

PD 842

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

February 23, 2016

John J. George
Schuyler, Roche & Crisham, P.C.
Two Prudential Plaza
180 North Stetson Avenue
Suite 3700
Chicago, IL 60601

**Re: Administrative Relief request for Institutional Planned Development No. 842
Subarea A, Conversion of Old St. Patrick's Rectory into a Community Center at
718 West Adams Street**

Dear Mr. George:

Please be advised that your request for a minor change to Institutional Planned Development No. 842 ("PD 842), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 842.

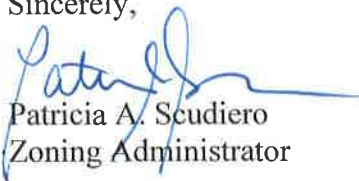
Your client and the owner of all of the property within PD 842, The Catholic Bishop of Chicago, is seeking administrative relief for the proposed conversion of the existing Old St. Patrick's Rectory into a community center. The building is located at 718 W. Adams St., within Subarea A of the Planned Development. The proposed scope of work includes the restoration of the masonry façade, new windows, and a new copper roof on the front (south) elevation and the reconstruction of the east, west and north elevations. The building footprint will change slightly, and the building will remain attached to the church at the existing 2nd floor location. The revised, attached Site Plan, East, West, North and South Elevations, dated February 1, 2016, shall be inserted into the main file.

Subarea A permits a church, school, auditorium, rectory, gymnasium, office, cafetorium, accessory parking and related uses. The proposed Old St. Pat's Community Center is a permitted related use.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed conversion of the existing rectory into a community center will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Institutional Planned Development No. 842, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

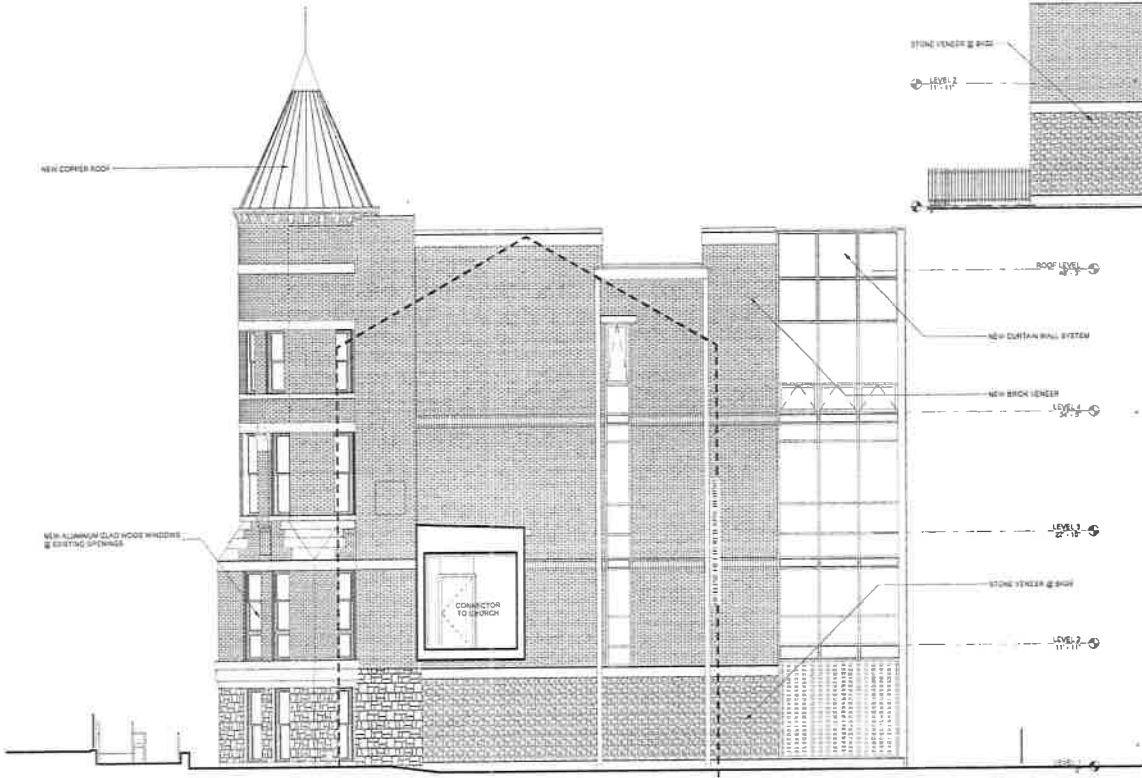
Sincerely,



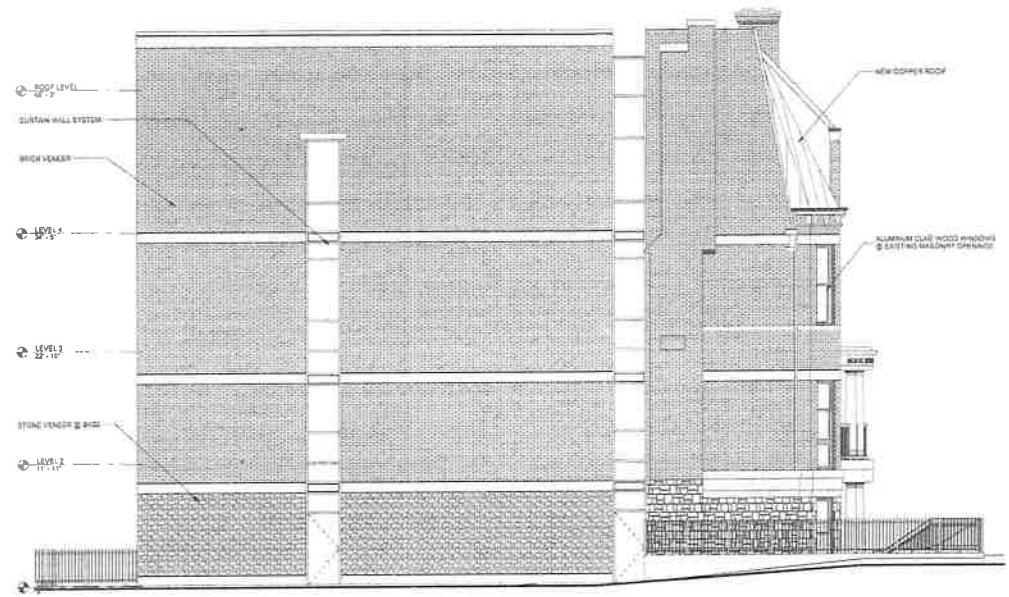
Patricia A. Scudiero
Zoning Administrator

PAS:PM:tm

C: Mike Marmo, Erik Glass, Fernando Espinoza, Main file



1 East Elevation - PD
 5/16" = 1'-0"



2 West Elevation - PD
 5/16" = 1'-0"

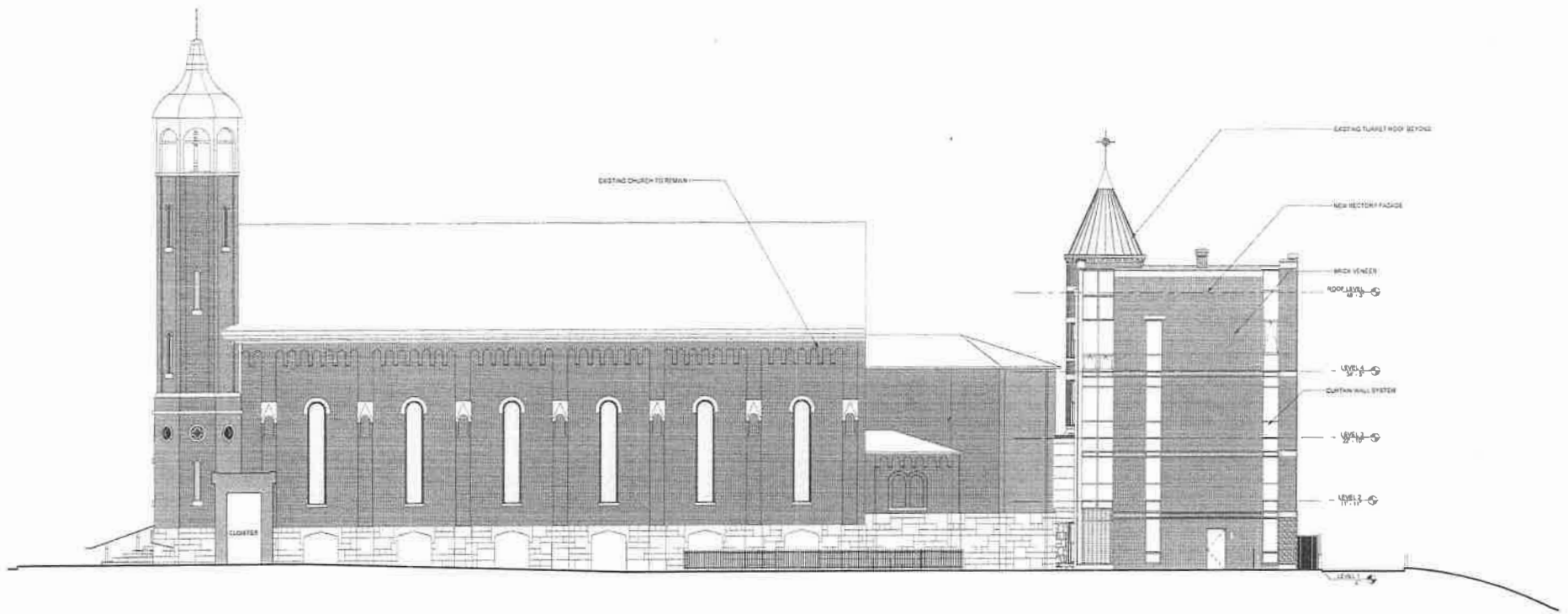
ECKENHOFF SAUNDERS ARCHITECTS

© 2014 Eckenhoff Saunders Architects, Inc.

East / West Elevations | SD-02

Old St. Pats Church
 Old St. Patrick's Community Center

718 W. Adams St. Chicago, IL 60661 Project No. 15616 Date: 02/26/14



1 North Site Elevation



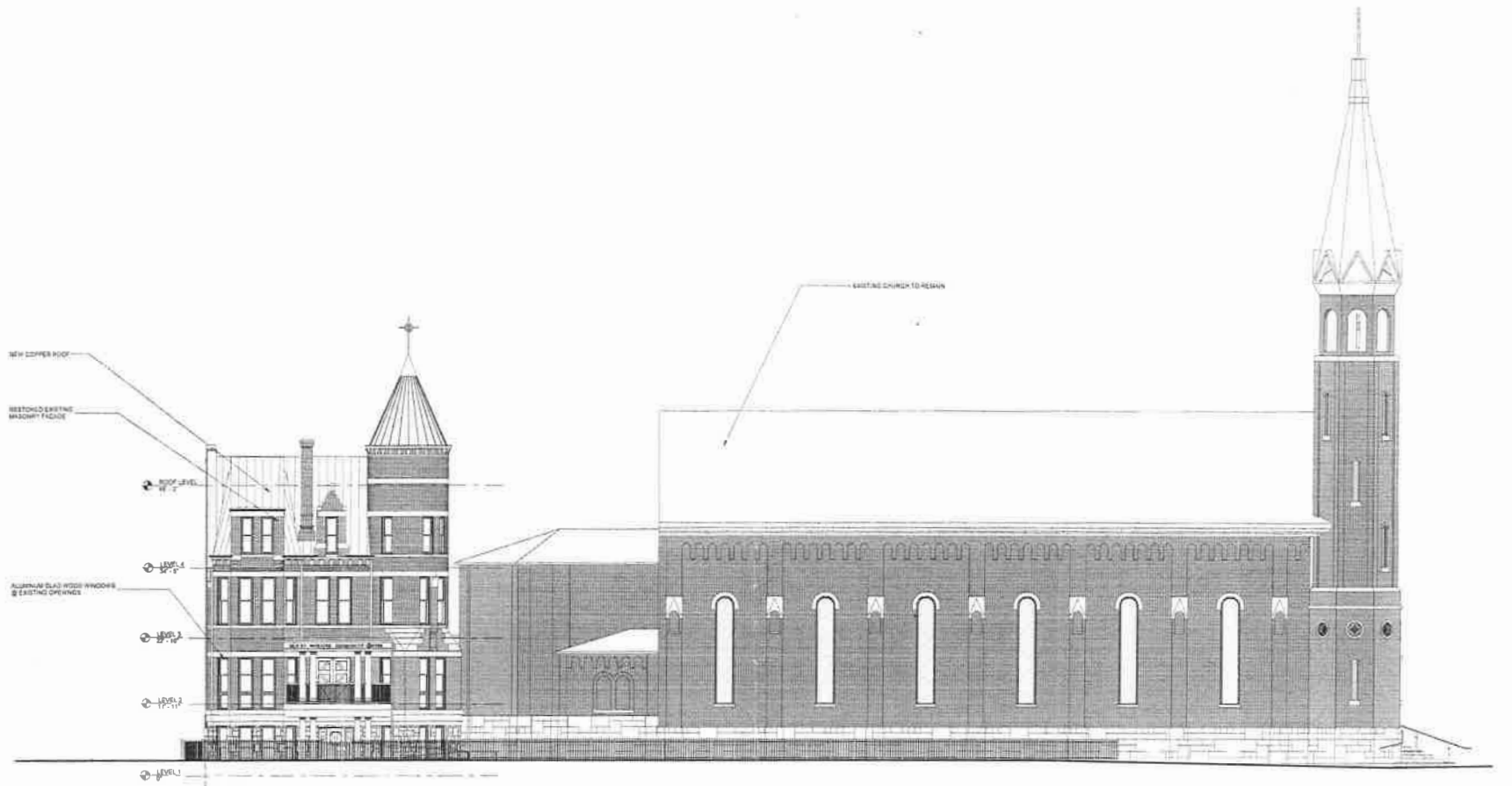
North Site Elevation | SD-03

ECKENHOFF SAUNDERS ARCHITECTS

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Old St. Pats Church
Old St. Patrick's Community Center

716 W Adams St. | Project No. 10016 | Date: 2.11.16
Chicago, IL 60601



1 South Site Elevation
 1/8" = 1'-0"

South Site Elevation | SD-04

ECKENHOFF SAUNDERS ARCHITECTS

Old St. Pats Church
 Old St. Patrick's Community Center

718 W. Adams St. Chicago, IL 60661 Project No. 18018 Date 2.1.18



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

February 23, 2016

John J. George
Schuyler, Roche & Crisham, P.C.
Two Prudential Plaza
180 North Stetson Avenue
Suite 3700
Chicago, IL 60601

**Re: Administrative Relief request for Institutional Planned Development No. 842
Subarea B, 625 W. Adams Street**

Dear Mr. George:

Please be advised that your request for a minor change to Institutional Planned Development No. 842 ("PD 842"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 842.

Your client, White Oak Realty Partners CA Associates, is the contract purchaser of Subarea B, and they are seeking administrative relief for design revisions and parking reallocations for a proposed office building at 625 W. Adams St. The sole owner of PD 842, the Catholic Bishop of Chicago, has provided their consent to this request. The following modifications are proposed:

- The overall size and height of the office building has been reduced from 22 floors (320 feet) to 20 floors (273 feet) and the number of office floors has been reduced from 16 floors to 14 floors.
- A two-story terrace has been added at the north end of the building at Level 11.
- An amenity deck has been added to the south end at Level 7.
- The parking level cladding on primarily the east and south (alley) elevations is being changed to perforated metal panels in place of louvers. A similar substitution is proposed for a small portion along the west elevation.
- On the east (alley) elevation at the ground level, the wing wall has been eliminated and a railing has been added.
- On the west elevation, the first two floors will be clad in either stone or metal panel. No material was previously specified.
- The green roof and mechanical equipment has been modified, however, the green roof still meets the 50% net roof area requirement.


- The total number of parking spaces within Subarea B will remain 408, the maximum number of non-accessory spaces will remain 62, and the maximum number of accessory spaces for retail will remain 1. However the 345 total accessory church and office parking spaces will be reallocated as follows: For church use: Monday through Friday: 100 accessory spaces after 6:00 p.m., Saturday: 200 accessory spaces and Sunday: 345 accessory spaces. For office use: Monday through Friday: 345 accessory spaces before 6:00 p.m., 245 accessory spaces after 6:00 p.m., Saturday: 145 accessory spaces, and Sunday: 0 accessory spaces. Pursuant to Statement Number 5 of the PD, up to 45% of the number of accessory parking spaces may continue to be leased out on a daily, weekly, or monthly basis to persons who are not tenants, patrons, employees, or guests of the principal use.

The revised, attached, Roof Plan, East Elevation, South Elevation, West Elevation, and North Elevation, dated December 21, 2015, and Perspective at alley off of Adams Street, dated February 17, 2016, shall be inserted into the main file.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed design revisions and parking reallocations will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Institutional Planned Development No. 842, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:PM:tm

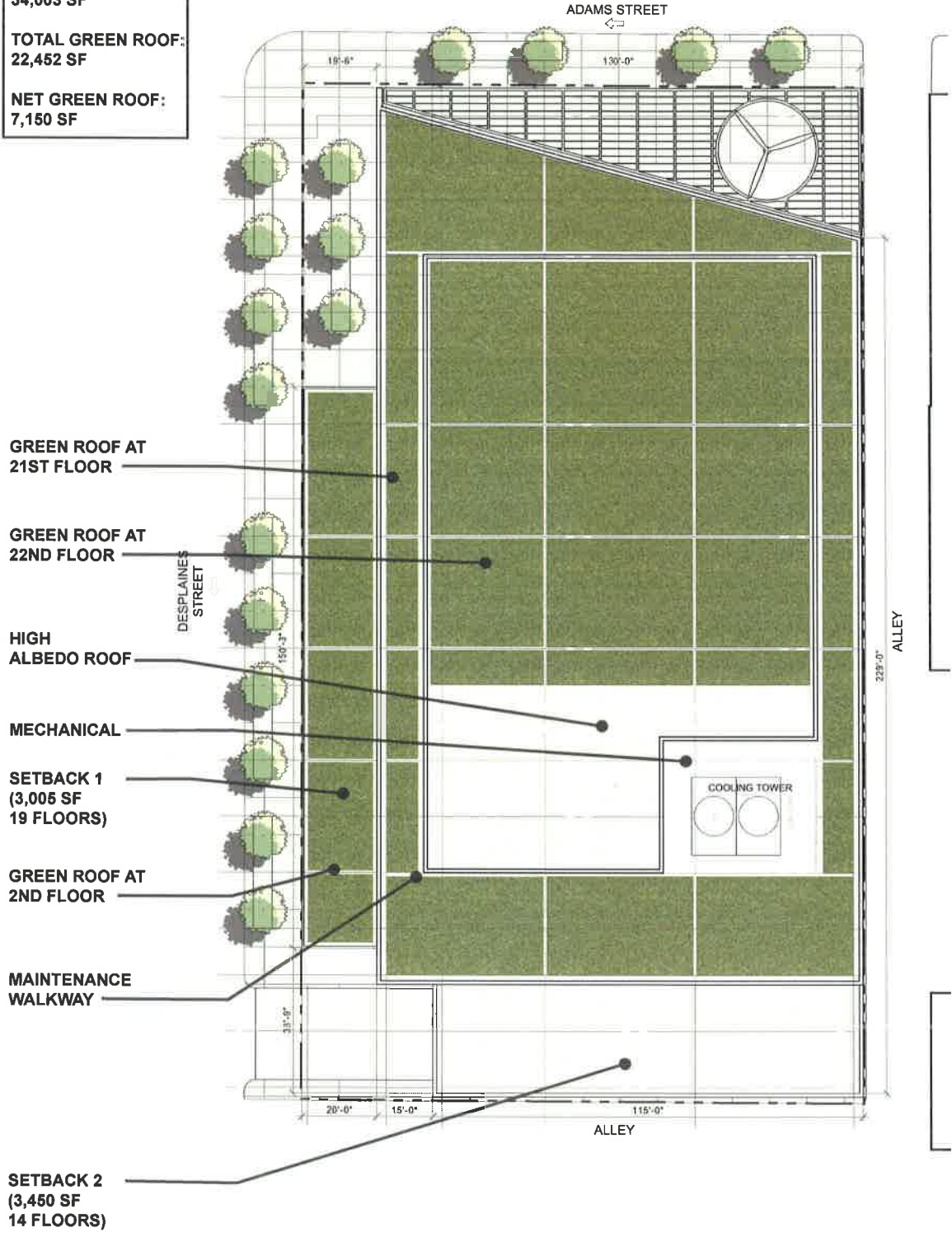
C: Mike Marmo, Erik Glass, Fernando Espinoza, Main file

GROSS ROOF AREA:
37,562 SF

NET ROOF AREA:
34,003 SF

TOTAL GREEN ROOF:
22,452 SF

NET GREEN ROOF:
7,150 SF

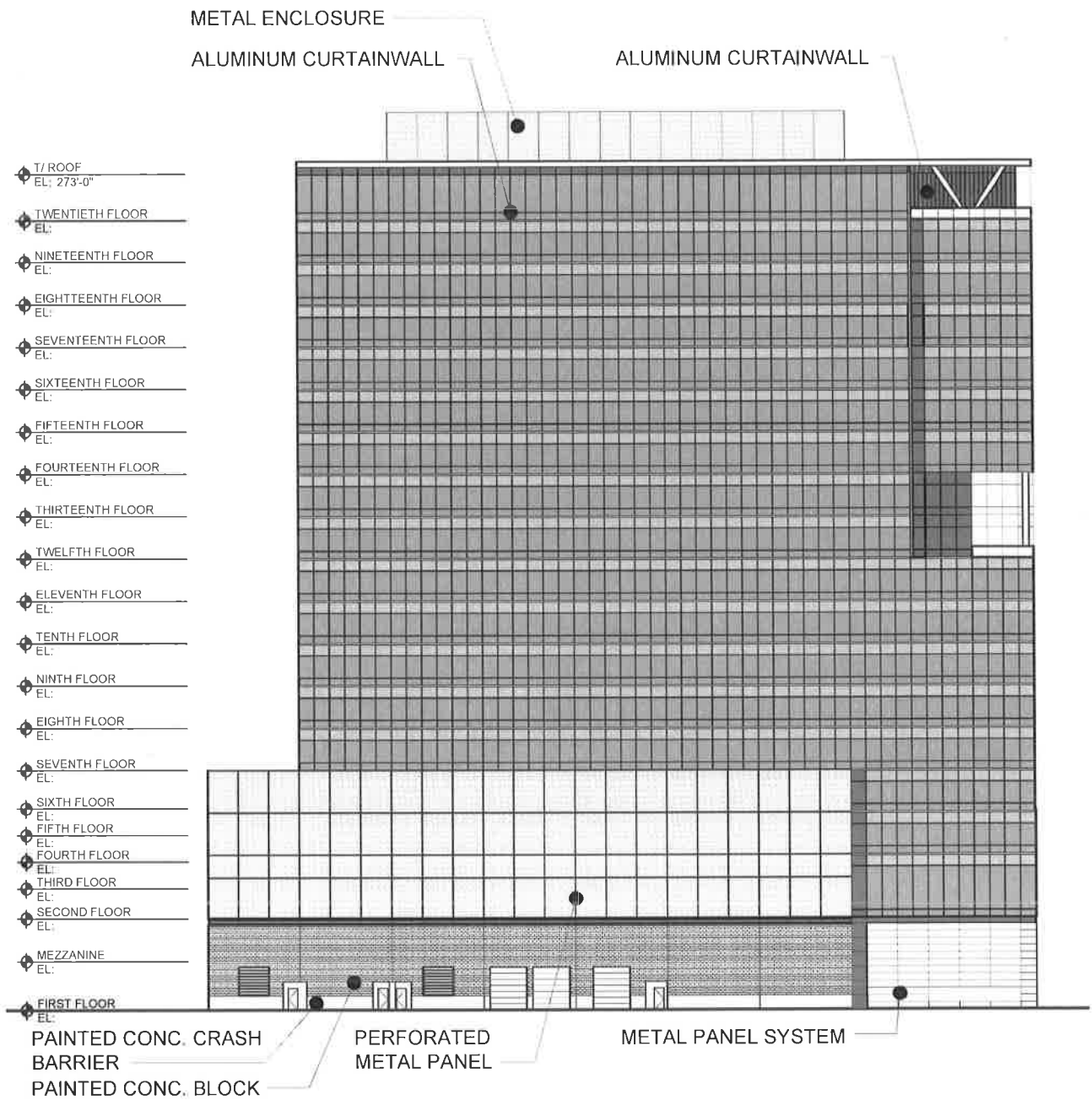


© 2012 Solomon Cordwell Buenz

New exhibit

ROOF PLAN

Applicant: 625 W. ADAMS (CHICAGO), LLC
Address: 619-31 W. Adams St. 201-29 S. Des Plaines St.
Intro Date: November 11, 2011
CPC: April 19, 2012
 December 21, 2015

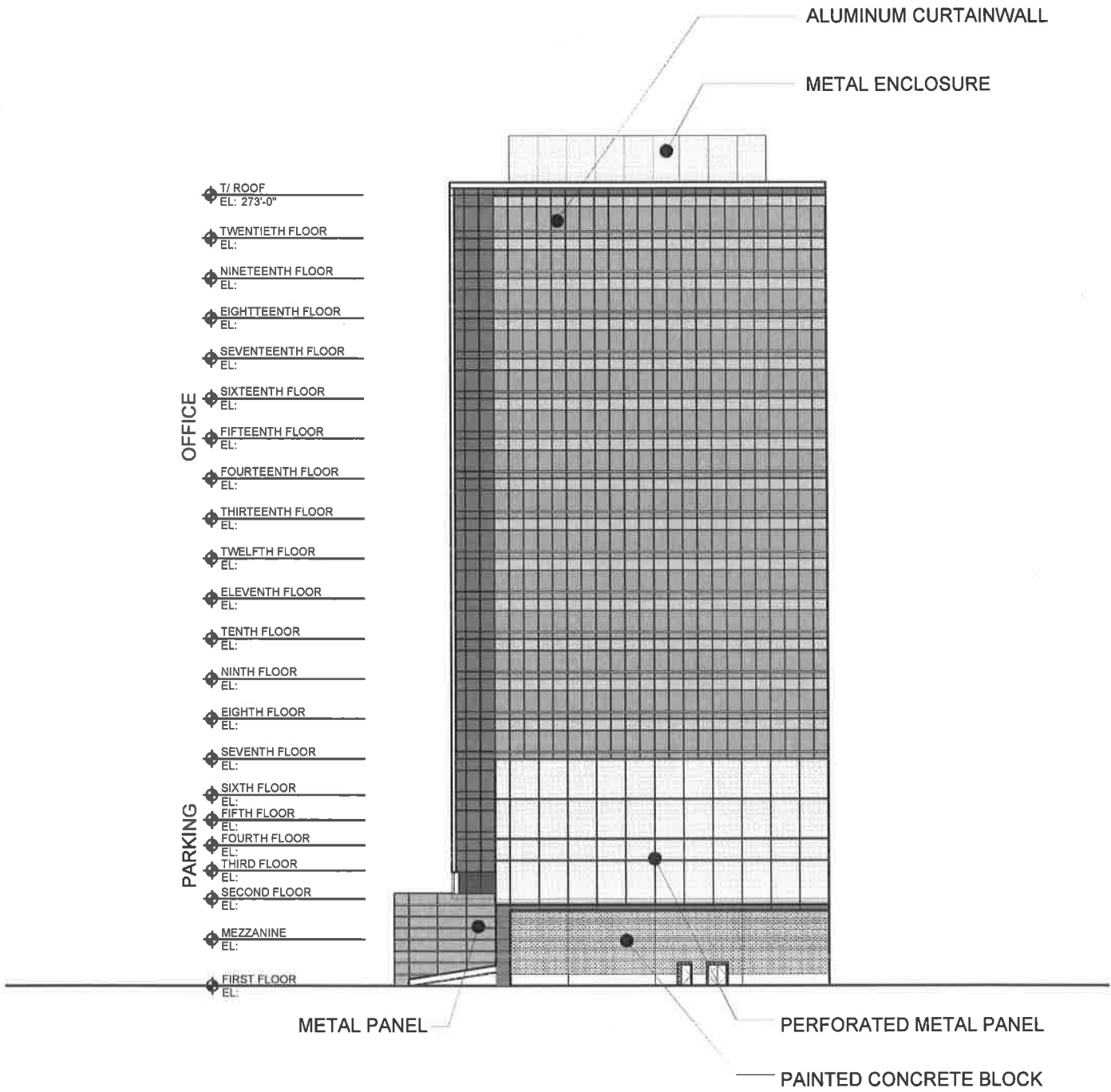


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New exhibit

EAST ELEVATION

Applicant: 625 W. ADAMS (CHICAGO), LLC
Address: 619-31 W. Adams St. 201-29 S. Des Plaines St.
Intro Date: November 11, 2011
CPC: April 19, 2012
 December 21, 2015

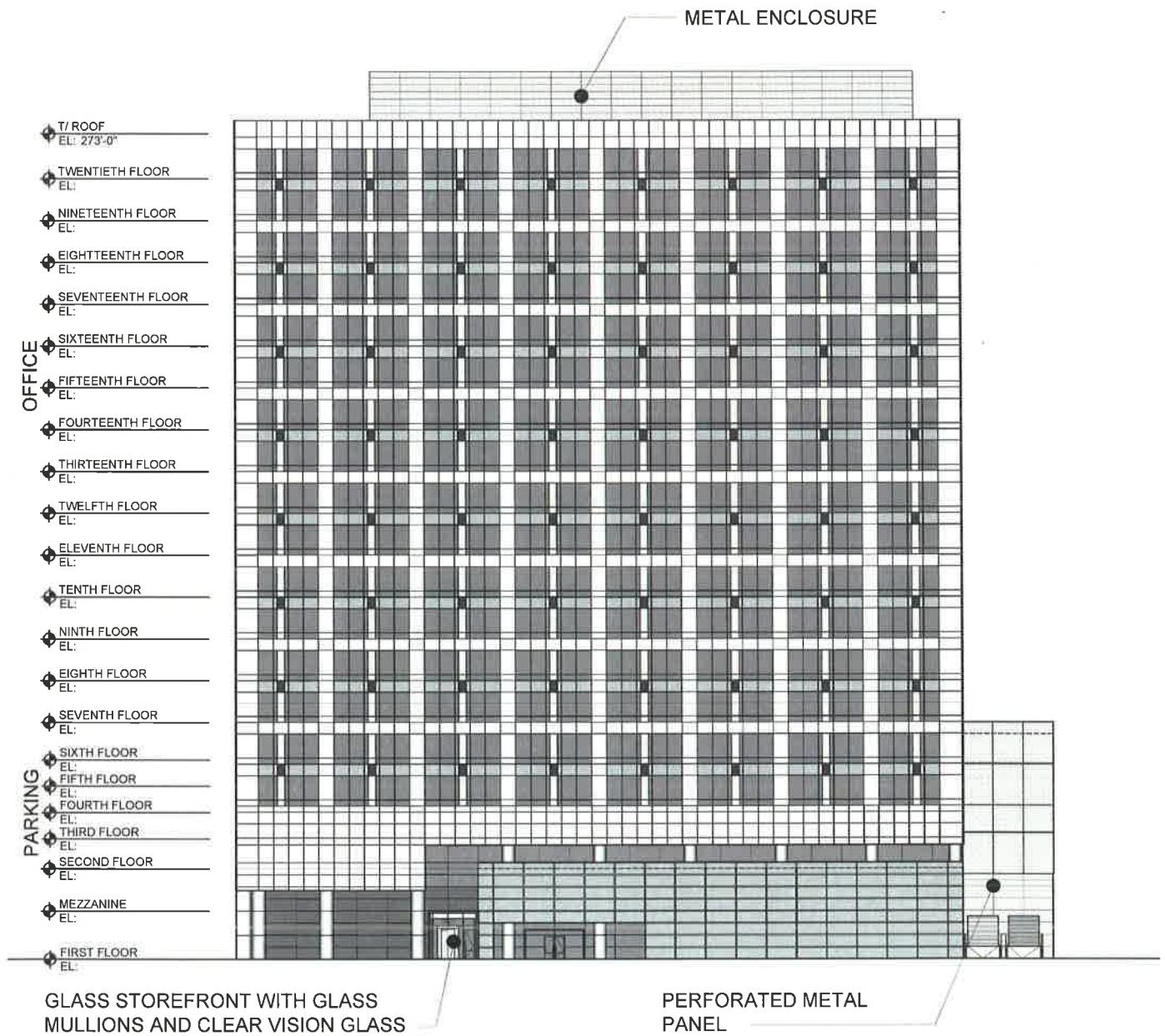


© 2012 Solomon Cordwell Buenz

New exhibit

SOUTH ELEVATION

Applicant: 625 W. ADAMS (CHICAGO), LLC
Address: 619-31 W. Adams St. 201-29 S. Des Plaines St.
Intro Date: November 11, 2011
CPC: April 19, 2012
 December 21, 2015



0' 25' 50'

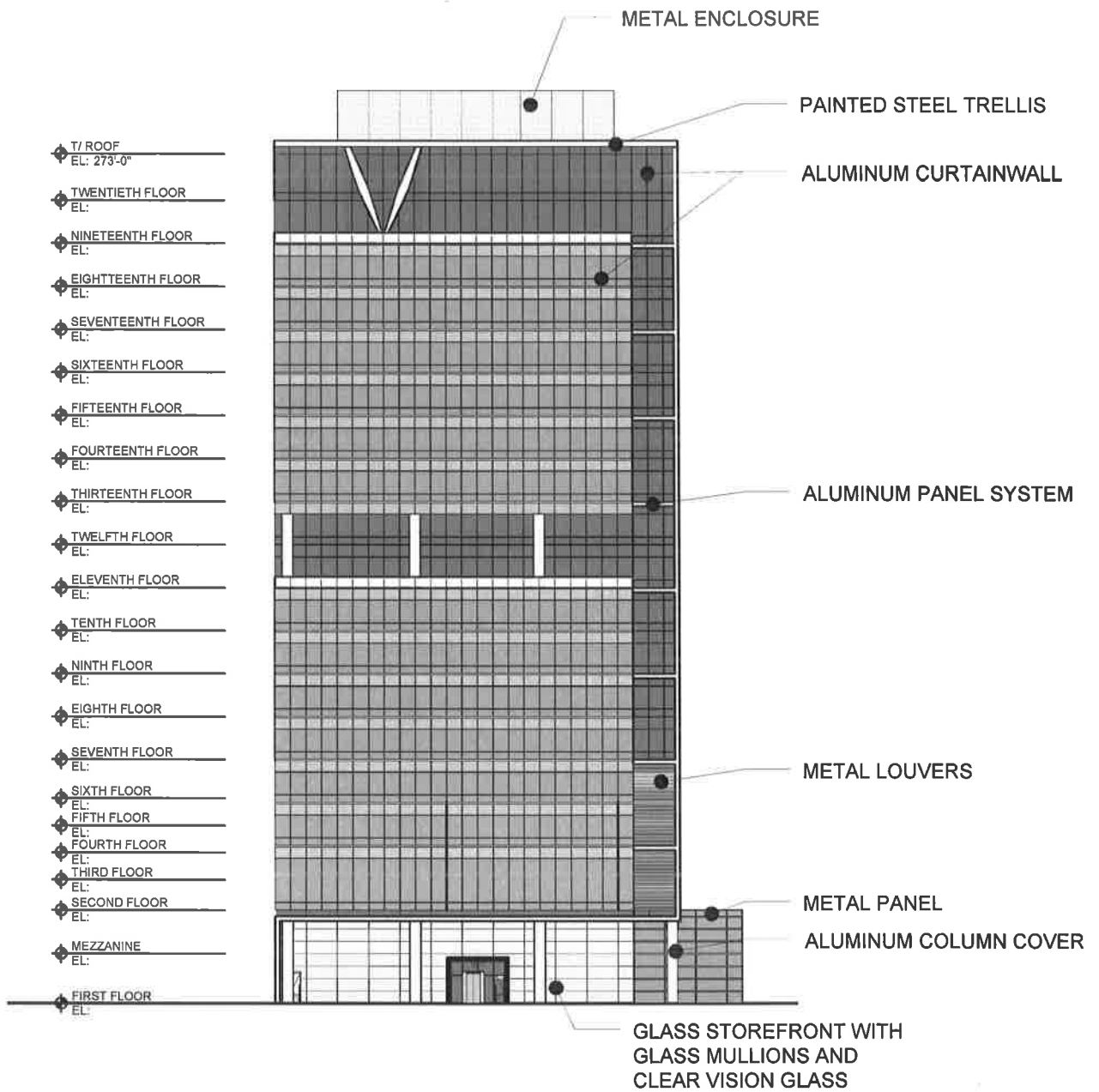


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New exhibit

WEST ELEVATION

Applicant: 625 W. ADAMS (CHICAGO), LLC
Address: 619-31 W. Adams St. 201-29 S. Des Plaines St.
Intro Date: November 11, 2011
CPC: April 19, 2012
 December 21, 2015



© 2012 Solomon Cordwell Buenz

New exhibit

NORTH ELEVATION

Applicant: 625 W. ADAMS (CHICAGO), LLC
Address: 619-31 W. Adams St. 201-29 S. Des Plaines St.
Intro Date: November 11, 2011
CPC: April 19, 2012
 December 21, 2015



NOT TO SCALE



© 2012 Solomon Cordwell Buenz

New exhibit

PERSPECTIVE AT ALLEY OFF OF ADAMS STREET

Applicant: 625 W. ADAMS (CHICAGO), LLC
Address: 619-31 W. Adams St. 201-29 S. Des Plaines St.
Intro Date: November 11, 2011
CPC: April 19, 2012
February 17, 2016

17376

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF
AREA SHOWN ON MAP NO. 2-F.

(As Amended)

(Application No. 17376)

(Common Address: 619 -- 631 West Adams St.
And 201 -- 229 S. Desplaines St.)

IPD 842,99

[SO2011-8910]

(Committee Meeting Held April 26, 2012)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, July 25, 2012.

To the President and Members of the City Council:

Presenting a report for your Committee on Zoning, Landmarks and Building Standards, which held a meeting on April 26, 2012:

Page 1 of the Committee report contains one zoning map amendment which was substituted.

I hereby move for passage of the substitute ordinance transmitted herewith.

Respectfully submitted,

(Signed) DANIEL S. SOLIS,
Chairman.

On motion of Alderman Solis, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Moreno, Fioretti, Dowell, Burns, Hairston, Sawyer, Harris, Beale, Pope, Balcer, Quinn, Burke, Foulkes, Thompson, Thomas, Lane, O'Shea, Cochran, Brookins, Muñoz, Zalewski, Chandler, Solis, Maldonado, Burnett, Ervin, Graham, Reboyras, Suarez, Waguespack, Mell, Austin, Colón, Sposato, Mitts, Cullerton, Laurino, P. O'Connor, M. O'Connor, Reilly, Smith, Tunney, Arena, Pawar, Osterman, Moore, Silverstein -- 47.

Nays -- None.

Alderman Pope moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Institutional Planned Development Number 842 symbols and designations as shown on Map Number 2-F in the area bounded by:

West Monroe Street; the alley next west of and parallel to South Desplaines Street; a line 71.40 feet south of and parallel to West Monroe Street; South Desplaines Street; West Adams Street; the easterly right-of-way line of the John Fitzgerald Kennedy Expressway (also known as line 219.50 feet west of and parallel to South Desplaines Street); West Adams Street; the alley next east of and parallel to South Desplaines Street; the alley next south of and parallel to West Adams Street and South Desplaines Street,

to the designation of Institutional Planned Development Number 842, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development No. 842, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 842, as amended, consists of approximately one hundred twenty-one thousand six hundred sixty-two (121,662) square feet (two and seventy-nine hundredths (2.79) acres) and is owned or controlled by the applicants, the Catholic Bishop of Chicago and 625 West Adams (Chicago), LLC (collectively the "Applicant").
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assignees, or grantees.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Housing and Economic Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
4. This plan of development consists of these fifteen (15) statements; a Bulk Regulation and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; Subarea Map; Subarea B Site/Landscape Plan; Roof Plan; Building Section Map; and Elevation Plans dated April 19, 2012 prepared by Solomon Cordwell Buenz. The Site Plan, Landscape Plan and Building Elevations for Subarea A dated August 15, 2002 prepared by Booth Hansen Associates appearing on pages 93174, 93175 and 93176 of the Chicago City Council *Journal* dated September 4, 2002 are incorporated herein by reference. Full size sets of the Site/Landscape Plan and Building Elevations are on file with the Department of Housing and Economic Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. In each of the following subareas, the following uses shall be permitted in this planned development:
 - Subarea A: church, school, auditorium, rectory, gymnasium, offices, cafetorium, accessory parking, and related uses.
 - Subarea B: retail, office, religious assembly, and multipurpose space as accessory to the religious assembly use, bank, accessory and non-accessory parking, and related uses and services. Up to 45 percent of the number of accessory parking spaces may be leased out on a daily, weekly, or monthly basis to persons who are not tenants, patrons, employees, or guests of the principal use.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the planned development, subject to the review and approval of the Department of Housing and Economic Development. Off-premises signs are prohibited within the boundary of the planned development.
7. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply.
8. The maximum permitted floor area ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 80,779 square feet for Subarea A and 40,883 square feet for Subarea B. The improvements to be constructed within Subarea B will utilize the following series of FAR bonuses:

Bonus Descriptions	FAR
Base FAR:	12.00
Upper Level Setbacks:	0.77
Green Roof:	<u>0.63</u>
TOTAL FAR:	13.40

Upper-Level Setbacks

Bonus FAR = $0.3 \times \text{sum of setback areas on each floor/lot area}$
 $19 \text{ floors at } 3,005 \text{ square feet} + 14 \text{ floors at } 3,450 \text{ square feet} = 105,395 \text{ square feet}$
 $0.3 \times (105,395 \text{ square feet}/40,883 \text{ square feet}) = .77 \text{ FAR}$

Green Roofs

Bonus FAR = $(\text{area of roof landscaping in excess of } 50\% \text{ of net roof area/lot area})$
 $\times 0.30 \times \text{Base FAR}$
 $(7,150 \text{ square feet}/40,883 \text{ square feet}) \times 0.30 \times 12 = 0.63 \text{ FAR}$

9. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site/Landscape Plan and Building Elevations and in accordance with the parkway tree provisions improvement on the Chicago Zoning Ordinance and corresponding regulations and guidelines.

10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Housing and Economic Development for Subarea B. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this planned development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. At the time of a hearing before the Chicago Plan Commission, all developments must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Department of Housing and Economic Development. The Applicant shall construct all new buildings under the Leadership in Energy and Environmental Design (LEED) Green Building Rating System. The Applicant shall provide in Subarea B a vegetated ("green") roof of at least fifty percent (50%) of the building's net roof area by providing a green roof of 17,198 square feet. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures, and roof-mounted equipment.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. This planned development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this planned development ordinance lapse for Subarea B, the Commissioner of the Department of Housing and Economic Development shall initiate a Zoning Map Amendment to rezone the property to the DC-12 Downtown Core Use District.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary and Property Line Map; Subarea Map; Subarea A -- East Elevations; Building Section -- Subarea B; Site/Landscape Plan -- Subarea B; Roof Plan -- Subarea B; North, South, East and West Elevations -- Subarea B; and Chicago Builds Green Form referred to in these Plan of Development Statements printed on pages 31876 through 31890 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development reads as follows:

Bulk Regulations And Data Table.

Net Site Area:

Subarea A:	80,779 square feet
Subarea B:	40,883 square feet
Total:	121,662 square feet

Area in the Public Right-of-Way:

Subarea A:	24,547 square feet
Subarea B:	22,392 square feet
Total:	46,939 square feet

Gross Site Area:

Subarea A:	105,361 square feet
Subarea B:	63,275 square feet
Total:	168,636 square feet

Base Floor Area Ratio:

Subarea A:	2.00
Subarea B:	12.00

Upper Level Setback Bonus:

Subarea A:	N/A
Subarea B:	0.77

Green Roof Bonus:

Subarea A:	N/A
Subarea B:	0.63

Maximum Floor Area Ratio:

Subarea A:	2.00
Subarea B:	13.40
Total:	5.83

Maximum Buildable Area:

Subarea A:	161,558 square feet
Subarea B:	547,832 square feet
Total:	709,390 square feet

GSF Attributable to the FAR:

Subarea A:	N/A
Subarea B:	547,154 square feet
Total:	N/A

Setbacks:

Subarea A:	Per Approved Site Plan
Subarea B:	Per Approved Site Plan

Maximum Building Height:

Subarea A:	Per Building Elevation
Subarea B:	320 feet

Number of Parking Spaces:

Subarea A:	28 accessory spaces
Subarea B:	186 accessory spaces for office -- maximum
	159 accessory spaces for church -- maximum
	1 accessory space for retail -- maximum
	62 non-accessory spaces -- maximum
Total:	436 spaces

Number of Bicycle Parking Spaces:

Subarea A:	N/A
Subarea B:	0 spaces

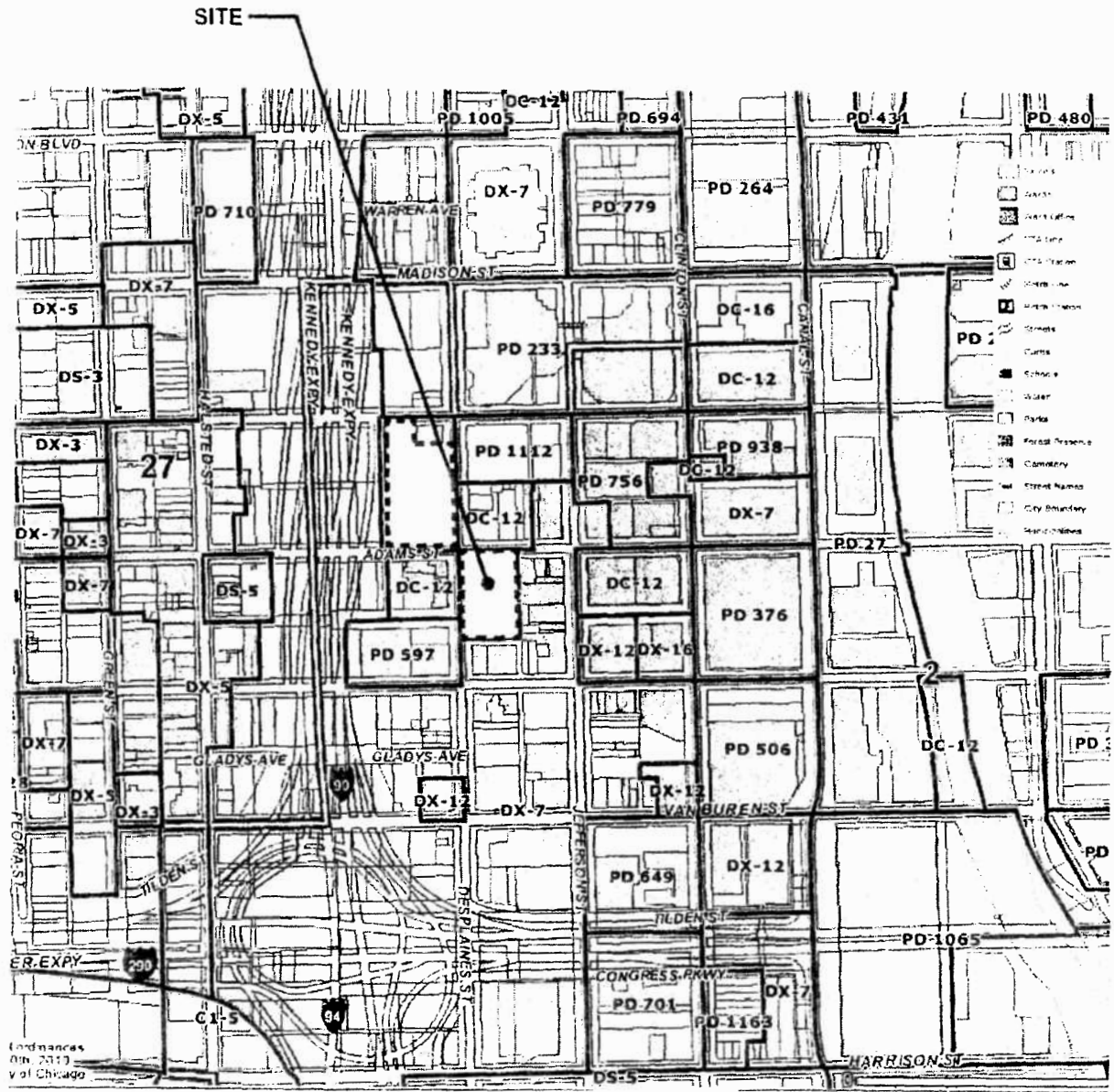
Minimum Number of Loading Spaces:

Subarea A:	1 berth at 10 feet by 25 feet by 14 feet height
Subarea B:	3 berths at 10 feet by 25 feet by 14 feet height
Total:	4 berths at 10 feet by 25 feet by 14 feet height

Maximum Percentage of Site Coverage:

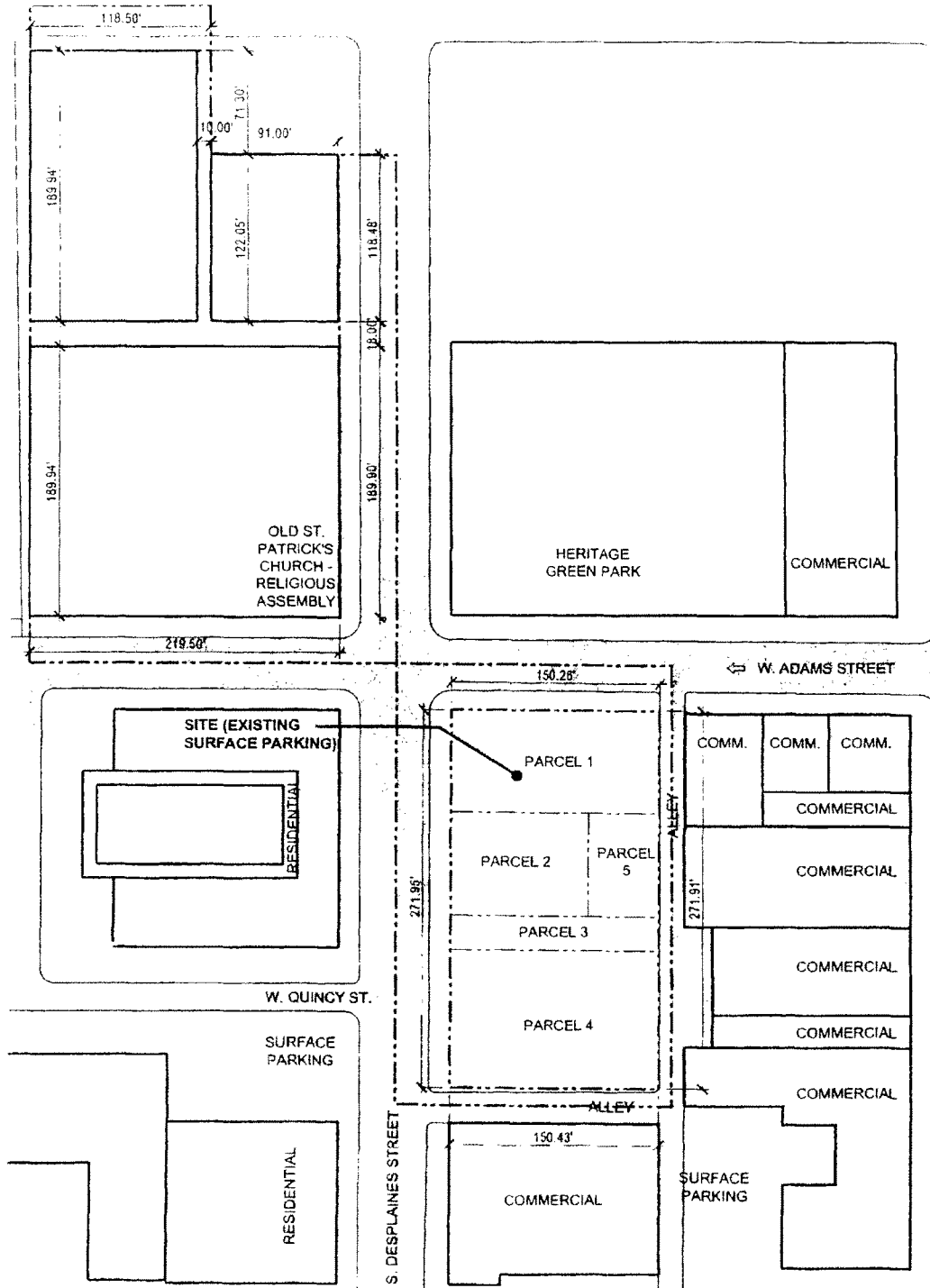
Subarea A:	Per Site Plan
Subarea B:	93%

Existing Zoning Map.

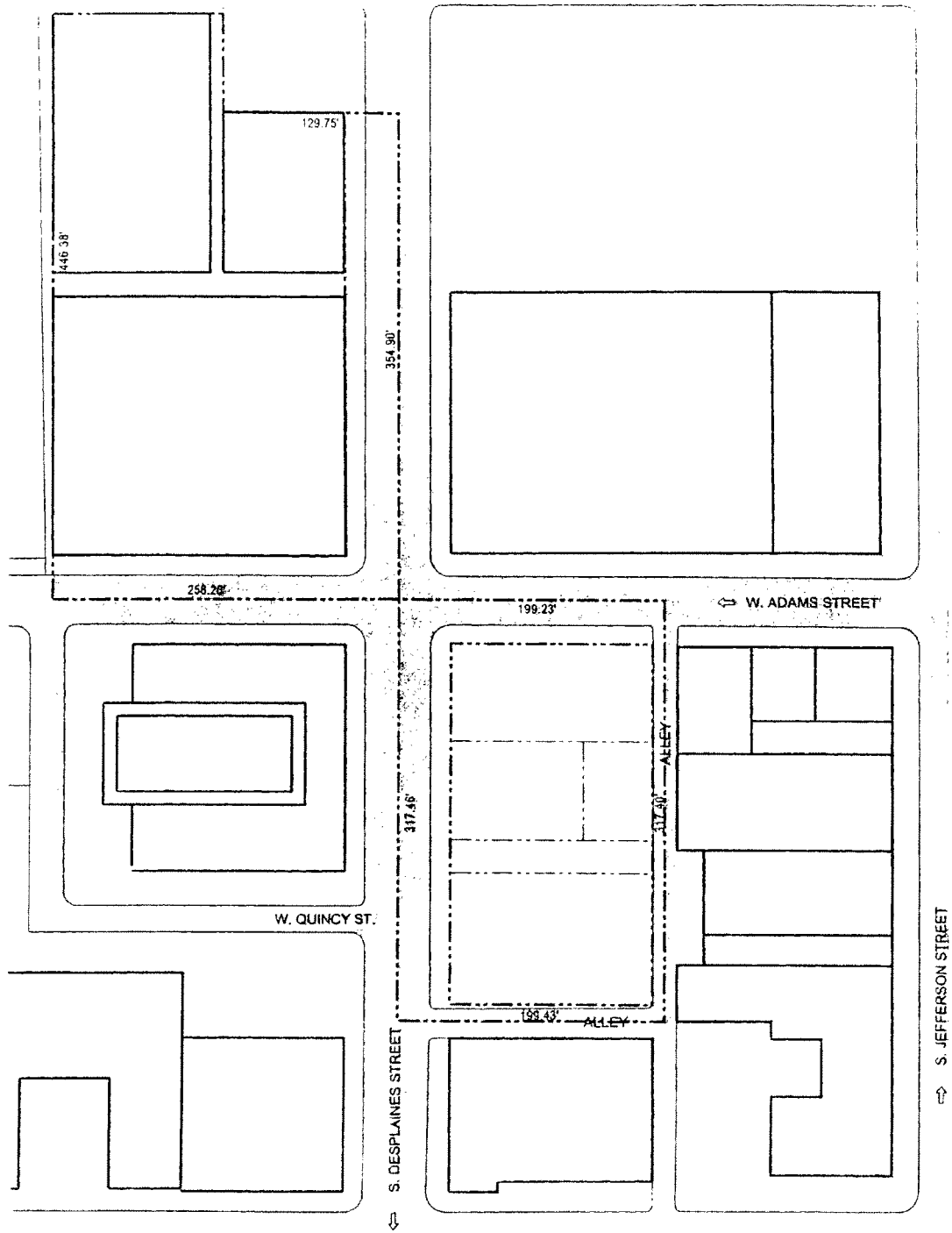


Ordinances
City of Chicago
Vol Chicago

Existing Land-Use Map.

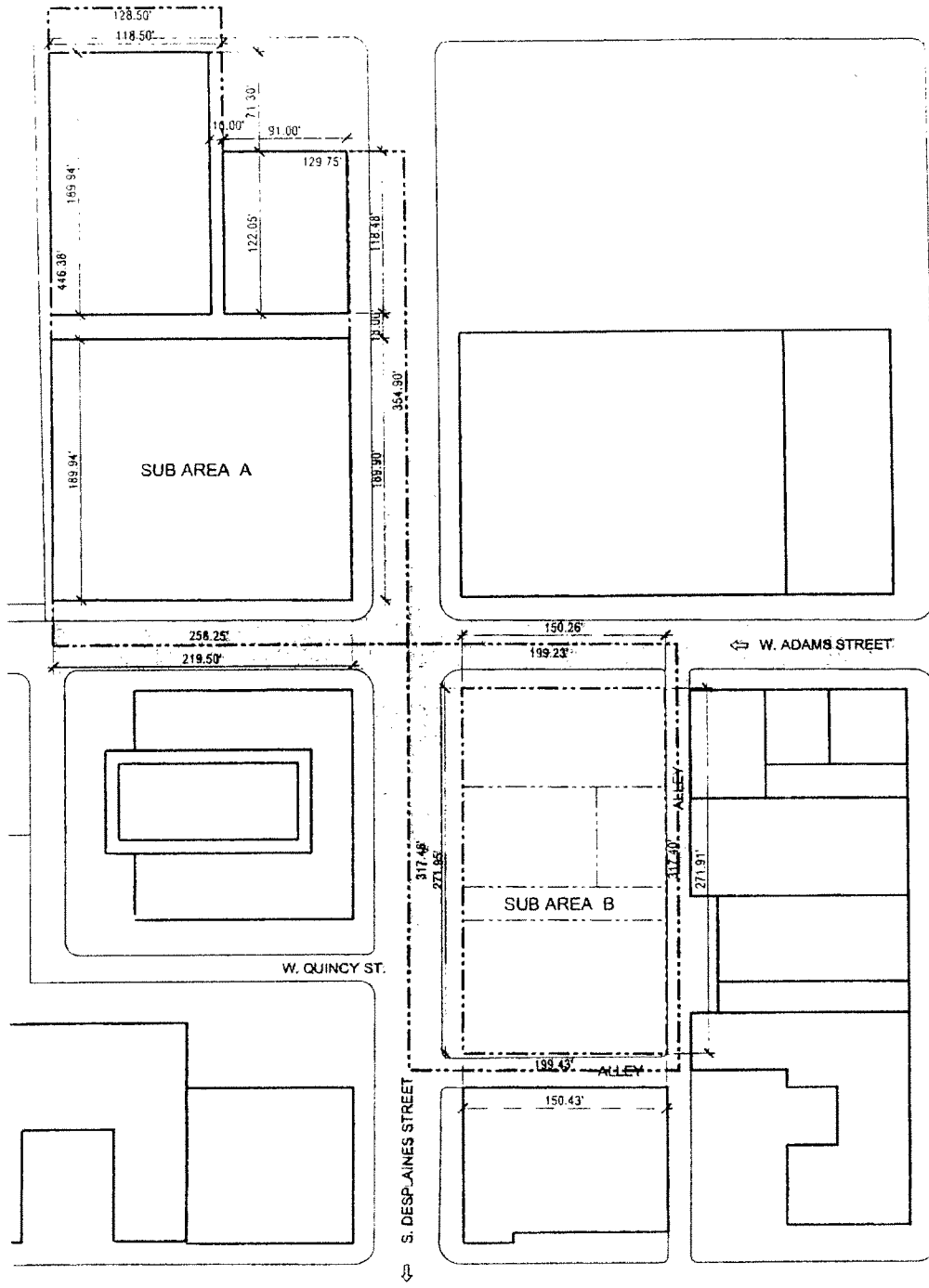


Planned Development Boundary
And Property Line Map.



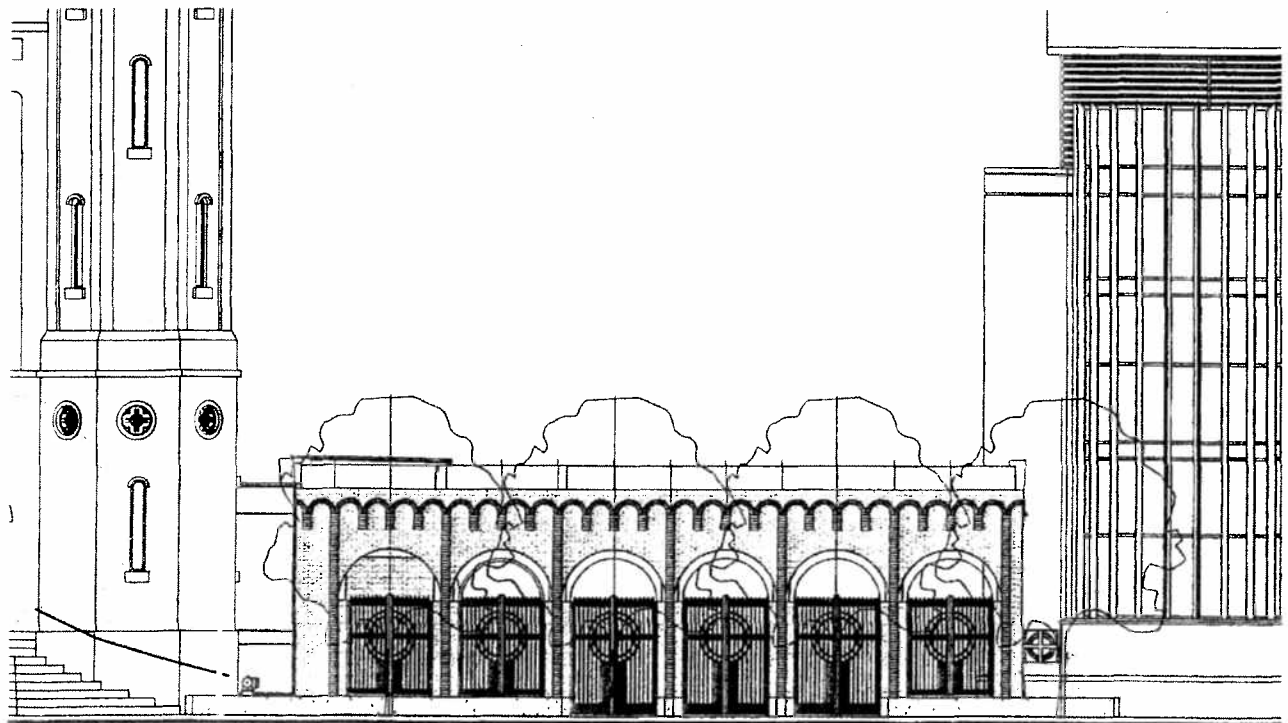
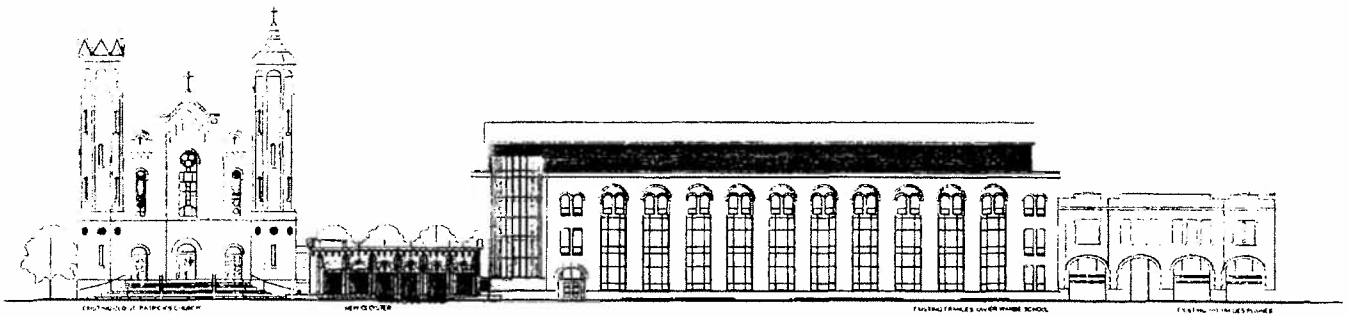
PLANNED DEVELOPMENT BOUNDARY AND
PROPERTY LINE MAP

Subarea Map.



SUB AREA MAP

Subarea A -- East Elevations.

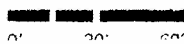
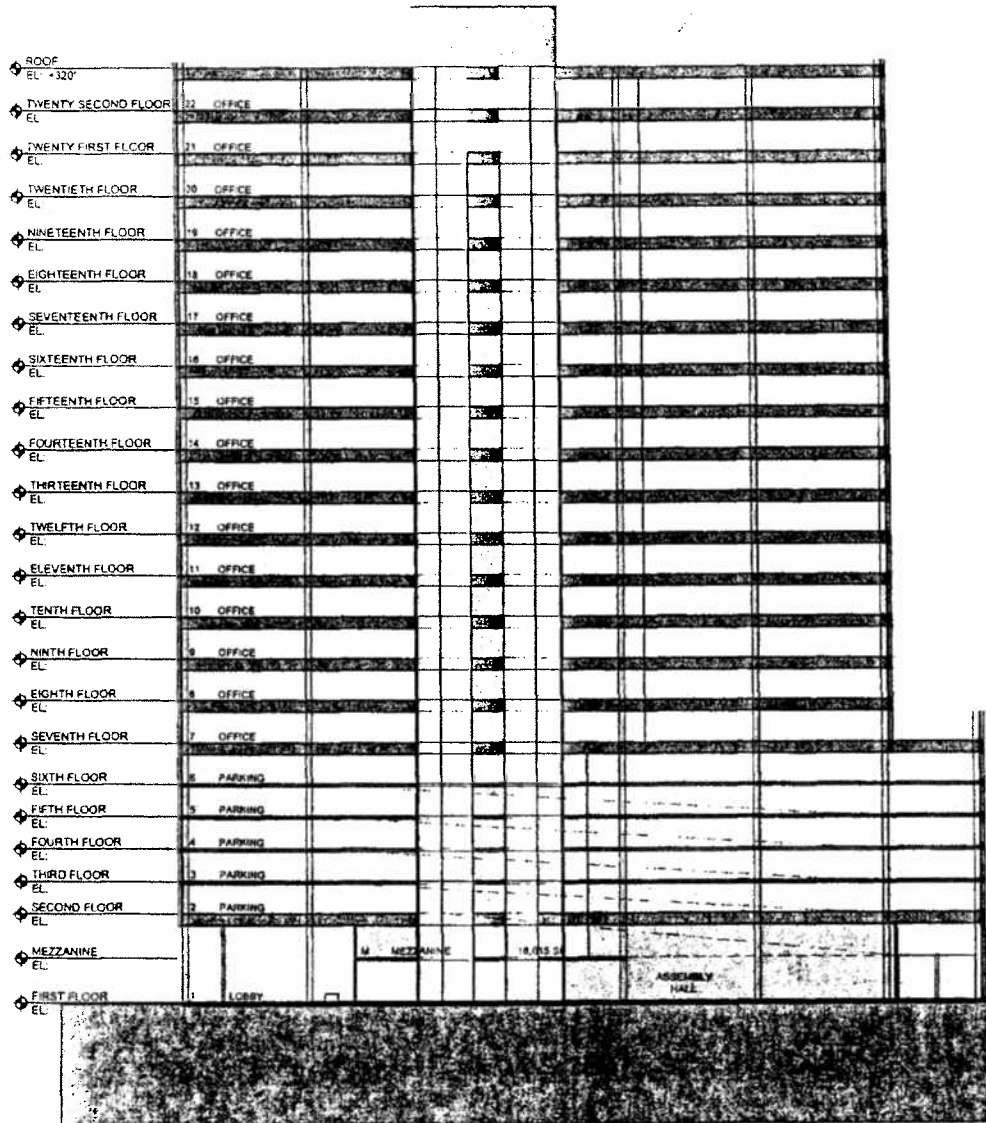


NEW CLOISTER



SUB AREA A EAST ELEVATIONS

Building Section -- Subarea B.



BUILDING SECTION - SUB AREA "B"

Site/Landscape Plan -- Subarea B.

ALL NEW PLANTERS TO MEET CITY OF CHICAGO STREETScape GUIDELINES

EXISTING LIGHT POLE WITH TRAFFIC SIGNAL

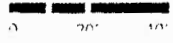
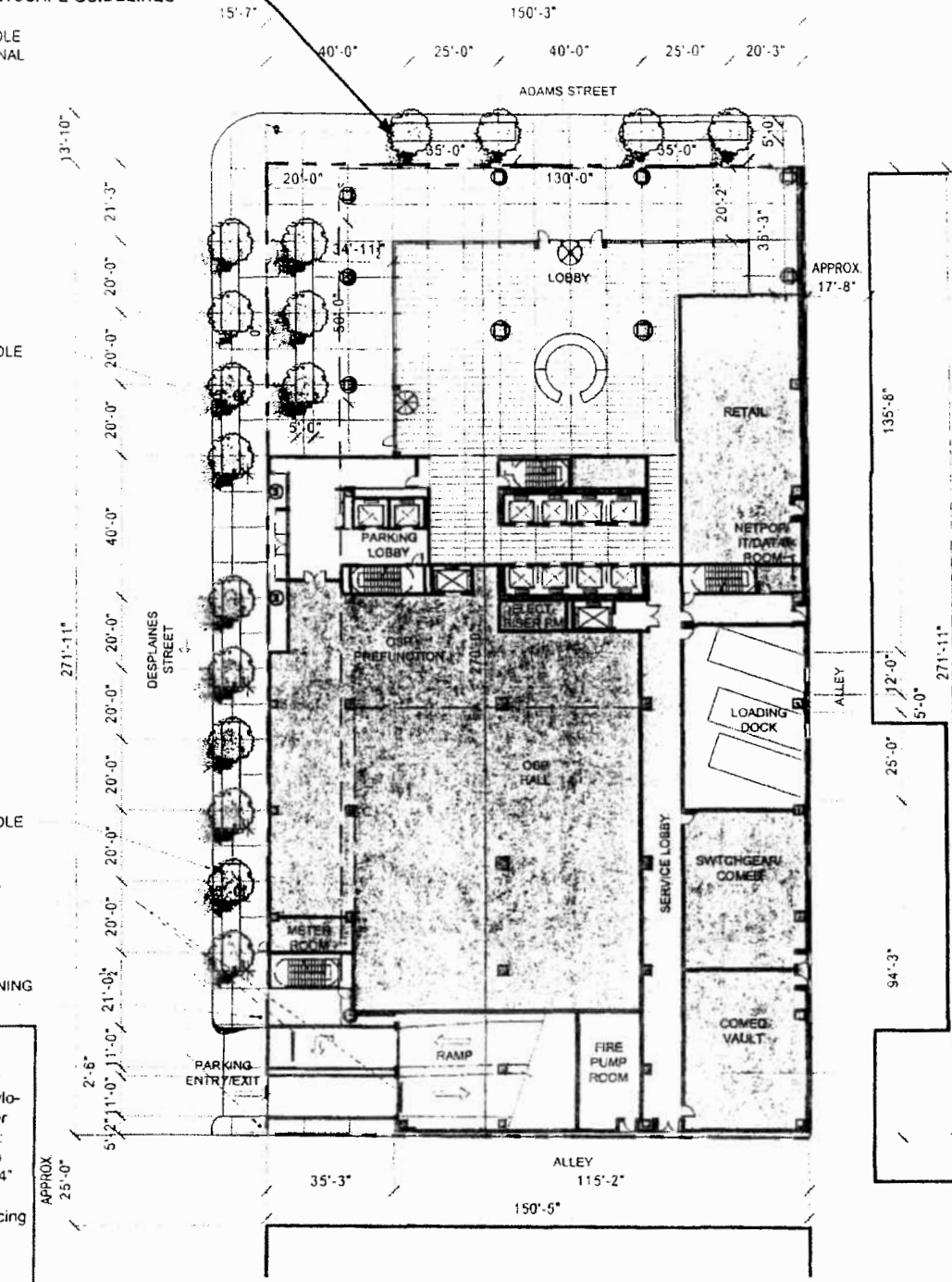
EXISTING LIGHT POLE

EXISTING LIGHT POLE

ACCESS CONTROL GATE

PEDESTRIAN WARNING SIGNAL

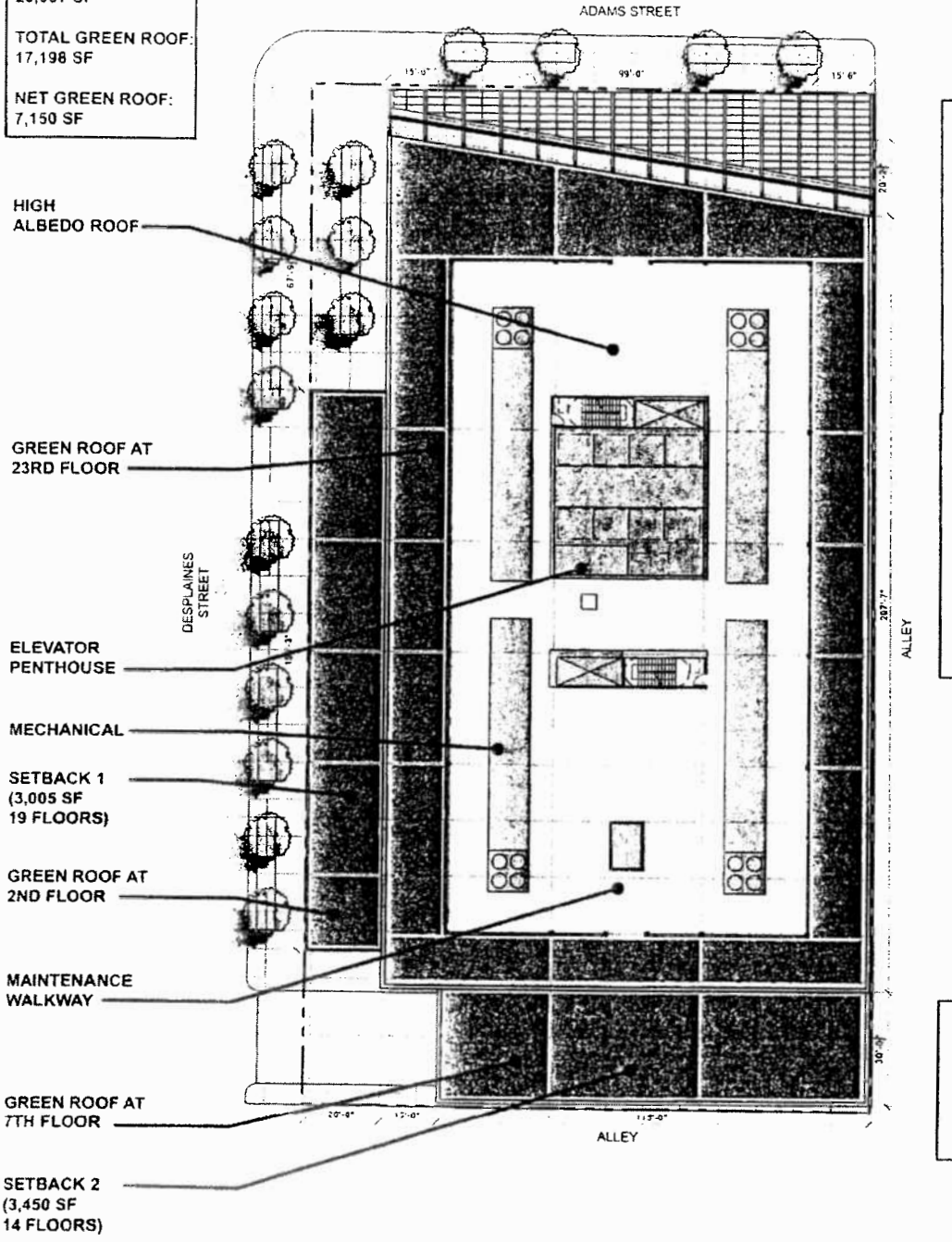
- Plant List**
- West Facing Trees:
 - Skyline Honeylocust, 4" Caliper
 - North Facing Trees:
 - Chicago Blues Black Locust, 4" Caliper
 - West and North Facing planters:
 - Green Mound Boxwood
 - Purpleleaf Wintercreeper



SITE / LANDSCAPE PLAN - SUB AREA "B"

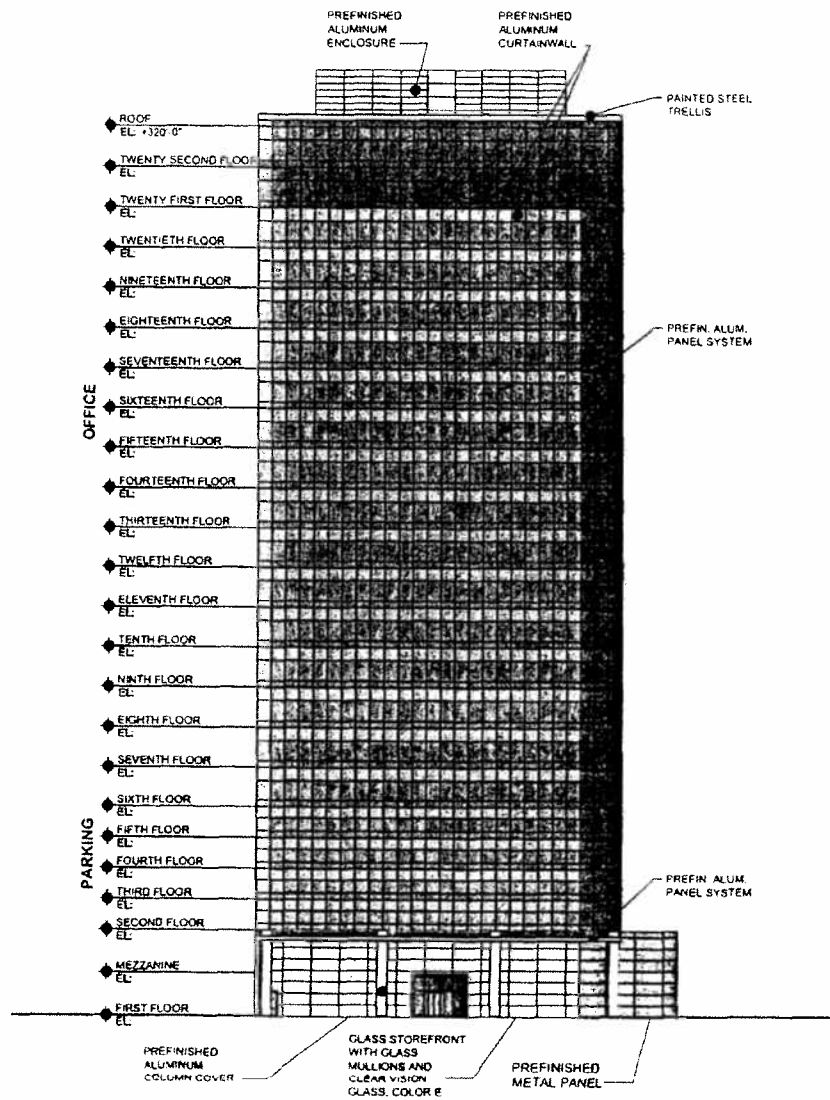
Roof Plan -- Subarea B.

GROSS ROOF AREA:
37,654 SF
NET ROOF AREA:
20,097 SF
TOTAL GREEN ROOF:
17,198 SF
NET GREEN ROOF:
7,150 SF



ROOF PLAN - SUB AREA "B"

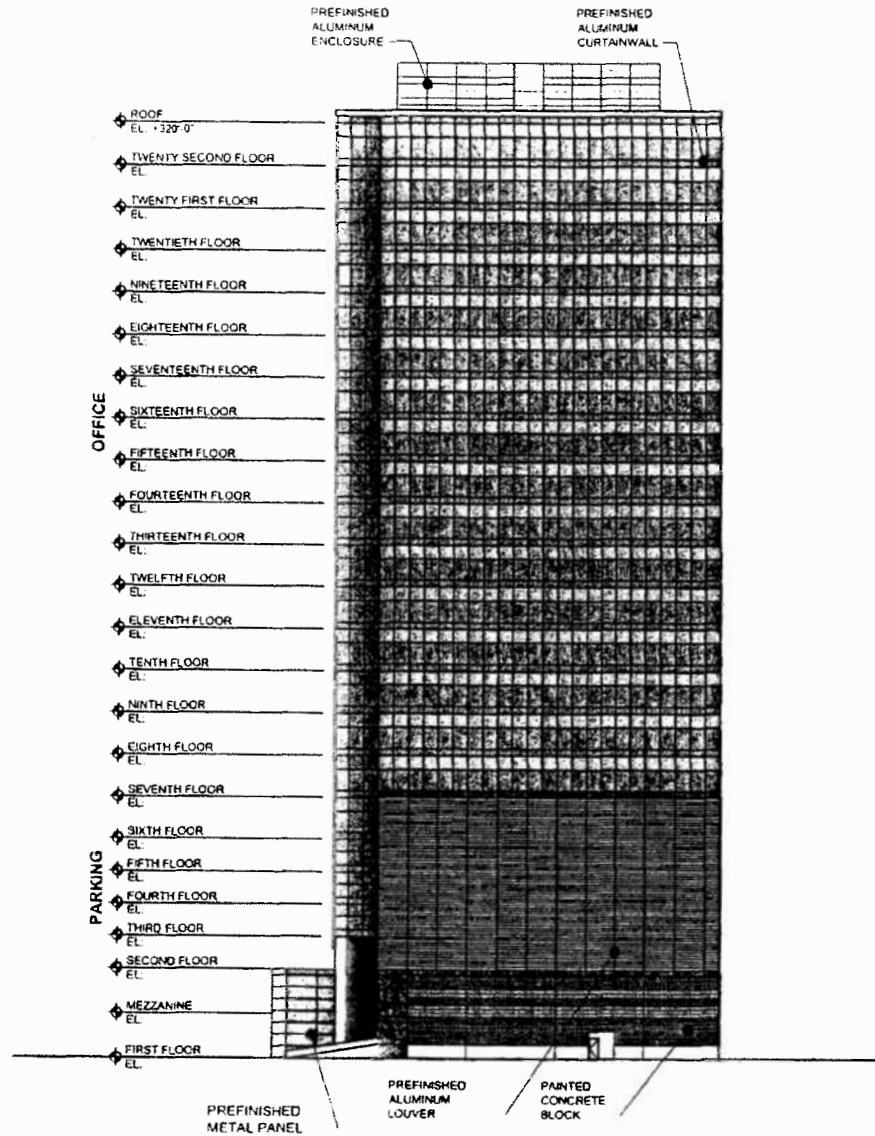
North Elevation -- Subarea B.



0' 30' 60'

NORTH ELEVATION - SUB AREA "B"

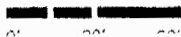
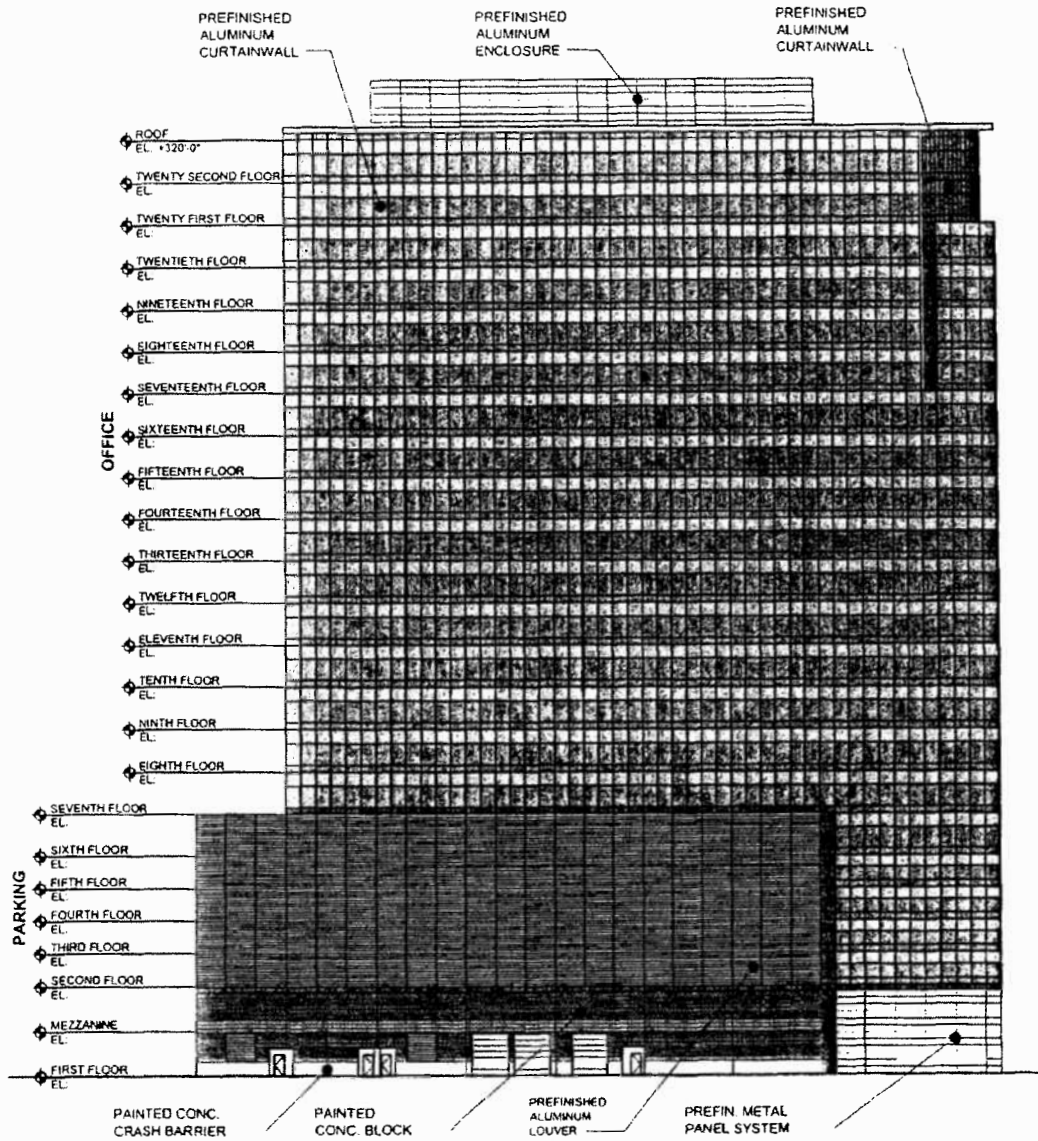
South Elevation -- Subarea B.



0' 20' 40'

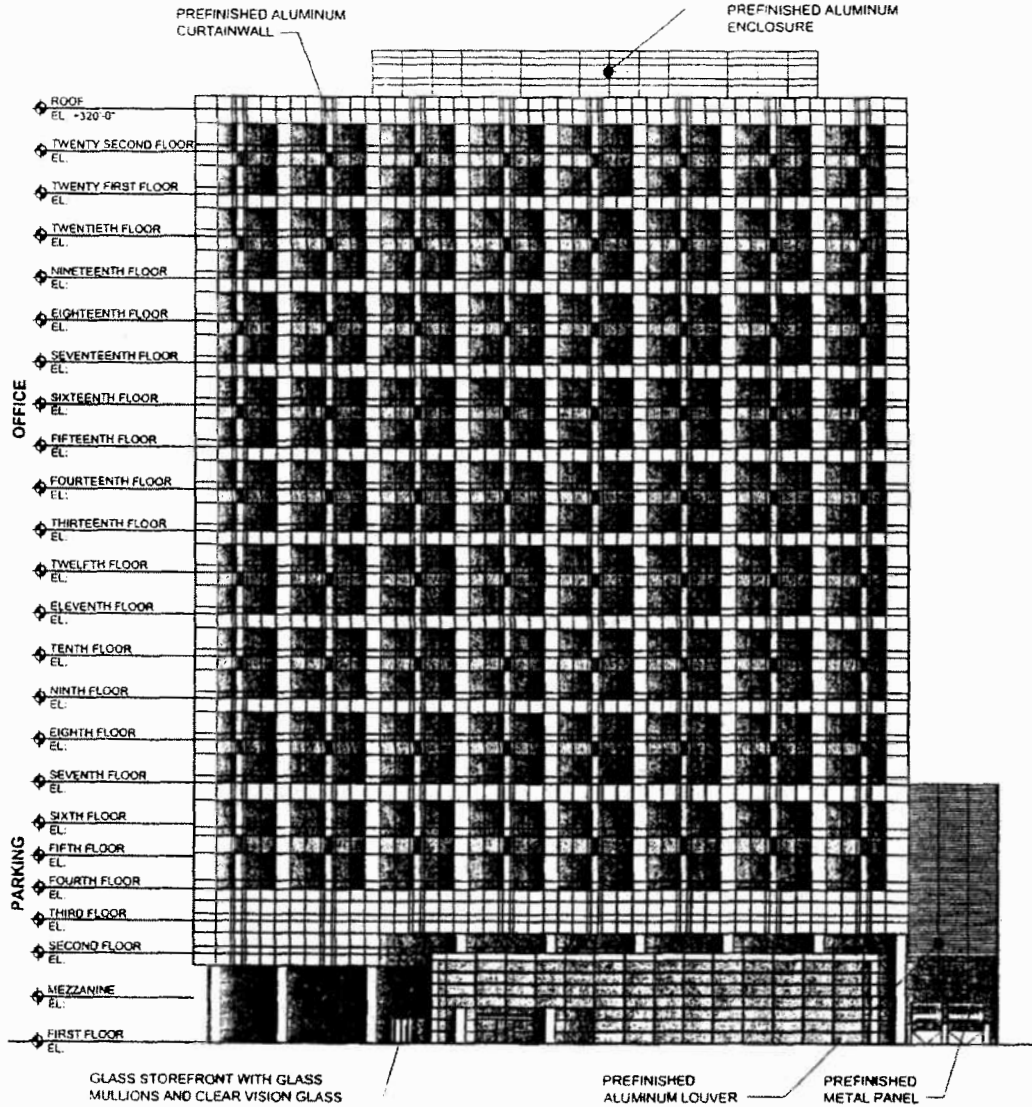
SOUTH ELEVATION - SUB AREA "B"

East Elevation -- Subarea B.



EAST ELEVATION - SUB AREA "B"

West Elevation -- Subarea B.



0' 30' 60'

WEST ELEVATION - SUB AREA "B"

Chicago Builds Green Form.

(Page 1 of 3)

Project Name:

625 W. Adams

* Street Number (if the address only includes one street number, please fill only the cell "From"):

Project Location:

From*	To*	Direction:	Street Name:	Select Street Type:
619	631	W	Adams	St

Ward No: Community Area No:

2	
---	--

Project Type:

Check applicable:

Planned Development
 Redevelopment Agreement
 Zoning Change
 PD No:
 RDA No:
 From: To:

Public project
 Landmark

Project Size:

Total land area in sq.ft.:	Total building(s) footprint in sq.ft.:	Total vehicular use area in sq.ft.:
40,883	38,021	928

DPD Project Manager:

Enter First Name Last Name

BG/GR Matrix:

Select project category:

Financial Incentives:

Check applicable:

TIF
 Empowerment Zone Grant
 Class L
 GRIF
 Ind. Dev. Revenue Bonds
 Class 6b
 SBIF
 Bank Participation Loan
 DOH
 Land Sale Write Down

Density Bonus:

Check applicable:

Public plaza & pocket park
 Water features in a plaza or pocket park
 Chicago Riverwalk improvements
 Setbacks above the ground floor
 Winter gardens
 Lower level planting terrace
 Indoor through-block connection
 Green roof
 Sidewalk widening
 Underground parking and loading
 Arcades
 Concealed above-ground parking

Chicago Builds Green Form.
(Page 2 of 3)

Matrix

Please fill, if applicable

Landscaping:

7' Landscape Setback	Square footage:	0	0
Interior Landscape Area	Square footage:	0	0
No. of Interior Trees		0	0
No. of Parkway Trees		17	17

Open Space:

River Setback	Square footage:	0	0
Private Open Space	Square footage:	0	0
Privately developed Public Open Space	Square footage:	0	0

Stormwater Management (At-grade volume control):

Permeable paving	Square footage:	0
Raingarden	Check applicable:	<input type="checkbox"/>
Filter strip		<input type="checkbox"/>
Bioswale		<input type="checkbox"/>
Detention pond		<input type="checkbox"/>
Native landscaping	Square footage:	0
Rain-water collection cistern/barrel	Gallons:	0
Total impervious area reduction	Square footage:	0

Other sustainable surface treatments:

Green roof	Square footage:	10,048	17,198
Energy Star roof	Square footage:	0	17,500
High-albedo pavement	Square footage:		0

Transportation:

No. of accessory parking spaces		0	351
Total no. of parking spaces (Accessory + Non- Acc.)			408
No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)		0	0
No. of bicycle parking		0	0
Within 600 ft of CTA or Metra station entrance	Check if applicable:		<input type="checkbox"/>



Chicago Builds Green Form.
(Page 3 of 3)

Building Certification:

- | | | |
|----------------------------------|--------------------------|-------------------------------------|
| Energy Star building | <input type="checkbox"/> | <input type="checkbox"/> |
| LEED certification | <input type="checkbox"/> | |
| LEED Certified | | <input checked="" type="checkbox"/> |
| LEED Silver | | <input type="checkbox"/> |
| LEED Gold | | <input type="checkbox"/> |
| LEED Platinum | | <input type="checkbox"/> |
| Chicago Green Homes | <input type="checkbox"/> | |
| Chicago Green Homes [one-star] | | <input type="checkbox"/> |
| Chicago Green Homes [two-star] | | <input type="checkbox"/> |
| Chicago Green Homes [three-star] | | <input type="checkbox"/> |

Energy efficiency strategies
not captured above:

(E: Other than Energy Star Roof - or Energy Star Building Certification-

Other sustainable strategies
and/or Project Notes:

The project will comply with the stormwater management regulations in both rate and volume control. A reduction of at least 15% of the existing impervious area will be achieved through the installation of approximately 17,198 square feet of green roof. As the building is nearly lot line to lot line, rate control requirements will be achieved by providing an underground detention vault sized to store and release site runoff from a combination of the 10 year, 24 hour and 100 year, 24 hour storms. The area encompassed by building or basement will be subject to the 10 year event while the remainder of the site will be subject to the 100-year event. A safe means of an emergency overflow route will also be incorporated for storms in excess of the design event.



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

February 21, 2006

John J. George
Attorney at Law
Two First National Plaza
Suite 400
Chicago, Illinois 60603

Re: Request for a minor changes to Institutional Planned
Development No. 842

Dear Mr. George:

Please be advised that your request for a minor change to Institutional Planned Development No. 842. has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you requested permission to allow Old St. Patrick's Church to operate a program called The Cara Program at 703 West Monroe Street which is part of IPD 842. The Cara program is an organization founded in 1991 to help motivated homeless to impoverished individuals transform their live and achieve success through a series of educational opportunities and training. The Cara program will provide life skill classes and job readiness training, both of which are educational uses. The Cara Program will also house its administrative offices. The Department of Planning and Development understands that parishioners and parents of the school children are aware of this program use.

With regard to your request, the Department of Planning and Development has determined that these revisions to the Planned Development would constitute a minor change pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, Institutional Planned Development No. 842, I hereby approve the foregoing minor change as stated, but no other changes to Institutional Planned Development No.842. A copy of the Cara Program is hereby made a part of this approval.

Very Truly Yours,

Lori T. Healey
Commissioner

LTH;MD;CVH

cc: Mike Marmo, PD files



SECTION 2. This ordinance shall be in full force and effect after its passage and publication.

Reclassification Of Area Shown On Map Number 2-F.

(As Amended)

(Application Number 13673) IPD 842

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the C3-5 Commercial Manufacturing District and C3-6 Commercial Manufacturing District symbols and indications as shown on Map Number 2-F in the area bounded by:

West Monroe Street; the alley next west of and parallel to South Desplaines Street; a line 71.40 feet south of and parallel to West Monroe Street; South Desplaines Street; West Adams Street; the easterly right-of-way line of the John Fitzgerald Kennedy Expressway (also known as a line 219.50 feet west of and parallel to South Desplaines Street); West Adams Street; the alley next east of and parallel to South Desplaines Street; the alley next south and parallel to West Adams Street; and South Desplaines Street,

to the designation of an Institutional Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 842.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number _____, consists of approximately one hundred twenty-one thousand six hundred ninety-four (121,694) square feet (two and seventy-nine hundredths (2.79) acres) and is owned or controlled by the applicant, The Catholic Bishop of Chicago (the "Applicant").
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the property shall be under single ownership or under single designated control at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property and any ground lessors.
4. This plan of development consists of these fourteen (14) statements; a Bulk Regulation and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; a Site Plan, Landscape Plan and Building Elevations for Subarea A dated August 15, 2002 prepared by Eckenhoff Saunders Architects and a Site/Landscape Plan and Building Elevations for Subarea B dated August 15, 2002 prepared by Booth Hansen Associates. Full size sets of the Site/Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.

5. The following uses shall be permitted within the area delineated herein as "Institutional Planned Development": Subarea A: church, school, auditorium, rectory, gymnasium, offices, cafetorium, accessory parking and related uses; Subarea B: auditorium, cafetorium, offices, accessory and non-accessory parking and related uses.
6. Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development.
7. Any service drives or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such emergency areas. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation.
8. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply.
10. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site/Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. Upon the resolution of liturgical concerns, the Applicant and Old Saint Patrick's Church will support the designation as a Chicago landmark of the appropriate exterior facades of Old Saint Patrick's Church and the Rectory building.
11. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification

by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.

12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this planned development in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigerating and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
14. Unless substantial construction of the improvements contemplated in the attached exhibits has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire and then the zoning of Subarea A shall automatically revert to the pre-existing C3-5 Commercial-Manufacturing District and the zoning of Subarea B shall automatically revert to the pre-existing C3-6 Commercial-Manufacturing District classifications.

[Existing Site Plan; Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; Site Plan/Subarea "A"; Landscape Plan/Subarea "A"; Building Elevations/Subarea "A"; Site Landscape Plan/Subarea "B"; and Building Elevations/Subarea "B" referred to in these Plan of Development Statements printed on pages 93170 through 93178 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Old Saint Patrick's Campus.

Institutional Planned Development

Bulk Regulations And Data Table.

Site Area (including vacated Rights-of-Way below):	Square Feet	Acres
Subarea A	80,779.82	1.85
Subarea B	40,914.53	0.94

Rights-of-Way To Be Vacated:

West Marble Place	3,951.00
North/South alley north of West Marble Place	1,891.10

9/4/2002

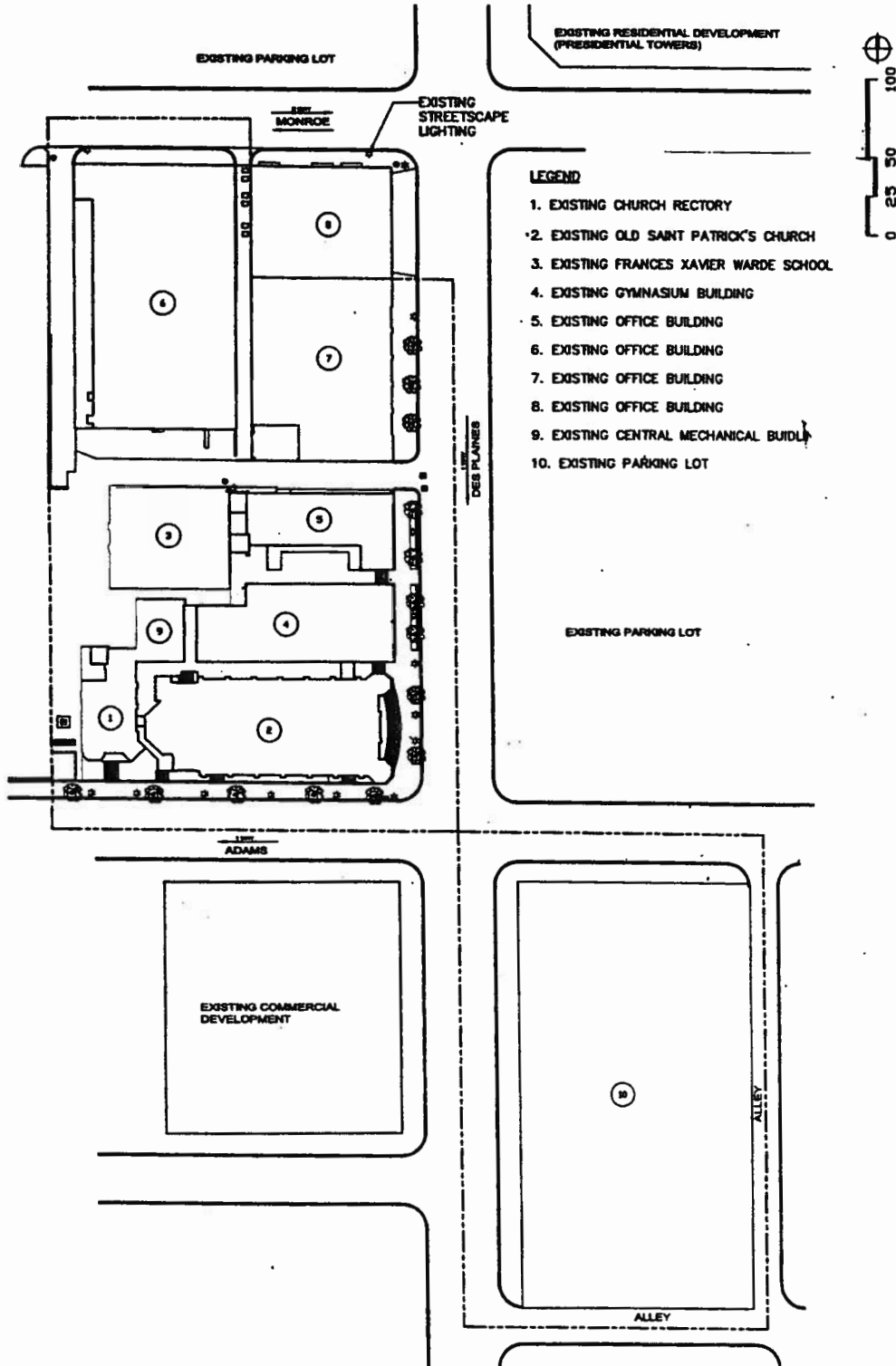
REPORTS OF COMMITTEES

13673

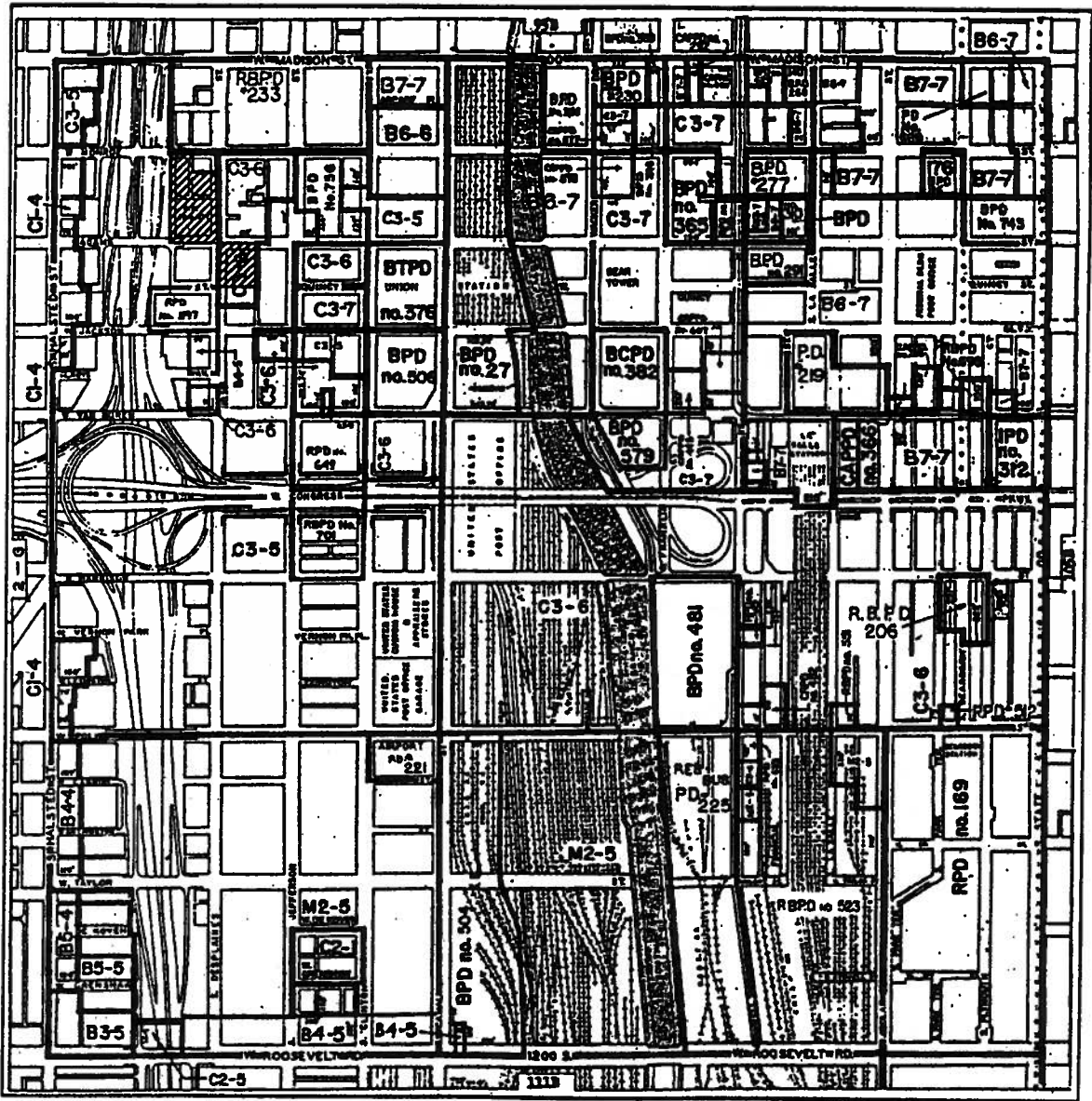
93169

	Square Feet	Acres
Net Site Area:	121,694.35	2.79
Public Rights-Of-Way:	46,941.74	1.08
Gross Site Area:	168,636.09	3.87
Maximum Floor Area Ratio:		
Subarea A	2.0.	
Subarea B	2.5.	
Minimum Number of Off-Street Parking Spaces:		
Subarea A	28 (8 surface, 20 garage).	
Subarea B	650.	
Total Parking	678.	
Minimum Number of Loading Spaces:		
Subarea A	1.	
Subarea B	1.	
Maximum Percent of Site Coverage:	Per Site Plan.	
Minimum Required Building Setbacks:	Per Site Plan.	
Maximum Building Height:	Per Building Elevations.	

Existing Site Plan.












Existing Zoning Map.

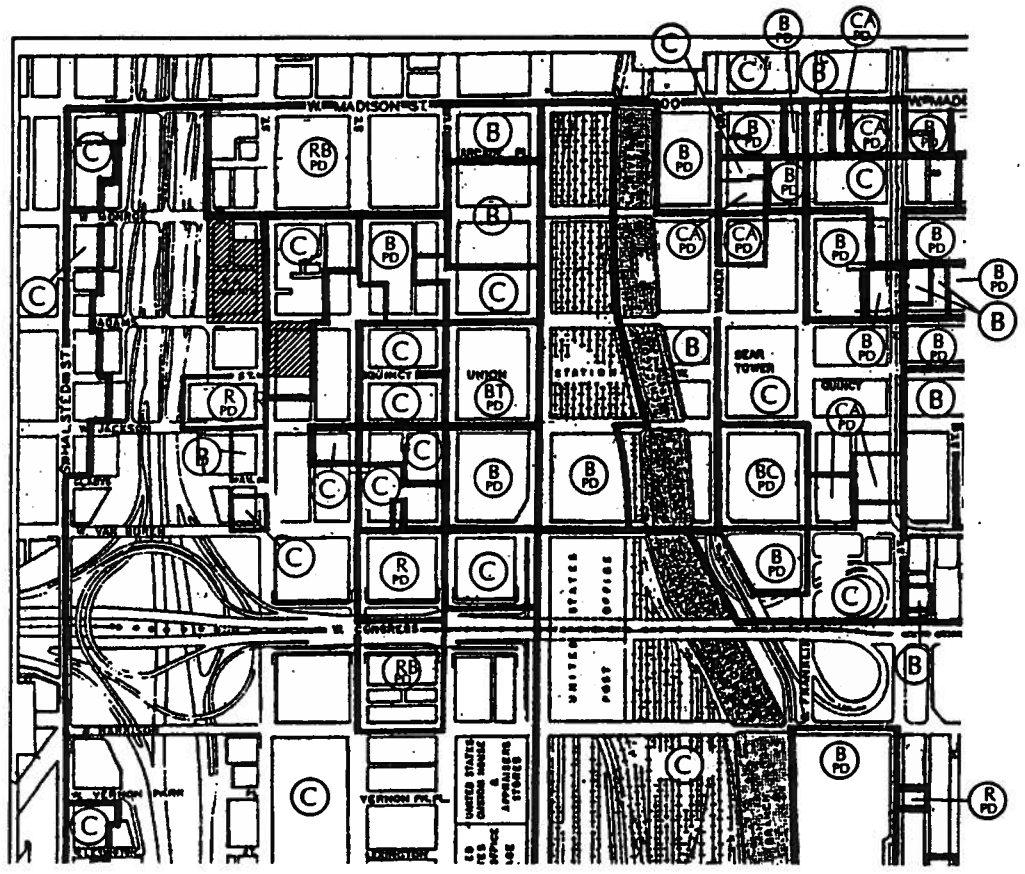


Existing Land-Use Map.

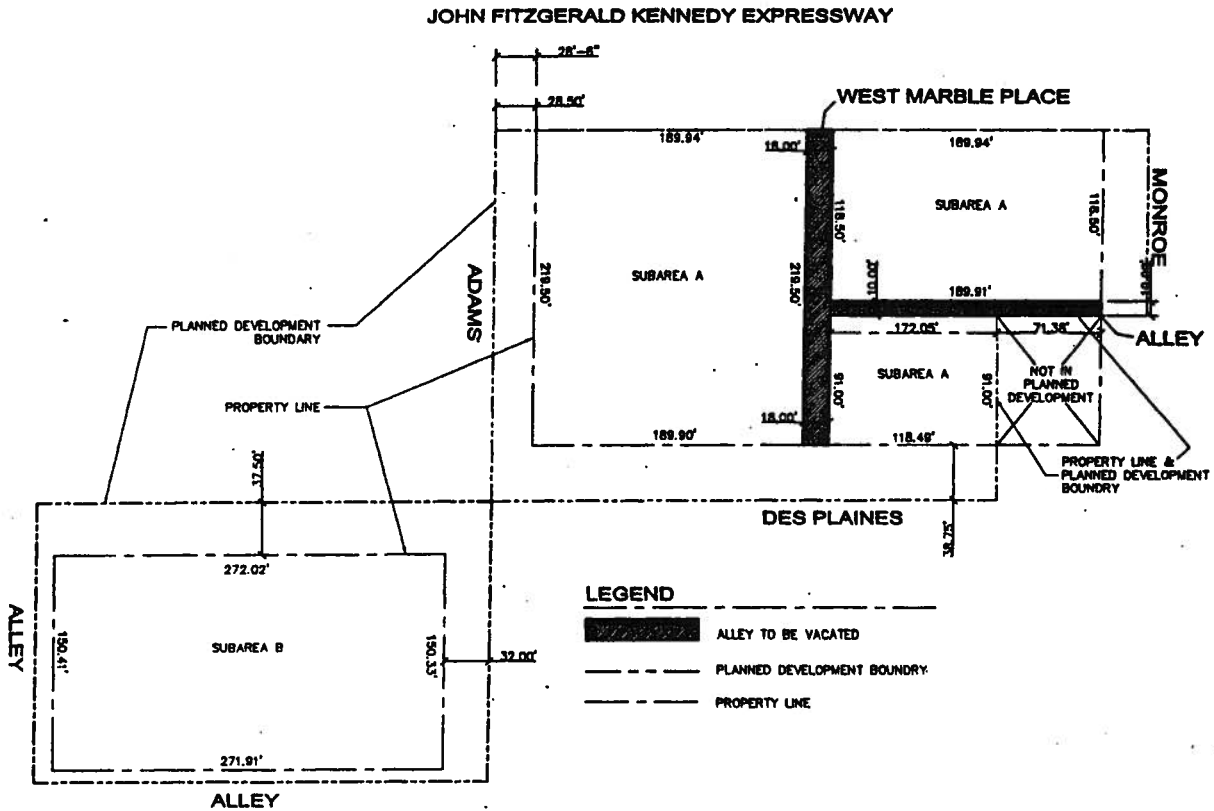
LEGEND

 PROPOSED SITE

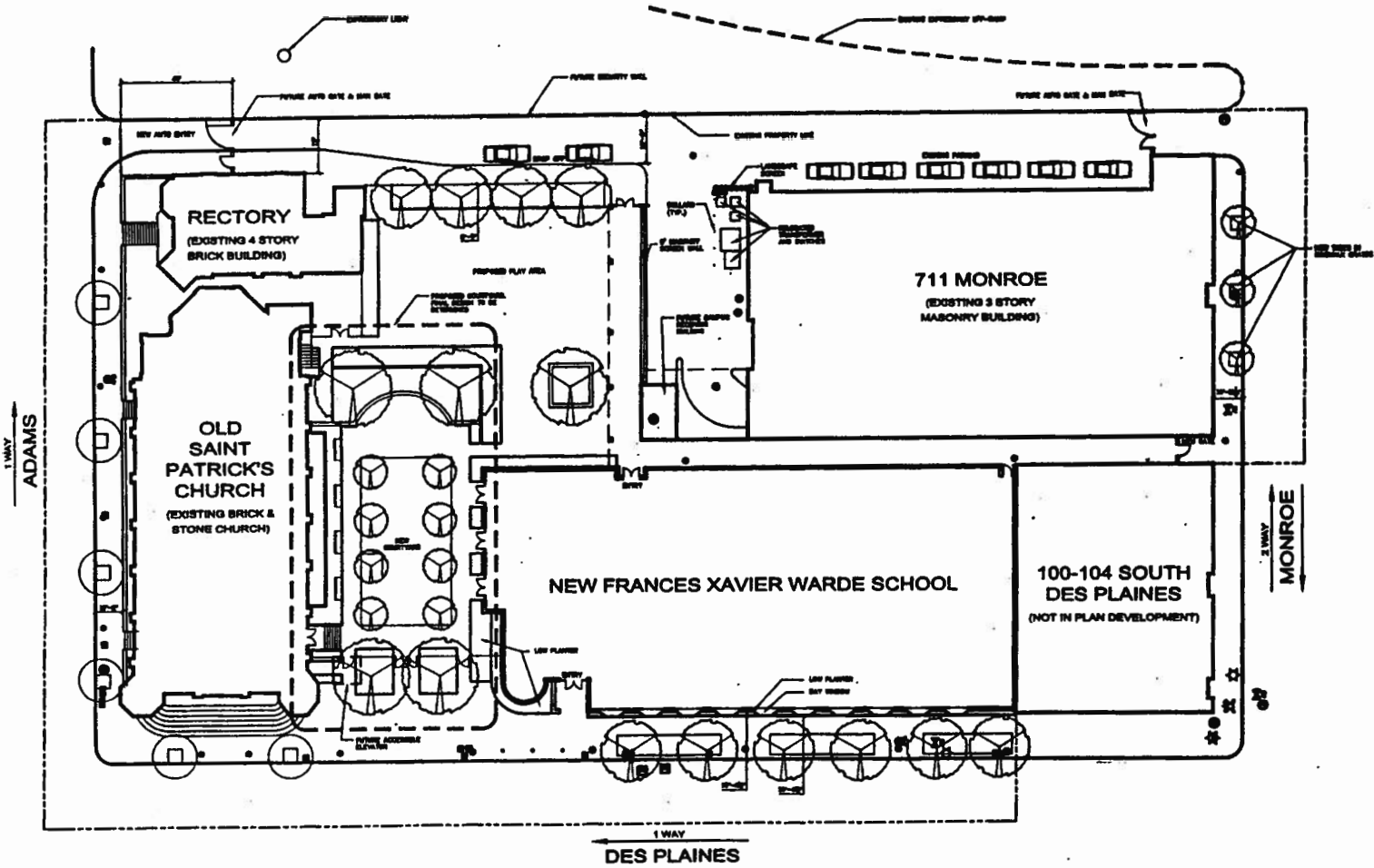
-  RESIDENTIAL P.D.
-  RESIDENTIAL -BUSINESS P.D.
-  BUSINESS
-  BUSINESS P.D.
-  BUSINESS-TRANSPORTATION P.D.
-  BUSINESS-COMMERCIAL P.D.
-  COMMERCIAL
-  COMMERCIAL P.D.
-  INSTITUTIONAL



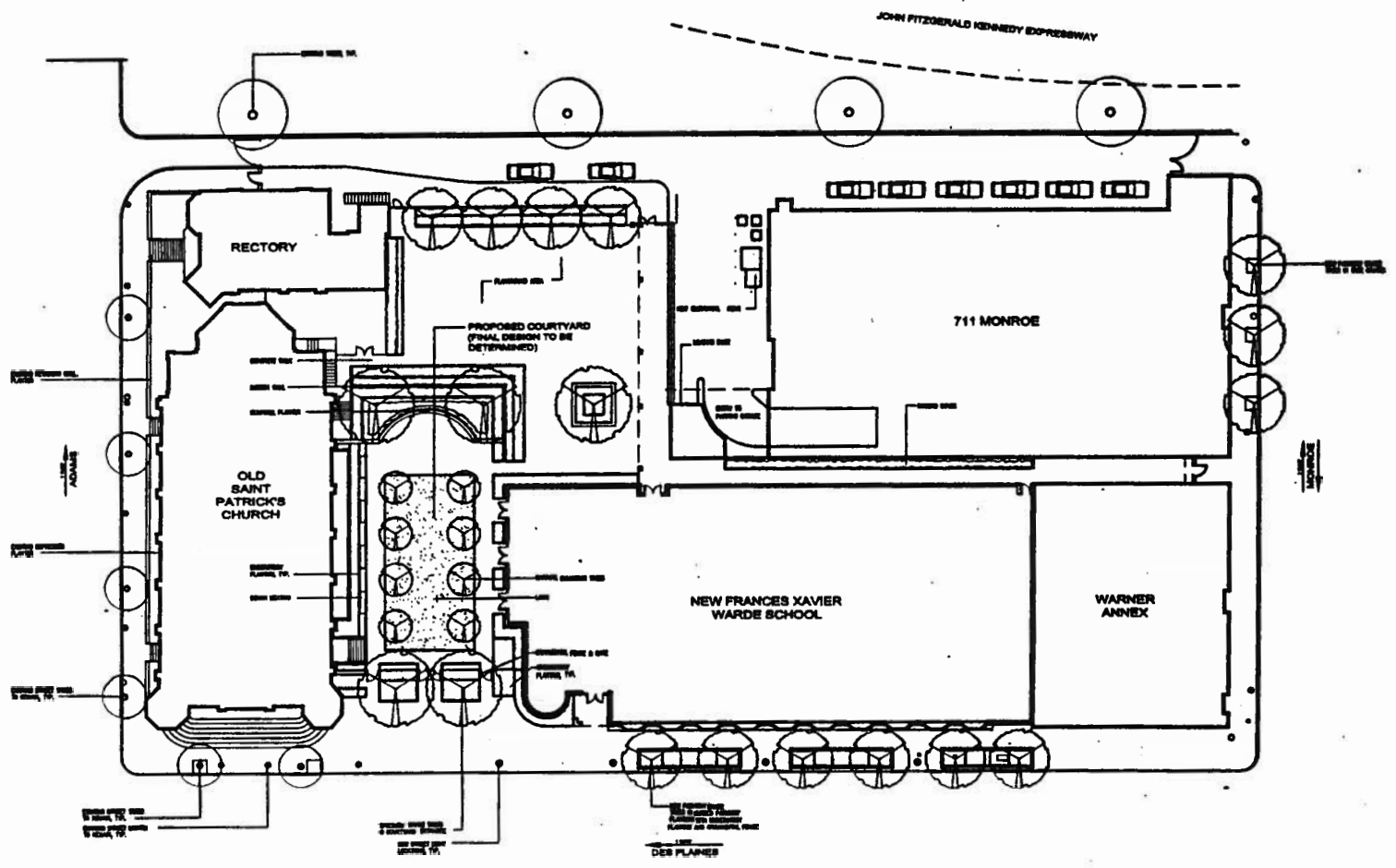
Planned Development Boundary, Property Line
And Right-Of-Way Adjustment Map.



Site Plan/Subarea "A".

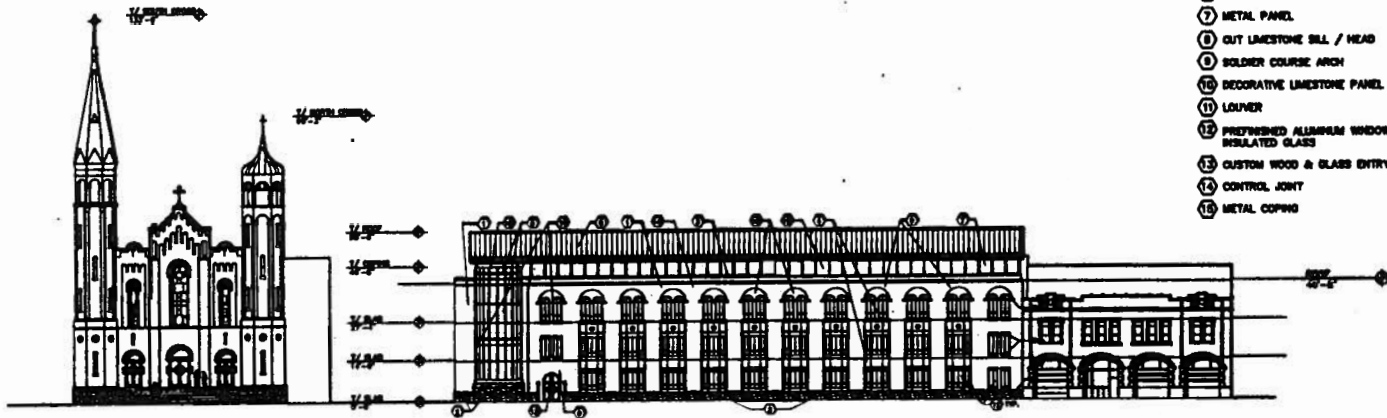


Landscape Plan/Subarea "A".

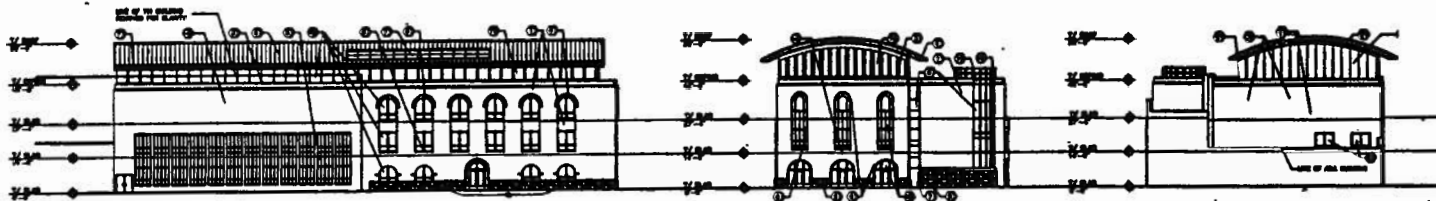


Building Elevations/Subarea "A".

- MATERIAL KEY**
- ① FACE BRICK
 - ② ROUGHLY COURSED LIMESTONE
 - ③ LIMESTONE COPING
 - ④ PREFINISHED METAL PANEL PROJECTED BAY
 - ⑤ MULTI-STORY GLASS CURTAIN WALL
 - ⑥ STANDING BEAM METAL ROOF
 - ⑦ METAL PANEL
 - ⑧ CUT LIMESTONE SILL / HEAD
 - ⑨ SOLDIER COURSE ARCH
 - ⑩ DECORATIVE LIMESTONE PANEL
 - ⑪ LOUVER
 - ⑫ PREFINISHED ALUMINUM WINDOW W/ 1" INSULATED GLASS
 - ⑬ CUSTOM WOOD & GLASS ENTRY DOOR
 - ⑭ CONTROL JOINT
 - ⑮ METAL COPING



EAST ELEVATION



WEST ELEVATION

SOUTH ELEVATION

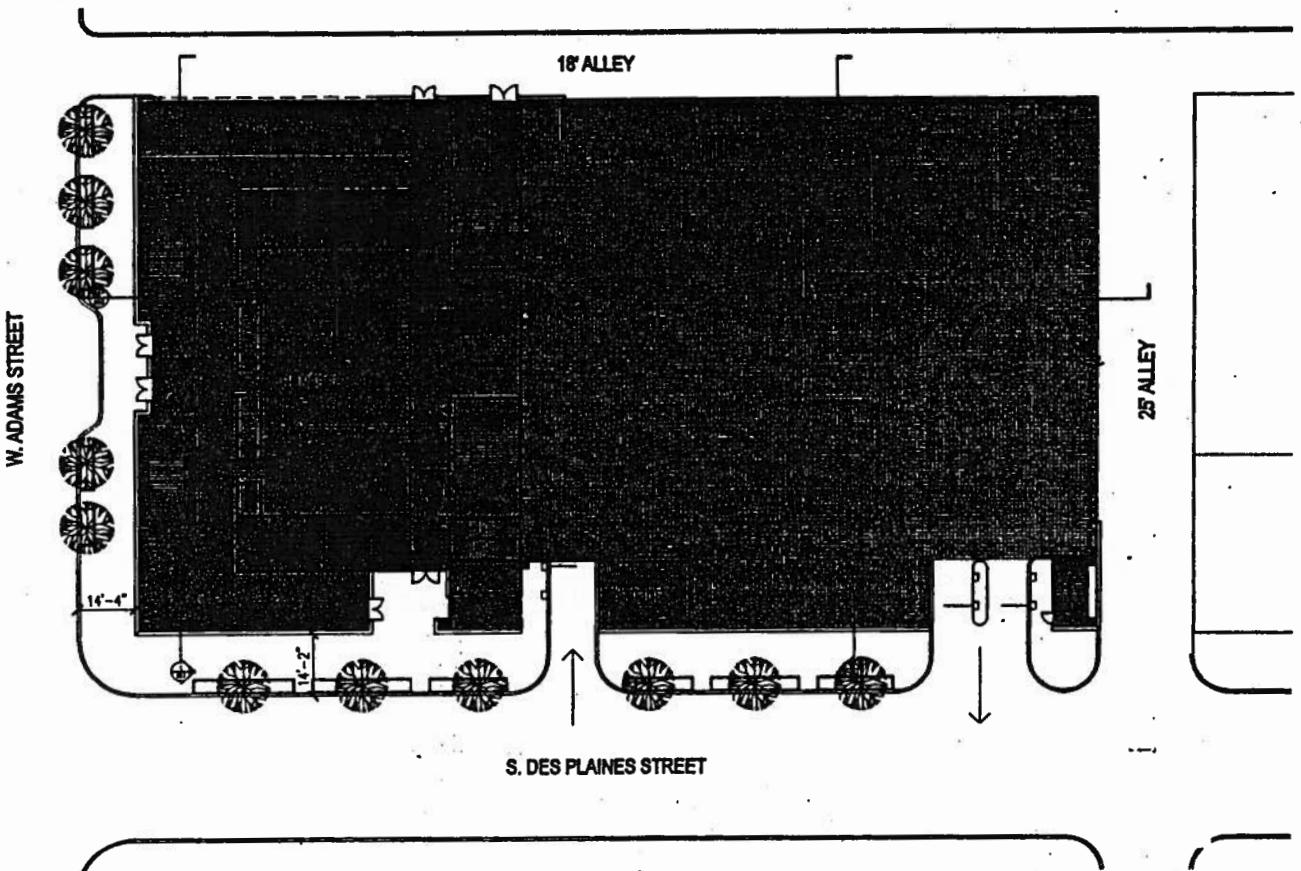
NORTH ELEVATION

9/4/2002

REPORTS OF COMMITTEES

93177

Site Landscape Plan/Subarea "B".



**Building Elevations/Subarea "B".
(Multi Purpose Function Space)**

