

# PD 853

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DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

July 21, 2014

Bernard I. Citron  
Thompson Coburn LLP  
55 East Monroe Street  
37<sup>th</sup> Floor  
Chicago, IL 60603

**Re: Administrative Relief request for Residential Planned Development No. 853  
Lot 23, 431 West Deming Place and adjacent air rights**

Dear Mr. Citron:

Please be advised that your request for a minor change to Residential Planned Development No. 853 ("PD 853"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 853.

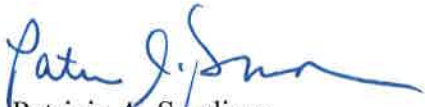
Lot 23 (431 W. Deming Place) is owned by LG Development Group, LLC, and its affiliate, 2550 North Lakeview LLC ("2550 Lakeview"). You are requesting on their behalf, to construct a portion of the proposed single-family row home on the air rights of the adjacent parcels to the east, along Deming Place. The other property owners within the Planned Development, Lake Tower Dev. LLC, the Missionary Sisters of the Sacred Heart, and the Lincoln Park 2550 Homeowners Association ("Homeowners Assoc."), have provided their consent for this request. A portion of the air rights parcel is owned by the Lincoln Park 2550 Condominium Assoc. ("Condominium Assoc.") and a portion is owned by the Lincoln Park 2550 Parking Condominium Assoc. ("Parking Assoc."). You submitted a copy of the air rights Construction, Maintenance and Access Easement Agreement between the Condominium Assoc., Parking Assoc., Homeowners Assoc. and 2550 Lakeview. A copy of the following drawings, prepared by Michael Hershenson Architects, and dated June 11, 2014, shall be inserted into the main file: Site Plan and Notes, First, Second, Third, and Fourth Floor Plans, Roof Plan, North, East and South Elevations, Building and Wall Sections.

With regard to your request, the Department of Planning and Development has determined that allowing a portion of the proposed single-family row home at 431 W. Deming Place to be built upon the air rights of the adjacent parcels will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 853, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Patricia A. Scudiero  
Zoning Administrator

PAS:HG:tm

C: Mike Marmo, Erik Glass, Main file

**ENERGY NOTE**

1. The work indicated is being constructed in accordance with the Chicago Energy Conservation Code (16-11-00-1), as amended, and any amendments to these provisions.
2. All work shall be done in accordance with the following:
3. All work shall be done in accordance with the following:
4. All work shall be done in accordance with the following:
5. All work shall be done in accordance with the following:
6. All work shall be done in accordance with the following:
7. All work shall be done in accordance with the following:
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**GENERAL NOTES**

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10. All work shall be done in accordance with the following:

**FIRE PREVENTION NOTES**

1. All work shall be done in accordance with the Chicago Fire Code (16-11-00-1), as amended, and any amendments to these provisions.
2. All work shall be done in accordance with the following:
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9. All work shall be done in accordance with the following:
10. All work shall be done in accordance with the following:

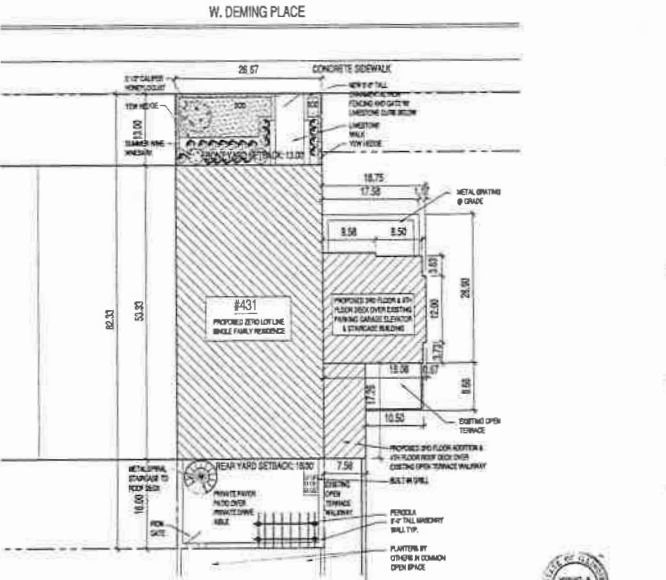
**CODE REQUIREMENT NOTES**

1. All work shall be done in accordance with the Chicago Building Code (16-11-00-1), as amended, and any amendments to these provisions.
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10. All work shall be done in accordance with the following:

DOOR SCHEDULE										
No.	Size	Material	Finish	Hardware	Notes	Remarks	Notes	Remarks	Notes	Remarks
FIRST FLOOR										
1	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
2	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
3	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
4	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
5	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
6	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
7	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
8	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
9	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
10	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
SECOND FLOOR										
11	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
12	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
13	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
14	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
15	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
16	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
17	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
18	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
19	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
20	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
THIRD FLOOR										
21	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
22	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
23	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
24	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
25	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
26	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
27	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
28	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
29	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
30	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
FOURTH FLOOR										
31	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
32	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
33	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
34	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
35	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
36	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
37	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
38	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				
39	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	REAR ENTRY DOOR				
40	2'-0" x 8'-0"	1/2" GLASS	WOOD	STD	1	FRONT ENTRY DOOR				

**SPRINKLER NOTE:**  
PER 1603-1605-000 EXIST REQUIREMENTS, AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH ONE OF THE FOLLOWING I.F.P.A. 13, 1994 EDITION, I.F.P.A. 130, 1991 EDITION, OR I.F.P.A. 130, 1991 EDITION WILL BE SUBSTITUTED FOR THE SECOND FLOOR EXIST FLOOR. SPRINKLER SYSTEM TO BE ON ALL FLOORS. SEE FIRE PROTECTION SHEETS PPL 1 & PPL 2.

**PROPOSED AREA:**  
FIRST FLOOR: 1,000 SF  
SECOND FLOOR: 1,000 SF  
THIRD FLOOR: 1,000 SF  
FOURTH FLOOR: 1,000 SF  
TOTAL AREA: 4,000 SF



**SITE PLAN**  
Scale: 1" = 10'

SCHEDULE OF FINISHES	
01	MECHANICAL ROOM FLOOR
02	MECHANICAL ROOM FLOOR
03	MECHANICAL ROOM FLOOR
04	MECHANICAL ROOM FLOOR
05	MECHANICAL ROOM FLOOR
06	MECHANICAL ROOM FLOOR
07	MECHANICAL ROOM FLOOR
08	MECHANICAL ROOM FLOOR
09	MECHANICAL ROOM FLOOR
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35	MECHANICAL ROOM FLOOR
36	MECHANICAL ROOM FLOOR
37	MECHANICAL ROOM FLOOR
38	MECHANICAL ROOM FLOOR
39	MECHANICAL ROOM FLOOR
40	MECHANICAL ROOM FLOOR

- GENERAL NOTES**
1. PROVIDE CONCRETE WALKWAY TO REAR YARD SETBACK.
  2. PROVIDE CONCRETE WALKWAY TO REAR YARD SETBACK.
  3. PROVIDE CONCRETE WALKWAY TO REAR YARD SETBACK.
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  40. PROVIDE CONCRETE WALKWAY TO REAR YARD SETBACK.

**DEMING RESIDENCE**  
NEW YORK LOT LINE  
SINGLE FAMILY RESIDENCE  
431 W. DEMING PLACE  
LITCHFIELD, ILLINOIS 62544

**SITE PLAN & NOTES**

Scale: 1" = 10'

Drawn By: [Signature]

Checked By: [Signature]

Date: [Date]

**A0.0**



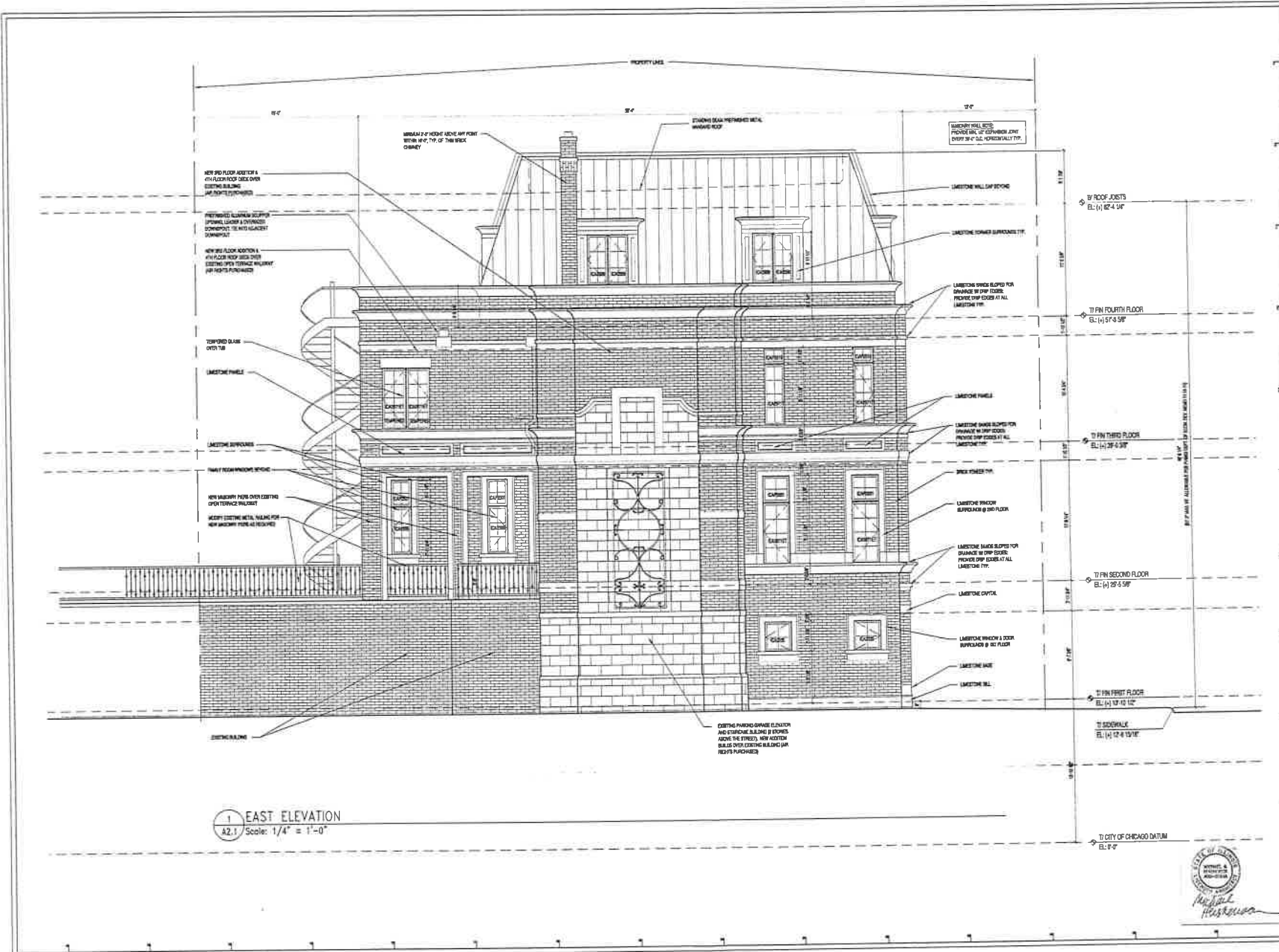












1 EAST ELEVATION  
A2.1 Scale: 1/4" = 1'-0"

- INDEX OF DRAWINGS**
- 001 SITE PLAN, SEE NOTES BOOK NUMBER 2
  - 002 SPECIFICATIONS
  - 003 FIRST FLOOR PLAN
  - 004 SECOND FLOOR PLAN
  - 005 THIRD FLOOR PLAN
  - 006 FOURTH FLOOR PLAN
  - 007 ROOF PLAN
  - 008 NORTH SECTION
  - 009 EAST SECTION
  - 010 SOUTH SECTION
  - 011 WEST SECTION
  - 012 WALL SECTION
  - 013 GENERAL NOTES
  - 014 FIRST FLOOR FINISHING PLAN
  - 015 SECOND FLOOR FINISHING PLAN
  - 016 THIRD FLOOR FINISHING PLAN
  - 017 FOURTH FLOOR FINISHING PLAN
  - 018 ROOF FINISHING PLAN
  - 019 PLUMBING PLAN
  - 020 MECHANICAL PLAN
  - 021 MECHANICAL, ROOF FINISHING & DETAILS
  - 022 MECHANICAL, ROOF FINISHING & DETAILS
  - 023 ELECTRICAL, FIRST FLOOR PLAN
  - 024 ELECTRICAL, SECOND FLOOR PLAN
  - 025 ELECTRICAL, THIRD FLOOR PLAN
  - 026 ELECTRICAL, FOURTH FLOOR PLAN
  - 027 ELECTRICAL, ROOF FINISHING
  - 028 ELECTRICAL, SPECIAL FINISHING & DETAILS
  - 029 PLUMBING, FIRST FLOOR PLAN
  - 030 PLUMBING, SECOND FLOOR PLAN
  - 031 PLUMBING, THIRD FLOOR PLAN
  - 032 PLUMBING, FOURTH FLOOR PLAN
  - 033 PLUMBING, ROOF FINISHING & NOTES
  - 034 PLUMBING, DETAILS
  - 035 PLUMBING, SPECIAL FINISHING
  - 036 FIRE PROTECTION PLAN
  - 037 FIRE PROTECTION SPECIFICATIONS & DETAILS

- GENERAL NOTES**
1. THESE DIMENSIONS REFER TO THE CENTERLINE OF THE WALL UNLESS OTHERWISE NOTED.
  2. FINISH CONDITIONS SHALL BE AS SHOWN IN THE SCHEDULES UNLESS OTHERWISE NOTED.
  3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND SPECIFICATIONS.
  4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND SPECIFICATIONS.
  5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND SPECIFICATIONS.
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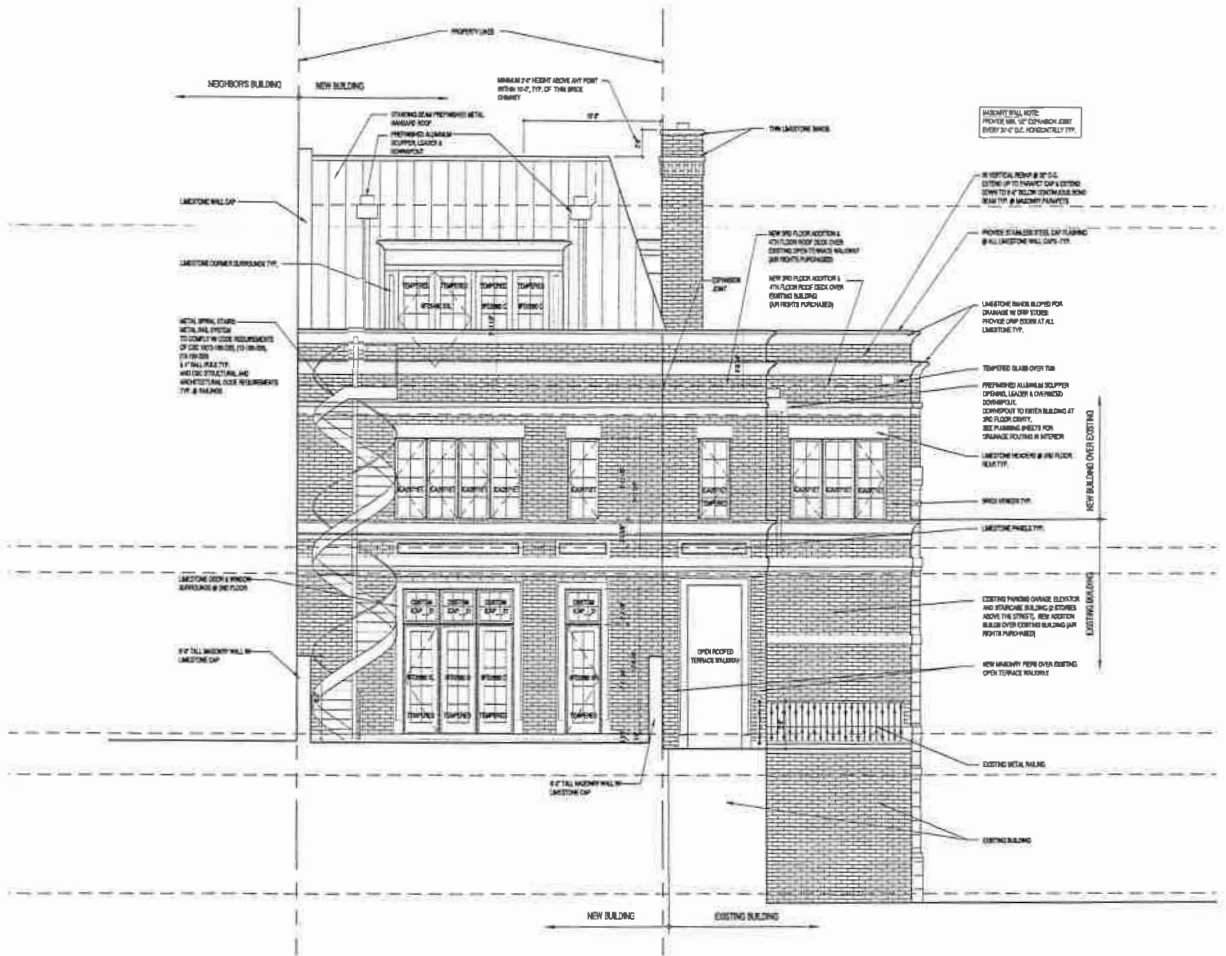
1	DESIGNED FOR PERMIT	5.11.14
2	REVIEW	6.08.14
3	REVIEW	5.28.14
4	REVIEW	5.28.14
5	REVIEW	4.28.14
6	REVIEW	4.18.14

**DEMING RESIDENCE**  
NEW ZERO LOT LINE  
SINGLE FAMILY RESIDENCE  
431 W. DEMING PLACE  
CHICAGO, ILLINOIS 60614

**MHA**  
MECHANICAL, HEATING & AIR CONDITIONING  
1000 N. LAUREL STREET, SUITE 1000  
CHICAGO, ILLINOIS 60610  
PHONE: 312.467.1100  
FAX: 312.467.1100  
WWW.MHA-CHICAGO.COM

**EAST ELEVATION**  
Scale:  
Drawn By: [Signature]  
Checked By: [Signature]  
Date: A2.1





1 SOUTH ELEVATION  
A2.2 Scale: 1/4" = 1'-0"

- LIST OF FINISHES**
- 001. 3/4" PLANK OAK WOOD TRIM, ROUND
  - 002. BRICKWORK
  - 003. FIRST FLOOR PLANK
  - 004. SECOND FLOOR PLANK
  - 005. THIRD FLOOR PLANK
  - 006. FOURTH FLOOR PLANK
  - 007. ROOF PLANK
  - 008. GUTTER SECTION
  - 009. GARDEN SECTION
  - 010. BALDING SECTION
  - 011. WALL SECTION
  - 012. GENERAL NOTES
  - 013. FIRST FLOOR FRAMED PLAN
  - 014. SECOND FLOOR FRAMED PLAN
  - 015. THIRD FLOOR FRAMED PLAN
  - 016. FOURTH FLOOR FRAMED PLAN
  - 017. ROOF FRAMED PLAN
  - 018. BALDING SECTION
  - 019. BALDING SECTION
  - 020. BALDING SECTION
  - 021. TYPICAL DETAILS
  - 022. MECHANICAL FIRST FLOOR PLAN
  - 023. MECHANICAL SECOND FLOOR PLAN
  - 024. MECHANICAL THIRD FLOOR PLAN
  - 025. MECHANICAL FOURTH FLOOR PLAN
  - 026. MECHANICAL ROOF PLAN
  - 027. MECHANICAL GUTTER, REVEALS & DETAILS
  - 028. MECHANICAL WITTS & DETAIL
  - 029. ELECTRICAL FIRST FLOOR PLAN
  - 030. ELECTRICAL SECOND FLOOR PLAN
  - 031. ELECTRICAL THIRD FLOOR PLAN
  - 032. ELECTRICAL FOURTH FLOOR PLAN
  - 033. ELECTRICAL ROOF PLAN
  - 034. ELECTRICAL MECHANICAL REVEALS & DETAILS
  - 035. ELECTRICAL PANEL SCHEDULE
  - 036. PLUMBING FIRST FLOOR PLAN
  - 037. PLUMBING SECOND FLOOR PLAN
  - 038. PLUMBING THIRD FLOOR PLAN
  - 039. PLUMBING FOURTH FLOOR PLAN
  - 040. PLUMBING DETAILS
  - 041. MECHANICAL WITTS & DETAILS
  - 042. ELECTRICAL WITTS & DETAILS
  - 043. MECHANICAL REVEALS & DETAILS

- GENERAL NOTES**
1. REFER DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
  2. PROVIDE CONTIGUOUS WOOD BLOCKS IN THE WALLS FOR ALL CORNERS, WALLS, TRIMS, SILL, HEADS, JOIST TOPS, ETC. VERIFY LOCATION WITH INTERIOR FINISHES.
  3. ALL INTERIOR FINISHES TO BE 1/2" UNLESS OTHERWISE NOTED.
  4. ALL INTERIOR FINISHES TO BE 1/2" UNLESS OTHERWISE NOTED.
  5. ALL INTERIOR FINISHES TO BE 1/2" UNLESS OTHERWISE NOTED.
  6. ALL INTERIOR FINISHES TO BE 1/2" UNLESS OTHERWISE NOTED.
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  19. ALL INTERIOR FINISHES TO BE 1/2" UNLESS OTHERWISE NOTED.
  20. ALL INTERIOR FINISHES TO BE 1/2" UNLESS OTHERWISE NOTED.

8	ISSUED FOR PERMIT	8.11.14
9	REVISION	8.28.14
10	REVISION	9.28.14
11	REVISION	1.22.14
12	REVISION	4.16.14

**DEMING RESIDENCE**  
NEW ZERO LOT LINE  
BRIVOLE FAMILY RESIDENCE  
431 W. DEMING PLACE  
CHICAGO, ILLINOIS 60614

**MECA**

**SOUTH ELEVATION**

Scale: 1/4" = 1'-0"

Drawn By: *M. J. ...*

Checked By: *M. J. ...*

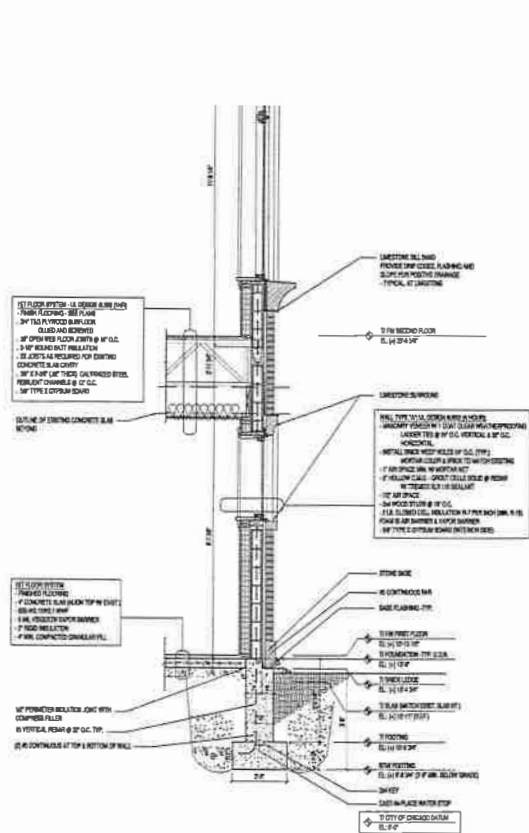
Date: *...*

Sheet Number: **A2.2**

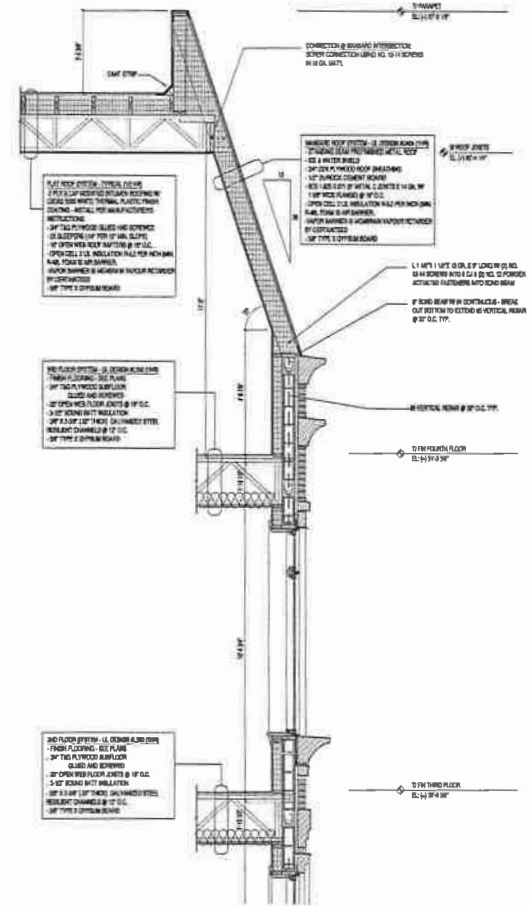




1 1ST & 2ND FLOOR WALL SECTION  
A3.1/ Scale: 1/2" = 1'-0"



2 3RD & 4TH FLOOR WALL SECTION  
A3.1/ Scale: 1/2" = 1'-0"



**REVISIONS**

1	ISSUED FOR PERMIT	8.11.18
2	REVISION	8.28.18
3	REVISION	9.28.18
4	REVISION	10.28.18
5	REVISION	11.28.18

**GENERAL NOTES**

1. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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16. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
17. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
18. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
19. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

**DEMIING RESIDENCE**

NEW ZERO LOT LINE  
SINGLE FAMILY RESIDENCE  
401 W. DEMIING PLACE  
CHICKADEE, ILLINOIS 60014

**MHA**

**WALL SECTIONS**

Scale: \_\_\_\_\_  
Drawn By: \_\_\_\_\_ Sheet Number: \_\_\_\_\_  
Checked By: \_\_\_\_\_  
Date: \_\_\_\_\_

**A3.1**



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

December 20, 2013

Bernard I. Citron  
Thompson Coburn LLP  
55 East Monroe Street, 37<sup>th</sup> Floor  
Chicago, IL 60603

**Re: Administrative Relief request for Residential Planned Development No. 853, as amended  
Lots 20, 21, and 22, including 435 W. Deming Place**

Dear Mr. Citron:


Please be advised that your request for a minor change to Residential Planned Development No. 853 ("PD 853"), as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 853.

You are requesting on behalf of the property owner of Lots 20, 21, and 22, LG Development, to divide the three lots into two lots and build two single-family town homes on the three lots. The other property owners within the Planned Development, Lake Tower Dev. LLC, the Missionary Sisters of the Sacred Heart, and the Lincoln Park 2550 Homeowners Association, have provided their consent for this request. The two proposed single-family town homes are shown on the attached drawings dated December 12, 2013. At this time, only the proposed home on lot 21 and 22 has a house number (435 W. Deming Pl.).

With regard to your request, the Department of Housing and Economic Development has determined that allowing the division of three lots into two lots for the proposed construction of two single-family town homes will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 853, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

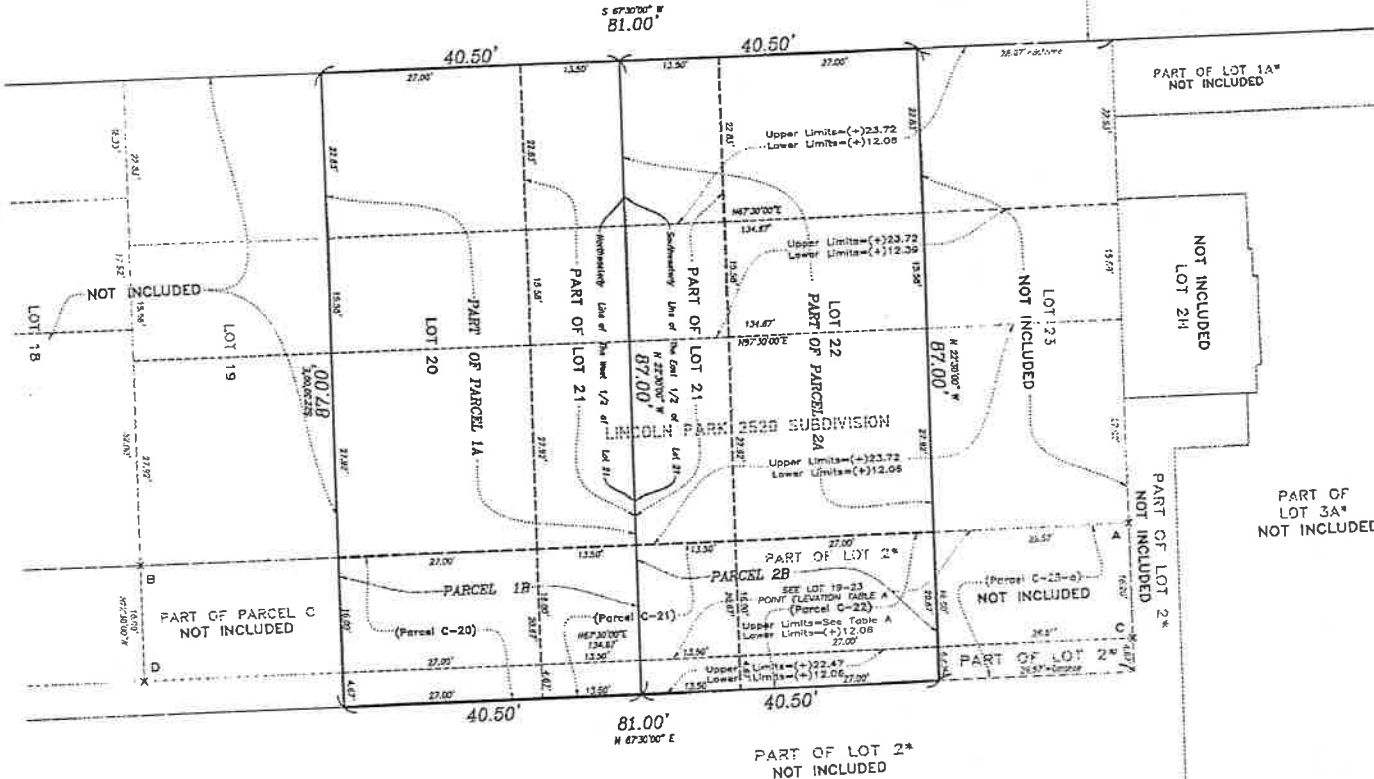
  
Patricia A. Scudiero  
Zoning Administrator

PAS:HG:tm  
C: Mike Marmo, Erik Glass, Main file

W. DEMING

(80.00 PL. 150-Record)

PL.



PARCEL C  
LEVEL 11:  
THAT PART OF LOT 21, HAVING AS A LOWER LIMIT A HORIZONTAL PLANE OF ELEVATION +12.06 FEET, CHICAGO CITY DATUM, AND HAVING AS AN UPPER LIMIT A HORIZONTAL PLANE OF ELEVATION +22.14 FEET, CHICAGO CITY DATUM, AND TWO INCLUDED PLANES WHOSE SURFACE ELEVATIONS ARE SHOWN ON THE TABLES BELOW.

ELEVATION TABLE A

POINT	ELEVATION CHICAGO CITY DATUM
T'	+22.87
T''	+22.87
T'''	+22.47
T''''	+22.47

ELEVATION TABLE B

POINT	ELEVATION CHICAGO CITY DATUM
T'	+22.72
T''	+22.72
T'''	+22.22
T''''	+22.22

AND THAT PART OF LOT 22, HAVING AS A LOWER LIMIT A HORIZONTAL PLANE OF ELEVATION +12.06 FEET, CHICAGO CITY DATUM, AND HAVING AS AN UPPER LIMIT A HORIZONTAL PLANE OF ELEVATION +22.14 FEET, CHICAGO CITY DATUM, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT A NORTHWEST CORNER OF SAID LOT 21, BEING ALSO THE SOUTHWEST CORNER OF LOT 18, THENCE NORTH 89 DEGREES 39 MINUTES 00 SECONDS EAST, ALONG A NORTHWESTERLY LINE OF SAID LOT, BEING ALSO THE SOUTHWESTERLY LINE OF LOTS 13 THROUGH 23 INCLUSIVE, 26.87 FEET TO AN ANGLE CORNER IN SAID LOT 21, THENCE SOUTH 89 DEGREES 39 MINUTES 00 SECONDS WEST, ALONG A LINE DRAWN PERPENDICULAR TO THE LAST DESCRIBED LINE, 22.87 FEET, THENCE SOUTH 87 DEGREES 30 MINUTES 00 SECONDS WEST, ALONG A LINE DRAWN PERPENDICULAR TO THE LAST DESCRIBED LINE, 22.87 FEET, THENCE SOUTH 89 DEGREES 39 MINUTES 00 SECONDS WEST, ALONG A LINE DRAWN PERPENDICULAR TO THE LAST DESCRIBED LINE, 22.87 FEET, THENCE WEST, ALONG A WESTERLY LINE OF SAID LOT, A DISTANCE OF 26.87 FEET TO A POINT ON THE NORTHWESTERLY LINE OF SAID LOT, 22 DEGREES 30 MINUTES 00 SECONDS WEST, WESTERLY LINE LOT 20; THENCE NORTH 89 DEGREES 39 MINUTES 00 SECONDS WEST, ALONG SAID WESTERLY LINE AND ALONG A WESTERLY LINE OF LOT 21 AFORESAID, 22.87 FEET THE HEREINAFTER DESIGNATED POINT OF BEGINNING.

ALL IN LINCOLN PARK 2500 SUBDIVISION, BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 35 NORTH, RANGE 14, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 24, 2011 AS DOCUMENT NUMBER 112722061, AND RE-RECORDED NOVEMBER 24, 2011 AS DOCUMENT NUMBER 112722062, IN COOK COUNTY, ILLINOIS.

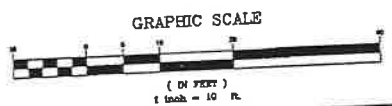
PARCEL	LOT	LOWER LIMITS (C.C.D.)	UPPER LIMITS (C.C.D.)	AREA (SQ. FT.)
NOT INCLUDED	18*	(-) 12.06	(+) 22.14	6,782.6
PARCEL 1B (Parcel C-20 & Part of Parcel C-21)	2*	(+) 12.06	(+) 22.14 SEE TABLES A & B	837.1
PARCEL 2B (Parcel C-22 & Part of Parcel C-23)	2*	(+) 12.06	(+) 22.14 SEE TABLES A & B	837.1
NOT INCLUDED (Parcel C-23-a)	2*	(-) 12.06	(+) 22.14	251.2
NOT INCLUDED	24	(+) 12.06	(+) 22.14	489.5
NOT INCLUDED	25*	(+) 12.06	(+) 22.14	1,261.5
NOT INCLUDED	20*	(+) 12.06	(+) 22.14	843.4
PT. OF PARCEL C	2*	(-) 12.06	(+) 18.47	373.75
NOT INCLUDED	13-18	(+) 12.06 (+) 15.39	(+) 22.72	10,745.2
NOT INCLUDED	19	(+) 12.06 (+) 12.39	(+) 23.72	1,721.0
PT. OF PARCEL 1A	20 & Pt. of 2*	(+) 12.06 (+) 12.39	(+) 23.72	2,688.4
PT. OF PARCEL 2A	22 & Pt. of 2*	(+) 12.06 (+) 12.39	(+) 23.72	2,688.4
NOT INCLUDED	23	(+) 12.06 (+) 12.39	(+) 23.72	1,788.8

POINT TABLE A  
LOT 21 UPPER LIMIT

POINT	UPPER LIMIT
A	(+) 22.87
B	(+) 22.47
C	(+) 22.47

POINT TABLE B  
LOT 21 UPPER LIMIT

POINT	UPPER LIMIT
A	(+) 22.72
B	(+) 22.72
C	(+) 22.22
D	(+) 22.22



ELEVATIONS SHOWN ARE PLUS (UNLESS OTHERWISE SHOWN) AND IN RELATION TO CITY OF CHICAGO DATUM.

BENCHMARK AND ELEVATION INFORMATION:  
CHICAGO STANDARD BENCHMARK NO. 231 - NORTHEAST CORNER OF DIVERSITY PARKWAY & PINE GROVE AVENUE, LOCATED 4.0 FT. NORTH OF THE NORTH LINE OF DIVERSITY PARKWAY & 11.9 FT. WEST OF THE EAST LINE OF PINE GROVE AVENUE.  
ELEV. = 12.354 C.C.D. (CITY OF CHICAGO DATUM)

LEVEL 1  
LEGAL LINES  
PAGE 1 OF 6



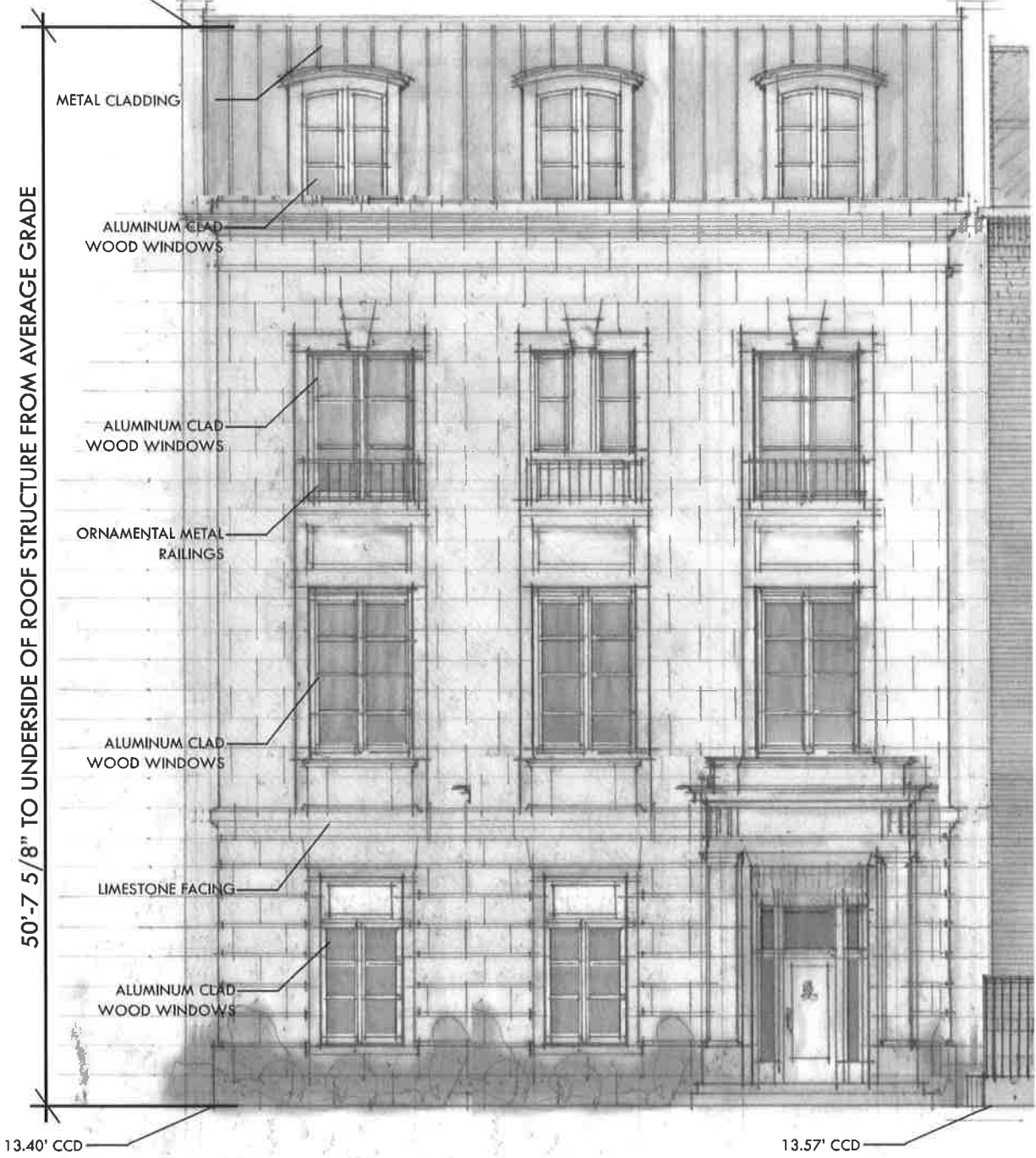
BY LICENSE EXPIRES 11/30/2011

CIVIL 3D PROJECT

- 14-28-318-084-0000 (Part of Lot 25) (Parcel C-20, C-21 & C-22) Being Part of Parcel C
- 14-28-318-093-0000 (Lots 20 & 20\*) Part of Parcel 1A
- 14-28-318-094-0000 (Westerly Half of Lots 21 & 21\*) Part of Parcel 1A
- 14-28-318-095-0000 (Easterly Half of Lots 21 & 21\*) Part of Parcel 2A
- 14-28-318-095-0000 (Lots 22 & 22\*) Part of Parcel 2A

IMPORTANT  
VISIONS SHOULD BE ASSUMED BY SCALE MEASUREMENTS UPON THE ARE MARKED IN FEET AND DECIMAL PARTS THEREOF, THUS: 4.57 FEET AND 0.57 FEET, OR IN FEET AND INCHES, THUS: 4'-6 1/2".  
NAT. SURVEY SERVICE, INC. 2013 "ALL RIGHTS RESERVED"

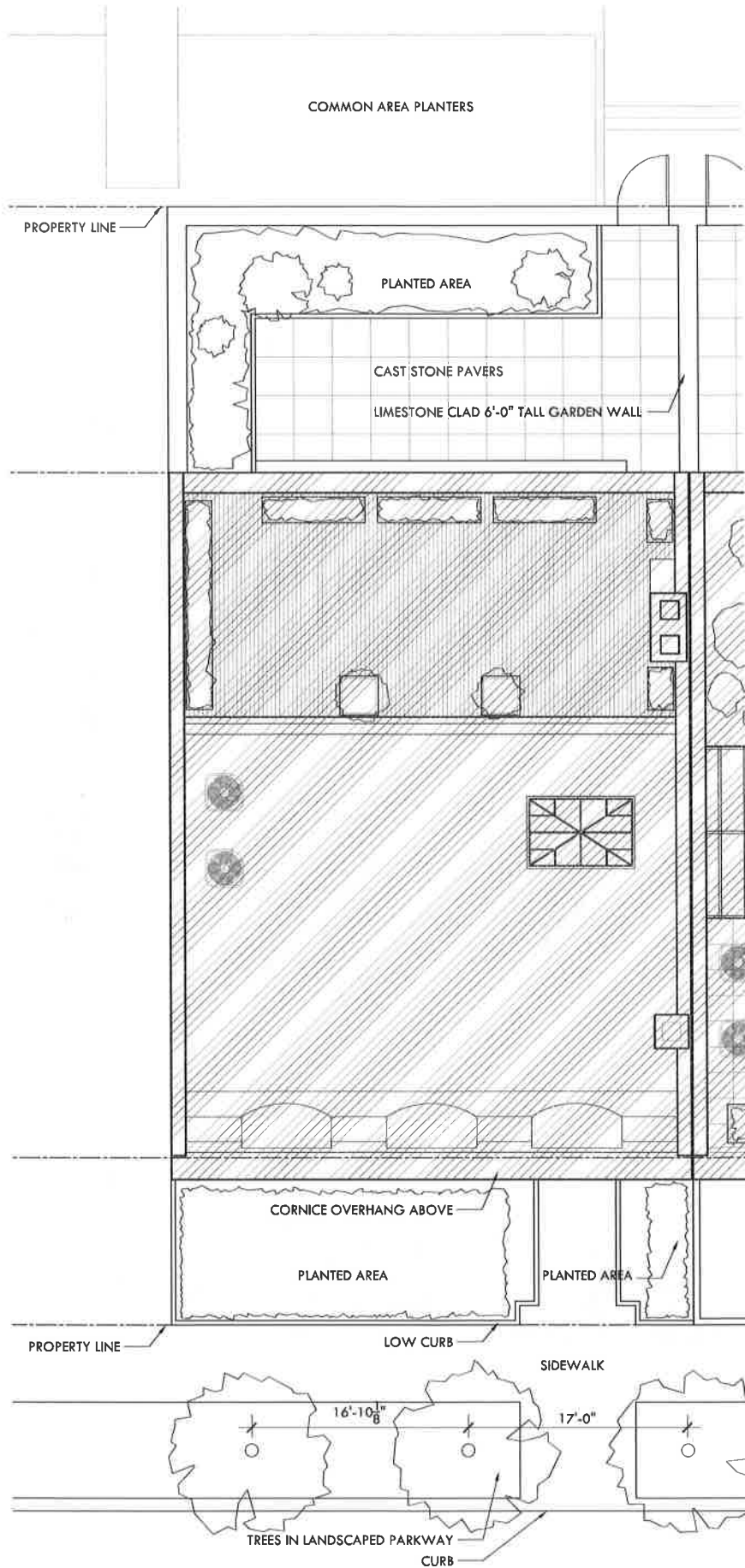
UNDERSIDE OF ROOF STRUCTURE  
64.12' CCD

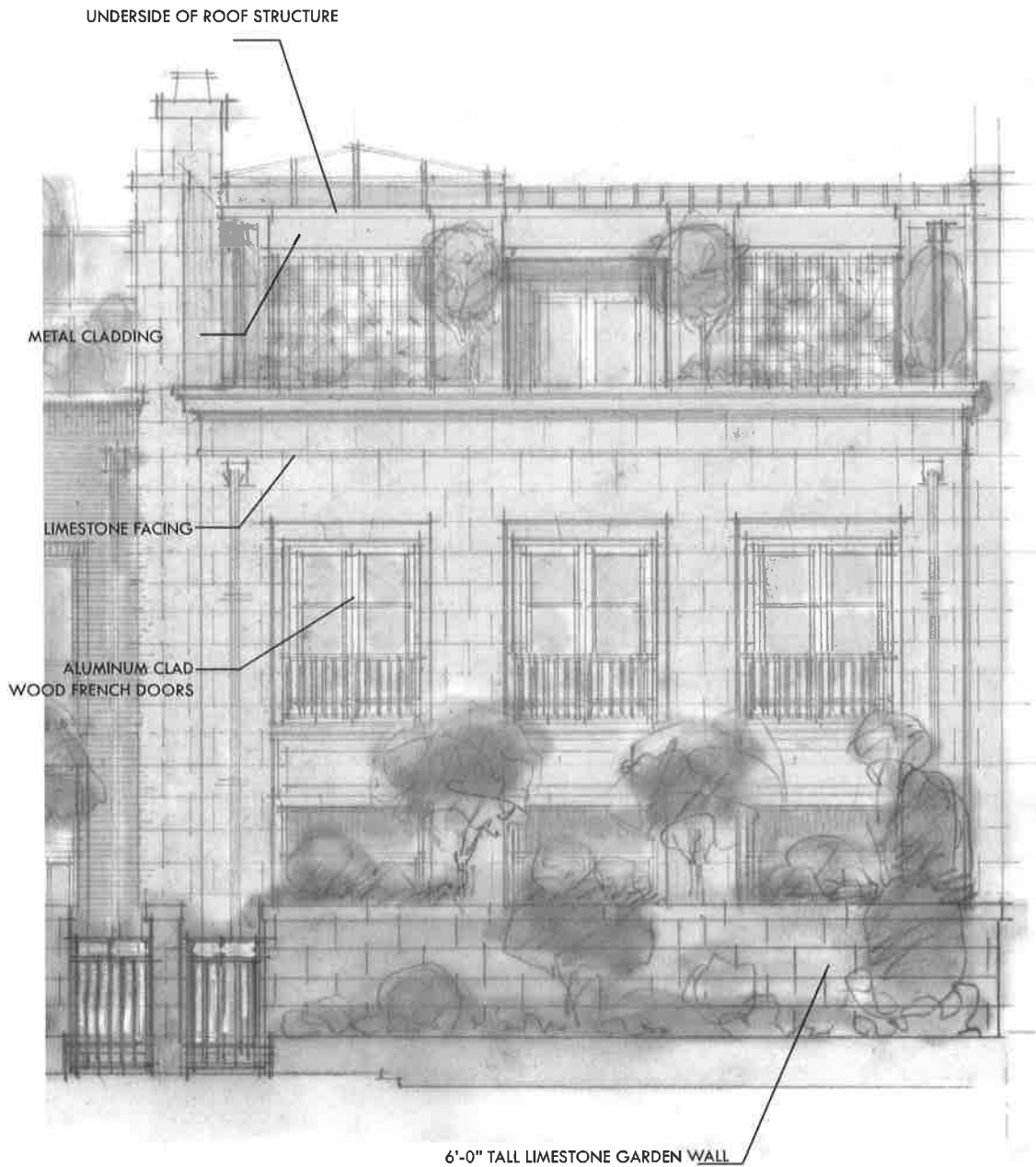


50'-7 5/8" TO UNDERSIDE OF ROOF STRUCTURE FROM AVERAGE GRADE

13.40' CCD

13.57' CCD

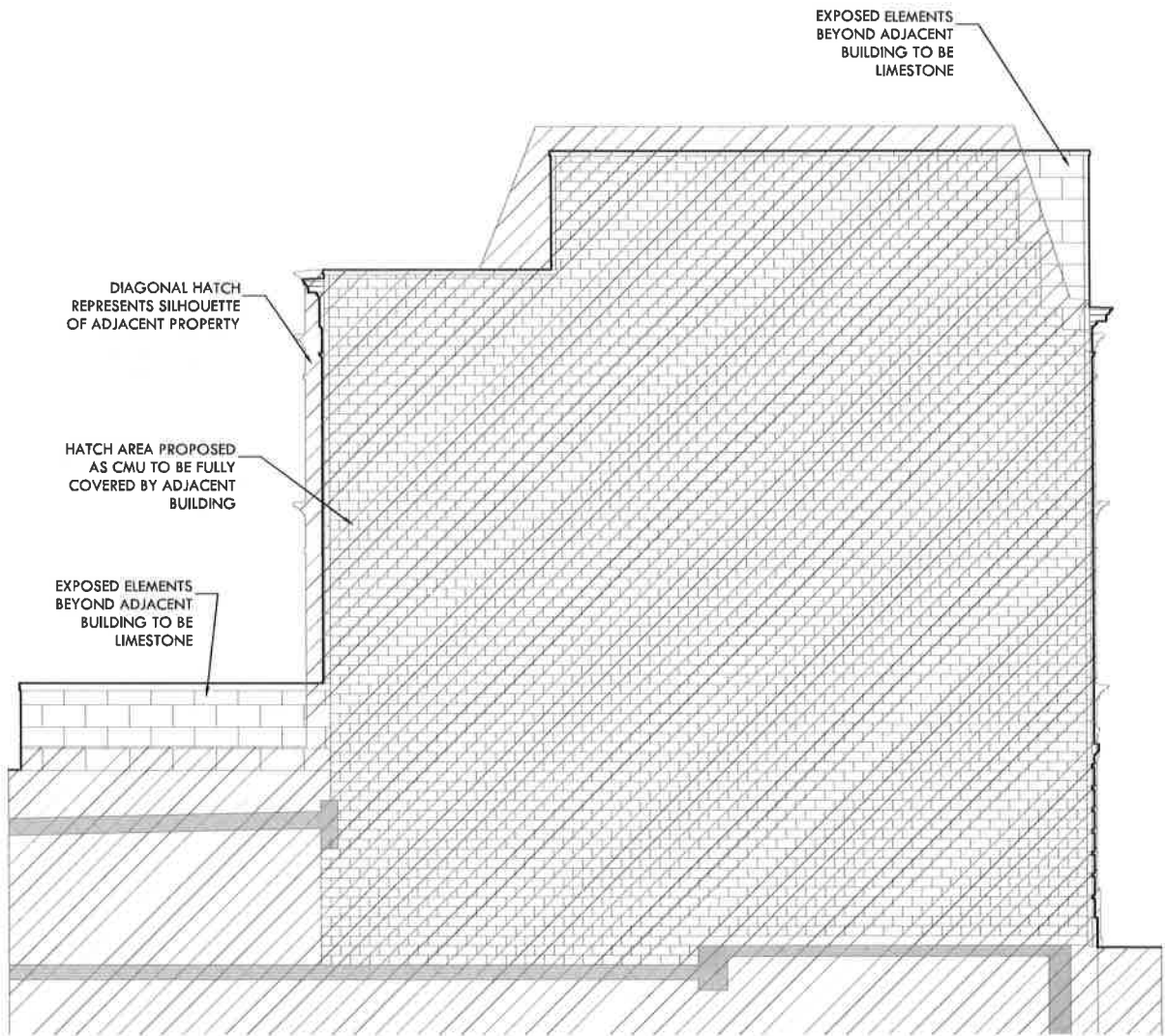


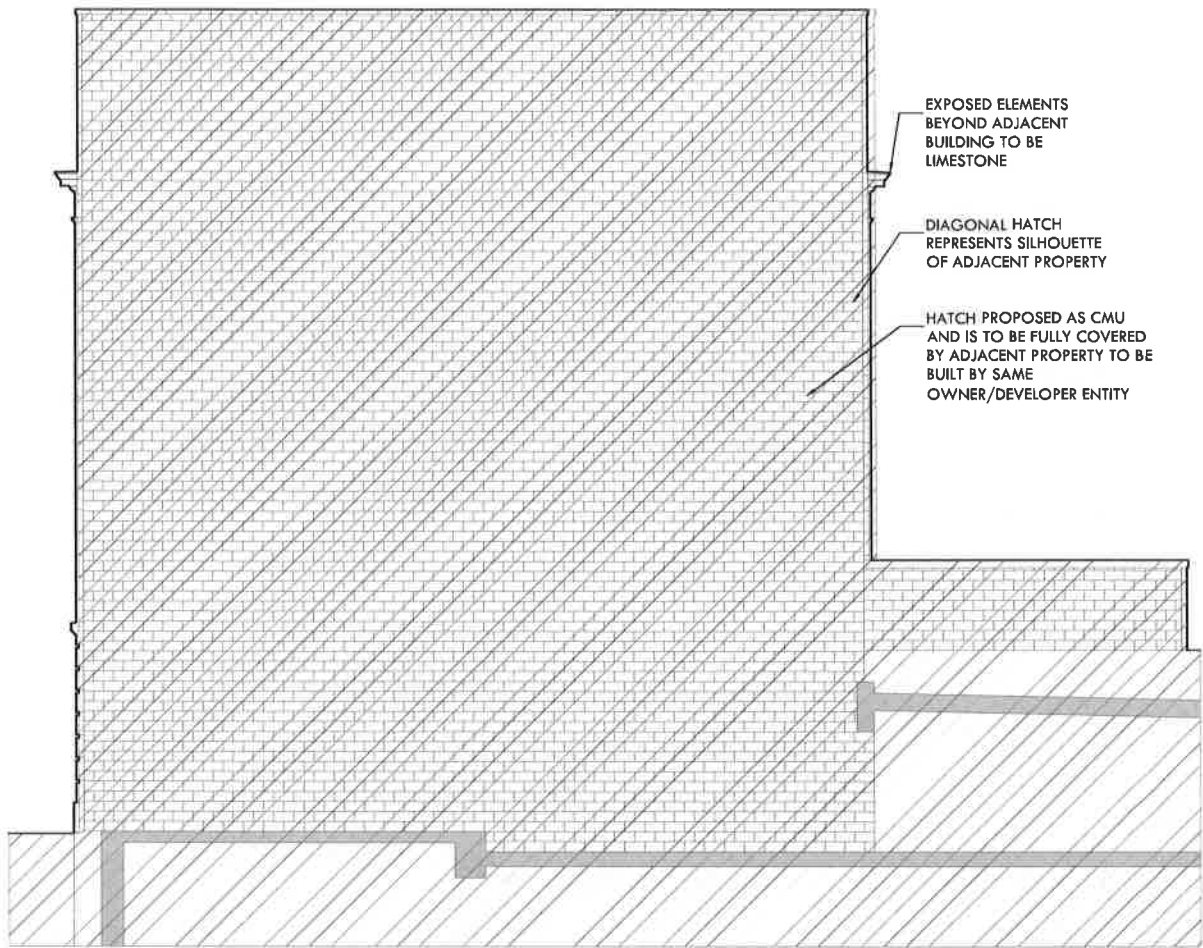


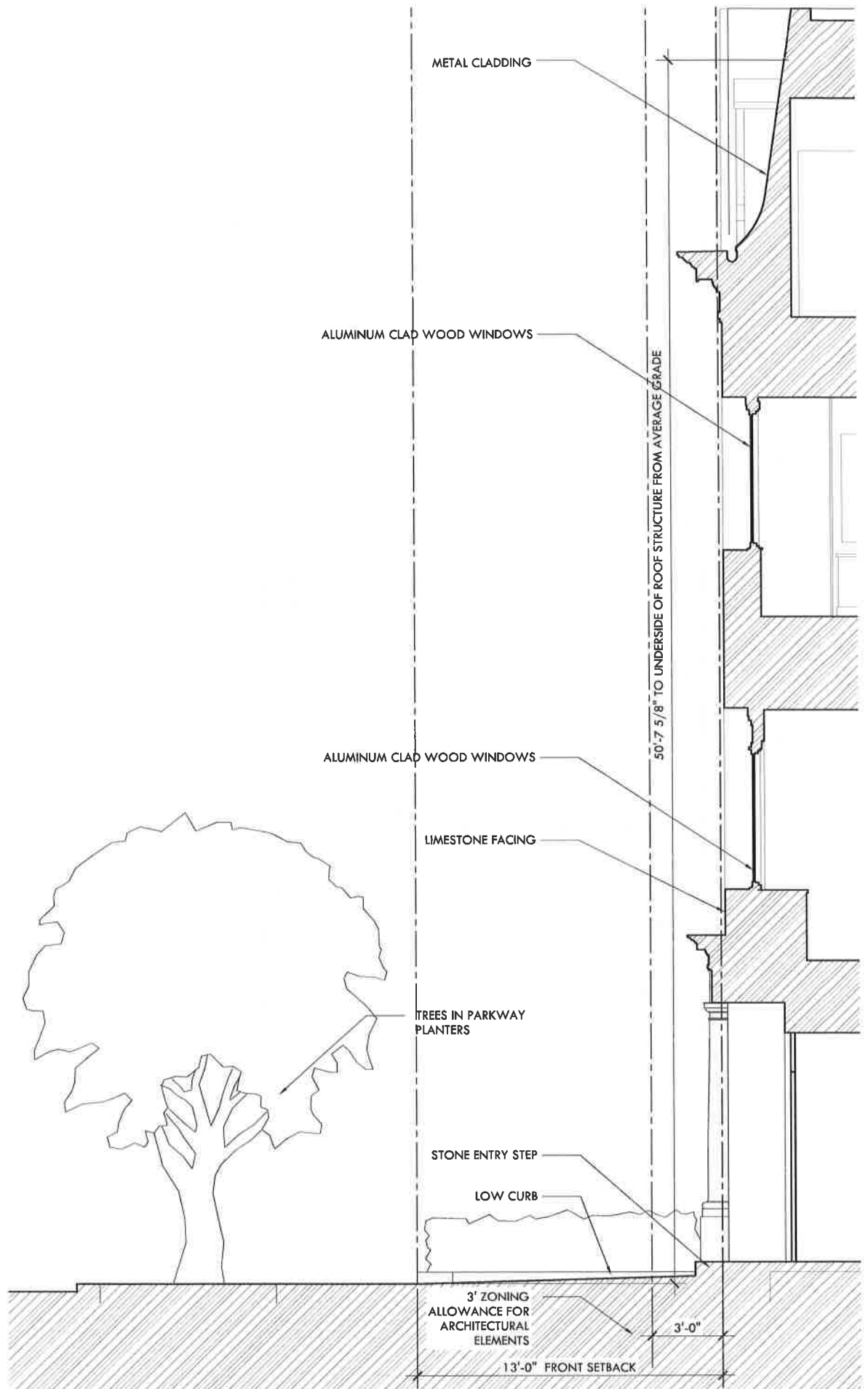
UNDERSIDE OF ROOF STRUCTURE TO AVERAGE GRADE  
50'-7 5/8"



T/2ND F.F. 13'-5" FROM AVERAGE  
GRADE



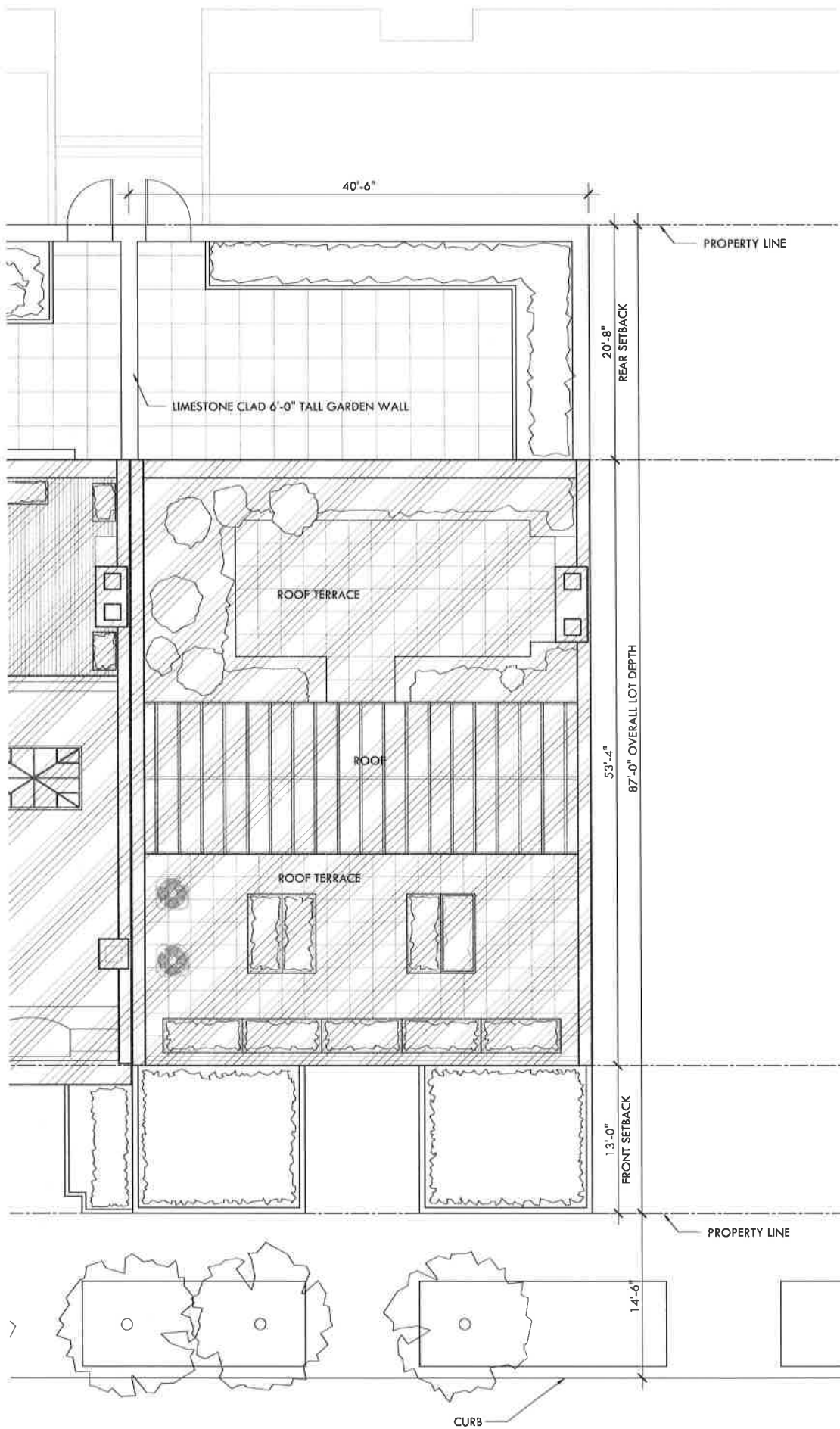


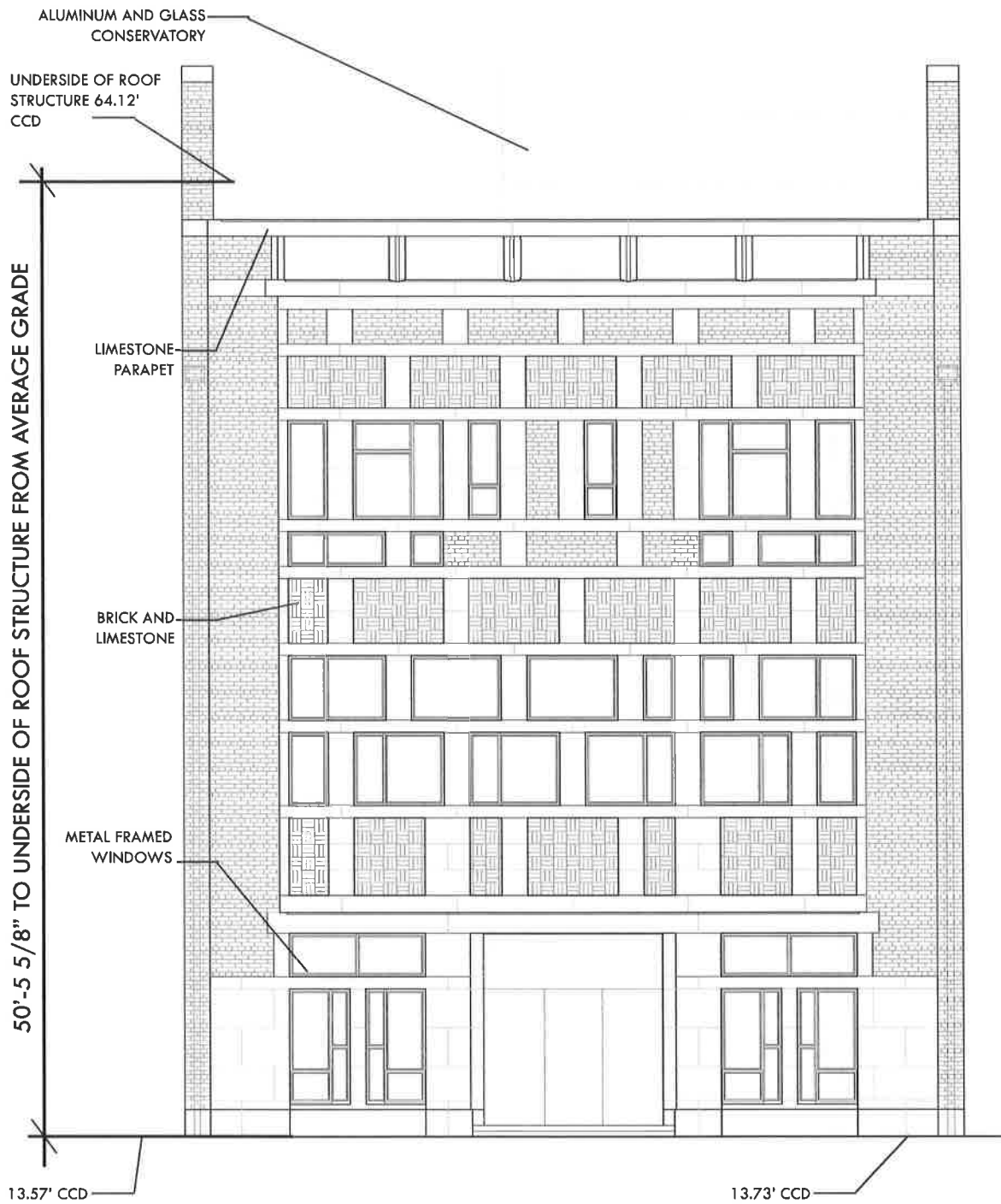


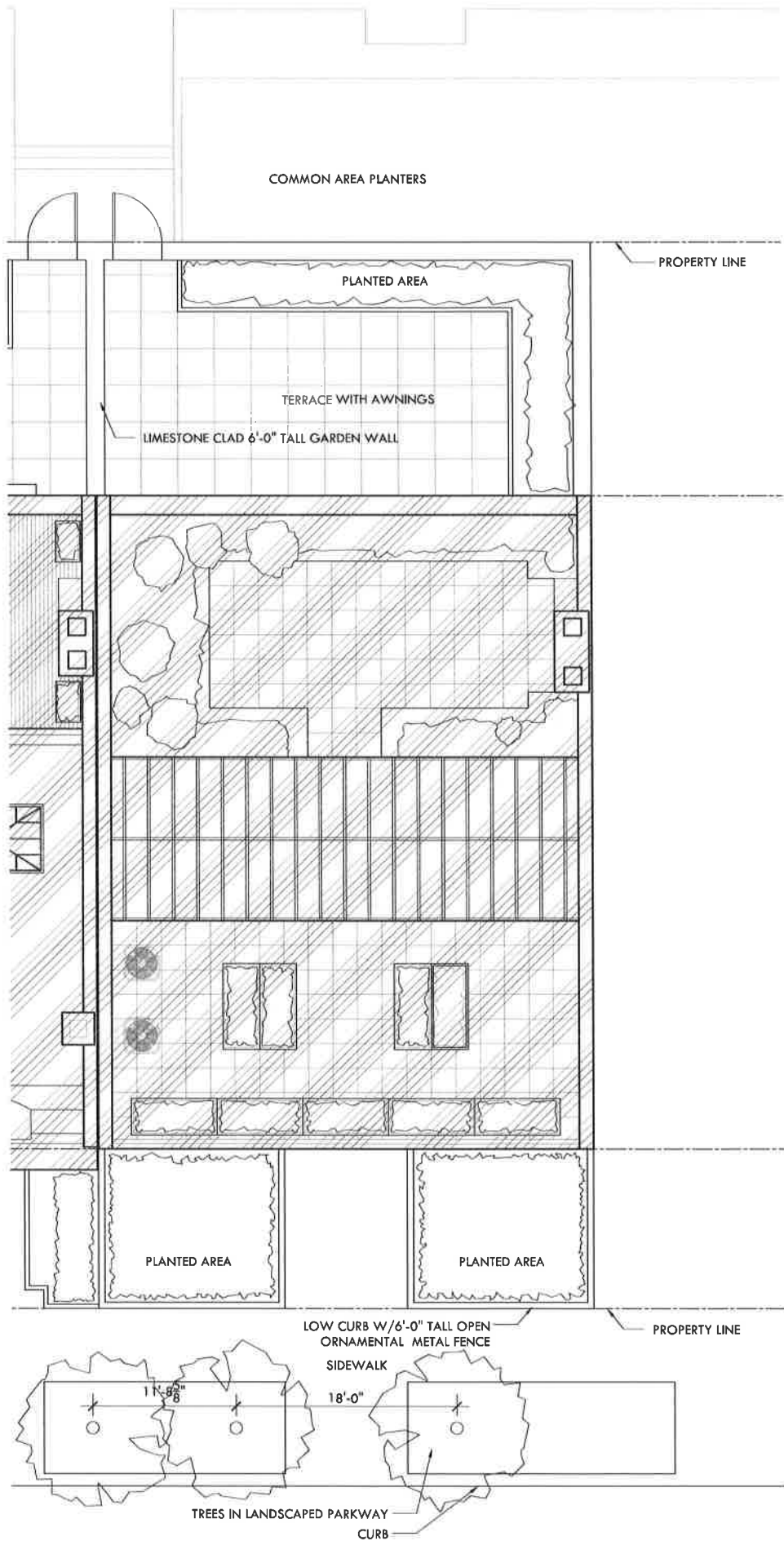
LG DEVELOPMENT GROUP  
 HBRA ARCHITECTS  
 2013/12/02

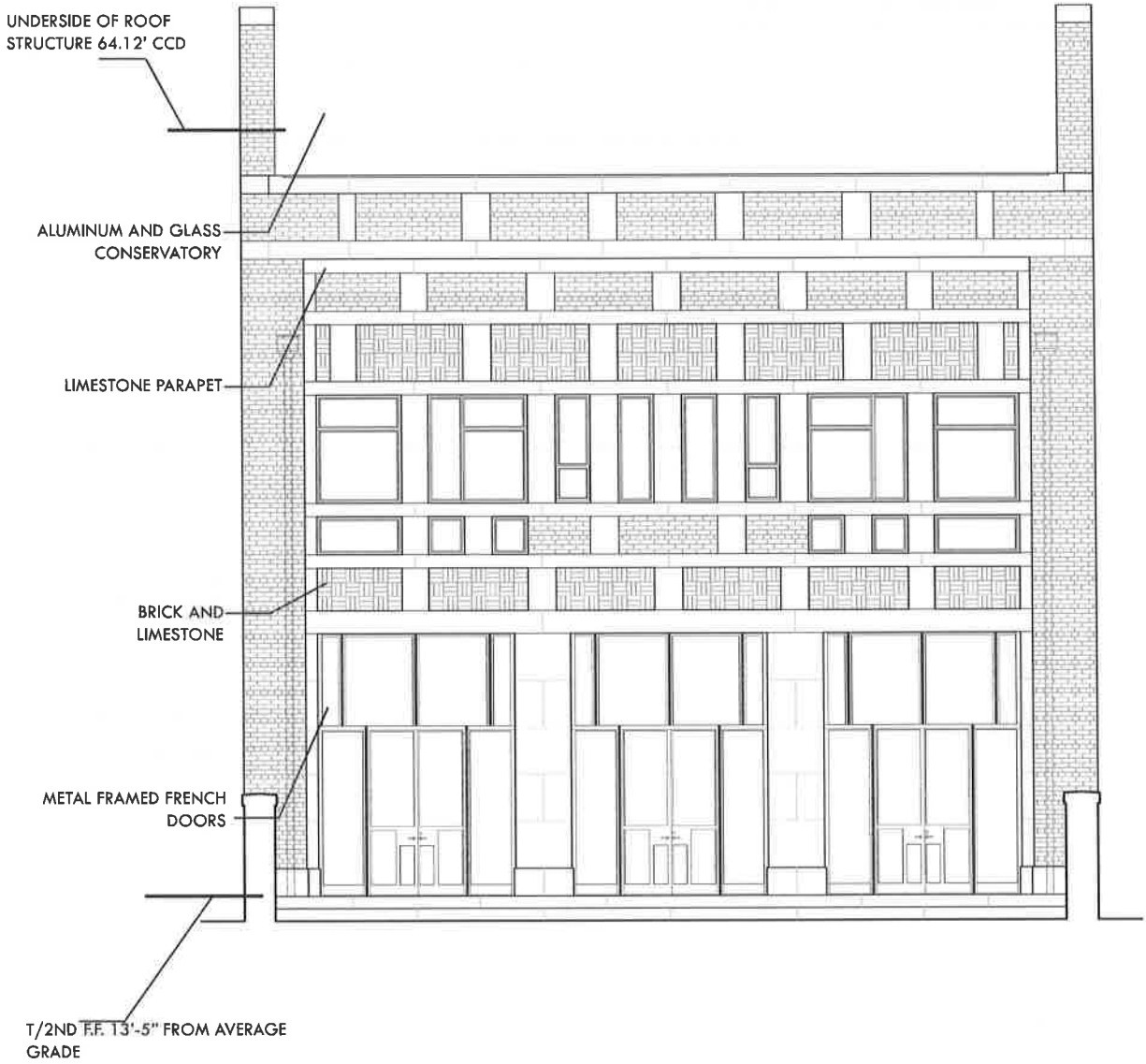
LOT 22/21 STREETFRONT SECTION

DEMING PLACE TOWNHOUSE  
 CHICAGO, ILLINOIS

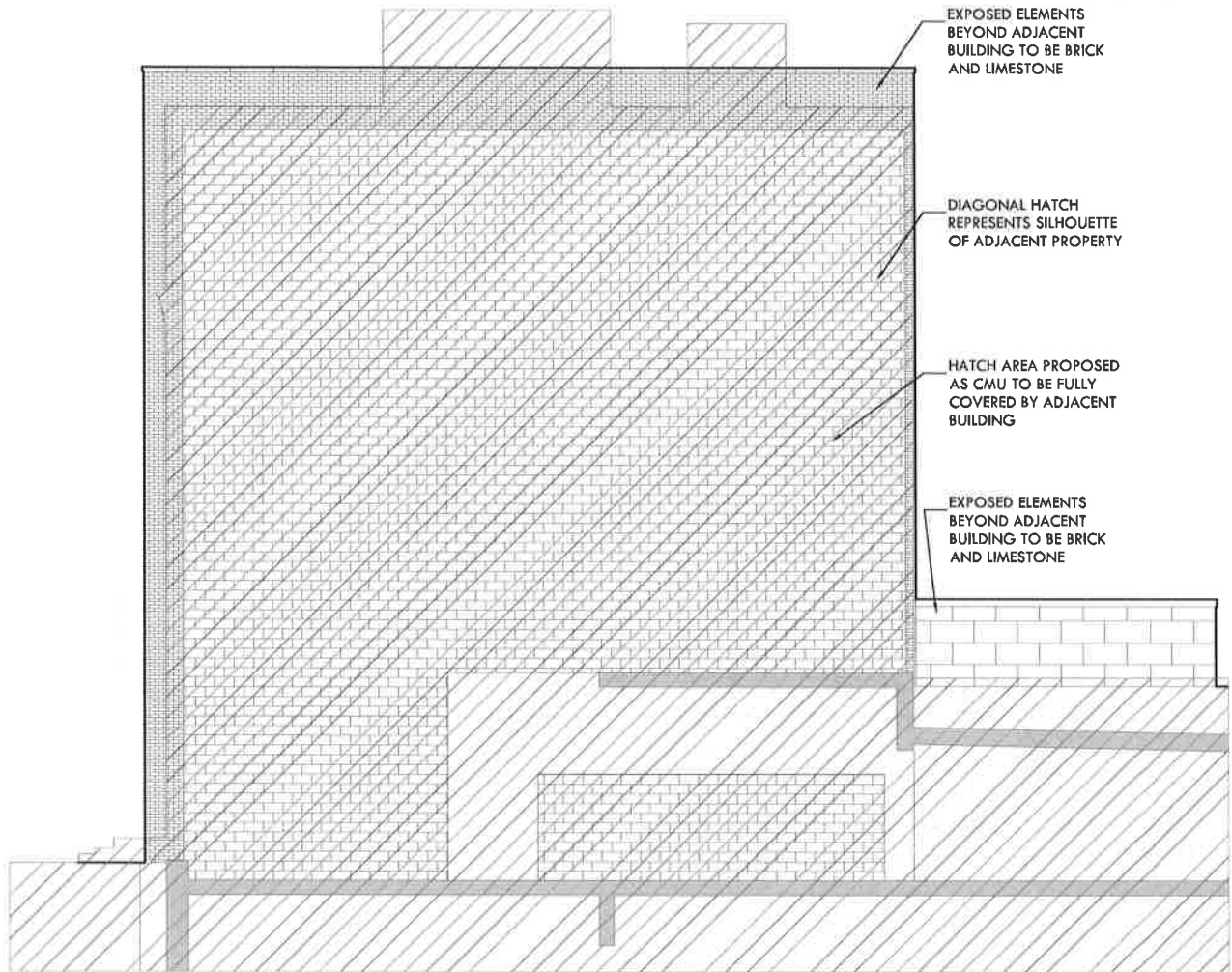


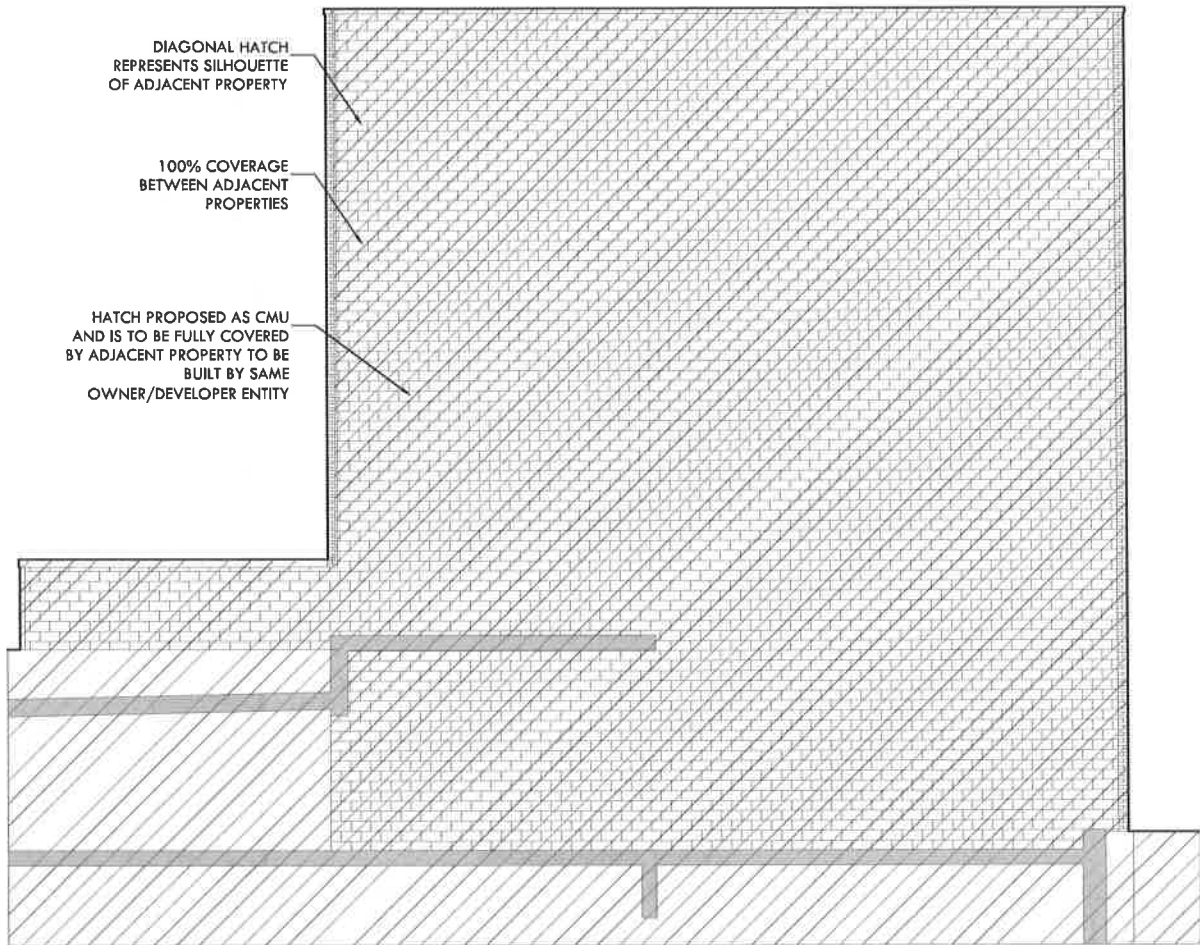


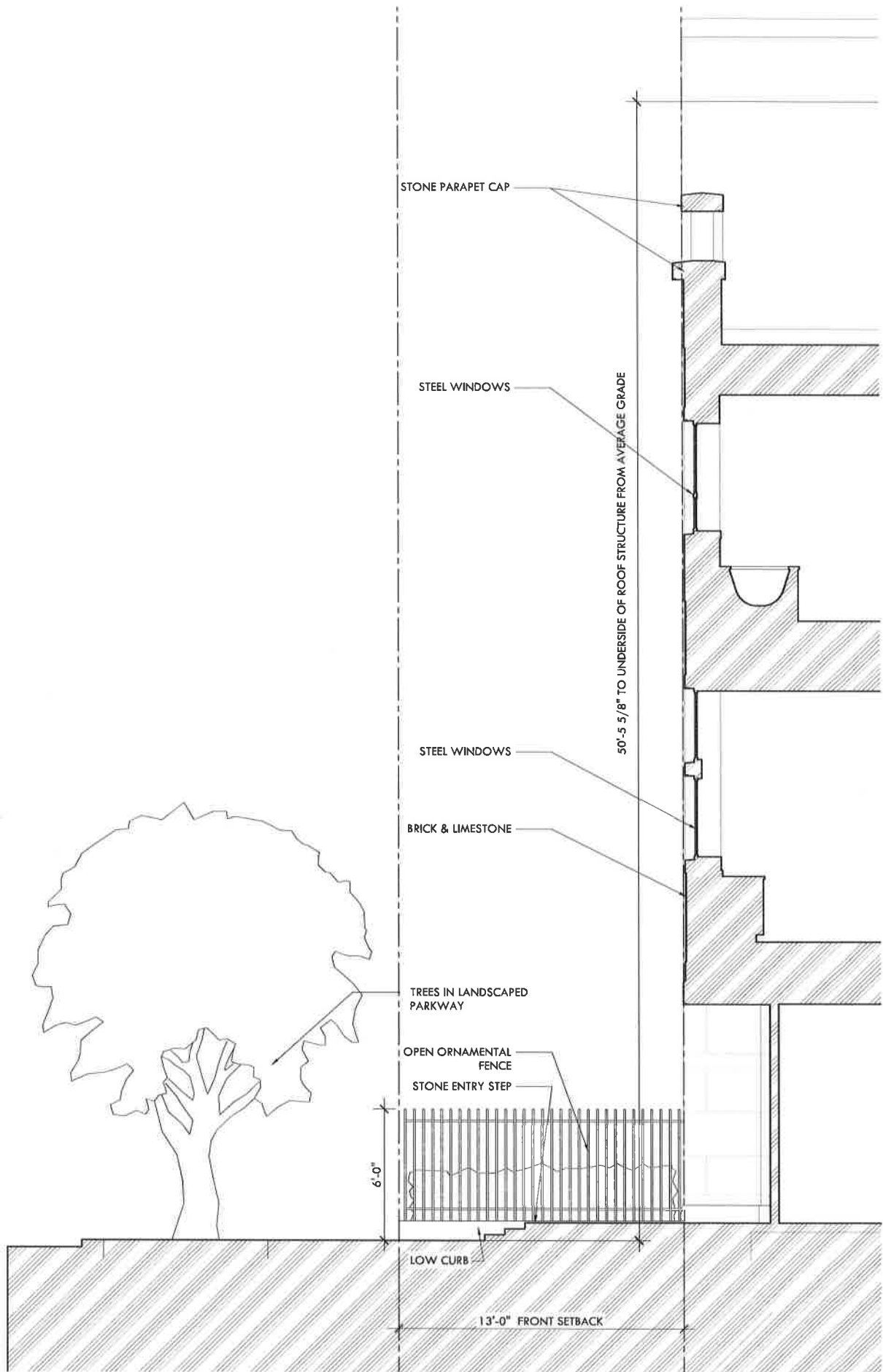




*Rev*









DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

December 9, 2013

Jesse W. Dodson  
DLA Piper LLP  
203 North LaSalle Street  
Suite 1900  
Chicago, IL 60601-1293

**Re: Administrative Relief request for Residential Planned Development No. 853  
Proposed single-family townhouse at 445 West Deming Place**

Dear Mr. Dodson:


Please be advised that your request for a minor change to Residential Planned Development No. 853 ("PD 853"), as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 853.

Your firm represents Lake Tower Development, LLC with respect to the sale of 445 W. Deming Pl. The purchaser of this property is Tanya Franco. Ms. Franco is seeking an administrative relief to substitute pre-cast concrete panels in place of the approved masonry for this proposed single-family townhouse, as shown on the attached rendering. Along with Lake Tower Development, LLC, the other property owners within PD 853, the Lincoln Park 2550 Homeowners Association and the Missionary Sisters of the Sacred Heart, have provided their consent for this request.

With regard to your request, the Department of Housing and Economic Development has determined that allowing this material substitution will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 853, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

C: Mike Marmo, Erik Glass, Main file





DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

May 11, 2012

Theodore J. Novak  
DLA Piper LLP (US)  
203 North LaSalle Street  
Suite 1900  
Chicago, IL 60601-1293

**Re: Administrative Relief request for Residential Planned Development No. 853, as amended, proposed single-family residence at 424 West St. James Place**

Dear Mr. Novak:

Please be advised that your request for a minor change to Residential Planned Development No. 853, as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.


You are requesting on behalf of Lake Tower Development, LLC and St. James Properties LLC, to substitute a single family home in place of eight town homes at 424 W. St. James Place. The other property owner within the Planned Development, the Missionary Sisters of the Sacred Heart, have also provided consent for this request. The proposed single family home is shown on drawings prepared by Tigerman McCurry Architects, Ltd. and dated April 25, 2012.

With regard to your request, the Department of Housing and Economic Development has determined that allowing this substitution will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not increase the number of dwelling units, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 853, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Also, since this property is located within the Lake Michigan and Chicago Lakefront Protection District, you are requesting a determination that this proposed single family residence does not require Plan Commission review under the Lake Michigan and Chicago Lakefront Protection Ordinance. Pursuant to Section 16-4-150 of the Chicago Zoning Ordinance, residential structures containing not more than three dwelling units are exempt from Plan Commission review under the Lake Michigan and Chicago Lakefront Protection Ordinance, therefore this project is exempt.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

PAS: HG: tm

C: Mike Marmo, Erik Glass, Ron Daye, Main file



DEPARTMENT OF HOUSING AND ECONOMIC DEVELOPMENT  
CITY OF CHICAGO

November 14, 2011

Theodore J. Novak  
DLA Piper LLP (US)  
203 North LaSalle Street  
Suite 1900  
Chicago, IL 60601-1293

**Re: Administrative Relief request for Residential Planned Development No. 853, as amended, proposed town homes along West Deming Place and West St. James Place**

Dear Mr. Novak:

Please be advised that your request for a minor change to Residential Planned Development No. 853 (Planned Development), as amended, has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

You represent Lake Tower Development, LLC, the owner and developer of the property within the Planned Development. The only other property owner with the Planned Development, the Missionary Sisters of the Sacred Heart have also provided consent for this request.

You are requesting to increase the height of the proposed town homes on Deming Place and St. James Place from 45 feet to 47 feet (as measured pursuant to the Chicago Zoning Ordinance from a point at grade at the western property line where it intersects with Deming Place) and secondly, to decrease the front yard setback on five proposed town homes along Deming Place from 19 feet to 13 feet.

In response to your first request, you are seeking to increase the height of the town homes from 45 feet to 47 feet to allow for taller ceiling heights and also as a result of amending the site plan to provide for underground parking. It should be noted that from the point of measurement there is a decrease in grade going eastward by approximately 4 feet, therefore, the height as measured pursuant to the Chicago Zoning Ordinance from grade at the easternmost town home on Deming Place would be a maximum of 51'-2". Pursuant to Section 17-2-0311-A of the Zoning Ordinance, the proposed 5 % height increase (from 45 feet to 47 feet) is consistent with the surrounding RM-5 and RM-6 Residential Multi-Unit Districts. Additionally, the Planned Development includes an under construction high-rise residential building which varies in height from approximately 245 feet to 468 feet and which will be located directly east of the proposed 47 foot town homes.

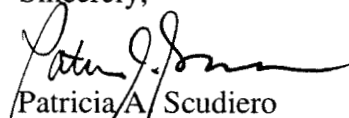
In regards to the second request, you are also seeking to decrease the front yard setback on five proposed town homes along Deming Place from 19 feet to 13 feet. The approved Planned Development Site Plan included nine (9) town homes with a 13 foot front yard setback and five (5) town homes with a 21 foot front yard setback. Therefore, the predominant Deming Place front setback is 13 feet. The number of town homes along Deming Place has been reduced from 14 to 11 thereby expanding the internal park/open space. This proposed reduction from 19 feet to 13 feet will result in these five town homes being brought into compliance with the predominant setback and thereby create a consistent, uniform street wall along Deming Place.

With regard to your request, the Department of Housing and Economic Development has determined that allowing these modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not increase the number of dwelling units, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 853, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Also, since this property is located within the Lake Michigan and Chicago Lakefront Protection District, you are requesting a determination that these proposed modifications do not require Plan Commission review under the Lake Michigan and Chicago Lakefront Protection Ordinance. The proposed height increase and setback reduction as outlined above do not require Plan Commission review under the Lake Michigan and Chicago Lakefront Protection Ordinance.

Sincerely,



Patricia A. Scudiero  
Zoning Administrator

PAS: HG: tm

C: Alderman Michele Smith, Mike Marmo, Erik Glass, Main file



City of Chicago  
Richard M. Daley, Mayor

Department of Zoning and  
Land Use Planning

Patricia A. Scudiero  
Commissioner

City Hall, Room 905  
121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-5777 (Voice)  
(312) 744-6552 (FAX)  
(312) 744-2950 (TTY)

<http://www.cityofchicago.org>

August 13, 2009

Mr. Theodore J. Novak  
DLA Piper LLP (US)  
203 North LaSalle Street  
Suite 1900  
Chicago, IL 60601-1293

**Re: Administrative Relief Request and Lakefront Waiver Request for Residential Planned Development No. 853, as amended, 2520 North Lakeview Avenue**

Dear Mr. Novak:

Please be advised that your request for a minor change to Residential Planned Development No. 853 has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development (PD).

You are seeking an administrative relief to reduce the maximum height of the multi-family residential building by four feet at the center tower, 43 feet at the south shoulder and 71 feet at the north shoulder. The Elevations approved by the City Council on April 9, 2009 allows the multi-family residential building to have the following maximum heights (as measured from the top of the penthouse enclosures): (i) 468 feet (41 floors) at the center tower, (ii) 245 feet (21 floors) at the south shoulder, (iii) and 355 feet (30 floors) at the north shoulder. A revised Lakeview Street Elevation, prepared by Lucien Lagrange Architects and dated June 30, 2009, provide for the following maximum heights (as measured from the top of the penthouse enclosures): 464 feet (39 floors) at the center tower, (ii) 202 feet (16 floors) at the south shoulder, and (iii) 284 feet (22 floors) at the north shoulder.

The revised Elevation retains the same architectural character, quality and materials as the approved Elevations. The revision will result in a modest reduction of floor area and dwelling units. No changes to the Site Plan or Landscape Plan are proposed.

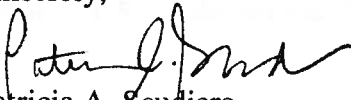
With regard to your first request, the Department of Zoning and Land Use Planning has determined that allowing these revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.



Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 853, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Secondly, you are also seeking a Lake Michigan and Chicago Lakefront Protection Ordinance Waiver for the proposed height revisions. Pursuant to Section 16-4-150 of the Chicago Zoning Ordinance, this approved minor change will not require the approval of the Chicago Plan Commission.

Sincerely,

  
Patricia A. Scudiero  
Commissioner

PAS:HG:tm

c: Mary Bonome, Don Hohenadel, Mike Marmo, Erik Glass, Main file

4/9/2008

REPORTS OF COMMITTEES

16424  
25707

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B1-1 Neighborhood Shopping District symbols as shown on Map Number 16-I in the area bounded by:

West 63<sup>rd</sup> Street; a line 83 feet east of and parallel to South Maplewood Avenue; the public alley next south of and parallel to West 63<sup>rd</sup> Street; and a line 33 feet east of and parallel to South Maplewood Avenue,

to those of a B3-1 Community Shopping District.

SECTION 2. This ordinance takes effect after its passage and approval.

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*Reclassification Of Area Shown On Map Number 20-G.  
(Application Number 16530)*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B1-1 Neighborhood Shopping District symbols and indications as shown on Map Number 20-G in the area bounded by:

the public alley next north of and parallel to West 87<sup>th</sup> Street; a line 90.9 feet east of and parallel to South Ashland Avenue; West 87<sup>th</sup> Street; and South Ashland Avenue,

to those of a C1-1 Neighborhood Commercial District.

SECTION 2. This ordinance takes effect after its passage and approval.

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AMENDMENT OF TITLE 17 OF MUNICIPAL CODE OF CHICAGO  
(CHICAGO ZONING ORDINANCE) BY RECLASSIFICATION  
OF AREA SHOWN ON MAP NUMBER 7-F.

(As Amended)

(Application Number 16424)

RPD 853, 99

(Committee Meeting Held April 7, 2008)

The Committee on Zoning submitted the following report:

CHICAGO, April 9, 2008.

*To the President and Members of the City Council:*

Reporting for your Committee on Zoning, for which a meeting was held on April 7, 2008, I beg leave to recommend that Your Honorable Body *Pass* various ordinances transmitted herewith for the purpose of reclassifying particular areas.

I beg leave to recommend the passage of one text amendment known as TAD-404 pertaining to an administrative adjustment and floor area ratios for detached houses in RS1 and RS2 Districts.

I also beg leave to recommend the passage of one ordinance which was corrected and amended in its amended form. It is Application Number 16424.

At this time, I move for passage of the substitute ordinance transmitted herewith.

Respectfully submitted,

(Signed) WILLIAM J. P. BANKS,  
*Chairman.*

On motion of Alderman Banks, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

*Yeas* -- Aldermen Flores, Fioretti, Dowell, Preckwinkle, Hairston, Lyle, Jackson, Harris, Beale, Pope, Balcer, Cárdenas, Olivo, Foulkes, Thompson, Thomas, Lane, Rugai, Cochran, Brookins, Muñoz, Zalewski, Dixon, Solis, Burnett, E. Smith, Carothers, Reboyras, Suarez, Waguespack, Mell, Austin, Colón, Banks, Mitts, Allen, Laurino, Doherty, Reilly, Daley, Tunney, Levar, Shiller, M. Smith, Moore, Stone -- 46.

*Nays* -- None.

Alderman Carothers moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to this ordinance in previous and unrelated matters.

The following is said ordinance as passed:

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Planned Development Number 853 and RM6 Residential Multi-Use District symbols and indications as shown on Map Number 7-F in the area bounded by:

West Deming Place; North Lakeview Avenue; West St. James Place; a line approximately three hundred sixty and twenty-hundredths (360.20) feet southwest of the intersection of North Lakeview Avenue and West St. James Place and perpendicular to West St. James Place; a line approximately one hundred forty-six and six-hundredths (146.06) feet south of and parallel to West Deming Place; and a line approximately six hundred twenty-nine and twenty-three hundredths (629.23) feet southwest of the intersection of North Lakeview Avenue and West Deming Place and perpendicular to West Deming Place,

to those of Residential Planned Development Number 853, as amended.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

*Residential Planned Development Number 853.*

*Plan Of Development Statements.*

1. The area delineated herein as Residential Planned Development Number 853 (the "Property") consists of approximately one hundred forty-four thousand seven hundred forty-three (144,743) net square feet (three and thirty-two hundredths (3.32) acres) of property located in the area bounded by West Deming Place; North Lakeview Avenue; West St. James Place; a line approximately three hundred sixty and twenty-hundredths (360.20) feet southwest of the intersection of North Lakeview Avenue and West St. James Place and perpendicular to West St. James Place; a line approximately one hundred forty-six and six-hundredths (146.06) feet south of and parallel to West Deming Place; and a line approximately six hundred twenty-nine and twenty-three hundredths (629.23) feet southwest of the intersection of North Lakeview Avenue and West Deming Place and perpendicular to West Deming Place, which is commonly known as 2520 North Lakeview Avenue and is depicted on the attached Planned Development Property Line and Boundary Map, and of which the applicant, Lake Tower Development L.L.C., a Delaware limited liability company ("Applicant"), is the owner, in part, and contract purchaser, in part.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant. Any dedication or vacation of streets, alleys or easements or any adjustments of rights-of-way shall require a separate submittal on behalf of the applicant, its successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal title holders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and if different than the applicant, the legal titleholder and any ground lessors and ground lessees. Furthermore, pursuant to the requirements of Section 17-8-400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. "Single designated control" for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors. For purposes of this planned development, where improvements located on the property (or applicable portions thereof) have been submitted to the Illinois Condominium Property Act and/or are otherwise submitted to similar types of regimes of common restrictions and easements, the term "owner" shall be deemed to refer solely to the condominium association and/or other applicable association(s) of the owners of such improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness) and solely with respect to the portion of the Property so transferred, the term "the Applicant" shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof (and its beneficiaries if such seller or transferor is a land trust) shall thereafter be released from any and all obligations or liability hereunder; provided, however, that the Applicant's right to authorize changes or modifications to this planned development for so long as it owns or controls all or any portion of the Property shall not be deemed amended or transferred to apply to a transferee (or its beneficiaries as aforesaid) unless expressly assigned in a written instrument executed by the original Applicant hereunder. An agreement among different owners of the Property, or a covenant binding owners of the Property, may designate the parties authorized to apply for future amendments, modifications or other changes to the planned development.
4. This plan of development consists of these sixteen (16) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Property Line and Boundary Map; a Site Plan; a Landscape Plan; a Roof Plan; Building Elevations (East Elevation, South Elevation, North Elevation and West Elevation); a Northeast corner Detail; and a Townhouse Detail, all prepared by Lucien LaGrange Architects dated October 19, 2002. Full-sized copies of these plans are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. This planned

development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The uses of the Property permitted pursuant to this planned development shall be dwelling units, churches, accessory parking, non-accessory parking and accessory uses.
6. On-premises identification signs and temporary signs, such as construction and marketing signs, shall be permitted on the Property subject to the review and approval of the Department of Planning and Development. No off-premises signs shall be permitted in the planned development.
7. Any service drive or other ingress or egress shall be adequately designed and paved, in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within emergency areas. Any changes to ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development.
8. The maximum height of improvements on the Property shall be as designated on the Elevations and in the Bulk Regulations and Data Table attached hereto. In addition to the maximum heights of the buildings and any appurtenances attached thereto prescribed in this planned development, the height of any improvements also shall be subject, if applicable, to height limitations as approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance in effect as of the date hereof shall apply; provided that, in addition to the other exclusions from floor area permitted for purposes of determining F.A.R. under the Chicago Zoning Ordinance, floor area devoted to mechanical equipment which exceeds one thousand (1,000) square feet in any single location within the building and all rooftop mechanical equipment shall be excluded.
10. The improvements on the Property shall be designed, constructed and maintained in substantial conformance with the plans described in statement Number 4 above, in accordance with the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance (to the extent the same are not inconsistent with such plans) and corresponding regulations and guidelines and in accordance with the following:
  - (a) All new parking facilities shall be considered to be below grade.
  - (b) The Existing Chapel and the Chapel Garden as designated on the Site Plan shall be retained.

- (c) The condominium association or other similar type association(s) of the owners of the dwelling units to be located on the property shall be responsible for the ongoing maintenance, care and replacement of landscaping to be installed in private areas pursuant to the Landscape Plan.
- (d) Each dwelling unit shall include at least one (1) designated deeded parking space.
- (e) Rooftop mechanical equipment in the condominium towers shall be situated as designated on the Roof Plan. In addition, mechanical equipment located on the roof of the north tower and the south tower will be limited to elevator mechanical equipment, exhaust and air supply equipment and similar "light" mechanical equipment (i.e., no "heavy" mechanical equipment shall be permitted on the roofs of the north tower and the south tower such as chillers and cooling towers). All such mechanical equipment will be enclosed within walls and roof elements in a manner which is consistent with the architectural details of the condominium towers. All rooftop mechanical equipment shall be screened.
- (f) Any spaces in excess of the minimum required parking may be made available to neighborhood residents.
- (g) (A) As shown on the Site Plan, the western depth of the south tower of the condominium building shall not under any circumstances extend west along West St. James Place further than the lesser of (1) eighty-six and five-tenths (86.5) feet from the intersection of the westerly right-of-way line of North Lakeview Avenue and the northerly right-of-way of West St. James Place and (2) a line starting from the eastern edge of the center window well on the northern face of the building located at 2500 North Lakeview Avenue and extending in a northwesterly direction perpendicular to the 2500 North Lakeview Avenue building at the point of said eastern edge so that the western edge of the proposed south tower does not impinge upon the light corridor provided by the center window on the northern face of the building located at 2500 North Lakeview Avenue.  
  
(B) As shown on the Roof Plan, the distance between the building located at 2500 North Lakeview Avenue and the proposed development shall not under any circumstances be less than sixty-nine (69) feet face of building to face of building for the first two hundred ten (210) feet of height of the proposed development; no less than seventy-seven (77) feet face of building to face of building between the height of two hundred ten (210) feet and two hundred thirty-five (235) feet of the proposed development; and no less than one hundred (100) feet face of building to face of building with respect to the housing for mechanicals on the rooftop of the proposed

with respect to the housing for mechanicals on the rooftop of the proposed building which housing shall extend no greater than two hundred fifty (250) feet in height.

(C) As shown on the Roof Plan, the distance between the face of the building proposed at 2520 North Lakeview Avenue and the southern right-of-way line of West Deming Place shall not under any circumstances be less than nine and one-half (9½) feet for the first three hundred thirty-seven (337) feet of height of the proposed building, and not less than thirty-three (33) feet from the southern right-of-way line of West Deming Place with respect to the housing for mechanicals on the rooftop of the proposed building, which mechanical housing shall extend no greater than three hundred fifty-five (355) feet. The foregoing thirty-three (33) foot setback shall not apply to the architectural corner expression, but such corner expression shall not exceed a height of three hundred fifty-five (355) feet.

11. At such time as the Department of Planning and Development issues its determination pursuant to Section 17-13-0610 of the Chicago Zoning ordinance, the development of the Property pursuant hereto (so called "Part II Approval"), the Applicant will make a contribution in the amount of Fifty Thousand Dollars (\$50,000) for one or more specific traffic congestion mitigation improvements in the area in which the Property is located or for a study undertaken to help determine appropriate traffic congestion mitigation improvements in that area, as designated by the Department of Planning and Development and the Department of Transportation.
12. The terms, conditions and exhibits of this planned development may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the application for such a modification by the owner or ground lessor of the Property and a determination by the Commissioner of the Department of Planning and Development that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of the planned development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The application shall use its best and reasonable efforts to design, construct and maintain all buildings located within this planned development in an energy-efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). A fifty percent (50%) green roof shall be provided, based on fifty percent (50%) of the net roof area of the towers and the parking garage. The "net roof area"

of the towers and the parking garage excludes areas devoted to private terraces and mechanical equipment, and consists of approximately sixty-three thousand three hundred sixty-four (63,364) square feet.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the improvements of the Property in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") at the time of application for a building permit to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Any changes to ingress and egress as depicted in the Plans and as set forth below shall be subject to the review and approval of the Department of Transportation and the Department. Off-street parking and loading facilities shall be provided in compliance with this planned development. A minimum of two percent (2%) of all parking spaces provided pursuant to this planned development shall be designated and designed for parking for the handicapped.
16. Unless substantial construction of the improvements contemplated by this planned development has commenced within six (6) years following adoption of this planned development, and unless completion thereof is diligently pursued, then this planned development shall expire and the zoning of the Property shall automatically revert to the RM6 General Residence District. Said six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for such an extension is shown.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Property Line and Boundary Map; Site Plan; Landscape Plan; Roof Plan; Building Elevations; Corner Detail; Townhouse Detail; and Chicago Builds Green Application referred to in these Plan of Development Statements printed on pages 25718 through 25734 of this *Journal*.]

Bulk Regulations and Data Tables referred to in these Plan of Development Statements read as follows:

*Existing Plan Of Development Bulk  
Regulations And Data Table.*

Maximum Permitted Floor Area Ratio:	5.94 <sup>(1)</sup>
Minimum Setbacks from Property Line:	In accordance with the Site Plan
Maximum Number of Dwelling Units:	325
Minimum Number of Parking Spaces:	1.75 per dwelling unit plus 50 spaces for church uses
Maximum Number of Parking Spaces:	700
Minimum Number of Loading Spaces:	4
Maximum Percentage of Land Covered:	In accordance with the Site Plan
Maximum Building Height:	As designated in the Elevations, for new construction on the Property: (i) for the center tower, 442 feet (to the top of the mechanical penthouse enclosure), (ii) for the south tower, 235 feet (to the top of the predominant roof level and not including mechanicals or rooftop architectural features), (iii) for the north tower, 337 feet (to the top of the predominant roof level and not including mechanicals or rooftop architectural features) and (iv) for the townhome units, 45 feet

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(1) The maximum floor area ratio for each individual component of the proposed development will not exceed (i) .50 for the townhomes; (ii) 1.72 for the north condominium tower, (iii) 3.2 for the center condominium tower and (iv) 1.05 for the south condominium tower. Notwithstanding the foregoing, in no event shall the total floor area ratio for the planned development exceed 5.94 in the aggregate. All such calculations are with respect to total net site area (i.e., 130,114 square feet).

*Residential Planned Development Number 853.**Plan Of Development  
Bulk Regulations And Data Table.**October 19, 2007.*

Gross Site Area = Net Site Area + Area Remaining in Public Right-of-Way:  $\pm 182,756$  gross square feet (4.20 acres) =  $\pm 144,743$  net square feet (3.32 acres) + 38,013 square feet (.87 acre) in public right-of-way.

Maximum Permitted Floor Area Ratio:	5.94 <sup>(1)</sup>
Minimum Setbacks from Property Line:	In accordance with the Site Plan
Maximum Number of Dwelling Units:	325
Minimum Number of Parking Spaces:	1.75 per dwelling unit plus 50 spaces for church users
Maximum Number of Parking Spaces:	700
Minimum Number of Loading Spaces:	4
Maximum Percentage of Land Covered:	In accordance with the Site Plan
Maximum Building Height:	As designated in the Elevations, for new construction on the Property: (i) for the center tower, 468 feet (to the top of the mechanical penthouse enclosure), (ii) for the south tower, 235 feet (to the top of the predominant roof level and not including mechanicals or rooftop architectural features), (iii) for the north tower, 337 feet (to the top of the predominant roof level and not including mechanicals or rooftop architectural features) and (iv) for the townhouse units, 45 feet

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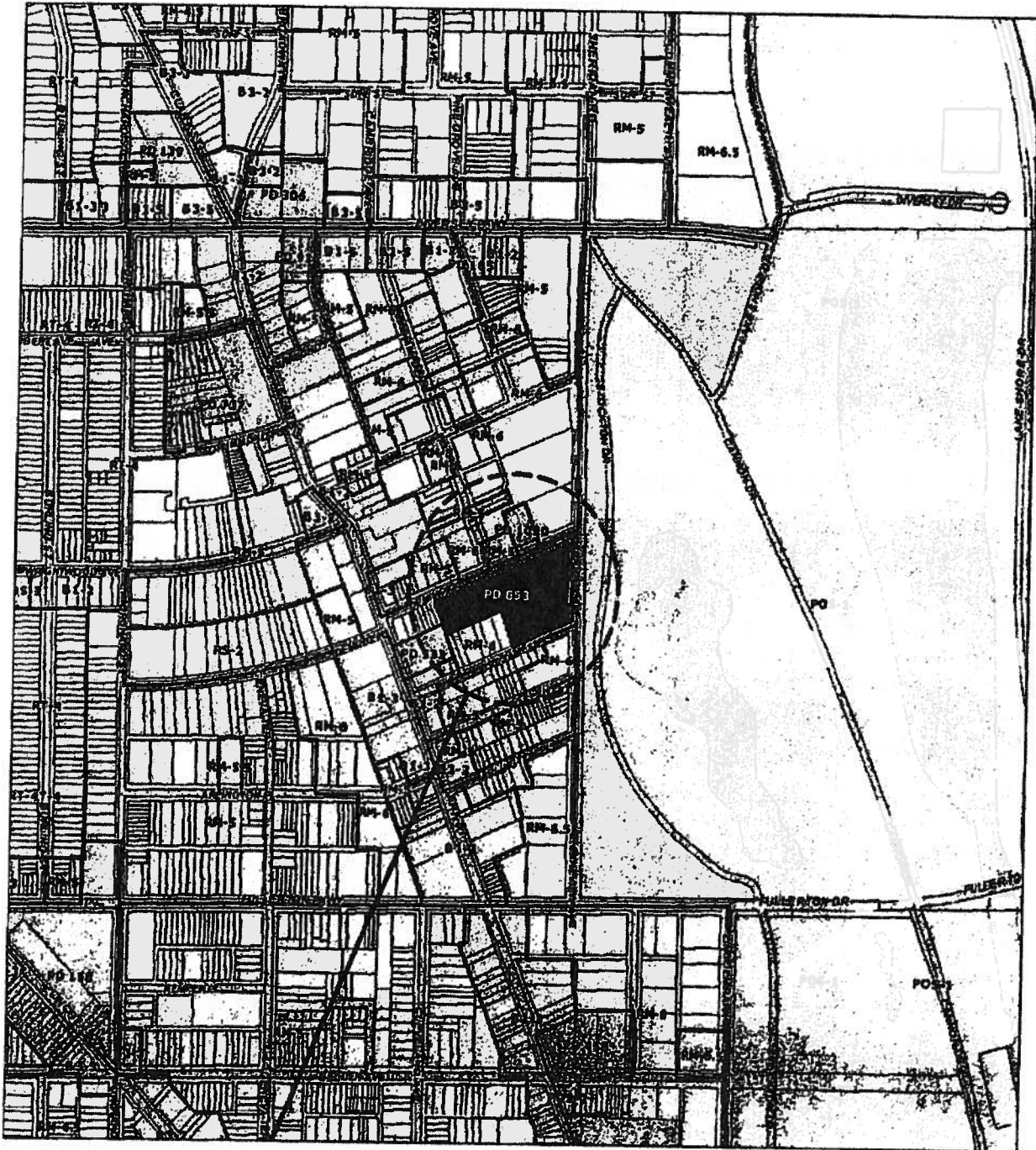
(1) The maximum floor area ratio for each individual component of the proposed development will not exceed (i) 0.70 for the townhouses; (ii) 1.72 for the north condominium tower; (iii) 3.2 for the center condominium tower and (iv) 1.05 for the south condominium tower. Notwithstanding the foregoing, in no event shall the total floor area ratio for the planned development exceed 5.94 in the aggregate. All such calculations are with respect to total net site area (i.e., 144,743 square feet).

*Residential Planned Development Number 853.**Plan Of Development  
Bulk Regulations And Data Table.**Revised March 20, 2008.*

Gross Site Area = Net Site Area + Area Remaining in Public Right-of-Way:  $\pm 182,756$  gross square feet (4.20 acres) =  $\pm 144,743$  net square feet (3.32 acres) + 38,013 square feet (.87 acre) in public right-of-way.

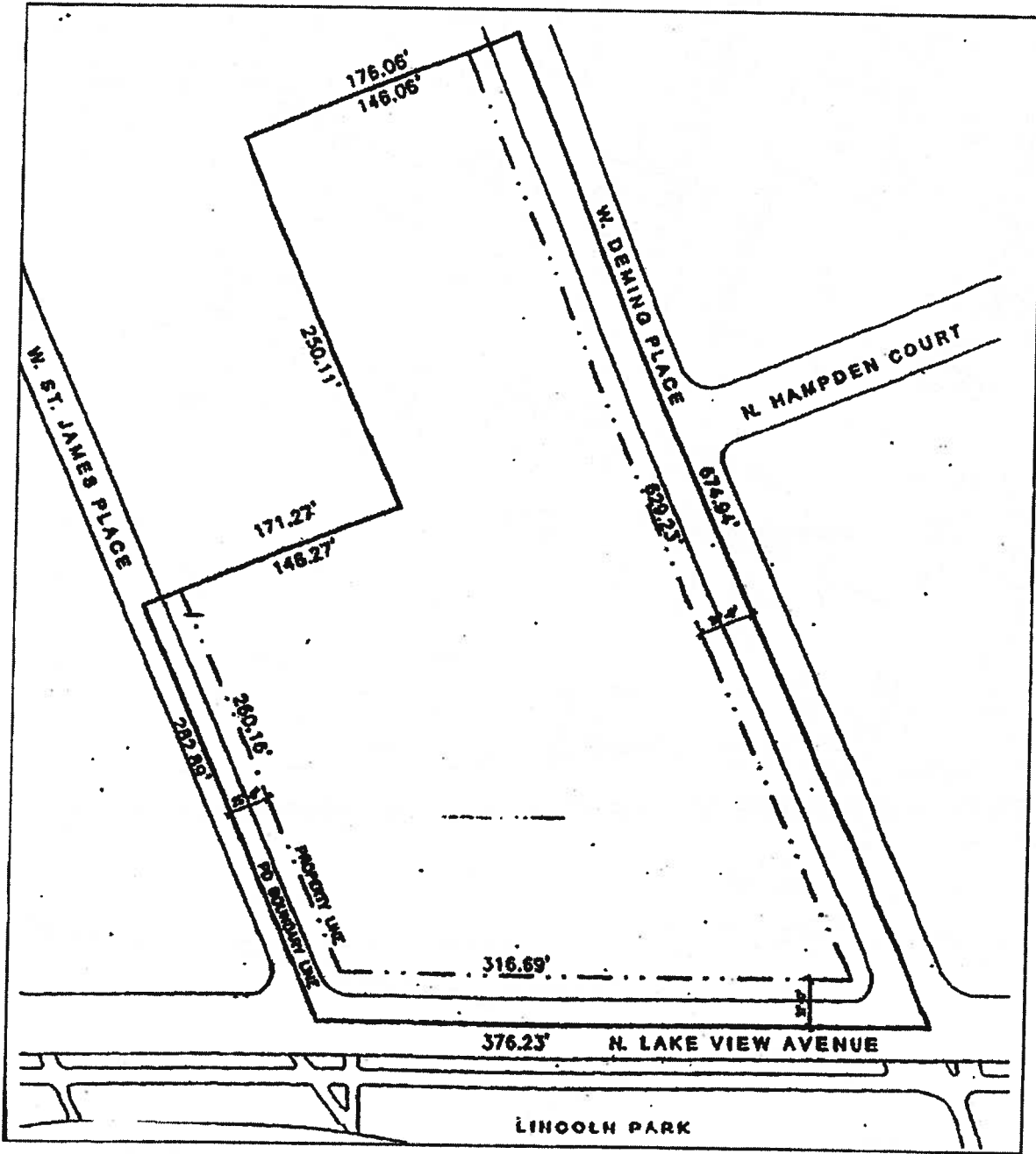
Maximum Permitted Floor Area Ratio:	5.94
Minimum Setbacks from Property Line:	In accordance with the Site Plan
Maximum Number of Dwelling Units:	325
Minimum Number of Parking Spaces:	1.75 per dwelling unit plus 50 spaces for church users
Maximum Number of Parking Spaces:	700
Minimum Number of Loading Spaces:	4
Maximum Percentage of Land Covered:	In accordance with the Site Plan
Maximum Building Height:	As designated in the Elevations, for new construction on the Property: (i) for the center tower, 468 feet (to the top of the mechanical penthouse enclosure), (ii) for the south tower, 235 feet (to the top of the predominant roof level and not including mechanicals or rooftop architectural features), (iii) for the north tower, 337 feet (to the top of the predominant roof level and not including mechanicals or rooftop architectural features) and (iv) for the townhouse units, 45 feet.

Existing Zoning Map.

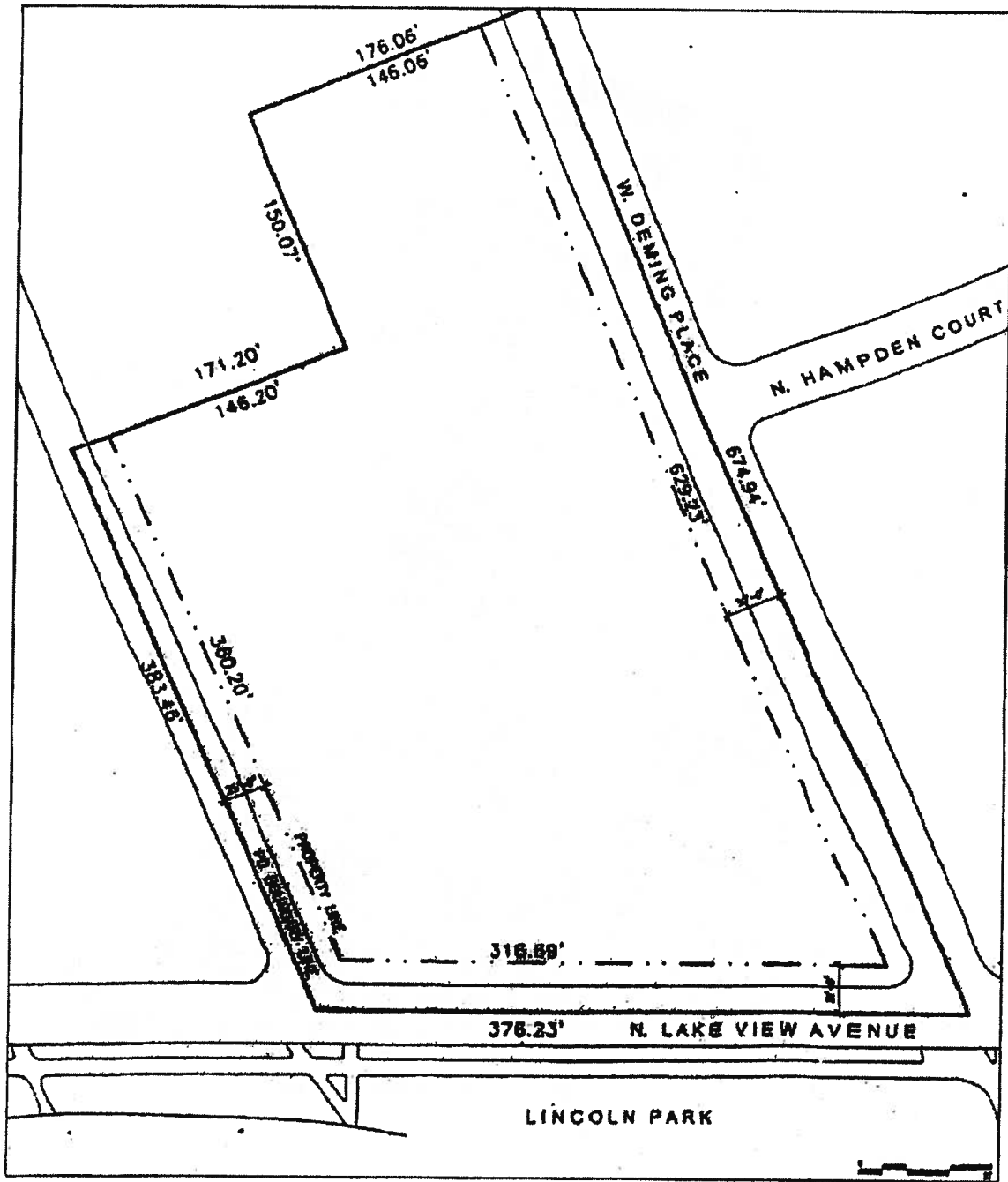




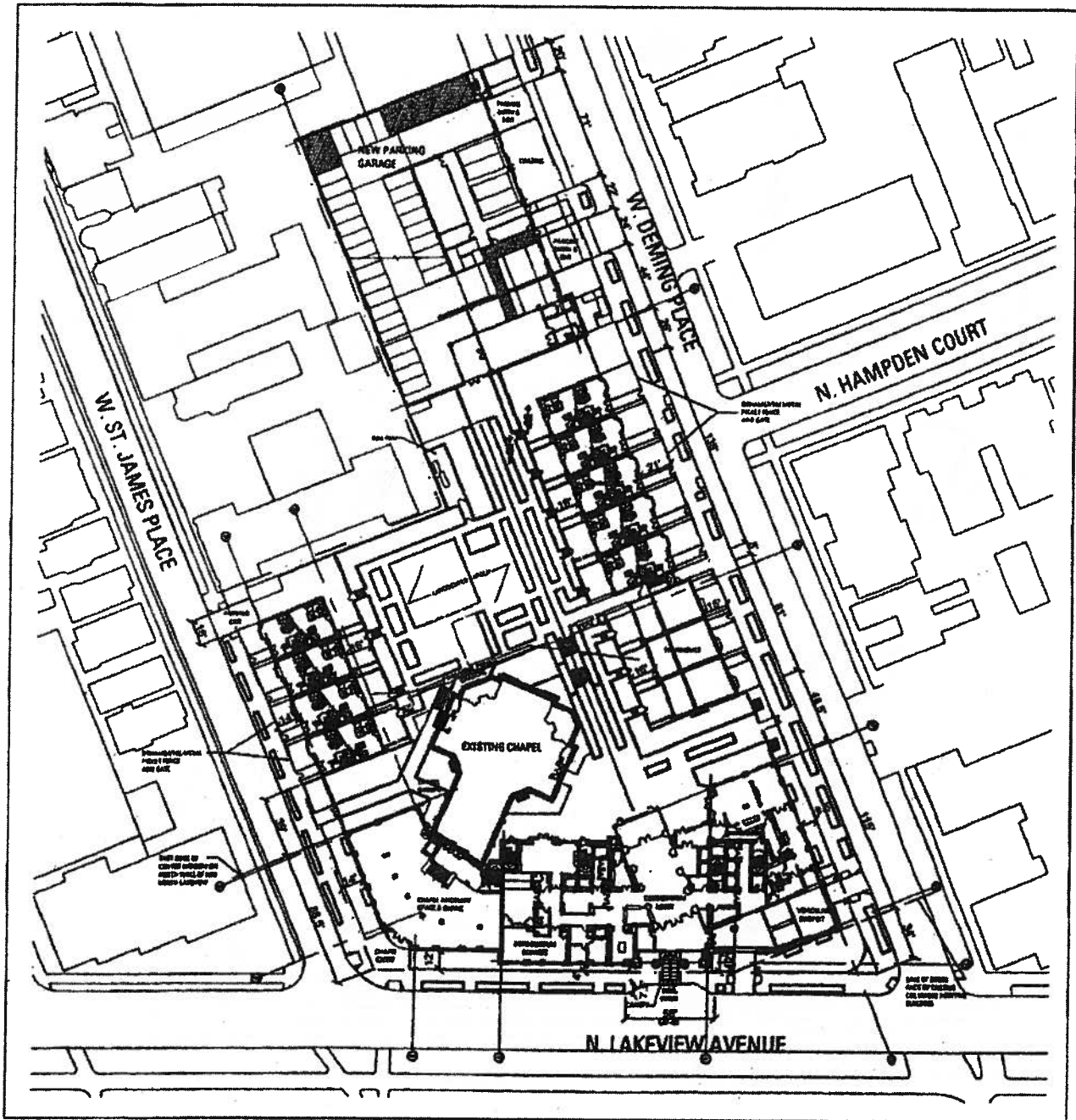
Existing Planned Development Property  
Line And Boundary Map.



Revised Planned Development Property  
Line And Boundary Map.

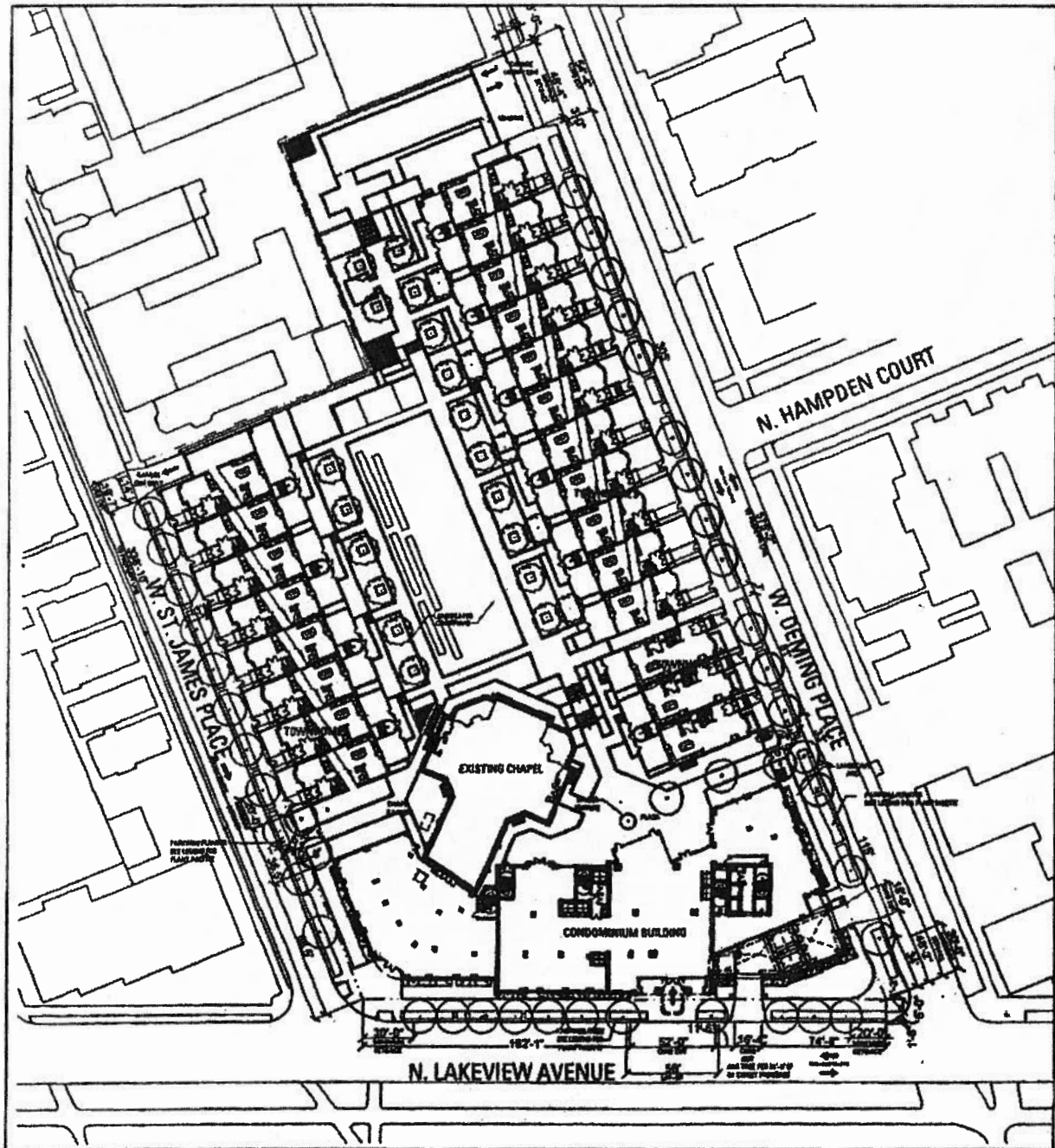


Site Plan.  
(Page 1 of 2)

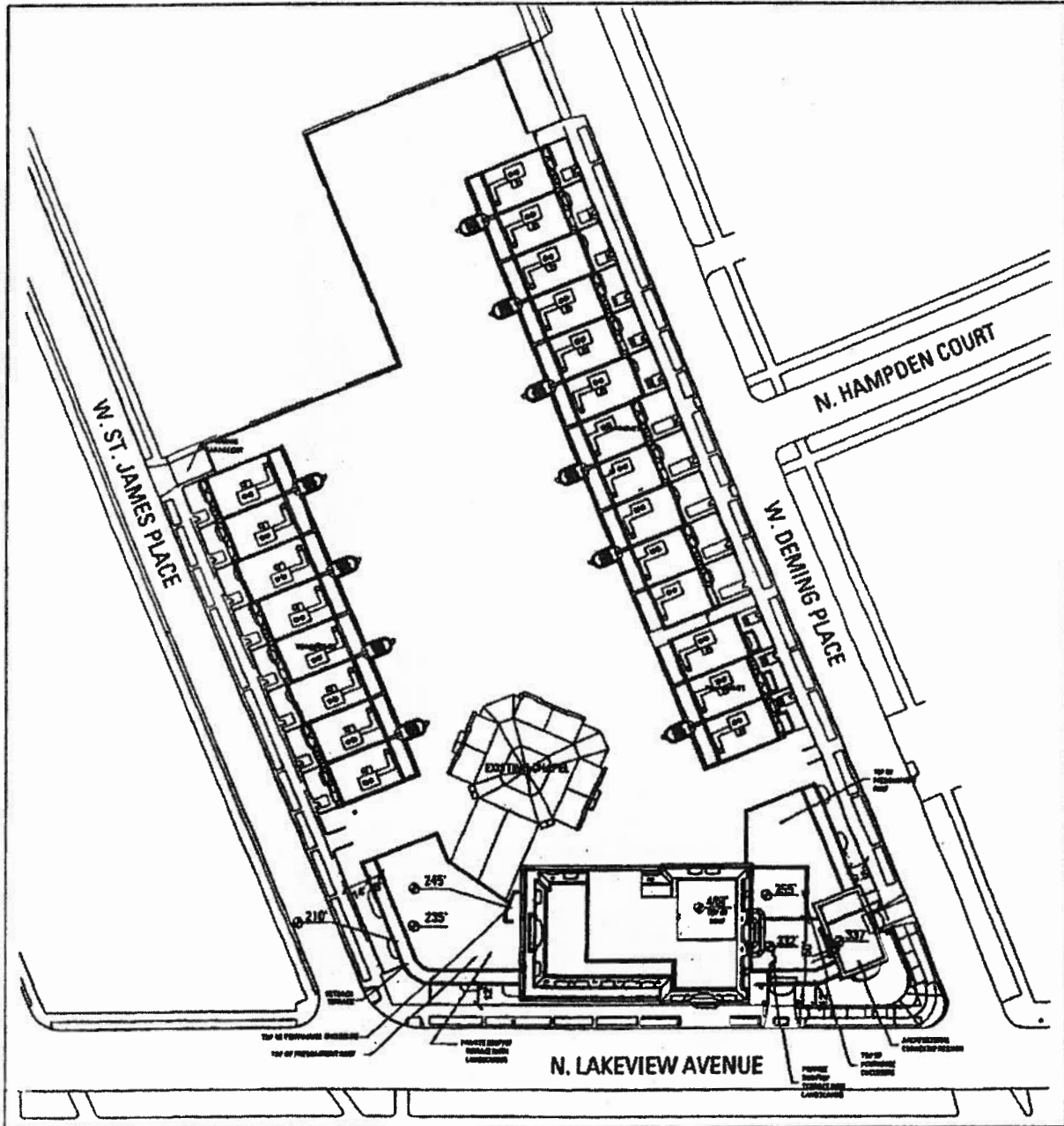




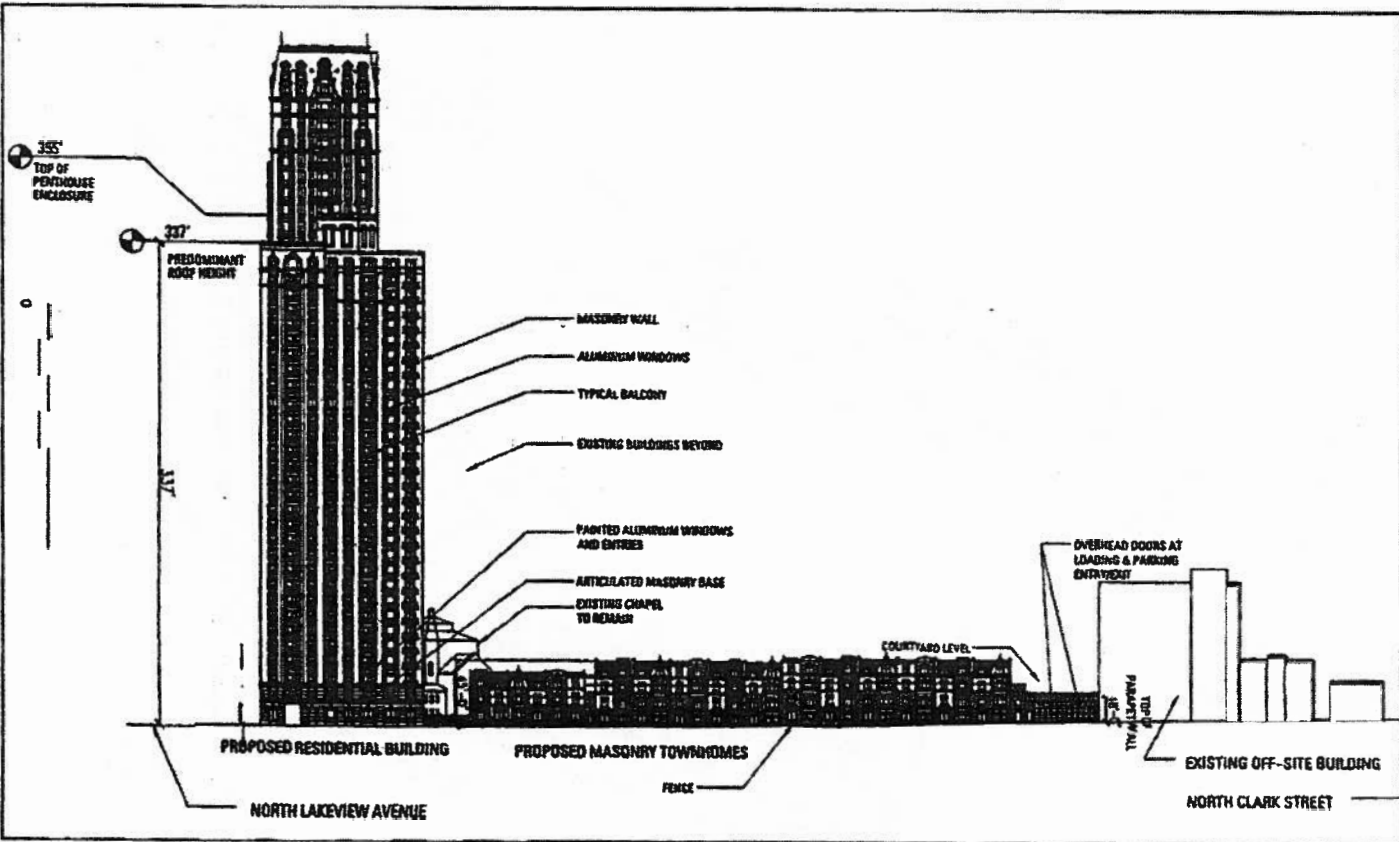
Landscape Plan.

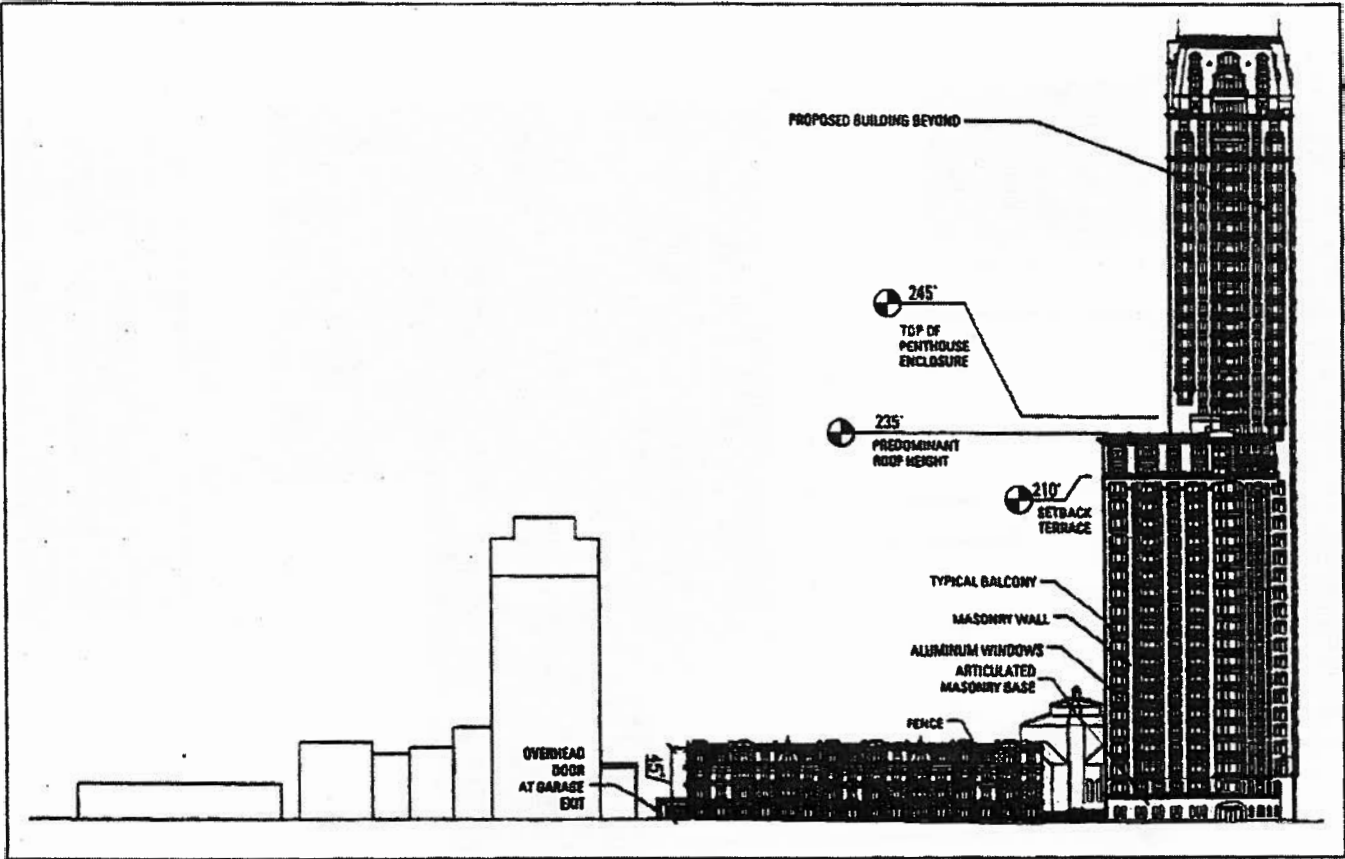


Roof Plan.



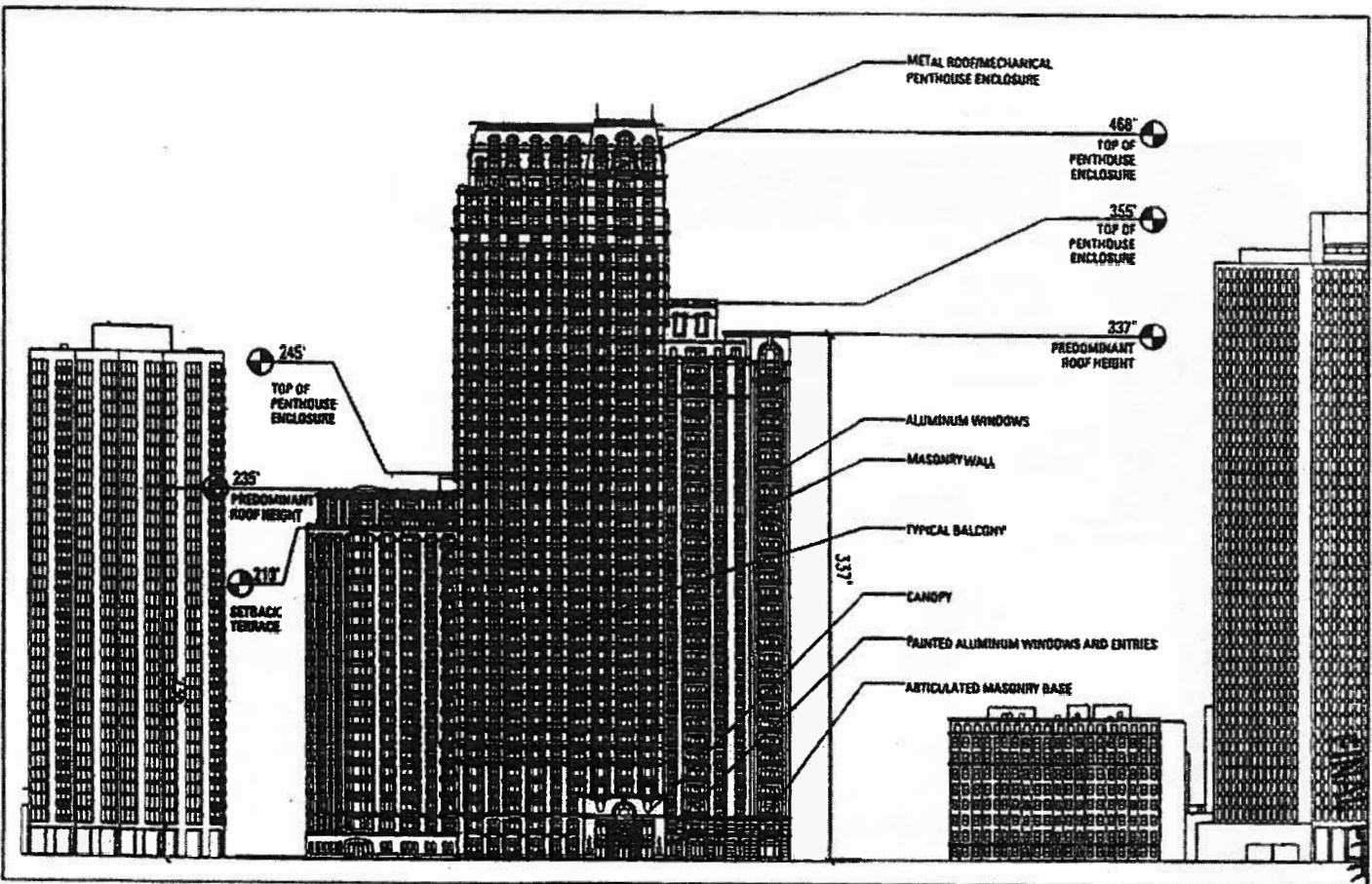
North Elevation.

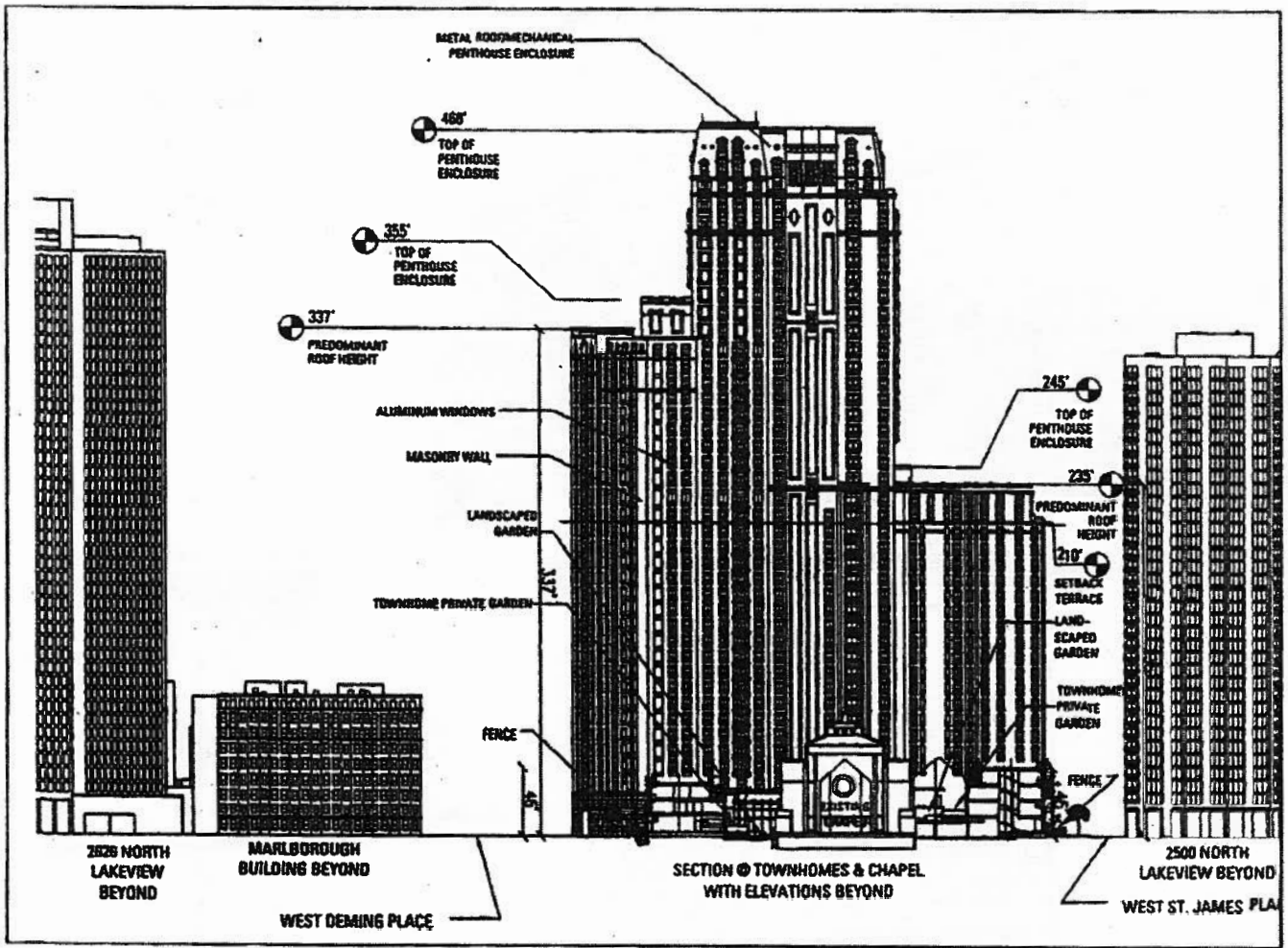




South Elevation.

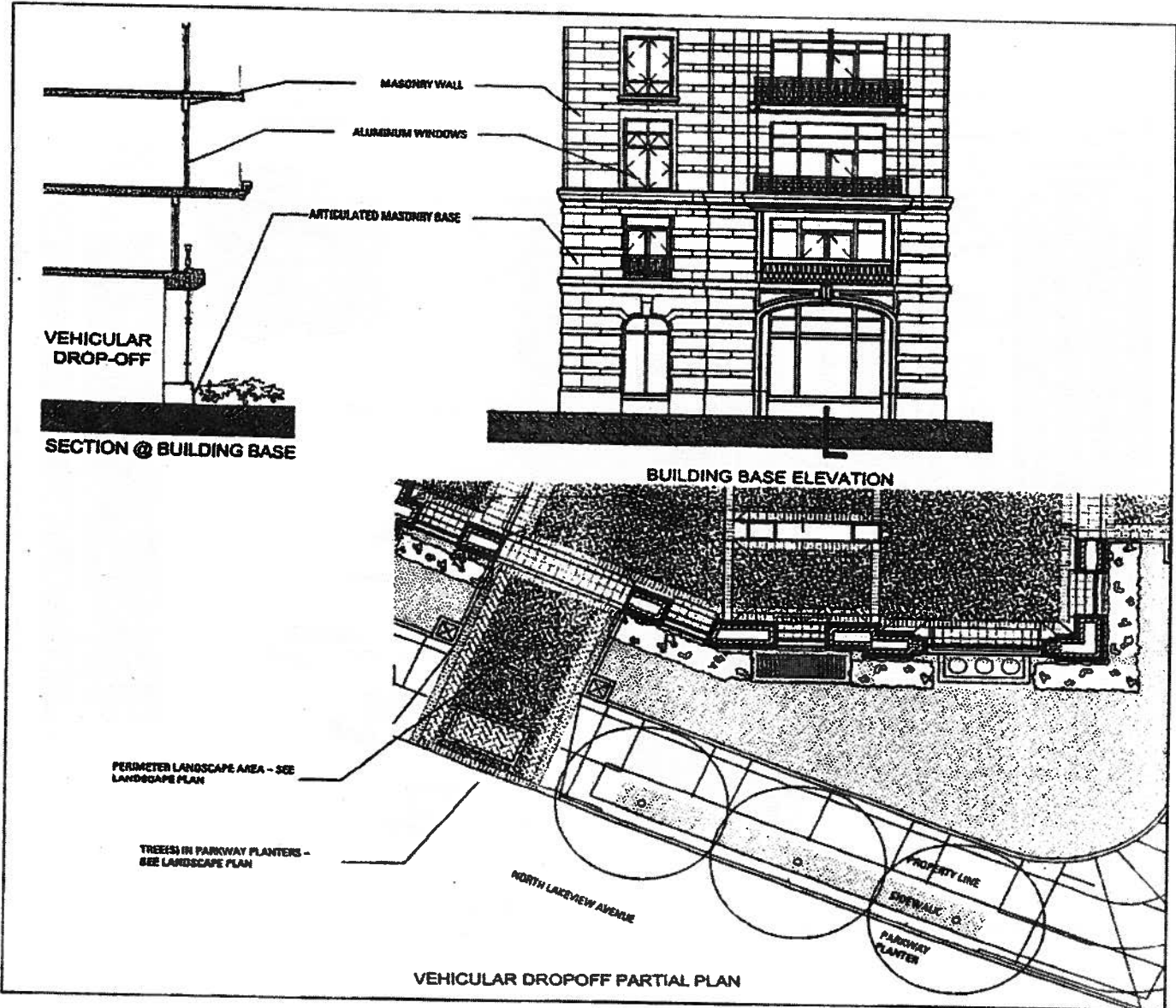
East Elevation.

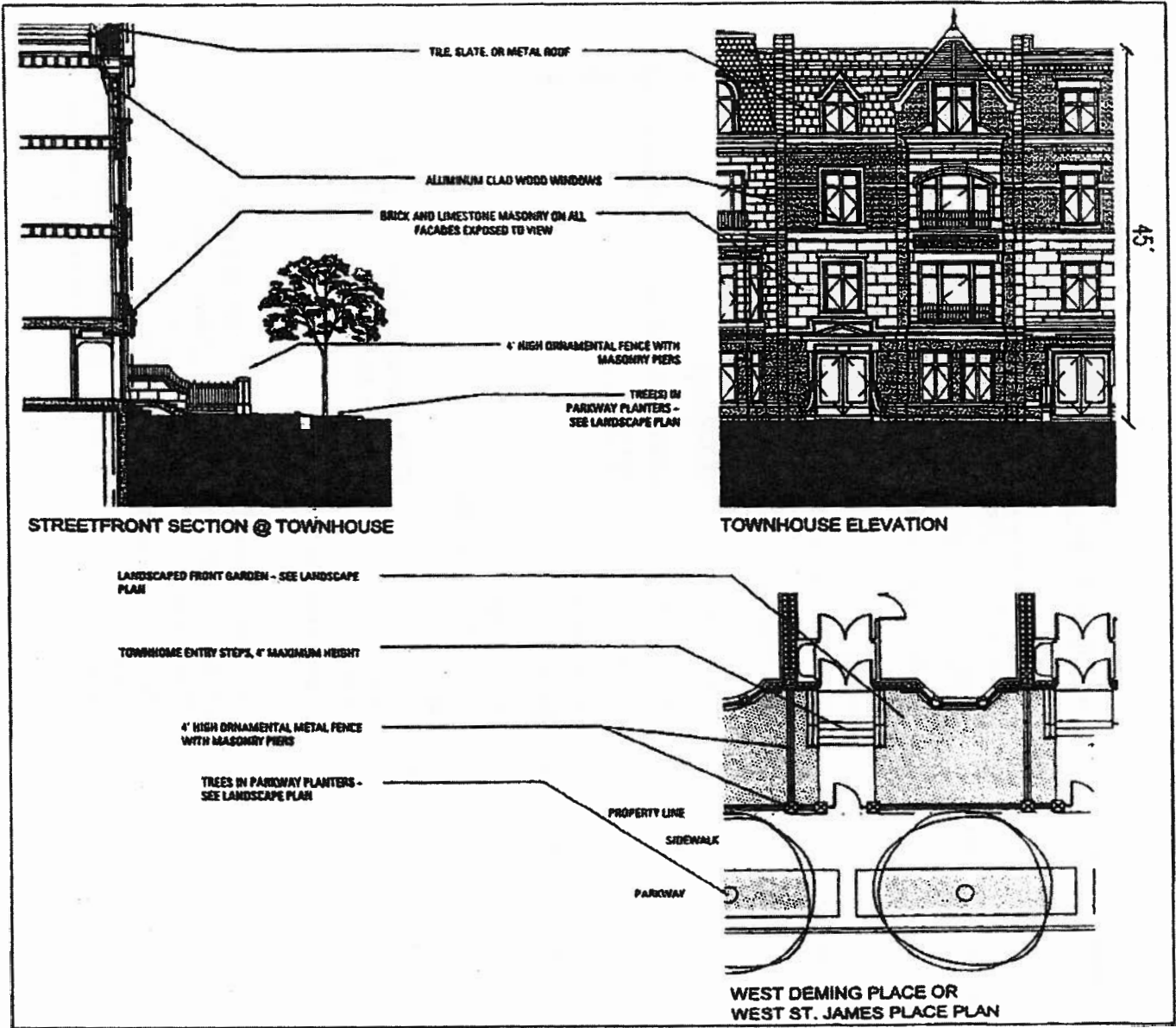




West Elevation.

Northeast Corner Detail.





Townhouse Detail.

Chicago Builds Green Applications.  
(Page 1 of 3)

<b>Project Name:</b>	2550 North Lakeview			
<small>* Street Number (if the address only includes one street number, please fill only the cell "From"):</small>				
<b>Project Location:</b>	<small>From*</small>	<small>To*</small>	<small>Direction: Street Name:</small>	<small>Select Street Type:</small>
	2550		N Lakeview	Ave
	<small>Ward No:</small>	<small>Community Area No:</small>		
	43			
<b>Project Type:</b>	<small>Check applicable:</small>			
	<input checked="" type="checkbox"/> Planned Development	<input type="checkbox"/> Redevelopment Agreement	<input type="checkbox"/> Zoning Change	
	PD No: 853	RDA No: <input type="checkbox"/>	From: <input type="checkbox"/> To: <input type="checkbox"/>	
	<input type="checkbox"/> Public project	<input type="checkbox"/> Landmark		
<b>Project Size:</b>	<small>Total land area in sq.ft.:</small>	<small>Total building(s) footprint in sq.ft.:</small>	<small>Total vehicular use area in sq.ft.:</small>	
	144,743	63,364	0	
<b>DPD Project Manager:</b>	<small>Enter First Name Last Name</small>			
	Bradley Roback			
<b>BG/GR Matrix:</b>	<small>Select project category:</small>			
	Res. 4 or more Market Rate			
<b>Financial Incentives:</b>	<small>Check applicable:</small>			
	<input type="checkbox"/> TIF	<input type="checkbox"/> Empowerment Zone Grant	<input type="checkbox"/> Class L	
	<input type="checkbox"/> GRIF	<input type="checkbox"/> Ind. Dev. Revenue Bonds	<input type="checkbox"/> Class Gb	
	<input type="checkbox"/> SBIF	<input type="checkbox"/> Bank Participation Loan	<input type="checkbox"/> DOH	
	<input type="checkbox"/> Land Sale Write Down			
<b>Density Bonus:</b>	<small>Check applicable:</small>			
	<input checked="" type="checkbox"/> Public plaza & pocket park	<input type="checkbox"/> Water features in a plaza or pocket park		
	<input type="checkbox"/> Chicago Riverwalk improvements	<input type="checkbox"/> Setbacks above the ground floor		
	<input type="checkbox"/> Winter gardens	<input type="checkbox"/> Lower level planting terrace		
	<input type="checkbox"/> Indoor through-block connection	<input checked="" type="checkbox"/> Green roof		
	<input type="checkbox"/> Sidewalk widening	<input checked="" type="checkbox"/> Underground parking and loading		
	<input type="checkbox"/> Arcades	<input type="checkbox"/> Concealed above-ground parking		

Chicago Builds Green Applications.  
(Page 2 of 3)

		Required per Zoning Code or Green Roof/Building Green Matrix	To be Provided by the development:	
<i>Please fill, if applicable</i>				
<b>Landscaping:</b>	7' Landscape Setback	Square footage: 0	5,537	
	Interior Landscape Area	Square footage: 35,190	64,220	
	No. of Interior Trees	0	29	
	No. of Parkway Trees	0	42	
<b>Open Space:</b>	River Setback	Square footage: 0	0	
	Private Open Space	Square footage: 35,190	64,220	
	Privately developed Public Open Space	Square footage: 0	0	
<b>Stormwater Management (At-grade volume control):</b>				
Permeable paving	Square footage:	0		
Raingarden	Check applicable:	<input type="checkbox"/>		
Filter strip		<input type="checkbox"/>		
Bioswale		<input type="checkbox"/>		
Detention pond		<input type="checkbox"/>		
Native landscaping	Square footage:	0		
Rain-water collection cistern/barrel	Gallons:	0		
Total impervious area reduction	Square footage:	0		
<b>Other sustainable surface treatments:</b>				
Green roof	Square footage:	31,682	33,018	
Energy Star roof	Square footage:	0	0	
High-albedo pavement	Square footage:	0	0	
<b>Transportation:</b>	No. of accessory parking spaces	609	633	
	Total no. of parking spaces (Accessory + Non-Acc.)		0	
	No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)	0	0	
	No. of bicycle parking	0	240	
	Within 800 ft of CTA or Metra station entrance	Check if applicable:	<input checked="" type="checkbox"/>	

Chicago Builds Green Applications.  
(Page 3 of 3)

<b>Building Certification:</b>		
Energy Star building	<input checked="" type="checkbox"/>	<input type="checkbox"/>
LEED certification	<input checked="" type="checkbox"/>	
LEED Certified		<input checked="" type="checkbox"/>
LEED Silver		<input type="checkbox"/>
LEED Gold		<input type="checkbox"/>
LEED Platinum		<input type="checkbox"/>
Chicago Green Homes	<input type="checkbox"/>	
Chicago Green Homes [one-star]		<input type="checkbox"/>
Chicago Green Homes [two-star]		<input type="checkbox"/>
Chicago Green Homes [three-star]		<input type="checkbox"/>
<b>Energy efficiency strategies not captured above:</b> <small>(E: Other than Energy Star Roof - or Energy Star Building Certification)</small>	<p>The project's mechanical and envelope systems have been designed to exceed the ASHRAE 90.1-2004 Standard by more than 17%. Some of the energy efficiency strategies included in the project are a high efficiency glazing system with a U-value of 0.40 and a SHGC value of 0.27. Many of the windows and doors on the west and south facades are shaded by overhead balconies. The central plant incorporates two (2) high efficiency 500 ton water cooled chillers with variable frequency drives. All the plant pumps and building ventilation systems are controlled by variable speed drives. The cooling towers have a high efficient free cooling cycle that provides periods of free cooling. The individual residential units are served by a 2-pipe fan coil system with individual fan coil units with Electrically Commutated Motors (ECM). All the base building mechanical systems will be digitally controlled.</p>	
<b>Other sustainable strategies and/or Project Notes:</b>	<p>The project is located in an urban area surrounded by many multi-story buildings with high development densities. The site is accessible by many CTA routes and is located near the CTA's light rail system. The project will be constructed with materials containing recycled content and that are regionally manufactured and supplied. The indoor environment and base mechanical systems will be protected during construction. The interior finishes will be constructed with low-VOC materials such as paints, adhesives, sealants and carpets. The indoor thermal comfort and lighting will have a high level of controllability. The building has been designed to provide the residents with a urban environment locale in a park setting.</p> <p>A green roof is being provided in the amount of over 50% of the net roof area. The area of the landscape courtyard consisting of vegetation is approx. 33,018 square feet. This vegetation serves as a green roof, as it overlays two levels of parking. "Net roof area" consists of building footprint of the towers and the parking garage, less areas devoted to private terraces and mechanical equipment.</p>	

*Reclassification Of Area Shown On Map Number 7-F.*  
(As Amended)  
(Application Number 13511)

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R6 General Residence District symbols and indications as shown on Map Number 7-F within the area bounded by:

West Deming Place; North Lakeview Avenue; West St. James Place; a line approximately 282.89 feet southwest of the intersection of North Lakeview Avenue and West St. James Place and perpendicular to West St. James Place; a line approximately 176.06 feet south of and parallel to West Deming Place; and a line approximately 674.94 feet southwest of the intersection of North Lakeview Avenue and West Deming Place and perpendicular to West Deming Place,

to those of a Residential Planned Development, which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development Statements herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential Planned Development Number ~~853~~ 853.*

*Plan Of Development Statements.*

1. The area delineated herein as Residential Planned Development Number ~~853~~ 853 (the "Property") consists of approximately one hundred thirty thousand one hundred fourteen (130,114) net square feet (two and ninety-nine hundredths (2.99) acres) of property located in the area bounded by West Deming Place; North Lakeview Avenue; West St. James Place; a line approximately two hundred eighty-two and eighty-nine hundredths (282.89) feet southwest of the intersection of North Lakeview Avenue and West St. James Place and perpendicular to West St. James Place; a line approximately one hundred seventy-six and six hundredths (176.06) feet

south of and parallel to West Deming Place; and a line approximately six hundred seventy-four and ninety-four hundredths (674.94) feet southwest of the intersection of North Lakeview Avenue and West Deming Place and perpendicular to West Deming Place, which is commonly known as 2520 North Lakeview Avenue and is depicted on the attached Planned Development Property Line and Boundary Map, and of which the applicant, 2520 North Lakeview, L.L.C. (formerly known as Chapel Park Development, L.L.C.), an Illinois limited liability company, is the contract purchaser.

2. All applicable official reviews, approvals or permits are required to be obtained by the applicant. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the applicant, its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal title holders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. "Single designated control" for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors. For purposes of this planned development, where improvements located on the Property (or applicable portions thereof) have been submitted to the Illinois Condominium Property Act and/or are otherwise submitted to similar types of regimes of common restrictions and easements, the term "owner" shall be deemed to refer solely to the condominium association and/or other applicable association(s) of the owners of such improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein.
4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Property Line and Boundary Map; a Site Plan prepared by Lucien Lagrange Architects dated October 17, 2002 ("Site

Plan"); a Landscape Plan consisting of three (3) pages prepared by Conservation Design Forum dated October 17, 2002 ("Landscape Plan"); Building Elevations consisting of four (4) pages (East Elevation, South Elevation, North Elevation and West Elevation) prepared by Lucien Lagrange Architects dated October 17, 2002 ("Elevations"), a Maisonette Detail, Townhouse Detail and Existing Garage Detail prepared by Lucien LaGrange Architects dated October 17, 2002 (the "Detail Exhibits") and a Roof Plan prepared by Lucien Lagrange Architects dated October 17, 2002 ("Roof Plan"). Full-sized copies of these plans are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. This planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The uses of the Property permitted pursuant to this planned development shall be dwelling units, churches, accessory parking and accessory uses.
6. Identification signs and temporary signs, such as construction and marketing signs, shall be permitted on the Property subject to the review and approval of the Department of Planning and Development.
7. Any service drive or other ingress or egress shall be adequately designed and paved, in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within emergency areas. Any changes to ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development.
8. The maximum height of improvements on the Property shall be as designated on the Elevations and in the Bulk Regulations and Data Table attached hereto. In addition to the maximum height of the buildings and any appurtenances attached thereto prescribed in this planned development, the height of any improvements also shall be subject, if applicable, to height limitations as approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance in effect as of the date hereof shall apply; provided that, in addition to the other exclusions from floor area permitted for purposes of determining F.A.R. under the Chicago Zoning Ordinance,
  - (a) floor area devoted to mechanical equipment which exceeds five thousand (5,000) square feet in any single location within the building and all rooftop mechanical equipment shall be excluded, and
  - (b) all

parking provided anywhere on the Property (including all portions whatsoever of the Existing Parking Garage as designated on the Site Plan) shall be deemed accessory parking and shall not be counted in the calculation of floor area.

10. The improvements on the Property shall be designed, constructed and maintained in substantial conformance with the Site Plan, the Landscape Plan, the Elevations, the Detail Exhibits and the Roof Plan, all as described in Statement Number 4 above, in accordance with the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines and in accordance with the following:
  - (a) All new parking facilities (i.e., other than those contained in the Existing Parking Garage as designated on the Site Plan) shall be constructed below grade.
  - (b) The north and east facades of the Existing Parking Garage as designated on the Site Plan shall be re clad as shown on the Elevations.
  - (c) The Existing Chapel and the Chapel Garden as designated on the Site Plan shall be retained.
  - (d) The improvements to be constructed on the Property will include maisonettes with private street entries along the Lakeview Avenue frontage as depicted on the Site Plan and Elevations.
  - (e) The condominium association or other similar type association(s) of the owners of the dwelling units to be located on the Property shall be responsible for the ongoing maintenance, care and replacement of landscaping to be installed pursuant to the Landscape Plan.
  - (f) Each dwelling unit shall include at least one (1) designated deeded parking space.
  - (g) Rooftop mechanical equipment in the condominium towers shall be situated as designated on the Roof Plan. In addition, mechanical equipment located on the roof of the north tower and the south tower will be limited to elevator mechanical equipment, exhaust and air supply equipment and similar "light" mechanical equipment (i.e., no "heavy" mechanical equipment shall be permitted on the roofs of the north tower and the south tower such as chillers and cooling towers). All such mechanical equipment will be enclosed within walls and roof elements in a manner which

is consistent with the architectural details of the condominium towers. All rooftop mechanical equipment shall be screened.

- (h) The applicant shall have the right to make any parking spaces in excess of the minimum number required under this planned development available for sale or lease to residents in the vicinity of the Property, and any such sold or leased parking space shall continued to be deemed accessory parking for all purposes hereunder.
- (i)
  - (A) As shown on the Site Plan, the western depth of the south tower of the condominium building shall not under any circumstances extend west along West St. James Place further than the lesser of (1) eighty-six and five-tenths (86.5) feet from the intersection of the westerly right-of-way line of North Lakeview Avenue and the northerly right-of-way line of West St. James Place and (2) a line starting from the eastern edge of the center window well on the northern face of the building located at 2500 North Lakeview Avenue and extending in a northwesterly direction perpendicular to the 2500 North Lakeview Avenue building at the point of said eastern edge so that the western edge of the proposed south tower does not impinge upon the light corridor provided by the center window on the northern face of the building located at 2500 North Lakeview Avenue.
  - (B) As shown on the Roof Plan, the distance between the building located at 2500 North Lakeview Avenue and the proposed development shall not under any circumstances be less than sixty nine (69) feet face of building to face of building for the first (1<sup>st</sup>) two hundred ten (210) feet of height of the proposed development; no less than seventy-seven (77) feet face of building to face of building between the height of two hundred ten (210) feet and two hundred thirty-five (235) feet of the proposed development; and no less than one hundred (100) feet face of building to face of building with respect to the housing for mechanicals on the rooftop of the proposed building which housing shall extend no greater than two hundred fifty (250) feet in height.
  - (C) As shown on the Roof Plan, the distance between the face of the building proposed at 2520 North Lakeview Avenue and the southern right-of-way line of West Deming Place shall not under any circumstances be less than nine and one-half (9½) feet for the first (1<sup>st</sup>) three hundred thirty-seven (337) feet of height of the proposed building, and not less than thirty-three (33) feet from the southern right-of-way line of West Deming Place with respect to the housing for mechanicals on the rooftop of the proposed

building, which mechanical housing shall extend no greater than three hundred fifty-five (355) feet. The foregoing thirty-three (33) foot setback shall not apply to the architectural corner expression, but such corner expression shall not exceed a height of three hundred fifty-five (355) feet.

11. At such time as the Department of Planning and Development issues its determination pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance for the development of the Property pursuant hereto (so called "Part II Approval"), the applicant will make a contribution in the amount of Fifty Thousand Dollars (\$50,000) for one (1) or more specific traffic congestion mitigation improvements in the area in which the Property is located or for a study undertaken to help determine appropriate traffic congestion mitigation improvements in that area, as designated by the Department of Planning and Development and the Department of Transportation.
12. The terms, conditions and exhibits of this planned development may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the application for such a modification by the owner or ground lessor of the Property and a determination by the Commissioner of the Department of Planning and Development that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of the planned development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Notwithstanding the provisions of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes may include a reduction in the minimum required distance between structures, a reduction in periphery setbacks and an increase in the maximum percent of land covered.
13. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The applicant shall use its best and reasonable efforts to design, construct and maintain all buildings located within this planned development in an energy-efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S").
14. The applicant acknowledges that it is in the public interest to design,

construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.

15. Unless substantial construction of the improvements contemplated by this planned development has commenced within six (6) years following adoption of this planned development, and unless completion thereof is diligently pursued, then this planned development shall expire and the zoning of the Property shall automatically revert to the R6 General Residence District. Said six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for such an extension is shown.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Property Line and Boundary Map; Site Plan; Landscape Plan; Building Elevation Drawings; Maisonette Detail; Townhouse Detail; Existing Garage Detail; and Roof Plan referred to in these Plan of Development Statements printed on pages 96427 through 96441 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Residential Planned Development Number* 853.

*Plan Of Development*

*Bulk Regulations And Data Table.*

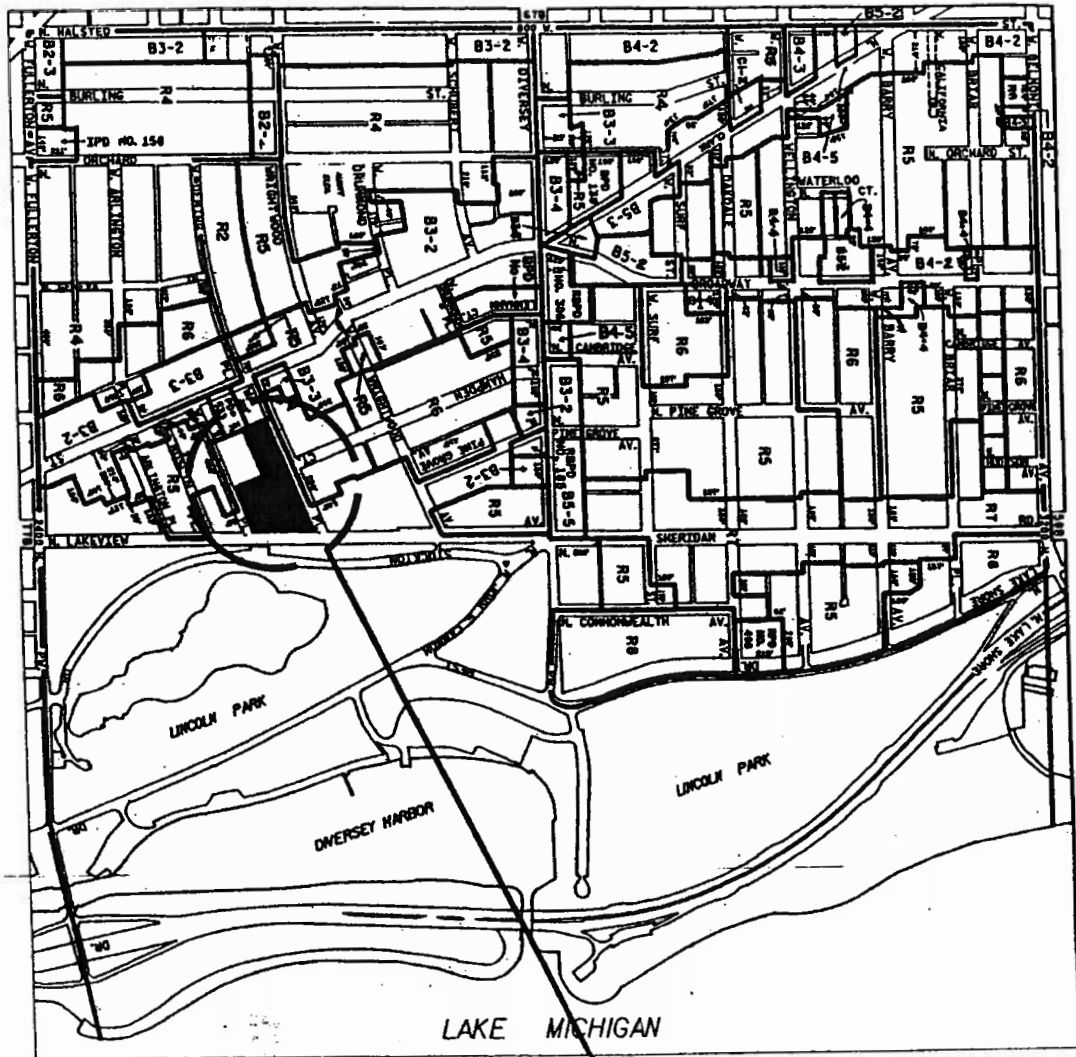
Gross Site Area = Net Site Area + Area Remaining in Public Right-of-Way: ±166,850 gross square feet (3.83 acres) = ±130,114 net square feet (2.99 acres) + 36,736 square feet (.84 acres) in public right-of-way.

Maximum Permitted Floor Area Ratio:	5.94 <sup>(1)</sup> .
Minimum Setbacks from Property Line:	In accordance with the Site Plan.
Maximum Number of Dwelling Units:	325.
Minimum Number of Parking Spaces	1.75 per dwelling unit plus 50 spaces for church uses.
Maximum Number of Parking Spaces:	700.
Minimum Number of Loading Spaces:	4.
Maximum Percentage of Land Covered:	In accordance with the Site Plan.
Maximum Building Height:	As designated in the Elevations, for new construction on the Property, (i) for the center tower, 442 feet (to the top of the mechanical penthouse enclosure), (ii) for the south tower, 235 feet (to the top of the predominant roof level and not including mechanicals or rooftop architectural features), (iii) for the north tower, 337 feet (to the top of the predominant roof level and not including mechanicals or rooftop architectural features) and (iv) for the townhome units, 45 feet.

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(1) The maximum floor area ratio for each individual component of the proposed development will not exceed (i) .50 for the townhomes; (ii) 1.72 for the north condominium tower, (iii) 3.2 for the center condominium tower and (iv) 1.05 for the south condominium tower. Notwithstanding the foregoing, in no event shall the total floor area ratio for the planned development exceed 5.94 in the aggregate. All such calculations are with respect to total net site area (i.e., 130,114 square feet).

Existing Zoning Map.

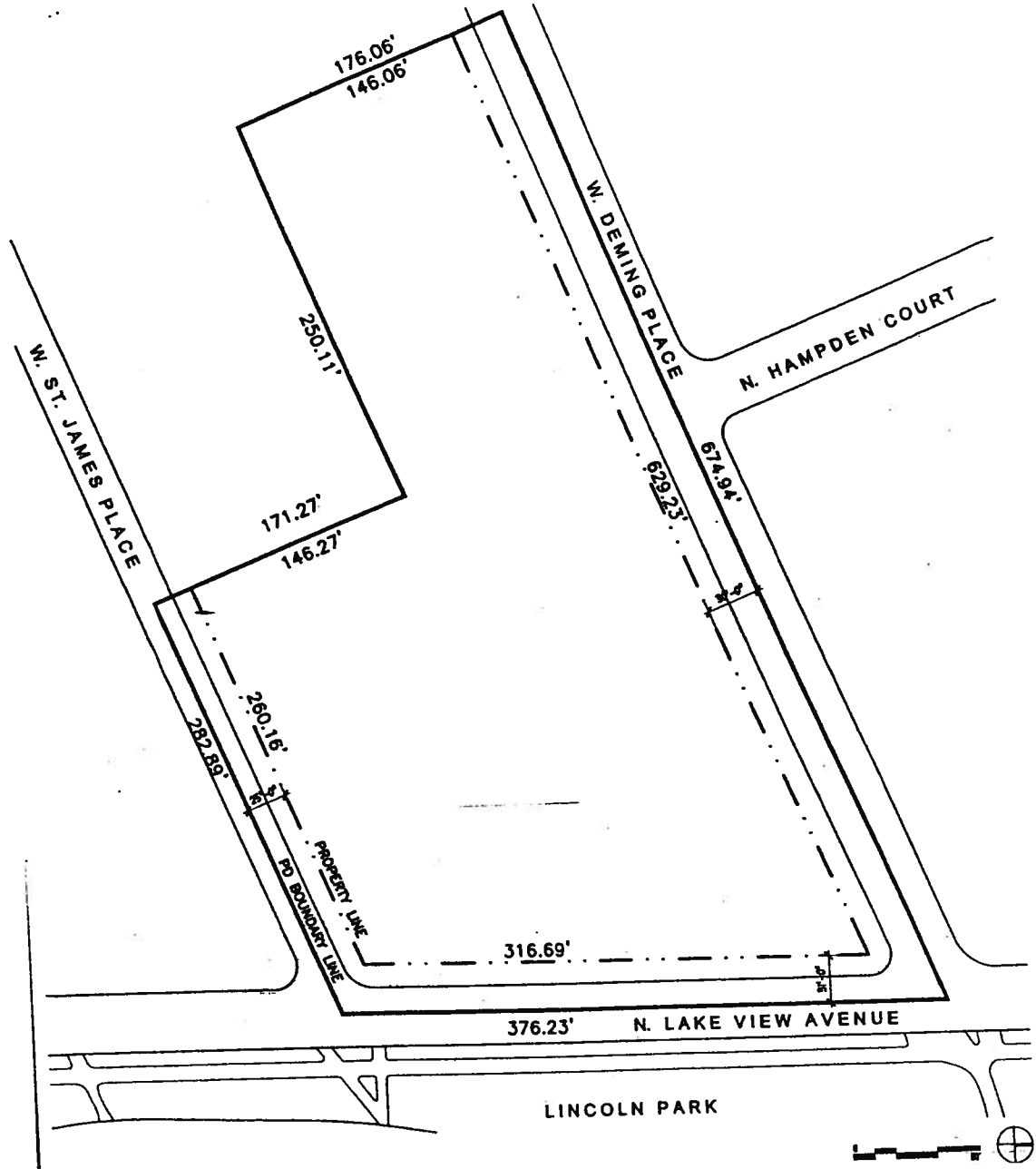


SITE ZONED R6

Existing Land-Use Map.



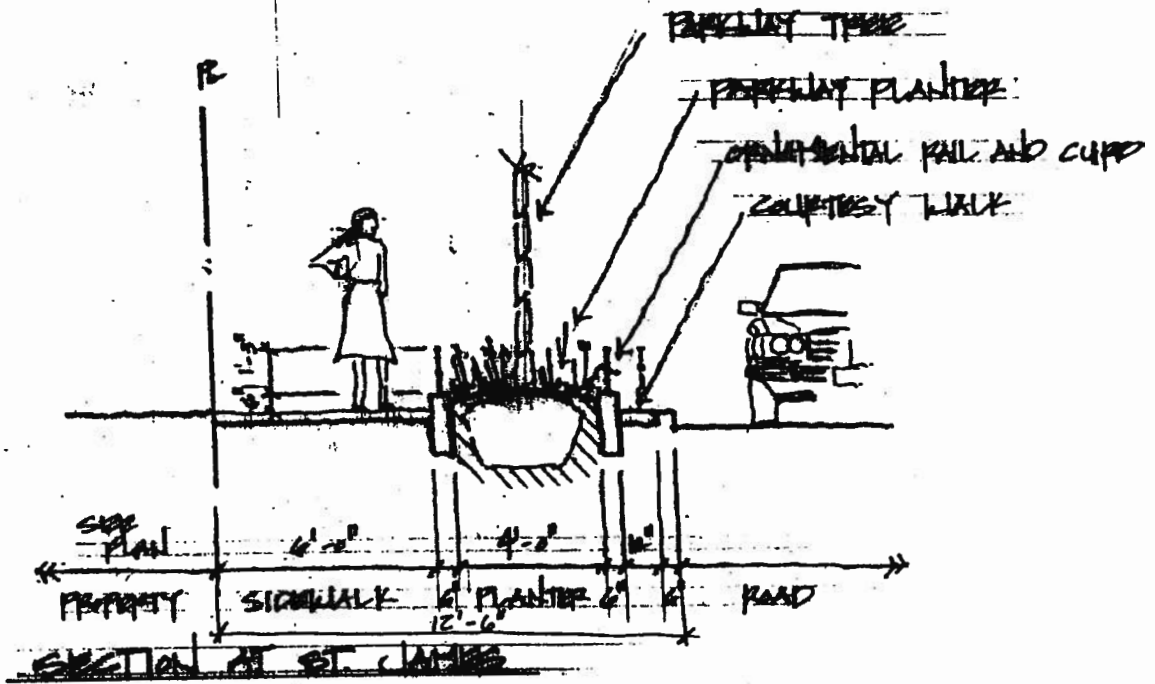
Planned Development Property Line  
And Boundary Map.



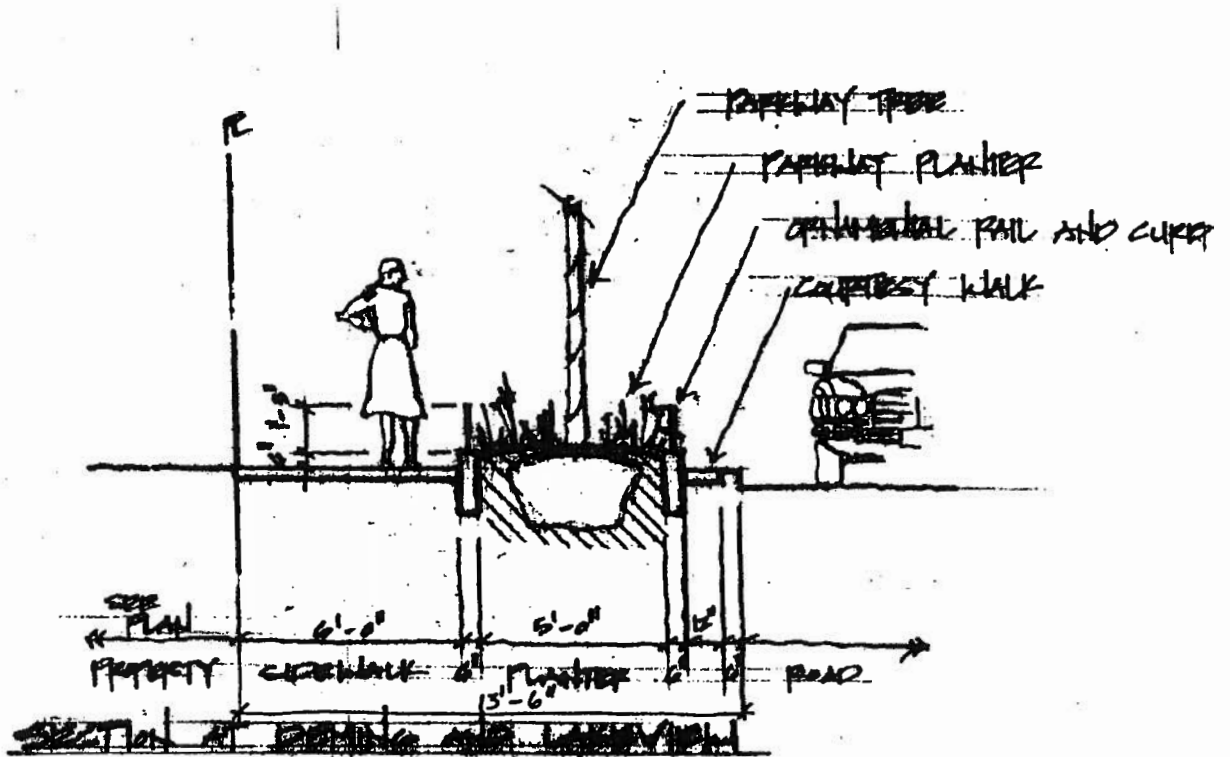




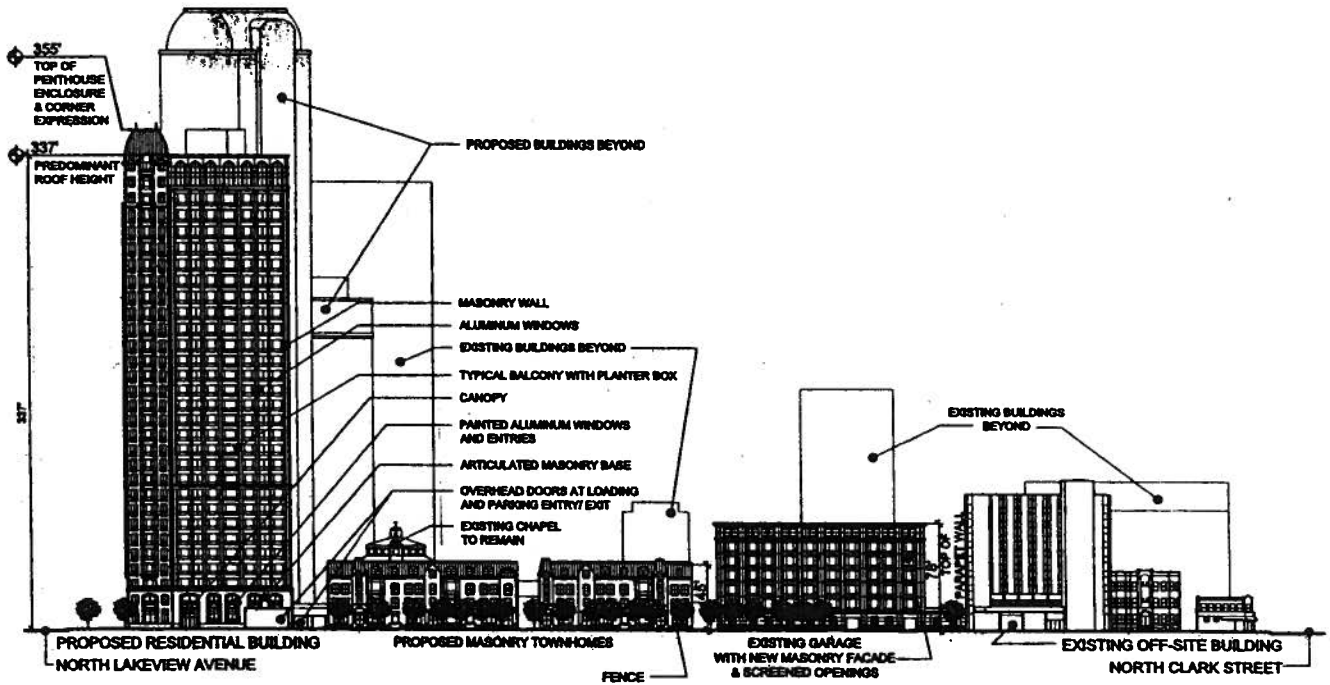
Landscape Plan.  
(Page 2 of 3)



Landscape Plan.  
(Page 3 of 3)



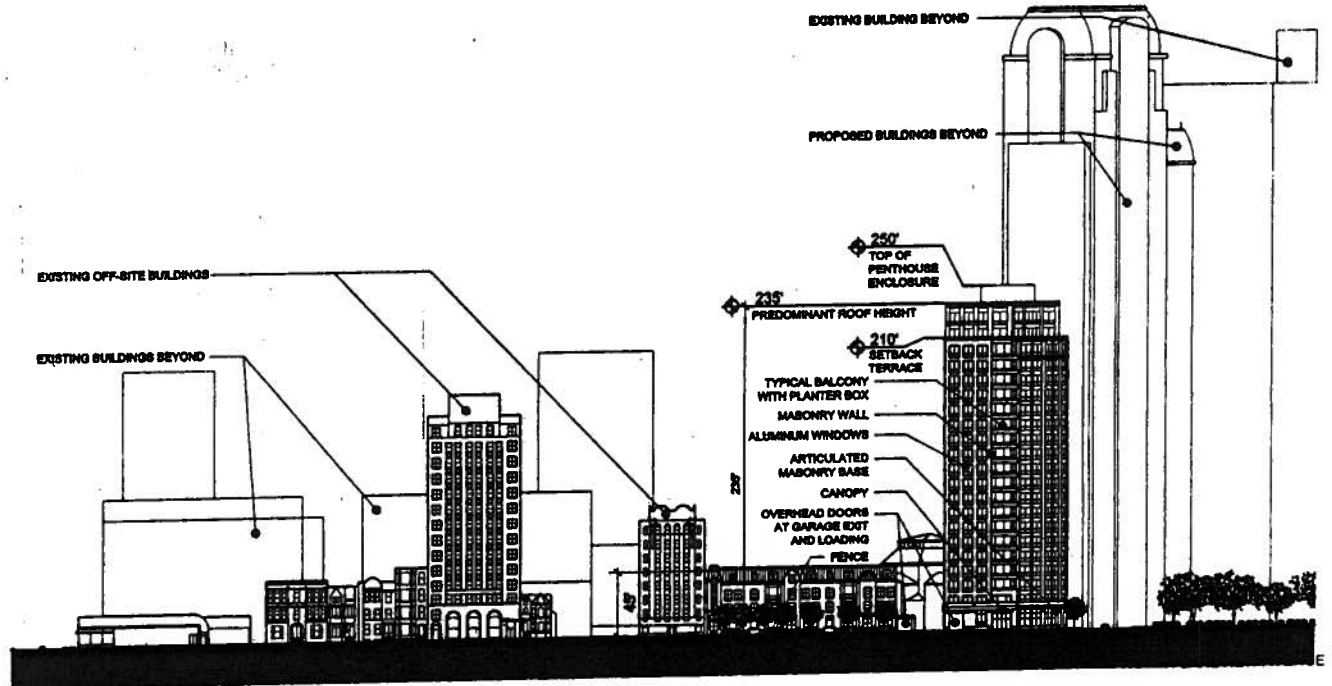
North Building Elevation.



WEST DEMING PLACE ELEVATION



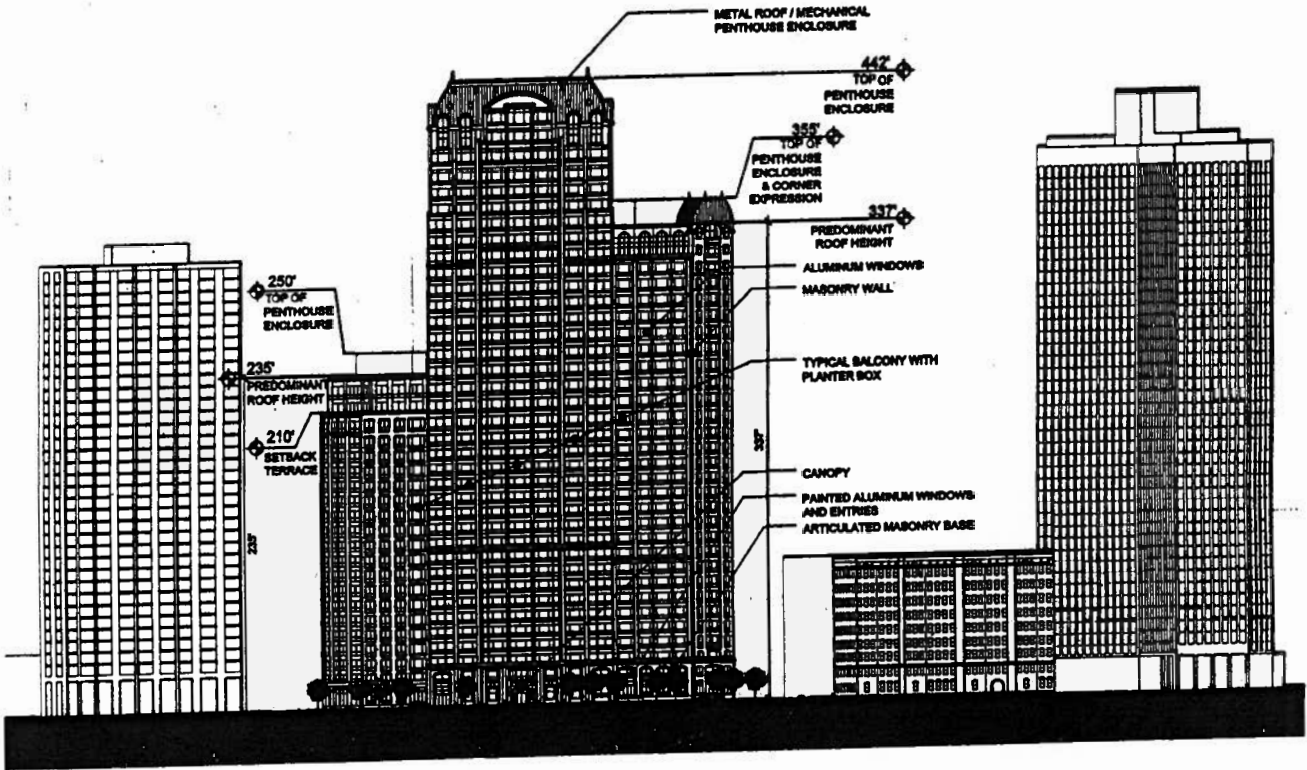
South Building Elevation.



WEST ST. JAMES PLACE ELEVATION



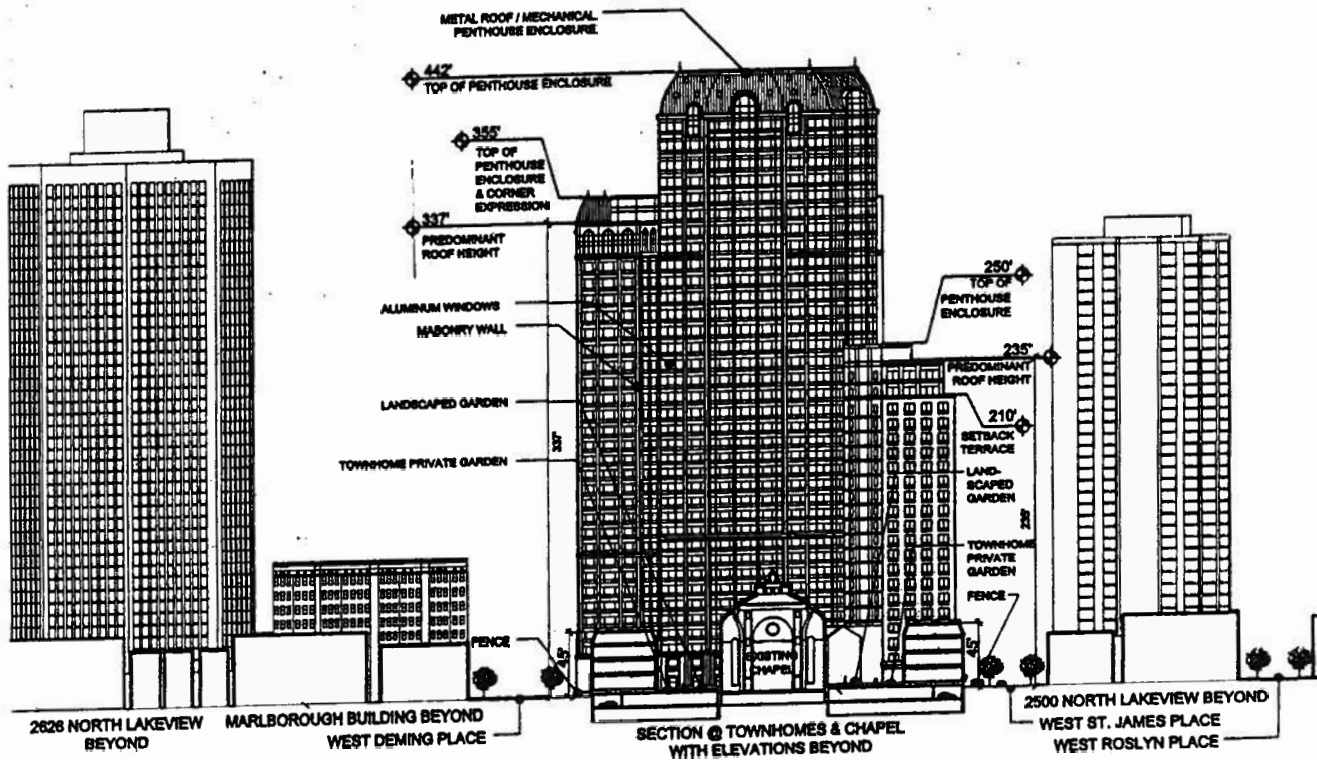
East Building Elevation.



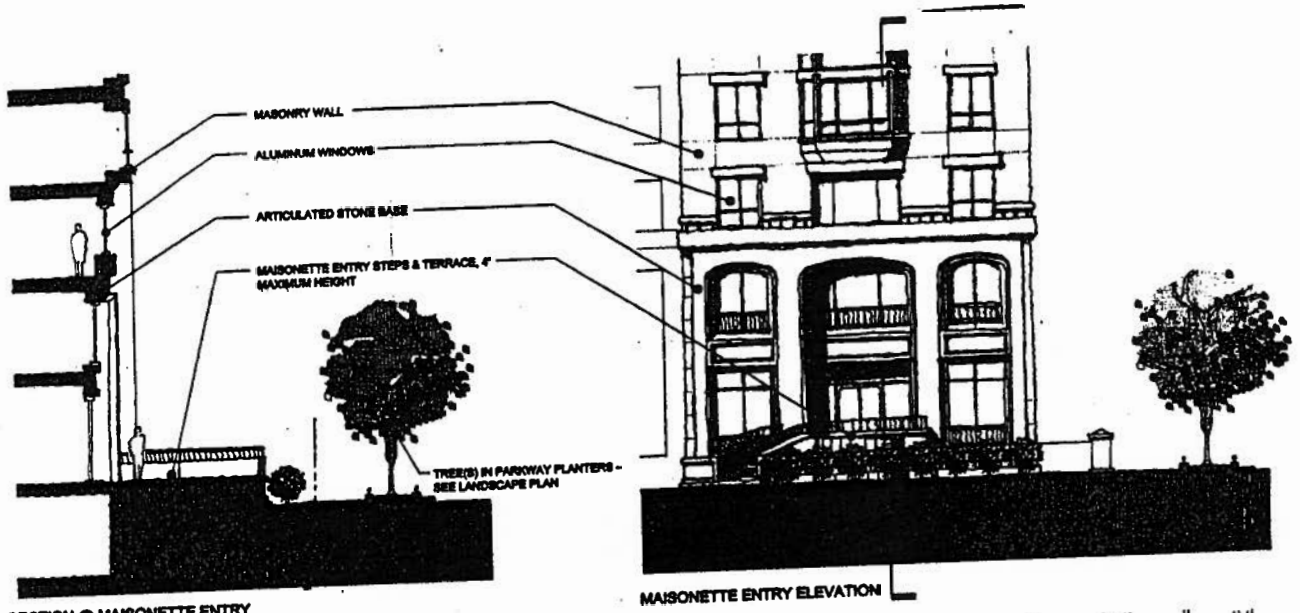
NORTH LAKEVIEW STREET WALL ELEVATION



West Building Elevation.

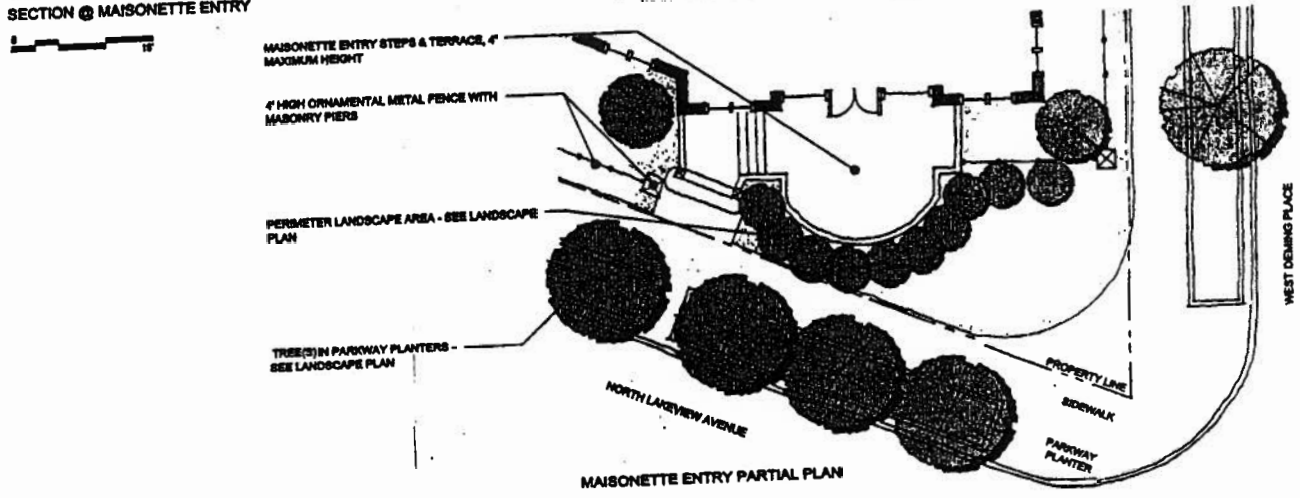


Maisonette Detail.



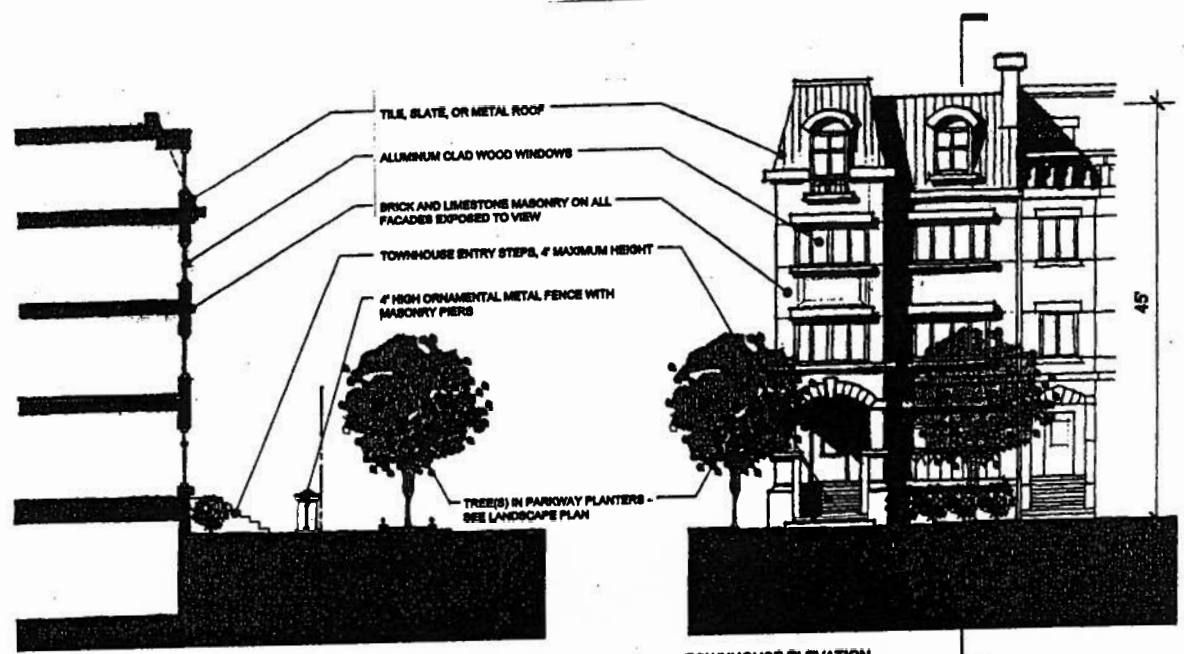
SECTION @ MAISONETTE ENTRY

MAISONETTE ENTRY ELEVATION



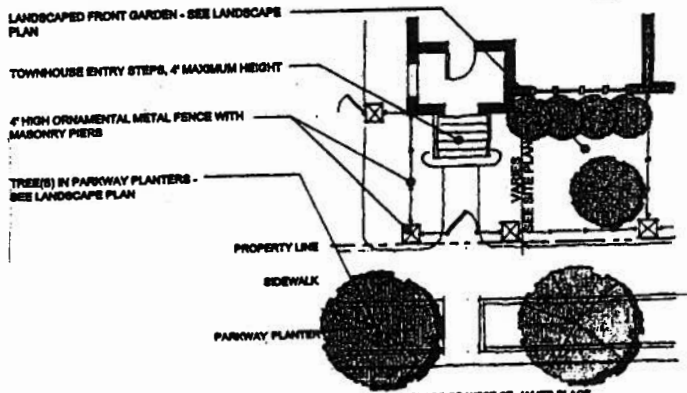
MAISONETTE ENTRY PARTIAL PLAN

Townhouse Detail.



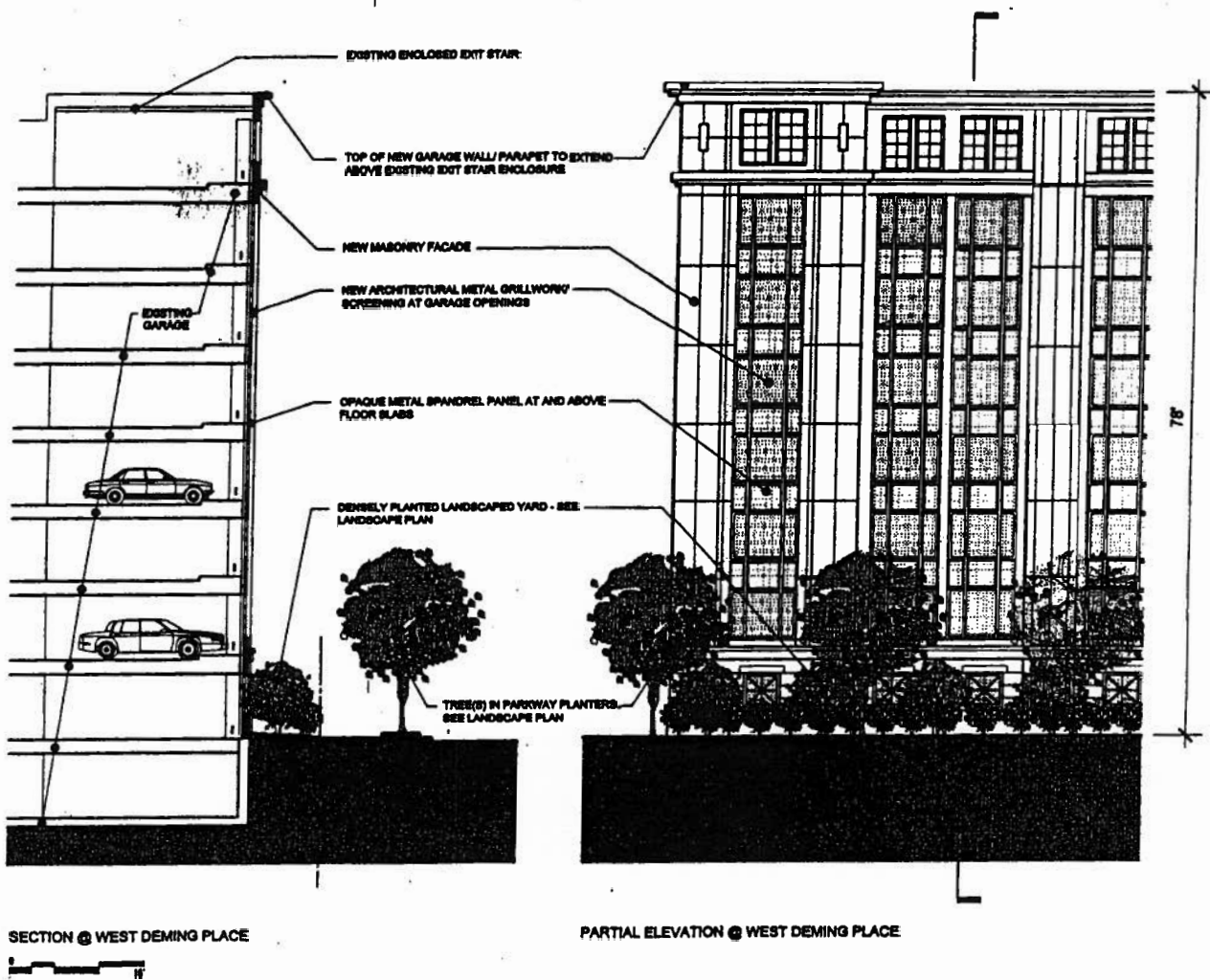
STREETFRONT SECTION @ TOWNHOUSE

TOWNHOUSE ELEVATION



PARTIAL TOWNHOUSE PLAN @ ENTRY

Existing Garage Detail.



Roof Plan.

