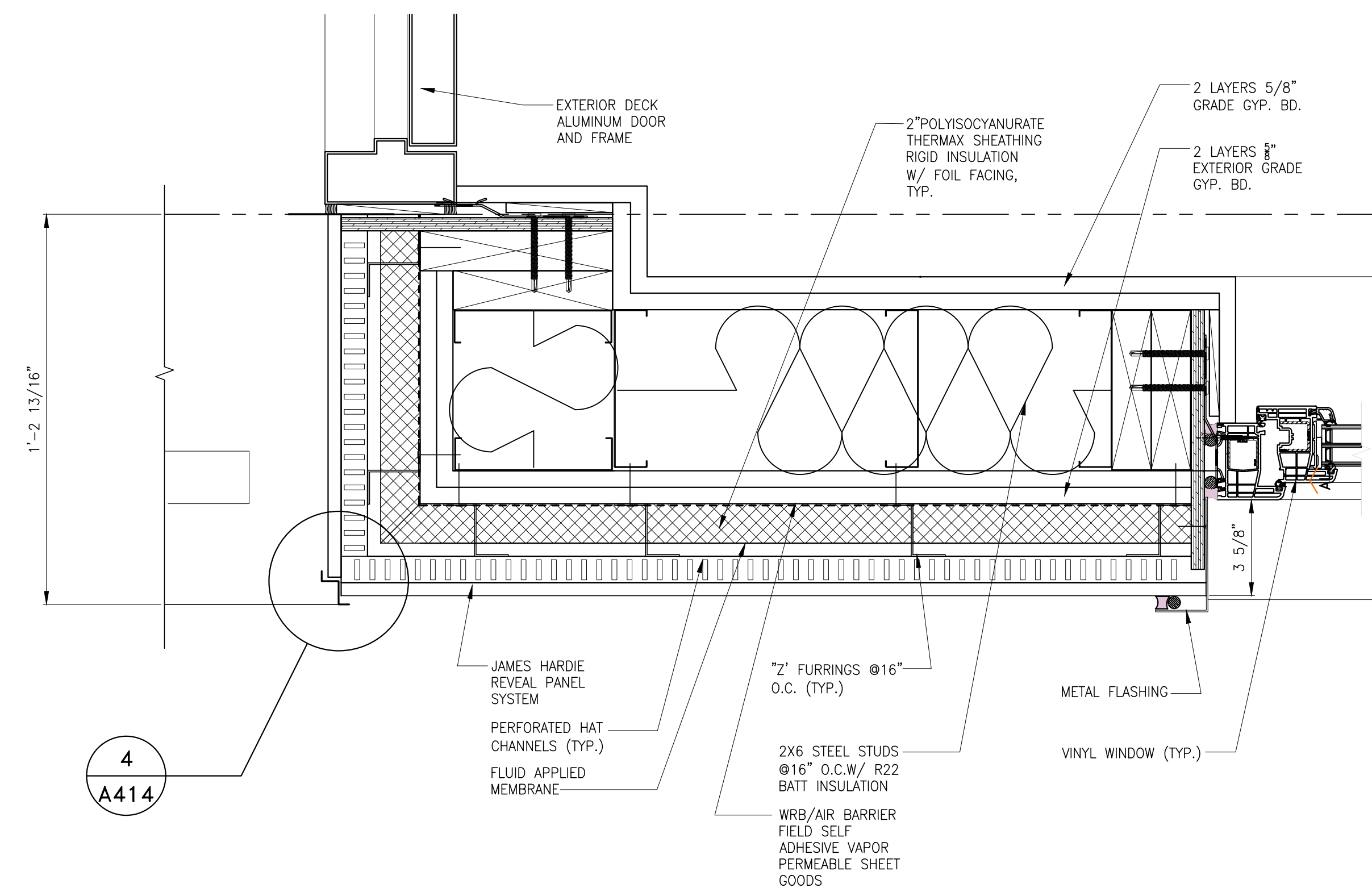
6 CORNER DETAILS (INSIDE)
SCALE: 3"=1'-0"



7 FASTENER DETAIL
SCALE: 3"=1'-0" WS01



8 PLAN DETAIL @ MASONRY CORNER
SCALE: 3"=1'-0"



9 PLAN DETAIL @ CEMENTITIOUS PANEL CORNER
SCALE: 3"=1'-0"

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ARCHITECT
JOHNSON & LEE, LTD
Architects + Planners
1 East 8th Street, Suite 200
Chicago, Illinois 60605
p. 312.663.0225
f. 312.663.4491
www.jlarch.net

Owner
PARK BOULEVARD PHASE III-B

41 W. 36TH STREET
City, State 60609

Consultants
MILHOUSE ENGINEERING
CHICAGO, ILLINOIS
CIVIL ENGINEER

ATRIUM LANDSCAPE
CHICAGO, ILLINOIS
LANDSCAPE ARCHITECT

MILHOUSE ENGINEERING
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STRUCTURAL ENGINEER

dbHMS
CHICAGO, ILLINOIS
MEP ENGINEER

Seal/Signature



Key Plan

Issued For

Issuance

Mark	Description	Date
1	PROGRESS SET	09/30/20
2	PROGRESS SET	10/22/20
3	PROGRESS SET	10/29/20
4	PROGRESS SET	11/6/20
5	PERMIT SET	11/6/20
6	PERMIT CORRECTIONS	2/12/21

Revisions

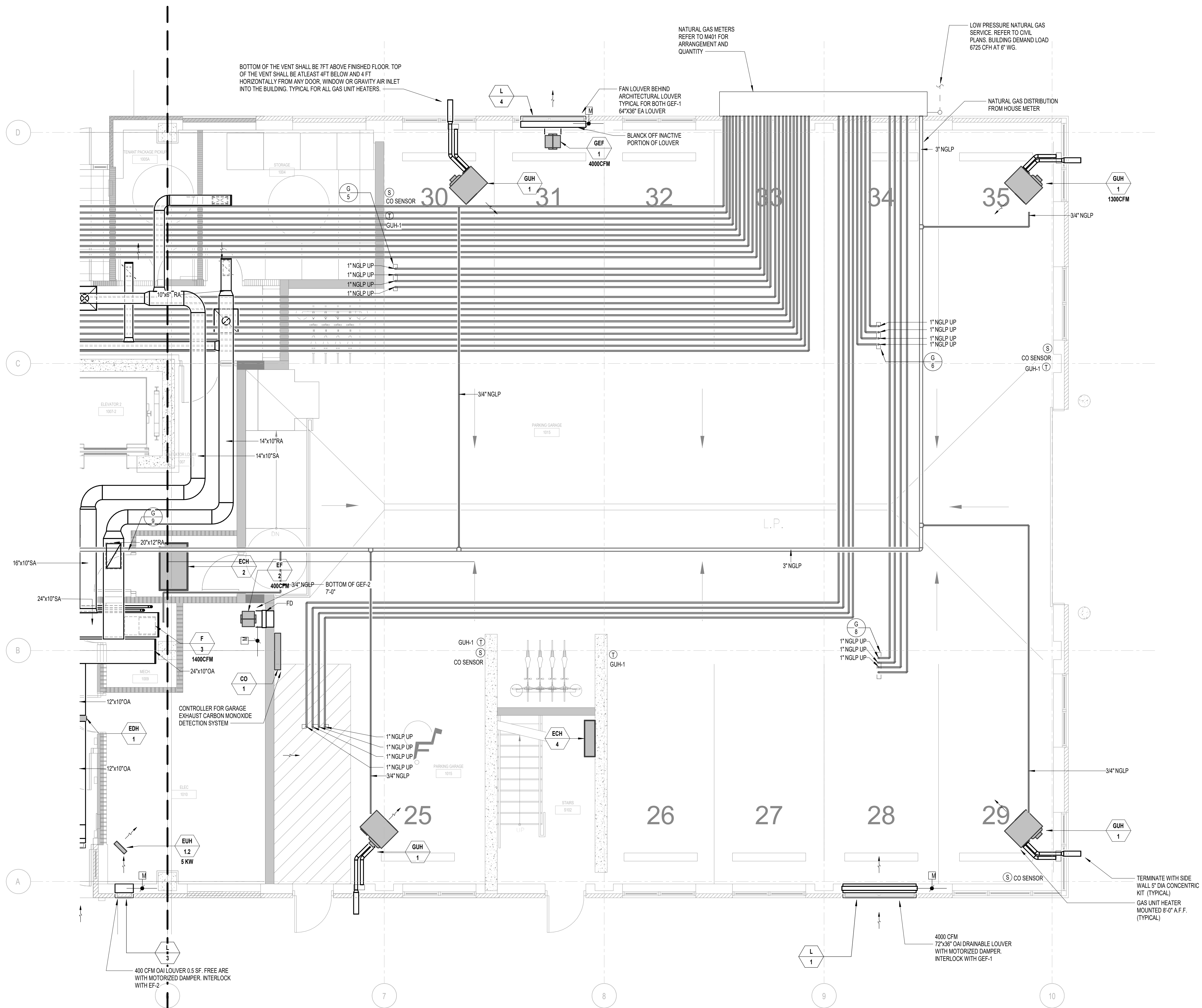
Mark	Description	Date

Project Name: Park Boulevard Phase 3B
Project No.: 1720

Title
**BUILDING G1
SECTION DETAILS**

Sheet

A414



BOTTOM OF THE VENT SHALL BE 7FT ABOVE FINISHED FLOOR. TOP OF THE VENT SHALL BE AT LEAST 4FT BELOW AND 4 FT HORIZONTALLY FROM ANY DOOR, WINDOW OR GRAVITY AIR INLET INTO THE BUILDING. TYPICAL FOR ALL GAS UNIT HEATERS.

NATURAL GAS METERS REFER TO M401 FOR ARRANGEMENT AND QUANTITY

LOW PRESSURE NATURAL GAS SERVICE. REFER TO CIVIL PLANS. BUILDING DEMAND LOAD 6725 CFH AT 6\"/>

NATURAL GAS DISTRIBUTION FROM HOUSE METER

FAN LOUVER BEHIND ARCHITECTURAL LOUVER TYPICAL FOR BOTH GEF-1 64\"/>

BLANK OFF INACTIVE PORTION OF LOUVER

CO SENSOR GUH-1

CO SENSOR GUH-1

CO SENSOR GUH-1

CO SENSOR GUH-1

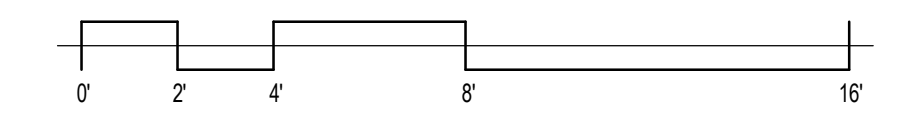
CO SENSOR

TERMINATE WITH SIDE WALL 5\"/>

4000 CFM 72\"/>

400 CFM OA LOUVER 0.5 SF. FREE ARE WITH MOTORIZED DAMPER. INTERLOCK WITH EF-2

1 PARTIAL-FIRST FLOOR - MECH_DUCT PLAN-AREA B
1/4\"/>



KEY PLAN



DOB APPROVAL STAMP

ARCHITECT
JOHNSON & LEE, LTD
Architects - Planners
1 East 8th Street, Suite 200
Chicago, Illinois 60605
p. 312.663.0225
f. 312.663.4491
www.jlarch.net

Owner
PARK BOULEVARD PHASE III-B

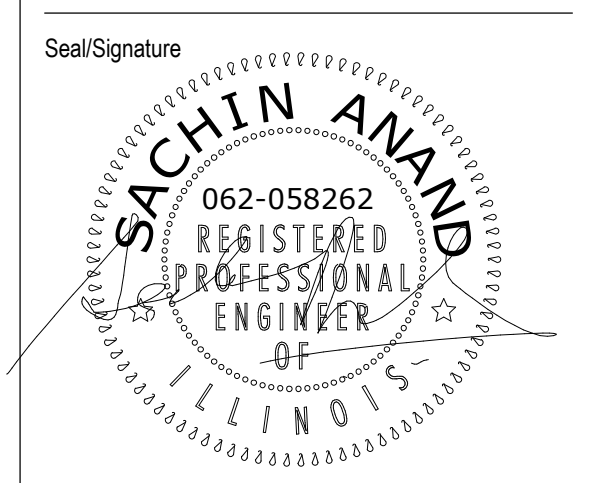
41 W. 36TH STREET
CHICAGO, IL 60609

Consultants
MILHOUSE ENGINEERING
CHICAGO, ILLINOIS
CIVIL ENGINEER

TERRA ENGINEERING, LTD.
CHICAGO, ILLINOIS
LANDSCAPE ARCHITECT

MILHOUSE ENGINEERING
CHICAGO, ILLINOIS
STRUCTURAL ENGINEER

dbHMS
CHICAGO, ILLINOIS
MEP ENGINEER



Key Plan

Issued For
IHDA REVIEW

Issuance

Mark	Description	Date
1	Issue for DD	09/25/20
2	Issue for Permit	11/06/20
3	OUC-Utility Submittal	11/09/20

Revisions

Mark	Description	Date

Project Name:
Project No.:

Title
NORTH FIRST FLOOR -
MECHANICAL DUCT PLAN

Sheet

M112

June 21, 2021

Steven D. Friedland
Applegate & Thorne-Thomsen
425 S. Financial Pl., Suite 1900
Chicago, IL 60605

**Re: Minor Change to PD No. 897, Subarea I
Buildings F1-1 and F1-2, (SW W. 36th Street & S. Dearborn Street)**

Dear Mr. Friedland:

Please be advised that your request for a minor change to Residential Business Planned Development No. 897 ("PD 897") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 897.

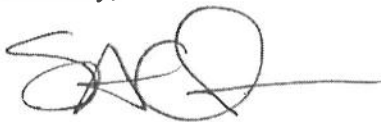
Stateway Associates is seeking a minor change to allow for the elimination of the approved 2-unit building (F1-1) and to reduce the parking for the proposed 40-unit building (F1-2) from 40 spaces to 34 spaces. The property owner, the Chicago Housing Authority, has consented to this request. The area to the west of building F1-2 was to be improved with building F1-1 but will now be open space. The parking along the south side of the building will be accessed by a driveway from Dearborn Street. When the remainder of the block is developed, in a later phase, the driveway will be improved and dedicated as a public alley. The unit mix in building F1-2 will be comprised of 18 public housing units, 16 affordable rental units and 6 market rate units. The following exhibits are attached:

- Site Plan and Landscape Plan
- North & South Elevations
- East and West Elevations

Pursuant to Section 17-10-0102-B of the Zoning Ordinance, building F1-2 is a transit-served location and the minimum off-street automobile parking for residential uses may be reduced by up to 50% from the otherwise applicable standards for new construction. The proposed parking reduction from 40 to 34 spaces is a 15% reduction. Regarding your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 897, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

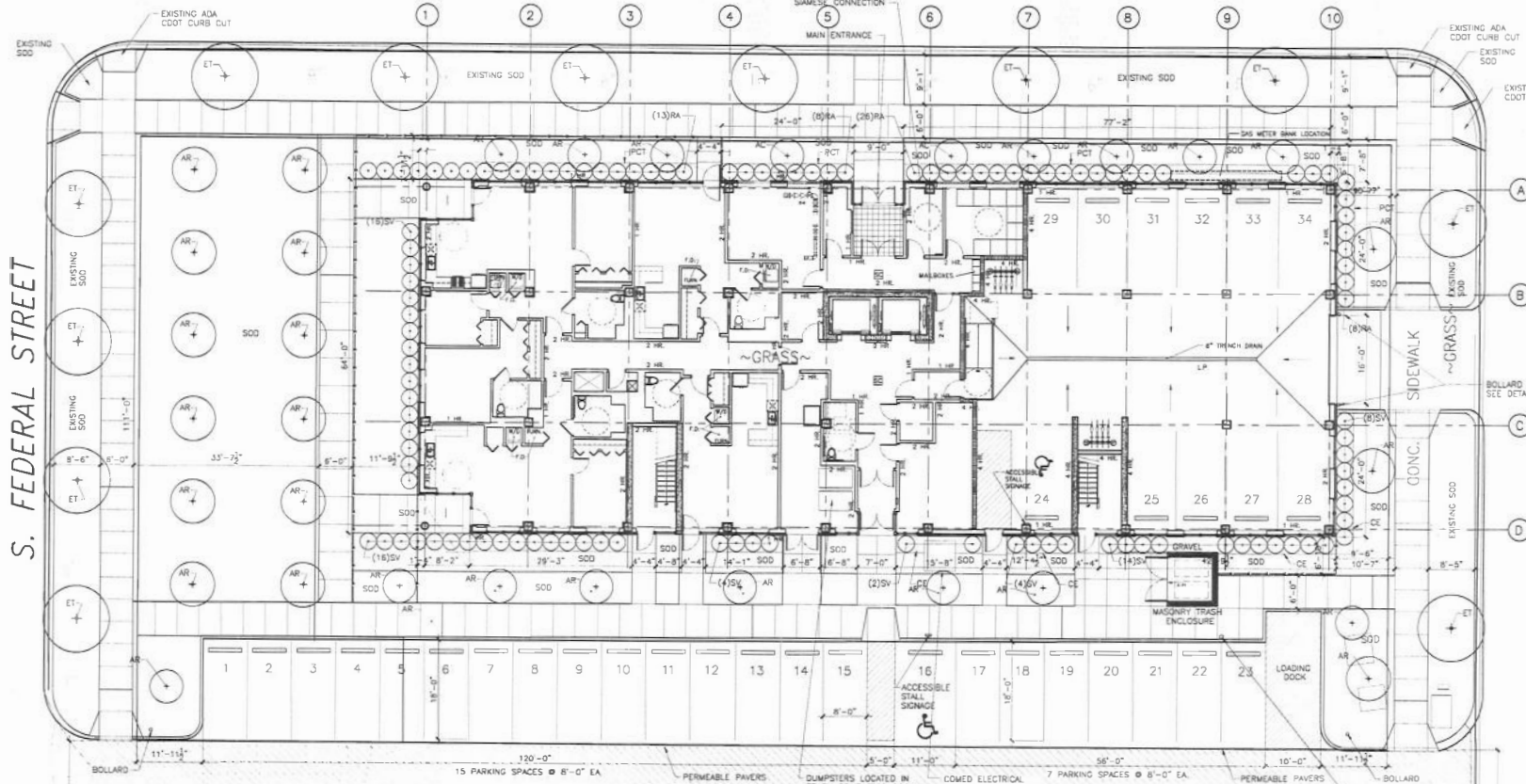


Steven Valenziano
Assistant Zoning Administrator

W. 36TH STREET

S. FEDERAL STREET

S. DEARBORN STREET



- PLANTING LIST**
- AC - SERVICEBERRY
 - AR - ARMSTRONG RED MAPLE
 - CE - EVERGOLD SEDGE
 - ET - EXISTING TREE
 - PCT - PACHYSANDRA
 - RA - ALPINE CURRANT
 - SV - LITTLE BOY BLUE LILAC
 - TA - AMERICAN LINDEN

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ARCHITECT
JOHNSON & LEE, LTD
 Architects + Planners
 1 East 6th Street, Suite 500
 Chicago, Illinois 60605
 P: 312.963.2275
 F: 312.963.2491
 www.jlarch.com

Project: PARK BOULEVARD PHASE III-B
 City: State 60609

MILHOUSE ENGINEERING
 CHICAGO, ILLINOIS
 CIVIL ENGINEER

ATRIUM LANDSCAPE
 CHICAGO, ILLINOIS
 LANDSCAPE ARCHITECT

MILHOUSE ENGINEERING
 CHICAGO, ILLINOIS
 STRUCTURAL ENGINEER

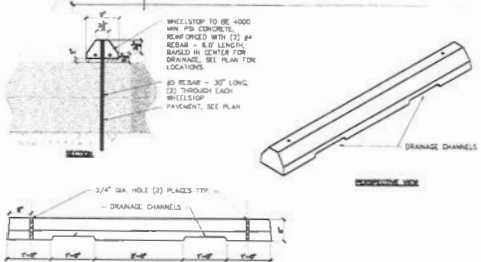
dbHMS
 CHICAGO, ILLINOIS
 MEP ENGINEER



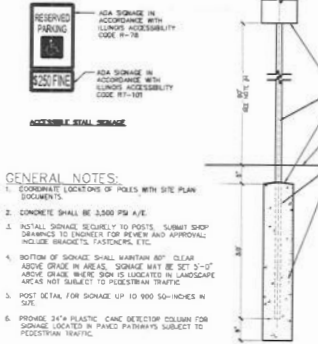
1 SITE PLAN - NORTH
 SCALE: 1"=10'-0"

PARKING ANALYSIS CHART - 41 W 36TH STREET

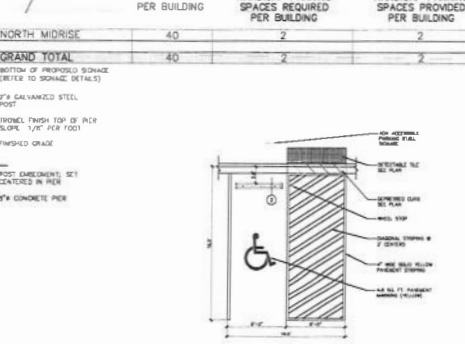
BUILDING	TOTAL NUMBER OF UNITS PER BUILDING	TOTAL NUMBER OF HANDICAP PARKING SPACES REQUIRED PER BUILDING	TOTAL NUMBER OF HANDICAP PARKING SPACES PROVIDED PER BUILDING	TOTAL NUMBER OF REGULAR PARKING SPACES PROVIDED PER BUILDING	TOTAL NUMBER OF HANDICAP PLUS REGULAR PARKING SPACES PROVIDED PER BUILDING
NORTH MIDRISE	40	2	2	32	34
GRAND TOTAL	40	2	2	32	34



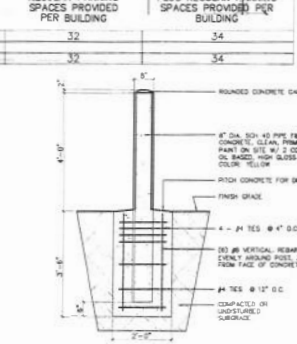
2 WHEEL STOP DETAIL
 SCALE: 3/4"=1'-0"



3 HANDICAP PARKING SIGN DETAIL
 SCALE: 3/4"=1'-0"



4 HANDICAP PARKING SPACE DETAIL
 SCALE: 1/8"=1'-0"



5 BOLLARD DETAIL
 SCALE: 1/2"=1'-0"

- GENERAL NOTES:**
- COORDINATE LOCATIONS OF POLES WITH SITE PLAN LOCATIONS.
 - CONCRETE SHALL BE 3000 PSI A/E.
 - INSTALL SIGNAGE SEQUENTIALLY TO POSTS. SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL. INCLUDE BRACKETS, FASTENERS, ETC.
 - NORTH OF SIGNAGE SHALL MAINTAIN 80" CLEAR ABOVE GRADE IN AREAS. SIGNAGE MAY BE SET 3'-0" ABOVE GRADE WHERE SIGN IS LOCATED IN LANDSCAPE AREAS NOT SUBJECT TO PEDESTRIAN TRAFFIC.
 - POST DETAIL FOR SIGNAGE UP TO 1000 SO-INCHES IN SIZE.
 - PROVIDE 3/4" PLASTIC CONC. DEFLECTOR COLUMN FOR SIGNAGE, LOCATED IN PAVED PARKING SPACES SUBJECT TO PEDESTRIAN TRAFFIC.

Revision Log

Revision	Mark	Description	Date
1		PROGRESS SET	04/30/21
2		PROGRESS SET	10/22/21
3		PROGRESS SET	10/29/21
4		PROGRESS SET	11/6/21
5		PERMIT SET	11/6/21

Project Name: Park Boulevard Phase 3B
 Project No.: 1722

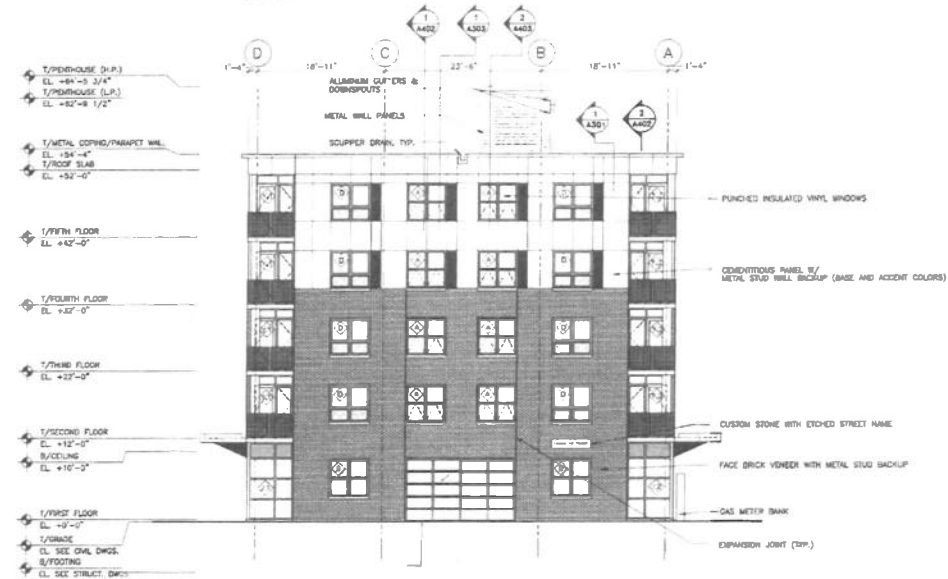
File: **SITE PLAN AND LANDSCAPE PLAN**

Sheet: **N-SP100**



SEE NORTH ELEVATION, SHEET A201, FOR BUILDING NOTES.

1 WEST ELEVATION—(FEDERAL STREET ELEVATION)
SCALE: 1/8"=1'-0"



2 EAST ELEVATION—(DEARBORN STREET ELEVATION)
SCALE: 1/8"=1'-0"

DOB APPROVAL STAMP

ARCHITECT
JOHNSON & LEE, LTD

Architects + Planners
700 West Madison Street, Suite 200
Chicago, Illinois 60606
P: 312.662.2225
E: JLL@JLLEE.COM
www.jll.com

Date:
PARK BOULEVARD PHASE R-B

41 W. 38TH STREET
City, State 60608

Consultants
MILHOUSE ENGINEERING
CHICAGO, IL/PHD
CIVIL ENGINEER

ATRUM LANDSCAPE
CHICAGO, IL/PHD
LANDSCAPE ARCHITECT

MILHOUSE ENGINEERING
CHICAGO, IL/PHD
STRUCTURAL ENGINEER

dhHMS
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MEP ENGINEER

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Use For:

Issued For:

Item	Description	Date
1	PROPOSAL SET	08/20/20
2	PROPOSAL SET	10/20/20
3	PROPOSAL SET	10/20/20
4	PROPOSAL SET	11/20/20
5	PERMIT SET	11/20/20
6	QC/UTILITY SUBMITTAL	11/20/20

Revision	Description	Date

Project Name: Park Boulevard Phase R-B
Project No.: 1720

File:
EAST & WEST
ELEVATIONS

Sheet:
N-A202

At this time, I move for passage of the ordinance and substitute ordinance transmitted herewith.

Respectfully submitted,

(Signed) DANIEL S. SOLIS,
Chairman.

On motion of Alderman Solis, the said proposed ordinance and substitute ordinance transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Moreno, Fioretti, Dowell, Hairston, Lyle, Jackson, Harris, Beale, Pope, Balcer, Cárdenas, Olivo, Foulkes, Thompson, Thomas, Lane, Rugai, Cochran, Brookins, Muñoz, Zaiewski, Dixon, Solis, Maldonado, Burnett, Graham, Reboyras, Suarez, Waguespack, Mell, Austin, Colón, Rice, Mitts, Luhnno, O'Connor, Doherty, Reilly, Daley, Tunney, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 46.

Nays -- None.

Alderman Pope moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map No. 8-F.
(As Amended)
(Application No. 17136)
(Common Address: 1 -- 105 W. 35th St., 3500 -- 3758 S. State St.
And 34 -- 100 W. Pershing Rd.)

R.BPD 897,99

[SO2010-5913]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the Residential Business Planned Development Number 897 symbols and indications as shown on Map Number 8-F in the area bounded by:

West 35th Street; South State Street; West 38th Street; the alley next west of and parallel to South Dearborn Street; a line 497.26 feet north of and parallel to West 39th Street; South Dearborn Street; West Pershing Road; and the east line of the Chicago Rock Island and Pacific Railroad,

to those of Residential Business Planned Development Number 897, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the attached Plan of Development that is made a part of this ordinance.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to in this ordinance read as follows:

Residential-Business Planned Development No. 897

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development (the "Planned Development") consist of approximately 1,087,810 square feet (24.97 acres) of net site area⁽¹⁾ (1,588,534 square feet/36.47 acres of gross site area) (the "Property") and is owned or controlled by the Stateway Associates, LLC, an Illinois limited liability company ("Applicant"); the Chicago Housing Authority and The Habitat Company as receiver for the Chicago Housing Authohty; and the City of Chicago.
2. All applicable official review, approvals, or permits are required to be obtained by the Applicant or its successors, assignees or grantees. The intended dedication and vacation of streets and alleys within the Property are identified on the Public Rights-of-Way Adjustment Plan. Any dedication or vacation of streets or alleys, or easements, or adjustments of hght-of-way, or consolidation, subdivision or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees, completion of all applicable official reviews, approval by the City Council and the issuance of any required permits. In order to facilitate the development hereby approved, the City of Chicago agrees to undertake and complete construction of all improvements within the rights-of-way within the Property, curb to curb. The Applicant agrees to install parkway trees, sod and

(1) The foregoing net site area numbers are exclusive of any areas within the Property that are not currently dedicated right-of-way, but are intended to become dedicated right-of-way in conjunction with this Planned Development.

sidewalks in accordance with the City's Landscape Ordinance. The Applicant at its option may agree to install trees, sod and sidewalks in accordance with the Street Sections and Setback Plan attached hereto. The City of Chicago also agrees to undertake and complete installation of standard street lights adjacent to all hghts-of-way within the Property; provided however that the Applicant, at its option, may elect to cause the installation of specialized City street lights within one or more hghts-of-way within the Property, and in such event, the City shall provide Applicant with the funds equivalent to the City's cost of installing standard lights along such designated hght-of-way.

3. The requirements, obligations and conditions contained in this Planned Development shall be binding upon the Applicant, its successors and assigns, and, if different than the Applicant, the owners or ground lessors of the Property or a portion thereof. All hghts granted hereunder shall inure to the benefit of the foregoing parties. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property shall be under single ownership or under single designated control at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to the Planned Development are made. "Single designated control" for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authozhed by Stateway, its successors, assigns or designees. Nothing herein shall prohibit or in any way resthct the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligation therein.
4. This plan of development consists of these fifteen (15) statements. The documents previously prepared and submitted by Skidmore, Owings and Merhll LLP dated October 16, 2003 (collectively, the "Plans", including but not limited to: Bulk Regulations and Data Table; an Existing Zoning Map; a Generalized Land-Use Plan; a Subarea I -- Generalized Land-Use Plan; an Open Space Plan; a Planned Development Boundary and Property Line Map; a Subarea Map; a Subarea I Planned Development Boundary and Proposed Blocks Plan; a Public Roadway Plan; a Right-of-Way Adjustment Plan; a Subarea I -- Public Rights-of-Way Adjustment Plan; a Subarea I Site Plan; a Subarea I Dimensioned Development Blocks Plan; a Subarea I -- Public Streets, Alley and Rights-of-Way Dimensions Map; a Subarea I Dimensioned Site Plan; a Subarea I Street Elevations; a Subarea I A1 Building Elevations; a Subarea I A2 and B6 Buildings Elevations; a Subarea I A3 and B5 Building Elevations; a Subarea I B1 Building Elevations; a Subarea I B2 Building Elevations; a Subarea I B3 Building Elevations; a Subarea I B4 Building Elevations; Subarea I C5, C12, D1 and D8 Buildings Elevations; a Subarea I C2 and C3 Buildings Elevations; a Subarea I E1-1 and E1-2 Building Elevations; a Subarea I C6-C11 and D2-D7 Building Elevations; a Subarea I D9, D10, D11 and G1-2 Building Elevations; a Subarea I E1-3 and F1-1 Buildings Elevations; a Subarea I G1-1 and F1-1 Buildings Elevations) and approved in Residential Business Planned Development Number 897 dated October 16, 2003 are incorporated into this plan of development. Full-size sets

of these plans are on file with the Department of Zoning and Land Use Planning. This Planned Development is applicable to the area delineated hereto and these and no other controls shall apply. This plan of development is in conformity with the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of the City of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The following uses shall be permitted within the area delineated herein as "Residential-Business Planned Development": single-family and multi-family residences; open space; passive and active recreational uses; educational institutions; daycare centers; community centers, social services; transit stations; offices, including but not limited to medical and dental offices; retail; restaurants; off-street accessory parking; accessory uses; and other permitted uses allowed in the B4-4 Restricted Service District. Dwelling units and residential uses below the second floor are expressly permitted. Retail Uses are permitted only within the areas identified on the Generalized Land-Use Plan.
6. Project and business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs, shall be permitted, subject to the review and approval of the Department of Planning and Development.
7. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. All work proposed in the Public Way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standard for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. A portion of the parking required to service Subarea I may be located in Subarea V in the area designated as parking easement area.
8. Height restrictions of any building or any appurtenance thereto, in addition to the Bulk Regulations and Data Table, shall be subject to height limitation as approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance in effect as of the date hereof shall apply; provided that, in addition to the other exclusions from floor area permitted for purposes of determining FAR under the Chicago Zoning Ordinance, (a) floor area devoted to mechanical equipment that exceeds 5,000 square feet in any single location within the building and all rooftop mechanical equipment shall be excluded, and (b) all parking provided anywhere on the Property shall be deemed accessory parking and shall be excluded from the calculation of floor area.

10. The improvements on the Property shall be designed, installed and maintained in substantial conformance with the Plans, and in accordance with parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. If provided, fencing shall be designed, installed and maintained in accordance with the applicable landscaping provisions of the Chicago Zoning Ordinance and shall be subject to the approval of the Department of Planning and Development. Provided that the Applicant has received public financing or other funding acceptable to Applicant in amounts sufficient to pay for the costs thereof, the Applicant agrees to construct, improve, and maintain as public parks the Open Spaces identified on the Subarea 1 -- Generalized Land-Use Plan at the time of the issuance of the Certificate of Occupancy for the two hundredth (200th) dwelling unit within Subarea 1. Subarea IV shall be a public park, and the Applicant shall have no obligation to design, improve, landscape or maintain same. Provided the Applicant improves the Public Open Space identified on the Open Space Plan, then the square footage of the improved Open Space areas shall be applied towards the open space and the open space fee requirements for the development. The Applicant agrees to reserve a five thousand (5,000) square foot parcel within Subarea V of the Planned Development for a period of five (5) years after adoption of this Planned Development in order to permit Centers for New Horizons, Inc. to establish and construct a daycare center. In the event that Centers for New Horizons, Inc. does not establish a daycare center at the reserved site within said five (5) year period, then Applicant shall be relieved from any responsibility to include a daycare center within this Planned Development.
11. Prior to the Department of Planning and Development issuing a determination pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance (a "Part II Approval") for development of any portion of the Property, a site plan for the proposed development of such portion shall be submitted to the Department of Planning and Development for Site Plan Approval. Site Plan Approval is intended to assure that the specific development proposals substantially conform with this Planned Development and to assist the City in monitoring ongoing development. A Site Plan may be submitted for all or part of the Property. Such Site Plan need only include the area within the Property for which approval is being sought by the Applicant. No Part II Approval for such area shall be granted until an applicable Site Plan has been approved.

If a Site Plan substantially conforms with the provisions of this Planned Development, the Department of Planning and Development shall approve said Site Plan. Following approval of a Site Plan by the Department of Planning and Development, the Site Plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this Planned Development.

After approval of a Site Plan Approval or Part II Approval by the Department of Planning and Development concerning the Property or a portion thereof, the same may be changed or modified pursuant to the provisions of Statement Number 12 of this Planned Development. In the event of any inconsistency between an approved

Site Plan and the terms of this Planned Development (including any amendments hereto that may be in effect at the time of such approval), the terms of this Planned Development (as the same may be so amended) shall govern.

A Site Plan shall, at a minimum, provide the following information with respect to the proposed improvements within the boundaries of the area to be developed:

- (a) building elevations;
- (b) footprint of the improvements;
- (c) preliminary landscaping plan;
- (d) pedestrian circulation;
- (e) preliminary cross-sections of the improvements; and
- (f) statistical information applicable to the area, including floor area and floor area ratio, numbers of dwelling units, uses to be established, building heights and setbacks.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this Planned Development.

The attached plans constitute the Site Plan for Phase One of the Property and are hereby approved; provided however, that Applicant still must submit and the Department of Planning and Development still must approve, prior to Part II Approval, architectural elevations for Phase One.

12. The terms, conditions and exhibits of this Planned Development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Notwithstanding the provision of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes also may include a reduction in the minimum required distance between structures, a reduction in periphery setbacks, and an increase of the maximum percent of land covered. In addition, minor changes may include reallocations of dwelling units or floor area between the designated Subareas.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner that promotes, enables, and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of MOPD has approved detailed construction drawings for each building or improvement.
15. Unless substantial construction of 20 percent of the maximum number of dwelling units permitted hereunder has commenced within six (6) years following adoption of this Planned Development, and unless completion thereof is thereafter diligently pursued, this Planned Development shall and the zoning shall automatically revert to the pre-existing R5 General Residence District. The six (6) year period may be extended for up to one (1) additional year if, prior to expiration, the Commissioner of the Department of Zoning and Land Use Planning determines that good cause for an extension is shown.

[Bulk Regulations and Data Table; Existing Zoning Map; Generalized Land-Use Plan; Subarea I -- Generalized Land-Use Plan; Open Space Plan; Planned Development Boundary and Property Line Map; Subarea Map; Subarea I -- Planned Development Boundary and Proposed Blocks; Public Roadway Plan; Right-of-Way Adjustment Plan; Subarea I -- Public Rights-of-Way Adjustment Plan; Subarea I -- Site Plan; Subarea I -- Dimensioned Development Blocks; Subarea I -- Public Streets, Alley and Rights-of-Way Dimensions Map; Subarea I -- Dimensioned Site Plan; Unit and Parking Distribution; Elevations Key Map; Subarea I -- Street Elevations; Subarea I -- Building Elevations; Street Sections -- Key Map; and Conceptual Landscape Plans referred to in these Plan of Development Statements printed on pages 109807 through 109858 of this *Journal*.]

12/8/2010

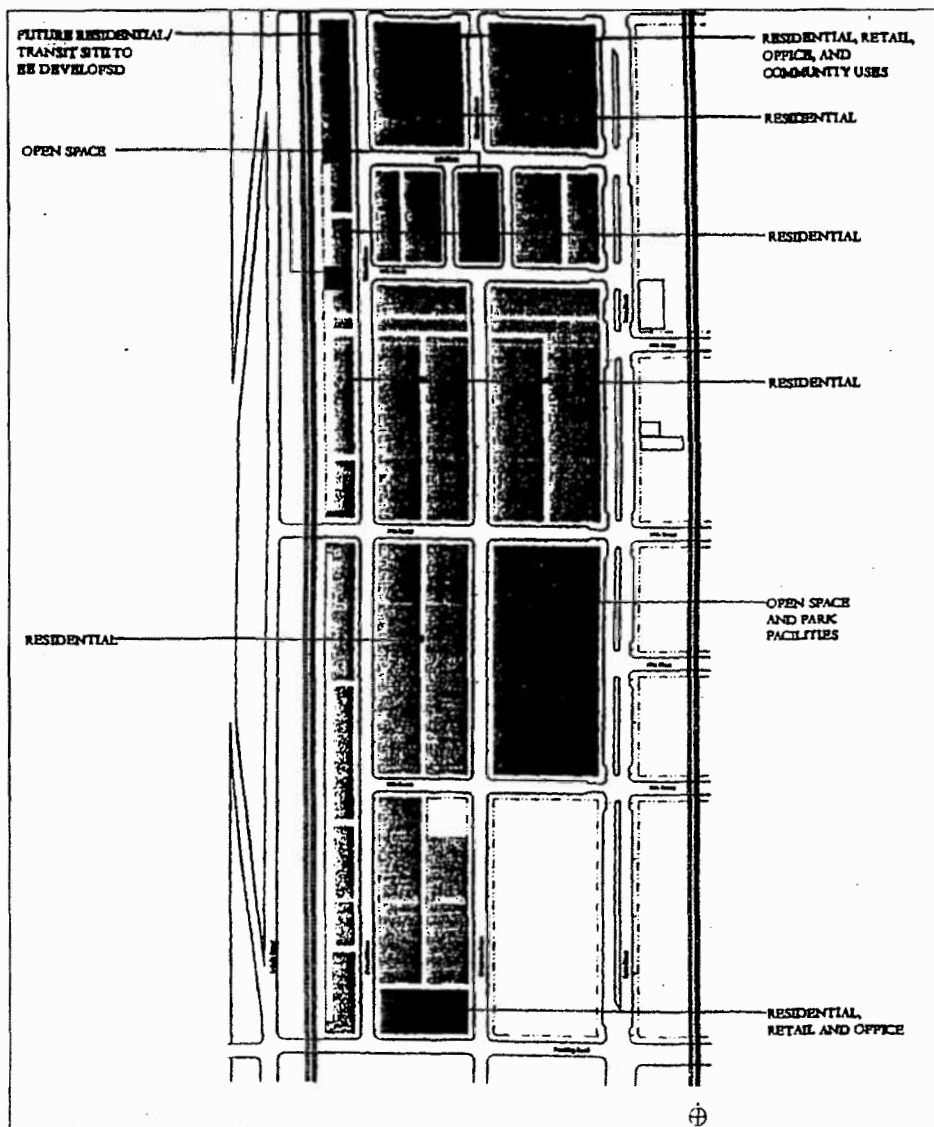
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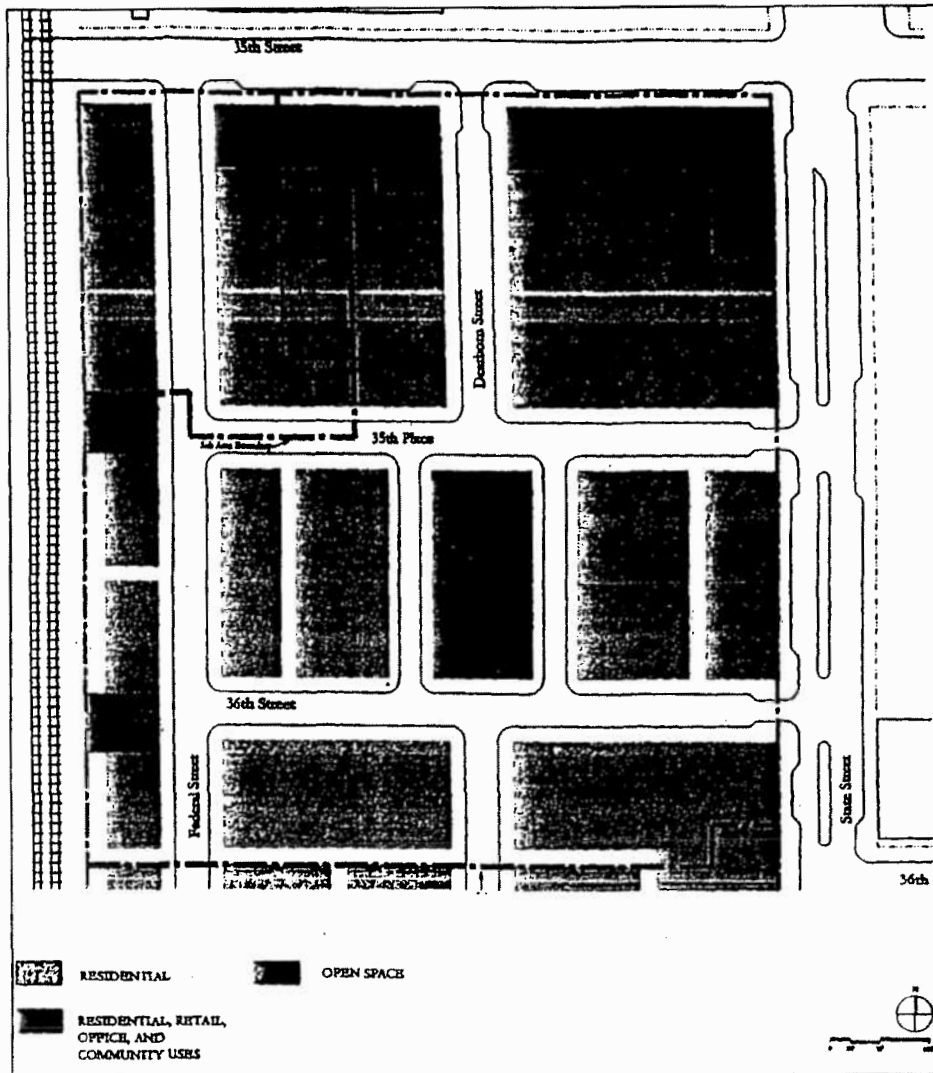
Bulk Regulations And Data Table.

Sub-Area	Gross Site Area		Rights of Way Includes RDW To be Vacated		Net Site Area		Maximum F.A.R.	Maximum Dwelling Units
	Acres	Sq. Ft	Acres	Sq. Ft	Acres	Sq. Ft	(Net Site)	Total
SubArea I								
Sub-Total	10.60	466,682	8.90	169,776	6.79	296,907	2.00	340
Subarea II								
Sub-Total	8.84	376,273	2.87	125,014	6.77	251,259	1.76	350
Subarea III								
Sub-Total	10.99	478,576	3.44	149,664	7.55	328,912	1.60	680
Subarea IV								
Sub-Total	4.27	185,812	0.66	28,942	3.60	156,870	0.32	0
Subarea V								
Sub-Total	1.89	82,181	0.63	27,329	1.26	54,852	5.00	196
Grand Total	36.47	1,888,634	11.50	500,724	24.97	1,688,110	1.70	1,288

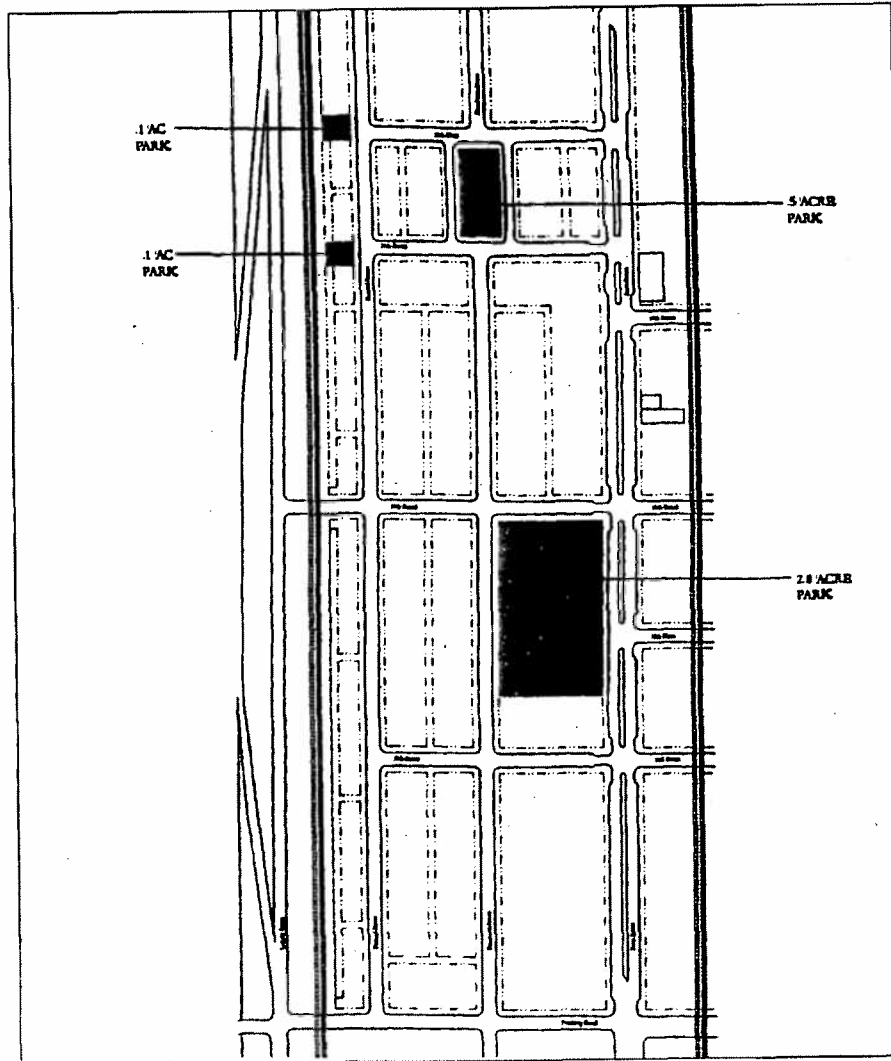
Generalized Land-Use Plan.



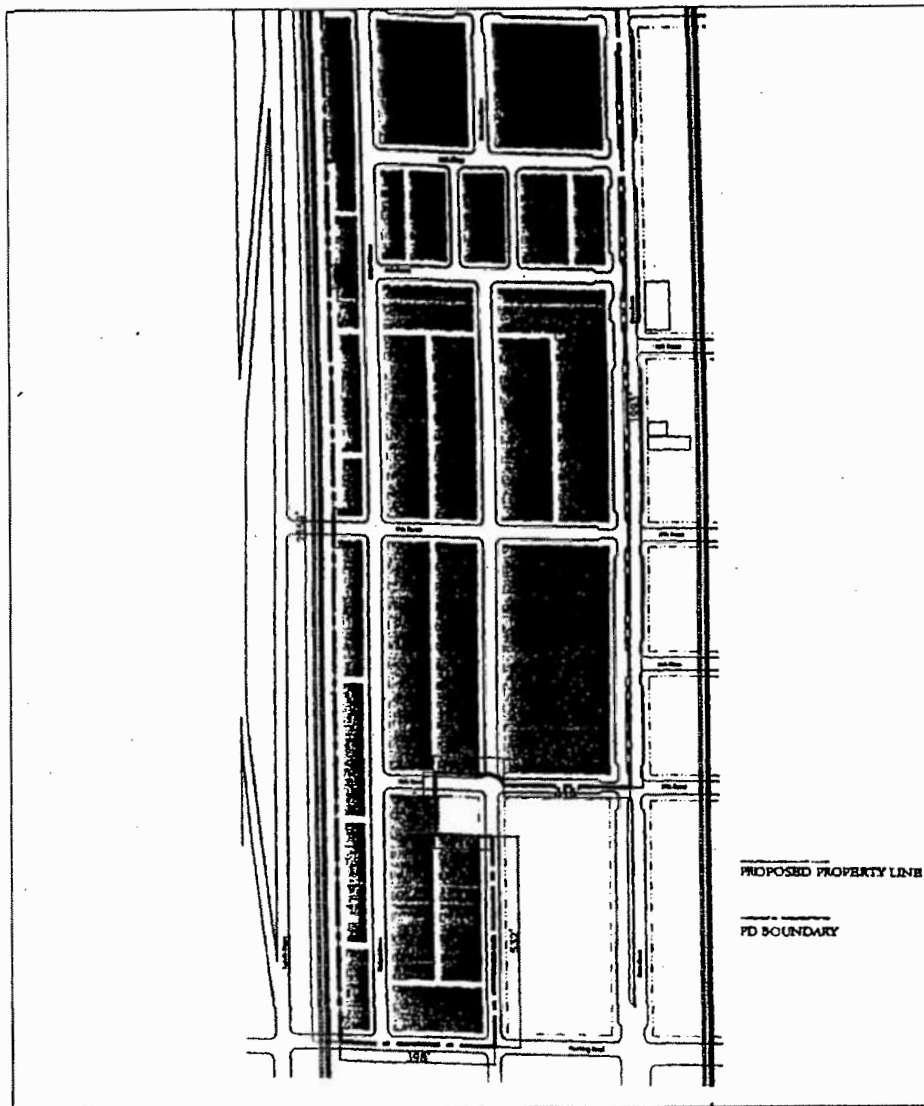
Subarea I -- Generalized Land-Use Plan.



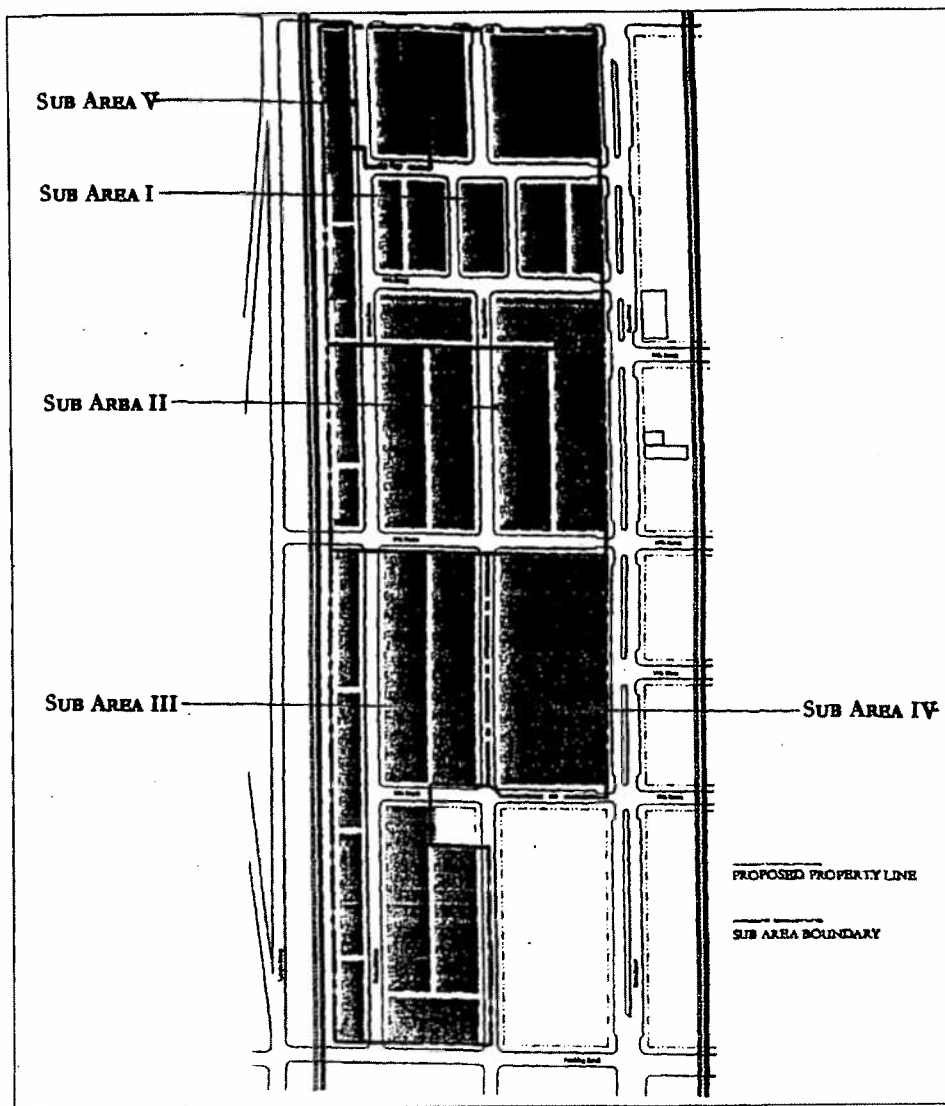
Open Space Plan.



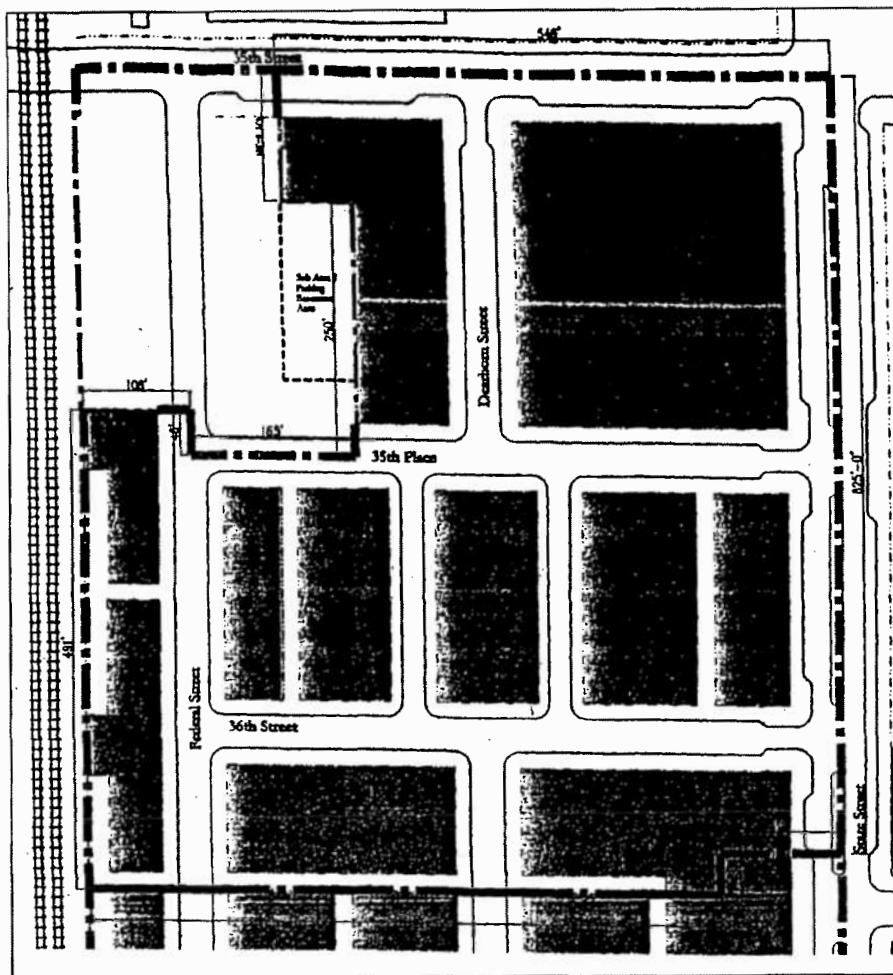
Planned Development Boundary And Property Line Map.



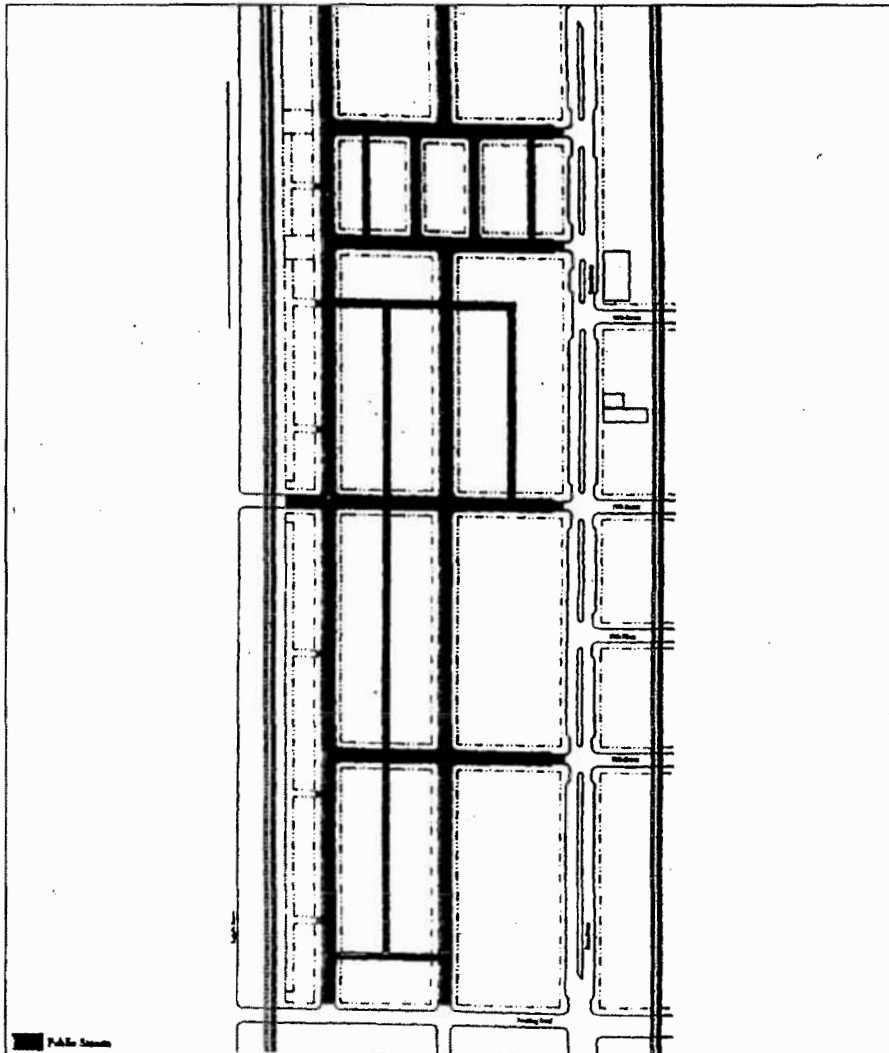
Subarea Map.



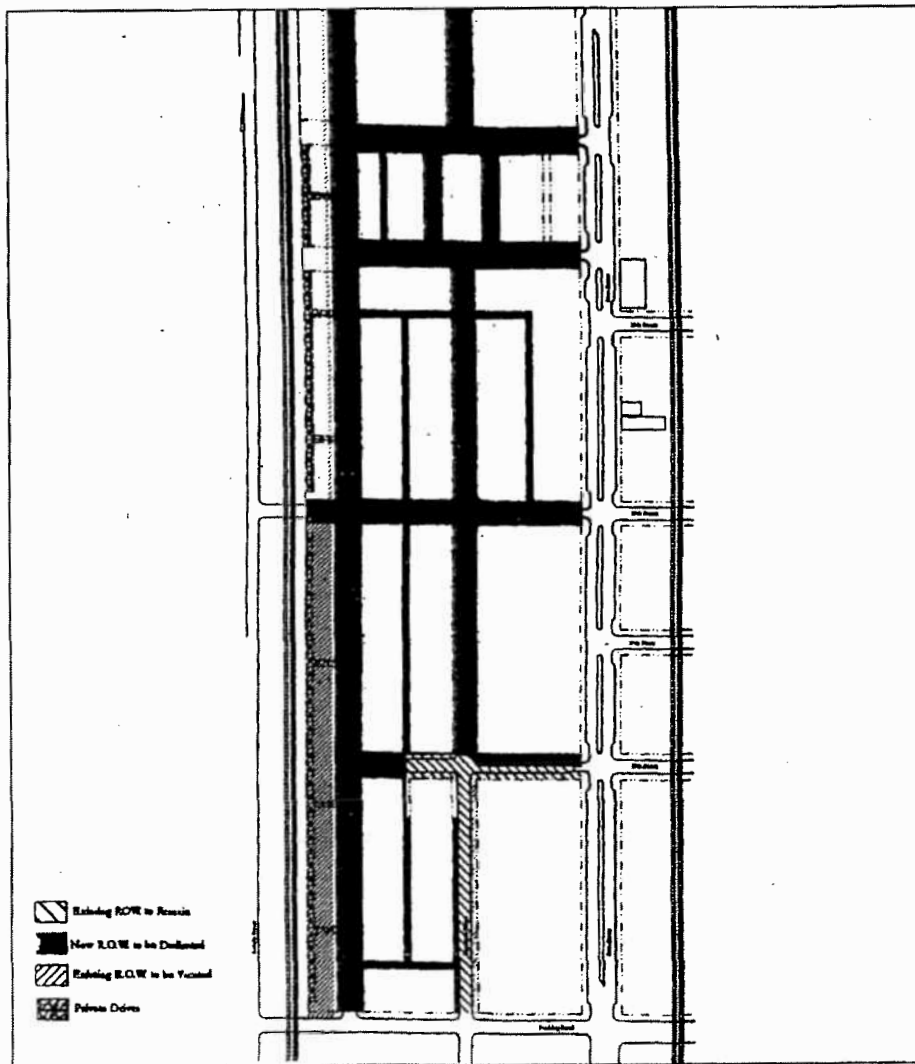
Subarea I -- Planned Development Boundary And Proposed Blocks.



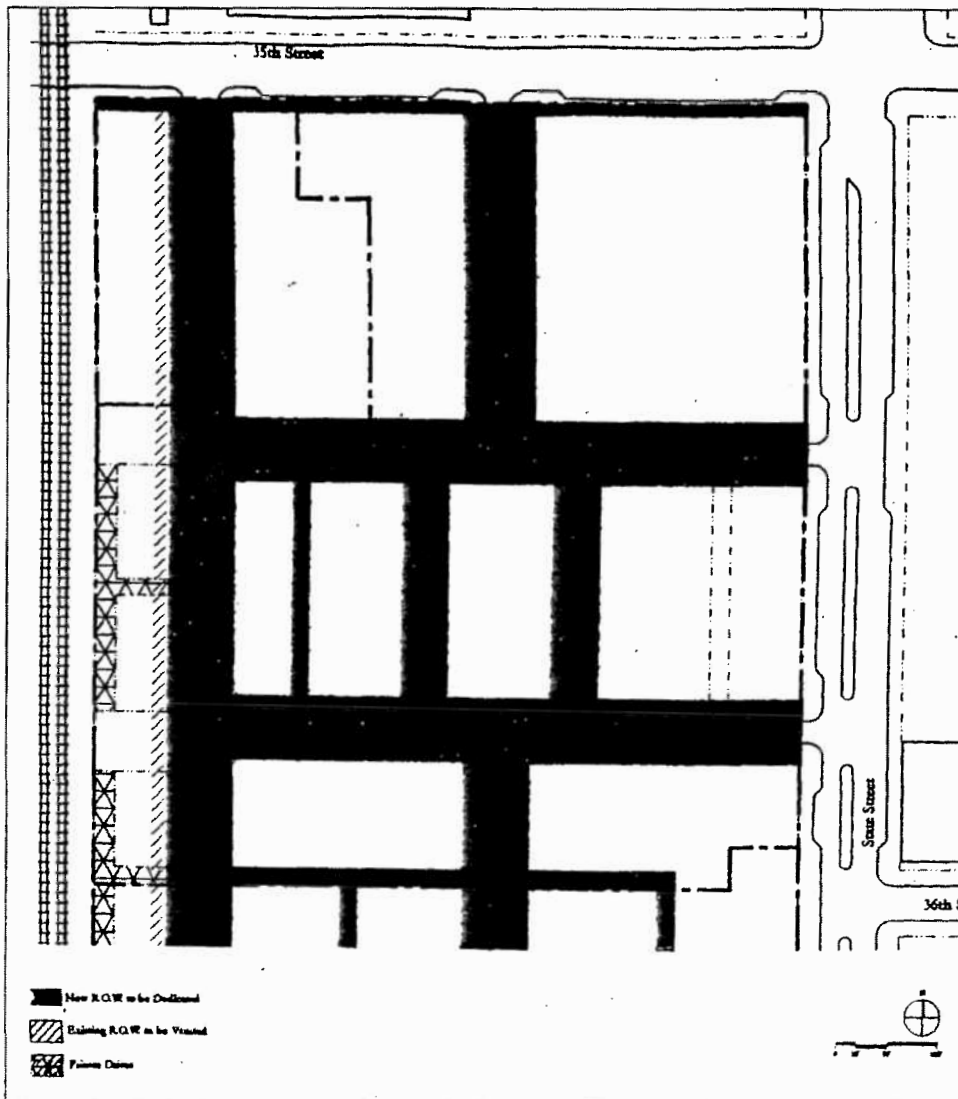
Public Roadway Plan.



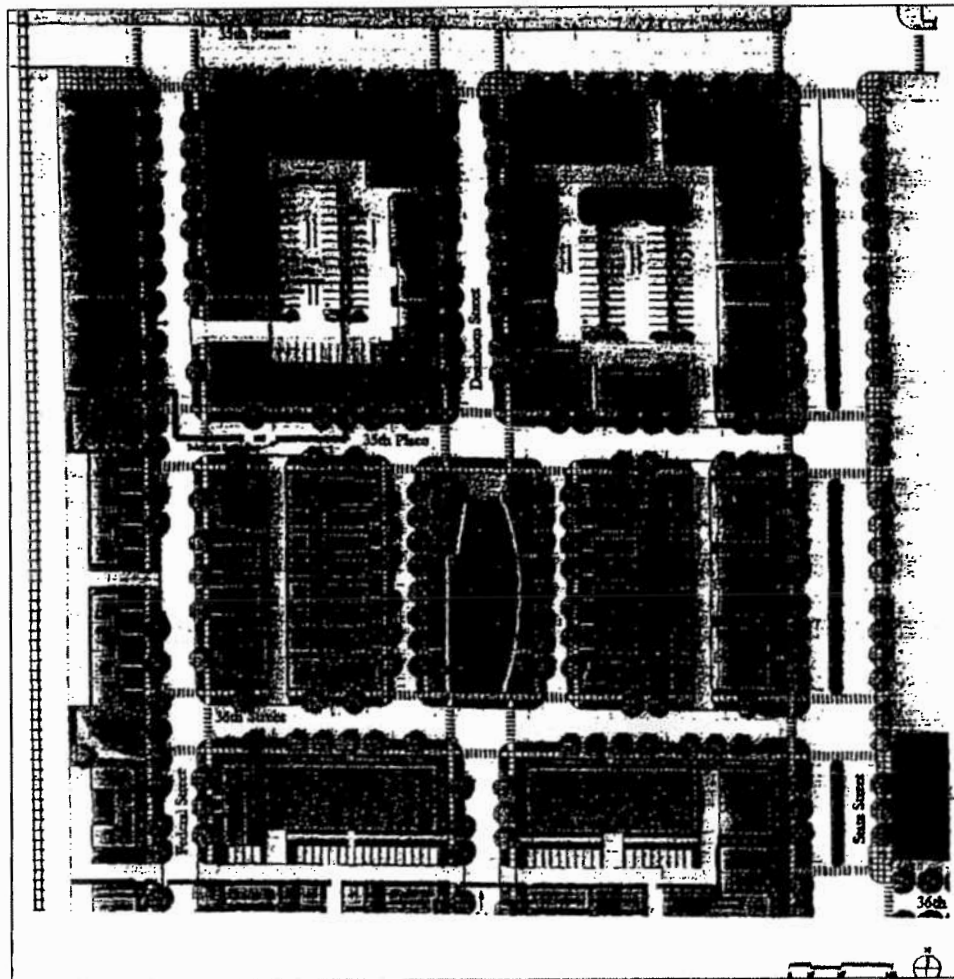
Right-Of-Way Adjustment Plan.



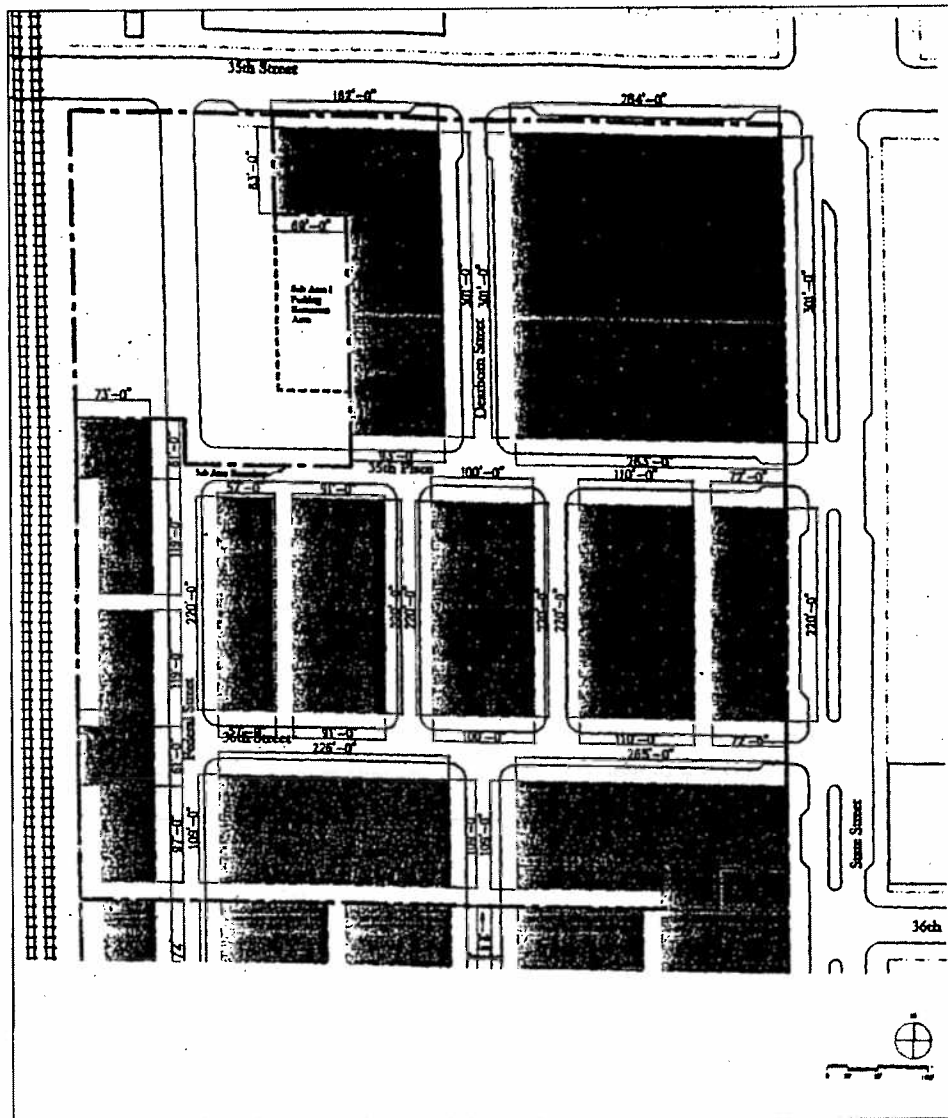
Subarea I -- Public Rights-Of-Way Adjustment.



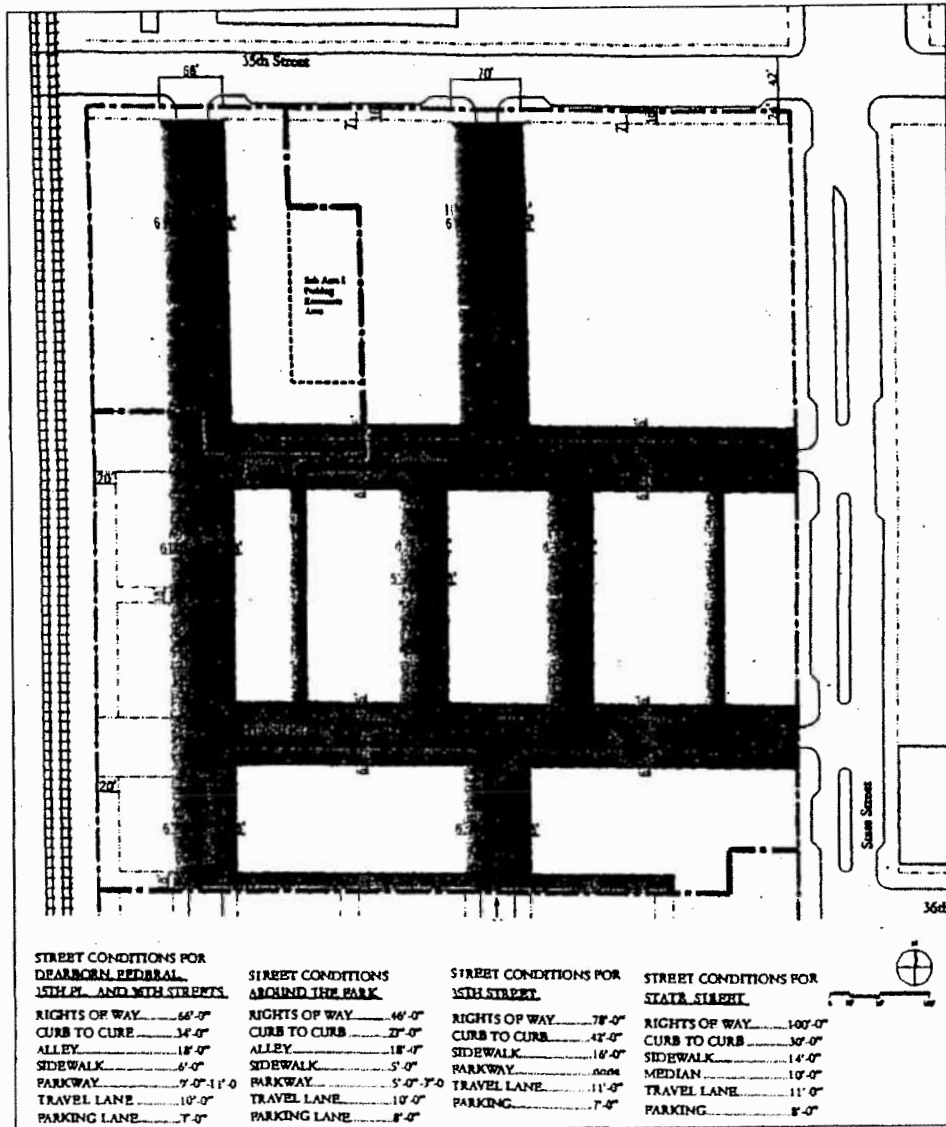
Subarea I -- Site Plan.



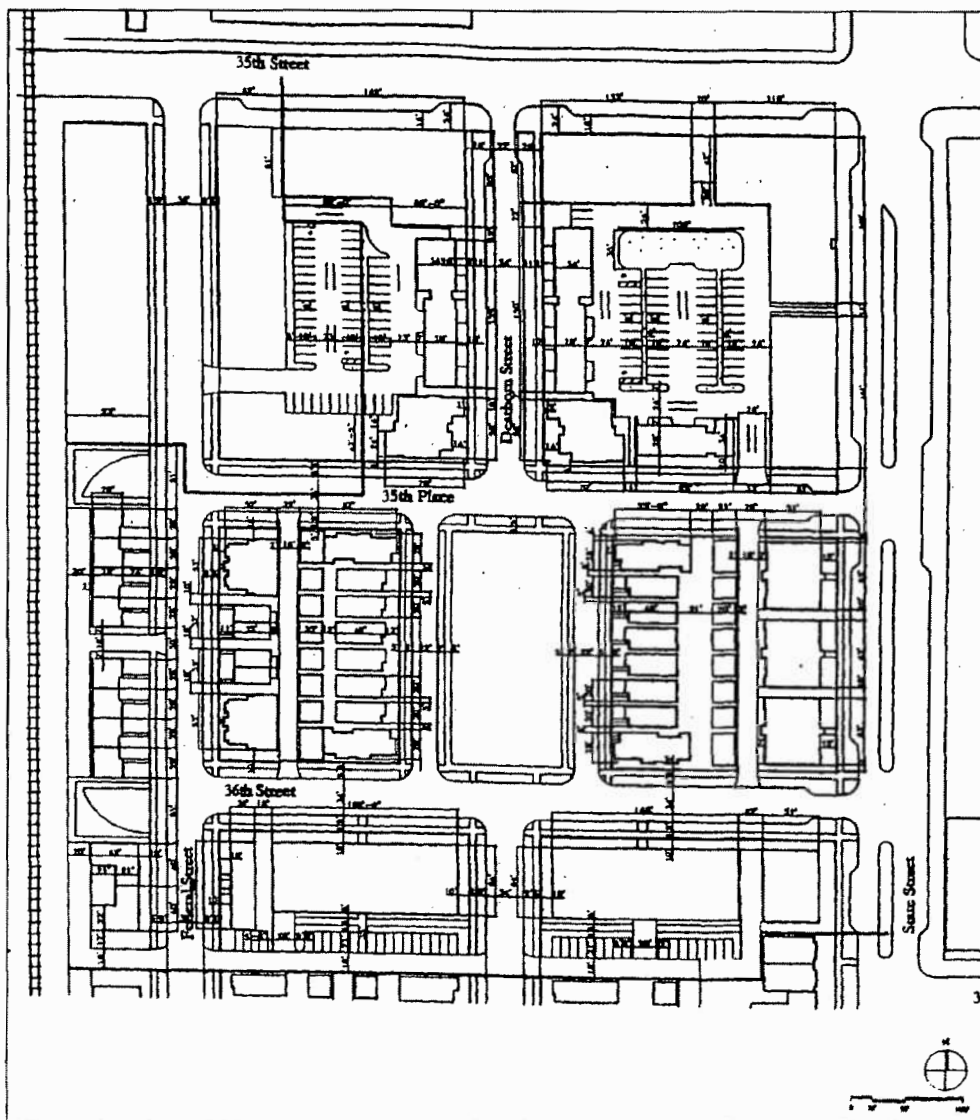
Subarea I -- Dimensioned Development Blocks.



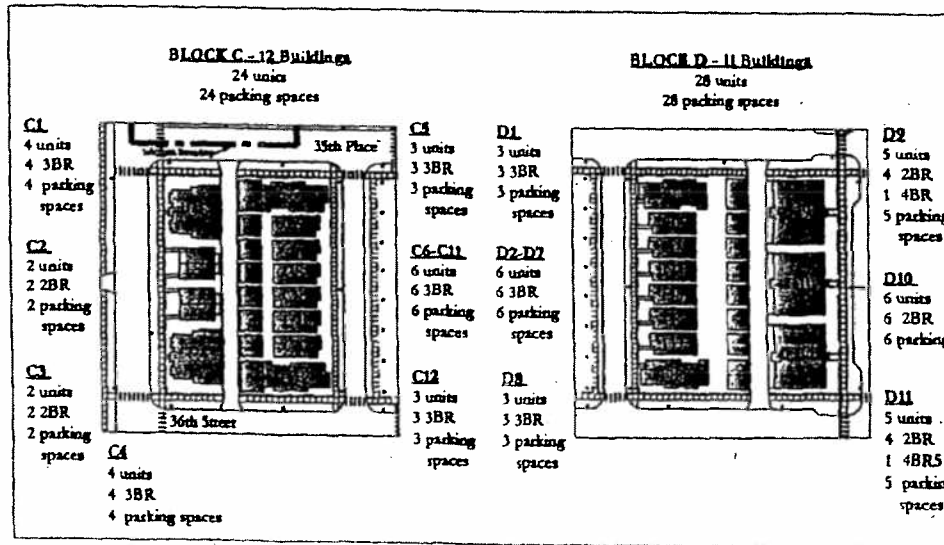
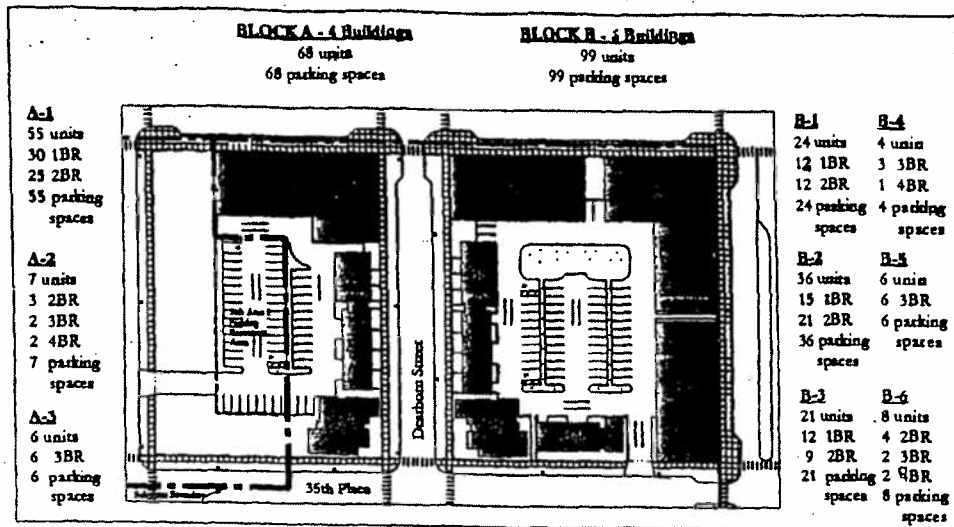
Subarea I -- Public Streets, Alley And Rights-Of-Way Dimensions.



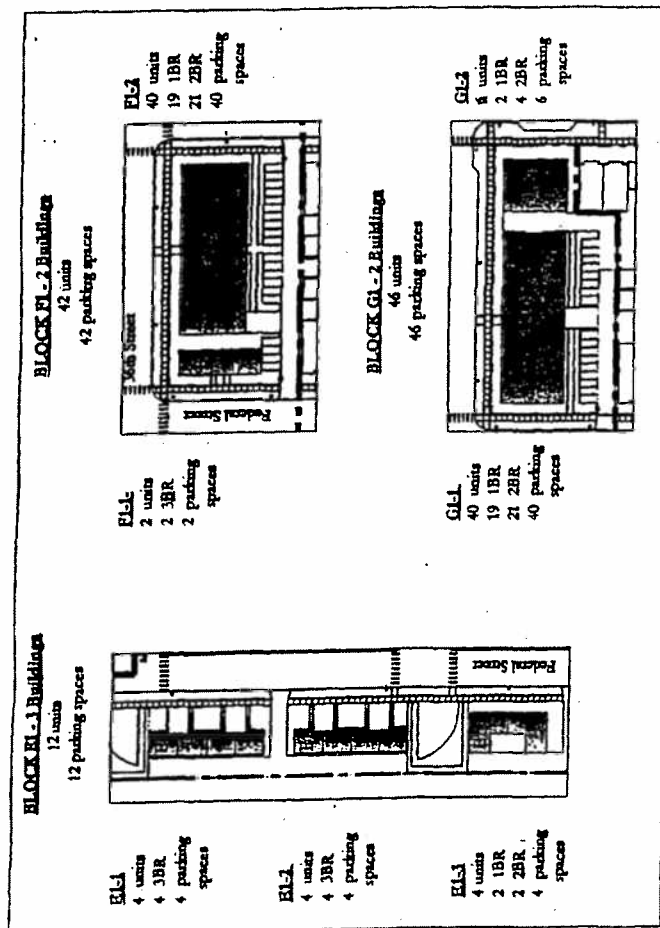
Subarea I -- Dimensioned Site Plan.



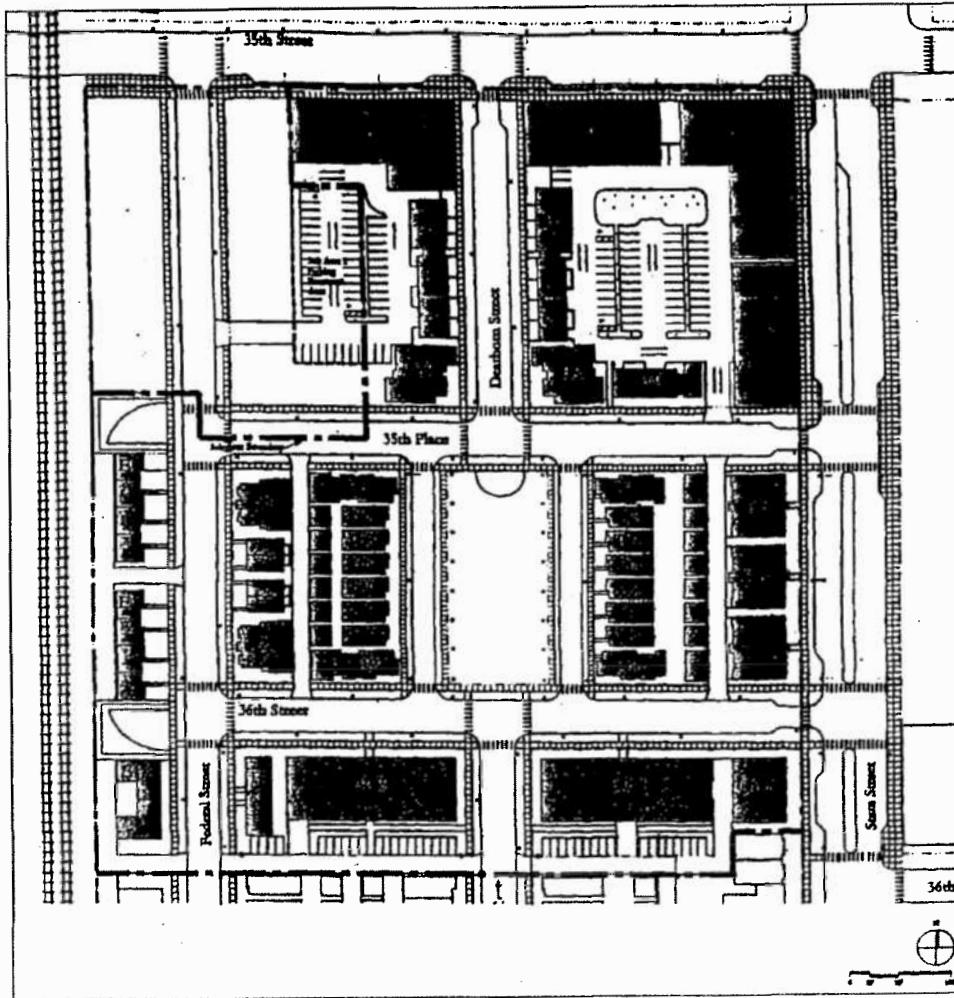
Unit And Parking Distribution.
(Page 1 of 2)



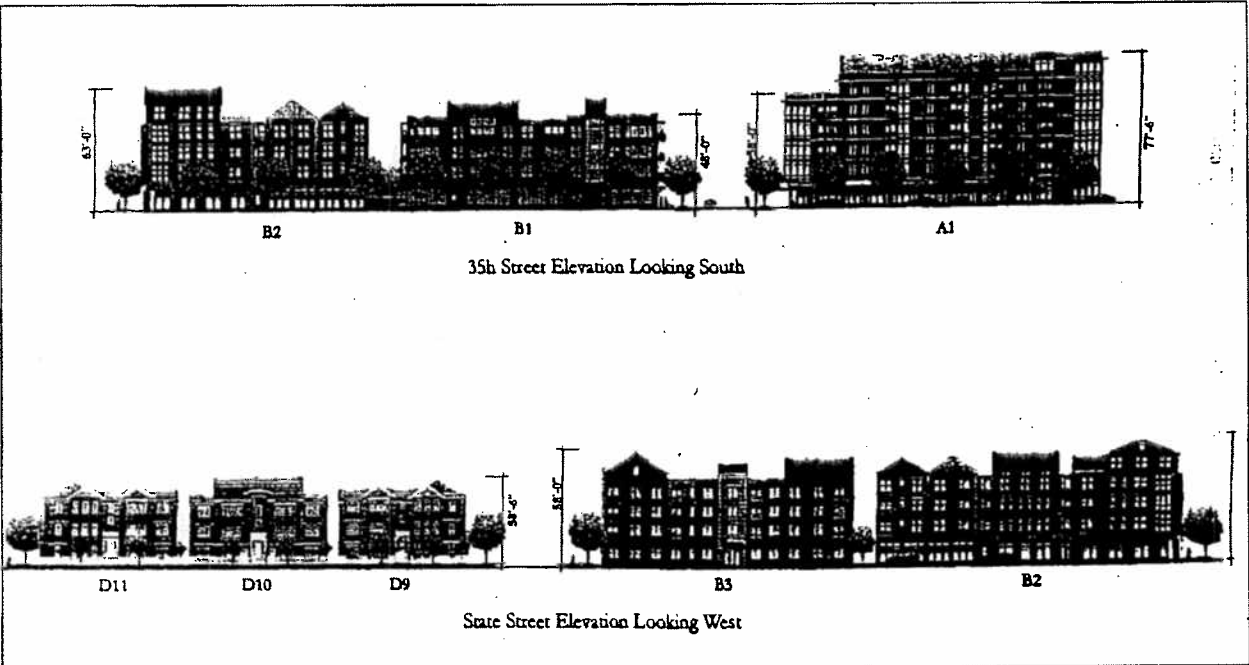
Unit And Parking Distribution.
(Page 2 of 2)



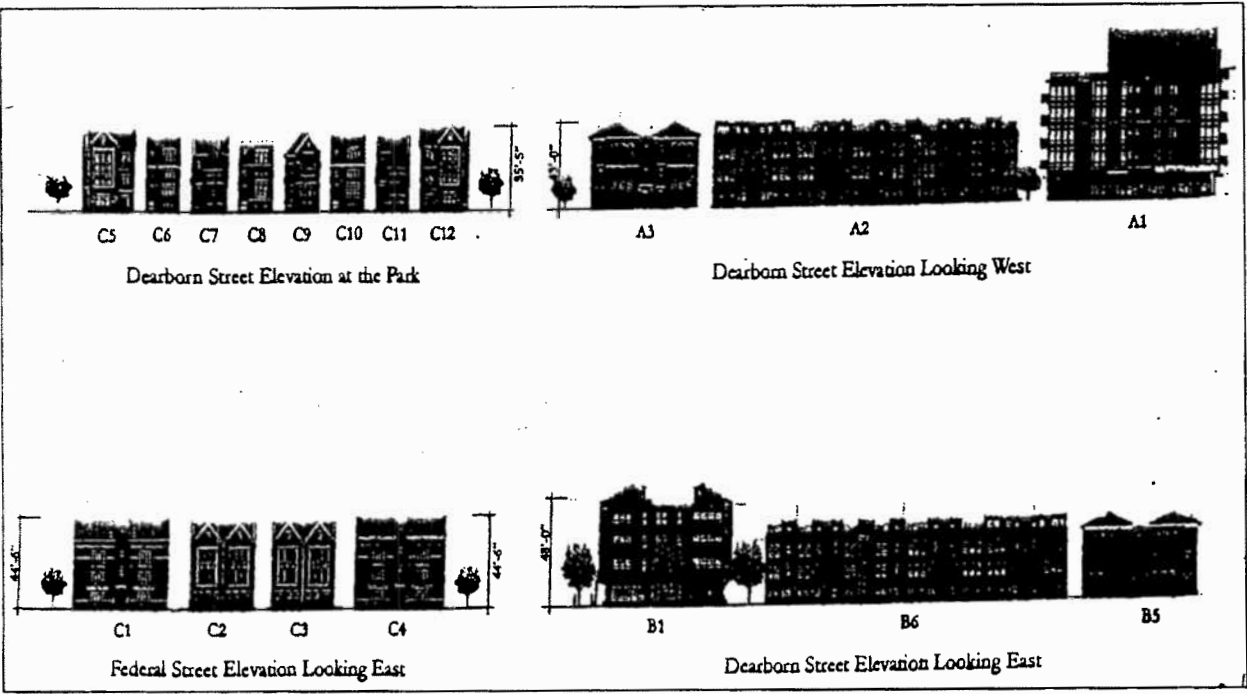
Elevations -- Key Map.



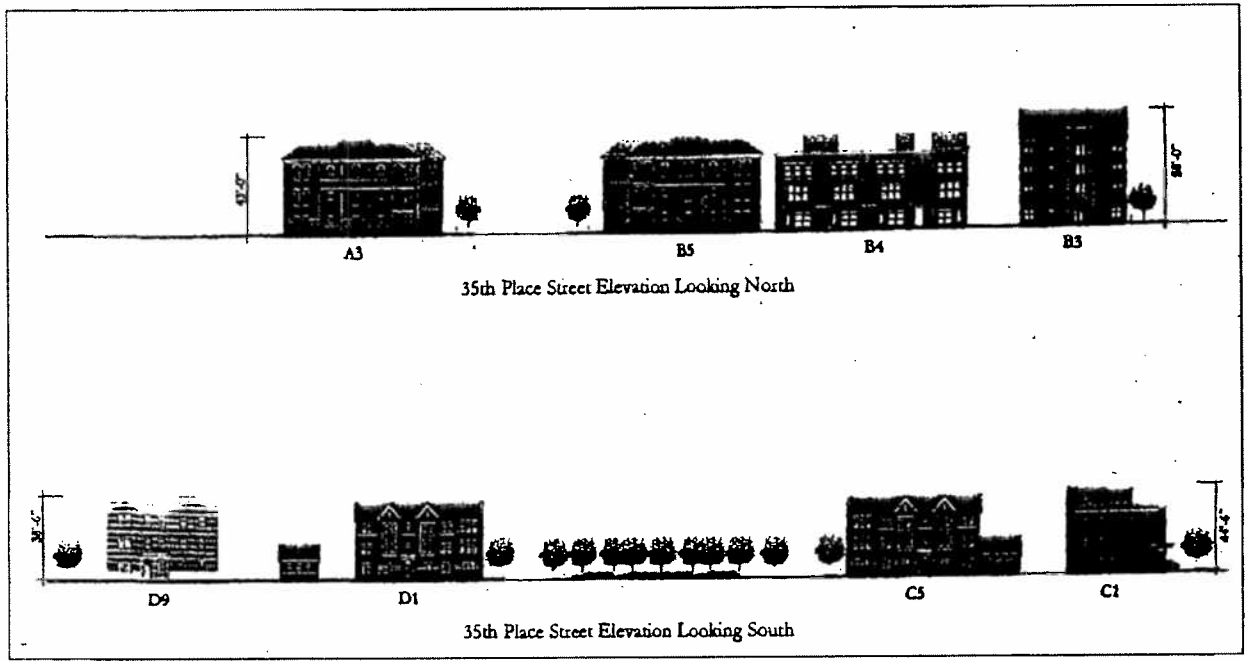
Subarea I -- Street Elevations.
(Page 1 of 4)



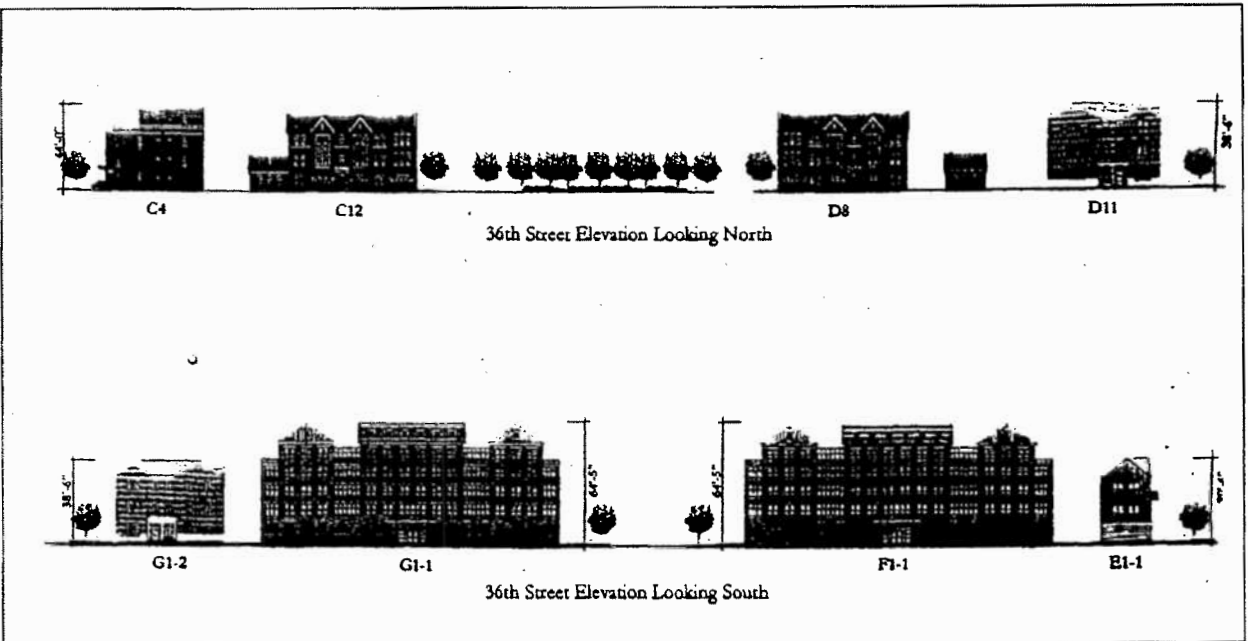
Subarea I -- Street Elevations.
(Page 2 of 4)



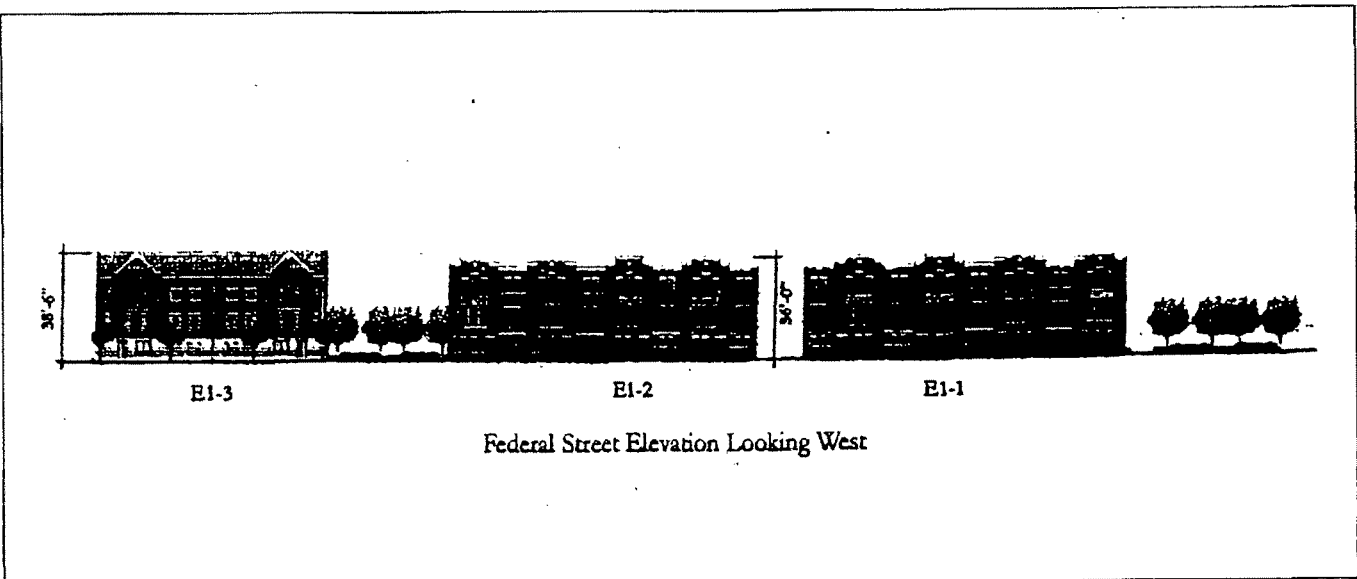
Subarea I -- Street Elevations.
(Page 3 of 4)



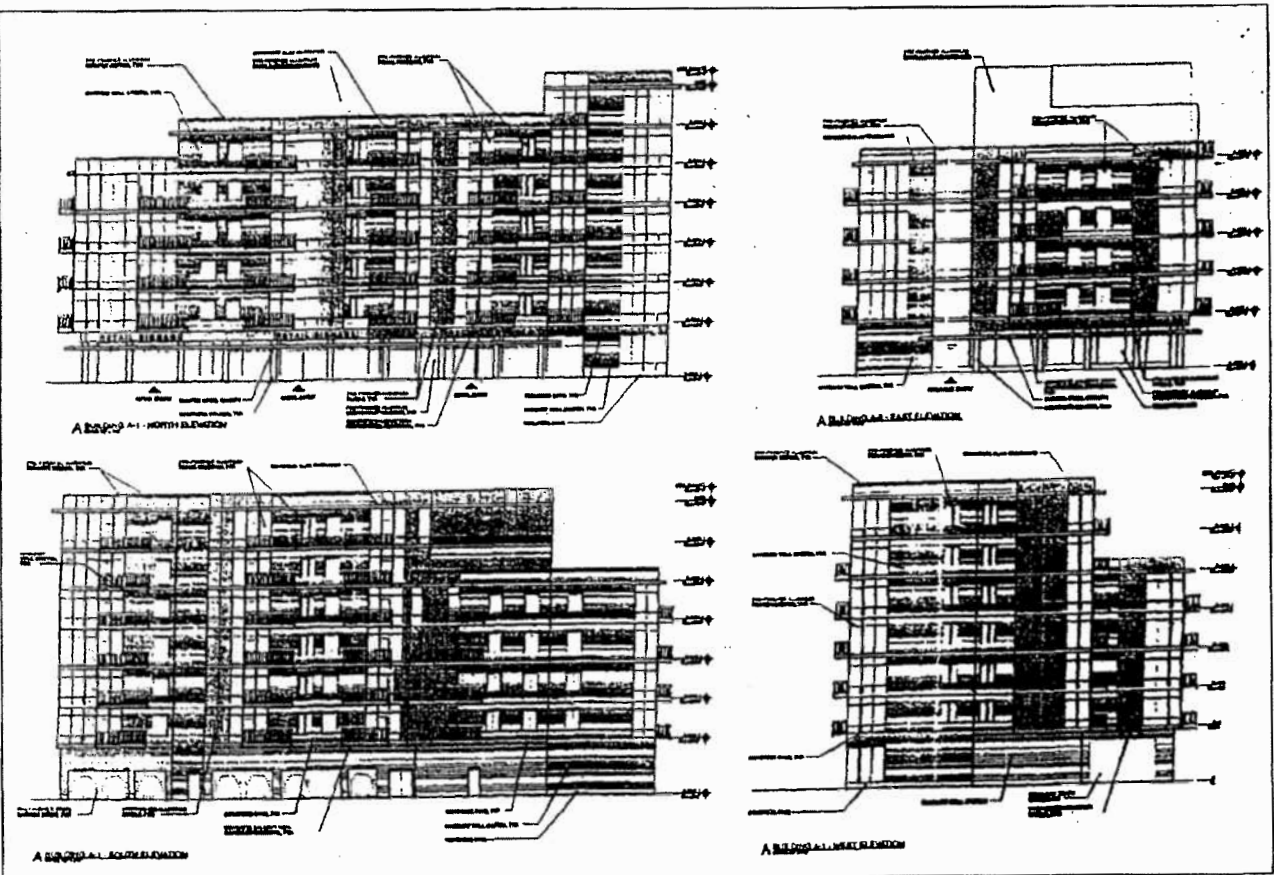
Subarea I -- Street Elevations.
(Page 4 of 4)



Street Elevations -- Federal Street Looking West.



Subarea I -- A1 Building Elevations.

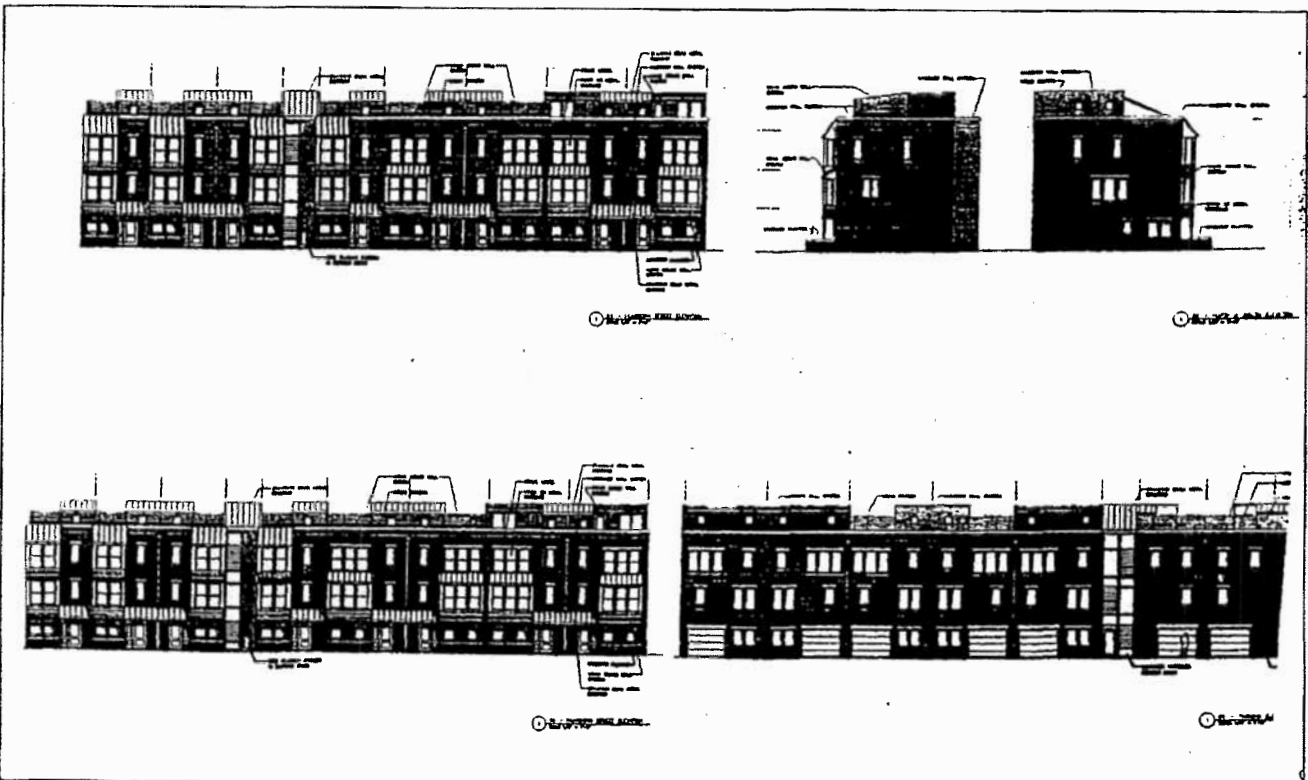


12/8/2010

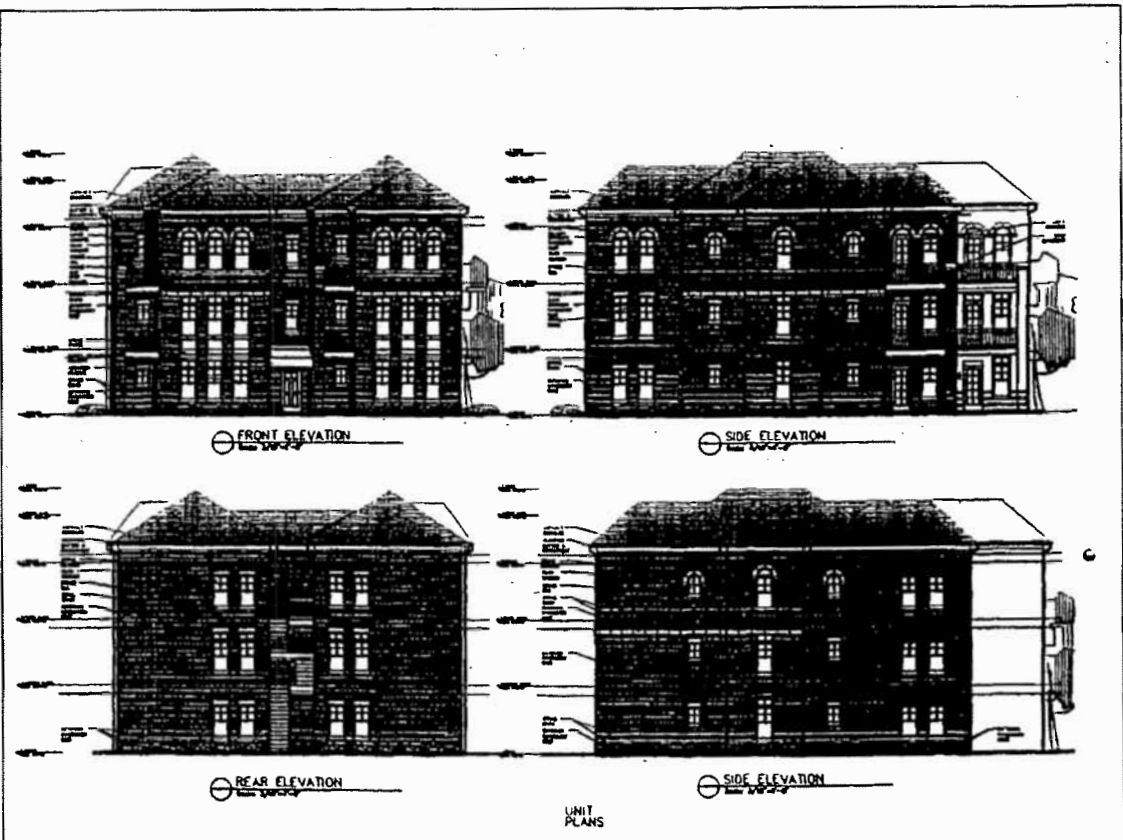
REPORTS OF COMMITTEES

109831

Subarea I -- A2 And B6 Building Elevations.



Subarea I -- A3 And B5 Building Elevations.

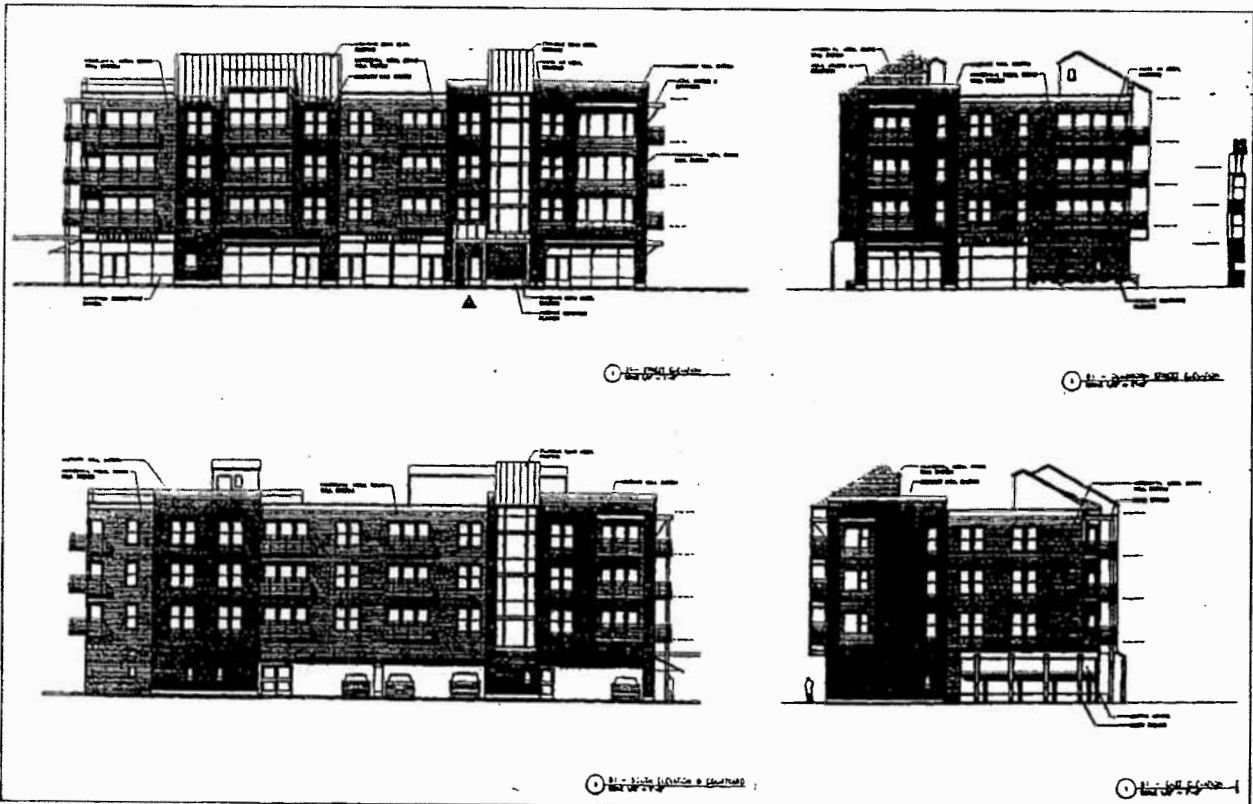


12/8/2010

REPORTS OF COMMITTEES

109833

Subarea I -- B1 Building Elevations.

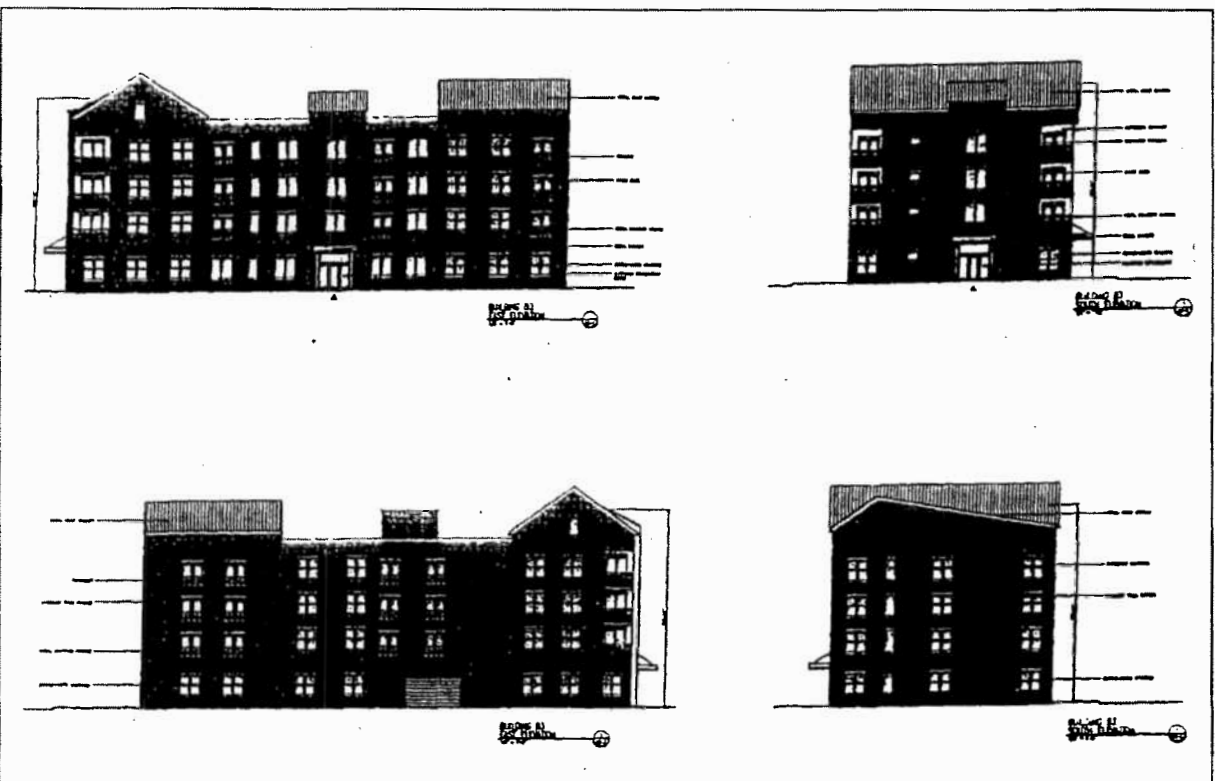


12/8/2010

REPORTS OF COMMITTEES

109835

Subarea 1 -- B3 Building Elevations.



Subarea I -- B4 Building Elevations.



12/8/2010

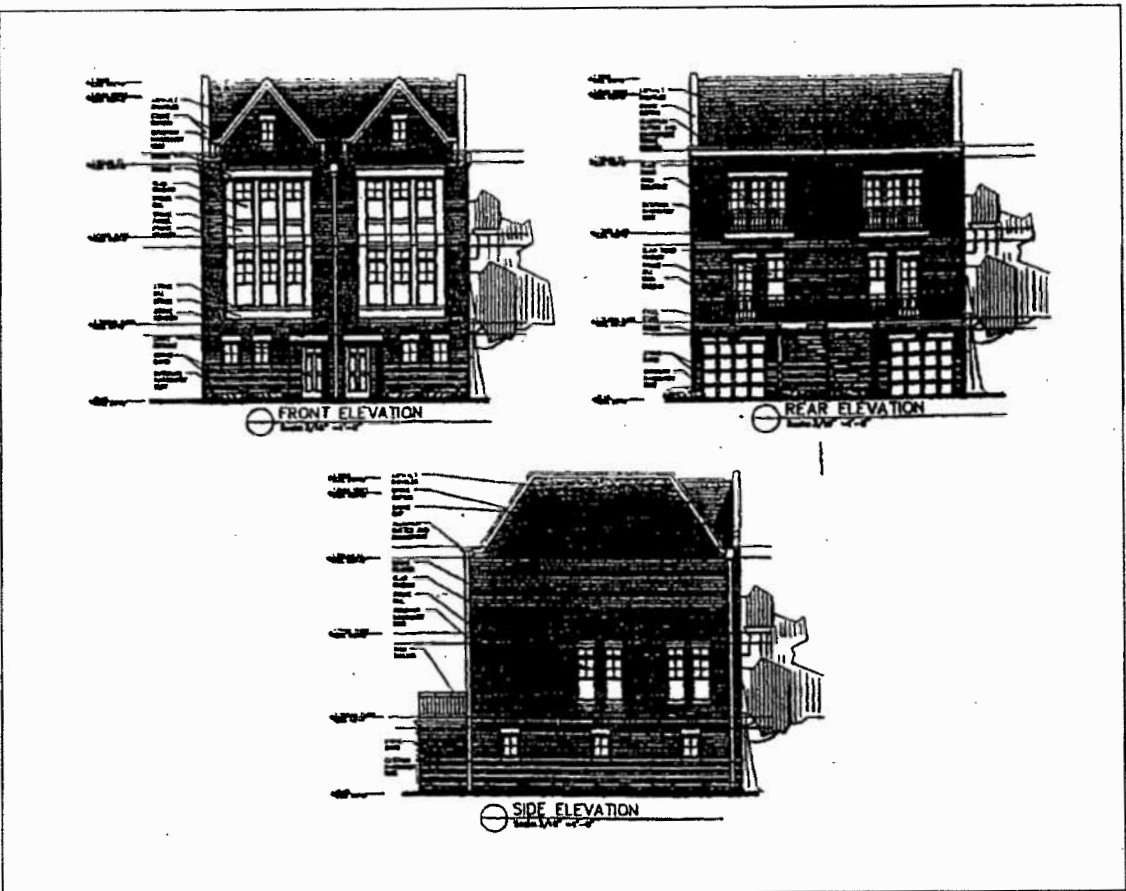
REPORTS OF COMMITTEES

109837

Subarea I -- C5, C12, D1 And D8 Buildings Elevations.



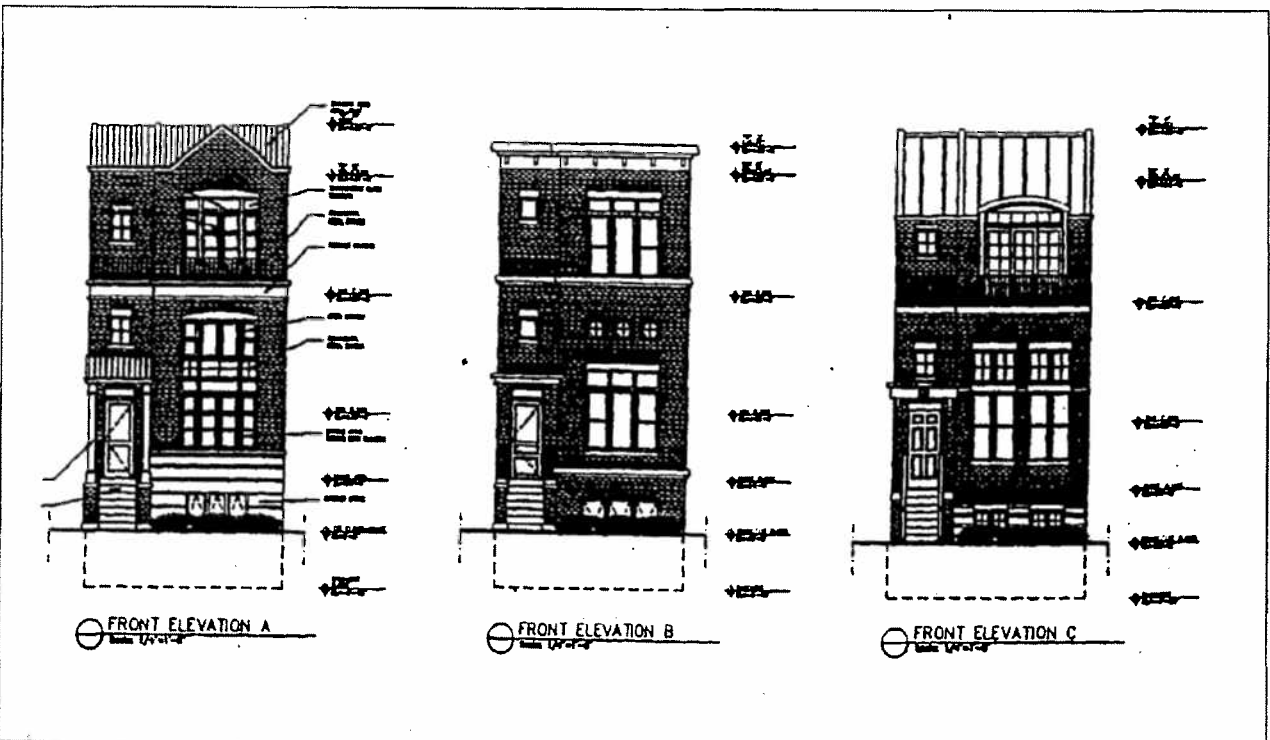
Subarea I -- C2 And C3 Buildings Elevations.



Subarea I -- E1-1 And E1-2 Buildings Elevations.



Subarea I -- C6 -- C11 And D2 -- D7 Buildings Elevations.



12/8/2010

REPORTS OF COMMITTEES

109841

Subarea I -- D9, D10, D11 And G1-2 Buildings Elevations.

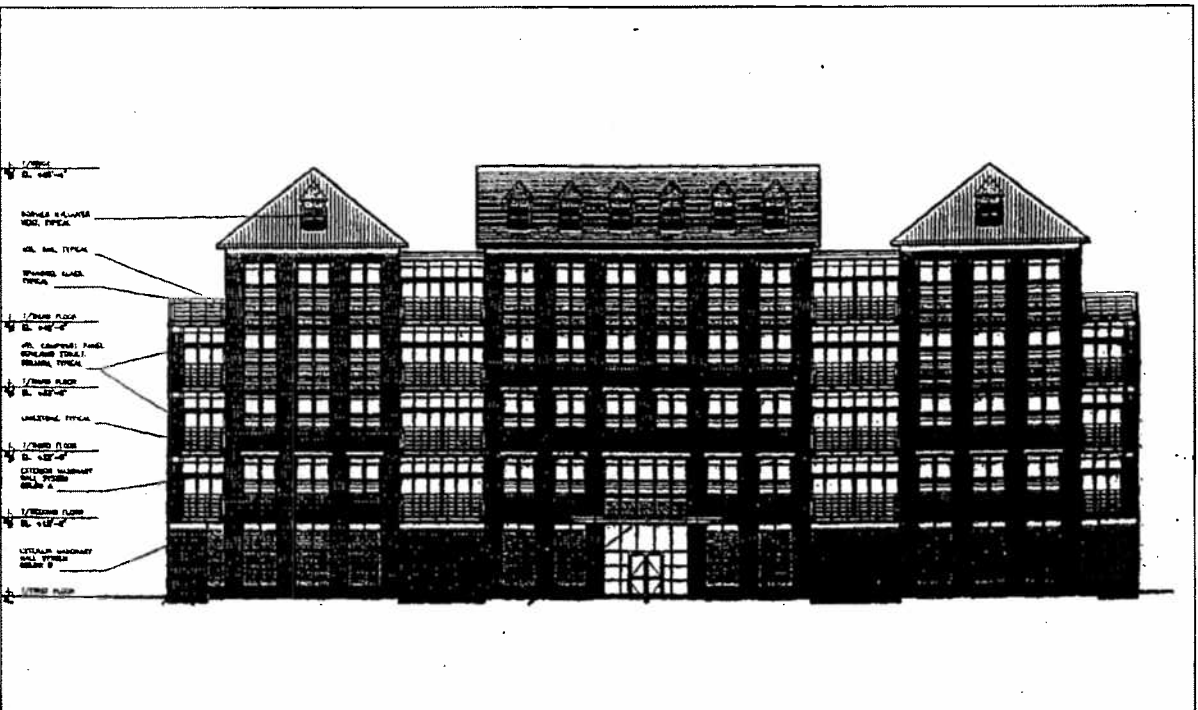


12/8/2010

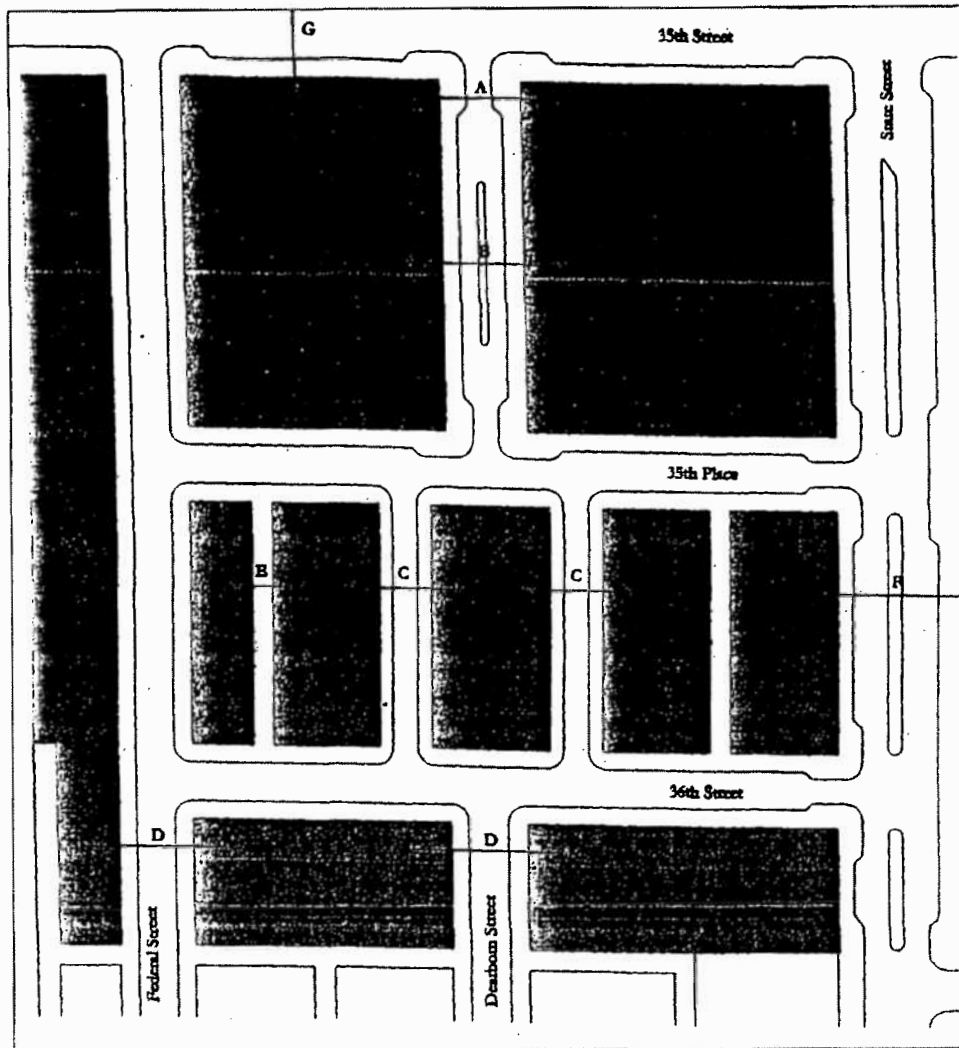
REPORTS OF COMMITTEES

109843

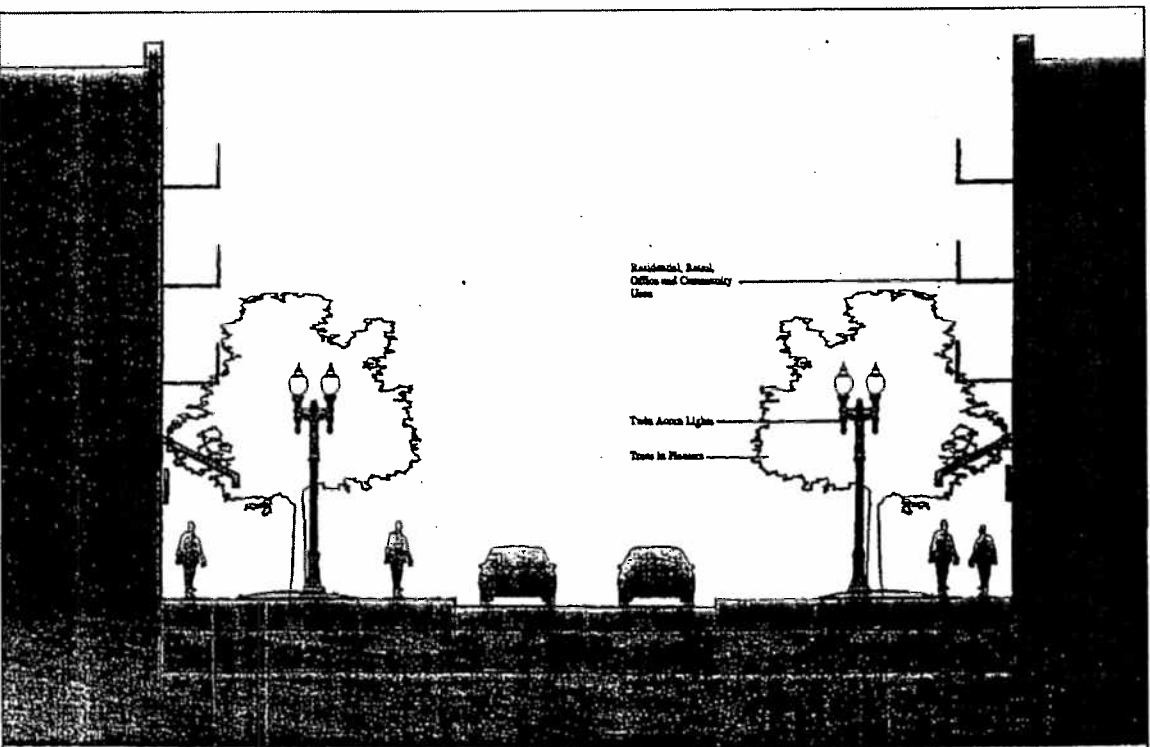
Subarea I -- F1-2 And G1-1 Buildings Elevations.



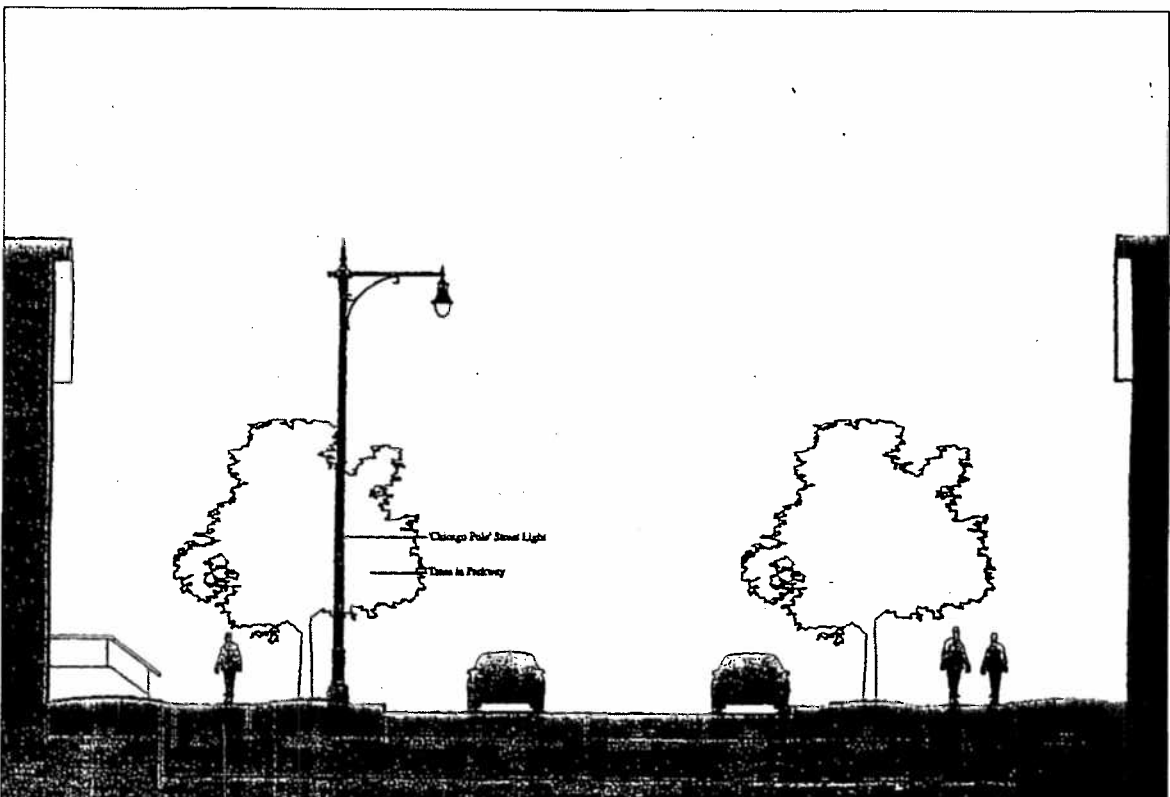
Street Sections -- Key Map.
(Page 1 of 8)



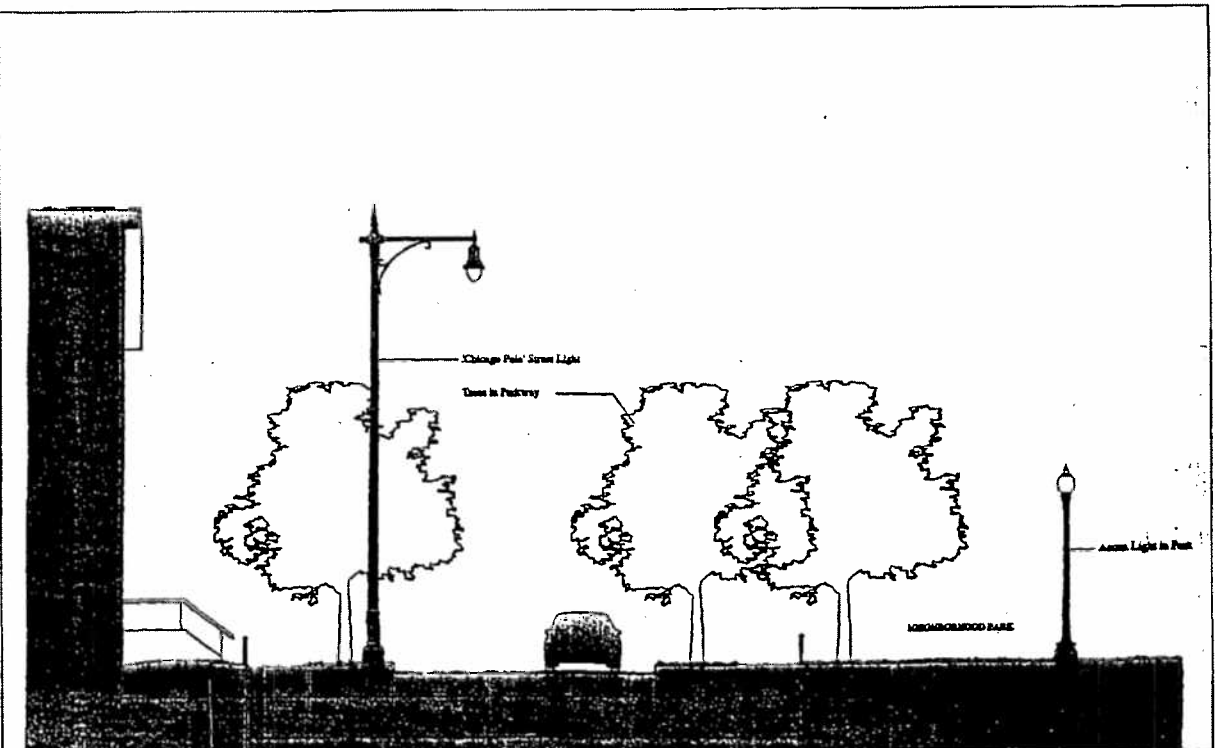
Street Sections -- Key Map.
(Page 2 of 8)



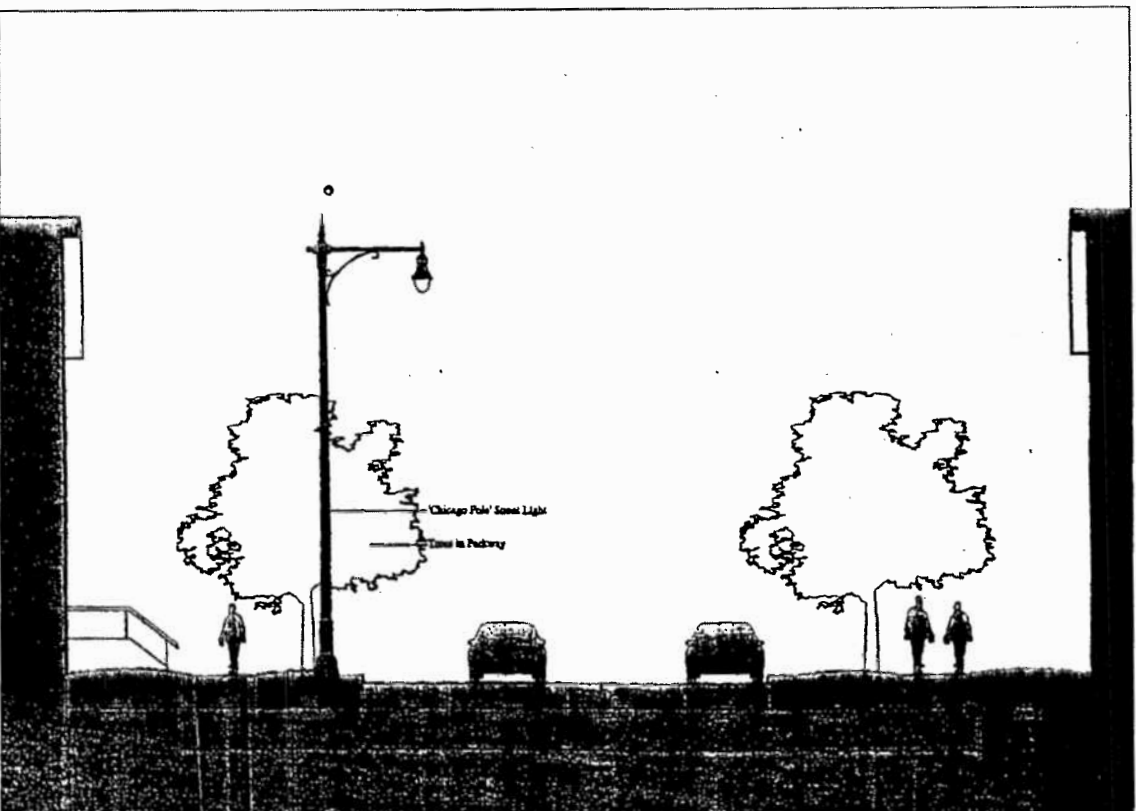
Street Sections -- Key Map.
(Page 3 of 8)



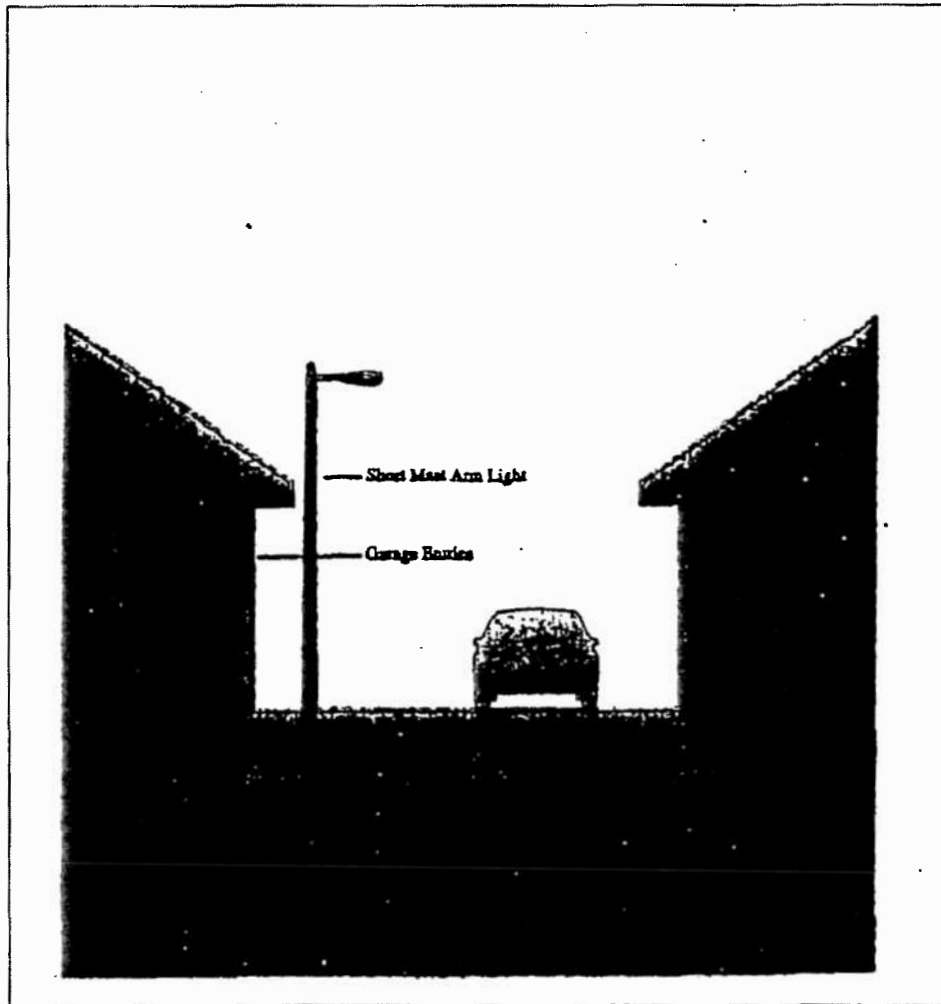
Street Sections -- Key Map:
(Page 4 of 8)



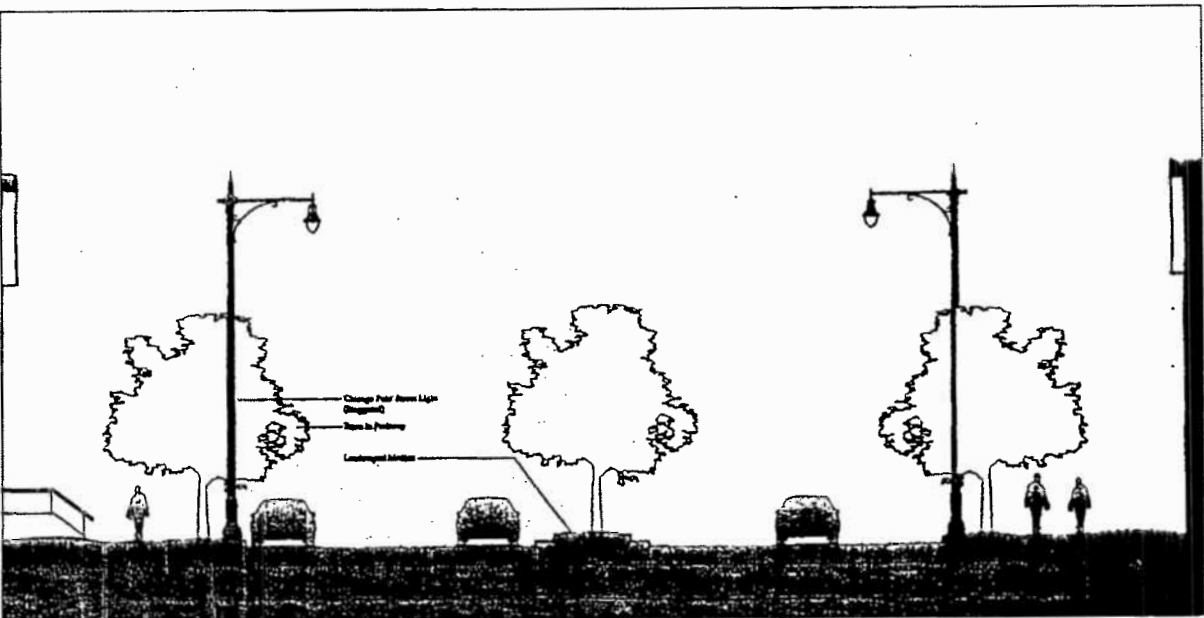
Street Sections -- Key Map.
(Page 5 of 8)



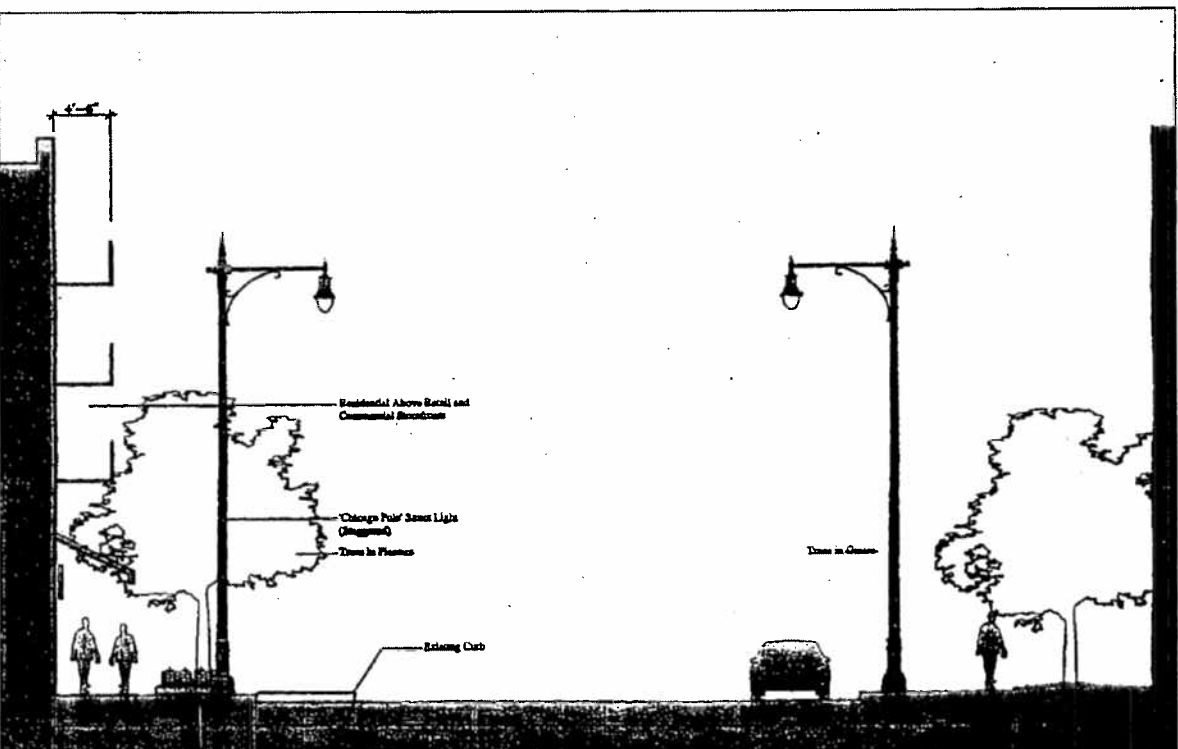
Street Sections -- Key Map.
(Page 6 of 8)



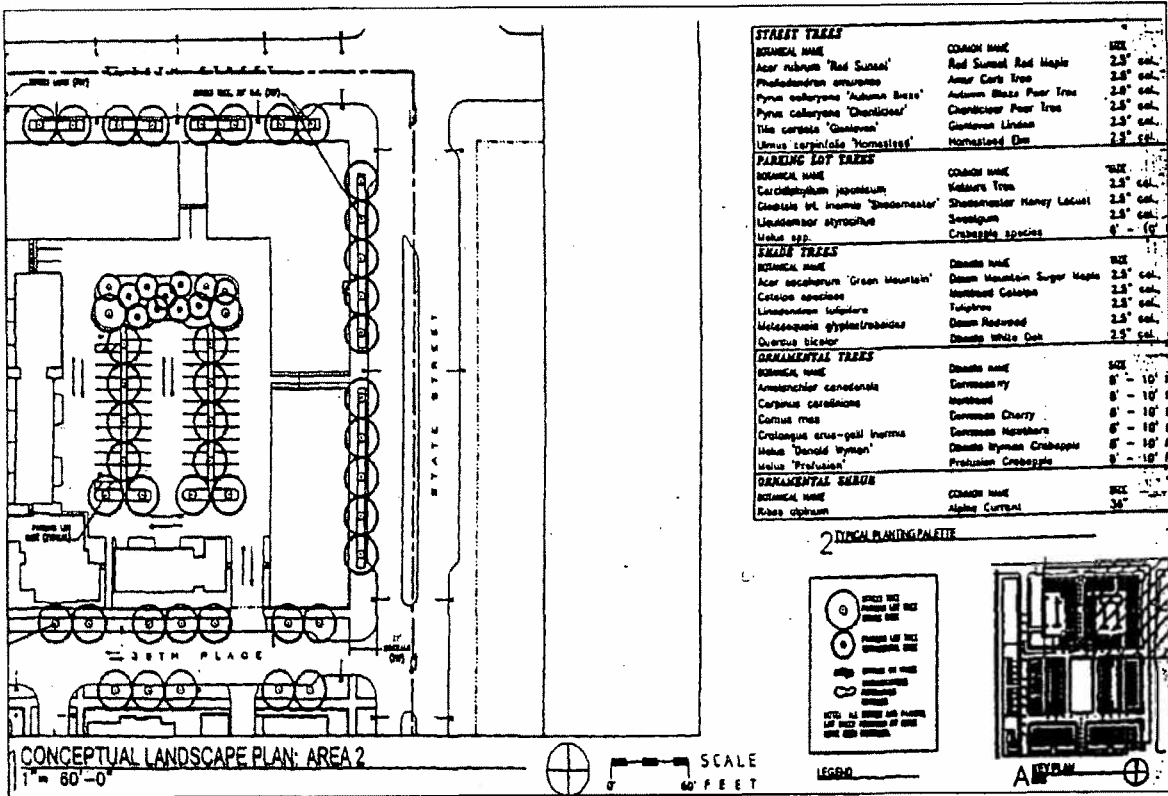
Street Sections -- Key Map.
(Page 7 of 8)



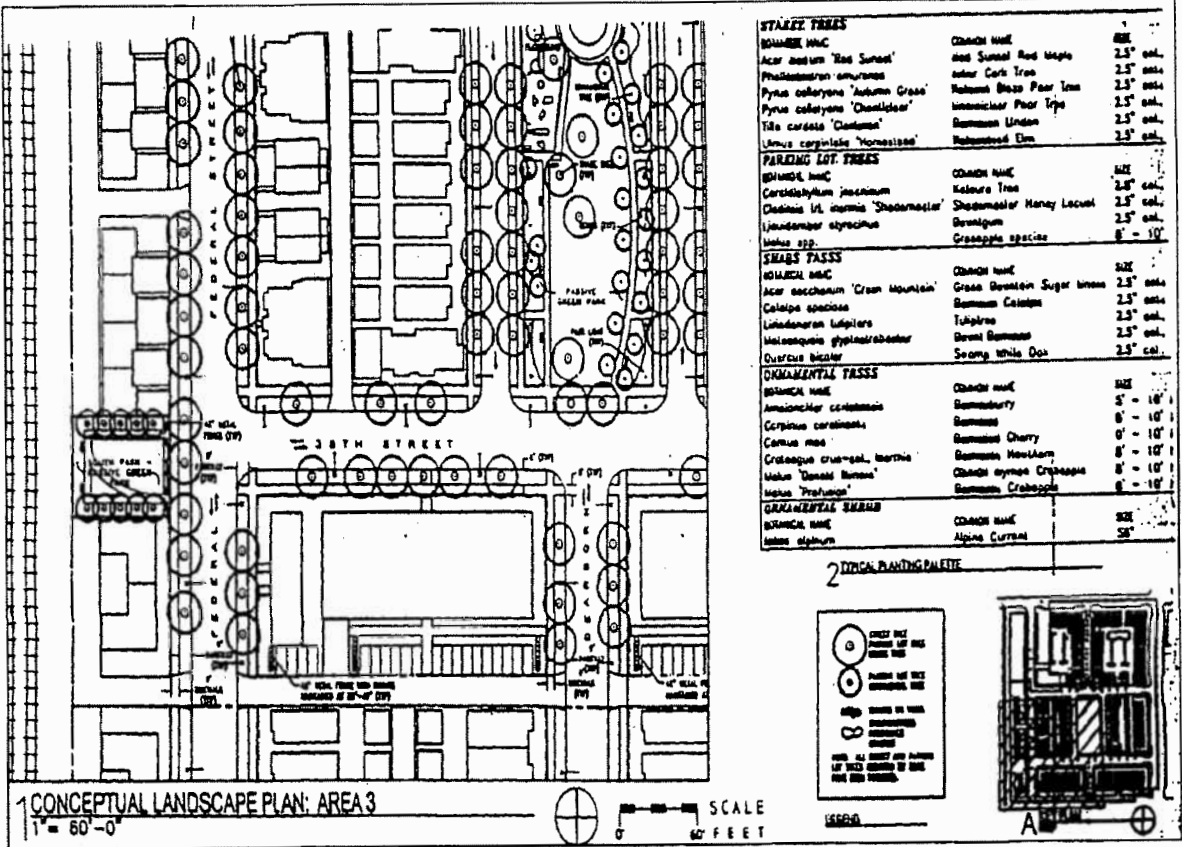
Street Sections -- Key Map.
(Page 8 of 8)



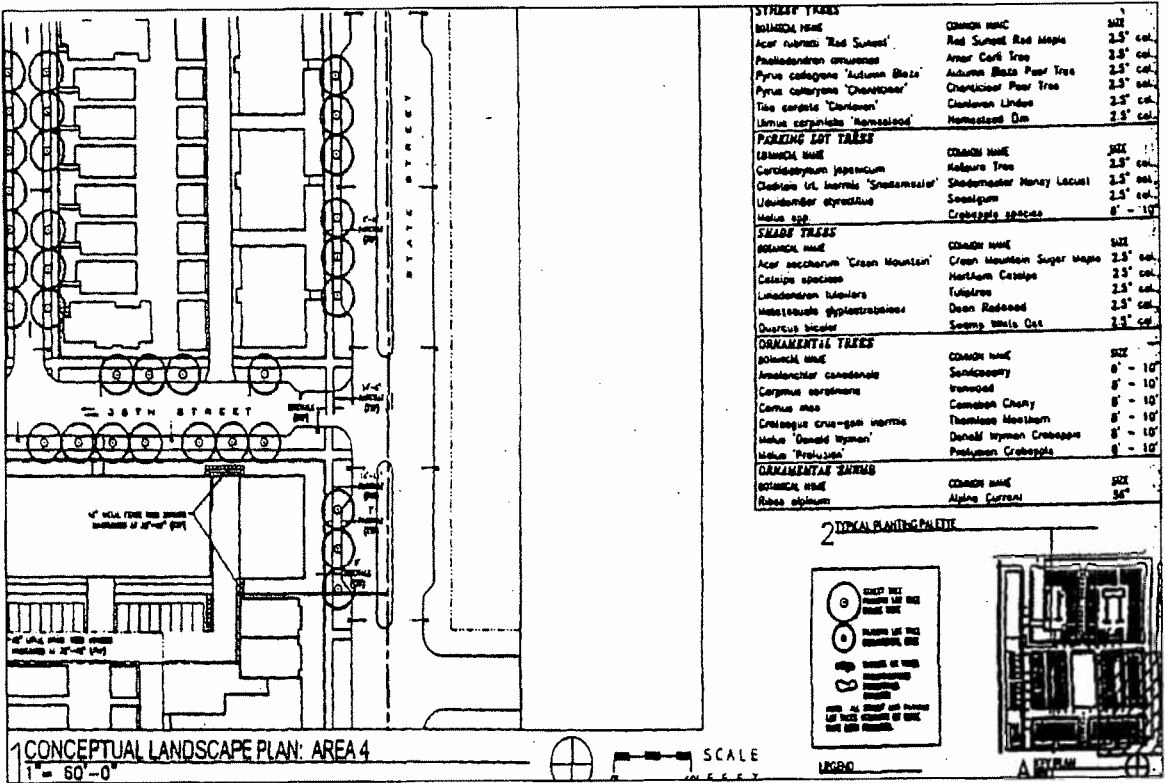
Conceptual Landscape Plan -- Area 2.



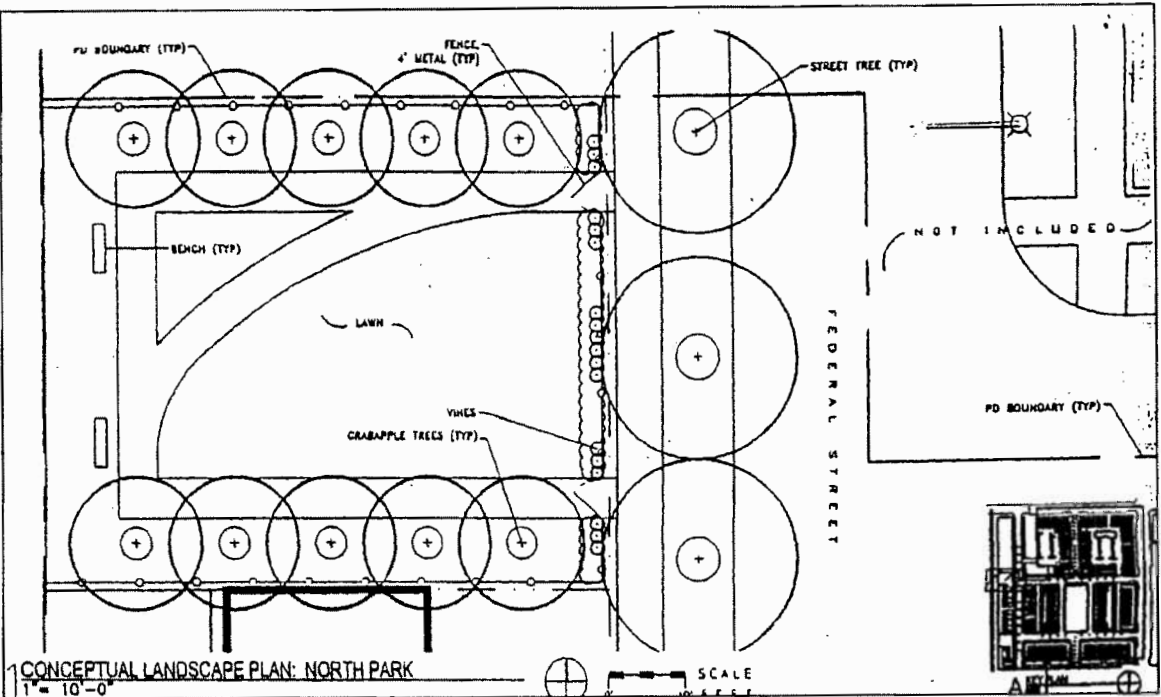
Conceptual Landscape Plan -- Area 3.



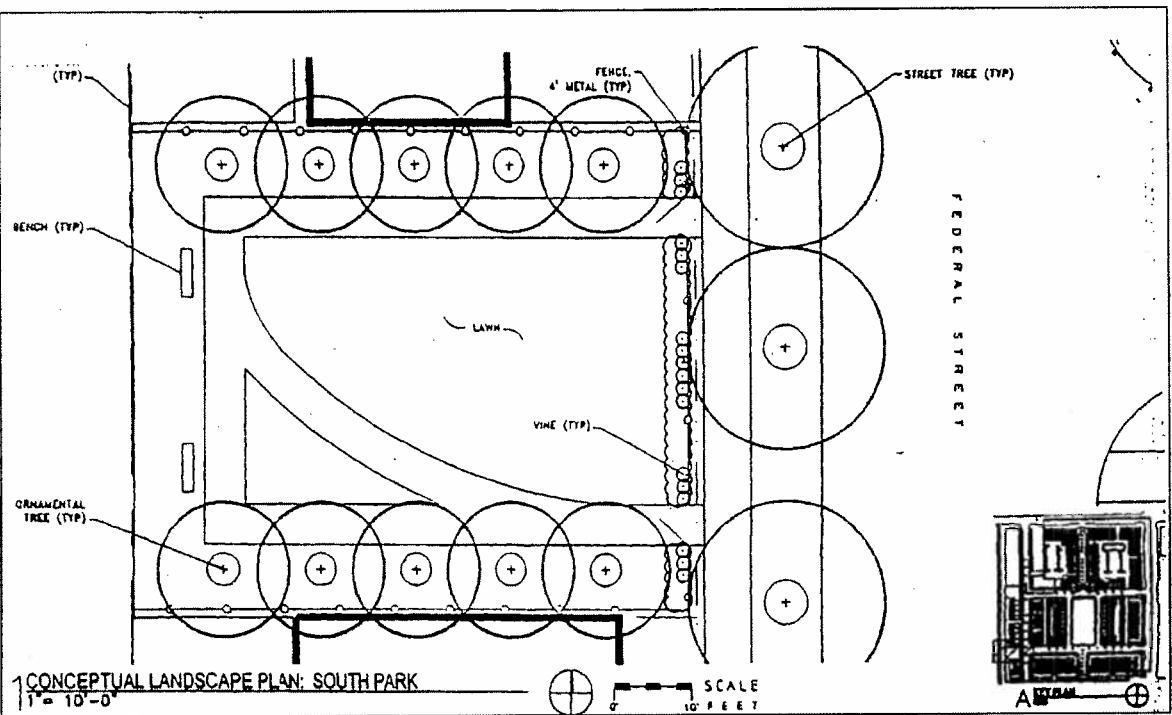
Conceptual Landscape Plan -- Area 4.



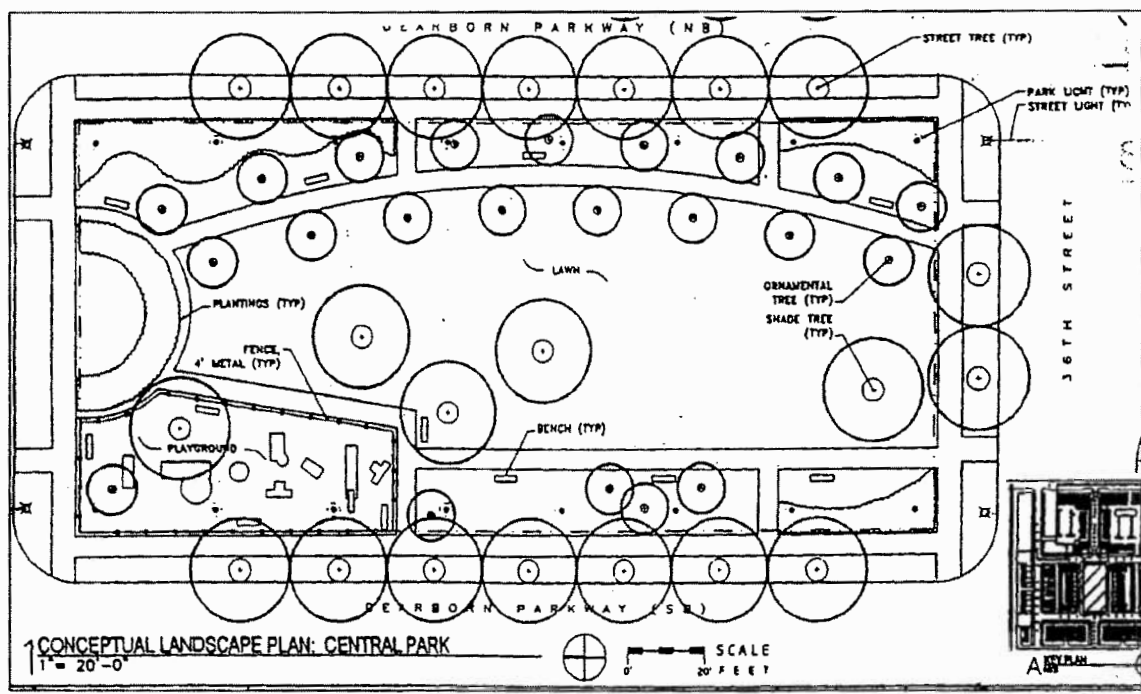
Conceptual Landscape Plan -- North Park.



Conceptual Landscape Plan -- South Park.



Conceptual Landscape Plan -- Central Park.





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

April 18, 2007

Kathryn Quinn, AIA
Kathryn Quinn Architects, Ltd.
363 West Erie Street
Chicago, IL 60610-6907

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Building B6, 3509-3525 S. Dearborn Street**

Dear Ms. Quinn:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Building B6, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to substitute hollow clay load bearing brick (comparable to Interstate Atlas Brick) for utility face brick on the side and rear elevations of Building B6. In addition, you also requested to omit the 4th floor roof structure on five of the nine proposed townhouse units. However, the roof structure change was previously approved in an Administrative Relief letter dated July 20, 2006.

The following drawings, prepared by Kathryn Quinn Architects, June 2, 2006, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A000 Title Sheet
- A001 General Information
- A002 Site Plan
- A100 Foundation Plan
- A110 Floor Plans
- A120 Floor Plans
- A125 Floor Plans
- A135 Floor Plans
- A140 Floor Plans
- A145 Floor Plans
- A200 Exterior Elevations
- A201 Partial Exterior Elevations
- A220 Building Sections
- A221 Building Sections
- A222 Building Sections
- A230 Building Sections

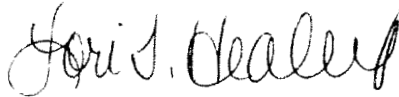


- A240 Building Sections
- A241 Building Sections
- A300 Stair Details
- A500 Wall Sections
- A510 Partition Types and Details
- A520 Exterior Details
- A521 Exterior Details
- A530 Window/Door Details
- A531 Window/Door Details
- A600 Millwork Details

With regard to your request, the Department of Planning and Development has determined that this substitution of building materials does not create an adverse impact on the Planned Development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897, Sub-Area 1, Building B6.

Sincerely,



Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, Pat Haynes, DPD files



City of Chicago
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Department of Planning
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Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

January 31, 2007

Ms. Kathryn Quinn, AIA
Kathryn Quinn Architects, Ltd.
363 W. Erie Street
Chicago, Illinois 60610-6907

**Re: Administrative Relief request for Residential-Business Planned
Development No. 897, Building A2, 3510-3524 S. Dearborn Street**

Dear Ms. Quinn:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to substitute new architectural drawings for those previously approved. The new drawings replace the utility face brick on the side and rear building elevations with hollow clay load bearing brick comparable to Interstate Atlas Brick. Additionally, the 4th floor roof structure on three of the seven proposed townhouse units has been omitted. The units without roof access will be provided with unit-specific sprinkler systems.

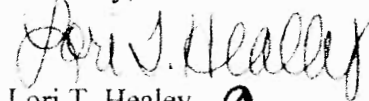
The following attachments, prepared by Kathryn Quinn Architects and dated January 12, 2007, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A002 Park Boulevard, A2 Townhouses, Site Plan
- A200 Park Boulevard, A2 Townhouses, Elevations, Details
- A201 Park Boulevard, A2 Townhouses, Elevations

With regard to your request, the Department of Planning and Development has determined that these changes: do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897.

Sincerely,


Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, Pat Haynes, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

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January 25, 2007

Mr. Frank Christopher Lee, AIA
President
Johnson & Lee Architects/Planners
828 South Wabash Avenue
Suite 210
Chicago, IL 60605

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Building F1-2, 43 W. 36th Street**

Dear Mr. Lee:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Building F1-2, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to use utility brick on the north, south, east and west exterior faces. A previous Administrative Relief was granted on December 13, 2006, which addressed the elimination of the metal roof, metal louver intake vents, ground level metal panel system, curtain glass system and metal balcony railings.

The following drawings, prepared by Johnson & Lee Architects, January 17, 2007, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A001 Building F1-2 Index
- SP101 Building F1-2 Site Plan
- A201 Building F1-2 Elevations
- A202 Building F1-2 Elevations

With regard to your request, the Department of Planning and Development has determined that this material substitution does not create an adverse impact on the Planned development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897, Sub-Area 1, Building F1-2.

Sincerely,

Lori T. Healey
Commissioner *sk*

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, Pat Haynes, DPD files





January 25, 2007

Mr. Frank Christopher Lee, AIA
President
Johnson & Lee Architects/Planners
828 South Wabash Avenue
Suite 210
Chicago, IL 60605

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Building G2, 3604-3608 S. State Street**

Dear Mr. Lee:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Building F1-2, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested the following changes:

- Eliminate Renaissance Stone at the building base and replace with utility brick.
- Eliminate the metal panel system at the bay areas and replace with masonry infill.
- Eliminate the masonry return at the top of the front elevation as shown in detail 2/A405 and replace with a continuous wall.
- Eliminate the false roofs and extend the masonry walls on the east, north and south elevations higher than the roof line to create parapet walls.
- Eliminate the cast stone headers on the north, south and west elevations and replace with brick course headers on the north and south elevations. There will be no masonry headers on the west elevations.
- Eliminate cast-in-place balconies and replace with steel framed, wood deck balconies.
- Eliminate masonry above the 2nd floor balconies and replace with standing-seam canopies.
- Use utility brick on the exterior face of the north, south, and west elevations.

The following drawings, prepared by Johnson & Lee Architects, January 17, 2007, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A001 Building G2 Index
- SP101 Building G2 Site Plan
- A201 Building G2 Elevations
- A202 Building G2 Elevations

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Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

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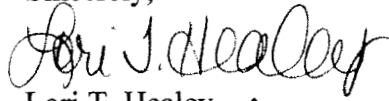
- A203
- A204

Building G2 Elevations
Building G2 Elevations

With regard to your request, the Department of Planning and Development has determined that these design revisions do not create an adverse impact on the Planned development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897, Sub-Area 1, Building G2.

Sincerely,



Lori T. Healey
Commissioner



LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, Pat Haynes, DPD files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
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<http://www.cityofchicago.org>

January 25, 2007

Mr. Frank Christopher Lee, AIA
President
Johnson & Lee Architects/Planners
828 South Wabash Avenue
Suite 210
Chicago, IL 60605

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Building G1-1, 17 W. 36th Street**

Dear Mr. Lee:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Building F1-2, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to use utility brick on the north, south, east and west exterior faces. A previous Administrative Relief was granted on December 13, 2006, which addressed the elimination of the: metal roofing, metal louver intake vents, ground level metal panel system, curtain glass hopper and casement window system and metal balcony railings.

The following drawings, prepared by Johnson & Lee Architects, January 17, 2007, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A001 Building G1-1 Index
- SP101 Building G1-1 Site Plan
- A201 Building G1-1 Elevations
- A202 Building G1-1 Elevations

With regard to your request, the Department of Planning and Development has determined that this material substitution does not create an adverse impact on the Planned development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897, Sub-Area 1, Building G1-1.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, Pat Haynes, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
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<http://www.cityofchicago.org>

December 13, 2006

Mr. Frank Christopher Lee, AIA
Johnson & Lee Architects/Planners
828 South Wabash Avenue
Suite 210
Chicago, Illinois 60605

**Re: Administrative Relief request for Residential-Business Planned Development
No. 897, Sub-Area 1, Park Boulevard, Building G1-1, 17 W. 36th Street**

Dear Mr. Lee:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to substitute new architectural drawings for those previously approved with the following changes:

- Elimination of the metal roofing and the extension of the masonry walls higher than the roof line to create parapet walls with metal coping attached.
- Elimination of all metal louver intake vents with fixed metal panels at ground level and replace with fixed frosted glass windows.
- Elimination of the metal panel system at ground level and replace with masonry infill.
- Elimination of the glass curtain system with hopper and casement windows and replace with single-hung aluminum windows.
- Elimination of metal bar rails at all balconies and replace with metal bar rails with perforated metal screen.

The following attachments, prepared by Johnson & Lee, Ltd. and dated November 20, 2006, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A100 Building G1-1 Index
- SP101 Building G1-1 Site Plan
- A201 Building G1-1 Elevations
- A202 Building G1-1 Elevations

With regard to your request, the Department of Planning and Development has determined that these changes: do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD files

NEIGHBORHOODS





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

December 13, 2006

Mr. Frank Christopher Lee, AIA
Johnson & Lee Architects/Planners
828 South Wabash Avenue
Suite 210
Chicago, Illinois 60605

**Re: Administrative Relief request for Residential-Business Planned Development
No. 897, Sub-Area 1, Park Boulevard, Building F1-2, 43 W. 36th Street**

Dear Mr. Lee:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to substitute new architectural drawings for those previously approved with the following changes:

- Elimination of the metal roofing and the extension of the masonry walls higher than the roof line to create parapet walls with metal coping attached.
- Elimination of all metal louver intake vents with fixed metal panels at ground level and replace with fixed frosted glass windows.
- Elimination of the metal panel system at ground level and replace with masonry infill.
- Elimination of the glass curtain system with hopper and casement windows and replace with single-hung aluminum windows.
- Elimination of metal bar rails at all balconies and replace with metal bar rails with perforated metal screen.

The following attachments, prepared by Johnson & Lee, Ltd. and dated November 20, 2006, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A100 Building F1-2 Index
- SP101 Building F1-2 Site Plan
- A201 Building F1-2 Elevations
- A202 Building F1-2 Elevations

With regard to your request, the Department of Planning and Development has determined that these changes: do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD files





October 25, 2006

Mr. Steve Ryniewicz
FitzGerald Associates Architects
912 W. Lake Street
Chicago, IL 60607-1707

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Buildings E1 and E2, located at 3536-3548 S. Federal Street and 3550-3560 S. Federal Street**

Dear Mr. Ryniewicz:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings E1 and E2, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested the following change:

- **Substitute hollow clay load bearing brick in place of utility face brick on the side and rear building elevations of Buildings E1 and E2. The front elevations that face Federal Street remain face brick.**

The following attachments (prepared by FitzGerald Associates Architects, September 13, 2006) shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A3.1 Building Elevations
- A3.2 Building Elevations
- A3.3 Building Elevations

With regard to your request, the Department of Planning and Development has reviewed the request and has determined that the proposed change to the building's design would not alter the character or appearance of the buildings, and would not create an adverse impact on the Planned Development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the proposed changes to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings E1 and E2 but no other changes to Residential-Business Planned Development No. 897.

Sincerely,

Lori T. Healey
Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD files

City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

July 20, 2006

Ms. Ramona Westbrook
Brook Architecture Inc.
330 South Wells Street
Suite 1022
Chicago, IL 60606

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C1 And C4, located at 3541 and 3559 S. Federal Street**

Dear Ms. Westbrook:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C1 and C4, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested the following changes:

- **Elimination of canopies over the two grade entries.**
- **Reconfiguration of the curved-shaped canopy over the center entry door as a horizontal- shaped canopy.**
- **Substitution of Harvard Brik in place of modular brick on all elevations of Buildings C1 and C4.**

With regard to your request, the Department of Planning and Development has determined that the elimination of the canopies over the two grade entries and the reconfiguration of the center entry door canopy does not create an adverse impact on the Planned Development or surrounding neighborhood and would constitute a minor change.

However, in regards to your third request, the replacement of modular brick with Harvard Brik on all building elevations, the Department of Planning and Development has determined that this change would significantly alter the character and appearance of the buildings.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the elimination of the canopies over the two grade entries and the reconfiguration of the center entry door canopy, and I hereby deny the replacement of modular brick with Harvard Brik to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C1 and C4.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Judy Minor Jackson, Mike Marmo, DPD files





City of Chicago
Richard M. Daley, Mayor

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and Development

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121 North LaSalle Street
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(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

July 20, 2006

Mr. Steve Ryniewicz
Fitzgerald Associates Architects
912 W. Lake Street
Chicago, IL 60607-1707

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Buildings:**
C5 (43 W. 35th Place and 3540 S. Dearborn Street)
C12 (44 W. 36th Street and 3558 S. Dearborn Street)
D1 (17 W. 35th Place and 3539 S. Dearborn Street)
D8 (16 W. 36th Street and 3557 S. Dearborn Street)

Dear Mr. Ryniewicz:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C5, C12, D1 and D8, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.


Specifically, you requested the following change:

- **Substitute single wythe Harvard Brik in place of Utility Face Brick on the side and rear building elevations of Buildings C5, C12, D1 and D8.**

With regard to your request, the Department of Planning and Development has reviewed the request and has determined that the proposed change to the building's design would significantly alter the character and appearance of the buildings.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby deny the proposed changes to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C5, C12, D1 and D8.

Sincerely,

Lori T. Healey 
Commissioner

LTH:MRD:tm

cc: Judy Minor Jackson, Mike Marmo, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

October 18, 2006

Mr. Steve Ryniewicz
FitzGerald Associates Architects
912 W. Lake Street
Chicago, IL 60607-1707

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C2 and C3, located at 3547-49 S. Federal Street and 3551-3553 S. Federal Street**

Dear Mr. Ryniewicz:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C2 and C3, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested the following change:

- **Substitute Atlas Brick in place of Utility Face Brick on the side and rear building elevations of Buildings C2 and C3. The front elevation that faces Federal Street remains face brick.**

The following attachments (prepared by FitzGerald Associates Architects, August 25, 2006) shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A3.1 C2 Building Elevations
- A3.1 C3 Building Elevations

With regard to your request, the Department of Planning and Development has reviewed the request and has determined that the proposed change to the building's design would not alter the character or appearance of the buildings, and would not create an adverse impact on the Planned Development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the proposed changes to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C2 and C3 but no other changes to Residential-Business Planned Development No. 897.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD files





October 18, 2006

Mr. Steve Ryniewicz
FitzGerald Associates Architects
912 W. Lake Street
Chicago, IL 60607-1707

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Buildings A3 and B5, located at 3526-30 S. Dearborn Street and 3527-31 S. Dearborn Street**

Dear Mr. Ryniewicz:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings A3 and B5, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested the following change:

- **Substitute Atlas Brick in place of Utility Face Brick on the side and rear building elevations of Buildings A3 and B5. The front elevations that face Dearborn Street and 35th Place remain face brick.**

The following attachments (prepared by FitzGerald Associates Architects, August 25, 2006) shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A3.1 A3 Building Elevations
- A3.1 B5 Building Elevations

With regard to your request, the Department of Planning and Development has reviewed the request and has determined that the proposed change to the building's design would not alter the character or appearance of the buildings, and would not create an adverse impact on the Planned Development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the proposed changes to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings A3 and B5 but no other changes to Residential-Business Planned Development No. 897.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD files

City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>





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Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

July 20, 2006

Mr. John Ducar
Kathryn Quinn Architects, Ltd.
363 West Erie Street
Chicago, IL 60610-6907

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Building B6, located at 3509-25 S. Dearborn Street**

Dear Mr. Ducar:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Building B6, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested the following change:

- **Omit the 4th floor roof structure on five of the nine proposed townhouse units. The units without roof access will be provided with unit-specific sprinkler systems.**

The following drawings, prepared by Kathryn Quinn Architects, June 2, 2006, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II. However, no change or substitution of material on any of these drawings is permitted.

- A000 Title Sheet
- A001 General Information
- A002 Site Plan
- A100 Foundation Plan
- A110 Floor Plans
- A120 Floor Plans
- A125 Floor Plans
- A135 Floor Plans
- A140 Floor Plans
- A145 Floor Plans
- A200 Exterior Elevations
- A201 Partial Exterior Elevations
- A220 Building Sections
- A221 Building Sections
- A222 Building Sections
- A230 Building Sections





City of Chicago
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and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

September 11, 2006

Mr. Peter Landon
Landon Bone Baker Architects
314 West Institute Place
Chicago, IL 60610

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Building B-4 located at 10, 12, 16 and 18 West 35th Place**

Dear Mr. Landon:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Building B-4, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested the following changes:

- **Eliminate the exterior sunshades on the south elevation**
- **Incorporate deletion of bay at east wall**
- **Revise the masonry size and composition to that of Interstate Atlas Brick**
- **Alter the bay size slightly**
- **Add front door canopies**
- **Eliminate roof penthouses and roof decks**
- **Reduce building height by lowering parapet walls**
- **Modify massing and site coverage (one massing instead of two separated by exterior stair)**

With regard to your request, the Department of Planning and Development has reviewed the request and has determined that the proposed changes to the building's design do not create an adverse impact on the Planned Development and would constitute a minor change. The following drawings (prepared by Landon Bone Baker Architects, August 21, 2006) shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

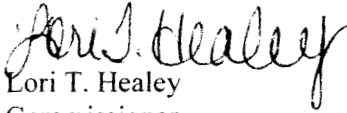
- A0.1 Cover Sheet
- A2.1 Floor Plans, Wall Types
- A2.2 Floor Plans, Schedules
- A2.3 Foundation Plan, Enlarged Bay Plans
- A3.1 Exterior Elevations
- A3.2 Exterior Elevations
- A4.1 Building Sections
- A4.2 Building Sections, Ext. Stair Sections
- A4.3 Wall Sections, Plan Sections
- A4.4 Exterior Details
- A4.5 Exterior Details
- A9.1 Interior Elevations and Details

NEIGHBORHOODS



Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor changes, but no other changes to Residential-Business Planned Development No. 897, Sub-Area 1, Building B-4 located at 10, 12, 16 and 18 West 35th Place.

Sincerely,


Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Judy Minor Jackson, Mike Marmo, DPD files



October 25, 2006

Mr. Steve Ryniewicz
FitzGerald Associates Architects
912 W. Lake Street
Chicago, IL 60607-1707

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Buildings E1 and E2, located at 3536-3548 S. Federal Street and 3550-3560 S. Federal Street**

Dear Mr. Ryniewicz:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings E1 and E2, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested the following change:

- **Substitute hollow clay load bearing brick in place of utility face brick on the side and rear building elevations of Buildings E1 and E2. The front elevations that face Federal Street remain face brick.**

The following attachments (prepared by FitzGerald Associates Architects, September 13, 2006) shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A3.1 Building Elevations
- A3.2 Building Elevations
- A3.3 Building Elevations

With regard to your request, the Department of Planning and Development has reviewed the request and has determined that the proposed change to the building's design would not alter the character or appearance of the buildings, and would not create an adverse impact on the Planned Development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the proposed changes to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings E1 and E2 but no other changes to Residential-Business Planned Development No. 897.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Judy Minor Jackson, Mike Marmo, DPD files

City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

July 10, 2006

Mr. Joakim Backstrom
Kathryn Quinn Architects, Ltd.
363 W. Erie Street
Chicago, Illinois 60610-6907

Re: Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Park Boulevard B-1 Building located at 17 W. 35th Street

Dear Mr. Backstrom:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested to substitute new architectural drawings for those previously approved for the Park Boulevard B-1 Building located in Sub-Area 1 at 17 W. 35th Street. The new drawings eliminate planters from the north and west elevations and provide for an architectural element at the 10 foot to 14 foot levels on the north elevation. There are no other proposed changes to the building.

The following attachments, prepared by Kathryn Quinn Architects and dated June 28, 2006, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

- A100 First Floor Dimension Plan
- A101 First Floor Plan
- A103 Roof Plan
- A200 Exterior Elevations
- A201 Exterior Elevations
- A202 Building Sections
- A203 Building Sections
- A301 Stair Plan & Details
- A500 Wall Sections
- A503 Curtainwall Details
- A506 Exterior Details

(All of the following structural drawings are dated June 27, 2006)

- SO.1 General Structural Notes
- S2.1 Foundation Plan
- S2.2 Second, Third & Fourth Floor Framing Plans
- S2.3 Roof and High Roof Framing Plan
- S4.1 Schedules

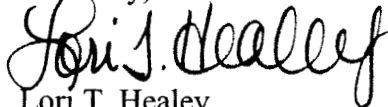


- S5.2 Foundation Sections & Details
- S6.1 Masonry Sections & Details
- S7.1 Sections & Details
- S7.2 Sections & Details
- S7.3 Sections & Details
- S7.4 Sections & Details

With regard to your request, the Department of Planning and Development has determined that these changes: do not create an adverse impact on the Planned Development or surrounding neighborhood, do not result in an increase in the bulk or density, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897.

Sincerely,



Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Judy Minor Jackson, Mike Marmo, DPD files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

July 24, 2006

Mr. Pete Landon
Landon Bone Baker Architects
314 West Institute Place
Chicago, IL 60610

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Building B-4 located at 10, 12, 16 and 18 West 35th Place**

Dear Mr. Landon:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Building B-4, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

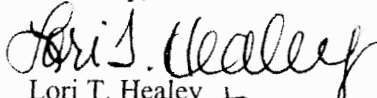

Specifically, you requested the following changes:

- **Eliminate the exterior sunshades on the south elevation**
- **Incorporate deletion of bay at east wall**
- **Revise the masonry size and composition**
- **Alter the bay size**
- **Add front door canopies**
- **Eliminate roof penthouses and roof decks**
- **Reduce building height by lowering parapet walls**
- **Modify massing and site coverage**

With regard to your request, the Department of Planning and Development has reviewed the request and has determined that the proposed changes to the building's design would significantly alter the character and appearance of the building.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby deny the proposed changes to Residential-Business Planned Development No. 897.

Sincerely,


Lori T. Healey
Commissioner 

LTH:MRD:tm
cc: Judy Minor Jackson, Mike Marmo, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

July 20, 2006

Mr. Steve Ryniewicz
Fitzgerald Associates Architects
912 W. Lake Street
Chicago, IL 60607-1707

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C2 and C3, located at 3547-49 S. Federal Street and 3551-3553 S. Federal Street**

Dear Mr. Ryniewicz:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C2 and C3, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested the following change:

- **Substitute vinyl siding in place of Utility Face Brick on the side and rear building elevations of Buildings C2 and C3.**

With regard to your request, the Department of Planning and Development has reviewed the request and has determined that the proposed change to the building's design would significantly alter the character and appearance of the buildings.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby deny the proposed changes to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C2 and C3.

Sincerely,

Lori T. Healey
Lori T. Healey
Commissioner

LTH:MRD:tm
cc: Judy Minor Jackson, Mike Marmo, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

July 20, 2006

Mr. Steve Ryniewicz
Fitzgerald Associates Architects
912 W. Lake Street
Chicago, IL 60607-1707

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Buildings A3 and B5, located at 3526-30 S. Dearborn Street and 3527-31 S. Dearborn Street**

Dear Mr. Ryniewicz:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings A3 and B5, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

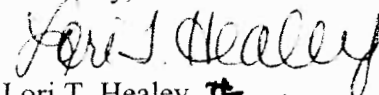
Specifically, you requested the following change:

- **Substitute single wythe Harvard Brik in place of Utility Face Brick on the side and rear building elevations of Buildings A3 and B5.**

With regard to your request, the Department of Planning and Development has reviewed the request and has determined that the proposed change to the building's design would significantly alter the character and appearance of the buildings.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby deny the proposed changes to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings A3 and B5.

Sincerely,


Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Judy Minor Jackson, Mike Marmo, DPD files





- A240 Building Sections
- A241 Building Sections
- A300 Stair Details
- A500 Wall Sections
- A510 Partition Types and Details
- A520 Exterior Details
- A521 Exterior Details
- A530 Window/Door Details
- A531 Window/Door Details
- A600 Millwork Details

With regard to your request, the Department of Planning and Development has determined that this change does not create an adverse impact on the Planned development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897, Sub-Area 1, Building B6.

Sincerely,



Lori T. Healey 
Commissioner

LTH:MRD:tm

cc: Judy Minor Jackson, Mike Marmo, DPD files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

July 20, 2006

Mr. John Ducar
Kathryn Quinn Architects, Ltd.
363 West Erie Street
Chicago, IL 60610-6907

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Building B6, located at 3509-25 S. Dearborn Street**

Dear Mr. Ducar:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Building B6, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested the following change:

- **Omit the 4th floor roof structure on five of the nine proposed townhouse units. The units without roof access will be provided with unit-specific sprinkler systems.**

The following drawings, prepared by Kathryn Quinn Architects, June 2, 2006, shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II. However, no change or substitution of material on any of these drawings is permitted.

- A000 Title Sheet
- A001 General Information
- A002 Site Plan
- A100 Foundation Plan
- A110 Floor Plans
- A120 Floor Plans
- A125 Floor Plans
- A135 Floor Plans
- A140 Floor Plans
- A145 Floor Plans
- A200 Exterior Elevations
- A201 Partial Exterior Elevations
- A220 Building Sections
- A221 Building Sections
- A222 Building Sections
- A230 Building Sections




- A240 Building Sections
- A241 Building Sections
- A300 Stair Details
- A500 Wall Sections
- A510 Partition Types and Details
- A520 Exterior Details
- A521 Exterior Details
- A530 Window/Door Details
- A531 Window/Door Details
- A600 Millwork Details

With regard to your request, the Department of Planning and Development has determined that this change does not create an adverse impact on the Planned development or surrounding neighborhood and would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other changes to Residential-Business Planned Development No. 897, Sub-Area 1, Building B6.

Sincerely,



Lori T. Healey 
Commissioner

LTH:MRD:tm

cc: Judy Minor Jackson, Mike Marmo, DPD files



September 20, 2006

City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

Ms. RaMona Westbrook, AIA
Brook Architecture Inc.,
330 South Wells, Suite 1022
Chicago, Illinois 60606

Re: Request for minor changes to Residential Planned Development No. 897, Subarea 1 - (Park Boulevard - Blocks-C and D); 3541, 44, 45, 46, 47, 48, 51, 52, 53, 54, 55 & 56 South Dearborn Street

Dear Ms. Westbrook:

Please be advised that your request for minor changes to Residential Planned Development No. 897, Subarea 1, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 12 of Residential Planned Development No. 897.

Specifically, you are requesting a front yard setback reduction of three (3) feet, (from twelve (12) feet to a proposed nine (9) feet), for all twelve (12) proposed two-story, single-family homes; and rear yard setback reductions of one (1) foot (from thirty-four (34) feet to a proposed thirty-three (33) feet), for the six (6) C-Block homes, and (from fifty-three (53) feet to a proposed fifty-two (52) feet), for the six (6) D-Block homes. There will be no change to the side yard setbacks of these buildings. The Department of Planning and Development has determined that these proposed setback reductions will not create an adverse impact on this Planned Development and will be reflective of the architectural pattern or arrangement within this Planned Development and the surrounding area.

With regard to your request, the Department of Planning and Development has determined that these revisions to the Planned Development would constitute minor changes pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance, and Statement No. 12 of Residential Planned Development No. 897. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 897, I hereby approve the foregoing minor changes, but no other changes to Residential Planned Development No. 897, Subarea 1.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:mm

cc: DPD Files, Mike Marmo





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

September 11, 2006

Ms. RaMona Westbrook
Brook Architecture Inc.
330 South Wells Street
Suite 1022
Chicago, IL 60606

Re: **Administrative Relief request for Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C1 And C4, located at 3541 and 3559 S. Federal Street**

Dear Ms. Westbrook:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C1 and C4, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you requested the following changes:

- **Substitution of Interstate Atlas Brick in place of utility brick on all elevations of Buildings C1 and C4.**

With regard to your request, the Department of Planning and Development has determined that the substitution of Interstate Atlas Brick in place of utility brick on the building elevations would not significantly alter the character or appearance of the buildings and would constitute a minor change. The following drawings (prepared by Brook Architecture Inc., August 22, 2006) shall be substituted in place of the previously approved drawings and inserted into the main file in anticipation of Part II:

Building C1

- A3.1 Exterior Elevations, Feature Stone Details
- A3.5 Front Wall, Section and Details
- A3.6 Rear Wall Section, Side Wall Section
- A3.7 Wall Section and Detail

Building C4:

- A3.1 Exterior Elevations, Feature Stone Details
- A3.5 Front Wall, Section and Details
- A3.6 Rear Wall Section, Side Wall Section
- A3.7 Wall Section and Detail

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 897, I hereby approve the foregoing minor change, but no other change to Residential-Business Planned Development No. 897, Sub-Area 1, Buildings C1 and C4.

Sincerely,

Lori T. Healey
Commissioner

LTH:MRD:tm

cc: Judy Minor Jackson, Mike Marmo, DPD files



12/17/2003

REPORTS OF COMMITTEES

13962
16071

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Number 1-E.
(Application Number A-5288)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the following symbols and indications as shown on Map Number 1-E in the area described as follows:

from Business Planned Development Number 662 in the area bounded by:

East Ohio Street; a line 25.04 feet west of and parallel to North Wabash Avenue; the alley next south of and parallel to East Ohio Street; and a line 100.16 feet west of and parallel to North Wabash Avenue,

to those of a B7-6 General Central Business District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification Of Area Shown On Map Number 8-F.
(As Amended)

(Application Number 13962)

RBPD 897

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R5 General Residence District symbols and indications as shown on Map Number 8-F in the area bounded by:

West 35th Street; South State Street; West 38th Street; the alley next west of and parallel to South Dearborn Street; a line 497.26 feet north of and parallel to West 39th Street; South Dearborn Street; West Pershing Road; and the east line of the Chicago Rock Island and Pacific Railroad,

to those of a B4-4 Restricted Service District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the B4-4 Restricted Service District symbols and indications established in Section 1 above to the designation of a Residential-Business Planned Development which is hereby established in the area described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development Number 897

Plan Of Development Statements.

1. The area delineated herein as a Residential-Business Planned Development (the "Planned Development") consists of approximately one million eighty-seven thousand eight hundred ten (1,087,810) square feet (twenty-four and ninety seven hundredths (24.97) acres) of net site area¹, one million five hundred eighty-eight thousand five hundred thirty-

¹ The foregoing net site area numbers are exclusive of any areas within the Property that are not currently dedicated rights-of-way, but are intended to become dedicated rights-of-way in conjunction with this Planned Development.

four (1,588,534) square feet (thirty-six and forty seven hundredths (36.47) acres of gross site area) (the "Property") and is owned or controlled by the Stateway Associates, L.L.C., an Illinois limited liability company ("Applicant"); the Chicago Housing Authority and The Habitat Company as receiver for the Chicago Housing Authority; and the City of Chicago.

2. All applicable official review, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. The intended dedication and vacation of streets and alleys within the Property are identified on the Public Rights-of-Way Adjustment Plan. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation, subdivision or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees, completion of all applicable official reviews, approval by the City Council and the issuance of any required permits. In order to facilitate the development hereby approved, the City of Chicago agrees to undertake and complete construction of all improvements within the rights-of-way within the Property, curb to curb. The Applicant agrees to install parkway trees, sod and sidewalks in accordance with the City's Landscape Ordinance. The Applicant at its option may agree to install trees, sod and sidewalks in accordance with the Street Sections and Setback Plan attached hereto. The City of Chicago also agrees to undertake and complete installation of standard street lights adjacent to all rights-of-way within the Property; provided, however, that the Applicant, at its option, may elect to cause the installation of specialized City street lights within one or more rights-of-way within the Property, and in such event, the City shall provide Applicant with the funds equivalent to the City's cost of installing standard lights along such designated right-of-way.
3. The requirements, obligations and conditions contained in this Planned Development shall be binding upon the Applicant, its successors and assigns, and, if different than the Applicant, the owners or ground lessors of the Property or a portion thereof. All rights granted hereunder shall inure to the benefit of the foregoing parties. Furthermore, pursuant to the requirements of Section 11.1 1- 1 of the Chicago Zoning Ordinance, the Property shall be under single ownership or under single designated

control at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to the Planned Development are made. "Single designated control" for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by Stateway, its successors, assigns or designees. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligation therein.

4. This Plan of Development consists of these fifteen (15) statements; Bulk Regulations and the following documents prepared by Skidmore, Owings and Merrill L.L.P. dated October 16, 2003 (collectively, the "Plans"): Bulk Regulations and Data Table; an Existing Zoning Map; a Generalized Land-Use Plan; a Subarea I -- Generalized Land-Use Plan; an Open Space Plan; a Planned Development Boundary and Property Line Map; a Subarea Map; a Subarea I Planned Development Boundary and Proposed Blocks Plan; a Public Roadway Plan; a Right-of-Way Adjustment Plan; a Subarea I -- Public Rights-of-Way Adjustment Plan; Subarea I Site Plan; a Subarea I Dimensioned Development Blocks Plan; Subarea I -- Public Streets, Alley and Rights-of-Way Dimensions Map; a Subarea I Dimensioned Site Plan; Subarea I Street Elevations; Subarea I A1 Building Elevations; Subarea I A2 and B6 Buildings Elevations; Subarea I A3 and B5 Building Elevations; Subarea I B1 Building Elevations; Subarea I B2 Building Elevations; Subarea I B3 Building Elevations; Subarea I B4 Building Elevations; Subarea I C5, C12, D1 and D8 Buildings Elevations; Subarea I C2 and C3 Buildings Elevations; Subarea I E1-1 and E1-2 Building Elevations; Subarea I C6 -- C1 1 and D2 -- D7 Building Elevations; Subarea I D9, D10, D11 and G1-2 Building Elevations; Subarea I E1-3 and F1-1 Buildings Elevations; Subarea I G1-1 and F1-1 Buildings Elevations. Full-size sets of these plans are on file with the Department of Planning and Development. This Planned Development is applicable to the area delineated hereto and these and no other controls shall apply. This Plan of Development is in conformity with the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of the City of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The following uses shall be permitted within the area delineated herein as "Residential-Business Planned Development": single-family and multi-family residences; open space; passive and active recreational uses; educational institutions; day care centers; community centers, social services; transit stations; offices, including but not limited to medical and dental offices; retail; restaurants; off-street accessory parking; accessory uses; and other permitted uses allowed in the B4-4 Restricted Service District. Dwelling units and residential uses below the second (2nd) floor are expressly permitted. Retail uses are permitted only within the areas identified on the Generalized Land-Use Plan.
6. Project and business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs, shall be permitted, subject to the review and approval of the Department of Planning and Development.
7. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standard for Work in the public way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. A portion of the parking required to service Subarea I may be located in Subarea V in the area designated as parking easement area.
8. Height restrictions of any building or any appurtenance thereto, in addition to the Bulk Regulations and Data Table, shall be subject to height limitation as approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance in effect as of the date hereof shall apply; provided that, in addition to the other exclusions from floor area permitted for purposes of determining F.A.R. under the Chicago Zoning Ordinance, (a) floor area devoted to mechanical equipment that exceeds five thousand (5,000) square feet in any single location within the

building and all rooftop mechanical equipment shall be excluded, and (b) all parking provided anywhere on the Property shall be deemed accessory parking and shall be excluded from the calculation of floor area.

10. The improvements on the Property shall be designed, installed and maintained in substantial conformance with the Plans, and in accordance with parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. If provided, fencing shall be designed, installed and maintained in accordance with the applicable landscaping provisions of the Chicago Zoning Ordinance and shall be subject to the approval of the Department of Planning and Development. Provided that the Applicant has received public financing or other funding acceptable to Applicant in amounts sufficient to pay for the costs thereof, the Applicant agrees to construct, improve and maintain as public parks the open spaces identified on the Subarea I Generalized Land-Use Plan at the time of the issuance of the Certificate of Occupancy for the two hundredth (200th) dwelling unit within Subarea I. Subarea IV shall be a public park, and the Applicant shall have no obligation to design, improve, landscape or maintain same. Provided the Applicant improves the public open space identified on the Open Space Plan, then the square footage of the improved open space areas shall be applied towards the open space and the open space fee requirements for the development. The Applicant agrees to reserve a five thousand (5,000) square foot parcel within Subarea V of the Planned Development for a period of five (5) years after adoption of this Planned Development in order to permit Centers for New Horizons, Inc. to establish and construct a day care center. In the event that Centers for New Horizons, Inc. does not establish a day care center at the reserved site within said five (5) year period, then Applicant shall be relieved from any responsibility to include a day care center within this Planned Development.
11. Prior to the Department of Planning and Development issuing a determination pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance (a "Part II Approval") for development of any portion of the Property, a site plan for the proposed development of such portion shall be submitted to the Department of Planning and Development for Site Plan Approval. Site Plan Approval is intended to assure that the specific development proposals substantially conform with this Planned

Development and to assist the City in monitoring ongoing development. A Site Plan may be submitted for all or part of the Property. Such Site Plan need only include the area within the Property for which approval is being sought by the Applicant. No Part II Approval for such area shall be granted until an applicable Site Plan has been approved.

If a Site Plan substantially conforms with the provisions of this Planned Development, the Department of Planning and Development shall approve said Site Plan. Following approval of a Site Plan by the Department of Planning and Development, the Site Plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this Planned Development.

After approval of a Site Plan Approval or Part II Approval by the Department of Planning and Development concerning the Property or a portion thereof, the same may be changed or modified pursuant to the provisions of Statement Number 12 of this Planned Development. In the event of any inconsistency between an approved Site Plan and the terms of this Planned Development (including any amendments hereto that may be in effect at the time of such approval), the terms of this Planned Development (as the same may be so amended) shall govern.

A Site Plan shall, at a minimum, provide the following information with respect to the proposed improvements within the boundaries of the area to be developed:

- (a) building elevations;
- (b) footprint of the improvements;
- (c) preliminary landscaping plan;
- (d) pedestrian circulation;
- (e) preliminary cross-sections of the improvements; and
- (f) statistical information applicable to the area, including floor area and floor area ratio, numbers of dwelling units, uses to be established, building heights and setbacks.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this Planned Development.

The attached Plans constitute the Site Plan for Phase One of the Property and are hereby approved; provided, however, that Applicant still must submit and the Department of Planning and Development still must approve, prior to Part II Approval, architectural elevations for Phase One.

12. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Notwithstanding the provision of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes also may include a reduction in the minimum required distance between structures, a reduction in periphery setbacks and an increase of the maximum percent of land covered. In addition, minor changes may include reallocations of dwelling units or floor area between the designated Subareas.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner that promotes, enables and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to

access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.1 1-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.

15. Unless substantial construction of twenty percent (20%) of the maximum number of dwelling units permitted hereunder has commenced within six (6) years following adoption of this Planned Development, and unless completion thereof is thereafter diligently pursued, this Planned Development shall expire as to those Subareas in which less than twenty percent (20%) of the maximum number of dwelling units for such Subareas as set forth in the Bulk Regulations and Data Table has commenced. If this Planned Development expires under the provisions of this section, then the zoning of such Subareas shall automatically revert to the pre-existing R5 (General) Residence District. The six (6) year period may be extended for up to one (1) additional year if, prior to expiration, the Commissioner of the Department of Planning and Development determines that good cause for an extension is shown.

[Bulk Regulations and Data Table; Existing Zoning Map; Generalized Land-Use Plan; Open Space Plan; Planned Development Boundary and Property Line Map; Subarea Map; Planned Development Boundary and Proposed Blocks; Public Roadway Plan; Right-of-Way Adjustment Plan; Site Plan; Dimensioned Development Blocks; Public Streets, Alley and Right-of-Way Dimensions; Dimensioned Site Plan; Unit and Parking Distribution; Elevations Map; Street Elevations; Building Elevation Drawing; Street Section Map; Street Section Drawings; and Conceptual Landscape Plans referred to in these Plan of Development Statements printed on pages 16080 through 16133 of this Journal.]

16080

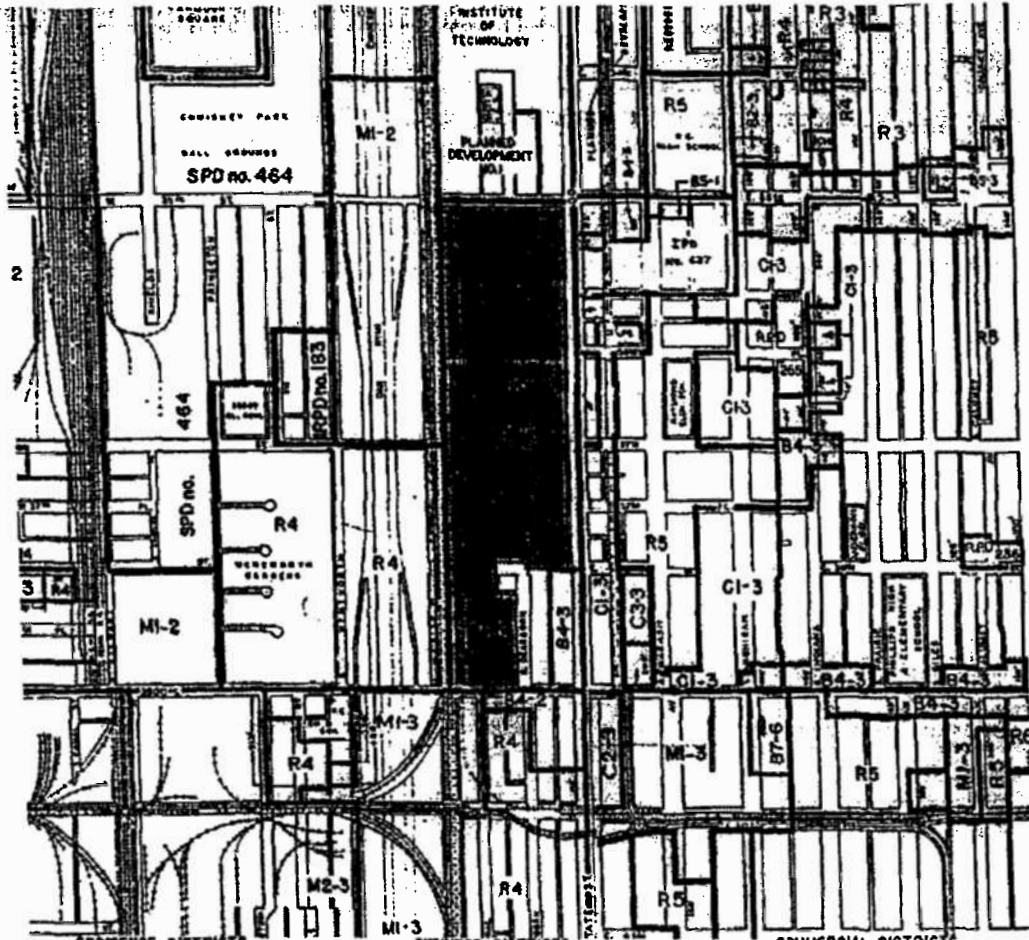
JOURNAL--CITY COUNCIL--CHICAGO

13962
12/17/2003

Bulk Regulations And Data Table.

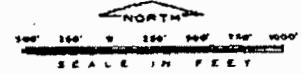
Sub-Area	Gross Site Area		Rights of Way Includes ROW To be Vacated		Net Site Area		Maximum F.A.R.	Maximum Dwelling Units
	Acres	Sq. Ft	Acres	Sq. Ft	Acres	Sq. Ft	(Net Site)	Total
Subarea I								
Sub-Total	10.69	466,692	3.90	169,775	6.79	296,917	2.00	340
Subarea II								
Sub-Total	8.64	376,273	2.87	125,014	5.77	251,259	1.75	350
Subarea III								
Sub-Total	10.99	478,576	3.44	149,664	7.55	328,912	1.50	380
Subarea IV								
Sub-Total	4.27	185,612	0.65	26,942	3.60	158,670	0.32	0
Subarea V								
Sub-Total	1.69	82,181	0.63	27,329	1.26	64,852	5.00	198
Grand Total	36.47	1,588,634	11.50	500,724	24.97	1,087,910	1.70	1,268

Existing Zoning Map.

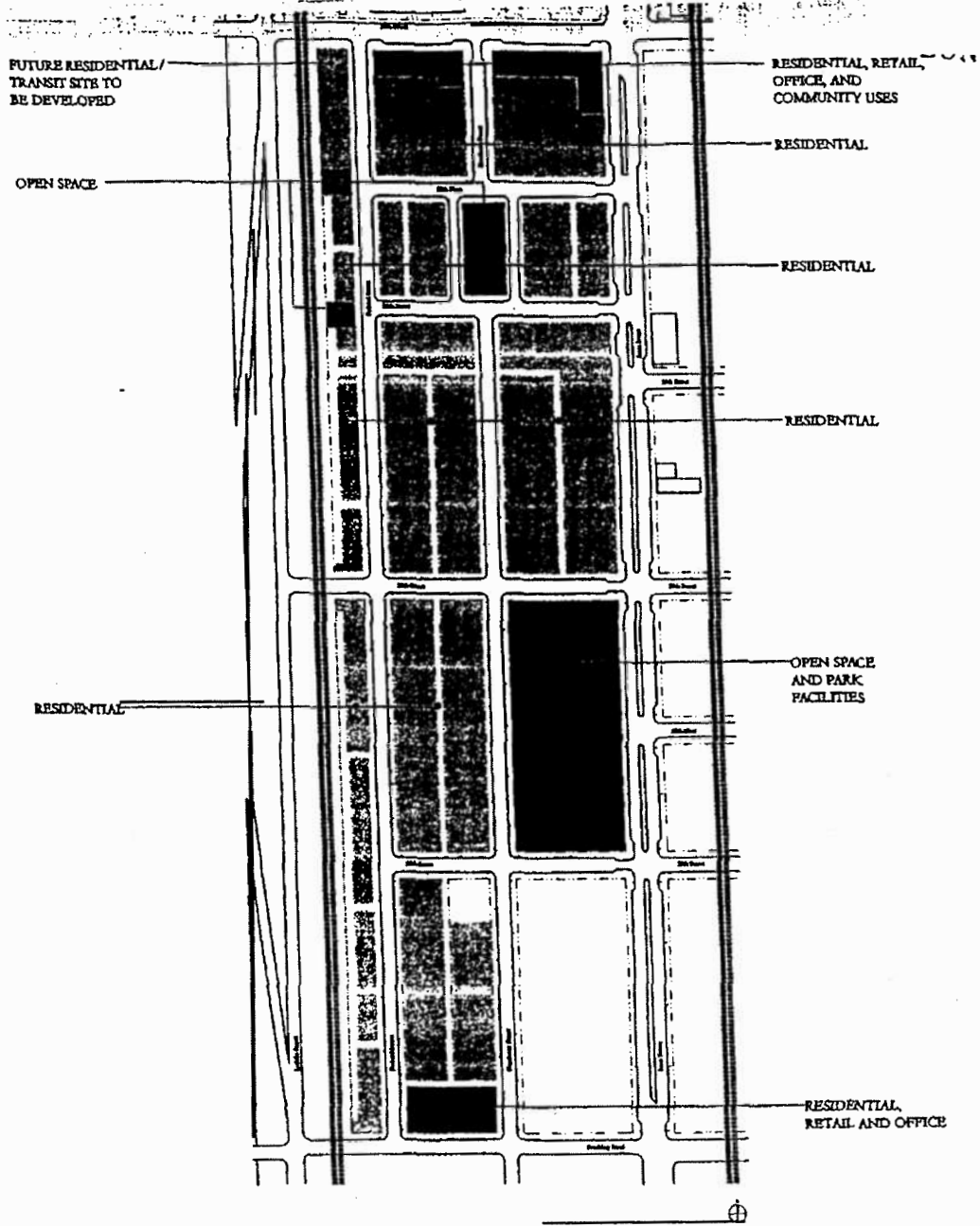


- | | | |
|-------------------------------------|---|---|
| RESIDENCE DISTRICTS | BUSINESS DISTRICTS | COMMERCIAL DISTRICTS |
| R1 SINGLE-FAMILY RESIDENCE DISTRICT | B1-1 TO B1-5 LOCAL RETAIL DISTRICTS | C1-1 TO C1-5 RESTRICTED COMMERCIAL DISTRICTS |
| R2 SINGLE-FAMILY RESIDENCE DISTRICT | B2-1 TO B2-5 RESTRICTED RETAIL DISTRICTS | C2-1 TO C2-5 GENERAL COMMERCIAL DISTRICTS |
| R3 GENERAL RESIDENCE DISTRICT | B3-1 TO B3-6 GENERAL RETAIL DISTRICTS | C3-5 TO C3-7 COMMERCIAL-MANUFACTURING DISTRICTS |
| R4 GENERAL RESIDENCE DISTRICT | B4-1 TO B4-5 RESTRICTED SERVICE DISTRICTS | C4 MOTOR FREIGHT TERMINAL DISTRICT |
| R5 GENERAL RESIDENCE DISTRICT | B5-1 TO B5-5 GENERAL SERVICE DISTRICTS | |
| R6 GENERAL RESIDENCE DISTRICT | B6-6 AND B6-7 RESTRICTED CENTRAL BUSINESS DISTRICTS | MANUFACTURING DISTRICTS |
| R7 GENERAL RESIDENCE DISTRICT | B7-5 TO B7-7 GENERAL CENTRAL BUSINESS DISTRICTS | M1-1 TO M1-5 RESTRICTED MANUFACTURING DISTRICTS |
| R8 GENERAL RESIDENCE DISTRICT | | M2-1 TO M2-5 GENERAL MANUFACTURING DISTRICTS |
| | | M3-1 TO M3-5 HEAVY MANUFACTURING DISTRICT |

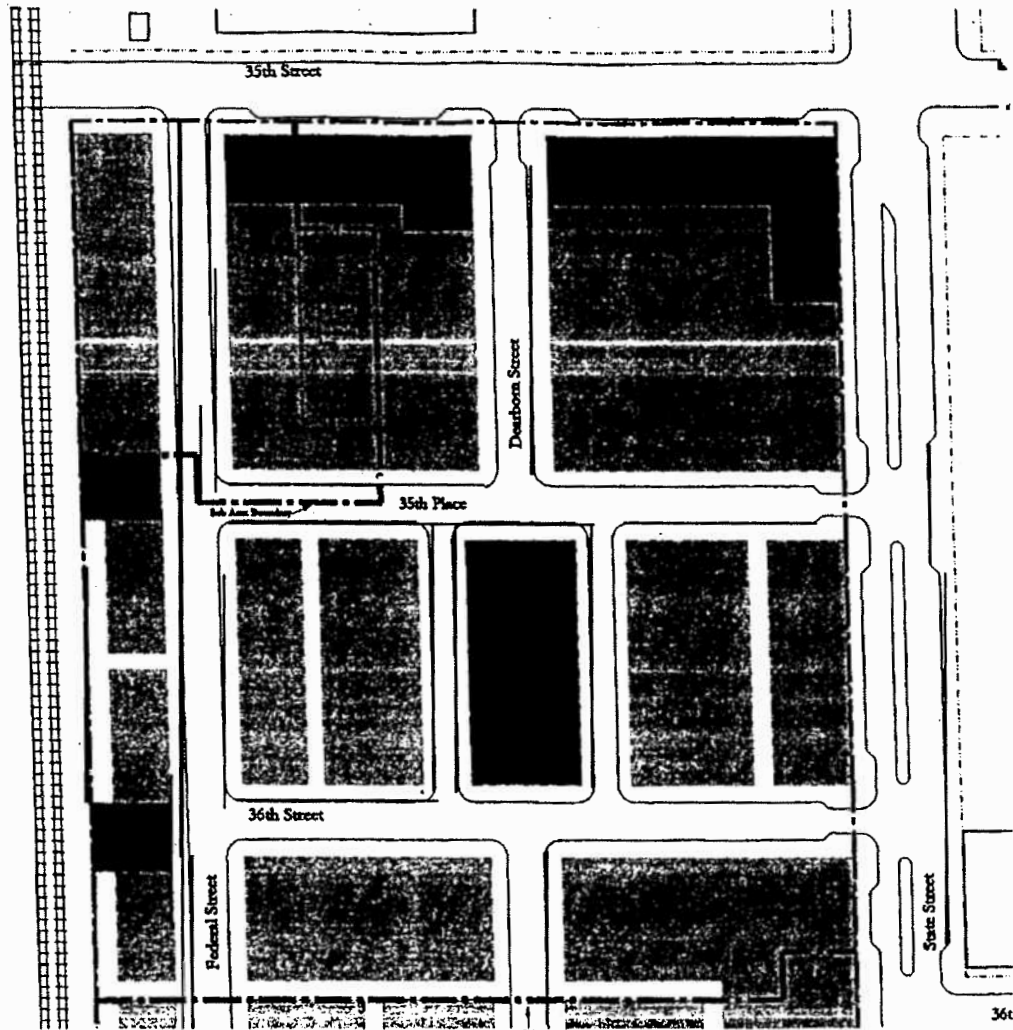
FOR USE AND BULK REGULATIONS, RESIDENCE DISTRICTS, SEE ARTICLE 7
 FOR USE AND BULK REGULATIONS, BUSINESS DISTRICTS, SEE ARTICLE 8.
 FOR USE AND BULK REGULATIONS, COMMERCIAL DISTRICTS, SEE ARTICLE 9.
 FOR USE AND BULK REGULATIONS, MANUFACTURING DISTRICTS, SEE ARTICLE 10.



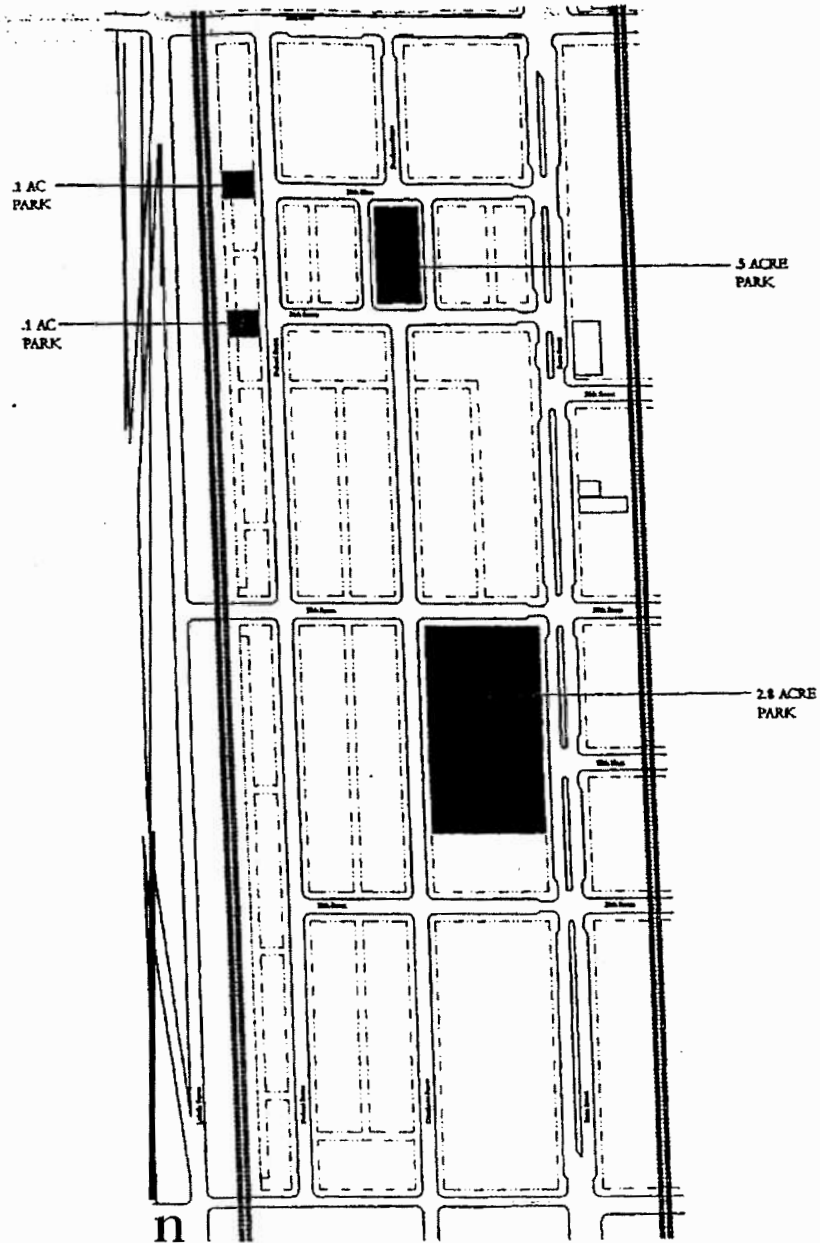
Generalized Land-Use Plan.



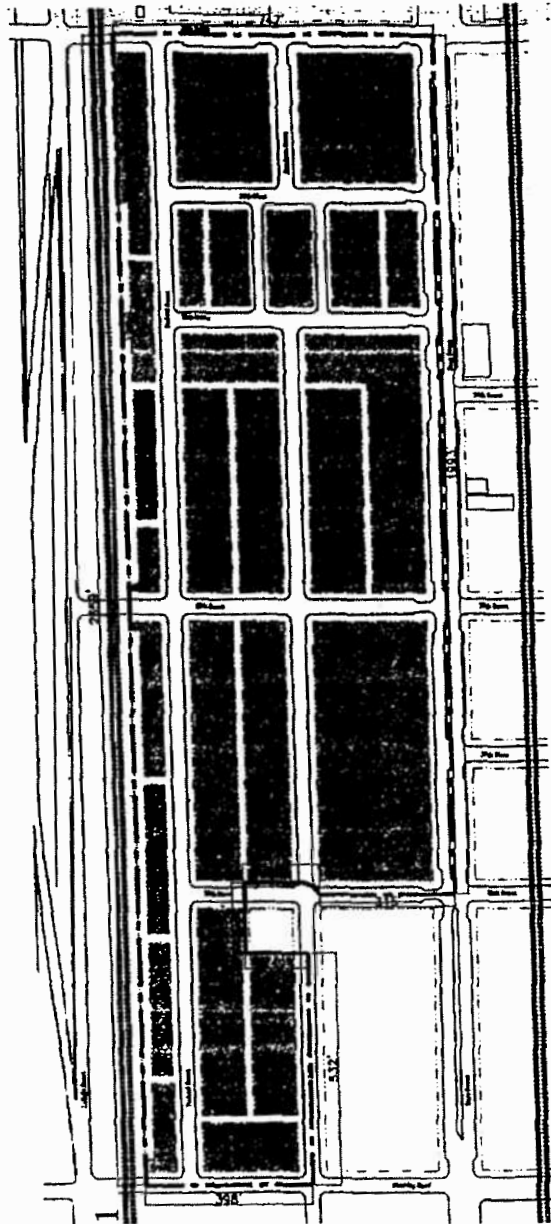
Subarea I -- Generalized Land-Use Plan.



Open Space Plan.



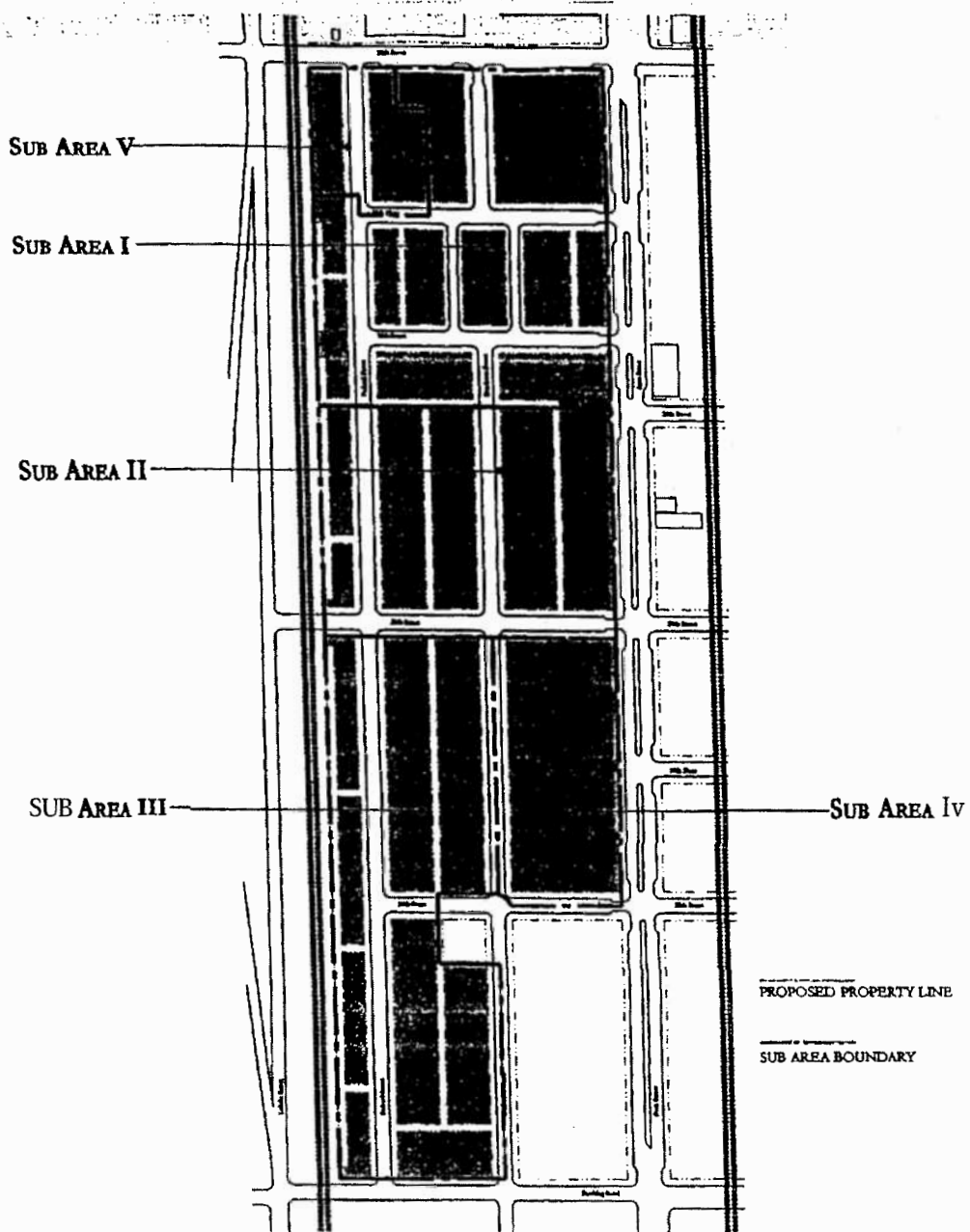
Planned Development Boundary And
Property Line Map.



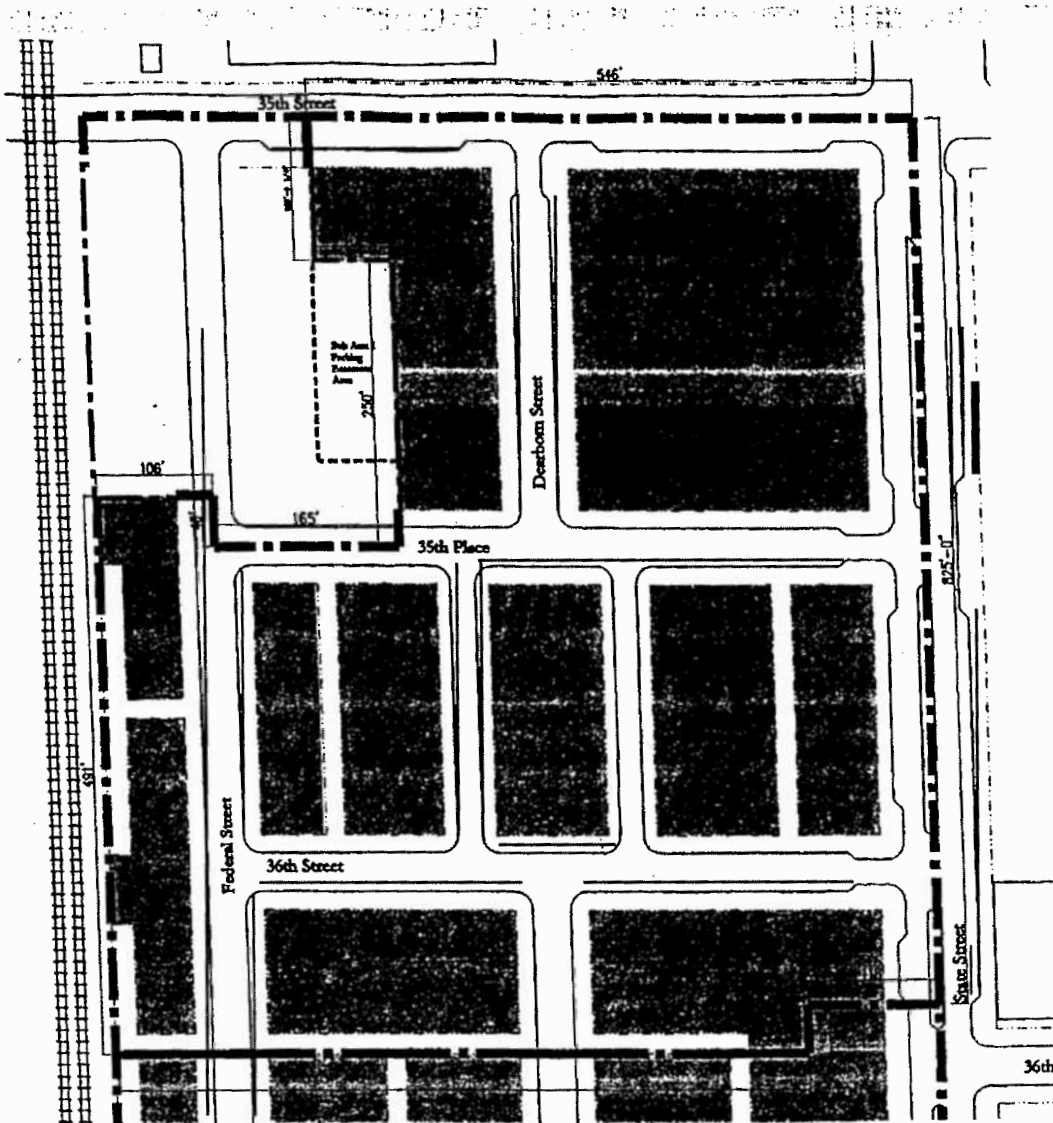
PROPOSED PROPERTY LINE

PD BOUNDARY

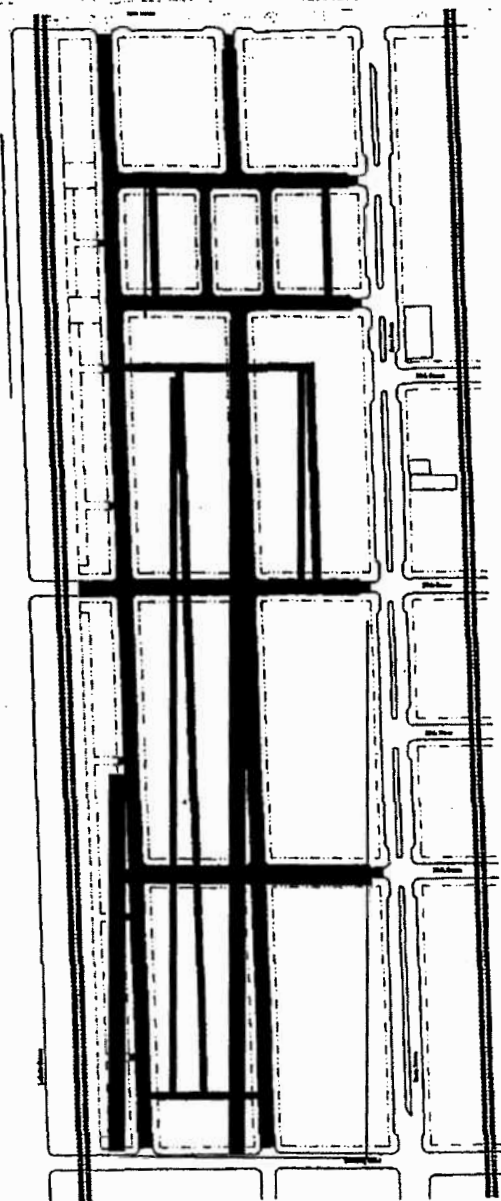
Subarea Map.



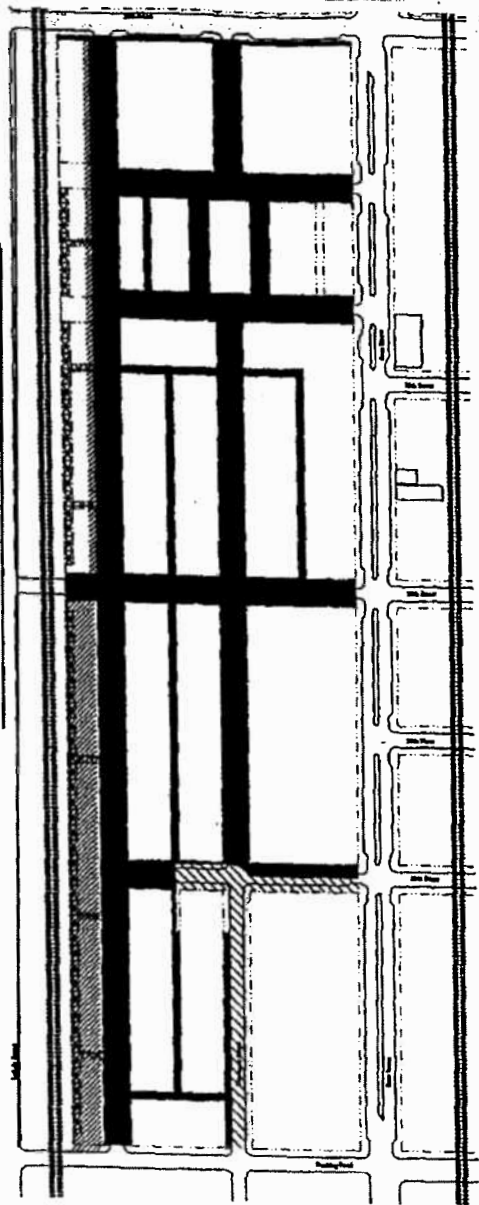
Subarea I -- Planned Development Boundary
And Proposed Blocks.



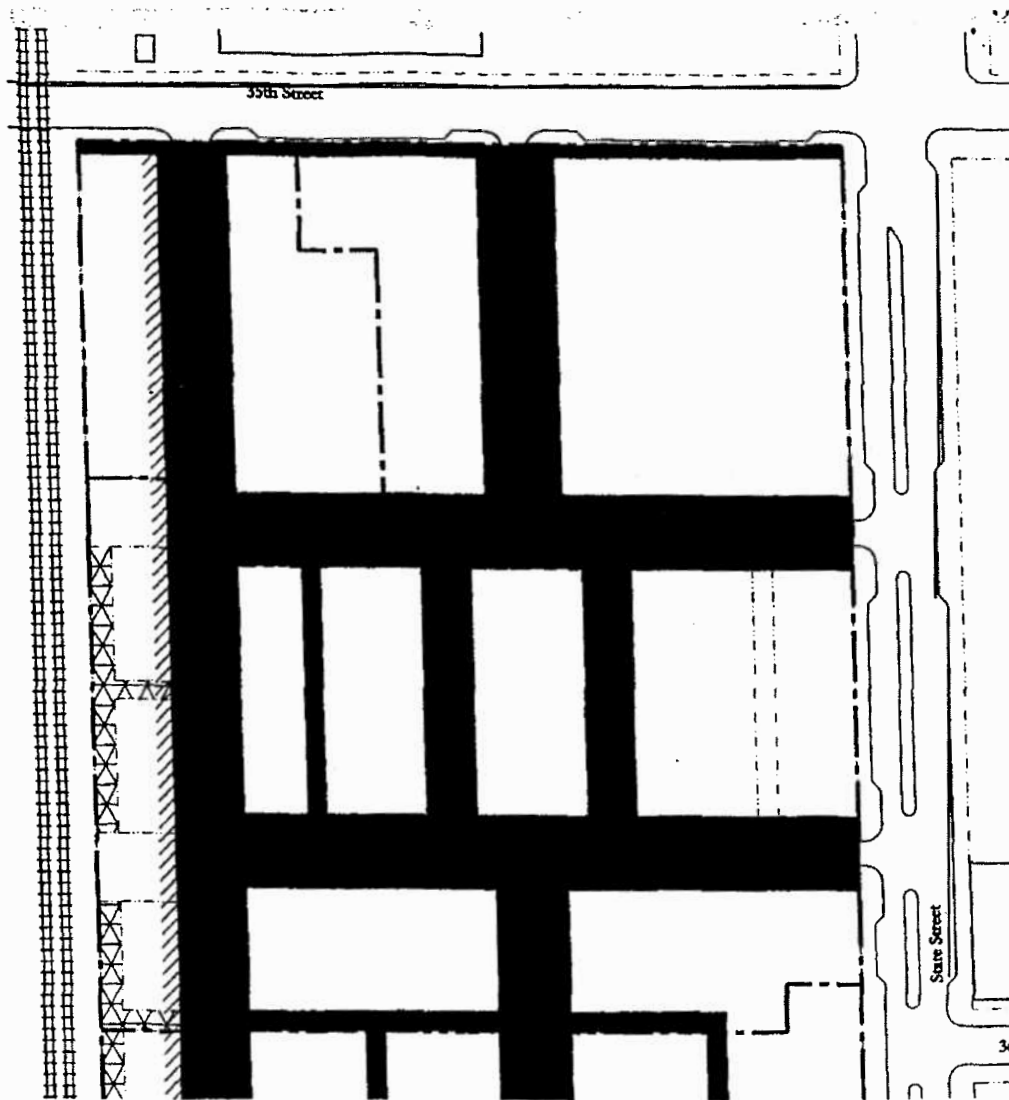
Public Roadway Plan.



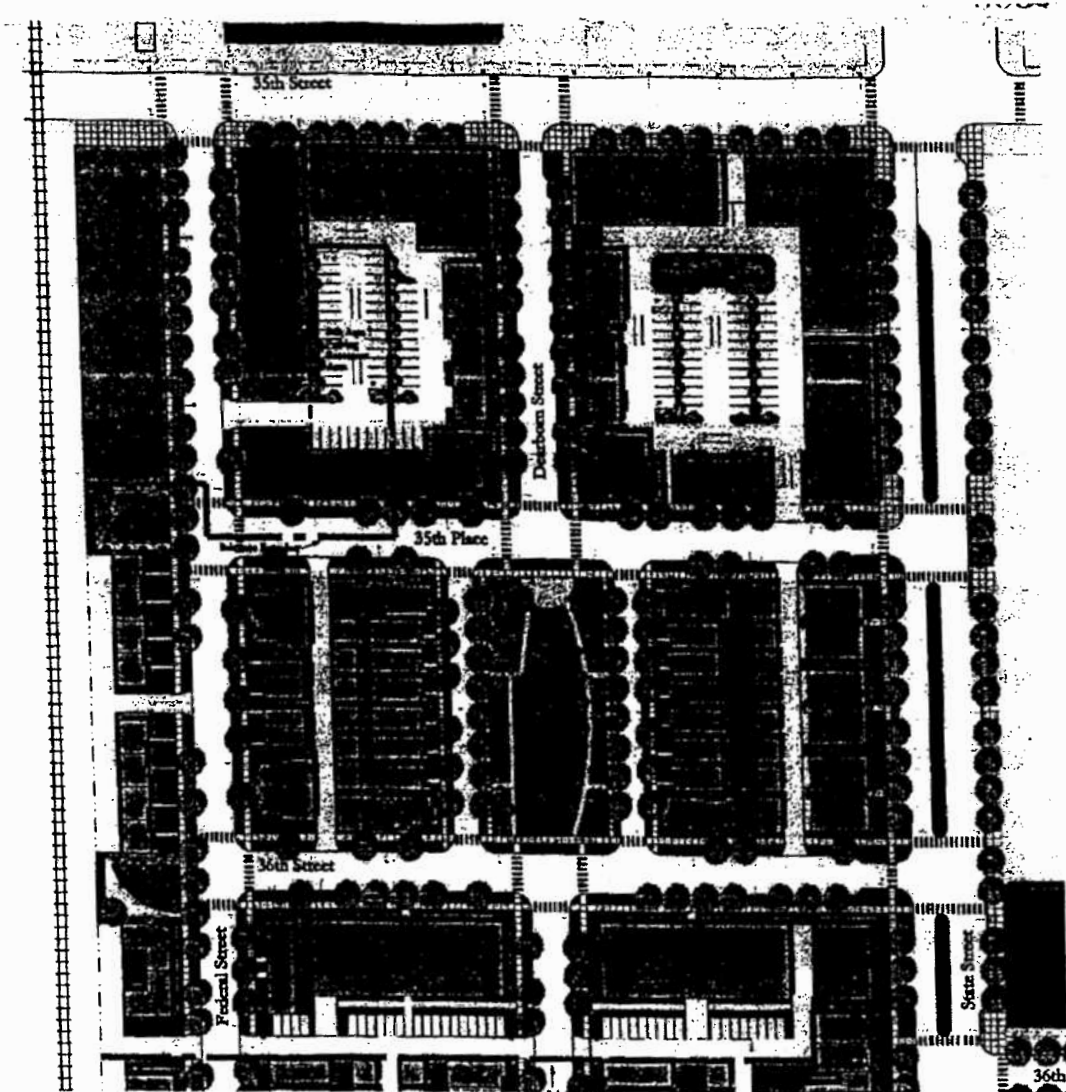
Right-Of-Way Adjustment Plan.



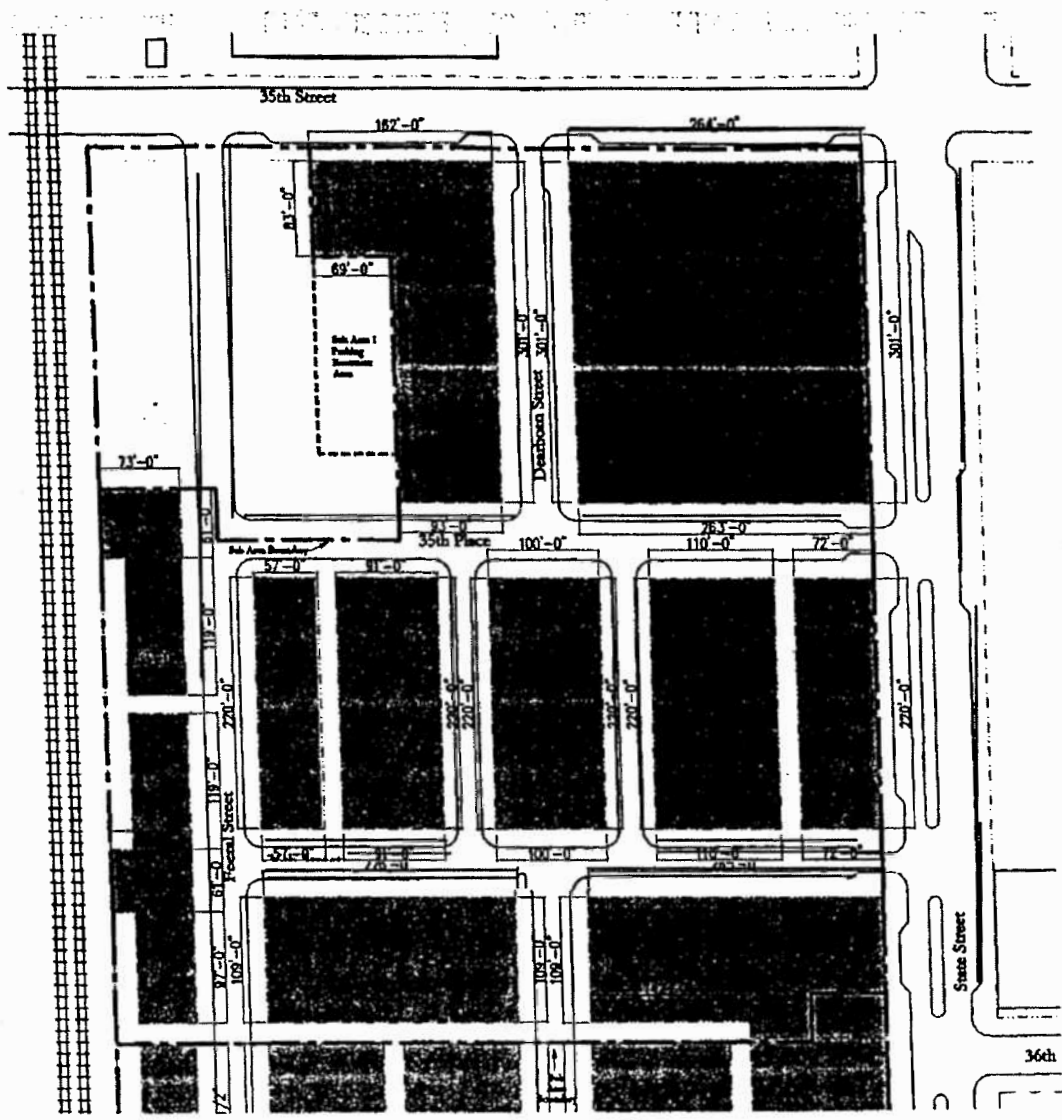
Subarea I -- Public Rights-Of-Way Adjustment.



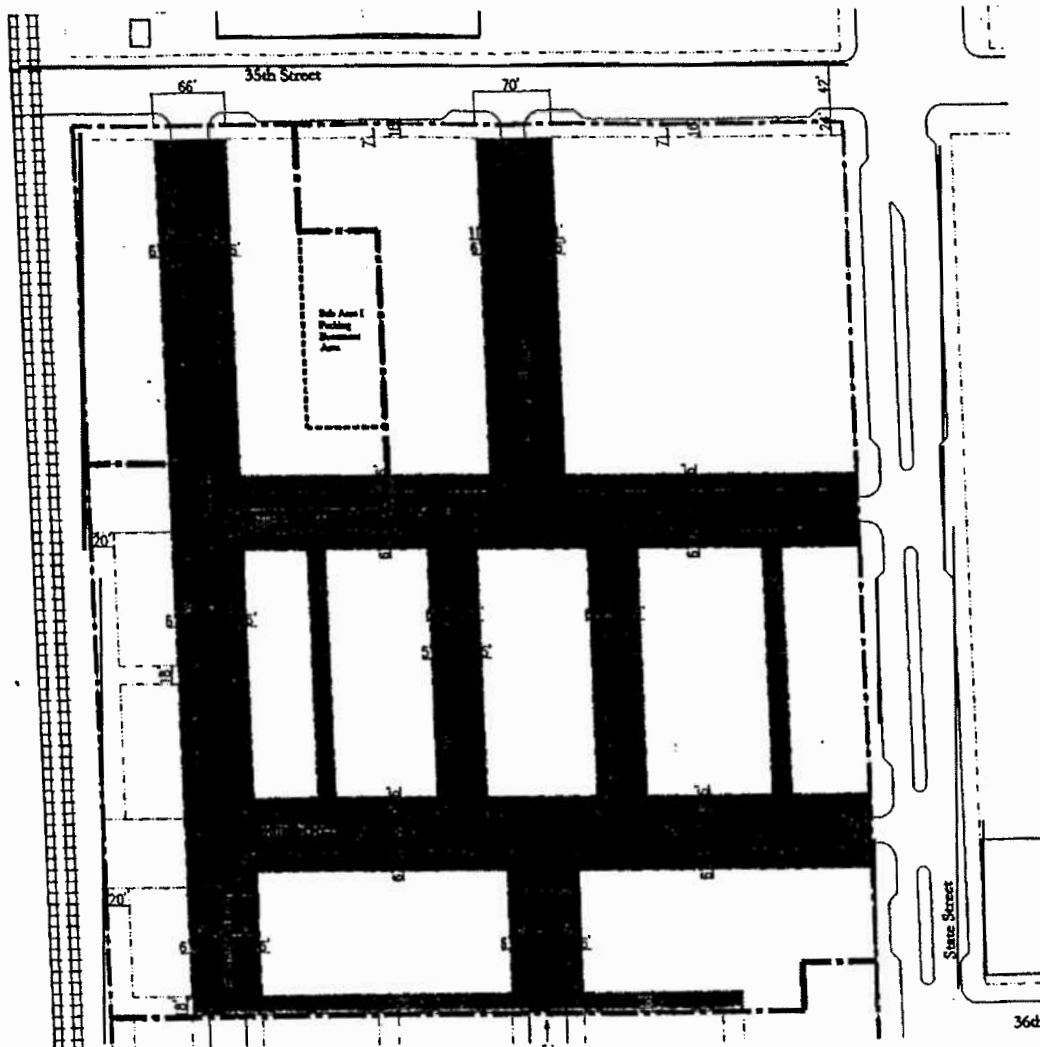
Subarea I -- Site Plan.



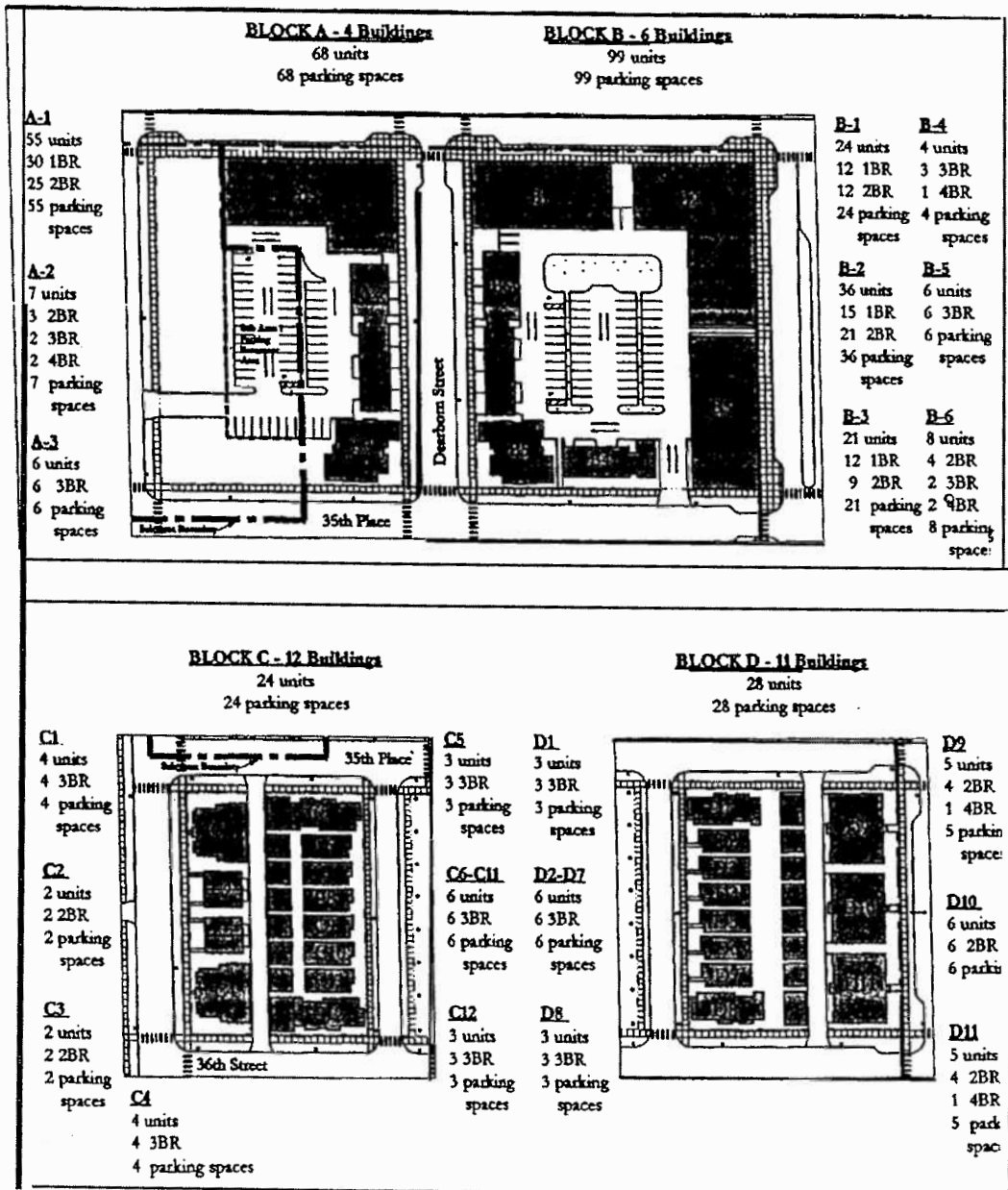
Subarea I -- Dimensioned Development Blocks.



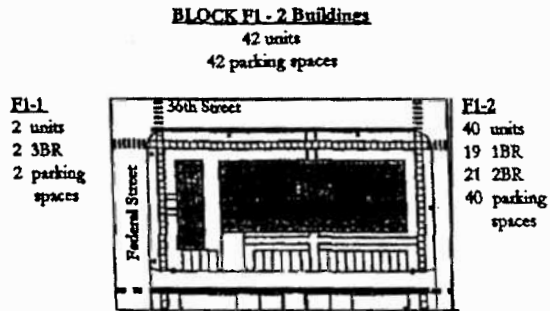
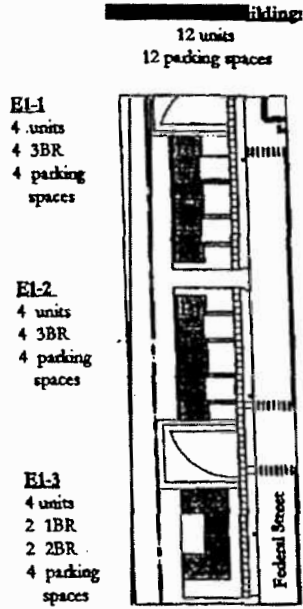
Subarea I -- Public Streets, Alley
And Rights-Of-Way Dimensions.



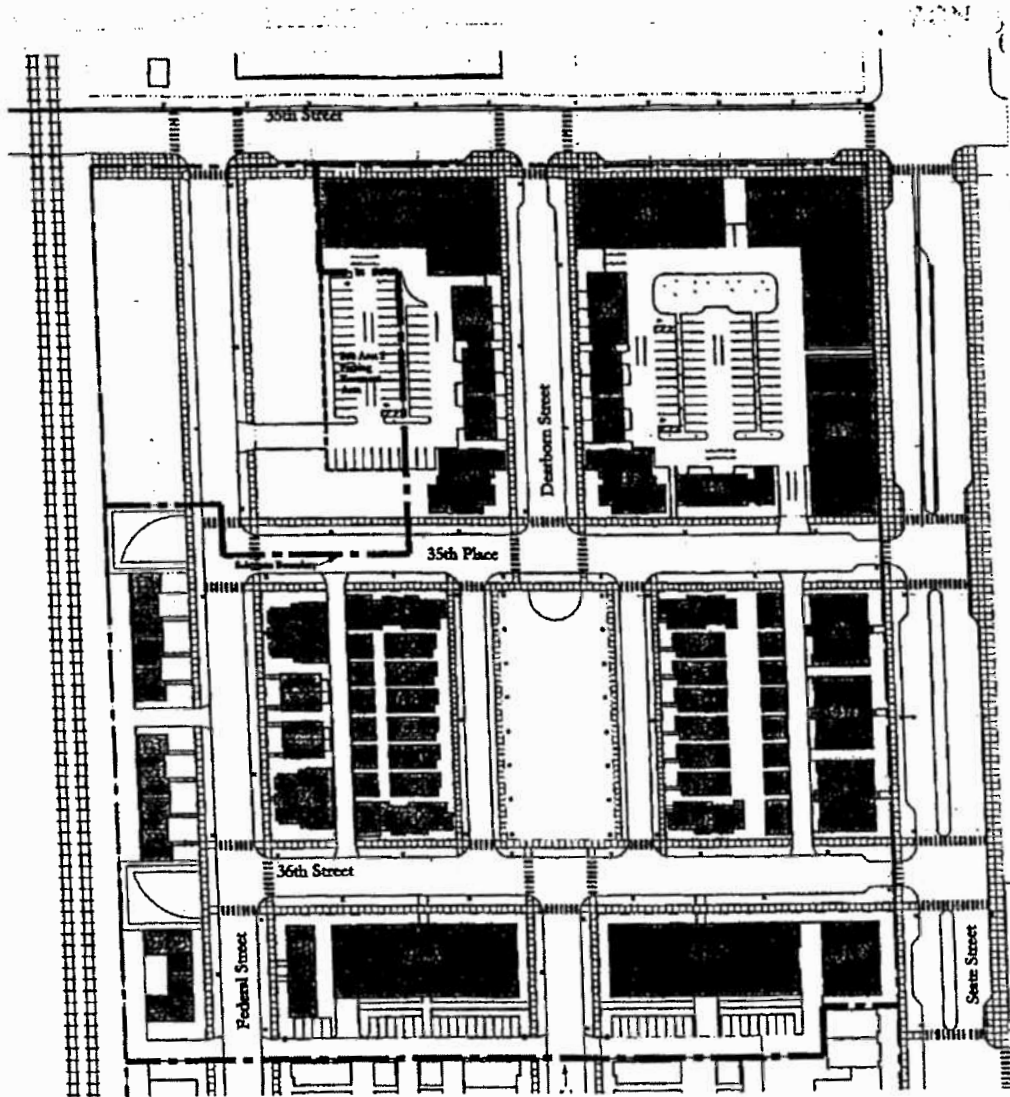
Unit And Parking Distribution.
(Page 1 of 2)



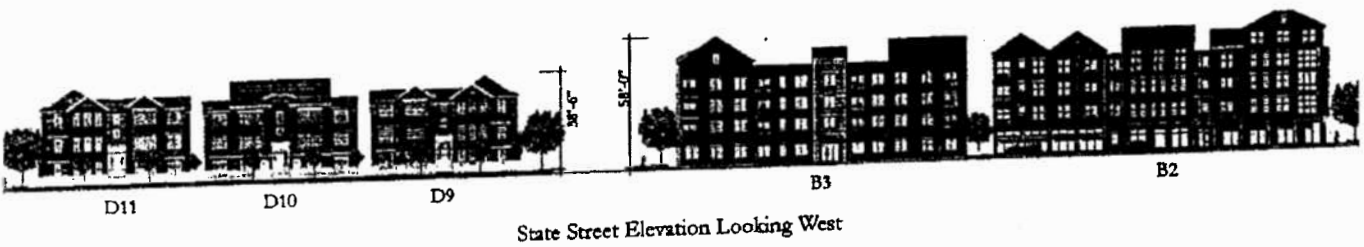
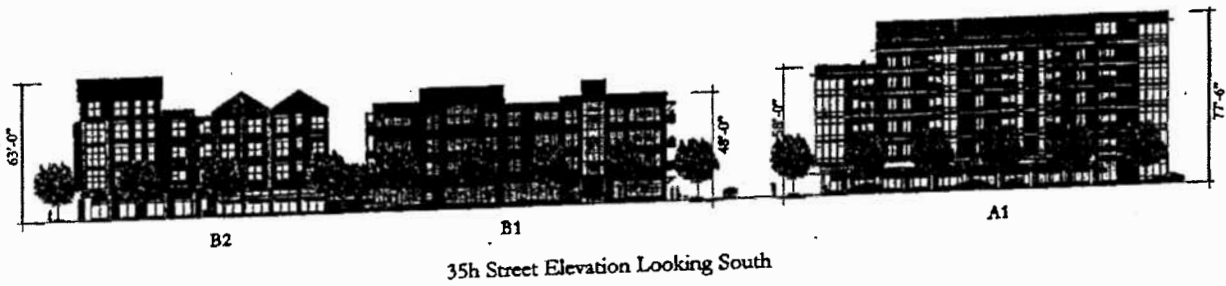
Unit And Parking Distribution.
(Page 2 of 2)



Elevations -- Key Map.



Subarea I -- Street Elevations.
(Page 1 of 4)

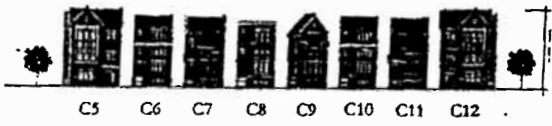


12/17/2003

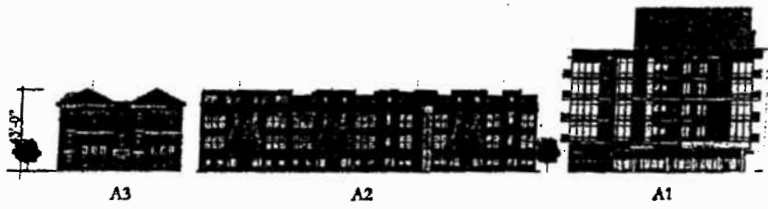
REPORTS OF COMMITTEES

16099

Subarea I -- Street Elevations.
(Page 2 of 4)



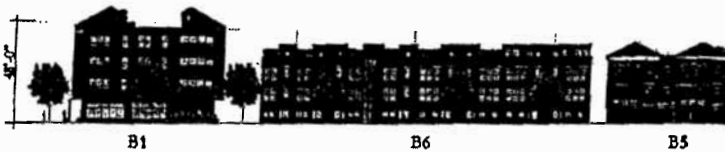
Dearborn Street Elevation at the Park



Dearborn Street Elevation Looking West

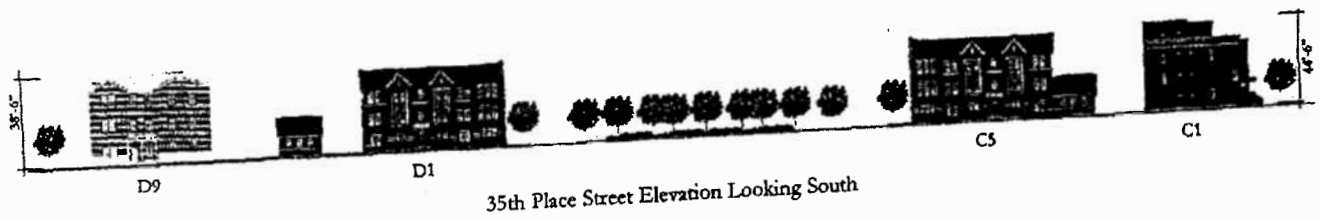
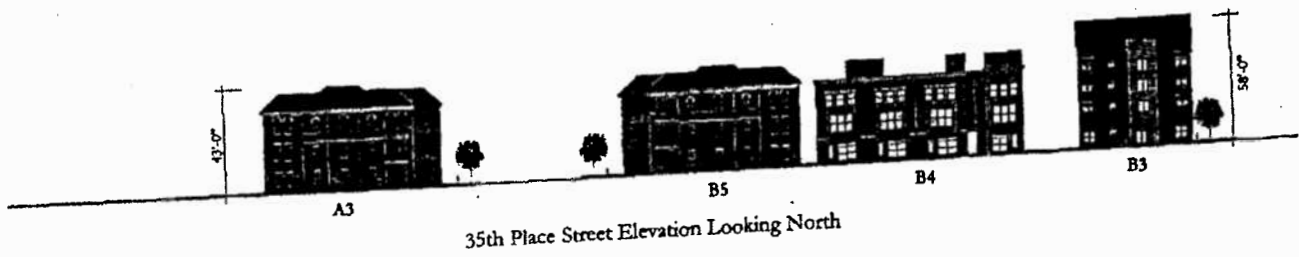


Federal Street Elevation Looking East



Dearborn Street Elevation Looking East

Subarea I -- Street Elevations.
(Page 3 of 4)



12/17/2003

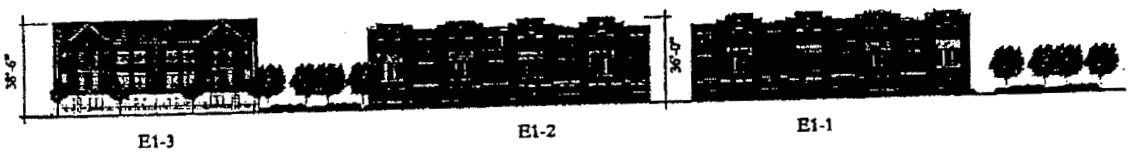
REPORTS OF COMMITTEES

16101

Subarea I -- Street Elevations.
(Page 4 of 4)

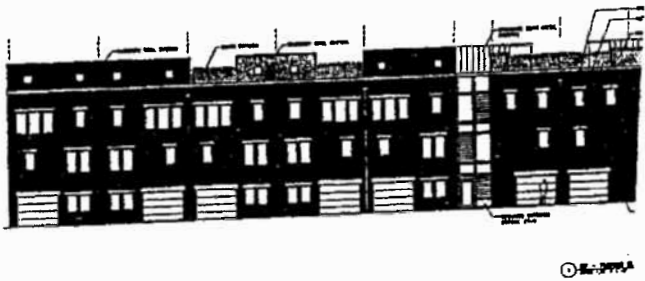
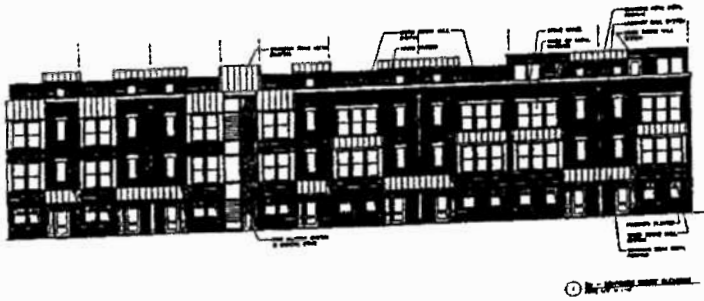


Street Elevations.



Federal Street Elevation Looking West

Subarea I -- A2 And B6 Buildings.



12/17/2003

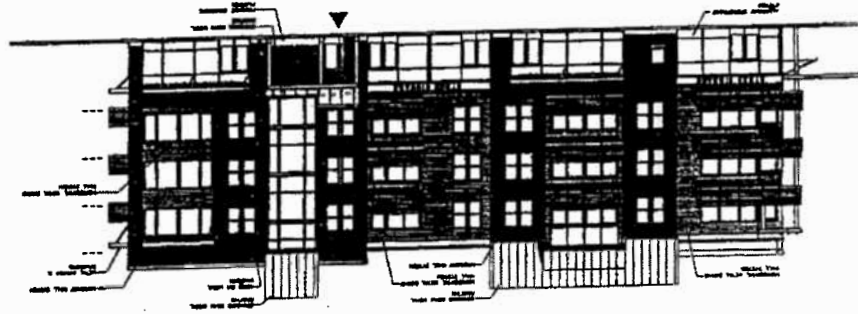
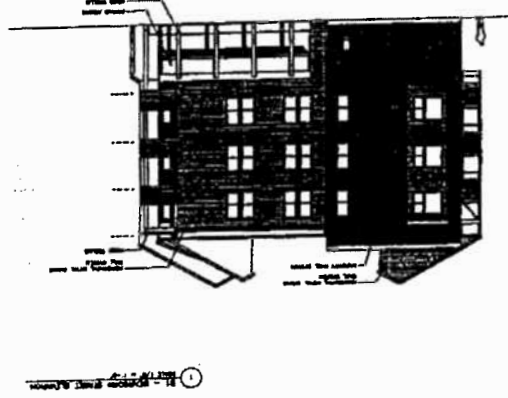
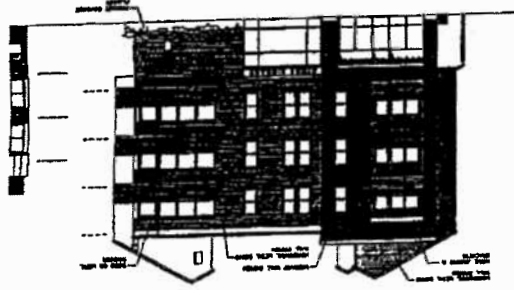
REPORTS OF COMMITTEES

16105

Subarea I -- A3 And B5 Buildings.



Subarea I -- B1 Building.

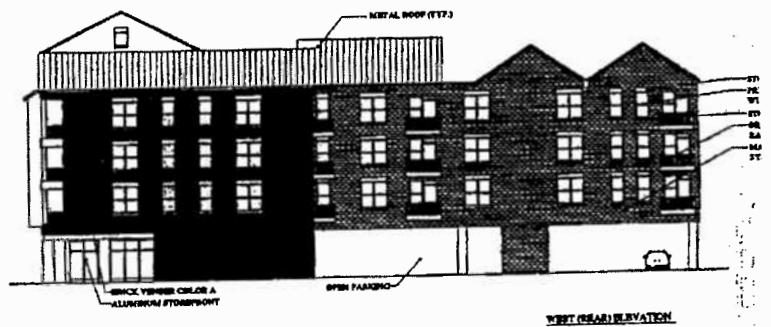


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REPORTS OF COMMITTEES

16107

Subarea -- B2 Building.

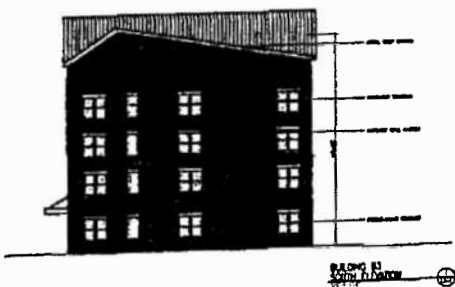
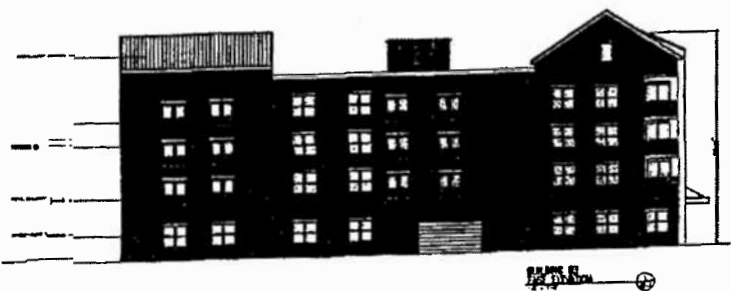
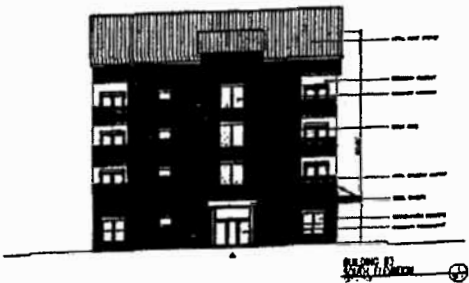


16108

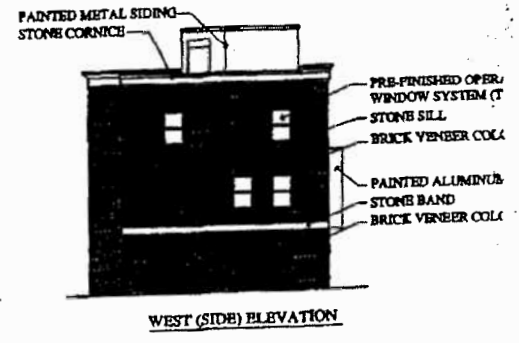
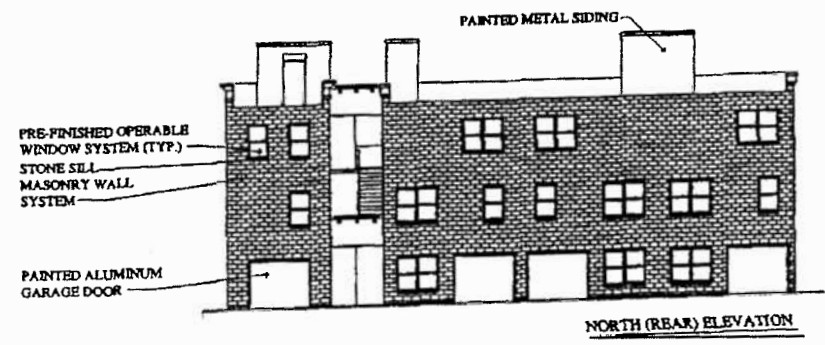
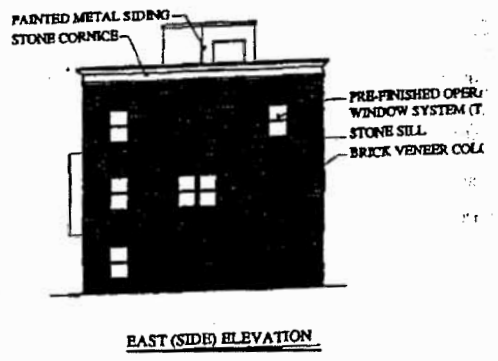
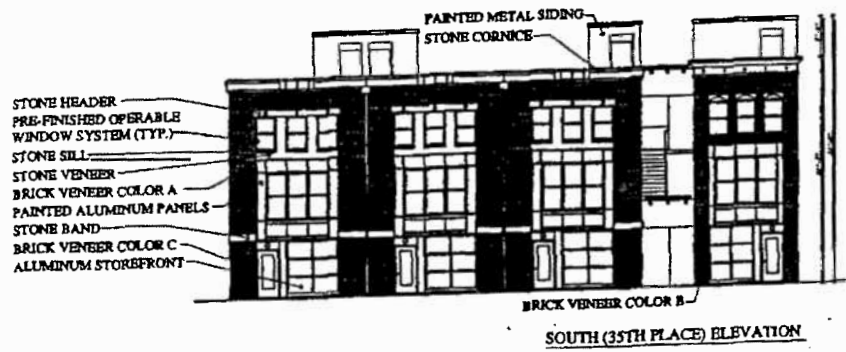
JOURNAL-CITY COUNCIL--CHICAGO

12/17/2003

Subarea I -- B3 Building.



Subarea I -- B4 Building.



Subarea I -- C5, C12, D1 And D8 Buildings.

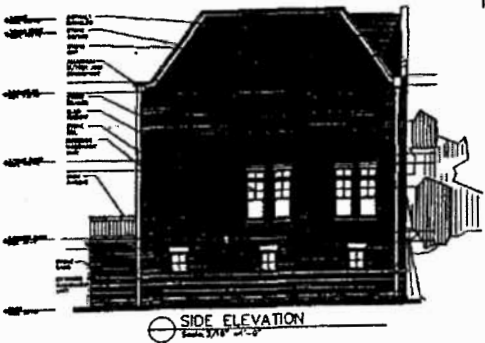
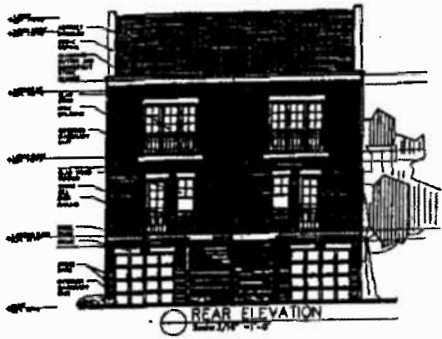
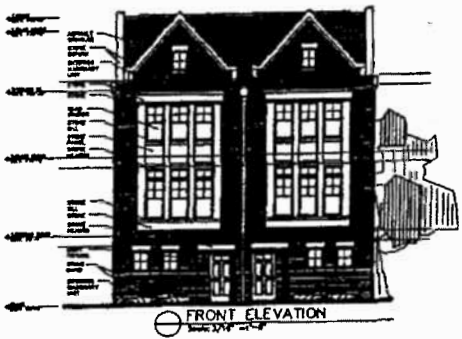


12/17/2003

REPORTS OF COMMITTEES

16111

Subarea I -- C2 and C3 Buildings.

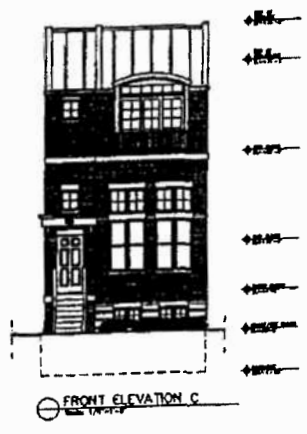
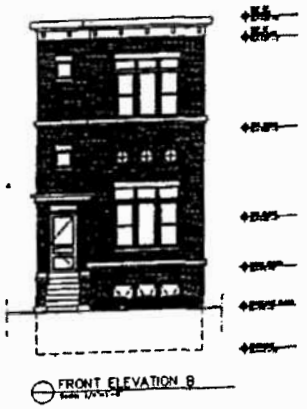
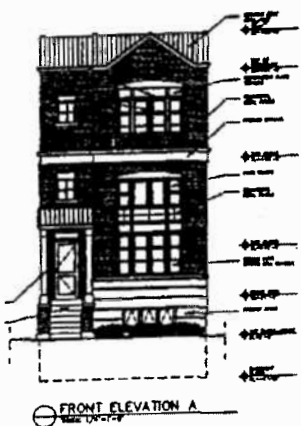


12/17/2003

REPORTS OF COMMITTEES

16113

Subarea I -- C6 --- C11 And D2 -- 7 Buildings.



Subarea I -- D9, D10, D11 And G1-2 Building Elevations.

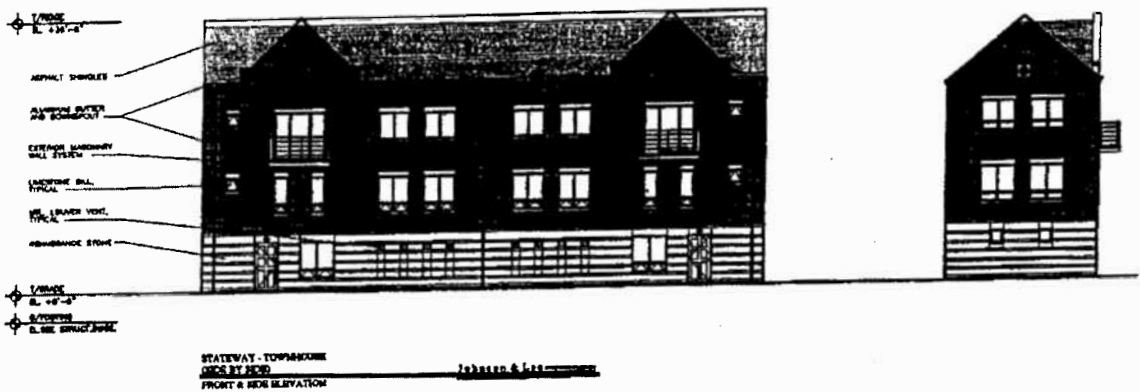


12/17/2003

REPORTS OF COMMITTEES

16115

Subarea I--E1-3 And F1-1 Buildings.



16116

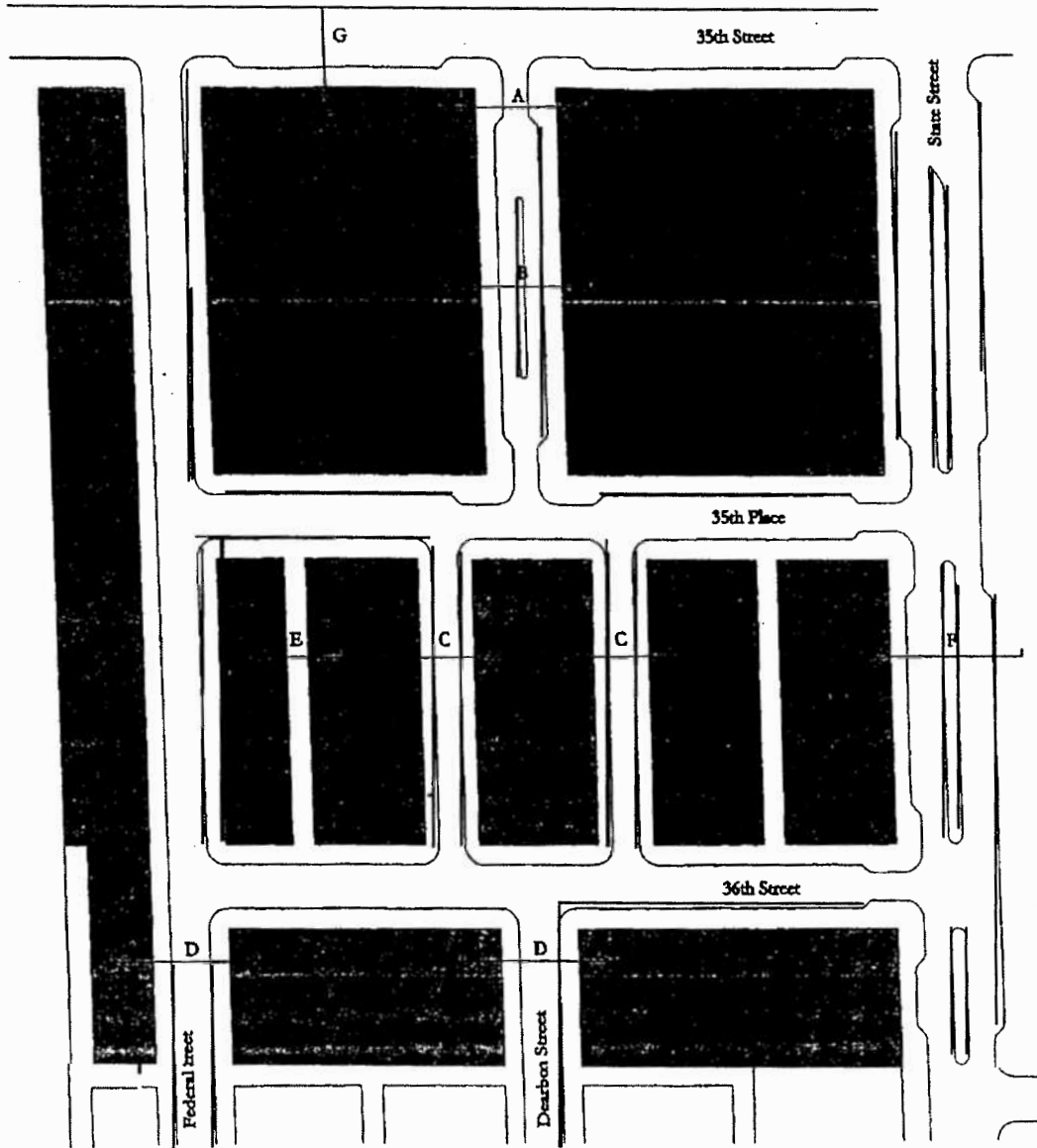
JOURNAL--CITY COUNCIL--CHICAGO

12/17/2003

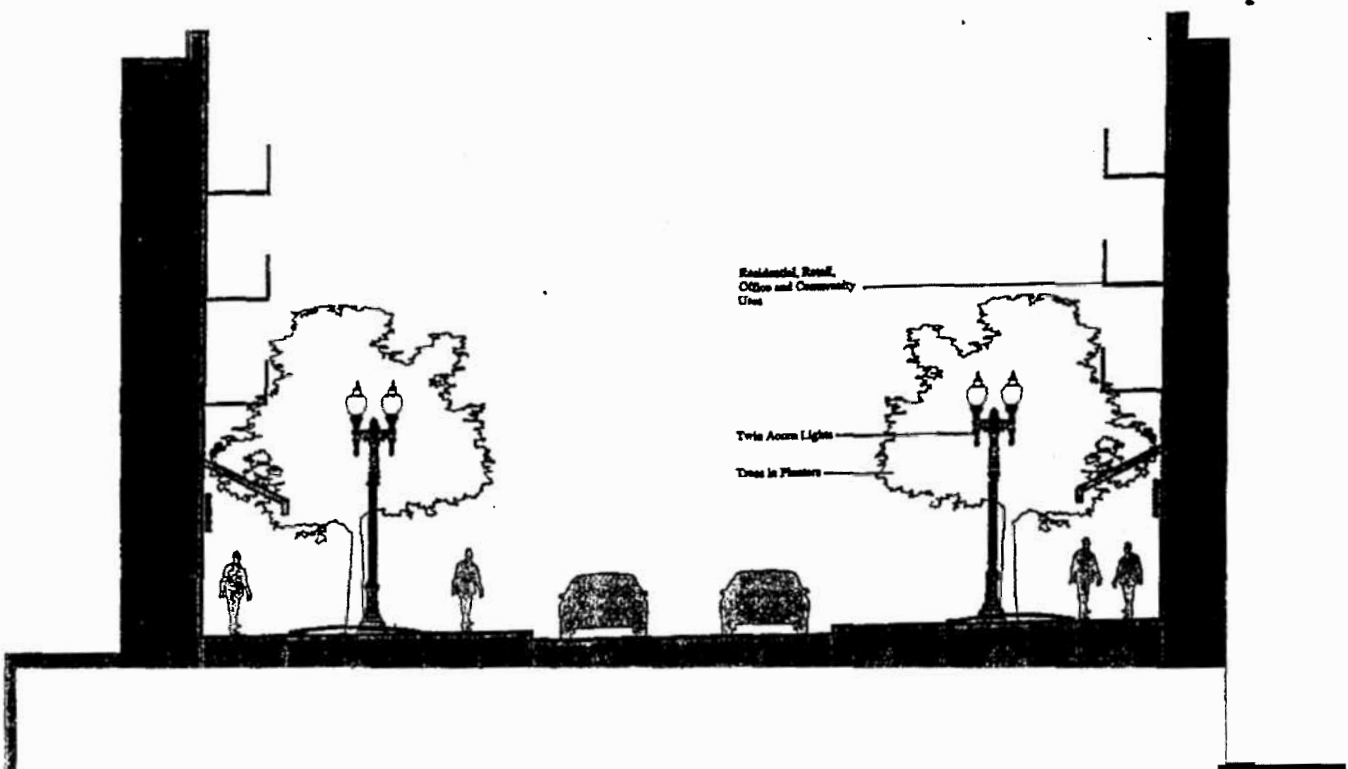
Subarea I -- Fl-2 And G1-1 Buildings.



Street Sections -- Key Map.



Street Section A -- Dearborn Street -- Commercial.

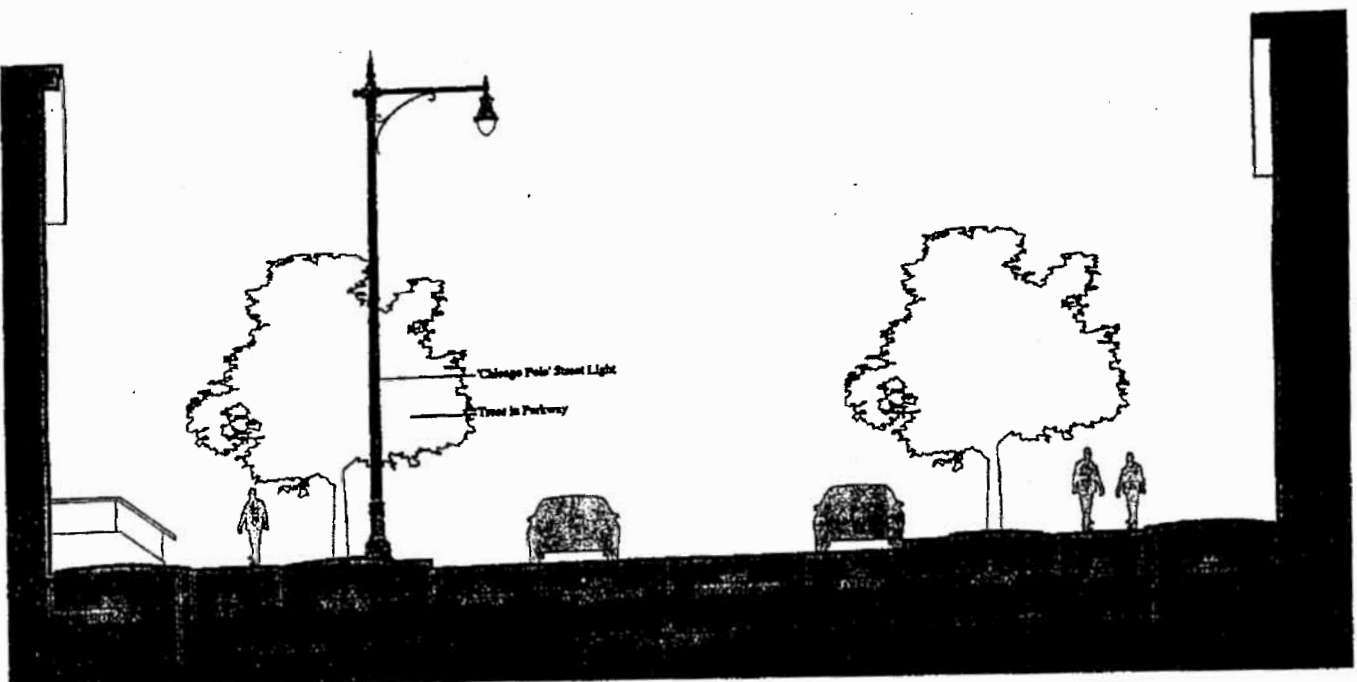


12/17/2003

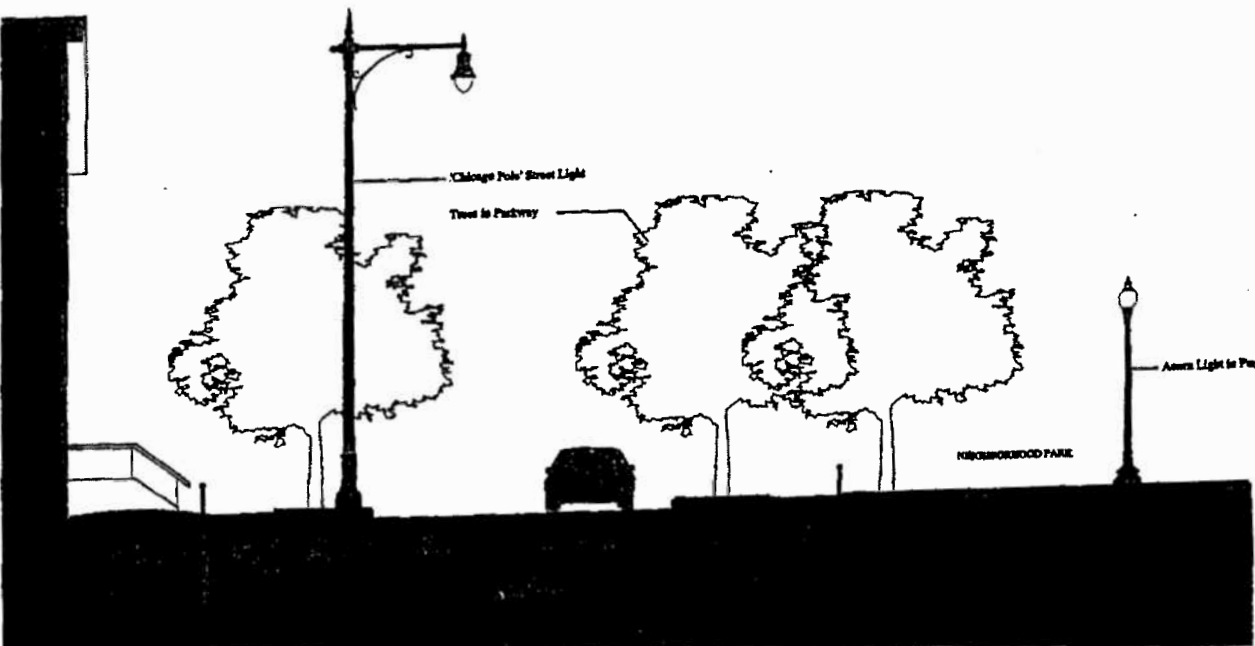
REPORTS OF COMMITTEES

16119

Street Section B -- Dearborn Street -- Residential.



Street Section C -- Park Street.

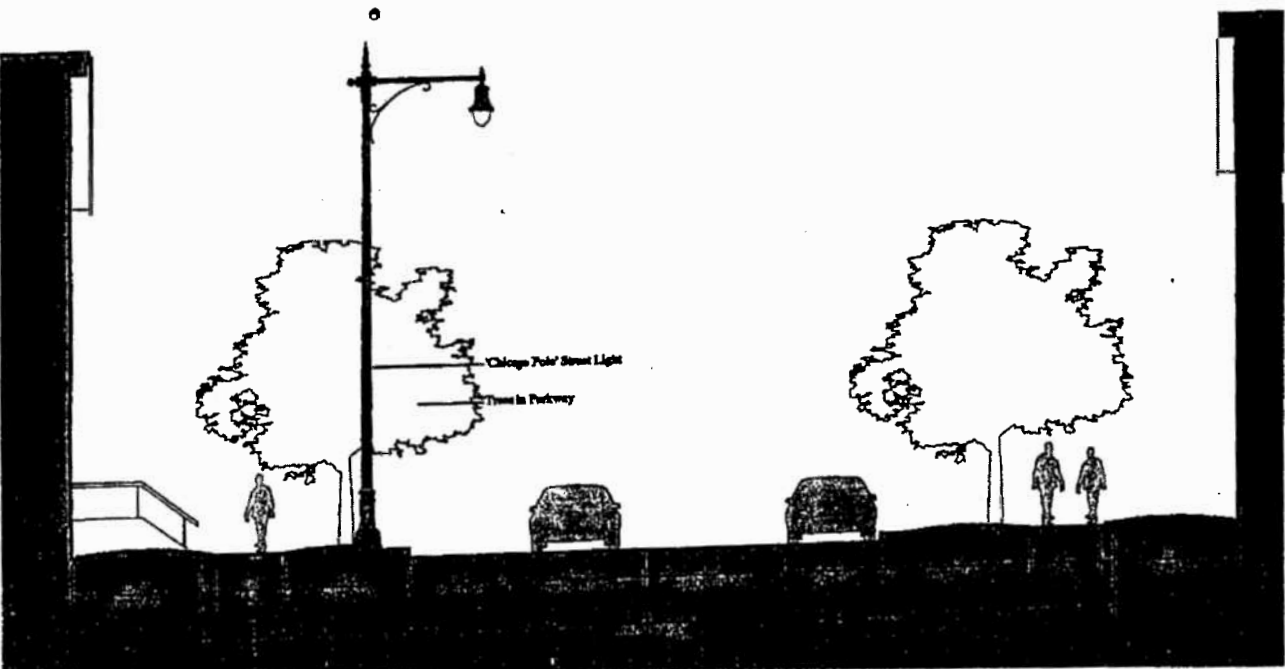


12/17/2003

REPORTS OF COMMITTEES

16121

Street Section D -- Typical Residential Street.

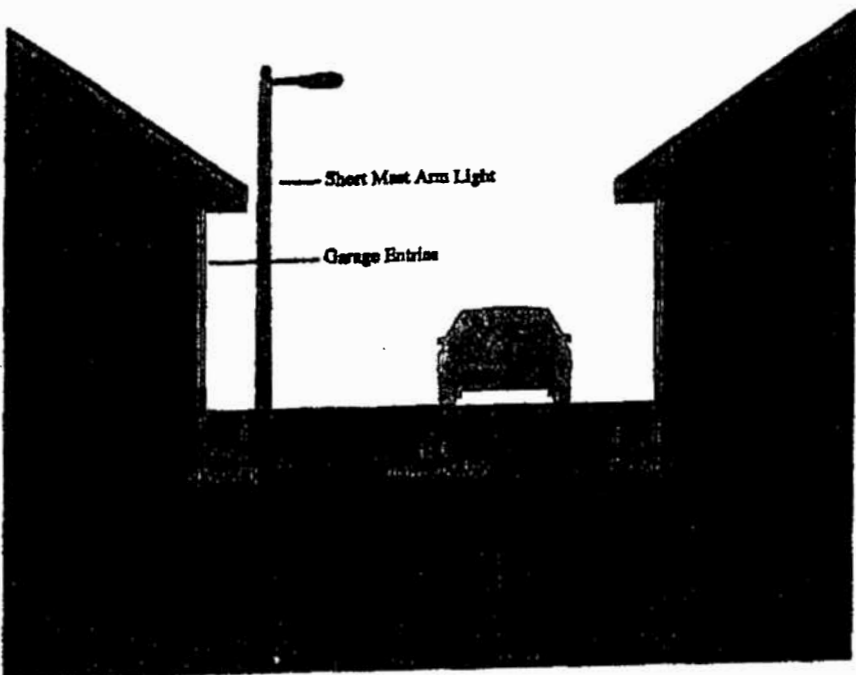


16122

JOURNAL--CITY COUNCIL--CHICAGO

12/17/2003

Street Section E --Typical Alley.

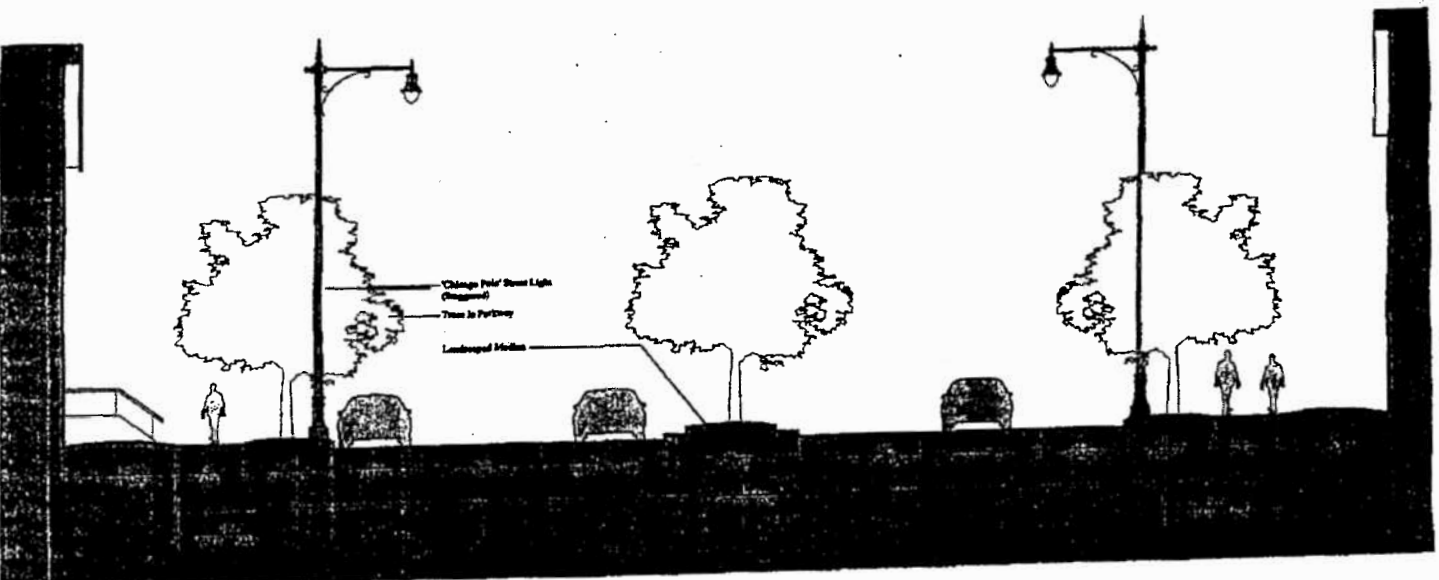


12/17/2003

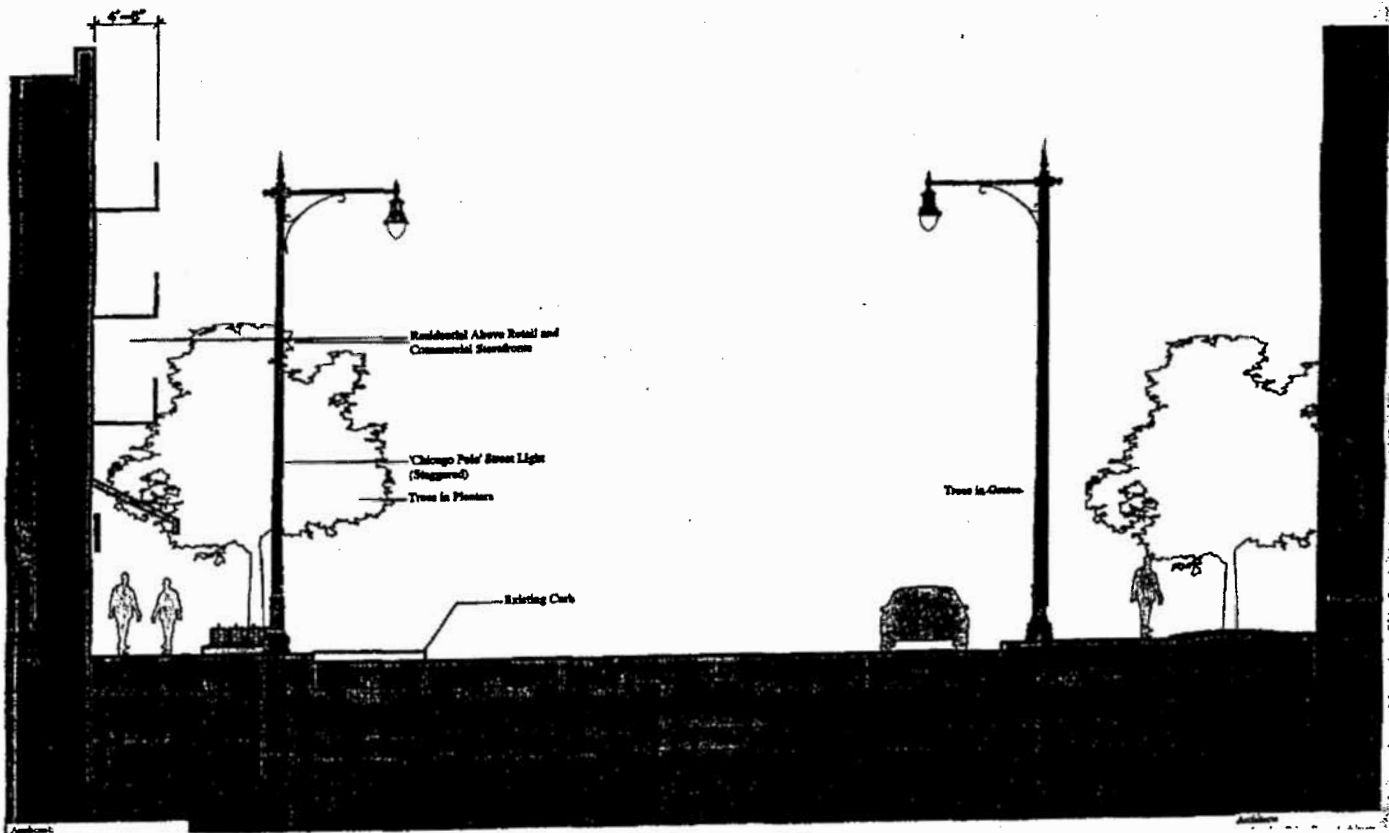
REPORTS OF COMMITTEES

16123

Street Section F -- State Street.



Street Section G -- 35th Street.



12/17/2003

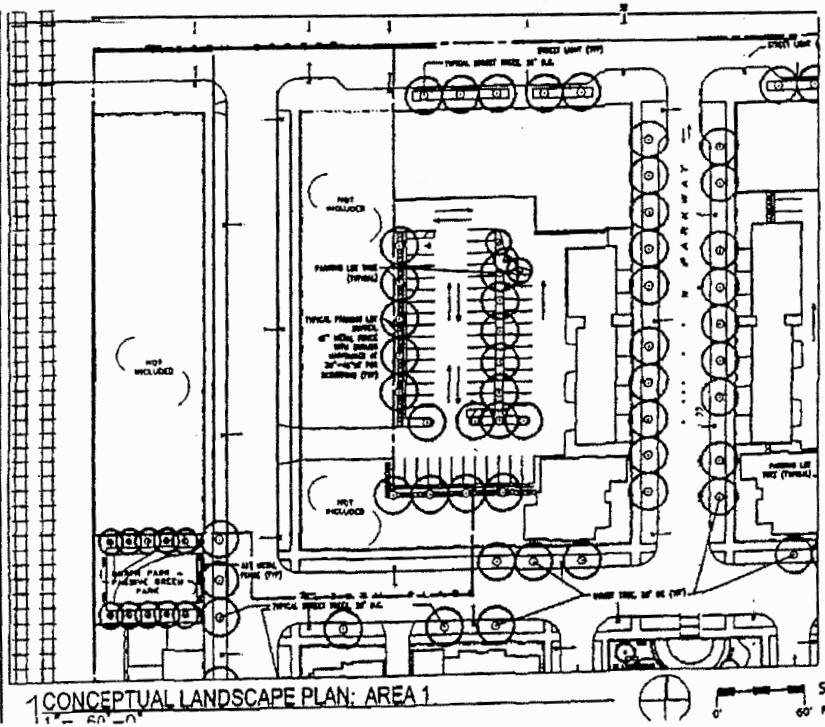
REPORTS OF COMMITTEES

16125

Conceptual Landscape Plan -- Park Boulevard -- Phase 1B.

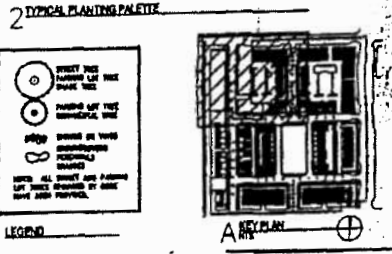
DRAWINGS	SHEET NUMBER
INDEX AND COVER	L1.00
CONCEPTUAL LANDSCAPE PLAN AREA 1	L1.01
CONCEPTUAL LANDSCAPE PLAN AREA 2	L1.02
CONCEPTUAL LANDSCAPE PLAN AREA 3	L1.03
CONCEPTUAL LANDSCAPE PLAN AREA 4	L1.04
ILLUSTRATIVE DETAILS	L2.01

Conceptual Landscape Plan -- Area 1 --
Park Boulevard -- Phase 1B.

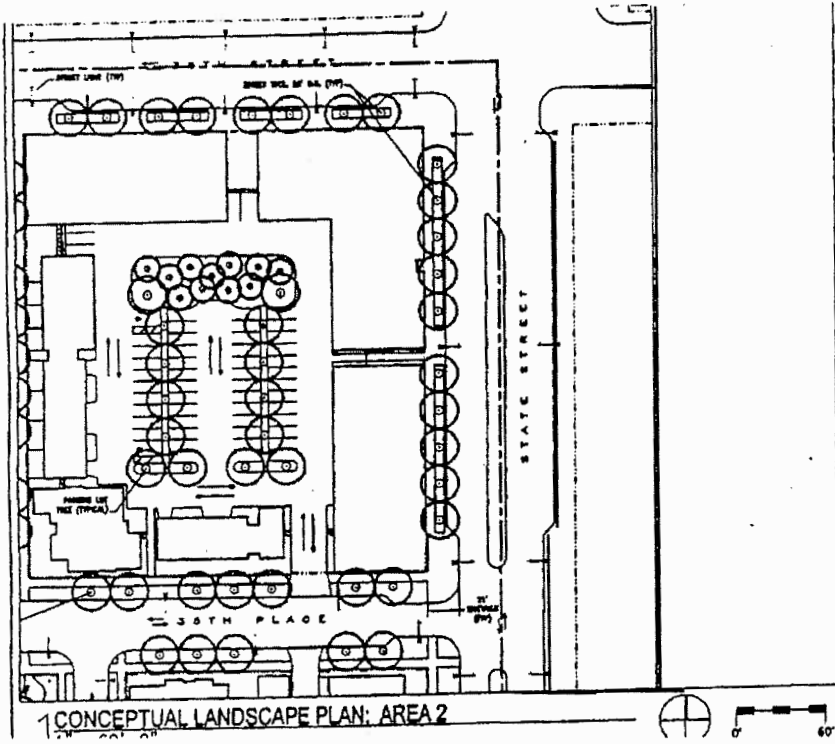


1 CONCEPTUAL LANDSCAPE PLAN: AREA 1

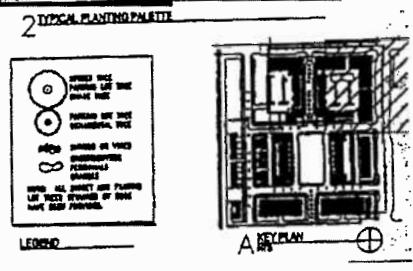
STREET TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	2.5" col., n
<i>Phellodendron amurense</i>	Amur Cork Tree	2.5" col., n
<i>Pyrus calleryana</i> 'Autumn Blaze'	Autumn Blaze Pear Tree	2.5" col., n
<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear Tree	2.5" col., n
<i>Tilia cordata</i> 'Gardenen'	Gardenen Linden	2.5" col., n
<i>Liriodendron tulipifera</i> 'Homestead'	Homestead Elm	2.5" col., n
PARKING LOT TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Caricodaphylum japonicum</i>	Katsura Tree	2.5" col., n
<i>Gladiata</i> srt. Inermis 'Shademaster'	Shademaster Norway Larch	2.5" col., n
<i>Liquidambar styraciflua</i>	Sweetgum	2.5" col., n
<i>Crataegus</i> species	Crataegus species	8' - 10' H
SHADE TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Acer saccharum</i> 'Green Mountain'	Green Mountain Sugar Maple	2.5" col., n
<i>Catalpa bpedata</i>	Northern Catalpa	2.5" col., n
<i>Liriodendron tulipifera</i>	Tuliptree	2.5" col., n
<i>Metossequia glyptostroboides</i>	Dawn Redwood	2.5" col., n
<i>Quercus bicolor</i>	Swamp White Oak	2.5" col., n
ORNAMENTAL TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Amelanchier canadensis</i>	Serviceberry	8' - 10' H
<i>Cornus caroliniana</i>	Ironwood	8' - 10' H
<i>Cornus mas</i>	Cornelian Cherry	8' - 10' H
<i>Crotaegus crux-galli</i> Inermis	Thornless Hawthorn	8' - 10' H
<i>Malus 'Donald Wyman'</i>	Donald Wyman Crabapple	8' - 10' H
<i>Malus 'Profusion'</i>	Profusion Crabapple	8' - 10' H
ORNAMENTAL SHRUBS		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Ribes alpinum</i>	Alpine Currant	36"



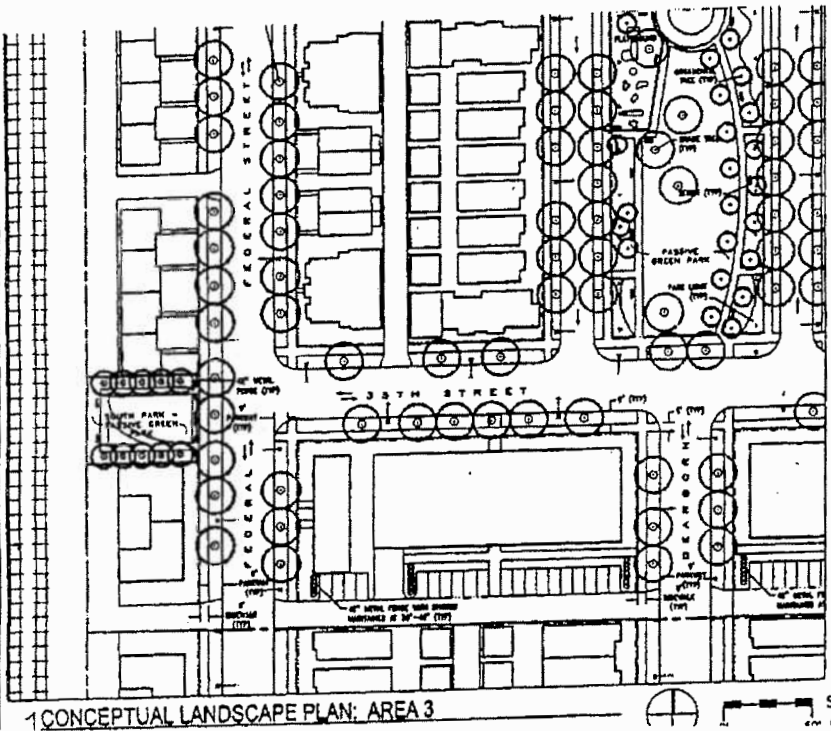
Conceptual Landscape Plan -- Area 2 --
Park Boulevard -- Phase 1B.



STREET TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	2.5" col., n
<i>Philadelphus amurensis</i>	Amur Cork Tree	2.5" col., n
<i>Pyrus calleryana</i> 'Autumn Blaze'	Autumn Blaze Pear Tree	2.5" col., n
<i>Pyrus calleryana</i> 'Chenicleaf'	Chenicleaf Pear Tree	2.5" col., n
<i>Tilia cordata</i> 'Glenview'	Glenview Linden	2.5" col., n
<i>Ulmus americana</i> 'Homestead'	Homestead Elm	2.5" col., n
PARKING LOT TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Cercidiphyllum japonicum</i>	Katsura Tree	2.5" col., n
<i>Quercus br. inermis</i> 'Shademaster'	Shademaster Henry Laetzel	2.5" col., n
<i>Liquidambar styraciflua</i>	Sweetgum	2.5" col., n
<i>Nyctaginia</i>	Creechapple	8' - 10' h
SHADE TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Acer saccharum</i> 'Green Mountain'	Green Mountain Sugar Maple	2.5" col., n
<i>Catalpa bignonioides</i>	Northern Catalpa	2.5" col., n
<i>Liriodendron tulipifera</i>	Tuliptree	2.5" col., n
<i>Ulmus americana</i> 'Shademaster'	Down Redwood	2.5" col., n
<i>Quercus bicolor</i>	Swamp White Oak	2.5" col., n
ORNAMENTAL TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Amelanchier canadensis</i>	Serviceberry	8' - 10' h
<i>Carpinus betulifolia</i>	Ironwood	8' - 10' h
<i>Cornus mas</i>	Cornelian Cherry	8' - 10' h
<i>Crataegus crus-galli inermis</i>	Thornless Hawthorn	8' - 10' h
<i>Nyctaginia</i> 'Donald Wymen'	Donald Wymen Creechapple	8' - 10' h
<i>Nyctaginia</i> 'Profusion'	Profusion Creechapple	8' - 10' h
ORNAMENTAL SHRUB		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Ribes coccineum</i>	Alpine Currant	36"

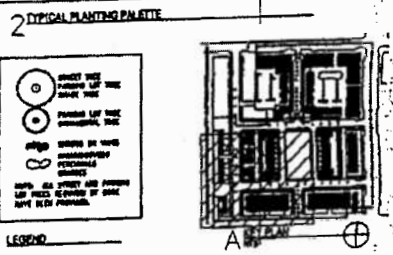


Conceptual Landscape Plan -- Area 3 --
Park Boulevard -- Phase 1B.

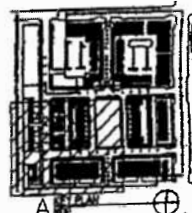


1 CONCEPTUAL LANDSCAPE PLAN; AREA 3

STREET TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	2.5' cal.
<i>Phellodendron amurense</i>	Amur Cork Tree	2.5' cal.
<i>Pyrus calleryana</i> 'Autumn Blaze'	Autumn Blaze Pear Tree	2.5' cal.
<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear Tree	2.5' cal.
<i>Tilia cordata</i> 'Danleaven'	Danleaven Linden	2.5' cal.
<i>Ulmus carpinifolia</i> 'Homestead'	Homestead Elm	2.5' cal.
PARKING LOT TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Cercidiphyllum japonicum</i>	Katsura Tree	2.5' cal.
<i>Gleditsia (A. inermis)</i> 'Shademaster'	Shademaster Honey Locust	2.5' cal.
<i>Ulmus floribundus</i>	Swallowtail	2.5' cal.
<i>Ulmus spp.</i>	Crypsopple species	8' - 10'
SHADE TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Acer saccharum</i> 'Green Mountain'	Green Mountain Sugar Maple	2.5' cal.
<i>Catalpa speciosa</i>	Northern Catalpa	2.5' cal.
<i>Liriodendron tulipifera</i>	Tulip Tree	2.5' cal.
<i>Melospiza glyptostroboides</i>	Green Redwood	2.5' cal.
<i>Quercus bicolor</i>	Swamp White Oak	2.5' cal.
ORNAMENTAL TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Amelanchier canadensis</i>	Serviceberry	8' - 10'
<i>Cornus paniculata</i>	Kanwood	8' - 10'
<i>Cornus mas</i>	Cornelian Cherry	8' - 10'
<i>Crataegus crus-galli inermis</i>	Thornless Hawthorn	8' - 10'
<i>Malus 'Donald Wyman'</i>	Donald Wyman Crabapple	8' - 10'
<i>Malus 'Profusion'</i>	Profusion Crabapple	8' - 10'
ORNAMENTAL SHRUB		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Ribes alpinum</i>	Alpine Currant	36"

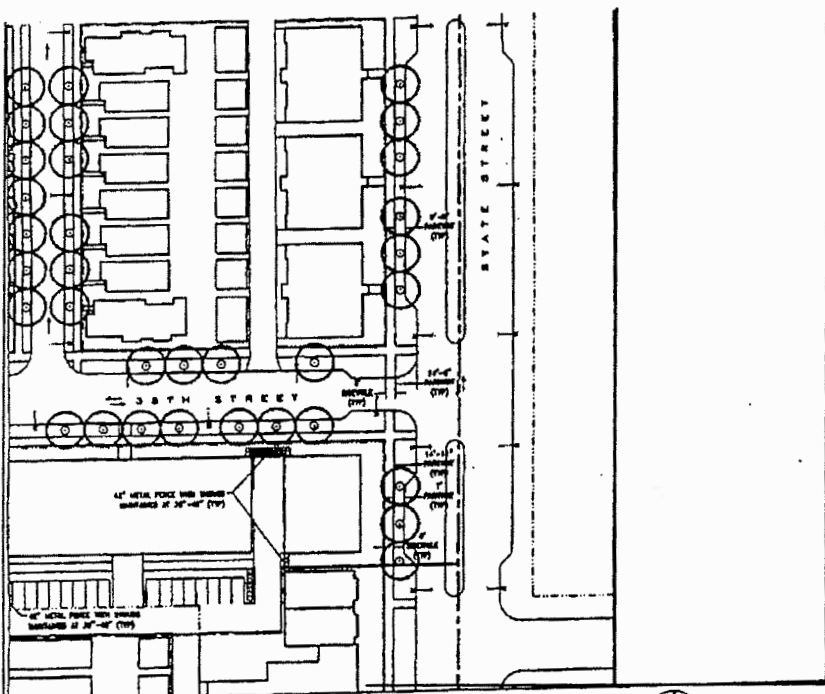


LEGEND

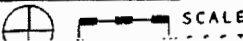


A-A SECTION

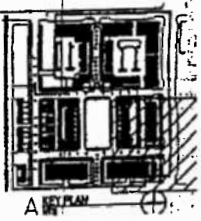
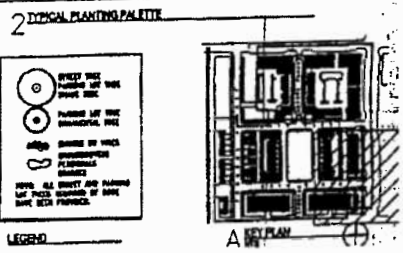
Conceptual Landscape Plan -- Area 4 --
Park Boulevard -- Phase 1B.



1 CONCEPTUAL LANDSCAPE PLAN: AREA 4



STREET TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple	2.5" cal. n
<i>Phellodendron amurense</i>	Amur Cork Tree	2.5" cal. n
<i>Pyrus calleryana</i> 'Autumn Blaze'	Autumn Blaze Pear Tree	2.5" cal. n
<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear Tree	2.5" cal. n
<i>Tilia cordata</i> 'Glenleven'	Glenleven Linden	2.5" cal. n
<i>Ulmus serpinifolia</i> 'Homestead'	Homestead Elm	2.5" cal. n
PARKING LOT TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Caroleaphyllum japonicum</i>	Katsura Tree	2.5" cal. n
<i>Quercus tri. inermis</i> 'Shedmaster'	Shedmaster Honey Locust	2.5" cal. n
<i>Liquidambar styraciflua</i>	Sweetgum	2.5" cal. n
<i>Morus ssp.</i>	Crapehoopla species	8' - 10' ht
SHADE TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Acer saccharum</i> 'Green Mountain'	Green Mountain Sugar Maple	2.5" cal. n
<i>Catalpa speciosa</i>	Northern Catalpa	2.5" cal. n
<i>Liriodendron tulipifera</i>	Tuliptree	2.5" cal. n
<i>Malosyque gylastraboides</i>	Dawn Redwood	2.5" cal. n
<i>Quercus bicolor</i>	Sawmp White Oak	2.5" cal. n
ORNAMENTAL TREES		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Amelanchier canadensis</i>	Serviceberry	8' - 10' ht
<i>Carpinus caroliniana</i>	Ironwood	8' - 10' ht
<i>Cornus mas</i>	Cornelian Cherry	8' - 10' ht
<i>Crataegus crus-galli inermis</i>	Thornless Hawthorn	8' - 10' ht
<i>Morus 'Donald Wyman'</i>	Donald Wyman Crapehoopla	8' - 10' ht
<i>Morus 'Tropisdon'</i>	Prolusion Crapehoopla	8' - 10' ht
ORNAMENTAL SHAUB		
BOTANICAL NAME	COMMON NAME	SIZE
<i>Ribes alpinum</i>	Alpine Currant	38"



LEGEND

A SITE PLAN

16130

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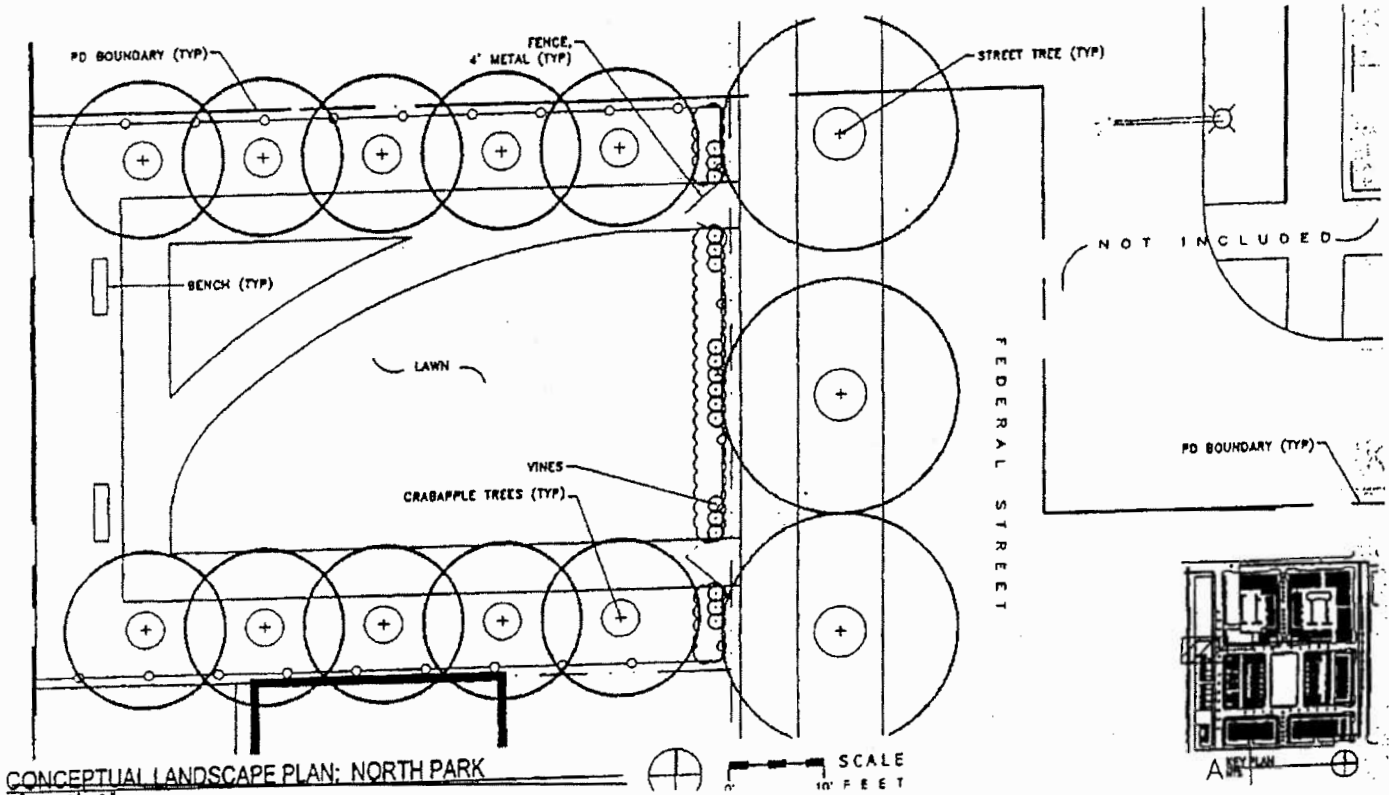
12/17/2003

Conceptual Landscape Plan -- Illustrative
Details -- Park Boulevard -- Phase 1B.

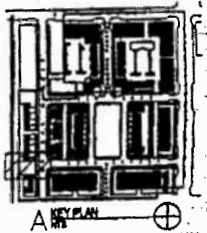
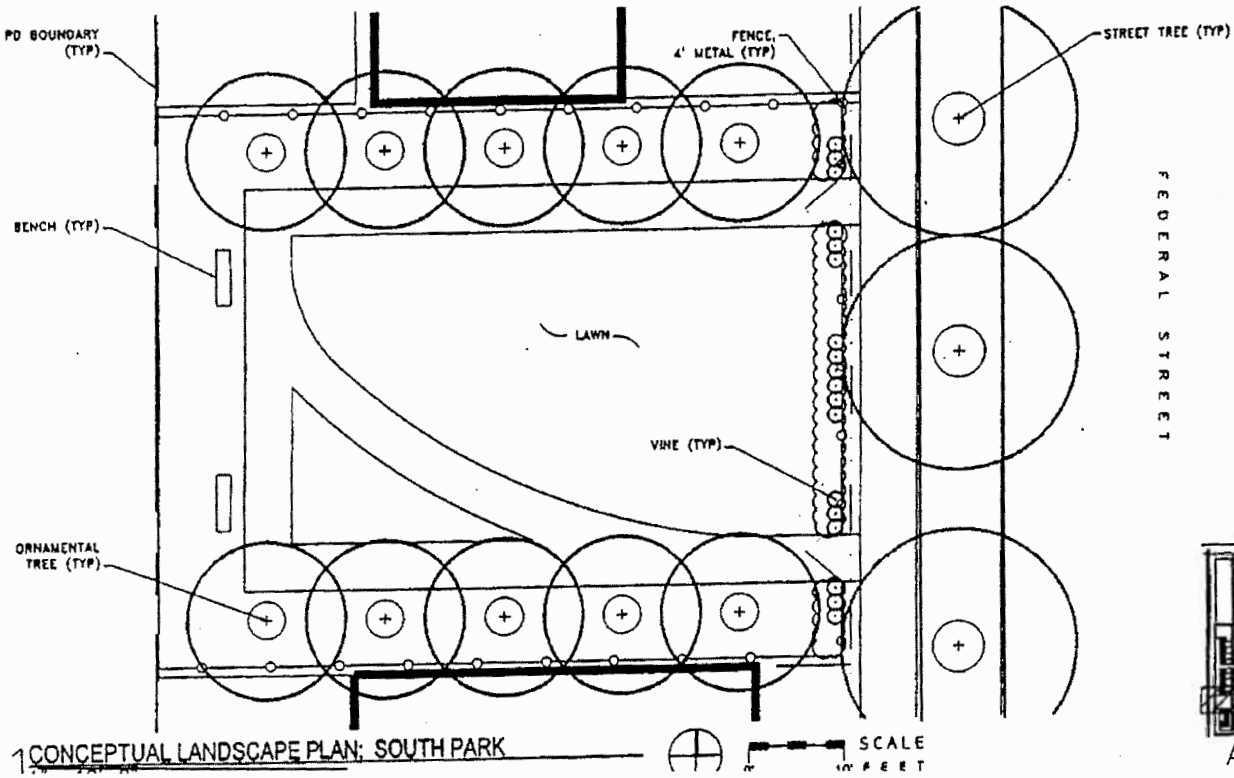
TO BE INCLUDED IN LATER SUBMITTAL

ILLUSTRATIVE DETAIL: --

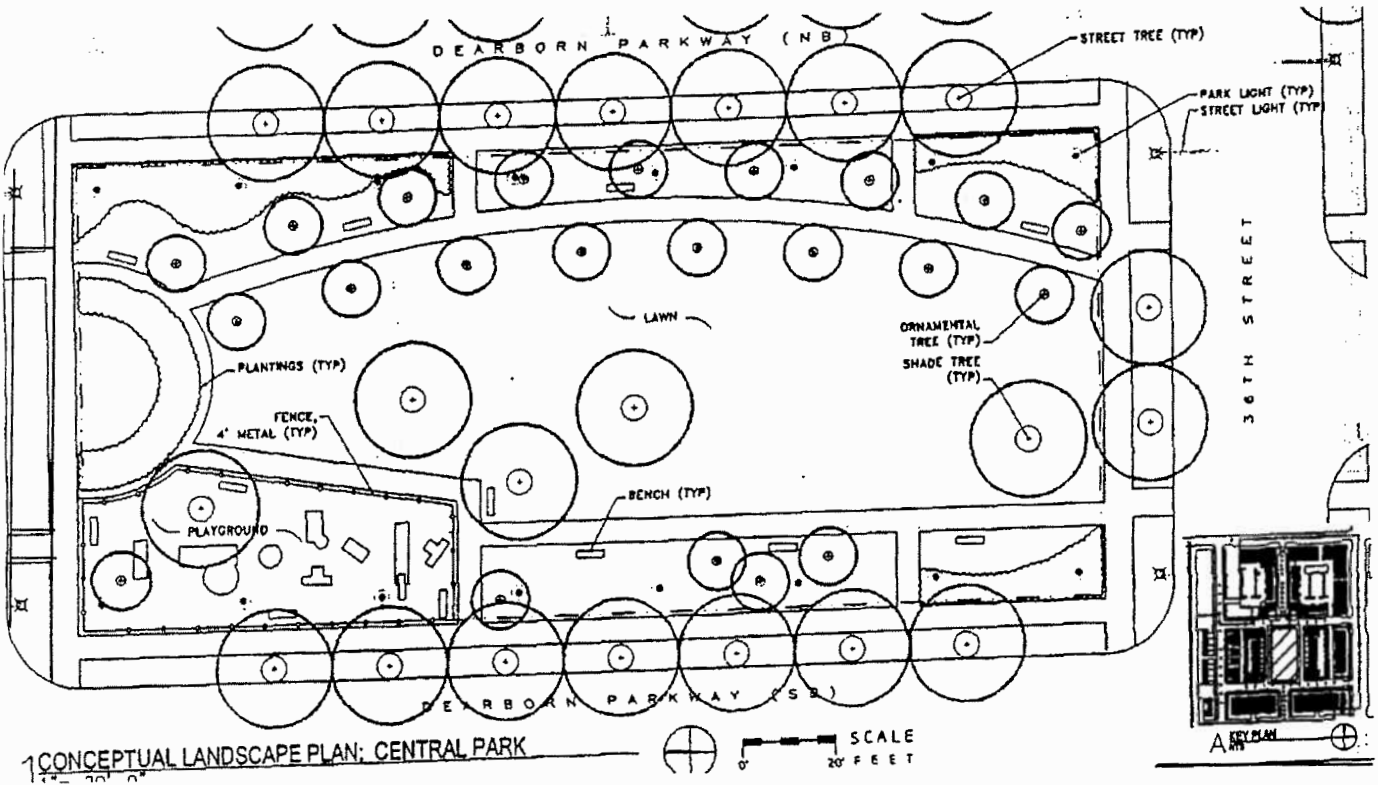
Conceptual Landscape Plan -- North Park --
Park Boulevard -- Phase 1B.



Conceptual Landscape Plan -- South Park --
Park Boulevard -- Phase 1B.



Conceptual Landscape Plan -- Central Park --
Park Boulevard -- Phase 1B.



1 CONCEPTUAL LANDSCAPE PLAN; CENTRAL PARK

Subarea I -- Dimensioned Site Plan.

