

PD 885

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DEPARTMENT OF PLANNING AND DEVELOPMENT

June 16, 2015

CITY OF CHICAGO

John J. George
Schuyler, Roche & Crisham, P.C.
Two Prudential Plaza
180 North Stetson Avenue, Suite 3700
Chicago, IL 60601

**Re: Administrative Relief request for Institutional Planned Development No. 885
Proposed rooftop greenhouse at Catherine Cook School, 226 West Schiller Street**

Dear Mr. George:

Please be advised that your request for a minor change to Institutional Planned Development No.885 ("PD 885"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of PD 885.

Your client and the sole owner of all of the property within PD 885, Catherine Cook School, is seeking administrative relief to allow for a new rooftop greenhouse to be constructed on the east classroom building. The existing building height is 49 feet, as permitted in the Bulk Regulations and Data Table. The proposed rooftop greenhouse will have a sloped roof that extends from 8 feet to 14 feet in height. It will be setback 17 feet from the east edge of the building and 20 feet from the north edge of the building, and thereby, not visible from the street. The attached Roof Plan, South Elevation, North Elevation, East Elevation, and Rendering, dated May 12, 2015, shall be inserted into the main file.

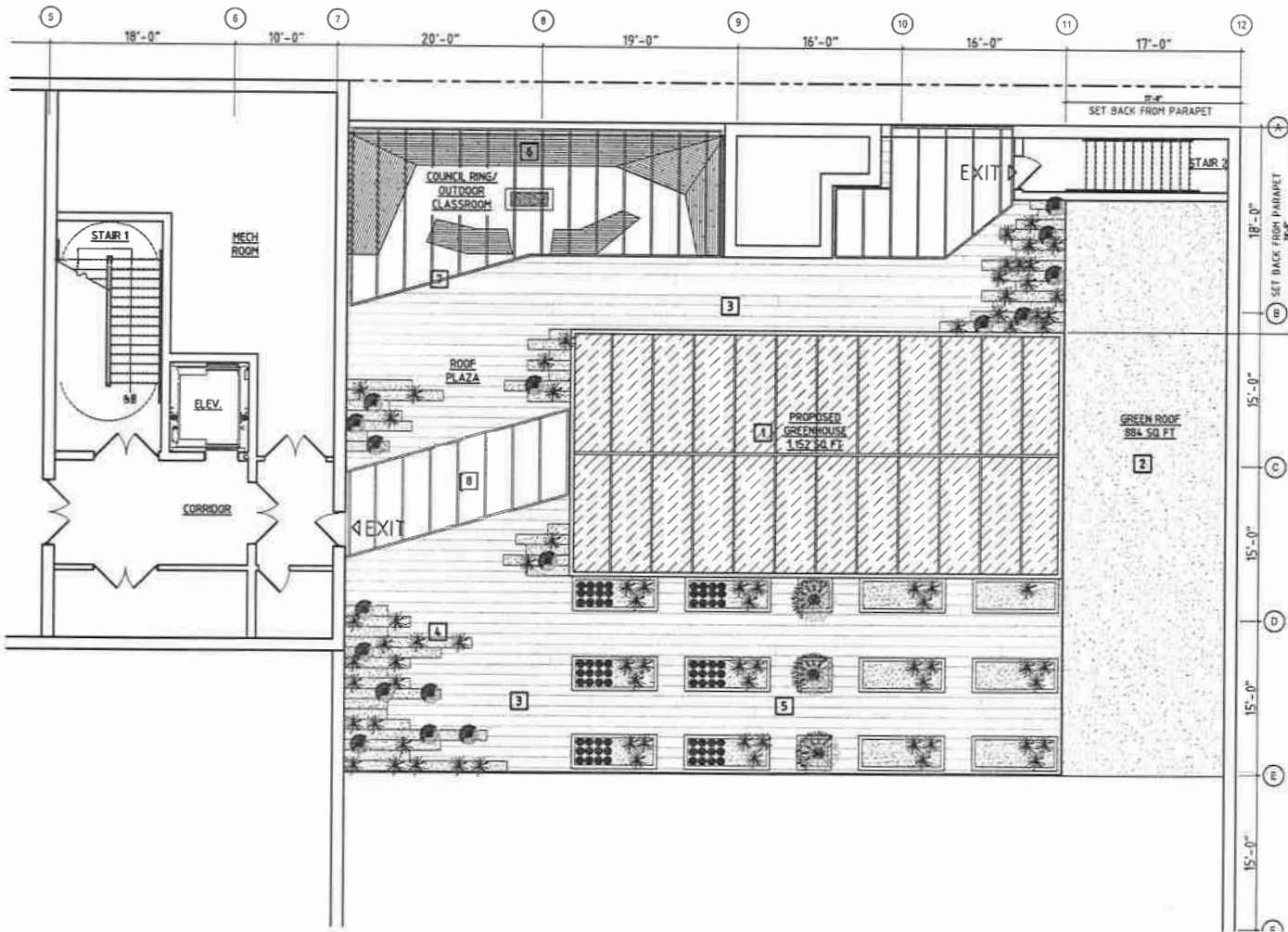
With regard to your request, the Department of Planning and Development has determined that allowing the proposed rooftop greenhouse will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Institutional Planned Development No. 885, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

Patricia A. Scudiero
Zoning Administrator

C: Mike Marmo, Erik Glass, Janice Hill, Main file



MATERIAL KEY

1	GREENHOUSE
2	GREEN ROOF
3	LINEAR PAVERS
4	INDIGENOUS PLANTINGS
5	PLANTING BEDS
6	WOOD BENCHES
7	TRELLIS SYSTEM
8	CANOPY

1 ROOF PLAN
3/32"-1'-0"

sketch #	1
date	
scale	
drawing	SCHEMATIC ROOF PLANS

CATHERINE COOK SCHOOL
226 W Schiller St.
CHICAGO, IL 60610

1379 s. millwaukee ave. # 2 chicago, il 60622
p: 773.252.2440 f: 773.252.2441

na
noruman architects



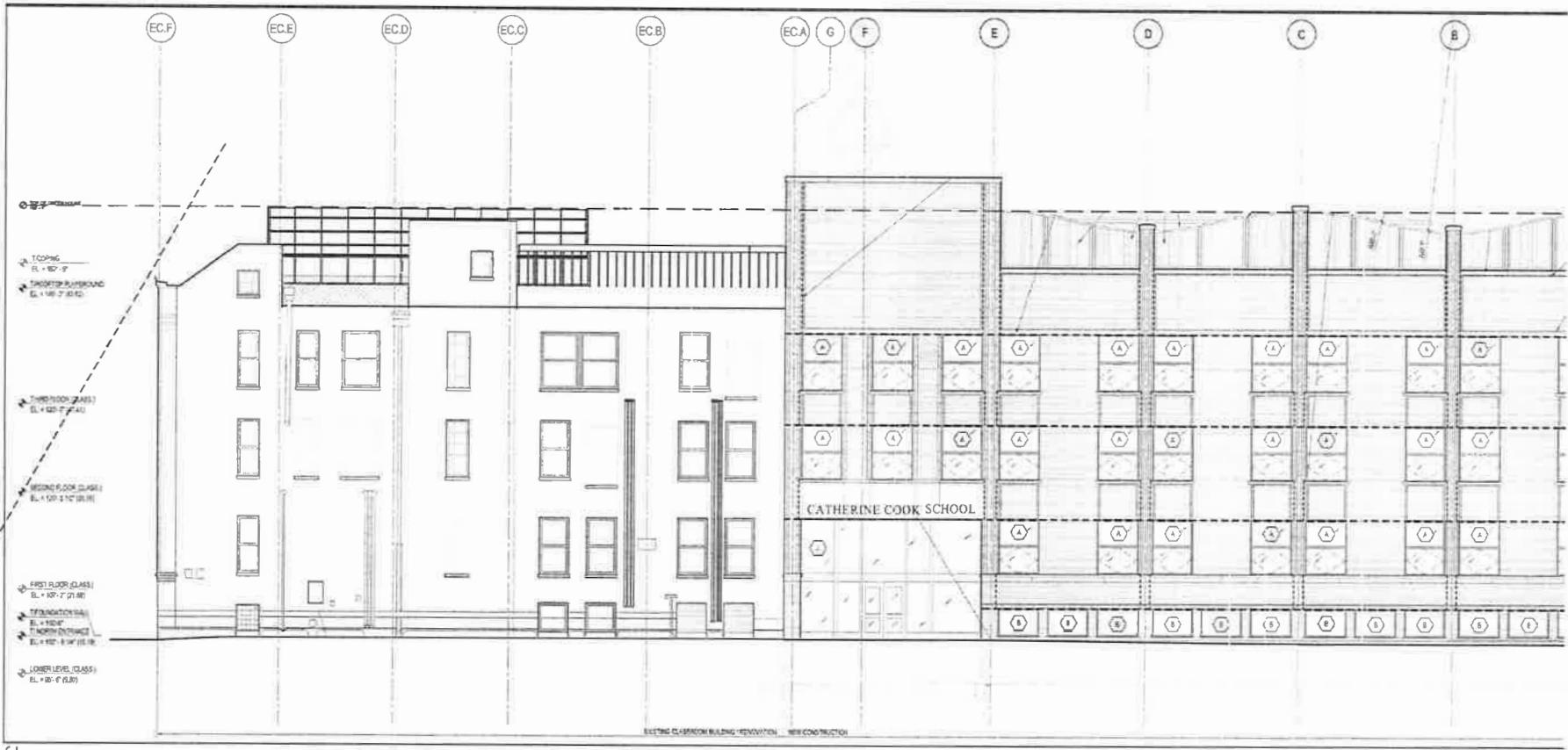
1 SOUTH ELEVATION
1/16"=1'-0"

drawing	date	sketch #
	ELEVATIONS	1
	06.12.2016	
	scale	1/16" = 1' 0"

CATHERINE COOK SCHOOL
226 W Schiller St.
CHICAGO, IL 60610

na noremman architects

1375 N. Milwaukee Ave. # 2 Chicago, IL 60622
P: 773.252.6448 F: 773.252.9447



30' ft.

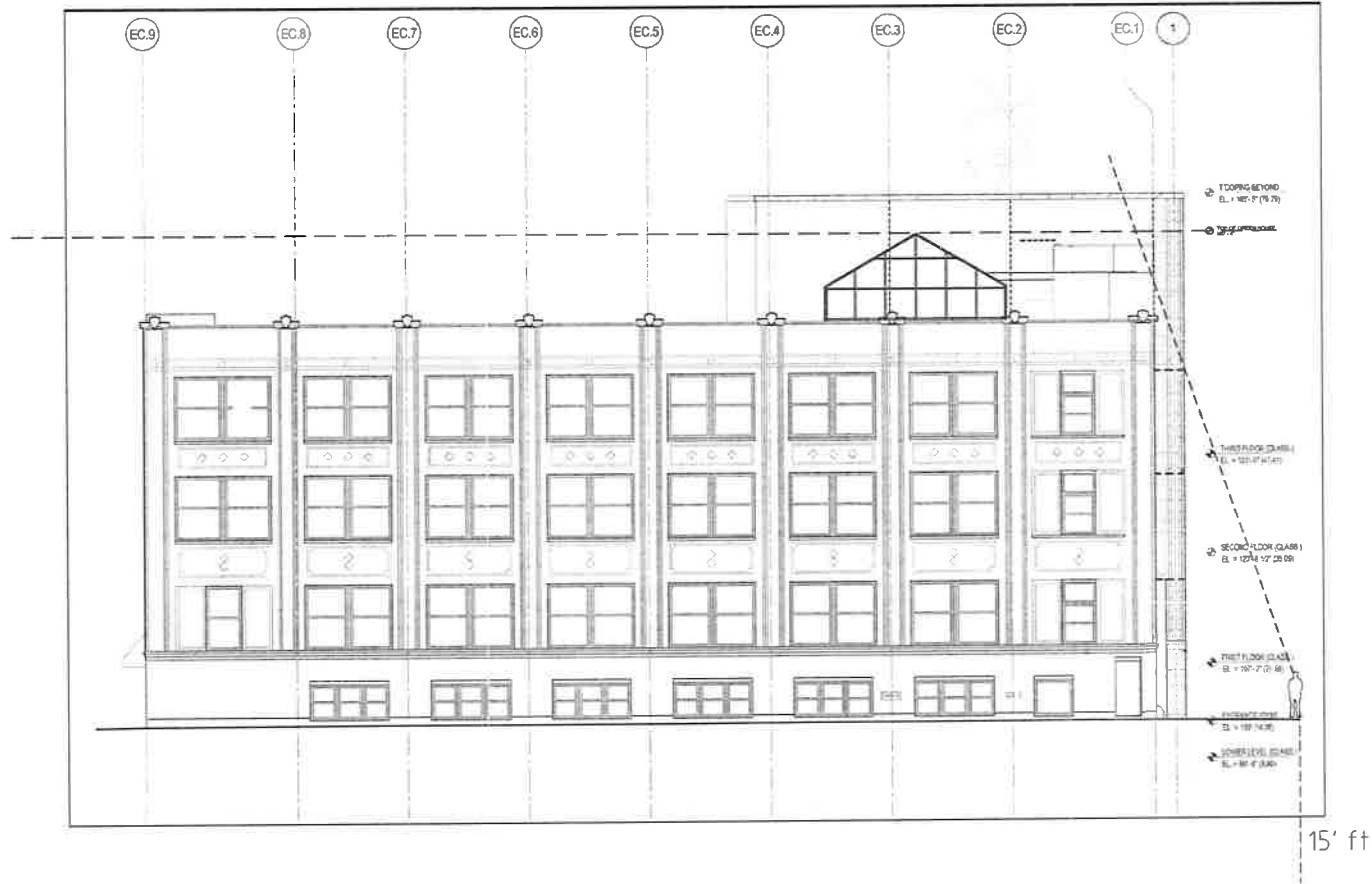
1 NORTH ELEVATION
1/16"=1'-0"

date	05.12.2016	sketch #	1
scale	1/16" = 1 foot	drawing	ELEVATIONS

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1375 n. milwaukee ave. #r. 2 chicago, il 60622
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na norman architects



1 EAST ELEVATION
1/16"=1'-0"

drawing	date	sketch #
	05.12.2015	1
ELEVATIONS		scale
		1/16" = 1' foot

CATHERINE COOK SCHOOL
226 W Schiller St.
CHICAGO, IL 60610

na norman architects

1379 N. Milwaukee Ave. # 2 Chicago, IL 60622
Tel: 773.282.9448 & 773.282.9447



17401

a line from a point 524.23 feet south of West Jackson Boulevard and 428.49 feet west of South Central Park Avenue to a point 425.73 feet south of West Jackson Boulevard and 306.45 feet west of South Central Park Avenue, said line being a curved line convex to the northeast, having a radius of 1,717.20 feet and an arc length of 157.19 feet; a line from a point 425.73 feet south of West Jackson Boulevard and 306.45 feet west of South Central Park Avenue to a point 329.75 feet south of West Jackson Boulevard and 233.19 feet west of South Central Park Avenue, said line being a curved line convex to the northeast, having a radius of 301.80 feet and an arc length of 121.57 feet; a line from a point 329.75 feet south of West Jackson Boulevard 233.19 feet west of South Central Park Avenue to a point 218.24 feet south of West Jackson Boulevard and 187.01 feet west of South Central Park Avenue, said line being a curved line convex to the northeast, having a radius of 810.39 feet and an arc length of 120.18 feet; a line from a point 218.24 feet south of West Jackson Boulevard and 187.01 feet west of South Central Park Avenue to a point 98.7 feet south of West Jackson Boulevard and 170 feet west of South Central Park Avenue; and a line 98.7 feet south of West Jackson Boulevard (ToB),

to those of an RM5 Residential Multi-Unit District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

—
Reclassification Of Area Shown On Map No. 3-F.
 (As Amended)
 (Application No. 17401)
 (Common Address: 224 -- 242 W. Schiller St.; 1400 -- 1410
 N. Wieland St.; And 1401 -- 1411 N. North Park Ave.)

IPD 885,99

[SO2012-21]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the RM5 Residential Multi-Unit District and Institutional Planned Development Number 885 symbols and indications as shown on Map Number 3-F in the area bounded by:

the alley next north of and parallel to West Schiller Street; North Wieland Street; West Schiller Street; and North North Park Avenue,

to those of a B3-3 Community Shopping District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the B3-3 Community Shopping District symbols and indications within the area herein above described to the designation of Institutional Planned Development Number 885, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in this plan of development herewith attached and made a part and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development No. 885, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 885, as amended, consists of approximately 26,521 square feet (0.609 acre) which is depicted on the attached Planned Development Boundary, Property Line and Subarea Map (the "Property") and is owned or controlled by the applicant, Catherine Cook School.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and if different than the applicant, then to the owners of record title to all of the Property and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. Single designated control for the purpose of this paragraph has the same meaning stated in Section 17-8-0400 of the Chicago Zoning Ordinance.
4. This plan of development consists of these sixteen (16) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Subarea Map; a Generalized Site Plan; a

Landscape/Green Roof Plan; Ground Floor Plan; and Elevations dated January 11, 2012. Full size sets of the Site Plan, Landscape Plans and Building Elevations are on file with the Department of Housing and Economic Development. In any instance where a provision of this planned development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17-8 of the Municipal Code of Chicago, and all requirements thereto and satisfies the established criteria for approval as a planned development.

5. The following uses shall be allowed within the area delineated herein as "Institutional Planned Development": school, auditorium, gymnasium and related uses.
6. On-premises signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Housing and Economic Development. Monument signs shall be permitted. Off-premises signs are prohibited within the boundary of the planned development.
7. Ingress or egress shall be subject to the review and approval of the Department of Transportation and the Department of Housing and Economic Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Applicant shall make provision for a minimum of twenty-nine (29) off-site parking spaces to be located within six hundred twenty-five (625) feet from the Property.
8. For purposes of calculating height, the definitions in the Chicago Zoning Ordinance shall apply. In addition to the maximum height of the buildings and any appurtenances thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. The maximum permitted floor area ratio ("FAR") for the parcel shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of Floor Area Ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 26,521 square feet.
10. Upon Part II review, a Part II Review Fee shall be assessed by the Department of Housing and Economic Development pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance. The fee as determined by the Department of Housing and Economic Development staff at that time is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.

11. The improvements on the Property shall be designed, installed and maintained in substantial conformance with the Site/Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Notwithstanding any statement to the contrary, this planned development shall be subject to the provision of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In addition, parkway trees shall be installed and maintained in accordance with the parkway tree planting provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines where compatible with the Landscape Plan.
12. The applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that code.
13. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Housing and Economic Development upon the application for such a modification by the applicant and after a determination by the Commissioner of the Department of Housing and Economic Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this planned development by the Commissioner of the Department of Housing and Economic Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner that provides healthier environments, reduces operating costs and conserves energy and resources. The new construction building addition located on the property shall contain a 1,585 square foot green roof and shall be Leadership Energy and Environmental Design ("LEED") Green Building Rating System Certified.
15. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for person with disabilities and to promote the highest standard of accessibility. No building permit shall be issued by the Department of Buildings until the Director of MOPD has approved detailed construction drawings for the building or improvement proposed to be constructed pursuant to the permit.

17401

- 16. Unless substantial construction of the new improvements contemplated in this planned development has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and the zoning of the Property shall automatically revert to the B3-3 Community Shopping District classification.

[Existing Zoning Map; Existing Land-Use Map; Off-Site Parking and Site Map; Planned Development Property Line and Boundary Map; Site Plan; Landscape Plan; Roof Top Plan; Green Roof Plan; Building Elevations; and Chicago Builds Green form referred to in these Plan of Development Statements printed on pages 25131 through 25145 of this *Journal*.]

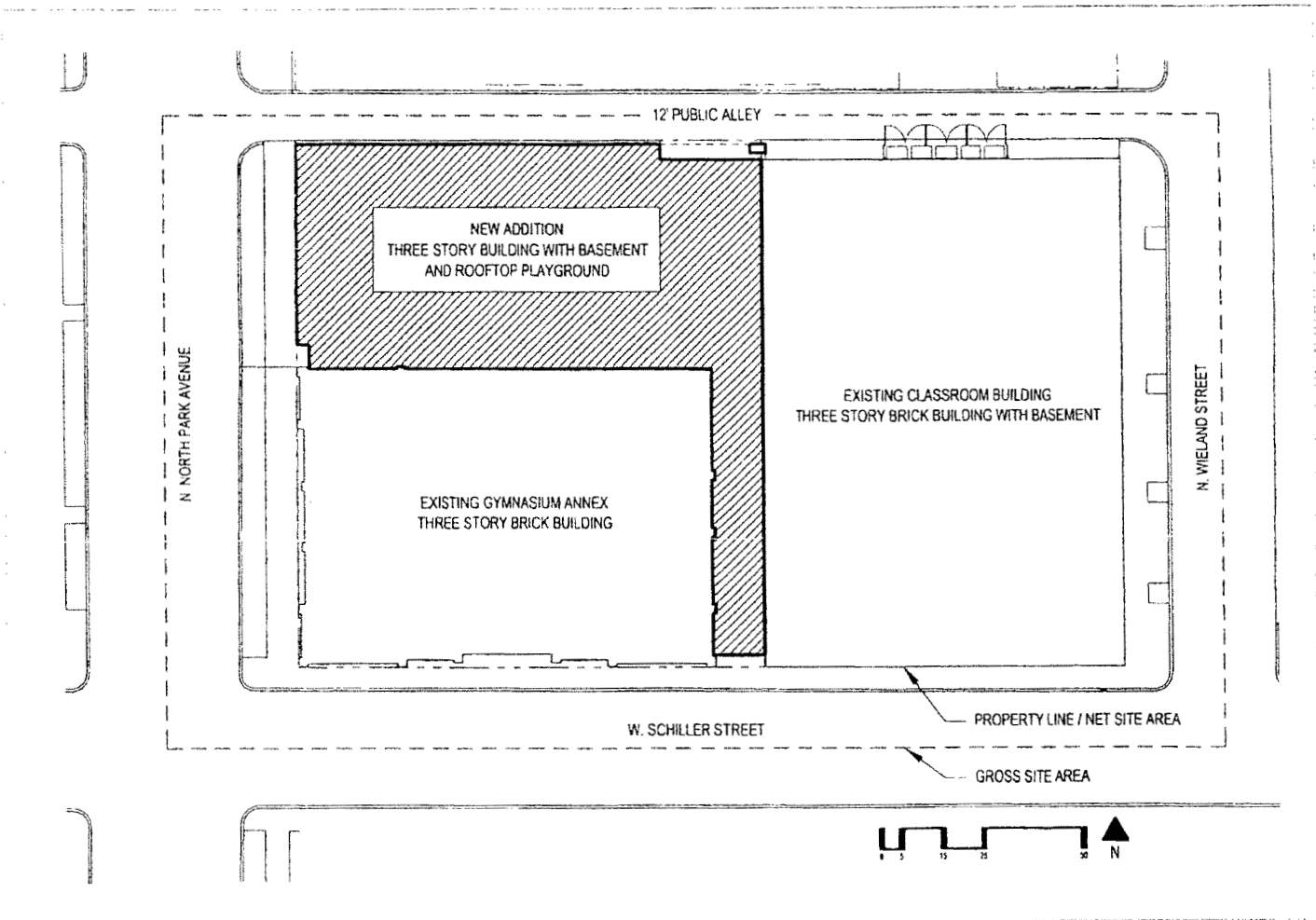
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Bulk Regulations And Table Data.

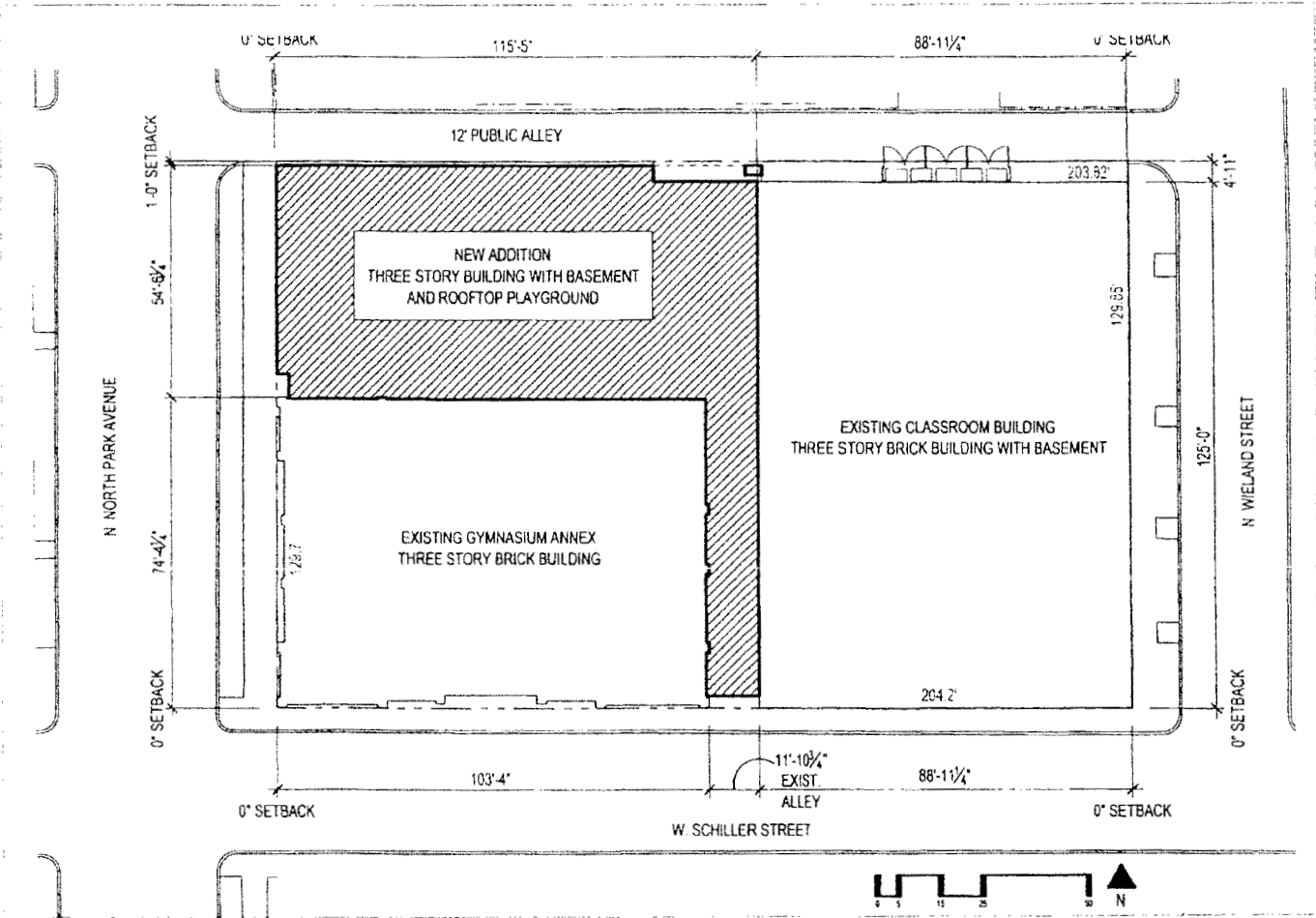
Institutional Planned Development Number 885.

Gross Site Area:	40,761 square feet
Net Site Area:	26,521 square feet
Adjoining Public Right-of-Way:	14,240 square feet
Maximum Permitted Floor Area Ratio (FAR):	3.00
Building Height:	49 feet from grade to underside of roof structure
Building Setbacks:	Per Site Plan
Minimum Number of Parking Spaces:	29 (off-site)
Minimum Number of Loading Docks:	0

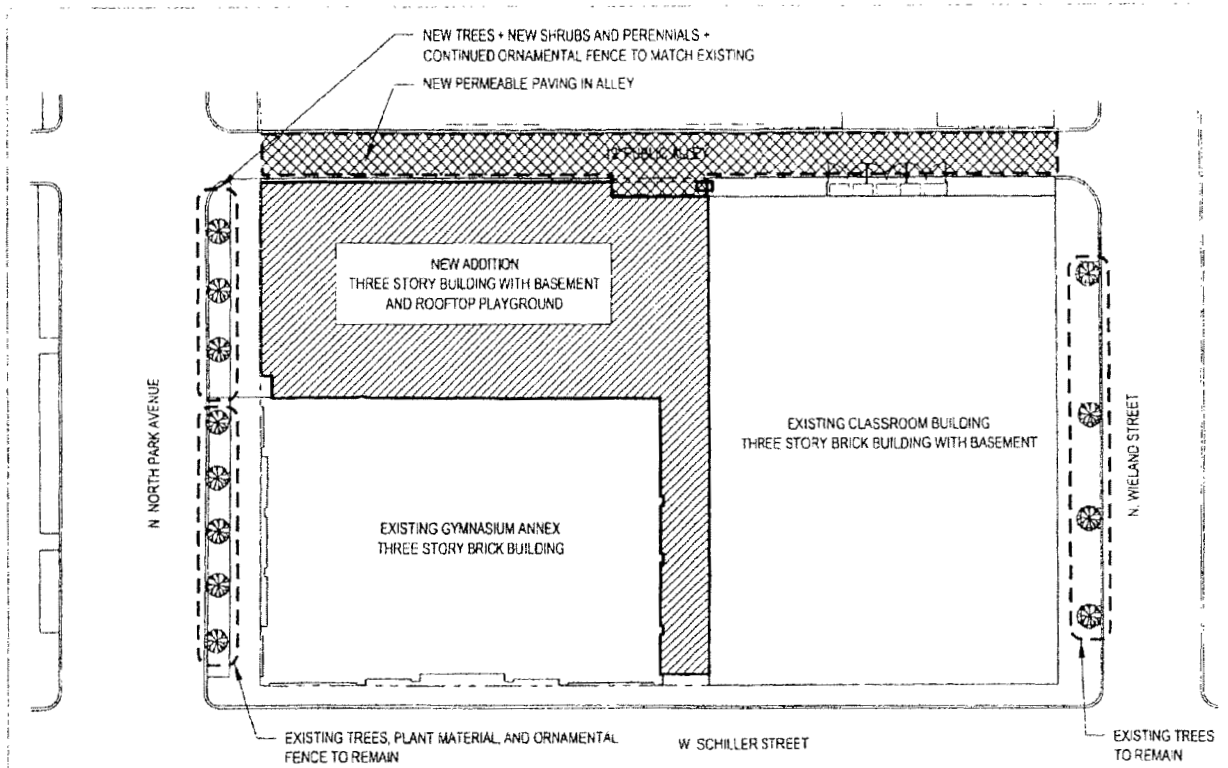
Planned Development Property Line And Boundary Map.



Site Plan.



Landscape Plan.



Existing Plant Material:

Trees: 8" Pear + 4" Kentucky Coffee + 4" Maple + 11"-13" Elm

- Hosta
- Hydrangea
- Russian Sage
- Autum Joy Sedum
- Lilac Shrub
- Allium
- Daisy

Proposed Plant Material:

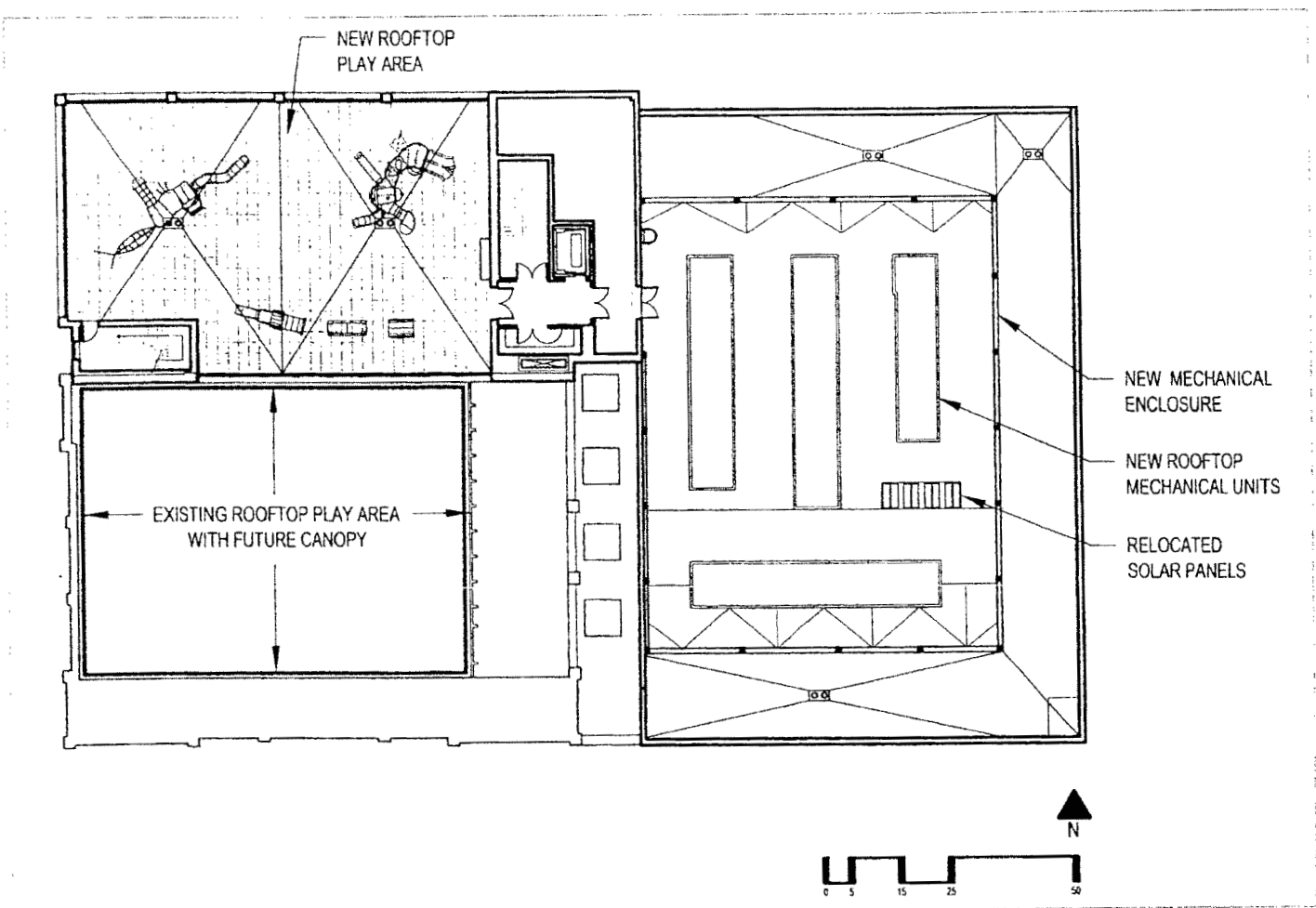
Trees: 4" cal. Princeton Sentry Gingko
Native Shrubs

- Aimes St. Johnswort
- Annabelle Hydrangea
- Dwarf Fothergalla
- Troquois Beauty Black Chokecherry

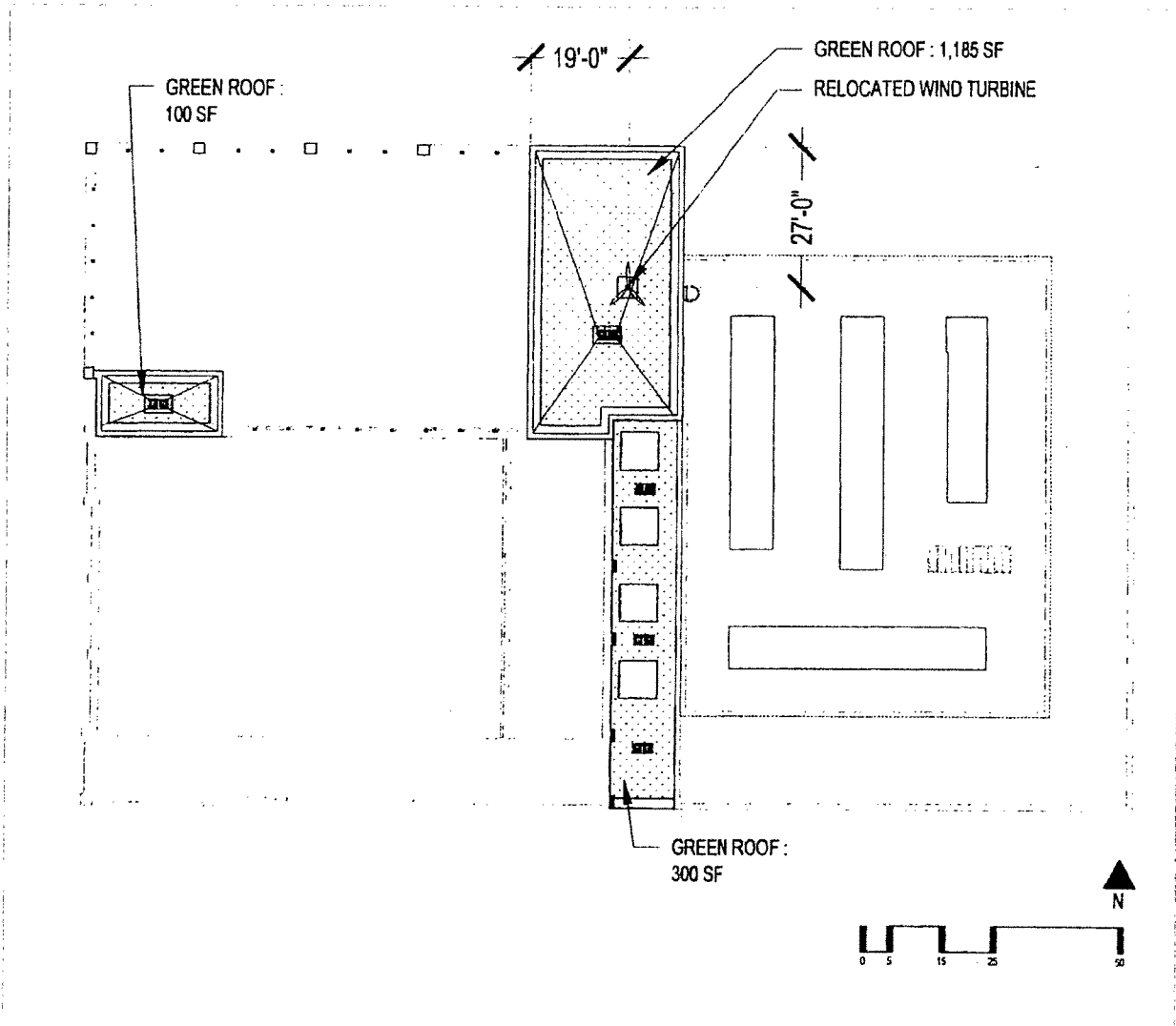
Native Perennials

- Summer Beauty Allium
- Narrow Leaf Blue Star
- Wild Columbine
- Wood's Purple Aster
- Magnus Purple Coneflower
- Green Spice Prairie Alum Root
- Wild Petunia

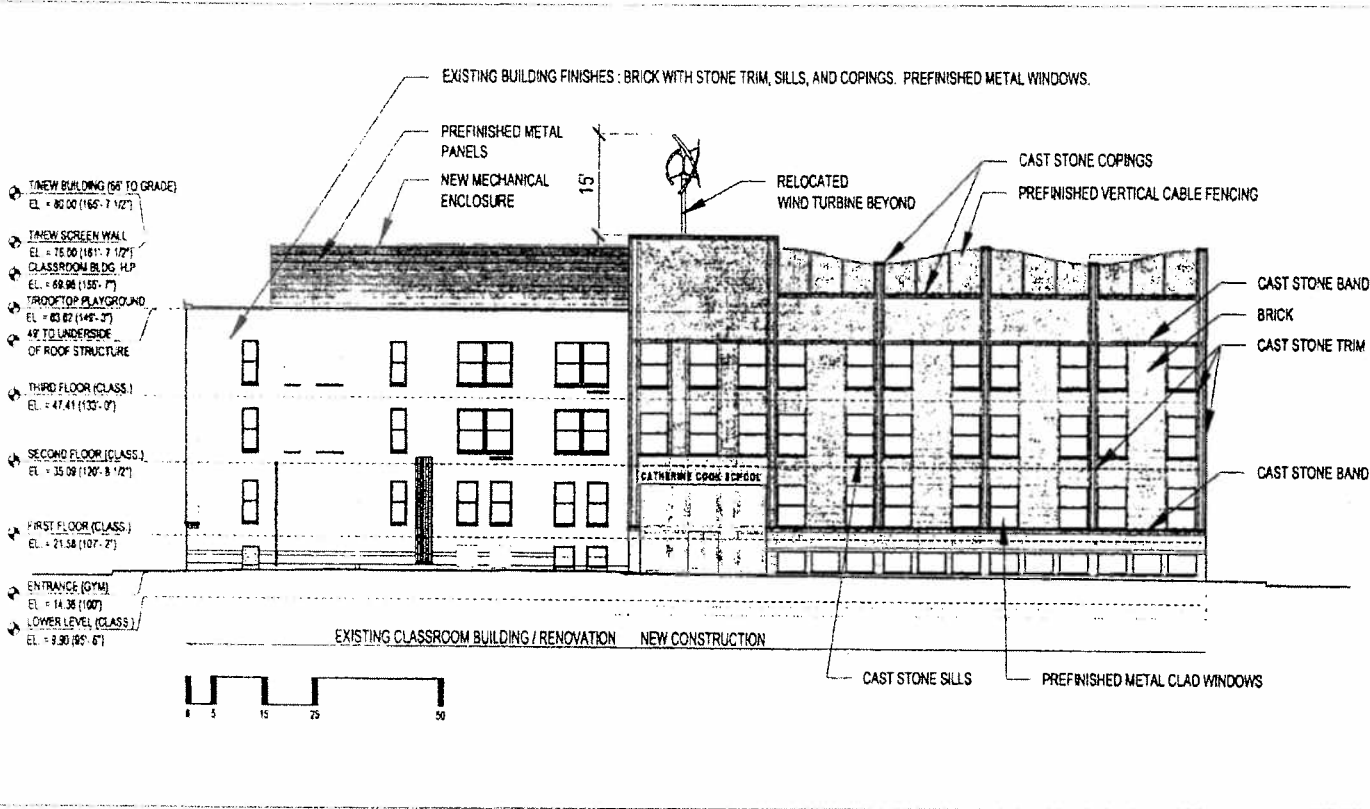
Rooftop Plan.



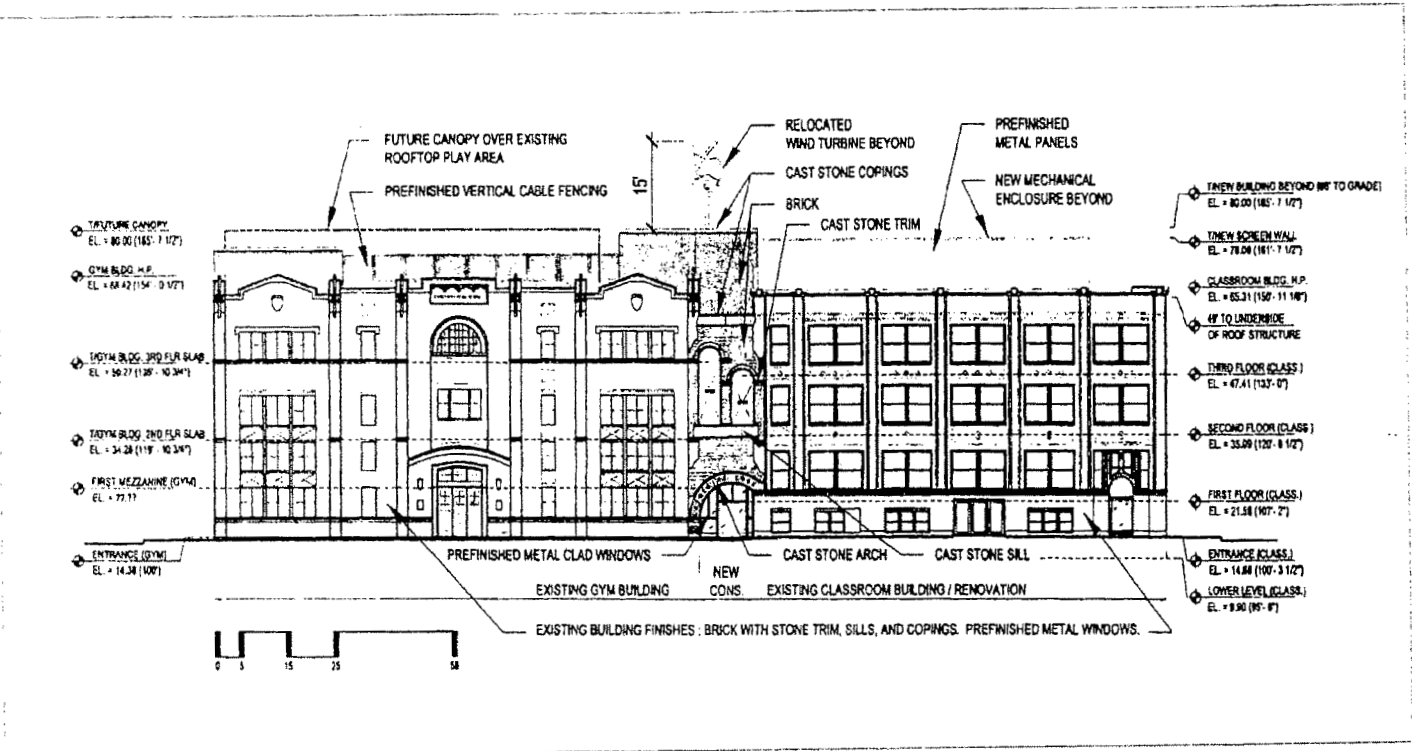
Green Roof Plan.



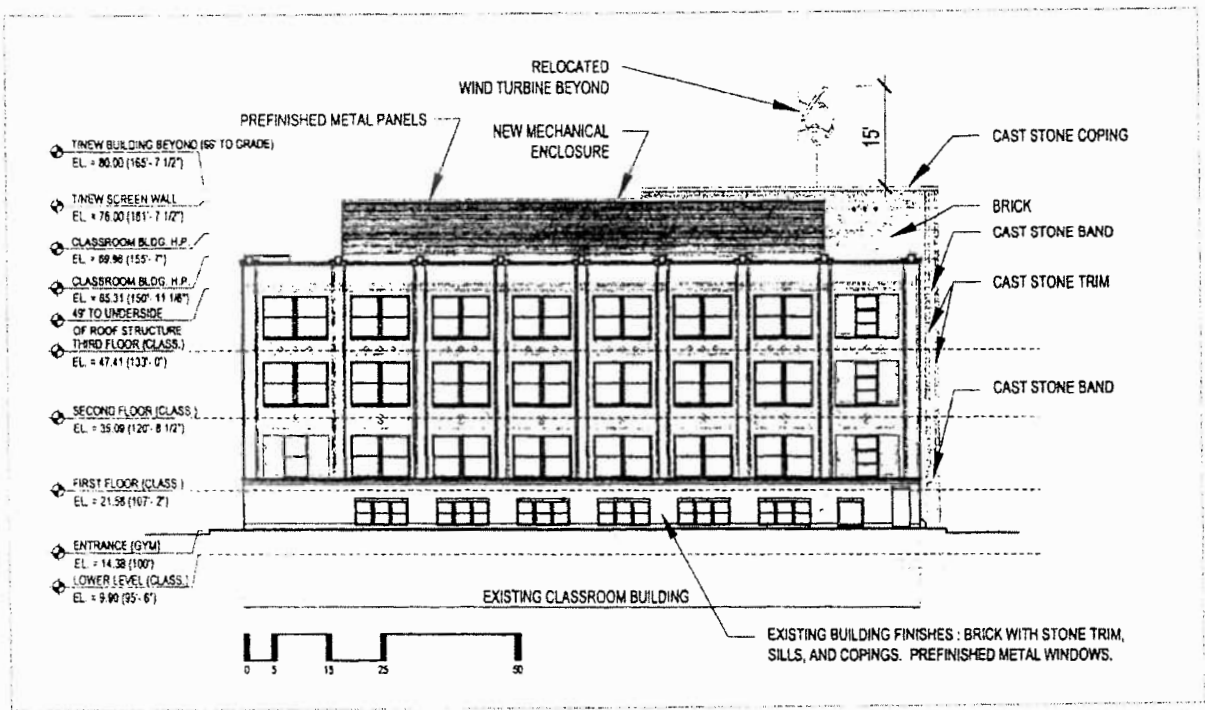
North Building Elevation.



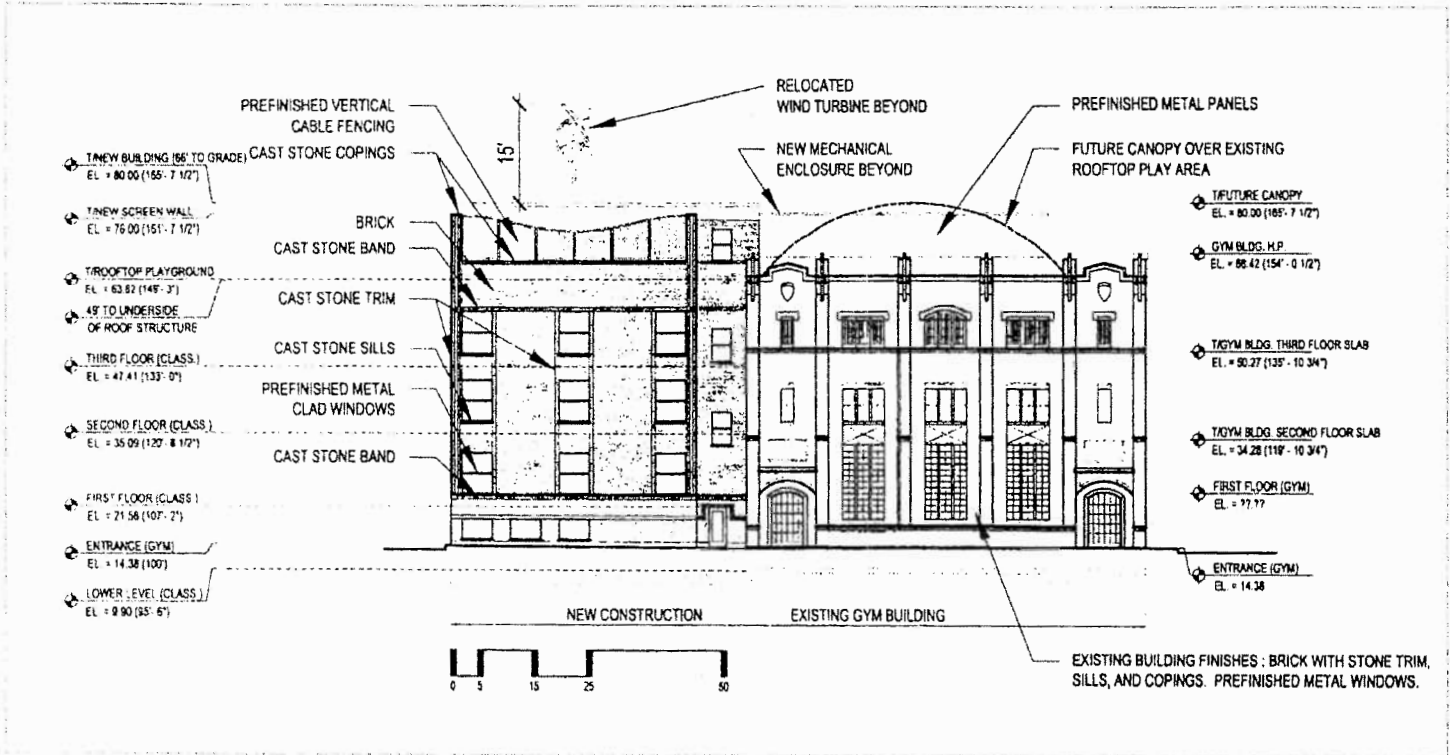
South Building Elevation.



East Building Elevation.



West Building Elevation.



Chicago Builds Green.

(Page 1 of 3)

GREEN

Project Name:

Catherine Cook School Addition - PD 885

Project Location:

* Street Number (if the address only includes one street number, please fill only the cell "From")

From*	To*	Direction	Street Name	Select Street Type
226		W	Schiller	St

Ward No.	Community Area No
27	8

Project Type:

Check applicable

Planned Development Redevelopment Agreement Zoning Change

PD No: RDA No: -From: To:

Public project Landmark

Project Size:

Total land area in sq ft	Total building(s) footprint in sq ft:	Total vehicular use area in sq ft
26,521	25,551	0

DPD Project Manager:

Enter First Name Last Name

Patrick Murphey

BG/GR Matrix:

Select project category:

Inst. School, Com. Center

Financial Incentives:

Check applicable:

TIF Empowerment Zone Grant Class L

GRIF Ind. Dev. Revenue Bonds Class 6b

SBIF Bank Participation Loan DOH

Land Sale Write Down

Density Bonus:

Check applicable:

Public plaza & pocket park Water features in a plaza or pocket park

Chicago Riverwalk improvements Setbacks above the ground floor

Winter gardens Lower level planting terrace

Indoor through-block connection Green roof

Sidewalk widening Underground parking and loading

Arcades Concealed above-ground parking

Chicago Builds Green.

(Page 2 of 3)

Required per Zoning Code or Green Roof/Building Green Matrix
To be Provided by the development:

Please fill, if applicable

Landscaping:

7' Landscape Setback	Square footage:	0	0
Interior Landscape Area	Square footage:	0	0
No. of Interior Trees		0	0
No. of Parkway Trees		12	12

Open Space:

River Setback	Square footage:	0	0
Private Open Space	Square footage:	0	4,110
Privately developed Public Open Space	Square footage:	0	0

Stormwater Management (At-grade volume control):

Permeable paving	Square footage:	0
Raingarden	Check applicable:	<input type="checkbox"/>
Filter strip		<input type="checkbox"/>
Bioswale		<input type="checkbox"/>
Detention pond		<input type="checkbox"/>
Native landscaping	Square footage:	0
Rain-water collection cistern/barrel	Gallons:	0
Total impervious area reduction	Square footage:	0

Other sustainable surface treatments:

Green roof	Square footage:	1,585	1,585
Energy Star roof	Square footage:	0	0
High-albedo pavement	Square footage:	0	0

Transportation:

No. of accessory parking spaces		29	29
Total no. of parking spaces (Accessory + Non- Acc.)			29
No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)		0	0
No. of bicycle parking		0	0
Within 600 ft of CTA or Metra station entrance	Check if applicable:		<input checked="" type="checkbox"/>

Chicago Builds Green.

(Page 3 of 3)

Building Certification:

- | | | |
|----------------------------------|-------------------------------------|-------------------------------------|
| Energy Star building | <input type="checkbox"/> | <input type="checkbox"/> |
| LEED certification | <input checked="" type="checkbox"/> | |
| LEED Certified | | <input checked="" type="checkbox"/> |
| LEED Silver | | <input type="checkbox"/> |
| LEED Gold | | <input type="checkbox"/> |
| LEED Platinum | | <input type="checkbox"/> |
| Chicago Green Homes | <input type="checkbox"/> | |
| Chicago Green Homes [one-star] | | <input type="checkbox"/> |
| Chicago Green Homes [two-star] | | <input type="checkbox"/> |
| Chicago Green Homes [three-star] | | <input type="checkbox"/> |

Energy efficiency strategies not captured above:

IE: Other than Energy Star Roof - or Energy Star Building Certification-

Wind turbine located on top of mechanical penthouse at new addition.

Other sustainable strategies and/or Project Notes:

11/5/2003

REPORTS OF COMMITTEES

13617
11113

Reclassification Of Area Shown On Map Number 3-F.
(As Amended)

(Application Number 136 17)

Be It Ordained by the City Council of the City of Chicago: IPD 885

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R5 General Residence District symbols and indications as shown on Map Number 3-F in the area bounded by:

the alley next north of and parallel to West Schiller Street; North Wieland Street; West Schiller Street; North North Park Avenue; a line 78.0 feet north of and parallel to West Schiller Street; and the alley next east of and parallel to North North Park Avenue,

to those of an Institutional Planned Development which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 885

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development No. 885 consists of approximately 19,915 square feet (0.46 acres) **and** is owned or controlled by the Applicant, The Catherine Cook School, (the "Applicant").
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council
3. The requirements, obligations and conditions contained within this Planned Development shall be **binding** upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holder **and** any ground lessors. Furthermore, pursuant to the requirements of Section 11.1 l-1 of the Chicago Zoning Ordinance, the Property shall ~~be~~ under single ownership or under single **designated** control at the time **any** applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made. Single designated control for purposes of this paragraph shall mean that **any** application to the City for any amendment to this Planned Development or any other modification or change thereto (**administrative**, legislative or otherwise) shall be made or authorized by all the owners of the

Property and any ground lessors.

4. This Plan of Development consists of these fourteen Statements; a Bulk Regulation and Data Table; an Existing Zoning Map; an Existing Land Use Map; a Planned Development Property Line and Boundary Map; a Site and Landscape Plan; an Off-Site Parking **and** Site Map; and Building Elevations (East Elevation, West Elevation, North Elevation, and **South** Elevation); a Third Floor/Rooftop Plan dated October 16, 2003 prepared Schoch Associates Inc. Full size sets of the **Site/Landscape** Plan and Building Elevations are on file with the Department of **Planning** and Development. The Planned Development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area delineated herein as "Institutional Planned Development": school, auditorium, gymnasium and related uses.
6. Identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing **signs shall** be permitted, subject to the review and approval of the Department of **Planning** and Development.
7. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning **and** Development. All work proposed in the Public Way must be designed **and** constructed in accordance with the Chicago Department of

Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. The Applicant shall make provision for a minimum of **twenty-five (25)** off-site parking spaces to be located within one thousand (1,000) feet **from** the Property.

8. In addition to the maximum height of the building and any appurtenance thereto prescribed in this Planned Development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of Floor Area Ratio (F.A.R.) calculations, the definitions in the Chicago Zoning Ordinance shall apply.
10. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site/Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. In particular, the proposed sky bridge shall contain predominantly transparent materials and shall be constructed at a minimum height subject to approval by the Chicago Fire Department and the Chicago Department of Transportation.
11. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the

application for such a modification by the Applicant and after a determination by the Commissioner of the Department of **Planning** and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in **this** Planned Development **and** the purposes underlying the provisions hereof. Any such modification of the requirements of this Statement by the Commissioner of the Department of **Planning** and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 11 .11-3(c) of the Chicago Zoning Ordinance.

12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings **in a manner** which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in **an energy efficient manner** generally consistent with Leadership in Energy and Environmental Design Green Building Rating System (**LEED**). Copies of these standards may be obtained from the Department of Planning and Development.
13. The Applicant acknowledges **that it** is in the public interest to design, construct **and** maintain the project in a **manner** which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities (M.O.P.D.) to ensure compliance with **all** applicable laws **and** regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section

11.11-3(b) of the **Chicago Zoning Ordinance** until the Director of M.O.P.D. has approved detailed construction **drawings** for each building or improvement.

14. **Unless** substantial construction of the improvements on Parcel B contemplated in the **attached** exhibits has commenced **within** six (6) years following adoption of this **Planned Development**, and **unless** completion is thereafter diligently pursued, then this **Planned Development** shall expire and then the **zoning** of the property shall automatically revert to the preexisting **R5 General Residence District** classification.

[Existing Zoning Map; Existing Land-Use Map; Off-Site Parking and Site Map; Planned Development Property Line and Boundary Map; Site/Landscape Plan; Rooftop Plan; and Building Elevation Drawings referred to in these Plan of Development Statements printed on page 11120 through 11130 of this *Journal*.]

11/5/2003

REPORTS OF COMMITTEES

13617
11119

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional Planned Development Number- 885

Gross Site Area:	33,164 square feet
Net Site Area:	19,915 square feet
Adjoining Public Right-of-Way:	13,249 square feet
Maximum Permitted Floor Area Ratio (F.A.R.):	2.40
Building Height Per Building Elevations:	
Building Setbacks Per Site Plan:	
Minimum Number of Parking Spaces:	0
Minimum Number of Loading Docks:	0

11120

JOURNAL--CITY COUNCIL--CHICAGO

11/5/2003

Bulk Regulations And Data Table.

INSTITUTIONAL PLANNED DEVELOPMENT NO. 885

Gross Site Area: 33,164 sq.ft.

Net Site Area: 19,915 sq.ft.

Adjoining Public Right of Way: 13,249 sq.ft.

Maximum Permitted Floor Area Ratio (FAR): 2.40

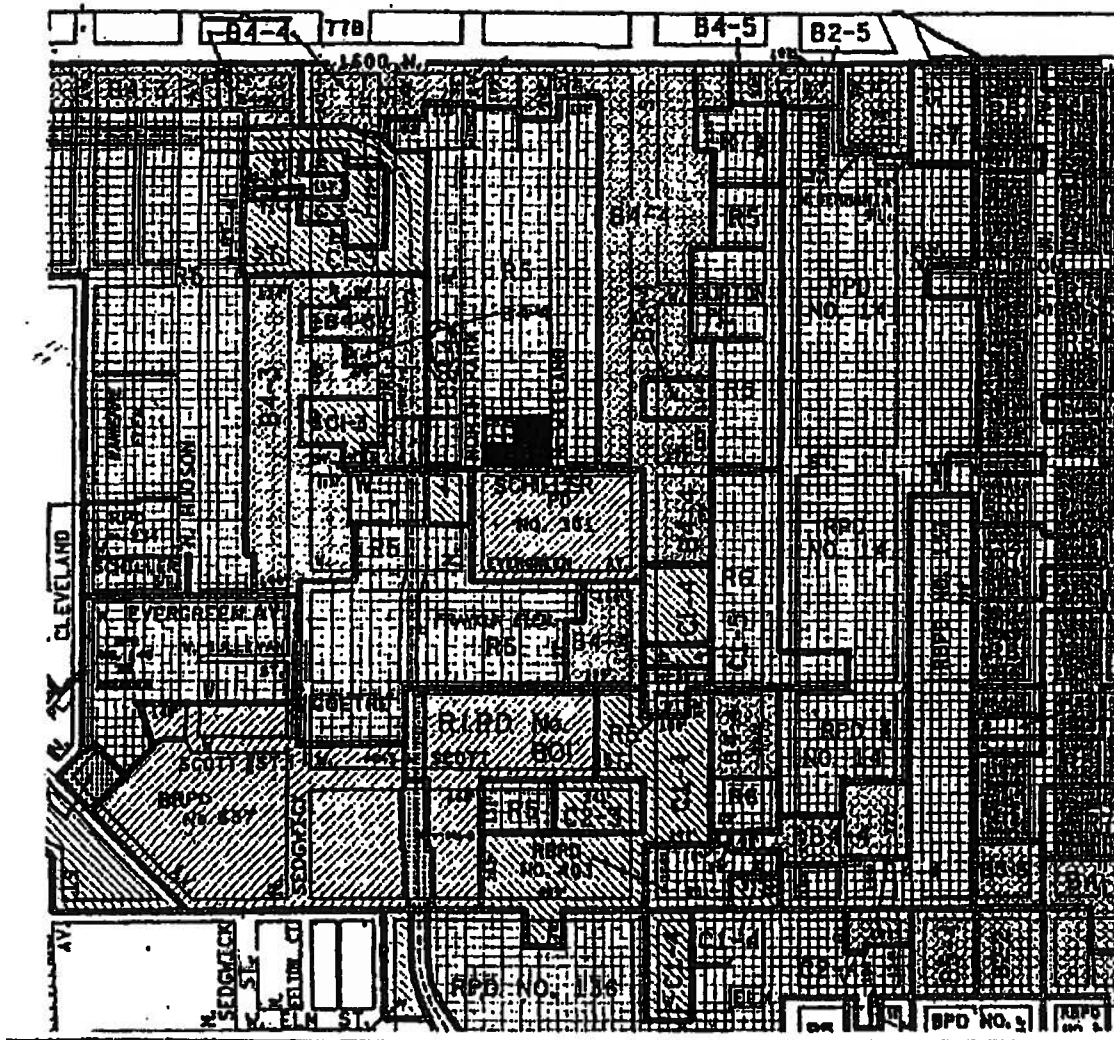
Building Height Per Building Elevations

Building Setbacks Per Site Plan

Minimum Number Of Parking Spaces: 0

Minimum Number of Loading Docks: 0

Existing Land-Use Map.

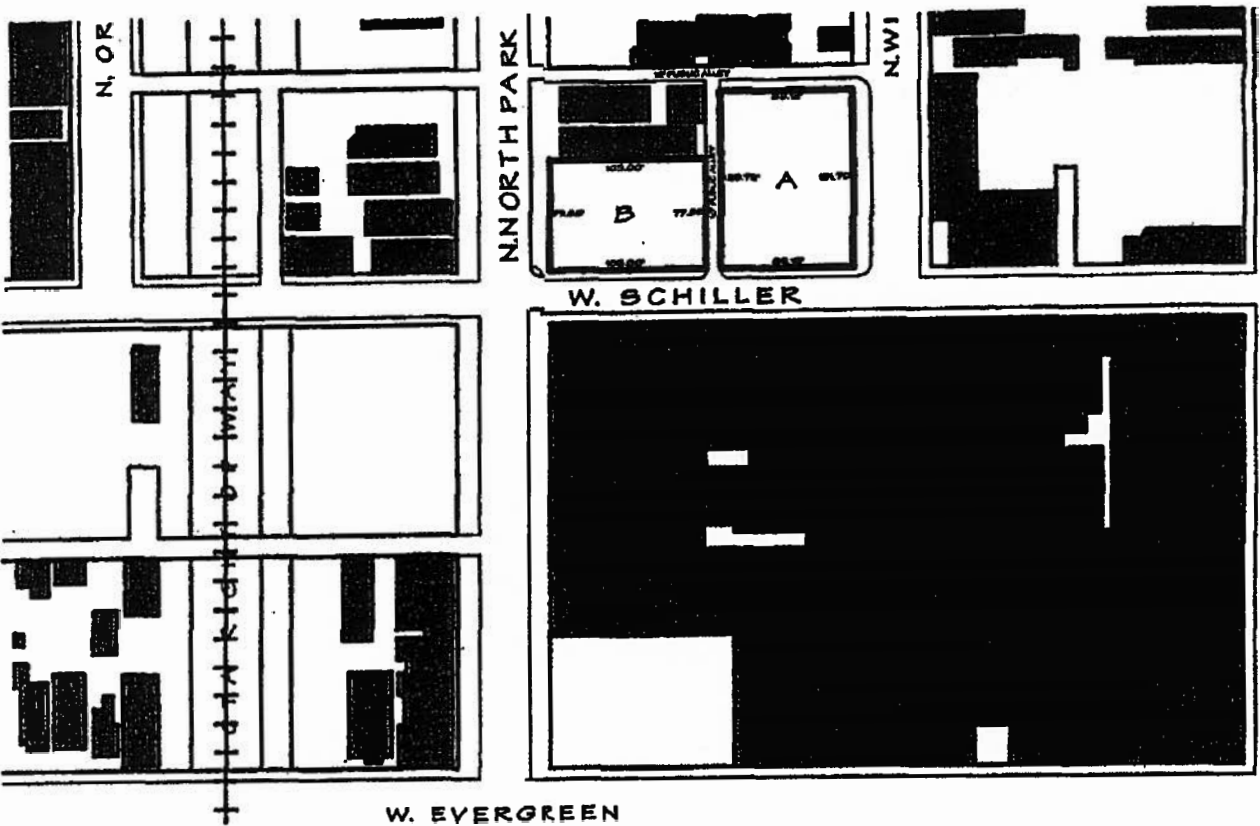


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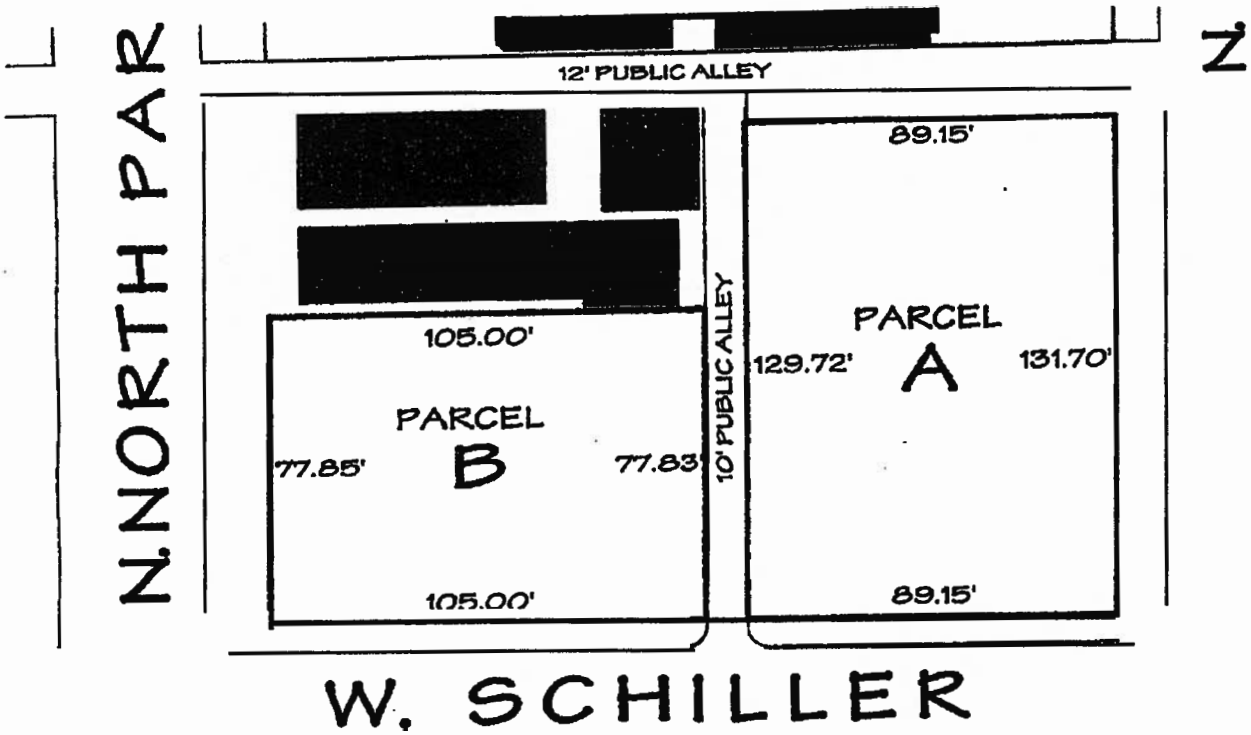
REPORTS OF COMMITTEES

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Off Site Parking And Site Map.



Planned Development Property Line
And Boundary Map.

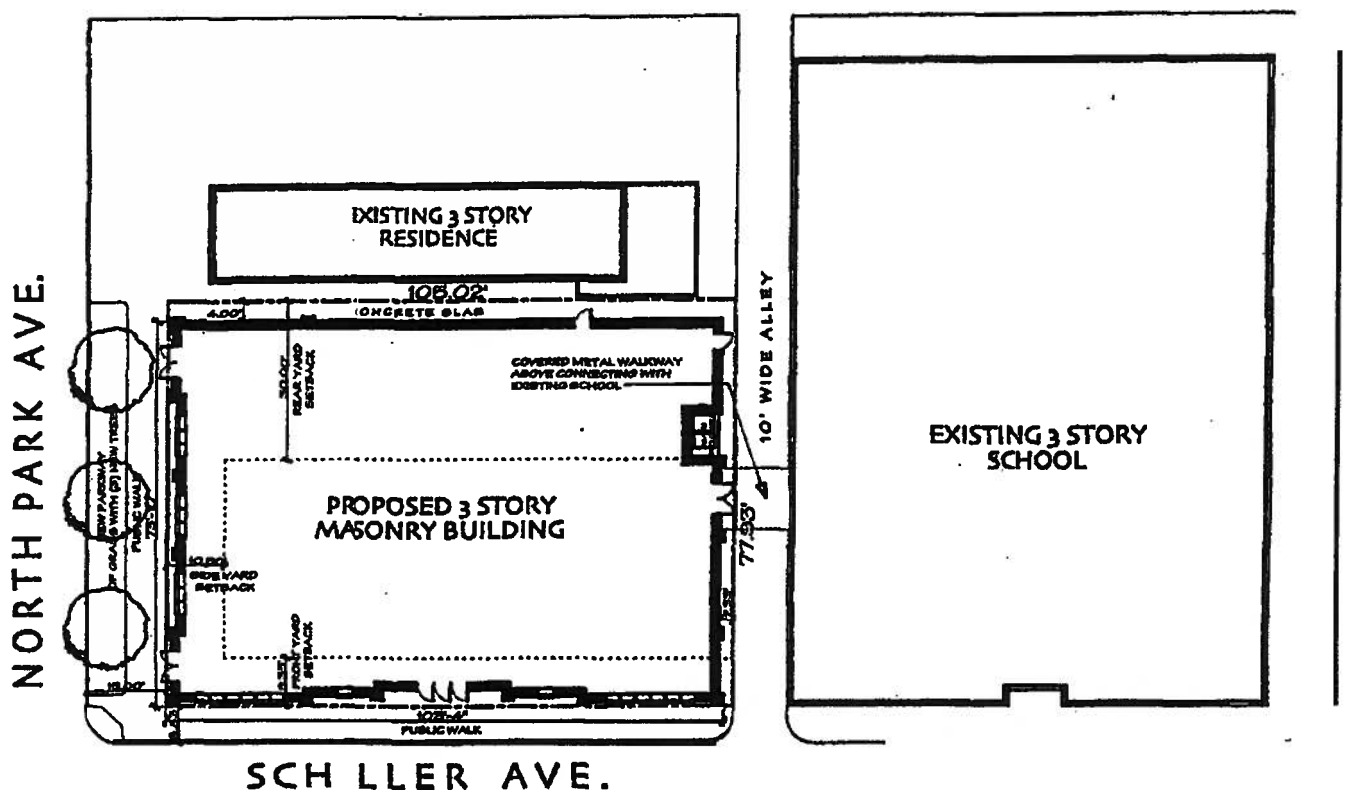


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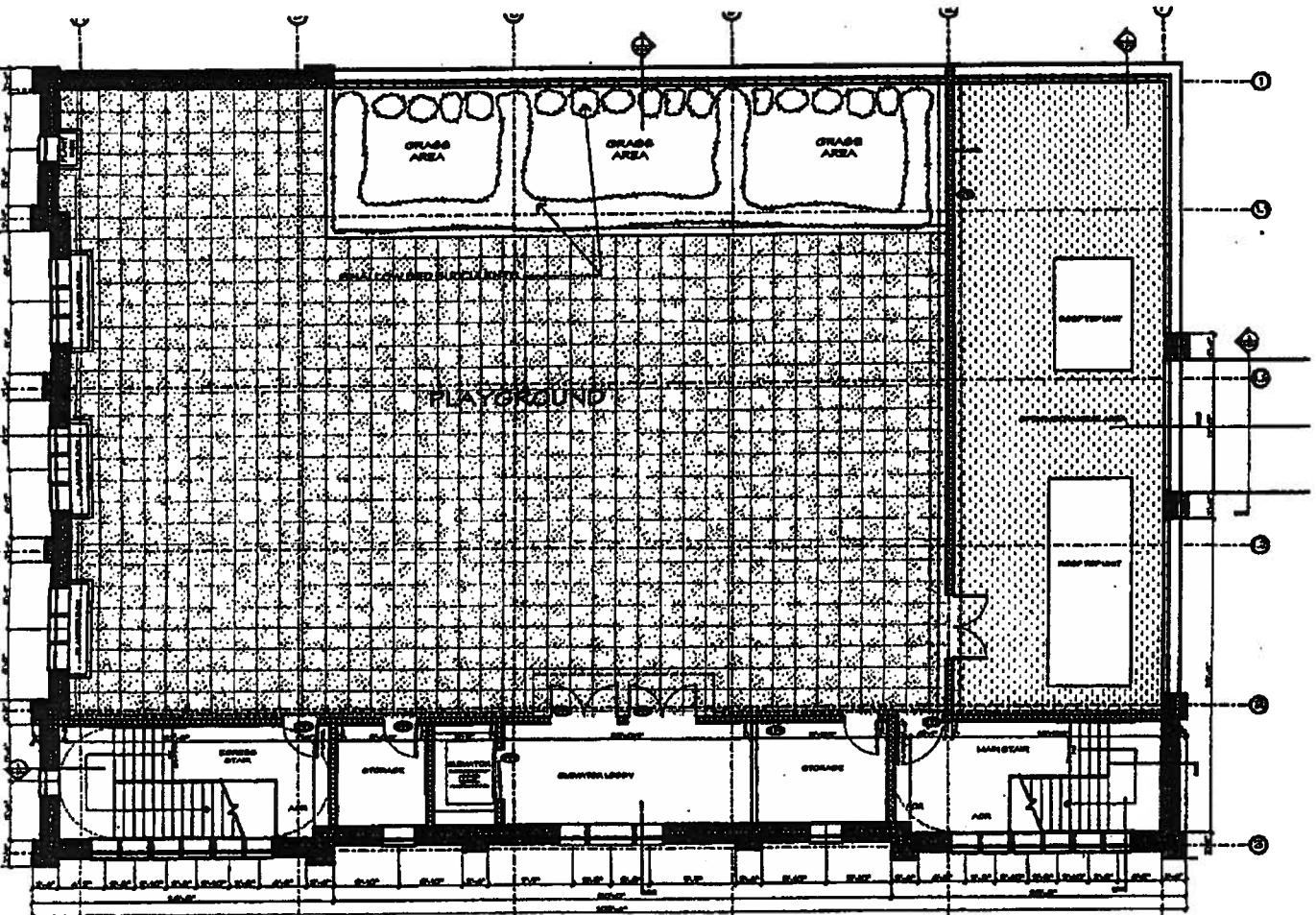
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Site/Landscape Plan.



Third Floor/Rooftop Plan.

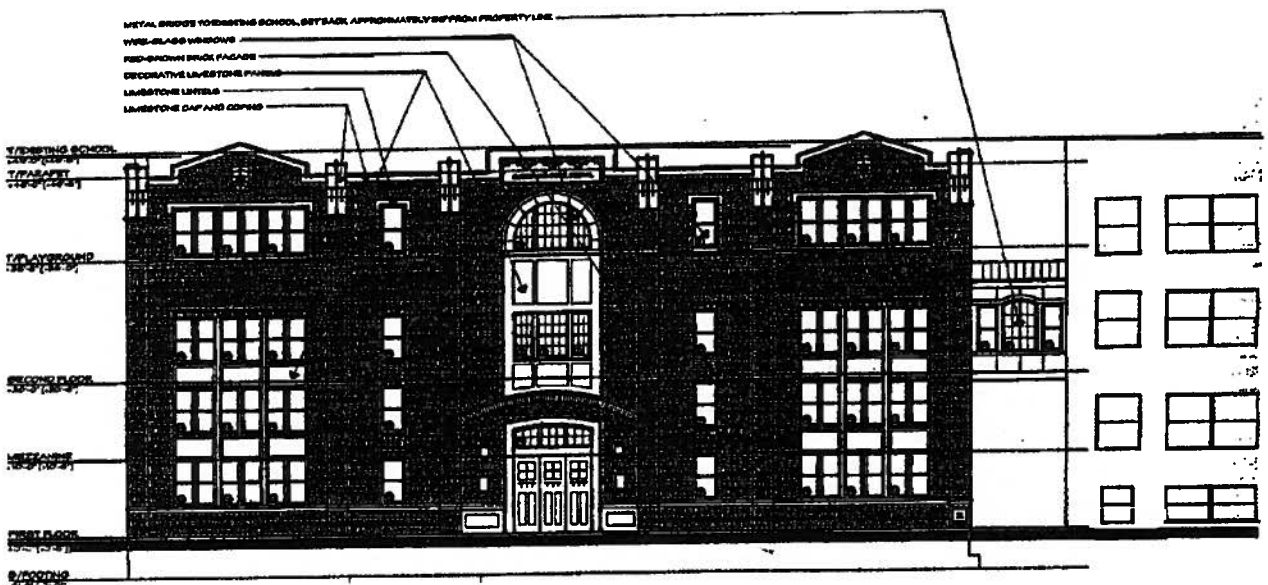


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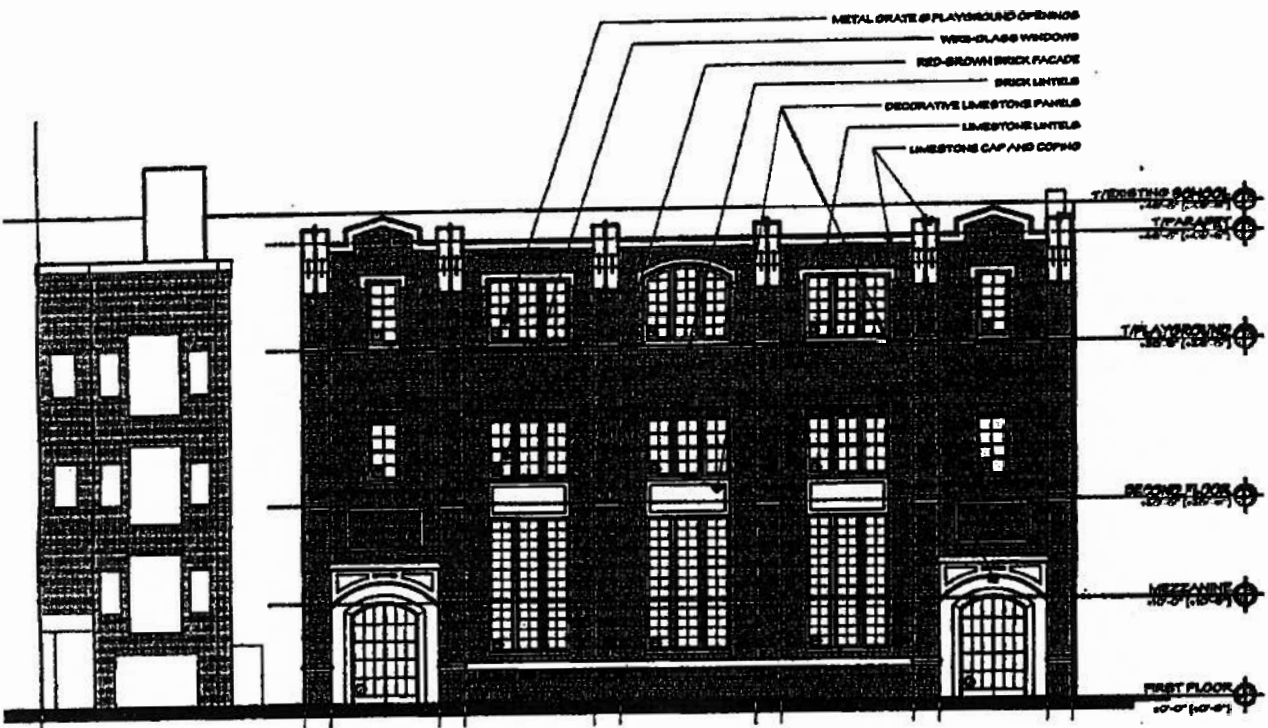
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Building Elevation.
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Building Elevation
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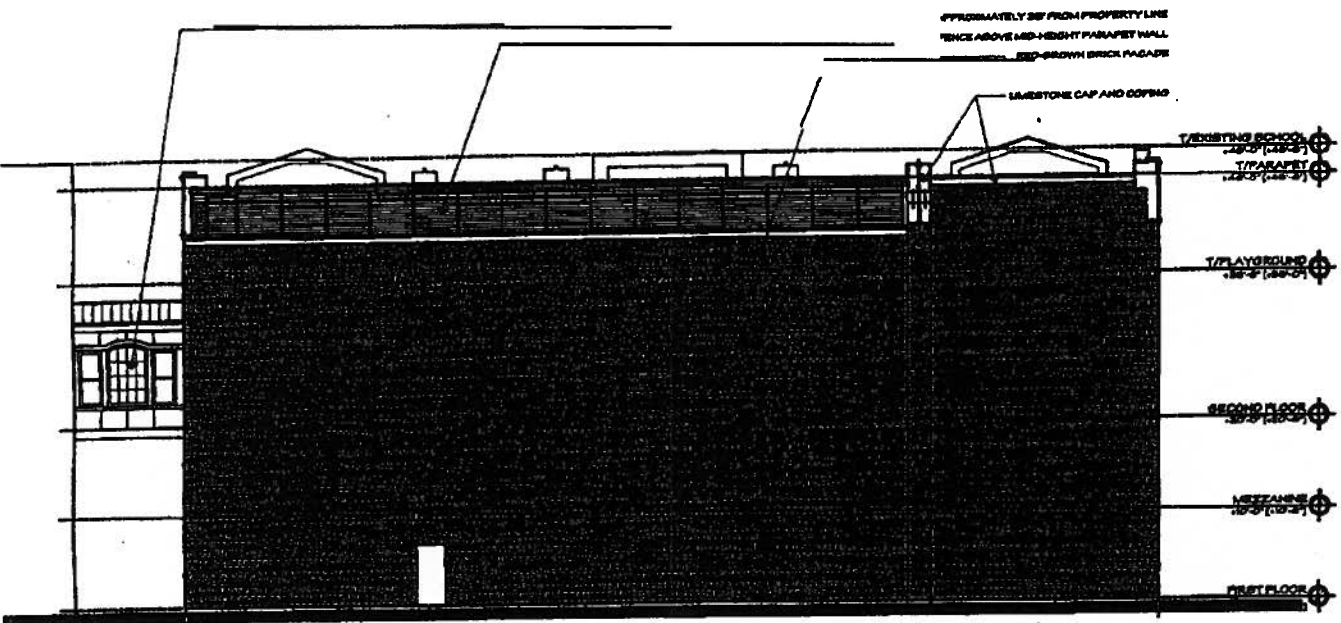


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Building Elevation.
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Building Elevation.
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