

PD 886

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City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Denise M. Casalino, P.E.
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
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<http://www.cityofchicago.org>

January 20, 2005

Mr. Dan Durkin
A.C. Alexander
Engineers Architects, LTD.
7284 West Devon
Chicago, Illinois 60631

Re: Administrative relief request for Institutional Planned
Development No. 886.

Dear Mr. Durkin:

Please be advised that your request for a minor change to Institutional
Planned Development No. 886 has been considered by the Department of
Planning and Development pursuant to Section 17-13-0611 of the Chicago
Zoning Ordinance and Statement No. 12 of the Planned Development.

Specifically, you requested that the required minimum number of parking
spaces be reduced from 135 to 122 for New life Community Church.

The Department has reviewed the request and has determined that the
proposed modification would be appropriate. The reduction of 13 parking
spaces will be handled by existing parking along the perimeter of the church.

With regard to your request, the Department of Planning and Development
has determined that this revision to the Planned Development would
constitute a minor change. Accordingly, pursuant to the authority granted by
the Chicago Zoning Ordinance and Institutional Planned Development No.
886, I hereby approve the foregoing minor change, but no other changes to
Institutional Planned Development No. 886.

Very truly yours,

Denise M. Casalino, P.E. *DC*
Commissioner

DCM:SRP:pas

cc: Mike Marmo, PD Files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

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December 15, 2004

Mr. Richard D. Hendricks
Mosher & Associates
19 South LaSalle Street
Chicago, Illinois 60603

Re: Request for a minor changes to Institutional Planned
Development No.886

Dear Mr. Hendricks:

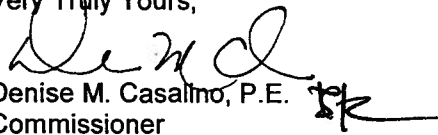

Please be advised that your request for a minor change to Institutional Planned Development No. 886 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you requested the use of the development's 94-space parking lot, Monday-Friday as a commuter parking lot on the premises of New Life Community Church. The Church's modest requirement for Monday-Friday parking for employees and visitors will be handle by existing parking along the perimeter of the church which would be clearly marked as parking for Church business only.

With regard to your request, the Department of Planning and Development has determined that these revisions to the Planned Development would constitute a minor change pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, Institutional Planned Development No. 886, I hereby approve the foregoing minor changes as stated, but no other changes to Institutional Planned Development No.886. The revised site plan, dated October 11, 2004 and prepared by Gremley & Biedermann are hereby made a part of this approval.

Very Truly Yours,


Denise M. Casalino, P.E. 
Commissioner

DMC:SRP:cvh

cc: Carmen Vidal-Hallett, Mike Marmo, PD files



11/5/2003

REPORTS OF COMMITTEES

14095
11161

to those of a C2-1 General Commercial District.

SECTION 2. This ordinance takes effect after its passage and approval

Reclassification Of Area Shown On Map Number 12-E.
(Application Number A-5255)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the B2-3 Restricted Retail District symbols and indications as shown on Map Number 12-E in the area bounded by:

a line 200 feet north of and parallel to East 51st Street; South prairie Avenue; a line 70 feet north of and parallel to East 51st Street; and the public alley next west of and parallel to South prairie Avenue,

to those of a C2-3 General Commercial District.

SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map Number 12-K.

(As Amended)
(Application Number 14095) *IPD 886*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the MI- 1 Restricted Manufacturing District symbols and indications as shown on Map Number 12-K in the area bounded by:

West 51st Street; a line 334.01 feet east of and parallel to South Keeler Avenue; a southwest line (373.36 feet long) starting at a point 346.64 feet south of the south line of West 51st Street (as measured from a point 334.01 feet east of the east line of South Keeler Avenue) ending at a point 515.94 feet south of the south line of West 51st Street (as measured along the east line of South Keeler Avenue); and South Keeler Avenue,

to those of an R3 General Residence District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the R3 General Residence District symbols and indications as shown on Map Number 12-K in the area bounded by:

West 51st Street; a line 334.01 feet east of and parallel to South Keeler Avenue; a southwest line (373.36 feet long) starting at a point 346.64 feet south of the south line of West 51st Street (as measured from a point 334.01 feet east of the east line of South Keeler Avenue) ending at a point 515.94 feet south of the south line of West 51st Street (as measured along the east line of South Keeler Avenue); and South Keeler Avenue,

to those of an Institutional Planned Development, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 886.

Plan Of Development Statements.

1. The area delineated **herein** as Institutional **Planned** Development No. 886, consists of approximately 143,890 square feet (3.30 acres) (the "Property") and is owned or controlled by **Austenal, Inc.** New Life Community Church, as contract purchaser (the "Applicant"), **makes** this application with the authorization of **Austenal, Inc.**
2. All applicable official reviews, approvals, or permits are required to be **obtained by** the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or **resubdivision** of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors **and** assigns and, if **different** than the Applicant, the legal title **holder and** any ground lessors. Furthermore, pursuant to the requirements of Section 11.1 1-1 of the Chicago Zoning Ordinance, the Property shall be under single ownership or under single designated control at the time any applications for amendments, modifications or changes (**administrative, legislative or otherwise**) to this Planned Development are made. Single designated control for purposes of **this** paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by **all** the owners of the Property and any ground

lessors.

4. This Plan of Development consists of these ~~fifteen~~ (1.5) Statements: a Bulk Regulation and Dam Table; an Existing Zoning Map; ~~an~~ Existing Land Use Map; a Planned Development Property Line and **Boundary** Map; a Site/Landscape Plan, a **Signage** Plan and Building Elevations, all dated October 16, 2003 and prepared by Cone **Kalb** Wonderlick Architects. Full size sets of the Site/Landscape Plan **Signage** Plan and Building Elevations are on file with the Department of Planning and Development. The Planned Development is applicable to the area delineated herein and these and no other zoning controls apply.
5. The following uses shall be permitted within the area delineated herein as "Institutional Planned development": Churches, schools, auditoriums, **gymnasium**, offices, accessory cafeterias, day care and related uses, accessory uses, accessory parking and related religious charitable and educational uses.
6. All identification signs other than those included on the **signage** plan shall be permitted subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction signs, **shall** be permitted, subject to the **review** and approval of the Department of Planning and Development.
1. Service drives or other means of ingress or egress, including for emergency vehicles shall be adequately designed and paved in accordance with the Municipal Code and the regulations of the Department of Transportation in effect at the time of construction.

There **shall** be no parking **within** such paved areas or tire lanes. Ingress and egress **shall** be subject to the **review** and approval of the Departments of Transportation, and **Planning** and Development. **All** work proposed in the public way must **be** designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in accordance with Municipal Code of the City of Chicago.

8. Off-street parking facilities **shall** be provided in **compliance with this Planned** Development, subject to **review and** approval of the Departments of Transportation and **Planning** and Development. A minimum of two percent (2%) of **all** parking spaces **shall** be designated for parking for the handicapped.
9. Height restriction of any building or any appurtenance thereto shall, in addition to the **Bulk** Regulations and Data Table, be subject to height limitations as certified and approved by the Federal Aviation Administration.
10. For purposes of **Floor Area Ratio** (F.A.R.) calculations, the definitions in **the** Chicago Zoning Ordinance **as** of the date hereof **shall apply**.
11. The improvements on the Property **shall** be designed, installed **and** maintained in substantial **conformance** with the Plans and Building Elevations referenced in Statement No. 4 hereinabove. In addition, **parkway** trees and other landscaping **shall** be installed and maintained at **all times** in accordance with the **Site/Landscape Plan and** the Parkway Tree and Parking Lot landscaping provisions of the Chicago Zoning Ordinance **and** corresponding regulations and guidelines in effect **as** of the date hereof.

12. The terms, conditions and exhibits of the Planned Development Ordinance may be modified administratively by **the** Commissioner of the Department of Planning and Development, upon the application for such a **modification** by the Applicant and after a determination by the Commissioner that such a modification is **minor**, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof Any such modification of the requirements of this **Statement** by the Commissioner of **the** Department of **Planning and** Development **shall** be deemed to be a minor change in the Planned **Development** as contemplated by Section 11. 11-3(c) of the Chicago Zoning Ordinance.
13. The Applicant acknowledges that it is in the public interest to design construct and **maintain** all buildings in a **manner** that promotes **and maximizes** the conservation of natural resources. The Applicant shall use commercially reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the **Leadership in** Energy and Environmental Design (**LEED**) Green Building Rating
14. The Applicant acknowledges that it is in the public interest to design construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with **Disabilities** (MOPD) to ensure **compliance** with **all** applicable law and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No

approvals **shall** be granted pursuant to Section 11.11-3(b) of the Chicago **Zoning** Ordinance **until** the Director of MOPD has approved detailed construction drawings for each **building** or improvement.

15. Unless **substantial construction** has commenced **within six** (6) years following adoption of this **Planned** Development, **and** unless completion is thereafter diligently pursued, **then** this **Planned** Development **shall** expire. If this **Planned** Development expires under the provisions of this Section, **then** the **zoning** of the property **shall automatically** revert to the **underlying** M1-1 Restricted **Manufacturing** District classification.

[Existing Land-Use Map; Existing Zoning Map; Planned Development Property Line and Boundary Map; Site/Landscape Plan; Landscape Plan; **Signage** Plan; and Building Elevation Drawings referred to in these Plan of Development Statements printed on pages 11169 through 11175 of this Journal.]

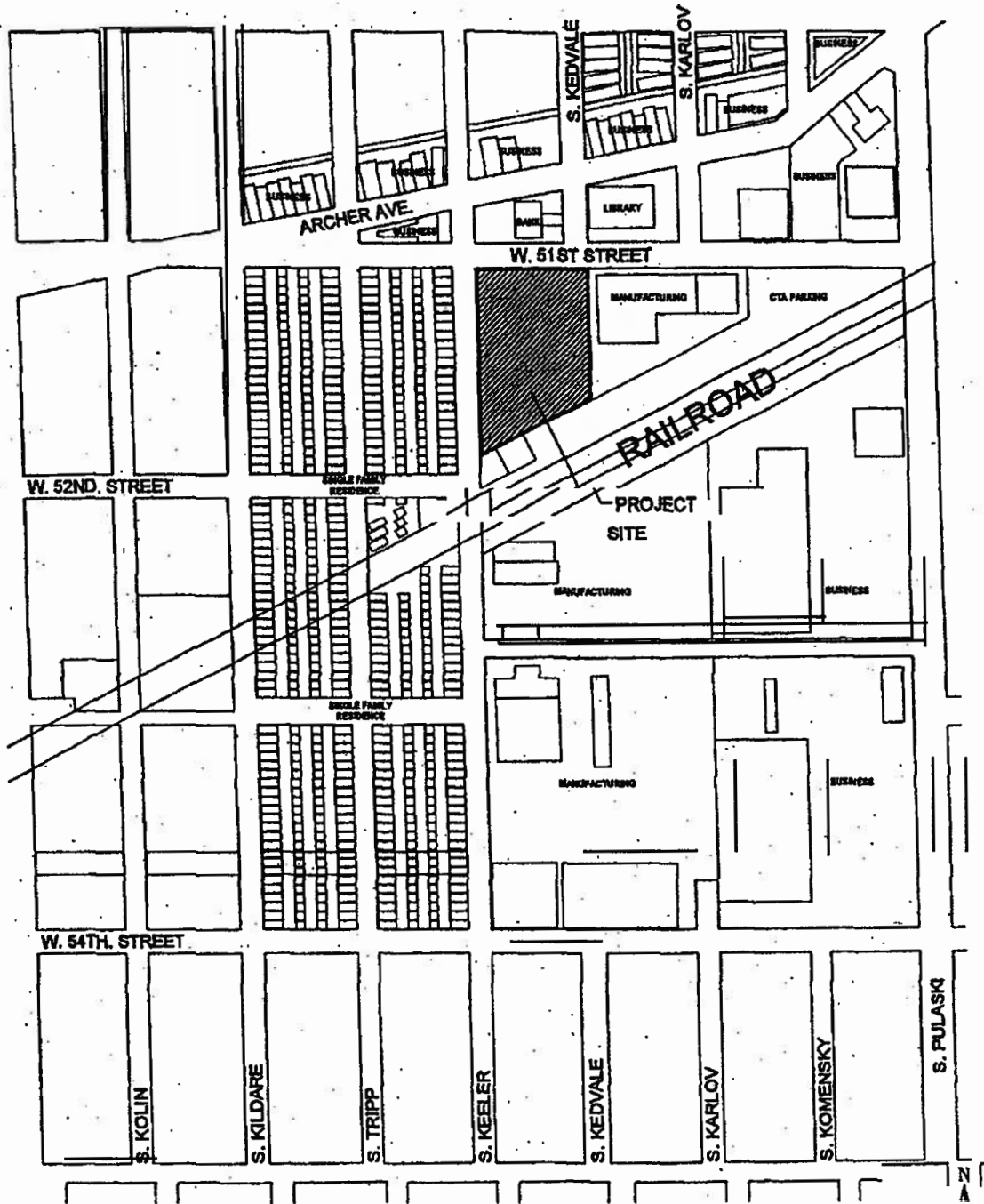
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional Planned Development Number 886

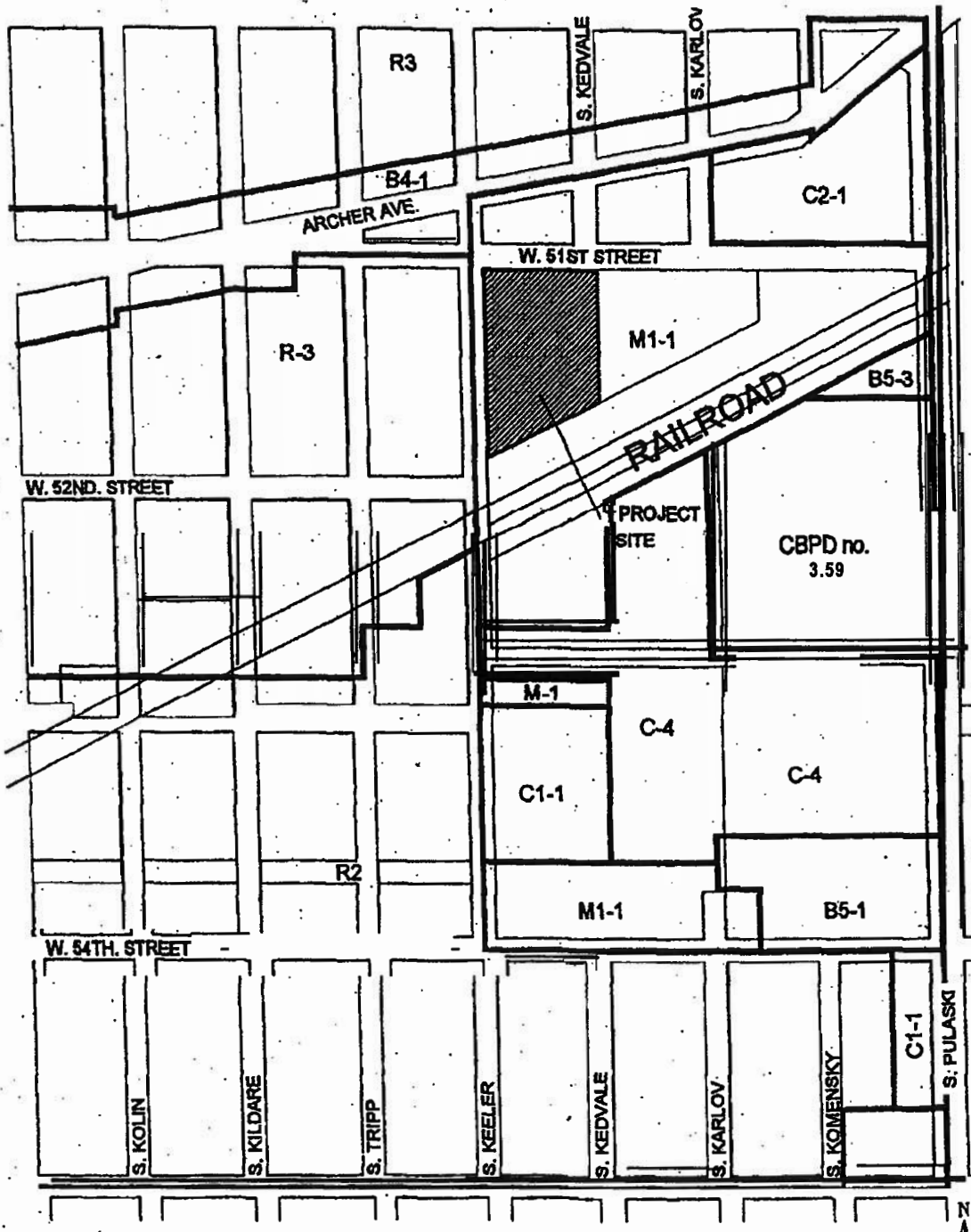
Bulk Regulations And Data Table.

	Square Feet	Acres
Net Site Plan:	143,890	3.30
Area Remaining in the Public Right-of-Way:	29,137	0.67
Gross Site Area:	173,027	3.97
Maximum Floor Area Ratio:	0.9	
Minimum Number of Off- Street Parking Spaces:	135	
Minimum Number of Off- Loading Spaces:	1 berth	
Maximum Percentage of Site Coverage:	Per Site Plan	
Minimum Building Setbacks:	Per Site Plan	
Maximum Building Height:	30 feet	

Existing Land-Use Map.



Existing Zoning Map.

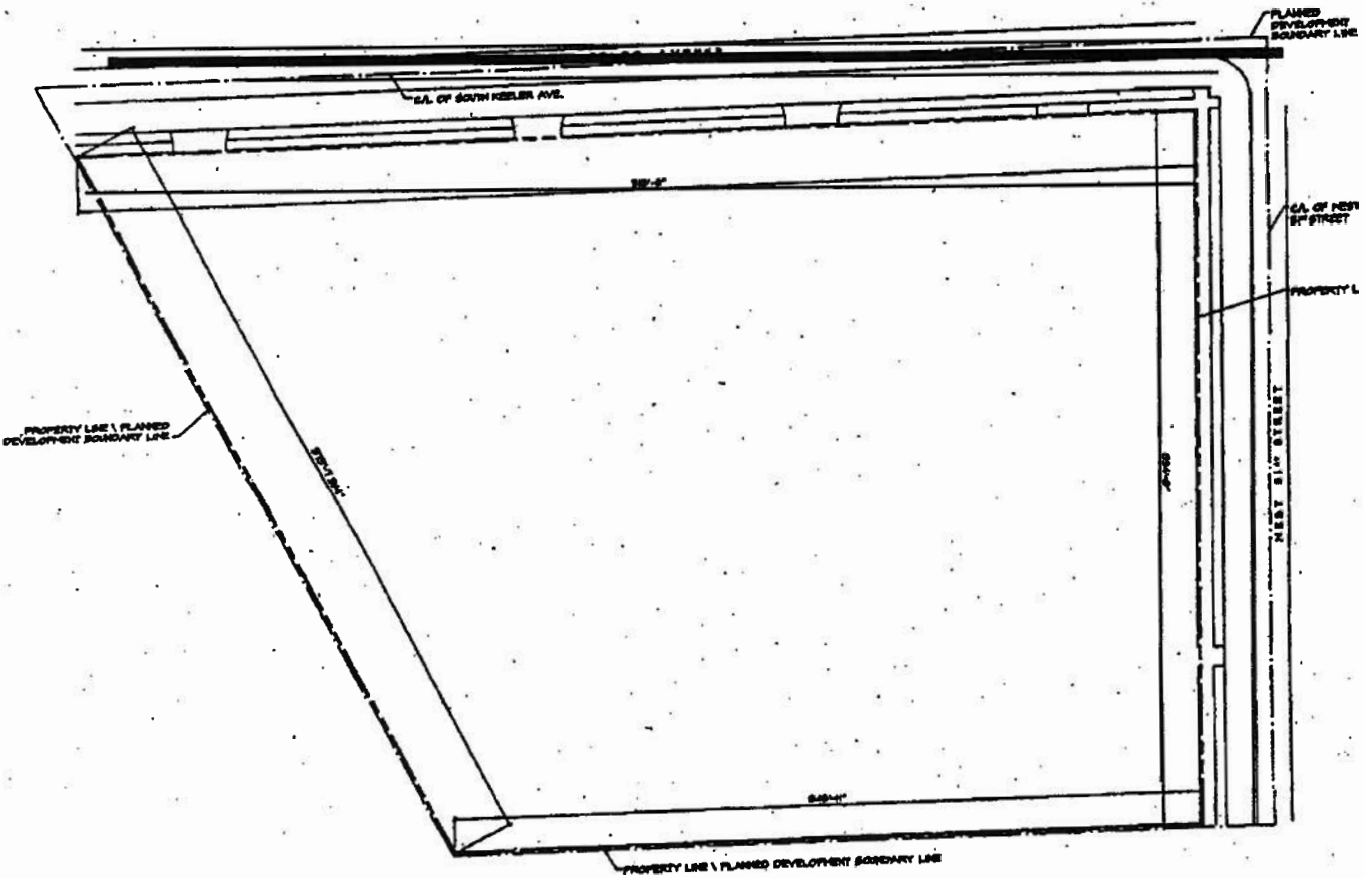


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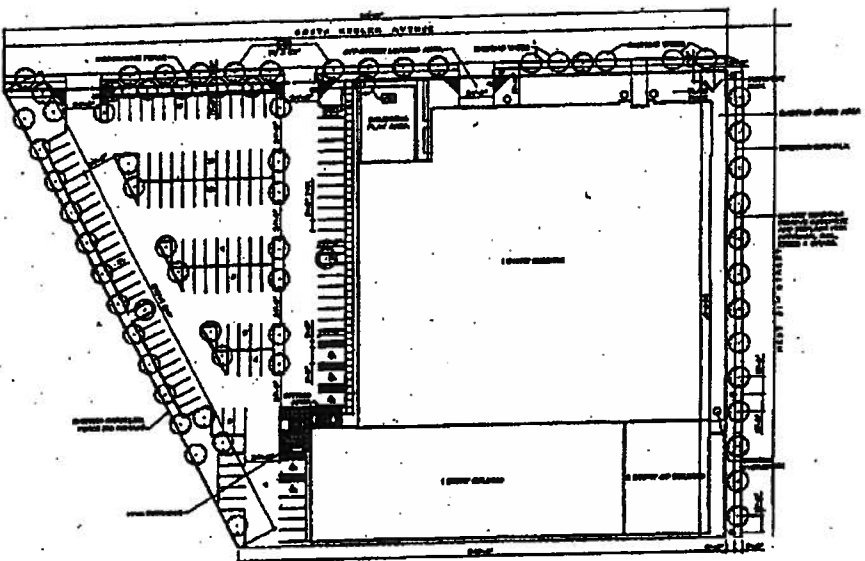
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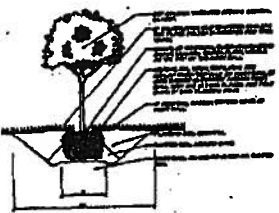
Planned Development Property Line
And Boundary Map.



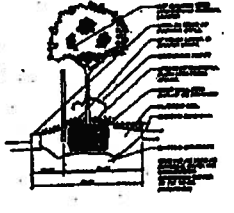
Site/Landscape Plan.



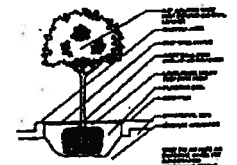
NO SITE / LANDSCAPE PLAN



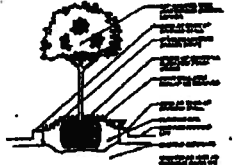
LANDSCAPE (TYPICAL)



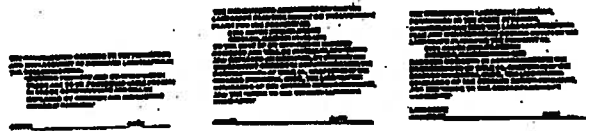
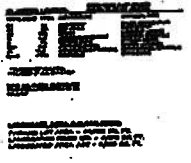
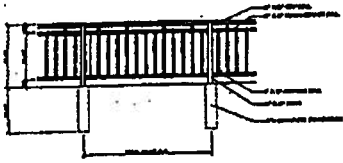
PERIMETER LANDSCAPE AREA



DETAIL IN GRATE



PARKING LOT ISLAND

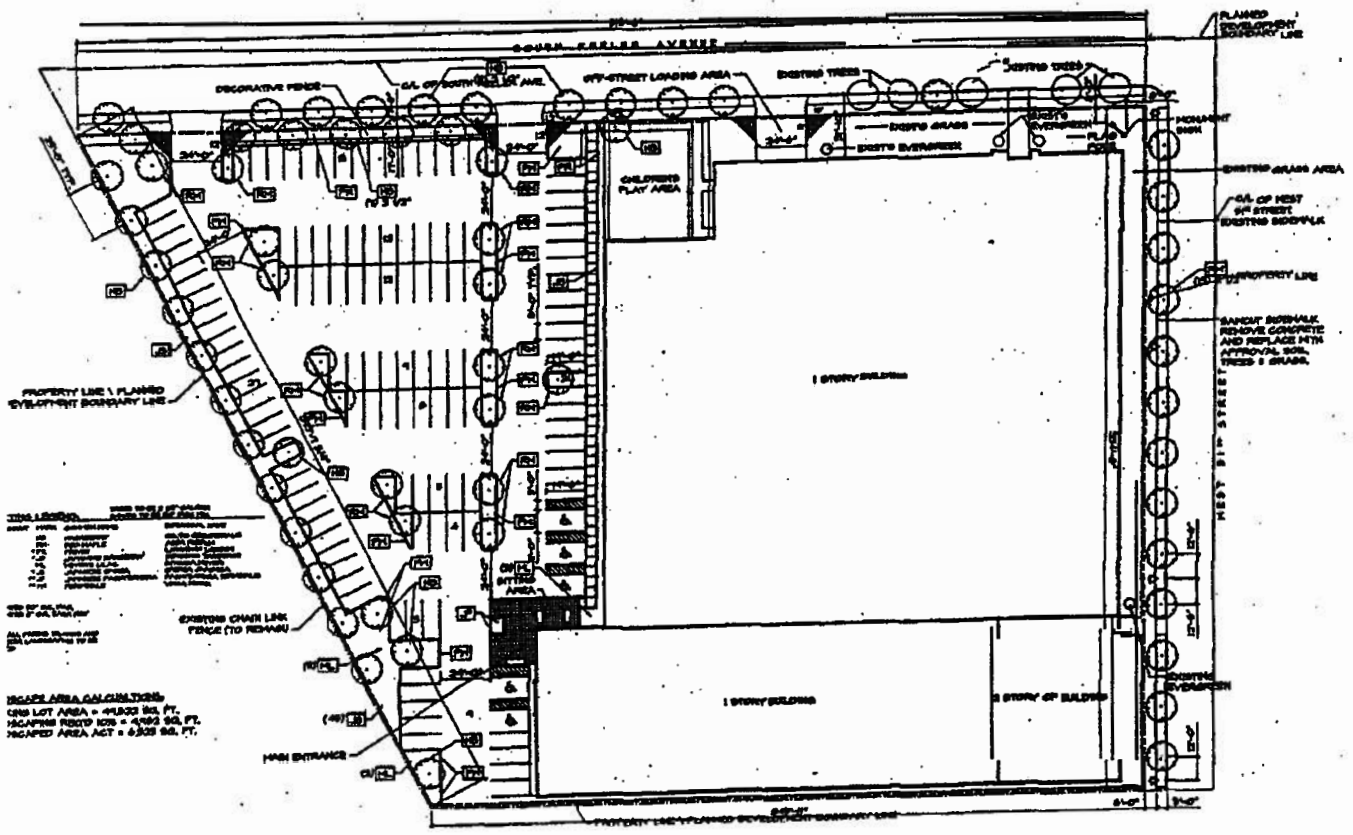


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Landscape Plan.

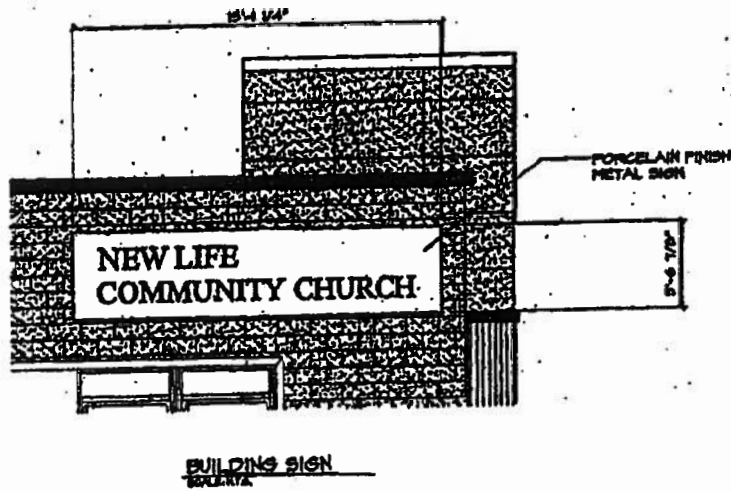
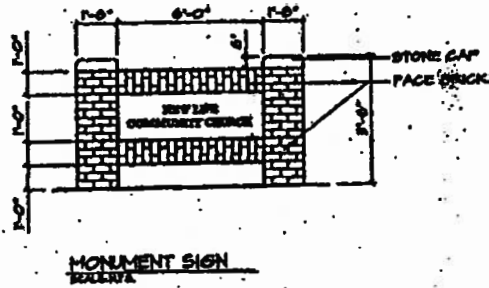


LEGEND:

1. EXISTING ASPHALT DRIVE	10. EXISTING ASPHALT DRIVE
2. EXISTING ASPHALT DRIVE	11. EXISTING ASPHALT DRIVE
3. EXISTING ASPHALT DRIVE	12. EXISTING ASPHALT DRIVE
4. EXISTING ASPHALT DRIVE	13. EXISTING ASPHALT DRIVE
5. EXISTING ASPHALT DRIVE	14. EXISTING ASPHALT DRIVE
6. EXISTING ASPHALT DRIVE	15. EXISTING ASPHALT DRIVE
7. EXISTING ASPHALT DRIVE	16. EXISTING ASPHALT DRIVE
8. EXISTING ASPHALT DRIVE	17. EXISTING ASPHALT DRIVE
9. EXISTING ASPHALT DRIVE	18. EXISTING ASPHALT DRIVE

SCOPE AREA CALCULATIONS:
GROSS LOT AREA = 49,000 SQ. FT.
RECAPTURED AREA = 4,000 SQ. FT.
RECAPTURED AREA ACT = 6,300 SQ. FT.

Signage Plan.



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Building Elevations.

