

PD 843

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City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Denise M. Casalino, P.E.
Commissioner

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March 25, 2005

Mr. Jon P. Wallenkamp
Kueny Architects, LLC
10505 Corporate Drive, Suite 100
Pleasant Prairie, WI 53158

Re: Administrative Relief Request for changes to Institutional Planned
Development No. 843

Dear Mr. Wallenkamp:

Please be advised that your request for changes to Institutional Planned Development No. 843 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.

Specifically, you requested alterations which include modifications to the proposed building materials and construction scheduling. Materials changes include the use of pre-cast concrete architectural panels instead of pre-cast concrete block and brick. Construction phasing changes include Phase I consisting of the Community Center/Gym and Phase II consisting of the Church.

The Department has reviewed the request and has determined that the proposed modifications would be consistent with what was previously approved within Institutional Planned Development No. 843. This decision is based upon revised drawings dated January 18, 2005 submitted by Kueny Architects on March 14, 2005. However, please be advised that any issues with signage will require submitting an application to the Department of Construction and Permits for approval and is not covered under this Administrative Relief.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Institutional Planned Development No. 843, I hereby approve the foregoing changes but no other changes to Institutional Planned Development No. 843.

Sincerely,

Denise M. Casalino, P.E.
Commissioner

DMC:SRP:md
cc: Mike Marmo, Kimberly Cook, DPD files



Reclassification Of Area Shown On Map Number 2-I.

(As Amended)

(Application Number A-4940) *IPD 843*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B3-1 General Retail District, M1-2 Restricted Manufacturing District and R4 General Residence District symbols as shown on Map Number 2-I in the area bounded by:

on the north by West Wilcox Street; on the east by the westerly right-of-way line of the Chicago Northwestern Railroad (said railroad being west of South Rockwell Street); and on the south by West Jackson Boulevard, lying east of a line extending from the north line of West Jackson Boulevard to the north line of the east/west public alley between West Jackson Boulevard and West Adams Street, said line being 316.1 feet west of the westerly right-of-way line of the Chicago Northwestern Railroad, lying east of a line extending from the north line of the east/west public alley between West Jackson Boulevard and West Adams Street to the south line of West Adams Street, said line being 398.2 feet west of the westerly right-of-way line of the Chicago Northwestern Railroad and lying east of a line extending from the south line of West Adams Street to the south line of West Wilcox Street, said line being 142.3 feet west of the westerly right-of-way line of the Chicago Northwestern Railroad,

to those of an Institutional Planned Development, which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made part thereof and to no others.

SECTION 2: This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 843.

Plan Of Development Statements.

1. The area delineated herein as an Institutional Planned Development consists of a net site area of approximately one hundred twenty-eight thousand nine hundred (128,900) square feet (two and ninety-six

hundredths (2.96) acres) and is controlled by the applicant, Mount Vernon Baptist Church (the "Applicant") for purposes of this Institutional Planned Development.

2. The Applicant shall obtain all applicable official reviews, approvals or permits which are necessary to implement this plan of development. Any dedication or vacation of streets, or alleys or easements or adjustment of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and if different than the Applicant, the legal title holders. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the property at the time applications for amendments, modification or changes (administrative, legislative or otherwise) to this planned development are made shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the Applicant or its successors and assigns.
4. This plan of development consists of these seventeen (17) statements; a Bulk Regulations and Data Table, an Existing Zoning Map, an Existing Land-Use Map, a Planned Development Property Line and Boundary Map, a Traffic Flow Drawing, a Site Plan, a Landscape Plan, Building Elevations identifying color and materials, Signage, Announcement Signage Panel, said exhibits prepared by Harding Associates dated July 18, 2002. Full size sets of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is in conformity with the intent and purposes of the Chicago Zoning Ordinance (Title 17 of the Municipal Code of Chicago) and all requirements thereof and satisfies the established criteria of a planned development. These and no other zoning controls shall apply to the area delineated herein.
5. The following uses shall be permitted in the area delineated herein: assembly spaces, day care related uses, offices, classrooms, gymnasium, accessory uses, open space, and accessory parking.
6. Identification signs shall be permitted within the planned development

subject to review and approval of the Department of Planning and Development. Temporary construction signs shall be permitted within the planned development subject to the approval of the Department of Planning and Development.

7. Ingress and egress shall be subject to the review and approval of the Department of Transportation, Bureau of Traffic, and the Department of Planning and Development. Ingress and egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. Closure of all or part of any public streets or alleys during construction shall be subject to the review and approval of the Chicago Department of Transportation.
8. Off-street parking and loading shall be provided in compliance with this plan of development subject to review of the Departments of Transportation and Planning and Development. The minimum number of off-street parking spaces shall be determined in accordance with the attached Bulk Regulations and Data Table.
9. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
10. The maximum permitted floor area ratio ("F.A.R.") for the entire parcel shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definition in the City of Chicago Zoning Ordinance shall apply.
11. Improvements of the property shall be designed and installed in substantial conformance with the Bulk Regulations and Data Table, the Site Plan, the Landscape Plan and the Building Elevations attached hereto and made a part hereof. In addition, parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Landscape Plan.
12. Improvements will be done in phases. Construction of the proposed church, all paving, courtyard and landscaping as indicated on the attached Site Plan and Land-Use Plan will constitute Phase I. The proposed gymnasium and community center structures as indicated on the Site Plan and Land-Use Plan will be Phase II.

13. Issuance of a building permit shall be contingent upon completion of any required environmental clean up pursuant to requirements.
14. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and is consistent with the nature of the improvements contemplated in this planned development. Any such modification of the requirements of this Statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the building in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use reasonable efforts to design, construct and maintain the building located within this planned development in an energy efficient manner consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigerating and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S"). Copies of these standards may be obtained from the Department of Planning and Development.
16. The Applicant acknowledges that it is in the public interest to design, construct and maintain the building in a manner which promotes, enables and maximizes universal access throughout the property. Plans for the building and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
17. Unless substantial construction of the improvements contemplated by this planned development has commenced within six (6) years following adoption of this planned development, and unless completion thereof is diligently pursued, then this planned development shall expire and the property shall automatically revert to that of its preexisting B3-1 General Retail District Classification.

[Existing Zoning Map; Existing Land-Use Map; Property Line and Boundary Map; Traffic Flow Drawing; Site Plan; Landscape Plan; Building Elevations; Signage; and Announcement Signage Panel referred to in these Plan of Development Statements printed on pages 93185 through 93194 of this *Journal*.]

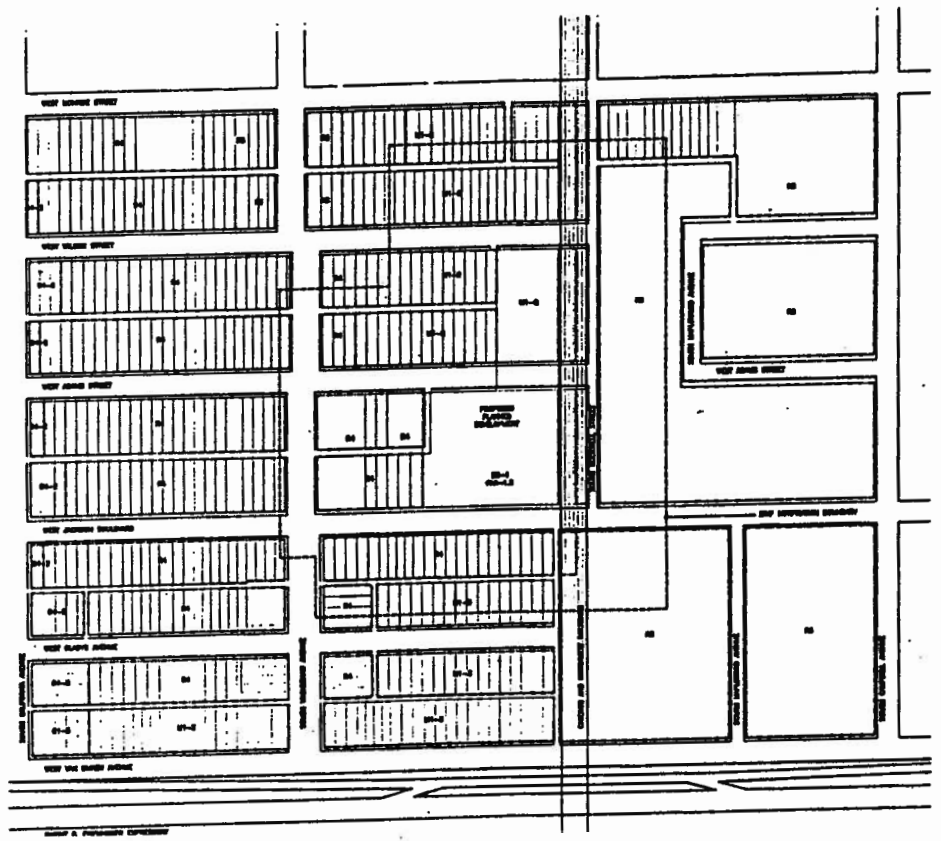
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional Planned Development Number 843.

Bulk Regulations And Data Table.

| | |
|--|---|
| Gross Site Area: | 140,910 square feet (3.24 acres). |
| Net Site Area: | Total = Gross Site Area (140,910 square feet) - (Area in Public Right-of-Way) (12,010 square feet) = Net Site area of 128,900 square feet (2.96 acres). |
| Phase I Construction: | 33,660 square feet. |
| Phase II Construction: | 37,500 square feet. |
| Total: | 71,160 square feet. |
| Maximum Floor Area Ratio: | 1.2. |
| Maximum Site Coverage: | In accordance with Site Plan. |
| Minimum Number of Off-Street Loading Spaces: | 1 berth 10 feet by 25 feet. |
| Minimum Number of Off-Street Parking Spaces: | 147. |
| Maximum Building Height: | In accordance with Building Elevations. |

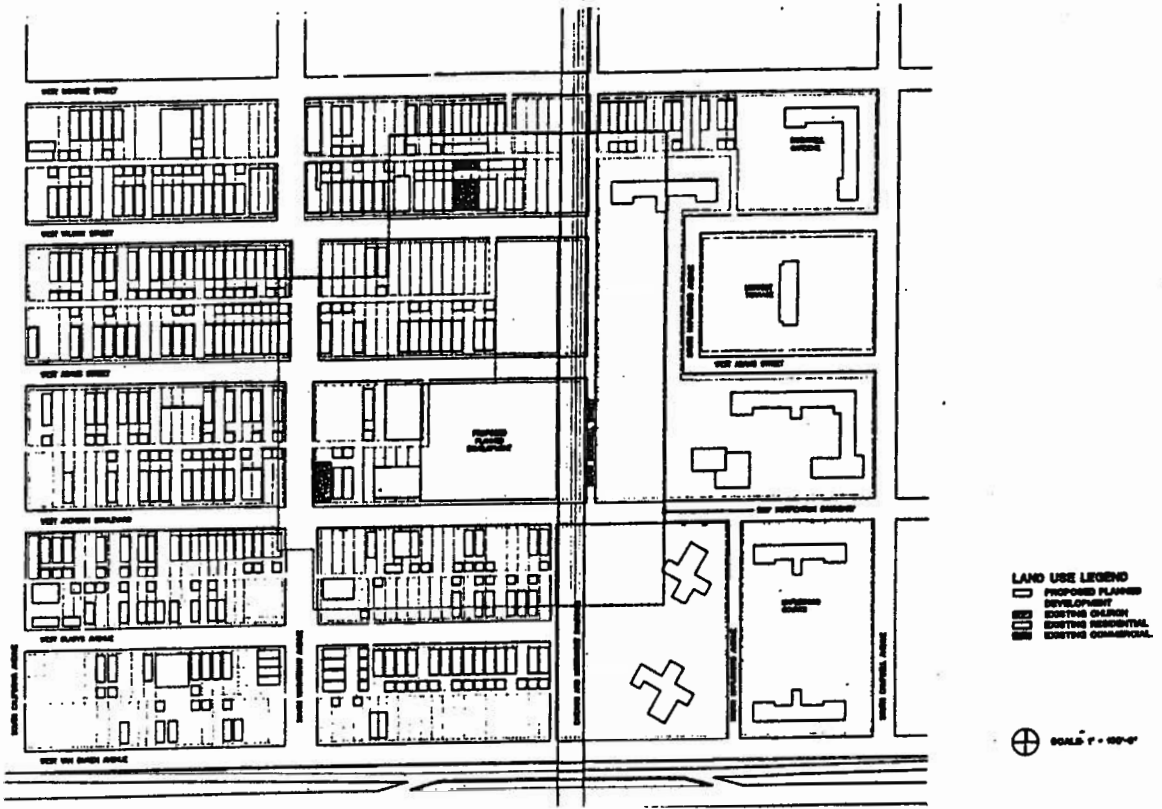
Existing Zoning Map.



ZONING LEGEND
R-1 FAR-15
R-2 FAR-15
R-3 FAR-15
R-4 FAR-15
R-5 FAR-15
R-6 FAR-15
R-7 FAR-15
R-8 FAR-15
R-9 FAR-15
R-10 FAR-15
R-11 FAR-15
R-12 FAR-15
R-13 FAR-15
R-14 FAR-15
R-15 FAR-15
R-16 FAR-15
R-17 FAR-15
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R-99 FAR-15
R-100 FAR-15

⊕ S.O.L.D. 7 - 10-0-0

Existing Land-Use Map.

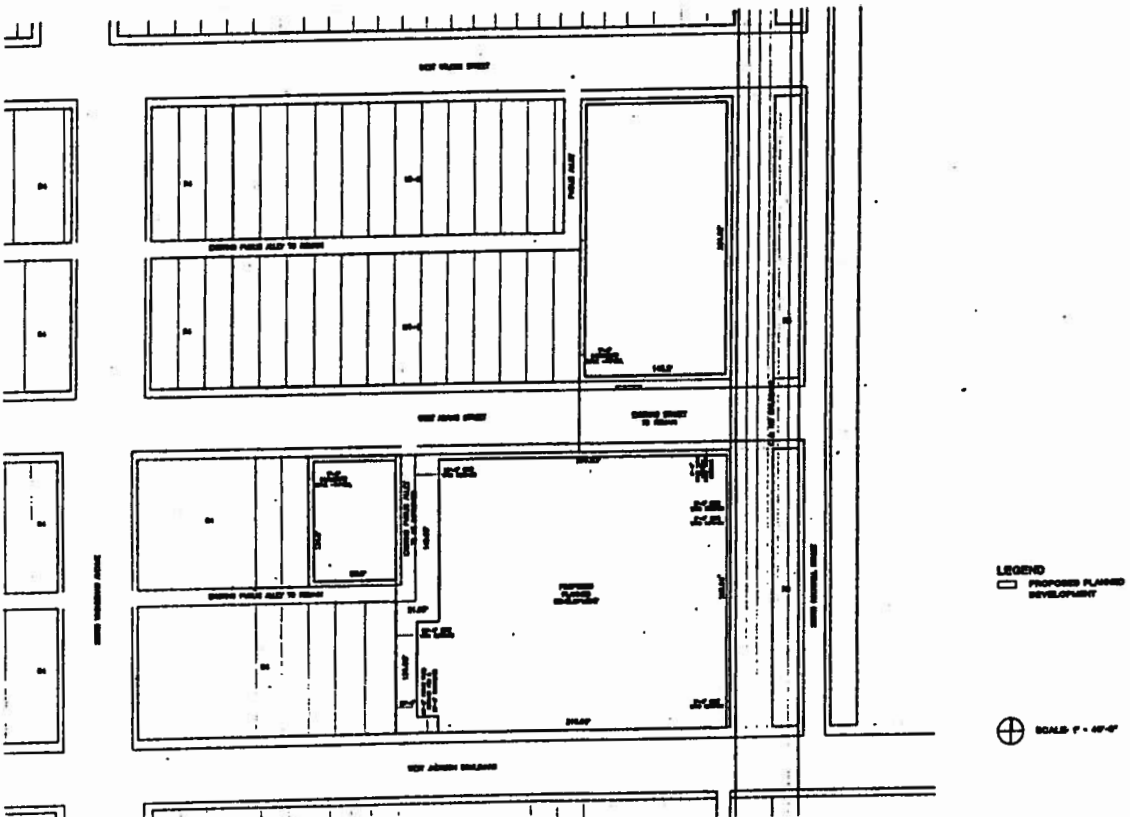


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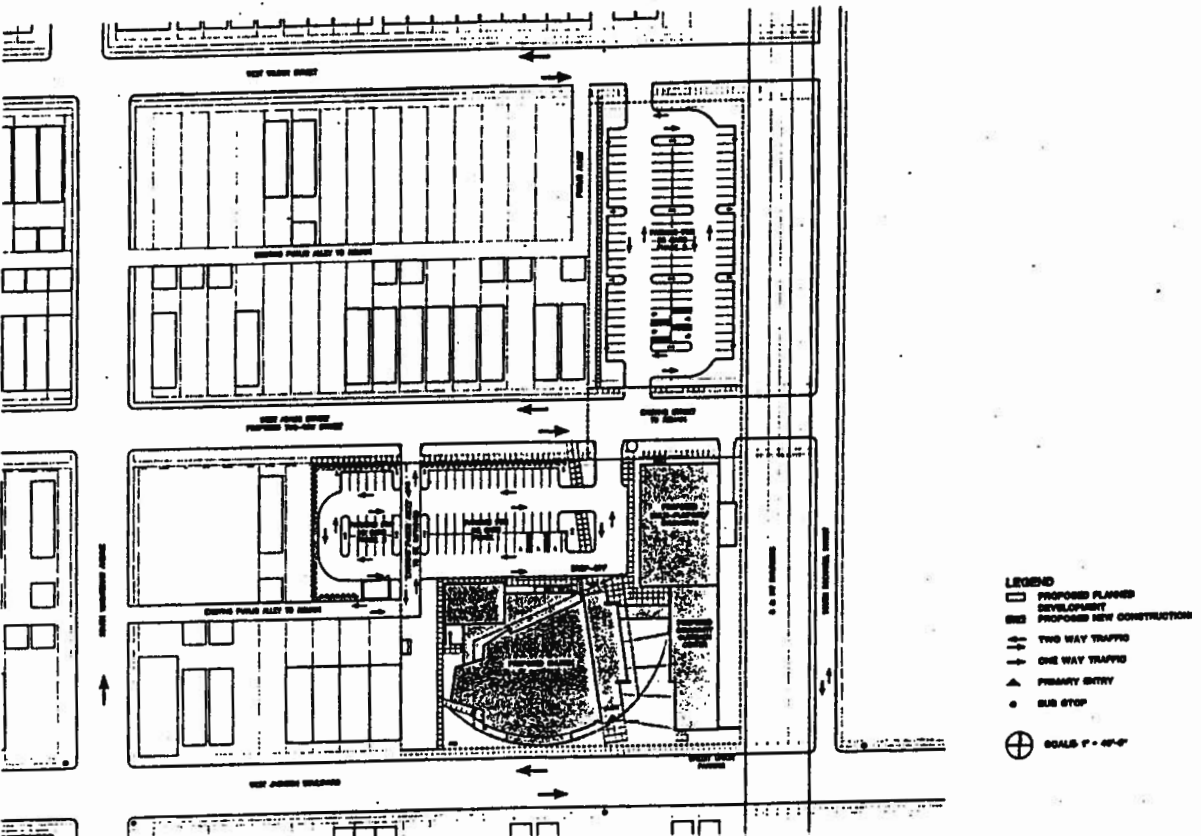
REPORTS OF COMMITTEES

93187

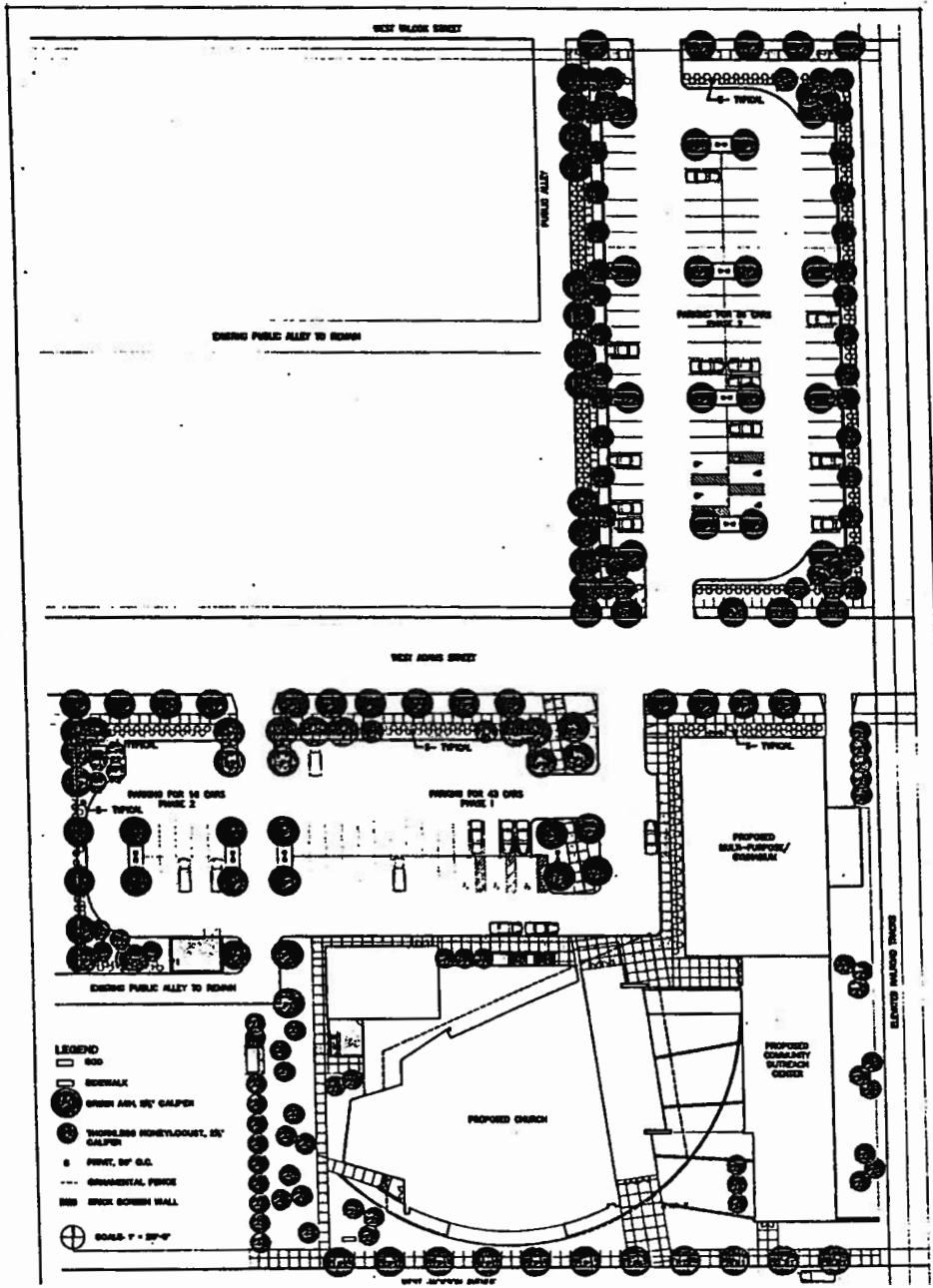
Property Line And Boundary Map.



Traffic Flow Drawing.



Landscape Plan.

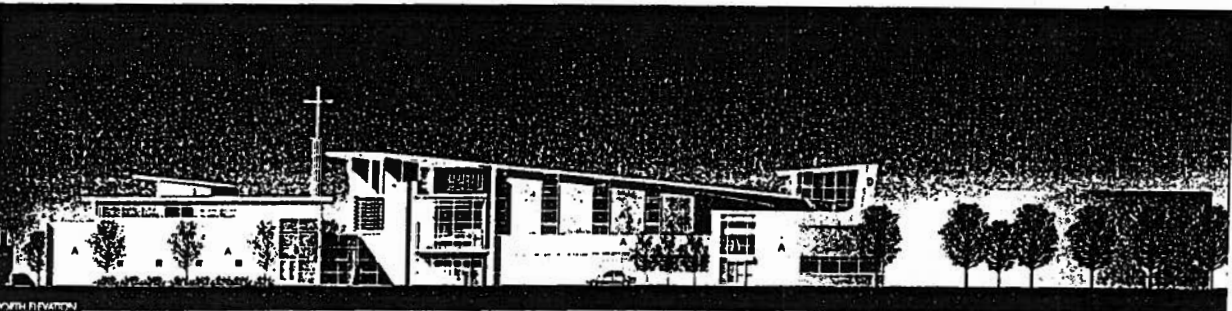
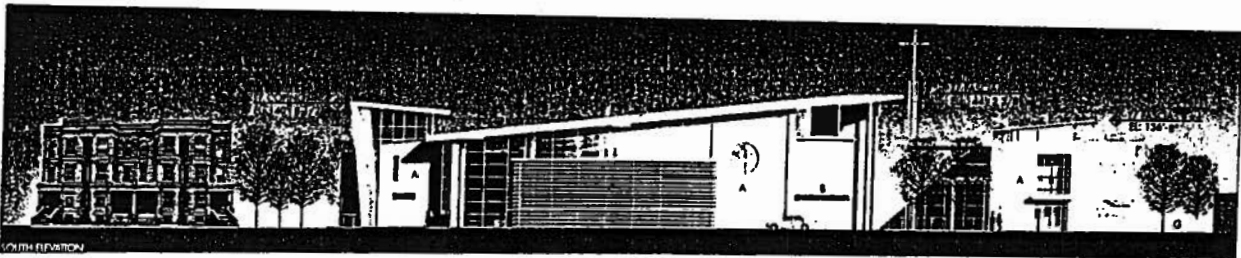


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REPORTS OF COMMITTEES

93191

North/South Building Elevations.



BUILDING MATERIAL LEGEND

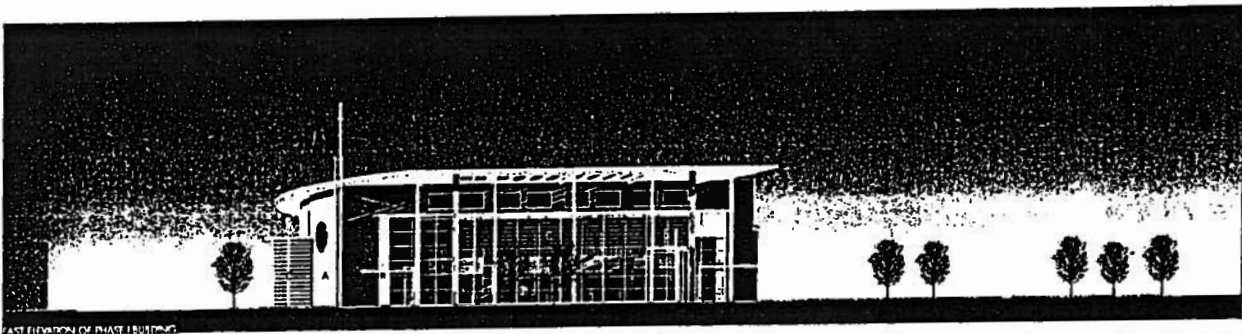
A FACE BRICK B CLEAR GLASS IN PREFINISHED ALUMINUM CURTAIN WALL C PREFINISHED ALUMINUM SUNSHADE D PREFINISHED ALUMINUM WALL PANEL E PREFINISHED ALUMINUM FASCIA F ORNAMENTAL STEEL FENCE G MASONRY WALL

93192

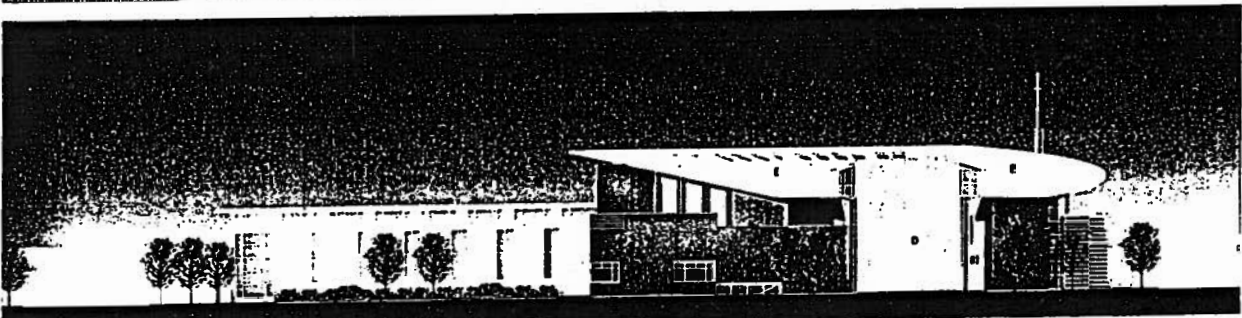
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9/4/2002

East/West Building Elevations.



EAST ELEVATION OF INAST BUILDING



WEST ELEVATION

BUILDING MATERIAL LEGEND

- A FACE BRICK
- B CLEAR GLASS IN PREFINISHED ALUMINUM CURTAIN WALL
- C PREFINISHED ALUMINUM SUNSHADE
- D PREFINISHED ALUMINUM WALL PANEL
- E PREFINISHED ALUMINUM FASCIA
- F ORNAMENTAL STEEL FENCE
- G MASONRY WALL

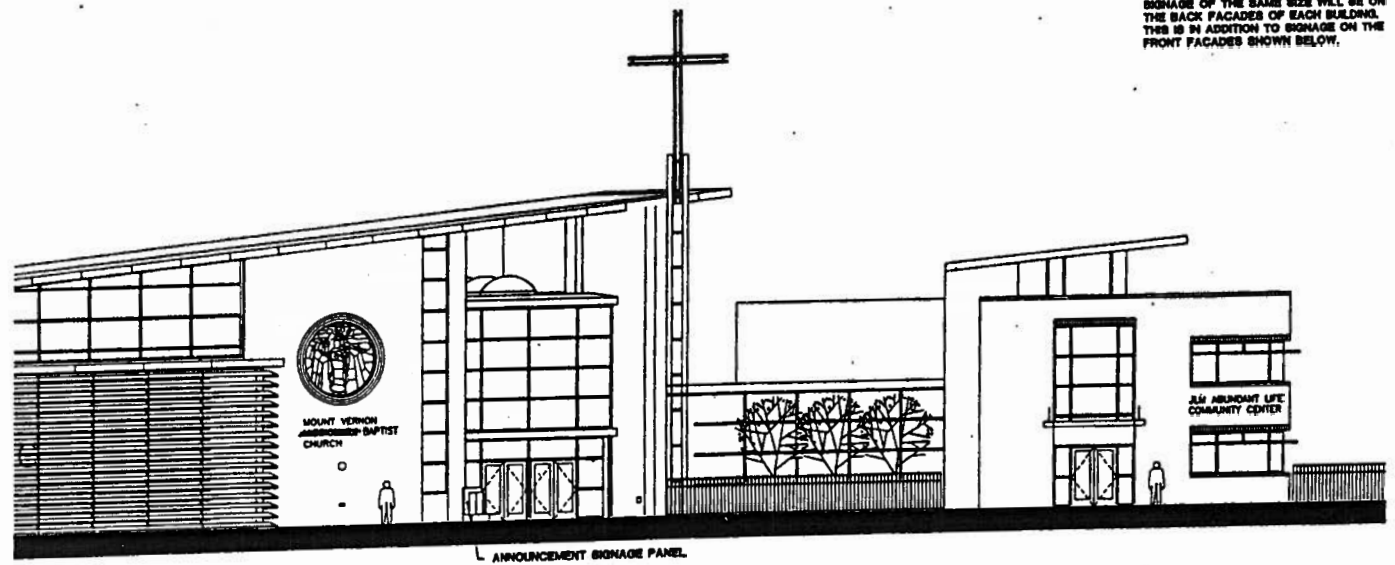
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REPORTS OF COMMITTEES

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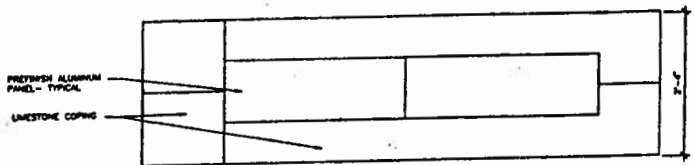
Signage.

GENERAL NOTES:
SIGNAGE OF THE SAME SIZE WILL BE ON
THE BACK FACADES OF EACH BUILDING.
THIS IS IN ADDITION TO SIGNAGE ON THE
FRONT FACADES SHOWN BELOW.

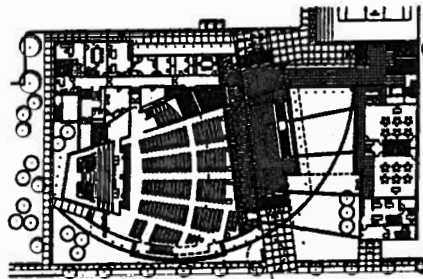


ELEVATION
SCALE: 1/4" = 1'-0"

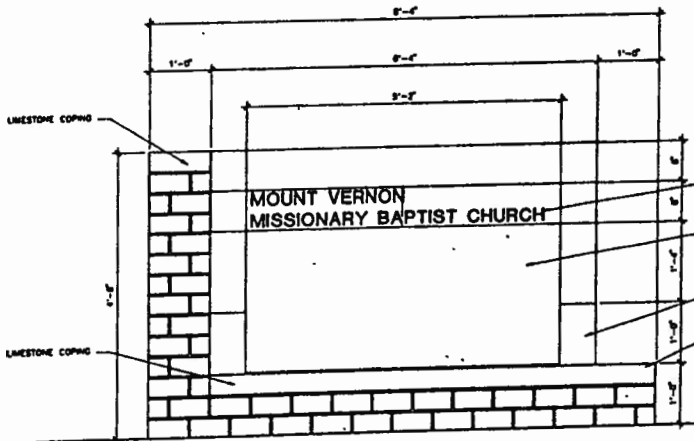
Announcement Signage Panel.



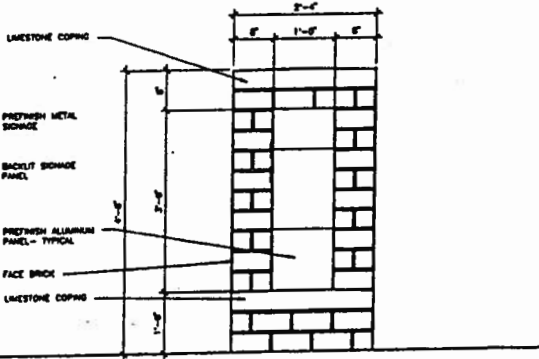
SIGNAGE PLAN
SCALE 1/4" = 1'-0"



KEY PLAN
NO SCALE



SIGNAGE FRONT ELEVATION



SIGNAGE SIDE ELEVATION
SCALE 1/4" = 1'-0"