



July 20, 2021

Donna J. Pugh
Foley & Lardner LLP
321 N. Clark Street
Suite 2800
Chicago, IL 60654-5313

**Re: Minor Change to PD No. 82
2233 W. Division Street**

Dear Ms. Pugh:

Please be advised that your request for a minor change to Institutional Planned Development No. 82, ("PD 82") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 14 of PD 82.

On Jan. 8, 2019, a minor change was granted to allow a 2,800 SF addition to the southern portion of Saints Mary and Elizabeth Hospital. The property owner, AMITA Health, never completed the addition and the 2019 minor change has expired. They are now ready to move forward and are seeking a minor change to allow a 1-story, 2,650 SF addition for the relocation of two MRI machines. The addition will be joined to the Emergency Room and will be clad in a fiber cement panels to match the existing concrete building. The portion of the existing building near the heliport on Division Street, which currently houses the two MRI machines, will be removed and the front of the hospital restored. Once removed, additional landscaping will be provided at this location, as shown on the attached Landscape Plan. In addition to the Landscape Plan, the following drawings are attached: Overall Site Plan, MRI Addition Site Plan, East, South and West Elevations and Site Elevation.

Regarding your request, the Department of Planning and Development has determined that allowing the proposed addition will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

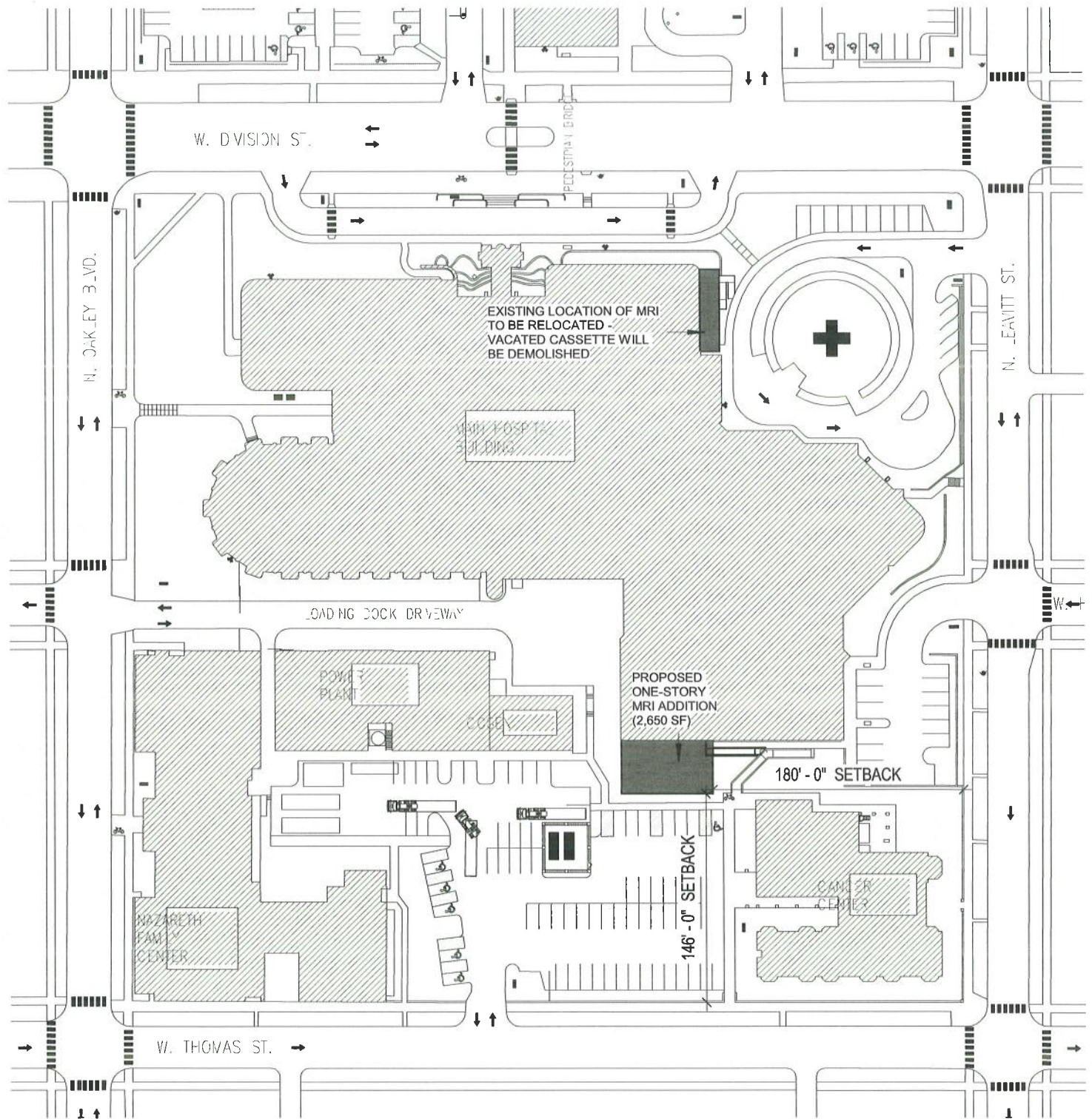
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 82, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

A handwritten signature in black ink, appearing to read "SAC", with a long horizontal line extending to the right.

Steven Valenziano
Assistant Zoning Administrator

C: Mike Marmo, Erik Glass, Noah Szafraniec, Main file



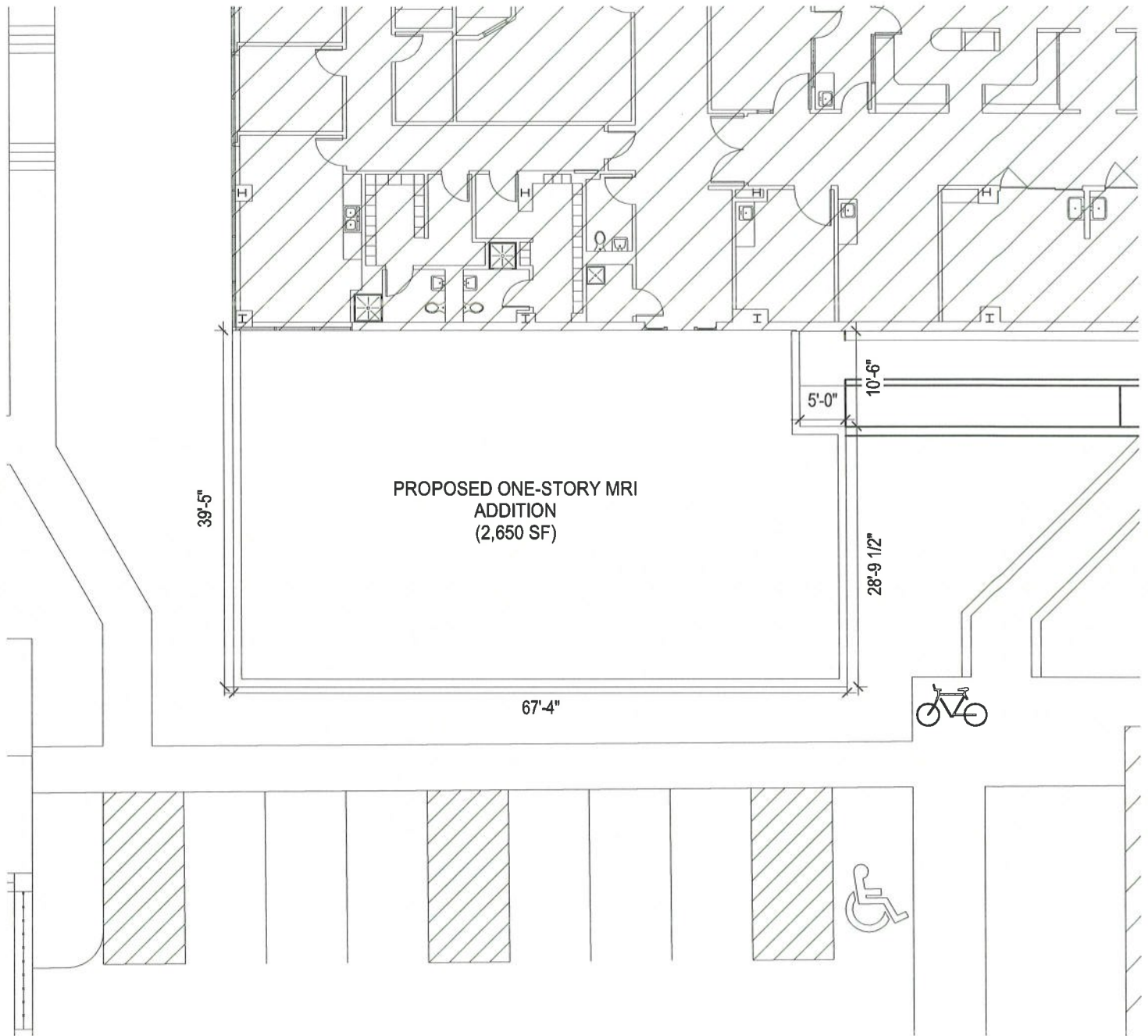
① SITE PLAN - OVERALL
1" = 100'-0"



JENSEN & HALSTEAD, LTD.
ARCHITECTURE • PLANNING • INTERIORS

AMITA Health
SAINT MARY AND ELIZABETH MEDICAL CENTER
MRI ADDITION

ASK-01
SME 21214
05.25.2021



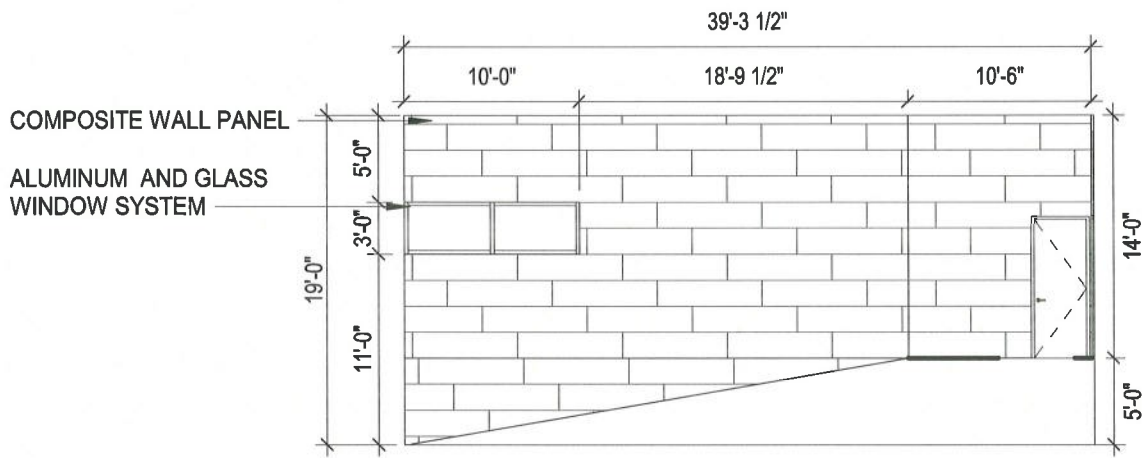
① SITE PLAN
1/16" = 1'-0"



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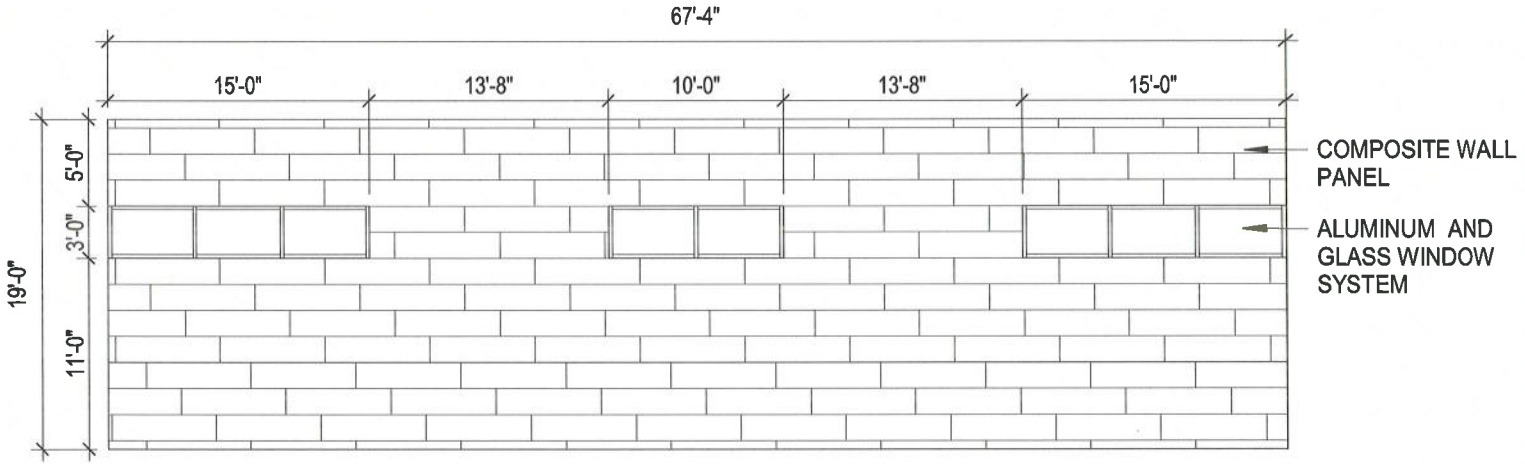
AMITA Health
SAINT MARY AND ELIZABETH MEDICAL CENTER
MRI ADDITION

ASK-02
SME 21214
05.25.2021



① EAST ELEVATION - ZONING
 3/32" = 1'-0"





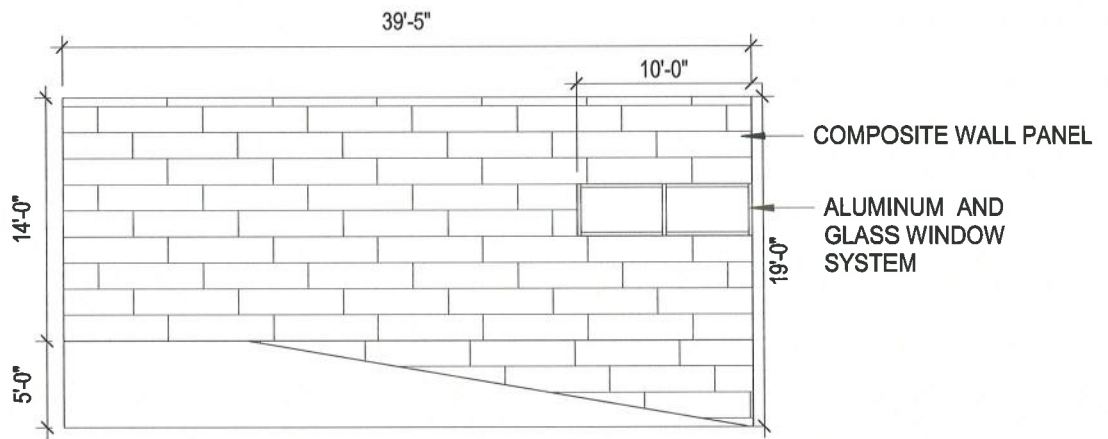
① SOUTH ELEVATION - ZONING
 $3/32" = 1'-0"$



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AMITA Health
SAINT MARY AND ELIZABETH MEDICAL CENTER
MRI ADDITION

ASK-04
 SME 21214
 05.25.2021



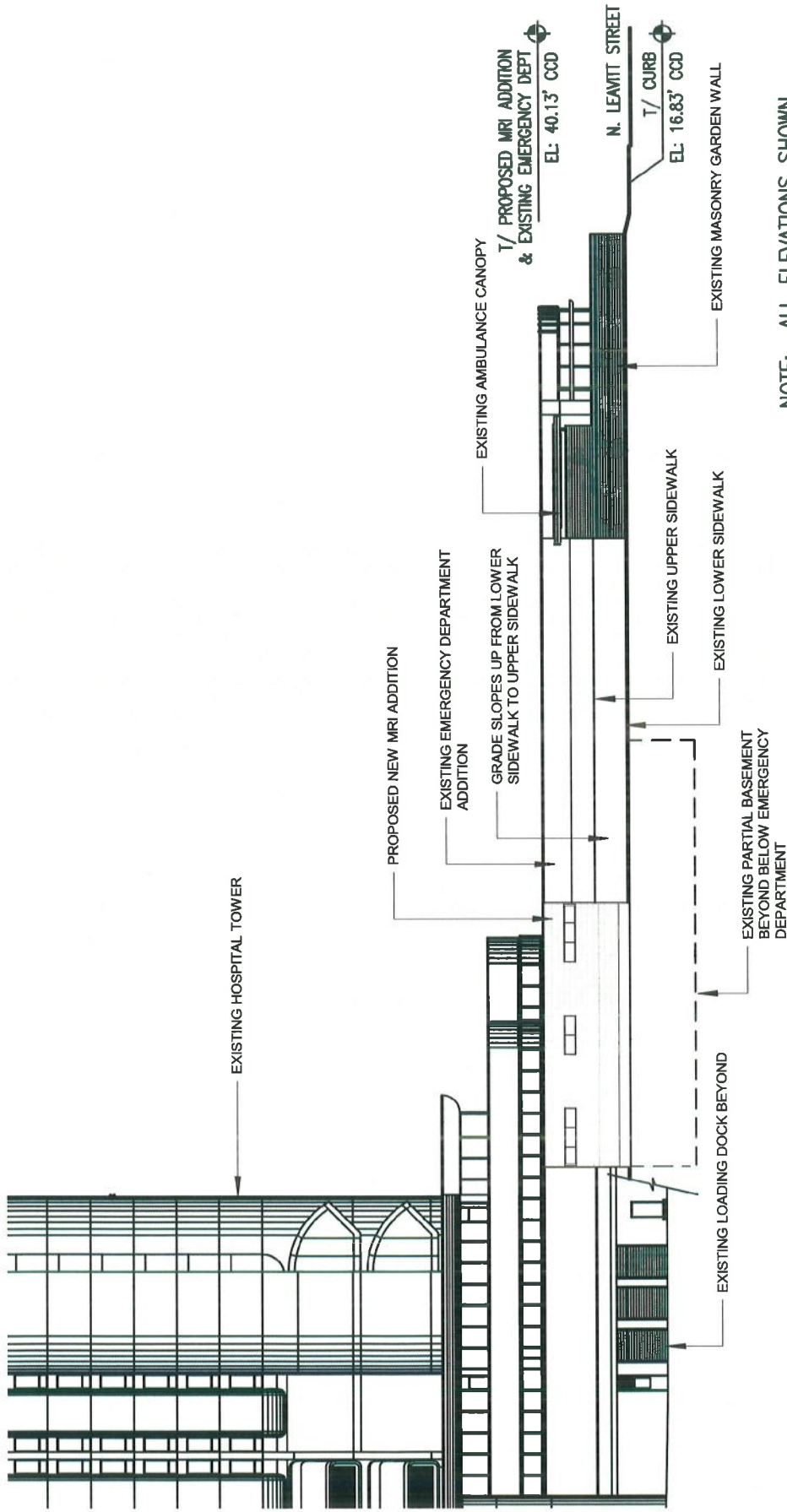
① WEST ELEVATION - ZONING
 $3/32" = 1'-0"$



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AMITA Health
SAINT MARY AND ELIZABETH MEDICAL CENTER
MRI ADDITION

ASK-05
 SME 21214
 05.25.2021



NOTE: ALL ELEVATIONS SHOWN ARE CHICAGO CITY DATUM

1 SITE ELEVATION
1" = 40'-0"



ASK-06
SME 21214
05.25.2021

AMITA Health
SAINT MARY AND ELIZABETH MEDICAL CENTER
MRI ADDITION



JENSEN & HALSTEAD, LTD.
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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 8, 2019

Donna J. Pugh
Foley & Lardner LLP
321 N. Clark St., Suite 2800
Chicago, IL 60654-5313

Re: Minor change request for PD No. 82, 2233 W. Division St.

Dear Ms. Pugh:

Please be advised that your request for a minor change to Institutional Planned Development No. 82, ("PD 82"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 14 of PD 82.

Your client and the owner of all of the property within PD 82, AMITA Health, is seeking a minor change to allow for a 2,800 square foot addition at the southern portion of the Saints Mary and Elizabeth Hospital. As shown on the attached, proposed Site Plan and Elevation, the one-story MRI addition will be clad in painted precast concrete to match the hospital's emergency room, which it will be attached to.

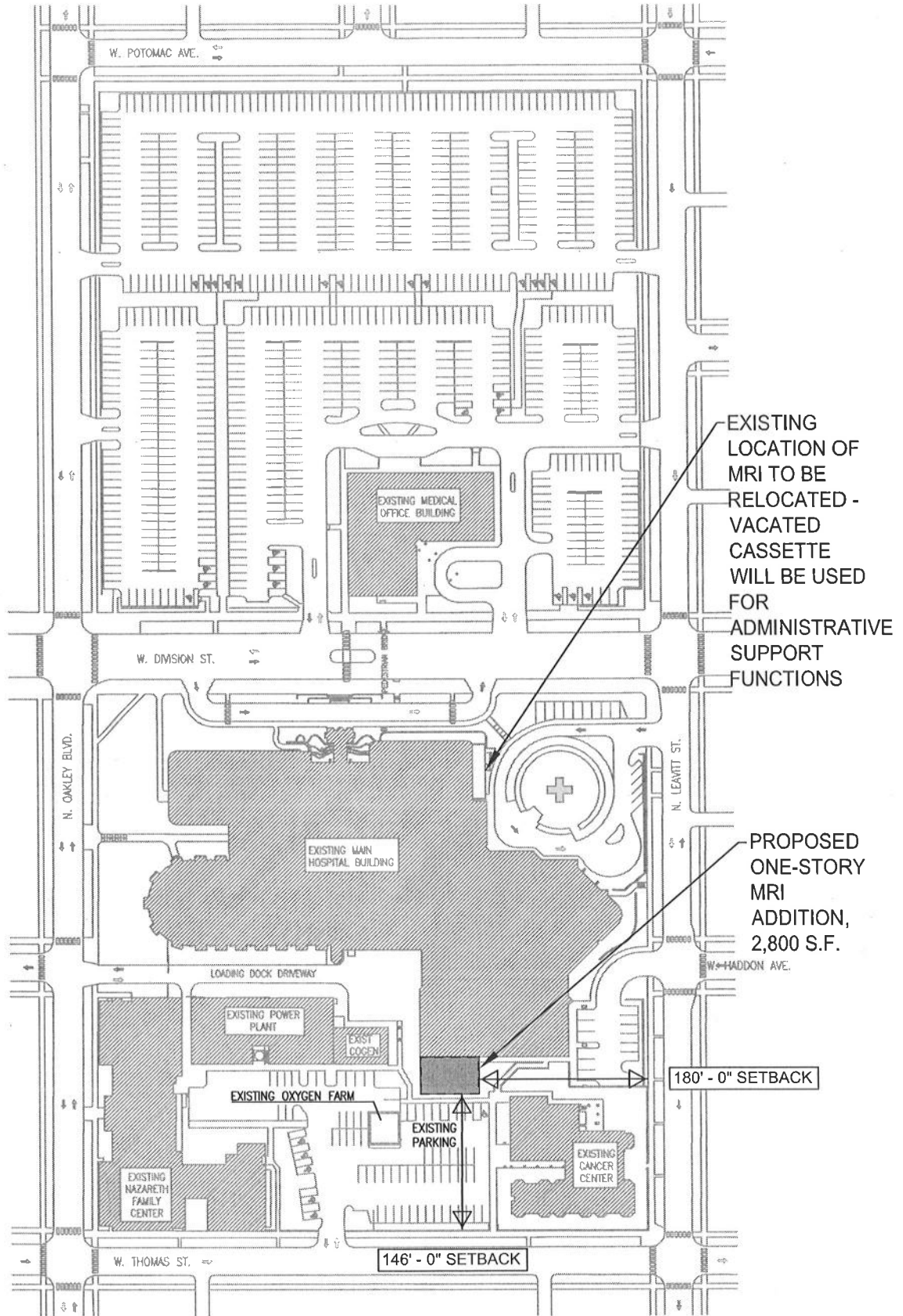
With regard to your request, the Department of Planning and Development has determined that allowing the proposed addition will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 82, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

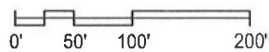

Patrick Mumphey
Zoning Administrator

C: Mike Marmo, Erik Glass, Main file



PROPOSED MRI ADDITION

SCALE: 1" = 100'

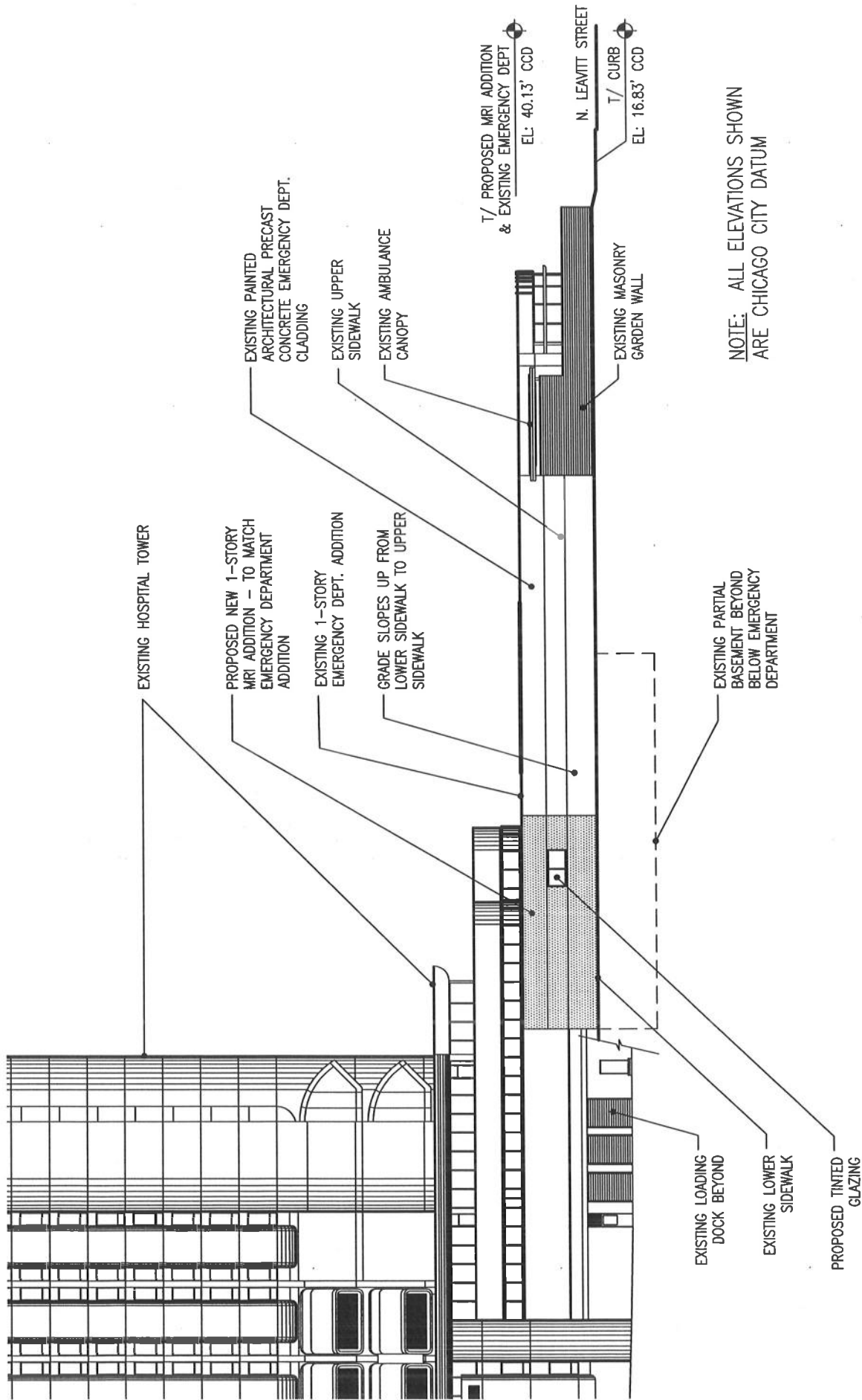


Loeb Schlossman & Heckl
Architecture • Planning • Interiors

SAINTS MARY AND ELIZABETH MEDICAL CENTER

SAINT MARY OF NAZARETH HOSPITAL CENTER
2233 WEST DIVISION STREET, CHICAGO, IL 60622

DECEMBER 12, 2018



SOUTH ELEVATION / SITE SECTION
 SCALE: 1" = 40'-0"



NOTE: ALL ELEVATIONS SHOWN ARE CHICAGO CITY DATUM

*Reclassification Of Area Shown On Map Number 3-H.
(As Amended)
(Application Number 14071)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Planned Development Number 82, B3-2 Community Shopping District and RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 3-H in the area bounded by:

West Potomac Avenue; North Leavitt Street; West Thomas Street; and North Oakley Boulevard,

to those of an RM5 Residential Multi-Unit District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be further amended by changing all the RM5 Residential Multi-Unit District symbols and indications in the area bounded by:

West Potomac Avenue; North Leavitt Street; West Thomas Street; and North Oakley Boulevard,

to the designation of Institutional Planned Development Number 82, as amended, and corresponding use districts are hereby established in the area above described, subject to the use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 82.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 82, as amended (the "Planned Development"), consists of

approximately six hundred ninety-five thousand eight hundred seventy-nine (695,879) net square feet (approximately fifteen and nine hundred seventy-five thousandths (15.975) acres) of real property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property") and is owned or controlled by the applicant, Resurrection Health Care, an Illinois not-for-profit corporation. All required disclosures are contained within the economic disclosure statements filed with the City of Chicago in accordance with the applicable requirements.

2. All applicable official reviews, approvals, or permits required in connection with this Planned Development shall be obtained by the applicant, its successors, assigns or grantees. Any dedication or vacation of streets and alleys, or easements or adjustments of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant, its successors, assigns or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the applicant. However, nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interest or obligations therein.
4. This plan of development consists of sixteen (16) statements; a Bulk Regulations and Data Table; a Planned Development Boundary and Property Line Map; an Existing Land-Use Area Map and Existing Zoning Map; a Site Plan; a Landscape Plan with Planting Details; a Green Roof Plan and Green Roof Specifications; Landscape Requirements Analysis; and Building Elevations. Full-size copies of the Site Plan, Landscape Plan, and Building Elevations are on file with the Department of Planning and Development. The Planned Development is applicable to the area delineated herein and these and no other zoning controls shall apply. The

Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The following uses shall be permitted in this Planned Development: hospital and related medical uses, educational and academic uses, research and medical facilities, convents, day care centers (adult and child), home health care services, nursing facilities, heliport, professional offices, limited accessory commercial uses without direct outside access, parking (accessory and non-accessory), related uses and accessory uses. Please note that although heliport is a permitted use, no heliport will be located north of West Division Street.
6. Identification and other necessary signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs such as construction and marketing signs shall be permitted.
7. Off-street parking and loading facilities shall be in compliance with this Planned Development, subject to the review and approval of the Departments of Transportation and Planning and Development. A minimum of two percent (2%) of all parking spaces shall be accessible parking.
8. Any service drive or any other means of ingress or egress, including for emergency vehicles, shall be adequately designed and paved in accordance with the provisions of the Municipal Code and the regulations of the Department of Transportation in effect at the time of construction. There shall be no parking within such paved areas or within fire lanes. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development.
9. In addition to the maximum height of the proposed buildings or any appurtenance thereto, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
10. For purposes of maximum floor area ratio ("F.A.R.") the definitions of the 2004 Chicago Zoning Ordinance shall apply. In addition, notwithstanding anything to the contrary, all parking provided shall be deemed accessory and not counted in the calculation of floor area.
11. The improvements on the Property, including the on-site exterior landscaping and the landscaping along the adjacent rights-of-way, and all

entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site Plan, Landscape Plan, Building Elevations and the Bulk Regulations and Data Table. In addition, parkway trees shall be installed, as necessary, and maintained in accordance with the parkway tree planting provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines, except as otherwise provided for herein and modified by the Landscape Plan and Landscape Requirements Analysis which reflects certain relief from applicable regulations.

- A. As the corporate entity of Saints Mary and Elizabeth Medical Center includes both the Saint Mary's campus (Planned Development Number 82) and the Saint Elizabeth's campus (Planned Development Number 12), off-site accessory parking (required and non-required) for Saint Mary's campus is permitted at Saint Elizabeth's campus, and no further approvals are required.
 - B. Green Roof. The applicant shall install a vegetative green roof of at least six thousand three hundred sixteen (6,316) square feet in conformance with the Green Roof Plan. The location of the green roof is subject to change subject to the approval of the Department of Planning and Development. In addition, the applicant shall not be required to install the green roof prior to issuance of a Partial Certificate of Occupancy for the Emergency Department addition. Rather, the green roof shall be installed within six (6) months after the issuance of the Partial Certificate of Occupancy for the Emergency Department addition.
12. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner that promotes, enables and maximizes access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
 13. Except for those plans which are approved and are referenced in Statement 4 above, prior to the issuance by the Department of Planning and Development of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II approval") for development or redevelopment of any development parcels within the Planned

Development, a site plan for the proposed development, including parking areas and street access, shall be submitted to the Commissioner of the Department of Planning and Development for approval. No Part II approval for work for which a site plan must be submitted to the Commissioner shall be granted until the site plan has been approved by the Commissioner.

Following approval of a site plan by the Commissioner, the approved plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this Planned Development. The approved site plan may be changed or modified pursuant to the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 14 of this plan of development.

A site plan shall, at a minimum, provide the following information with respect to the proposed improvements:

- A. the boundaries of the Property;
- B. the footprint of the improvements;
- C. location and dimensions of all loading berths;
- D. preliminary landscaping plan prepared by a landscape architect with final landscaping plan to be approved at Part II stage;
- E. all pedestrian circulation routes;
- F. the location of any adjacent public improvements;
- G. preliminary elevations of the improvements; and
- H. statistical information applicable to the Property limited to the following:
 - i. floor area and floor area ratio;
 - ii. uses to be established;
 - iii. building heights; and
 - iv. all setbacks, required and provided.

A site plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this Planned Development.

14. The terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such modification by the applicant and after a determination by the Commissioner of Planning and Development that such modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of the Planned Development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
15. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development.
16. As this is an existing Planned Development with existing buildings, the Chicago Zoning Code's Section 17-13-0612 entitled "Lapse of Approval" is deemed satisfied and therefore, no sunset provisions apply.

[Planned Development Boundary and Property Line Map; Existing Land-Use Area Map and Existing Zoning Map; Site Plan; Green Roof Plan; Green Roof Specifications; Landscape Requirements Analysis; and Building Elevations referred to in these Plan of Development Statements printed on pages 42486 through 42497 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Institutional Planned Development Number 82.**Bulk Regulations And Data Table.*

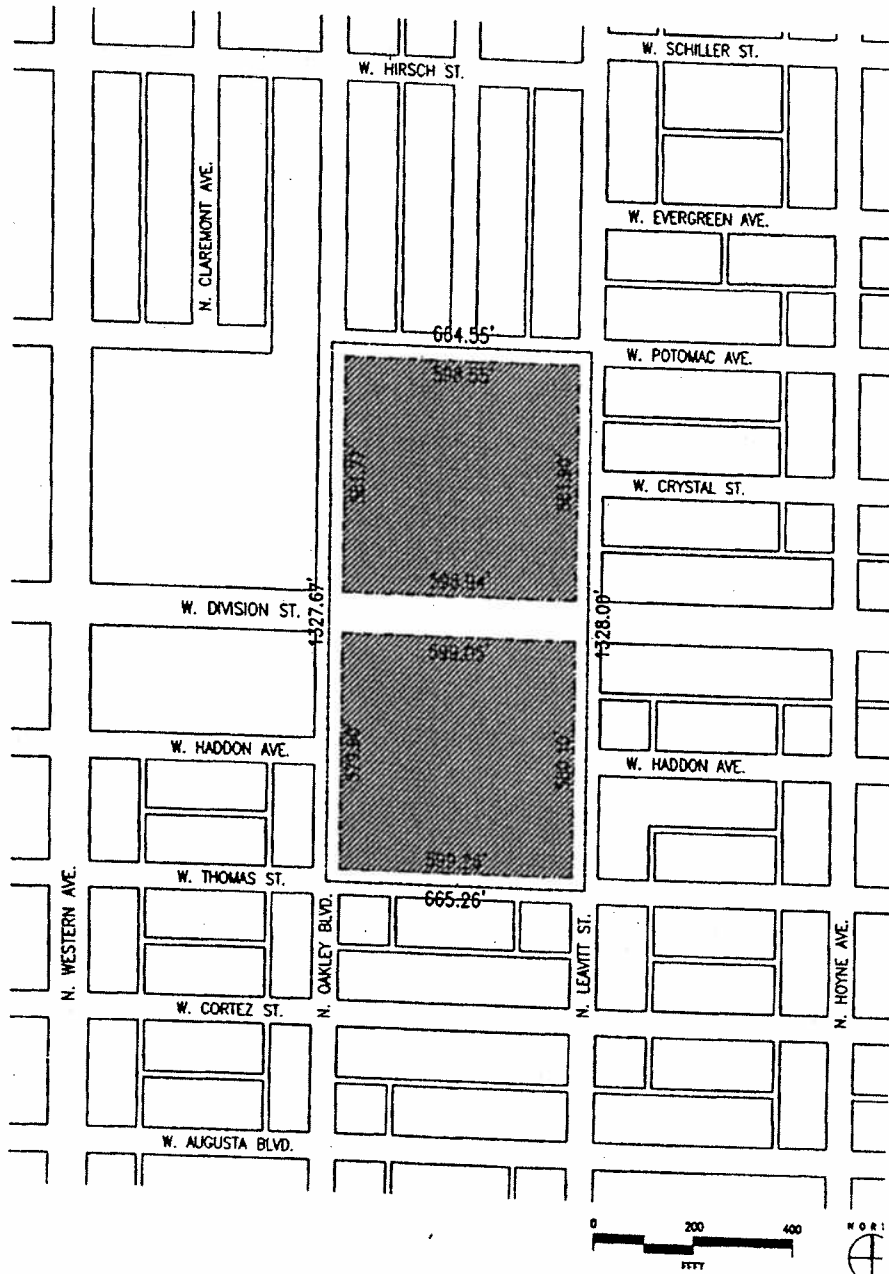
- | | |
|--|---|
| 1. Net Site Area: | 695,879 square feet (approximately
15.975 acres) |
| 2. Maximum Floor Area Ratio
for Total Net Site Area (see
parking exclusions set forth
in Plan of Development
Statement Number 10): | 2.0 |
| 3. Maximum Percentage of Land
coverage (excludes impervious
surfaces): | 75% |
| 4. Minimum Number of Off-Street
Parking Spaces: | 560 |
| 5. Minimum Number of Off-Street
Loading Spaces: | 3 |
| 6. Minimum Periphery Setbacks
(for buildings): | |
| A. South side of West Division
Street: | 41 feet; except for the Skybridge
traversing West Division Street for which
the setback is 0 feet, for the entry
vestibule for which the setback is 27 feet,
and the canopy (a permitted obstruction)
for which the setback is 14 feet |
| B. North side of West Division
Street: | 17 feet; except for the Skybridge
traversing West Division Street for which
the setback is 0 feet |
| C. North Leavitt Street (north
and south of West Division
Street): | 15 feet |

- D. North Oakley Boulevard (south of West Division Street): 15 feet; except 0 feet at the existing Nazareth Family Center
- E. North Oakley Boulevard (north of West Division Street): 15 feet
- F. West Thomas Street: 15 feet; except 0 feet at the existing Nazareth Family Center
- G. West Potomac Avenue: 15 feet
- H. The following shall be allowed as permitted obstructions in all yards: parking, stair/steps, sidewalks, fences/gates/stone piers/retaining walls and screening walls (exceeding 7 feet in height), planter boxes, eaves, canopies, signage, lighting, enclosed or partially enclosed walkways, skybridge supports, benches heliport, flagpoles, statuary and bollards
7. Minimum Distances Between Buildings: 0 feet
8. Building Heights (excludes penthouses, mechanical equipment, stair and/or elevator towers, antennas, heliports, parapets and similar appurtenances):
- South of West Division Street: 250 feet
- North of West Division Street: 145 feet

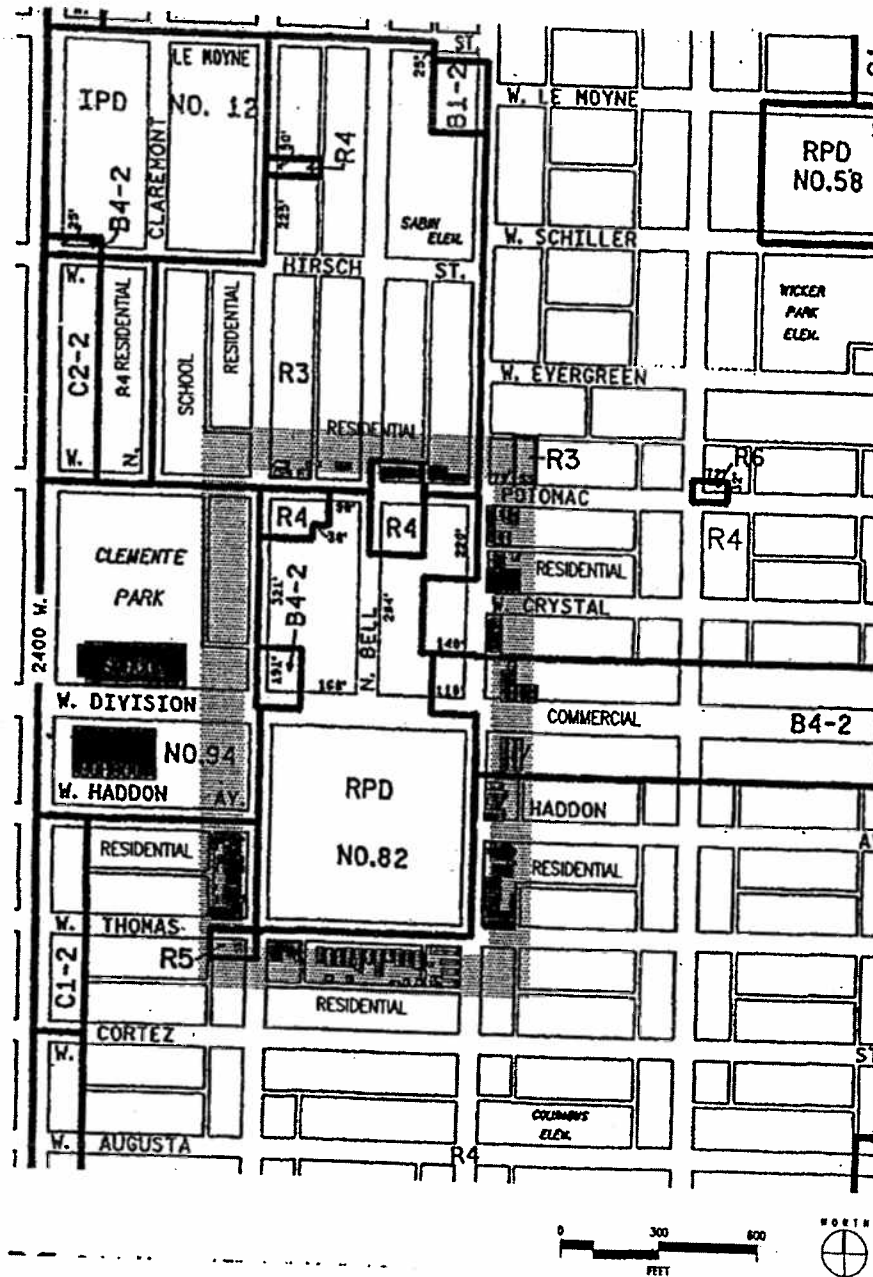
Setback and yard requirements may be adjusted where required to permit conformance to the pattern of, or architectural arrangement related to, existing structures, or when necessary because of technical reasons, subject to the approval of the Department of Planning and Development.

These regulations relate to the ultimate development within the planned development area. Interim stages of development may exceed these permitted standards, subject to the approval of the Department of Planning and Development.

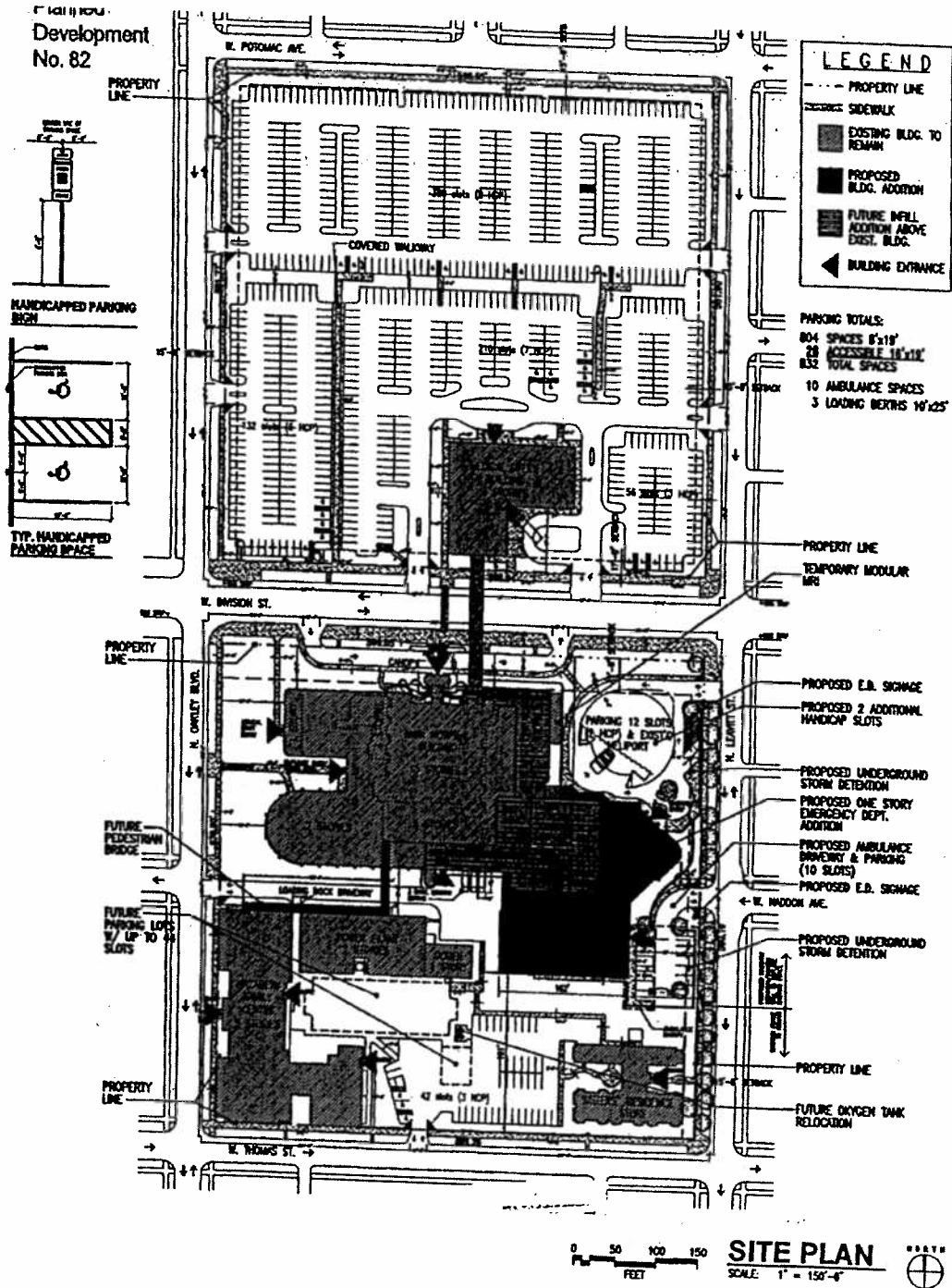
Planned Development Boundary
And Property Line Map.



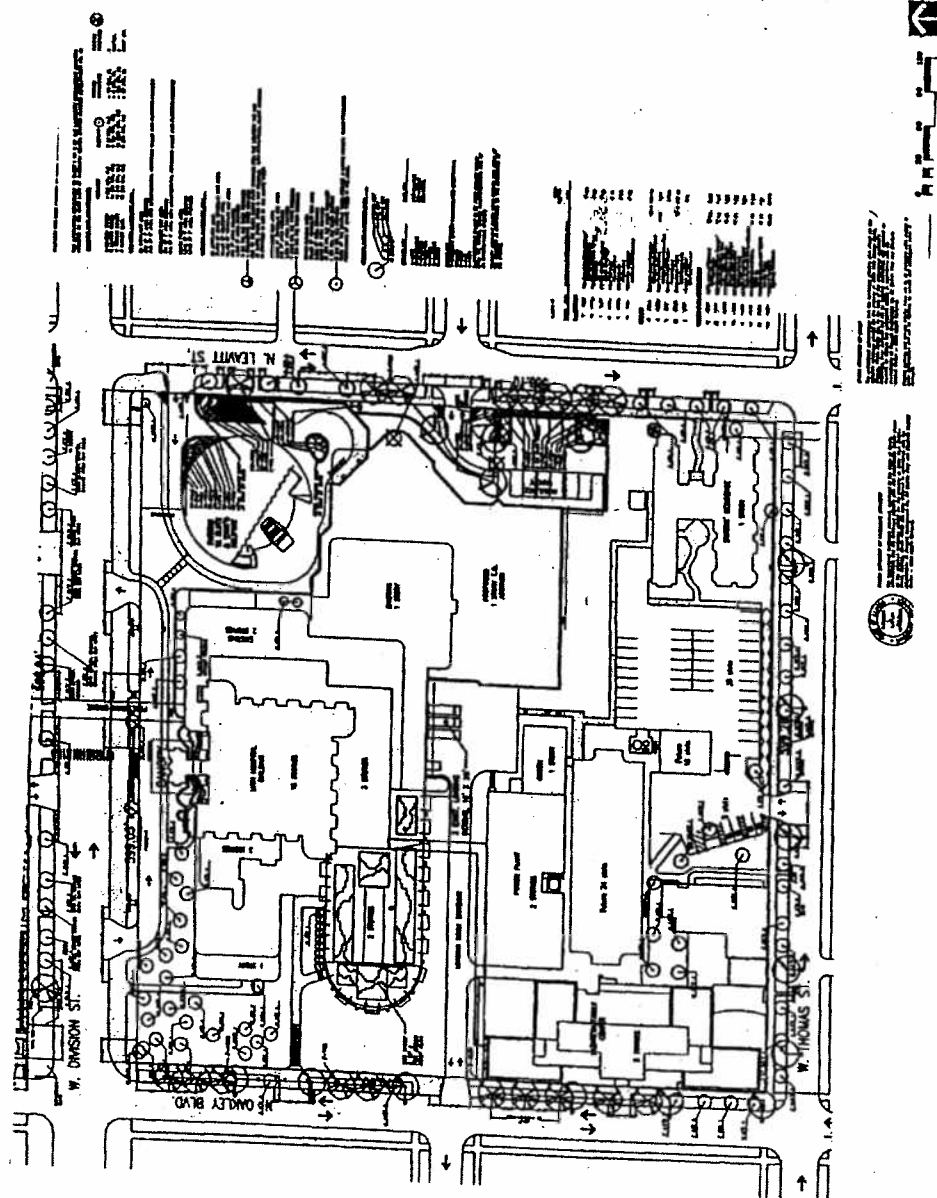
Existing Land-Use Area Map
And Existing Zoning Map.



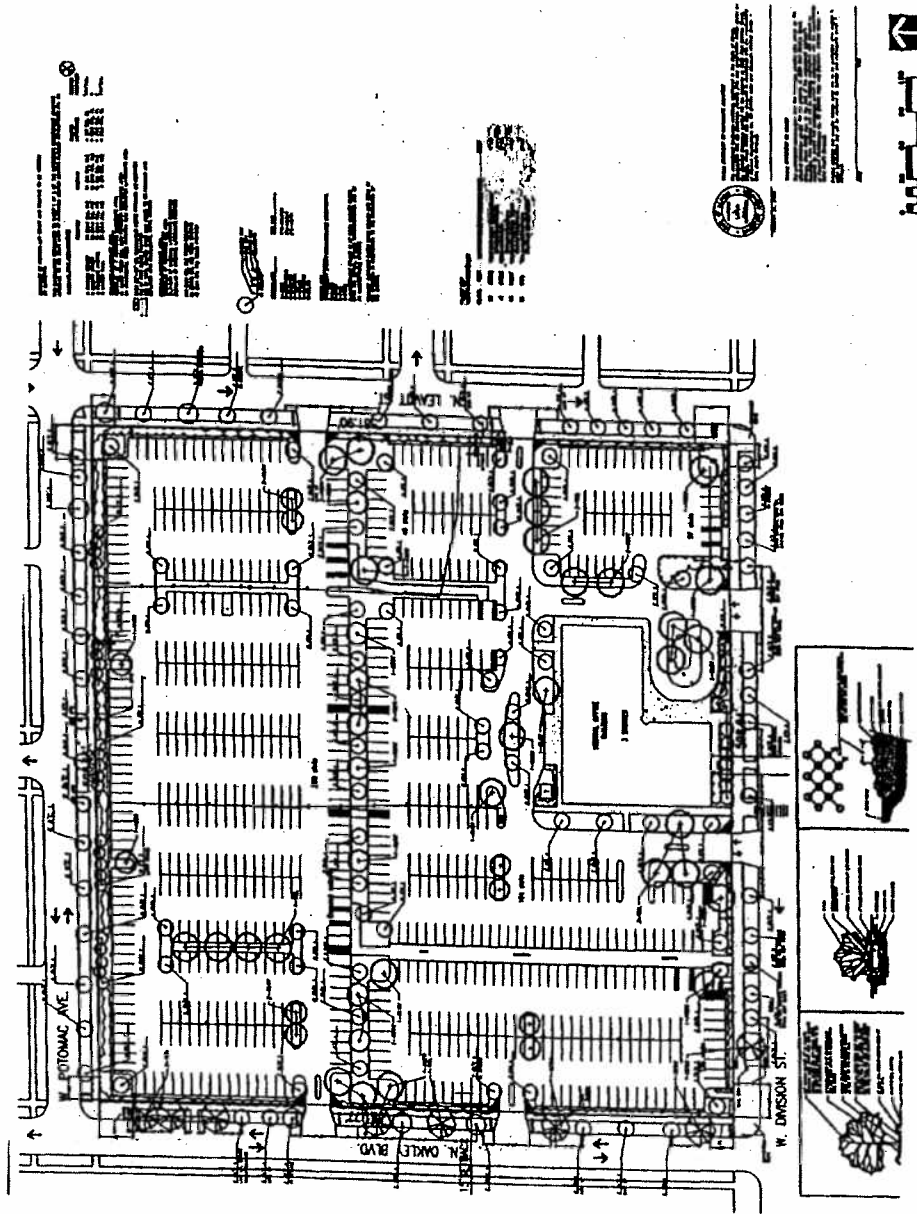
Site Plan.



Tree Inventory And Landscape Development Plans.
(Page 1 of 2)



Tree Inventory And Landscape Development Plans.
(Page 2 of 2)





Landscape Requirement Analysis.
(Page 1 of 2)

THIS INFORMATION REFERENCED FROM SHEET 1 OF 5 OF THE LANDSCAPE DEVELOPMENT PLANS FOR THE SAINT MARY OF NAZARETH CENTER CAMPUS-PLANNED DEVELOPMENT NO. 82

ATTACHED TO THE SAINT MARY OF NAZARETH CENTER CAMPUS PLANNED DEVELOPMENT NO. 82

PARKWAY TREE REQUIREMENTS

	REQUIRED	EXISTING 	CALIPER DIFFERENCE	CALIPER PROPOSED 
N DIVISION STREET	4 (10 CAL. IN.)	0 (0 CAL. IN.)	- 10 CAL. IN.	0
N LEAVITT STREET	14 (35 CAL. IN.)	9 (44 CAL. IN.)	+ 9 CAL. IN.	60" CAL
W THOMAS STREET	16 (40 CAL. IN.)	19 (229 CAL. IN.)	+ 189 CAL. IN.	0
N OAKLEY BLVD.	13 (33 CAL. IN.)	8 (90 CAL. IN.)	+ 57 CAL. IN.	100" CAL

PERIMETER LANDSCAPE AREA

ED DROP-OFF AREA
623 SF 7' AREA REQUIRED
245 SF 2' AREA WITH ARCHITECTURAL RETAINING WALLS AND PLANTING PROVIDED

AMBULANCE BAY AREA
714 SF 7' AREA REQUIRED
615 SF 6' AREA WITH ARCHITECTURAL RETAINING WALLS AND PLANTING PROVIDED

SOUTH PARKING AREA
1,542 SF 7' AREA REQUIRED
1,542 SF 7' AREA PROVIDED

INTERNAL LANDSCAPE AREA

ED DROP-OFF AREA
21,680 SF GROSS VEHICULAR USE AREA
10,888 SF HELIPORT AREA
10,792 SF VEHICULAR USE AREA
810 SF AREA REQUIRED
1,353 SF AREA PROVIDED
6 (15 CAL IN.) TREES REQUIRED
4 ORNAMENTAL TREES PROVIDED
DUE TO THE CLEAR FLIGHT PATH REQUIRED FOR THE HELIPORT THE USE OF LARGE SHADE TREES IS NOT FEASIBLE. LOW ORNAMENTAL PLANT MATERIAL IS PROVIDED IN LIEU OF THE SHADE TREES

AMBULANCE BAY AREA
7,265 SF VEHICULAR USE AREA
545 SF AREA REQUIRED
1,389 SF AREA PROVIDED
5 (12.5 CAL IN.) TREES REQUIRED
-4 (16 CAL IN.) TREES PROVIDED

SOUTH PARKING AREA
35,021 SF VEHICULAR USE AREA
3,502 SF AREA REQUIRED
5,608 SF AREA PROVIDED
28 (70 CAL IN.) TREES REQUIRED
4 (66 CAL IN.) TREES EXISTING
-12 (48 CAL IN.) PROVIDED
THREE OF THE EXISTING TREES PROVIDE A LARGE CANOPY WHICH PRECLUDES INSTALLATION OF SHADE TREES IN THE AREA.

Landscape Requirement Analysis.
(Page 2 of 2)

THIS INFORMATION REFERENCED FROM SHEET 2 OF 5 OF THE LANDSCAPE DEVELOPMENT PLANS FOR THE SAINT MARY OF NAZARETH CENTER CAMPUS PLANNED DEVELOPMENT NO. B2

THIS INFORMATION REFERENCED TO SHEET 1 OF 2 OF THE LANDSCAPE REQUIREMENT ANALYSIS ATTACHED TO THE SAINT MARY OF NAZARETH CENTER CAMPUS PLANNED DEVELOPMENT NO. B2

PARKWAY TREE REQUIREMENTS

	REQUIRED	EXISTING	CALIPER DIFFERENCE	CALIPER PROPOSED
N DIVISION STREET	24 (60.0 CAL. IN.)	14 (56 CAL. IN.)	- 4.0 CAL. IN.	10 1/4" CAL.
N LEAVITT STREET	23 (57.5 CAL. IN.)	13 (110 CAL. IN.)	+ 52.5 CAL. IN.	0
N POTOMAC AVENUE	24 (60.0 CAL. IN.)	16 (94 CAL. IN.)	+ 34.0 CAL. IN.	0
N OAKLEY BLVD.	23 (57.5 CAL. IN.)	8 (90 CAL. IN.)	+ 32.5 CAL. IN.	7 1/4" CAL.

PERIMETER LANDSCAPE AREA

- 13,982.32 SF 7' PERIMETER LANDSCAPE AREA
- 61 SHADE TREES REQ. W/IN PERIMETER LANDSCAPE AREA
- 24 ORNAMENTAL TREES PROVIDED W/IN PERIMETER LANDSCAPE AREA
- 100% 30"-42" HT. CONTINUOUS HEDGE PROVIDED AS REQUIRED
- 812 LF IRON FENCE PROVIDED
- 930 LF VINYL COATED CHAIN LINK FENCE TO BE REMOVED AND REPLACED WITH ORNAMENTAL METAL FENCING

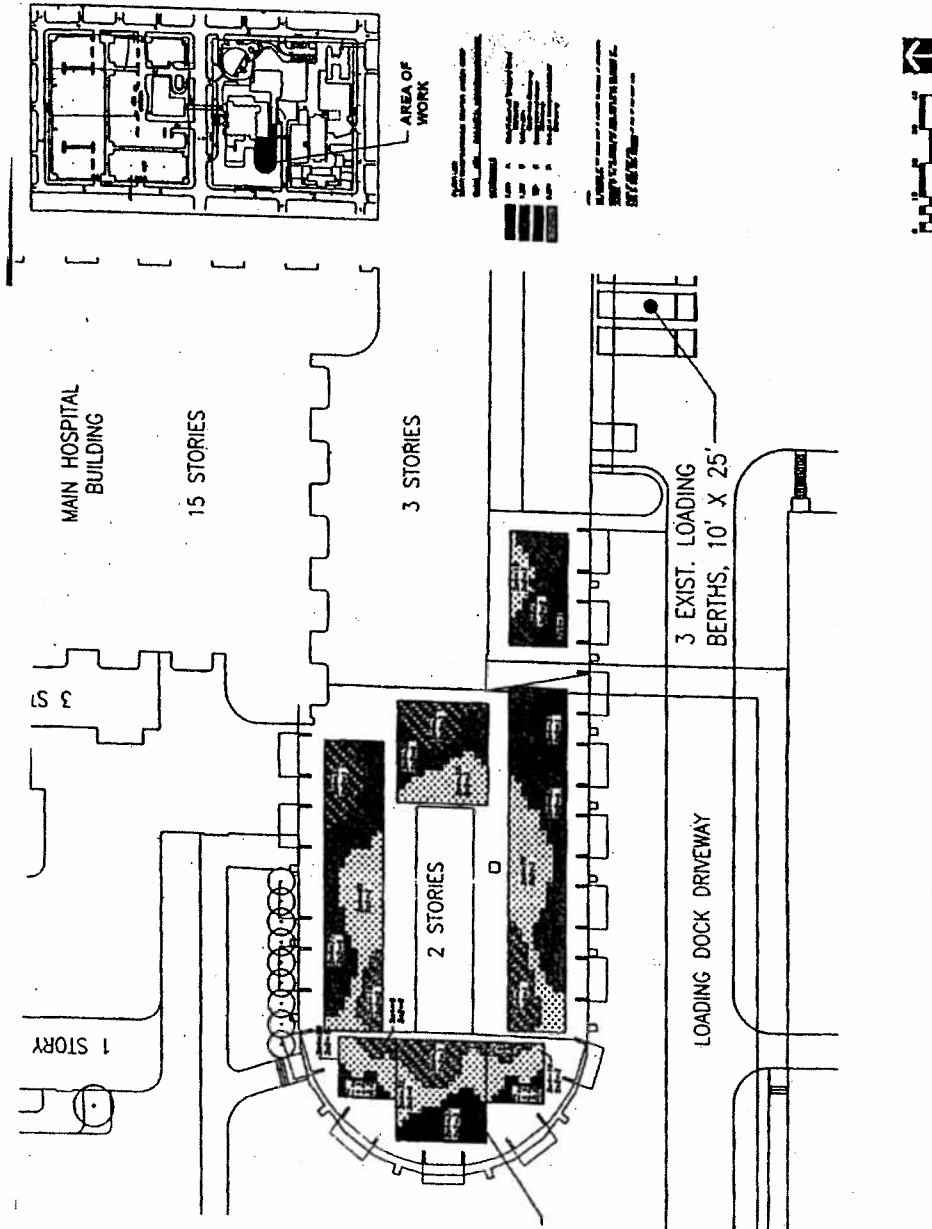
INTERNAL LANDSCAPE AREA

- 265,189.25 SF VEHICULAR USE AREA
- 26,518.93 SF INTERNAL LANDSCAPE REQUIRED
- 37,929.40 SF INTERNAL LANDSCAPE PROVIDED

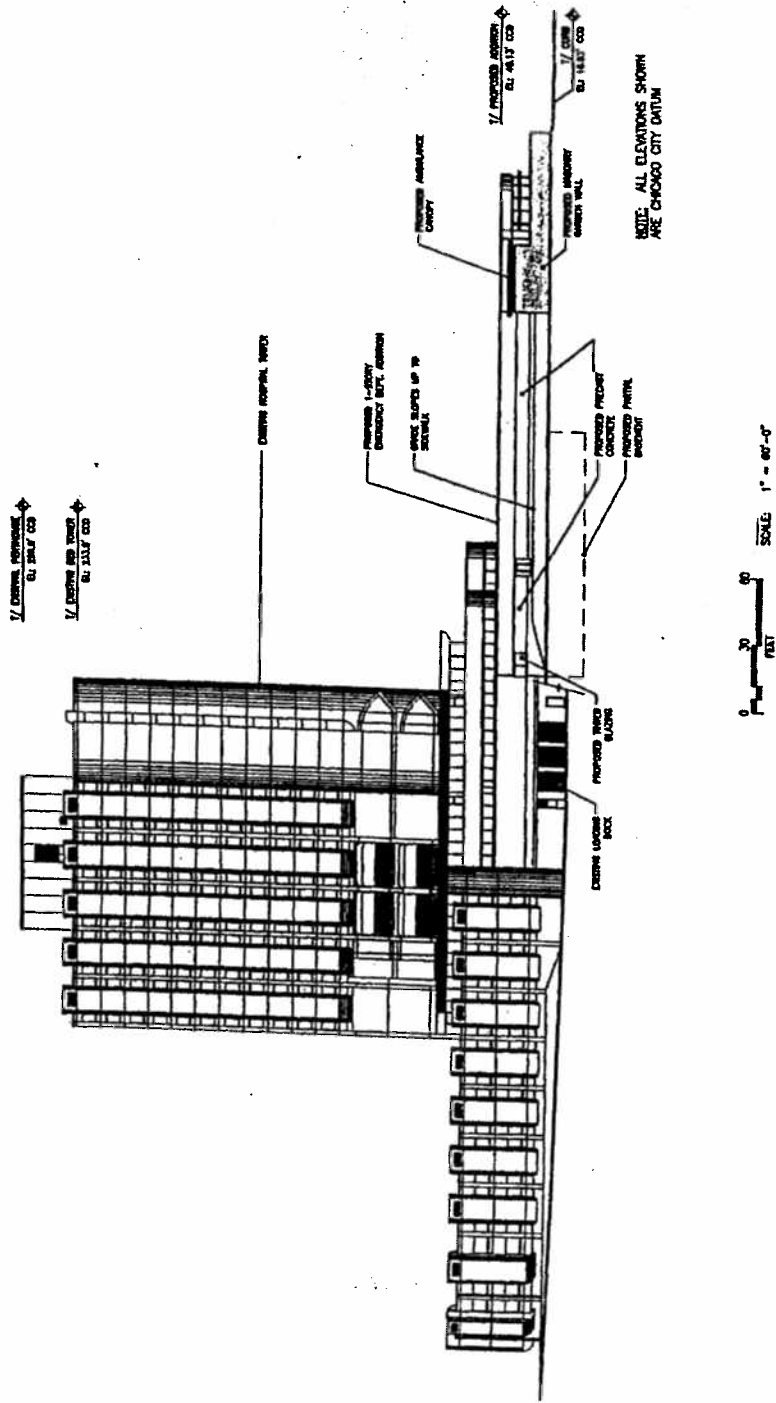
- 212 (530 CAL IN.) TREES REQUIRED
- 56 (317.5 CAL IN.) TREES EXISTING
- 47 (184 CAL IN.) TREES PROVIDED



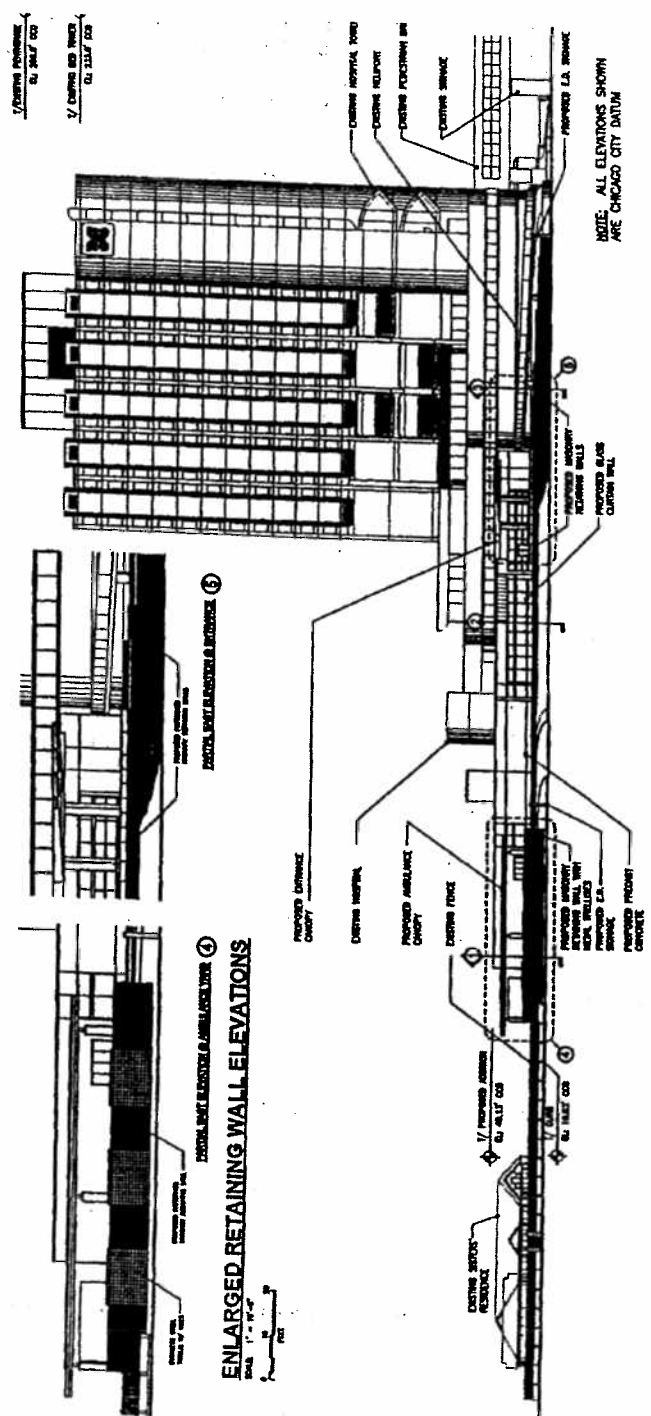
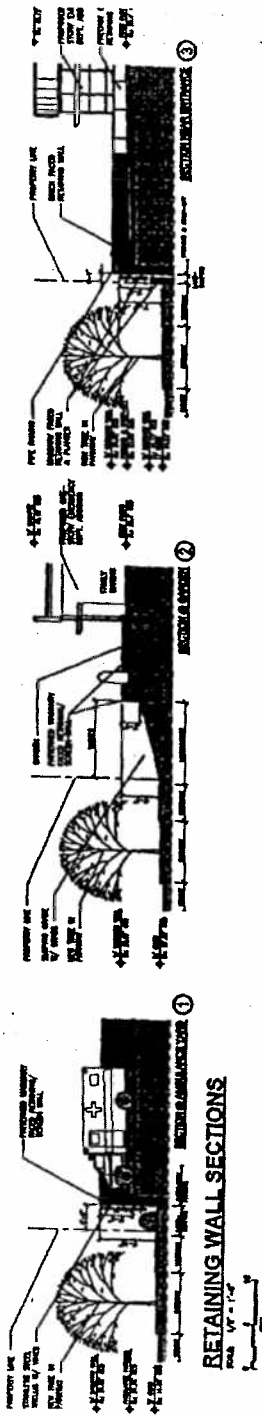
Green Roof And Landscape Development Plan.



South Building Elevation/Site Section.



East Building Elevation.



SCALE: 1" = 20'-0"

NOTE: ALL ELEVATIONS SHOWN ARE CHICAGO CITY DATUM



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Alicia Mazur Berg
Commissioner

121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)

<http://www.cityofchicago.org>

October 10, 2002

Ms. Donna Pugh
Vedder Price Kaufman & Kammholz
222 N. LaSalle Street
Chicago, IL 60601

Re: Administrative Relief - Institutional Planned
Development No. 82, as amended - Saint Mary
of Nazareth Hospital Center - 2233 West
Division Street

Dear Ms. Pugh:

Please be advised that your request for minor changes to
Institutional Planned Development No. 82 as amended, has been
considered by the Department of Planning and Development
pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance
and Statement No. 8 of the Institutional Planned Development No.
82.

Specifically, you requested the following modifications:

1. Approval of a revised "Bulk Regulations and Data Table"
consolidating and revising the Planned Development
regulations, as detailed below.
 - (A) Revising the setbacks to conform to the existing
development and to allow for the location of the proposed
Sister's Residence, as follows:
 - (I) "boundary and front yard setback" from 43-feet to a
setback of 41-feet on the south side of West Division
Street, except for the skybridge traversing West
Division Street for which the setback is 0-feet, for the
newly approved canopy (a permitted obstruction) for
which the setback is 7-feet.
 - (II) "boundary and side yard setback" from 56 and 123-
feet revised to provide for individual setbacks from
each street, as follows:
 - (1) North Side of West Division Street - 43-feet;
except for the skybridge traversing West
Division Street for which the setback is 0-feet,



- and for the Medical Office Building for which the setback is 7-feet;
- (2) West Leavitt Street (South of Division Street) - 15-feet; (for the location of the Sisters' Residence, with approximately the same setback as the surrounding residences);
 - (3) West Leavitt Street (North of Division Street) - 15-feet;
 - (4) North Oakley Street (South of Division Street) - 0-feet (as there is an existing building located without a setback);
 - (5) North Oakley Street (North of Division Street) - 15-feet;
 - (6) West Thomas Street - 0-feet (as there is an existing building located without a setback. The Sisters' Residence will provide a setback of 15-feet); and
 - (7) West Potomac Street - 15-feet.

(III) The following shall be allowed as permitted obstructions in all yards: parking, stairs/steps, sidewalks, fences/gates/stone piers (exceeding 7-feet in height), planter boxes, eaves, canopies, signage, lighting, enclosed walkways, skybridge supports, benches, flagpoles, statuary, and bollards.

- (B) Deleting the "Present Population" designation;
- (C) Amending the Net Site Area to include a portion of vacated Bell Avenue, as permitted by the Administrative Relief Approval Letter dated December 22, 1994, and those portions of the vacated alleys that are within the boundaries of the Planned Development;
- (D) Amending the permitted "Uses" to include the existing uses of "medical offices" and "off-street parking";
- (E) Reducing the total amount of parking spaces within the Planned Development boundaries from 650 spaces to 560 spaces. The Department recognizes that the hospital utilizes 287 off-site parking spaces located in the block bounded by West Potomac, North Leavitt, West Division, and North Oakley.
- (F) Reducing the Maximum Permitted Floor Area Ratio For Total Net Site Area from 1.5 to 1.41 (as prescribed in the 1994 Administrative Relief Approval Letter);
- (G) Reducing the Maximum Percentage of Land Coverage (excluding surface parking) from 30% to 28.2% (as prescribed in the 1994 Administrative Relief Approval

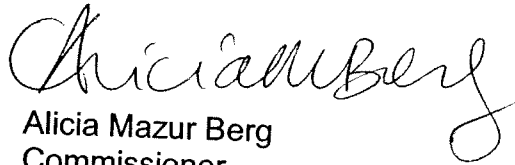
- Letter);and
- (H) Revising the "End and Face Walls" requirements to comply with existing conditions.
2. Approval of revised Plan of Development (the "Statements") incorporating the changes that have occurred on the hospital campus to date and a general streamlining of the controlling regulations.

The Department confirms the agreement by the Applicant that all parking areas north of Division Street utilized by the Applicant would be brought into conformance with the City's Landscape Ordinance by October 10, 2003.

The Department finds these proposed adjustments as updated technical amendments which are in conformance with existing conditions and also allow your client, the Sisters of St. Mary's, the ability to construct a residency that is in context with the surrounding environment.

With regard to your request, the Department of Planning and Development has determined that these revisions to the Planned Development would constitute a minor change pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Institutional Planned Development No. 82, as amended, I hereby approve the foregoing minor change, but no other changes to Residential Business Planned Development No. 82, as amended.

Very Truly Yours,


Alicia Mazur Berg
Commissioner

cc: Philip Levin
Jack Swenson
Mike Marmo
Tim Bleuher
Ed Kus



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Alicia Mazur Berg
Commissioner

121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)

<http://www.cityofchicago.org>

March 14, 2002

Ms. Donna J. Pugh
Vedder Price
222 North LaSalle Street
Chicago, Illinois 60601

Re: Request for a minor change to Institutional Planned
Development No. 82 As Amended; (Saint Mary of
Nazareth Hospital Center)
Location: 2233 West Division Street

Dear Ms. Pugh:

Please be advised that your request on behalf of the Applicant "Saint Mary of Nazareth Hospital Center" for a minor change to Institutional Planned Development No. 82, as amended, has been considered by the Department of Planning and Development pursuant to the authority granted by Section 11.11-3(c) of the Chicago Zoning Ordinance.

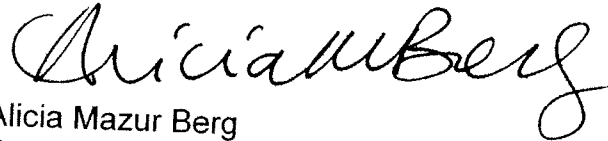
Specifically, in your letter dated March 14, 2002, you requested a reduction in the minimum front yard building setback along the south side of West Division Street from the required forty-three (43) feet to a proposed twenty-seven feet, seven inches (27'-7") for a lineal distance of approximately twenty-nine (29) feet, to allow for the construction of a proposed one-story entry vestibule and bridge addition to the Saint Mary of Nazareth Hospital Center. This proposed addition will replace an existing enclosed entry bridge which is slated for demolition and which currently encroaches into the front yard setback by sixteen (16) feet.

The Department of Planning and Development has determined that this proposed setback reduction will not create an adverse impact on this Planned Development or on the immediate neighborhood as is the case with the existing setback condition, and would constitute a minor change pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.



Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, I hereby approve the foregoing minor change, but no other changes to Institutional Planned Development No. 82, as amended.

Very truly yours,

A handwritten signature in black ink that reads "Alicia Mazur Berg". The signature is written in a cursive, flowing style.

Alicia Mazur Berg
Commissioner

cc: Jack Swenson
Ed Kus
Phil Levin
Michael Marmo



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Galerie B. Jarrett
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4471 (Voice)
(312) 744-2578 (TDD)
(312) 744-6550 (FAX)

December 22, 1994

Sister Stella Louise, CSFN, FACHA
St. Mary of Nazareth Hospital Center
2233 West Division Street
Chicago, IL 60622

Re: St. Mary of Nazareth Hospital Center
Institutional Planned Development No. 82, as Amended

Dear Sister Stella Louise:

Please be advised that your request for a minor change to Institutional Planned Development No. 82, as amended has been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance, and is hereby approved subject to the condition specified below.

Specifically, you requested that:

1. The required front yard setback for a proposed medical office building on the north side of West Division Street be reduced from 43 feet to 7 feet. In addition, you requested approval to construct an elevated pedestrian skybridge within the proposed 7 foot building setback on the north side of Division Street and within the existing 43 foot setback of the hospital building on the south side of Division Street. This skybridge, which would be a maximum of 16 feet in width and a minimum of 18 1/2 feet above grade, would connect the new building with the existing hospital located on the south side Division Street.
2. The Bulk and Use Table and Plan of Development maps be revised to include the square footage of vacated Bell Street in the net site area. Other revisions to the Table related to the increase in net site area include a reduction in the maximum Floor Area Ratio from 1.5 to 1.41 and a decrease in the maximum percent of land covered from 30% to 28.2%.

We understand that the proposed changes are necessary to accommodate the construction of a new medical office building north of Division Street on a portion of vacated Bell Street and the existing parking lot. Reduction in the setback is necessary in order to maintain the required number of parking spaces pursuant to the Planned Development. The Department notes that the proposed setback and skybridge would be consistent with the existing buildings located two blocks to the west of the site. In addition to the changes which you requested, we also believe that substitution of a revised Generalized Land Use

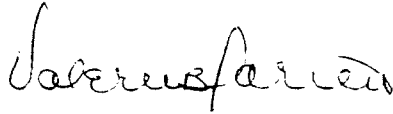


Plan is necessary in order to designate medical and related uses for the vacated portion of Bell Street.

The Department of Planning and Development has determined that the revisions described above would constitute minor changes to Planned Development No. 82 and would satisfy the criteria for minor changes described in Section 11.11-3 (c) of the Chicago Zoning Ordinance provided that:

1. The portion of Bell Street which is being added as Net Site Area within Planned Development No. 82 is in fact vacated and that the vacation is finalized and recorded prior to issuance of any Part II approvals for development of this portion of Bell Street;
2. Existing parking lots north of Division Street are landscaped in accordance with the requirements of the Chicago Landscape Ordinance and corresponding regulations and guidelines; and
3. The proposed skybridge is designed to be as transparent and unobtrusive as possible and separate approvals are obtained from the Chicago Department of Revenue for the portion of the skybridge that would extend above the Division Street right-of-way.

Sincerely,



Valerie B. Jarrett
Commissioner

cc: Paul Woznicki
Tom Coffey, Haymarket Group
Stephan Malato, Jr., Hinshaw & Culbertson
Thomas Meirink, Exec. V.P., St. Mary of Nazareth Hospital
Chris Slattery
Philip Levin

[TO BE TRANSPOSED TO THE STATIONERY
OF THE ST. MARY OF NAZARETH HOSPITAL CENTER]

December 6, 1994

Valerie Jarrett, Esq.
Commissioner
Department of Planning and Development
Room 1003, City Hall
121 North LaSalle Street
Chicago, Illinois 60602

Re: St. Mary of Nazareth Hospital Center

Dear Commissioner Jarrett:

St. Mary of Nazareth Hospital Center, a not-for-profit corporation ("St. Mary"), proposes to develop a medical office building ("MOB") to be constructed on the north side of Division Street across from St. Mary of Nazareth Hospital (the "Hospital"). Both the Hospital and the proposed site of the MOB are within the area governed by Institutional Planned Development Number 82 ("PD 82"). We are communicating with your office to request that you, as Commissioner of Planning, City and Community Development, approve the proposed development of the MOB as a minor change to PD 82. Specifically, we ask that you, as Commissioner of Planning, to provide, as administrative relief, the following changes to PD 82:

- a. allow the MOB to be located 7 feet from the lot line fronting on Division Street rather than the required set back of 43 feet;
- b. allow the MOB to be physically connected to the Hospital by an elevated pedestrian access way to be constructed above Division Street generally constructed in accordance with the City of Chicago Building Code and the requirements of the Department of Planning ("Skywalk");
- c. allow the Skywalk to be located to the lot lines both north and south of Division Street rather than the required set back of 43 feet;
- d. include Bell Street (expected to be vacated by separate City action) in the "Net Site Area" increasing the Net Site Area by the area

Valerie Jarrett, Esq.
Page 2
December 6, 1994

contained in the vacated Bell Street and reducing the Area Right-Of-Way of Public Streets by the area contained in the vacated Bell Street (the Gross Site Area will remain unchanged); and

- e. to conform to the requirements subparagraph (c) of Section 11.11-3 of the City of Chicago Zoning Code, reduce the F.A.R. to compensate for the increase in the Net Site Area to that number which would, given the increase in the Net Site Area, result in the same total floor area for PD 82.

To assist you in considering our request, we provide you with the following background information: The existing Hospital (which replaced an older facility) was constructed in 1972 in accordance with PD 82. PD 82 was amended several times, most recently in 1984. The main restrictions on development in PD 82 are as follows:

- a. Net site area - 12.66 acres;
- b. Maximum percent FAR for net site area - 1.5;
- c. Maximum percent of land covered - 30%;
- d. Minimum number of off-street parking spaces - 650; and
- e. Boundary and front yard set backs - 43 feet.

The original Hospital and related buildings did not fully exhaust these developmental rights. In other words, PD 84 provided for the original development of the Hospital and future expansion of the Hospital campus.

Sections 11.11-3 of the Chicago Zoning Ordinance sets forth the procedures for changes to planned developments. Subparagraph (C) provides that the Commissioner of Planning may approve minor changes to a planned development, provided such minor changes will not result in one or more of the following:

- (1) A change in the character of development.
- (2) An increase in the maximum permitted floor area ratio for total net site area; provided, however, that interim stages of development may temporarily exceed maximum floor ratio per sub-area.
- (3) An increase in the maximum number of units per acre of total net site area.

- (4) A reduction in the minimum required distance between structures or in periphery setbacks; provided, however, that setback or yard requirements may be adjusted where required to permit conformance to the pattern of, or architectural arrangement related to, existing structures.
- (5) An increase in the maximum percent of land covered for total net site area; provided, however, that interim stages of development may temporarily exceed maximum percent of land covered per sub-area.

The proposed MOB satisfies these conditions in the following respects:

- i) The MOB will be functionally related to the Hospital. It will house several Hospital operations, including a pharmacy and radiology suite. In addition, space will be leased to doctors who are on the staff at the Hospital. There will be significant traffic of doctors and patients between the Hospital and the MOB. Therefore, the MOB will not cause a change in the character of the Development as it will be essentially a medical use.
- ii) The additional floor area of the MOB will not increase the maximum permitted floor area ratio for the total net site area. Even with the additional floor area, the total floor area is below the restrictions set forth in PD 82. In addition, our request will result in a decrease rather than an increase of the F.A.R.;
- iii) PD 82 does not have a maximum number of units per acre;
- iv) The proposed change would not permanently reduce the front yard setback lines generally but would give permanent relief for the MOB and the Skywalk. The proposed MOB needs to be close to the property line to accommodate a Skywalk which will allow the Hospital and the MOB to function together to a higher degree. However, that reduction in setback distances is required "to permit conformance to the pattern of, or architectural arrangement related to existing structures" and is permitted as a minor change. In addition, PD 82 allows relief in a manner similar to Section 11.11-3 where "required to permit conformance to the pattern of, or architectural arrangement related to, existing structures, or when necessary because of technical reasons, subject to the approval of the Department of Development and Planning". The relief from the set back restrictions is necessary to permit conformance to the pattern of existing structures which are in close proximity to each other to maximize the interdependent functioning of such structures; and

Valerie Jarrett, Esq.
Page 4
December 6, 1994

- v) There will not be an increase in the maximum percent of land covered for the total site area above that is permitted by PD 82.

Consequently, the proposed MOB can be authorized by the Commissioner as a minor change of PD 82 and we request that the Commissioner do so. As part of an approval, the following changes will be made to the bulk restructuring of PD 82:

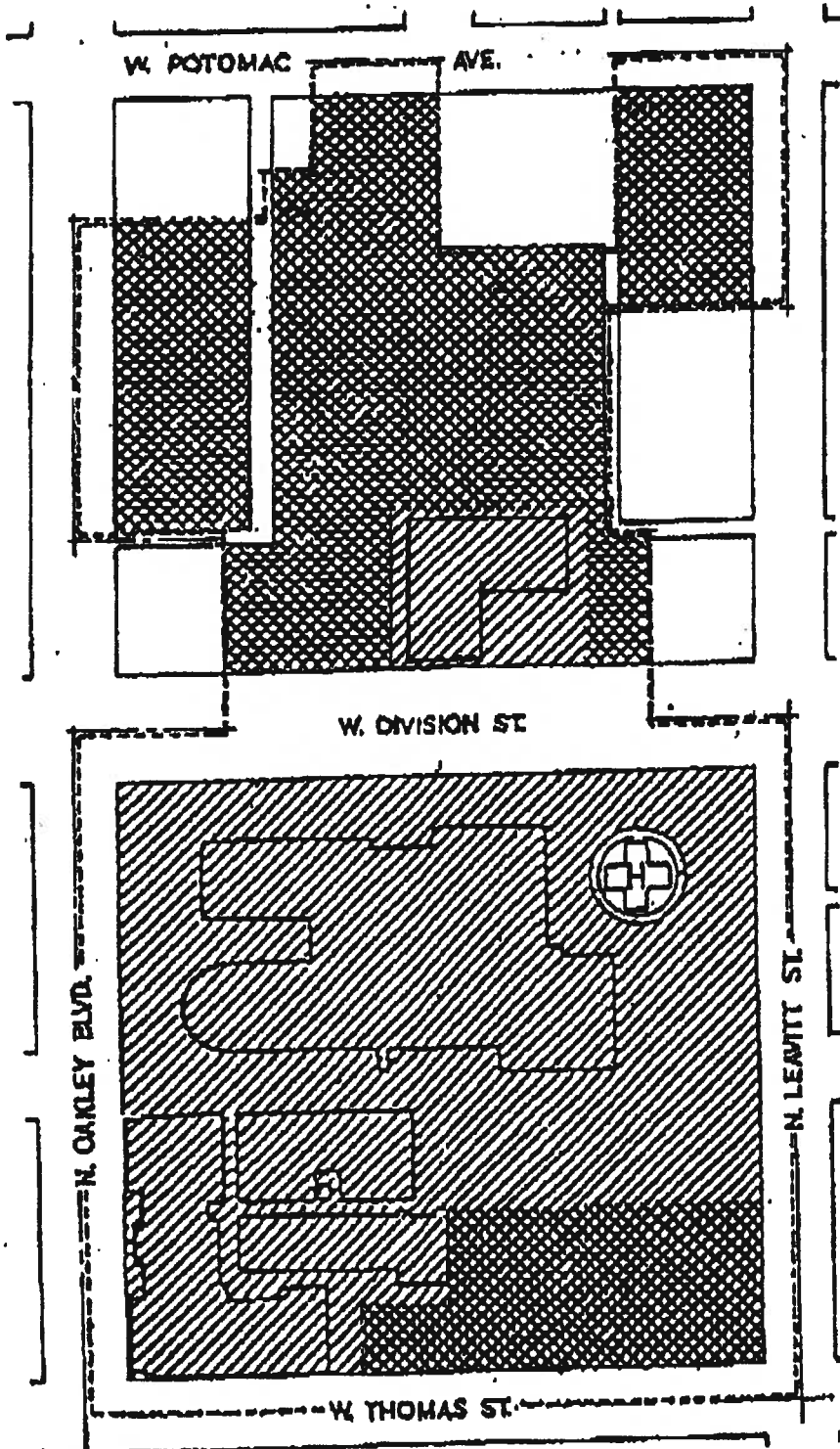
- (a) Bell Street (consisting of 33,165 square feet of land in PD 82 as shown on the attached drawing and is expected to be vacated by separate City action) shall be included in the "Net Site Area" increasing the Net Site Area to 13.43 Acres and 584,445 square feet and reducing the Area Right-Of-Way of Public Streets to 3.64 Acres (the Gross Site Area will remain unchanged);
- (b) The F.A.R. shall be reduced to 1.41 to compensate for the increase in the Net Site Area; and
- (c) The enclosed Use Map will be substituted for that presently effective with respect to PD 82.

We thank you for your consideration of our request.





Very truly yours,

ST. MARY OF NAZARETH HOSPITAL CENTER

By: _____
Sister Stella Louise, SSFN, FACHA



SCALE: 1/8" = 1'-0"

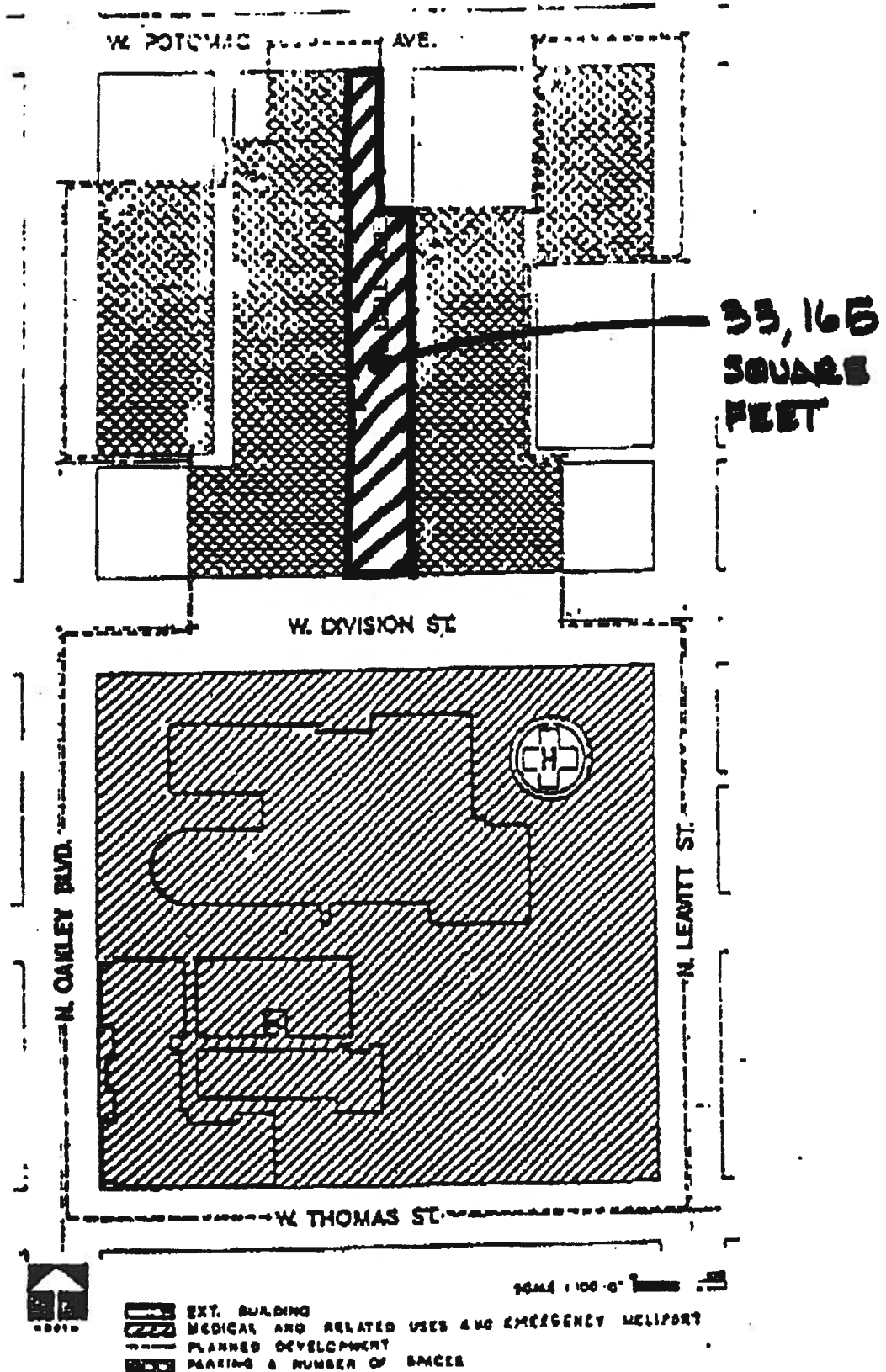
-  EXT. BUILDING
-  MEDICAL AND RELATED USES AND EMERGENCY HELIPORT
-  PLANNED DEVELOPMENT
-  PARKING

APPLICANT SAINT MARY OF NAZARETH HOSPITAL CENTER DATE:

9/6/84

REPORTS OF COMMITTEES

8823



33,165
SQUARE
FEET



City of Chicago
Richard M. Daley, Mayor

Department of Planning

David R. Mosena
Commissioner

Charles Thurow
First Deputy Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4471 (Voice)
(312) 744-2578 (TDD)
(312) 744-6550 (FAX)

January 22, 1991

Sister Stella Louise, CSFN, FACHA
St. Mary of Nazareth Hospital Center
2233 West Division Street
Chicago, Illinois 60622

Re: Institutional Planned Development Number
82, as amended.
2233 West Division Street

Dear Sister Stella Louise:

Please be advised that your request for a minor change to Institutional Planned Development No. 82 has been considered by the Department of Planning pursuant to Section 11.11-3 (c) of the Chicago Zoning ordinance.

Specifically, you requested relief to reduce the required side yard by 70 feet in order to erect a temporary magnetic resonance imaging structure. This minor change is necessary because of the following technical reasons:

1. The magnetic field surrounding the module must not penetrate the hospital due to its effect on medical devices (pacemakers, neuro stimulators, and biostimulation devices).
2. The environmental effect of hospital motors and other devices will have a deleterious effect on the field homogeneity of the MRI unit.
3. Hospital equipment such as CT scanners and ultrasound will not function.
4. The MRI unit must remain away from the helipad due to vibration.

With regard to your request, the Department of Planning has determined that the modification would constitute a minor change pursuant to Section 11.11-3 (c) of the Chicago Zoning Ordinance and that this minor change will not:

1. Change the character of the development;
2. Increase the number of units per acre;
3. Increase the maximum permitted floor area ratio for the site;



Sister Stella Louise 1/22/91
Page 2

4. Increase the maximum permitted percent land coverage for the site;

5. Permanently reduce the minimum required distance between structures or in periphery setbacks;

providing, however, that the following conditions are adhered to:

1. The temporary hospital facility or such portions thereof as do not conform with the previously approved planned development shall be removed within four years of this date unless the applicant resubmits a Part II application;

2. The area surrounding the interim structure and the area surrounding any use on the site shall be appropriately landscaped according to the plan submitted by The Sam Mormino Corporation dated January 10, 1991.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, the Commissioner of the Department of Planning hereby authorizes and approves the following minor change to Institutional Planned Development No. 82, as amended:

1. A temporary reduction of 70 feet in the required side yard setback for the aforementioned technical reasons.

Sincerely,


David R. Mosena
Commissioner

(Continued from page 8796)

to the designation of a C3-5 Commercial-Manufacturing District, and a corresponding use district is hereby established in the area described above.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication

—

Reclassification of Area Shown on Map No. 2-G.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-3 Restricted Manufacturing District symbols and indications as shown on Map No. 2-G in the area bounded by

a line 297 feet north of W. Van Buren Street; S. Peoria Street; a line 95 feet north of W. Van Buren Street; the alley next east of and parallel to S. Peoria Street; W. Van Buren Street; and a line 126 feet west of S. Peoria Street,

to the designation of a Residential-Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

[Residential-Business Planned Development printed on pages
8811 thru 8817 of this Journal.]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

—

Reclassification of Area Shown on Map No. 3-H.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Institutional Planned Development No. 82 symbols and indications as shown on Map No. 3-H in the area bounded by

W. Potomac Avenue; N. Bell Avenue; a line 424.5 feet north of W. Division Street; the alley next east of N. Bell Avenue; W. Potomac Avenue; N. Leavitt Street; a line 220 feet south of W. Potomac Avenue; the alley next east of N. Bell Avenue; the alley next north of W. Division Street, a line 168.9 feet east of N. Bell Avenue; W. Division Street; N. Leavitt Street; W. Thomas Street; N. Oakley Boulevard; W. Division Street;

(Continued on page 8818)

PD 82

PD
82

(Continued from page 8810)

a line 168 feet west of N. Bell Avenue; the alley next north of W. Division Street; N. Oakley Boulevard; a line 461 feet north of W. Division Street; the alley next east of N. Oakley Boulevard; a line 503.7 feet north of W. Division Street; and a line 94.08 feet west of N. Bell Avenue,

to the designation of Institutional Planned Development No. 82 as amended which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

[Institutional Planned Development printed on pages 8819
thru 8824 of this Journal.]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 3-K.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C1-1 Restricted Commercial District symbols and indications as shown on Map No. 3-K in the area bounded by

the alley next north of W. Division Street; a line 75 feet east of N. Keeler Avenue; W. Division Street; and a line 50 feet east of N. Keeler Avenue,

to those of an R3 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 5-F.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R4 General Residence District symbols and indications as shown on Map No. 5-F in the area bounded by

(Continued on page 8825)

PLAN OF DEVELOPMENT

INSTITUTIONAL PLANNED DEVELOPMENT NO. 82

(AMENDED)STATEMENTS

1. The area delineated as a "Institutional Planned Development" is owned or controlled by Saint Mary of Nazareth Hospital Center.
2. Off-street parking and loading facilities will be provided in compliance with this Plan of Development as authorized by the R5 General Residence District of the Chicago Zoning Ordinance.
3. Any dedication of streets or alleys or adjustments of the rights of way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of Saint Mary of Nazareth Hospital Center and approval by the City Council.
4. All applicable reviews, approvals or permits are required to be obtained by the Saint Mary of Nazareth Hospital Center.
5. Service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Street and Sanitation and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking permitted within such paved areas.
6. Use of land will consist of hospital, research, medical, housing, emergency medical heliport, and related uses as authorized by the Chicago Zoning Ordinance.

Laboratories or research facilities contained therein shall be governed by performance standards as authorized under the M1 zoning district of the Chicago Zoning Ordinance.

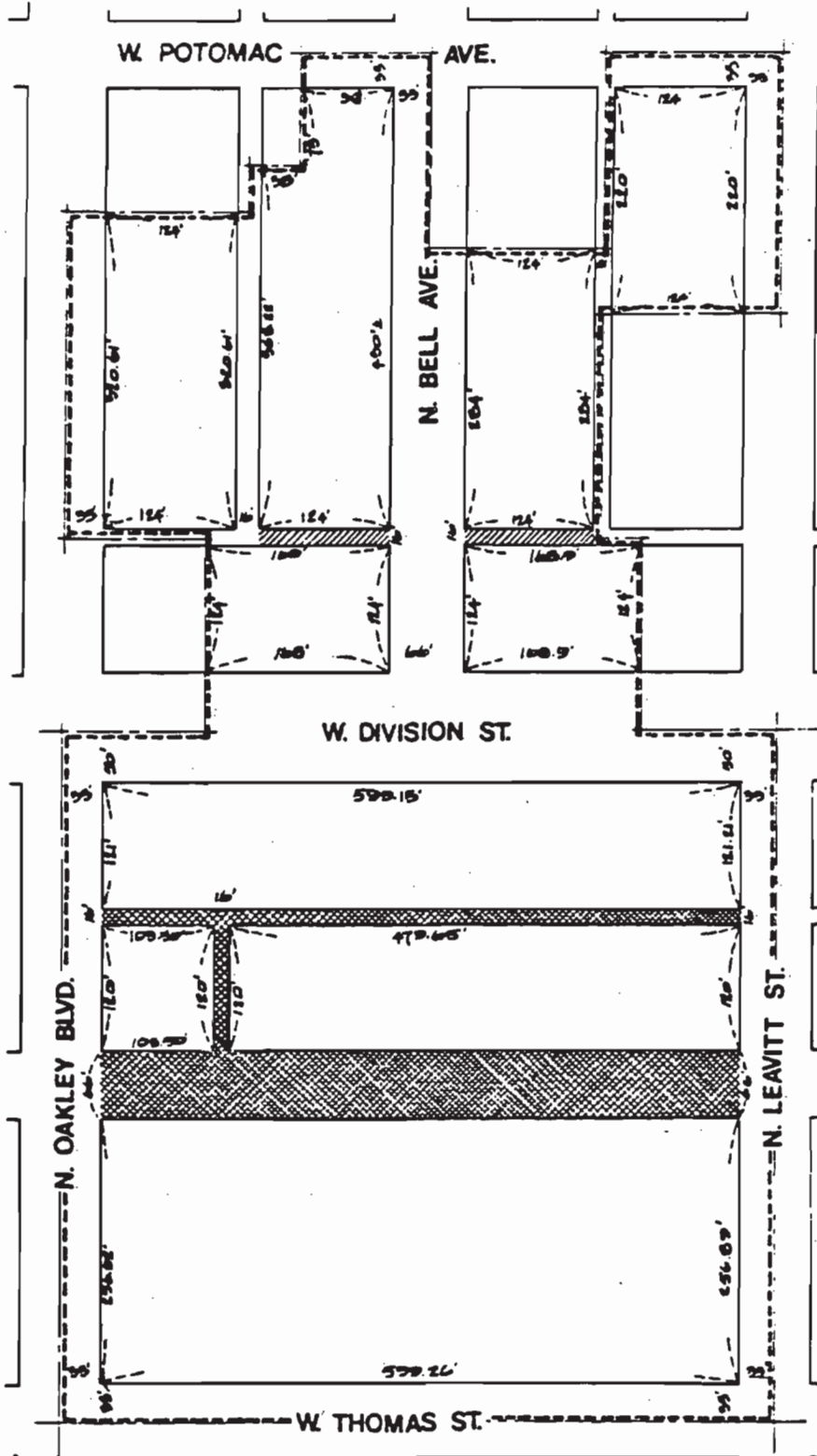
7. The following information sets forth data concerning the property included in said Planned Development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to the R5 General Residence District classification and with regulations hereby made applicable thereto.

8. Identification and directional signs may be permitted subject to the approval of the Commissioner of Planning and the Department of Inspectional services.
9. The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments," as promulgated by the Commissioner of Development and Planning.

APPLICANT: Saint Mary of Nazareth Hospital Center

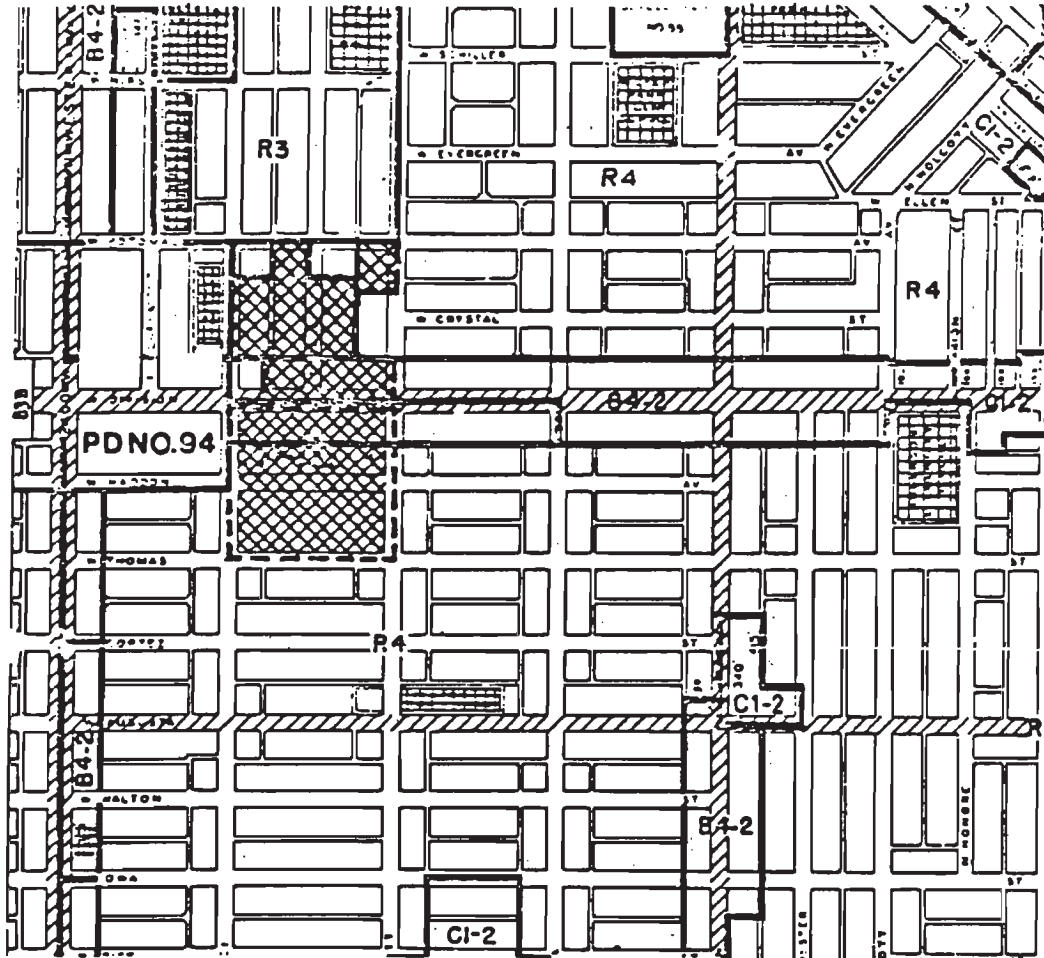
DATE: 1/19/84





INSTITUTIONAL PLANNED DEVELOPMENT NO. 52
(AMENDED)



■■■■■ ALLEYS TO BE VACATED
 ■■■■■ AREAS VACATED BY ORD. 11/12/71
 - - - - - PLANNED DEVELOPMENT

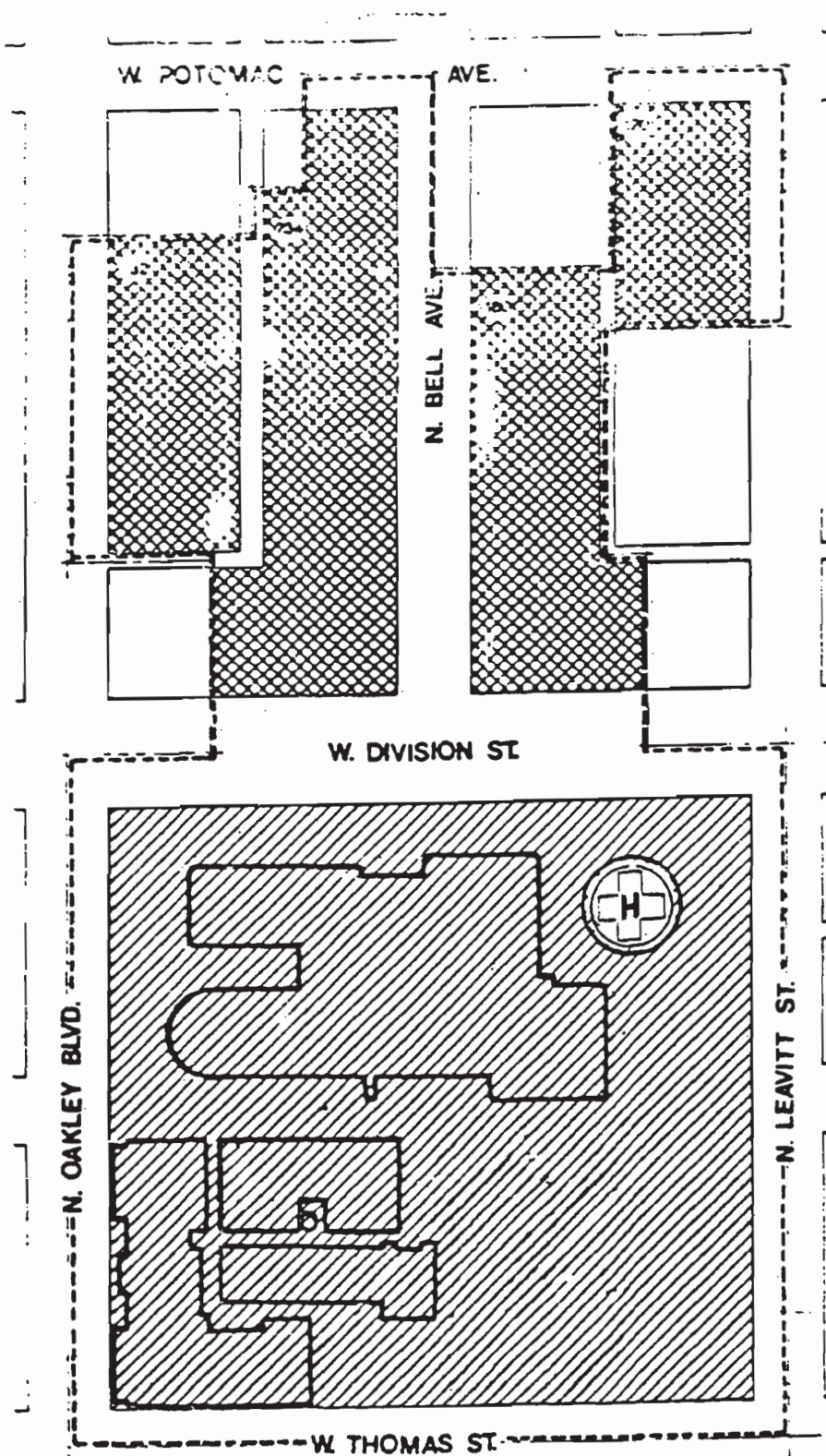
EXISTING ZONING AND PREFERENTIAL STREET SYSTEM
INSTITUTIONAL PLANNED DEVELOPMENT NO.82
(AMENDED)





-  ZONING DISTRICTS
-  PREFERENTIAL STREET SYSTEM
-  PROPOSED INSTITUTIONAL PLANNED DEVELOPMENT
-  OTHER PUBLIC, QUASI - PUBLIC AND PRIVATE INSTITUTIONS AND FACILITIES



APPLICANT: SAINT MARY OF NAZARETH HOSPITAL CENTER DATE: November 7, 1983



-  EXT. BUILDING
-  MEDICAL AND RELATED USES AND EMERGENCY HELIPORT
-  PLANNED DEVELOPMENT
-  PARKING & NUMBER OF SPACES

SCALE : 100' = 1" 

INSTITUTIONAL PLANNED DEVELOPMENT NUMBER 82

(AMENDED)

Net Site Area Square Feet	Acres	General Description of Land Use and Type	Max. F.A.R.	Max. % of Land Covered
551,280	12.66	Medical and Related Uses Laboratories (Clinical & Research) Housing (Nurses, Interns & Residents) Emergency Medical Heliport	1.5	30%

THE ABOVE NOTED REGULATIONS RELATE TO THE ULTIMATE DEVELOPMENT WITHIN THE PLANNED DEVELOPMENT AREA. INTERIM STAGES OF DEVELOPMENT MAY EXCEED THESE PERMITTED STANDARDS: SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Gross Site Area = Net Site Area (12.66 Acres) plus Area of Right-of-Way of Public Streets
(4.41 Acres) = 17.07 Acres.

Maximum permitted F.A.R. for Total Net Site Area 1.5

Present Population:

- A. Medical and Related Uses
 - 1. Number of Beds 490
 - 2. Number of Attending Doctors 260
 - 3. Number of Employees (maximum in one shift) 700
- B. Housing
 - 1. Nurses 125 (student)

Minimum number of off-street parking spaces for Medical and Related Uses, Laboratories (Clinical and Research), Housing (Student Nurses) 650 spaces. Actual parking provided is 800 spaces.

Off-street parking and loading requirements for proposed Medical and Related Uses, Laboratories (Clinical and Research), Housing (Student Nurses) shall be provided as authorized by R5 General Residence District Classification of the Chicago Zoning Ordinance.

Minimum Periphery Setbacks:

- A. Boundary and Front Yard Setbacks 43 FEET.
- B. Boundary and Side Yard Setbacks 56 and 123 FEET.

Minimum Distances Between Buildings:

- A. Patient Room Facings 24 FEET.
- B. End and Face Walls 24 FEET.

SETBACK AND YARD REQUIREMENTS MAY BE ADJUSTED WHERE REQUIRED TO PERMIT CONFORMANCE TO THE PATTERN OF, OR ARCHITECTURAL ARRANGEMENT RELATED TO, EXISTING STRUCTURES, OR WHEN NECESSARY BECAUSE OF TECHNICAL REASONS, SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Maximum percent of land covered (for total Net Site Area) 30%

APPLICANT: Saint Mary of Nazareth Hospital Center

DATE: 1/19/84

Chicago Zoning Ordinance Amended to Reclassify Particular Areas.

On motion of Alderman Fitzpatrick the City Council took up for consideration the report of the Committee on Buildings and Zoning deferred and published in the Journal of the Proceedings of June 12, 1974, pages 8360-8361, recommending that the City Council pass nine proposed ordinances (under separate committee reports), for amendment of the Chicago Zoning Ordinance to reclassify particular areas.

Alderman Fitzpatrick moved to *Concur In* the committee's recommendations and *each* of the nine proposed ordinances was *Passed*, by yeas and nays as follows:

Yeas--Aldermen Roti, Barnett, Kenner, Evans, Despres, Sawyer, Cousins, Vrdolyak, Bilandic, Kwak, Madrzyk, Burke, Lawlor, Langford, Shannon, Hines, Fitzpatrick, Kelley, Stewart, Stemberk, Rhodes, Marzullo, Zydlo, Ray, Washington, Cross, Filippini, Keane, Gabinski, Sande, Frost, Aiello, Casey, Cullerton, Laurino, Simon, Pucinski, Natarus, Singer, Simpson, Fifielski, Cohen, Hoellen, Wigoda, Stone--45.

Nays--None.

Said ordinances, as passed, read respectively as follows (the *Italic* heading in each case not being a part of the ordinance):

Reclassification of Area Shown on Map No. 1-E.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C3-6 Commercial Manufacturing District symbols and indications as shown on Map No. 1-E in the area bounded by

E. Erie Street; a line 407.5 feet east of N. McClurg Court, a line 109.13 feet south of E. Erie Street; a line 507.5 feet east of N. McClurg Court; E. Ontario Street, and a line 245 feet east of N. McClurg Court,

to those of a Business Planned Development, and a corresponding use district is hereby established in the area above described.

[Plan of Development printed on pages 8488 to 8494 of this Journal]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 3-F.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R7 General Residence District and C2-4 General Commercial District symbols and indications as shown on Map 3-F in the area bounded by

W. Elm Street, N. Dearborn Street, a line 154.18 feet south and parallel to W. Elm Street, the alley first west of and parallel to N. Dearborn Street, a line 208.10 feet south of and parallel to W. Elm Street, N. Clark Street,

to the designation of a Residential-Business Planned Development which is hereby established in the

area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

[Plan of Development printed on pages 8495 to 8501 of this Journal]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 3-H.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Planned Development, B4-2 Restricted Service District, and R4 General Residence District symbols and indications as shown on Map No. 3-H in the area bounded by

W. Potomac Avenue; N. Bell Avenue; a line 424.5 feet north of W. Division Street; the alley next east of N. Bell Avenue; W. Potomac Avenue; N. Leavitt Street; a line 220 feet south of W. Potomac Avenue; the alley next east of N. Bell Avenue; the alley next north of W. Division Street; a line 168.9 feet east of N. Bell Avenue; W. Division Street; N. Leavitt Street; W. Thomas Street; N. Oakley Boulevard; W. Division Street; a line 168 feet west of N. Bell Avenue; the alley next north of W. Division Street; N. Oakley Boulevard; a line 461 feet north of W. Division Street; the alley next east of N. Oakley Boulevard; a line 503.7 feet north of W. Division Street; and a line 94.08 feet west of N. Bell Avenue,

to the designation of Institutional Planned Development Number 82 (amended) which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

[Plan of Development printed on pages 8502 to 8506 of this Journal]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 5-I (As Amended).

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C1-3 Restricted Commercial District symbols and indications as shown on Map No. 5-I in the area bounded by

W. Fullerton Avenue; a line 103 feet west of N. Albany Avenue; the alley next south and parallel to W. Fullerton Avenue and the alley next east of and parallel to N. Kedzie Avenue,

to those of a C2-3 General Commercial District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

No. 8565

PLAN OF DEVELOPMENT
INSTITUTIONAL PLANNED DEVELOPMENT NO. 82

(AMENDED)

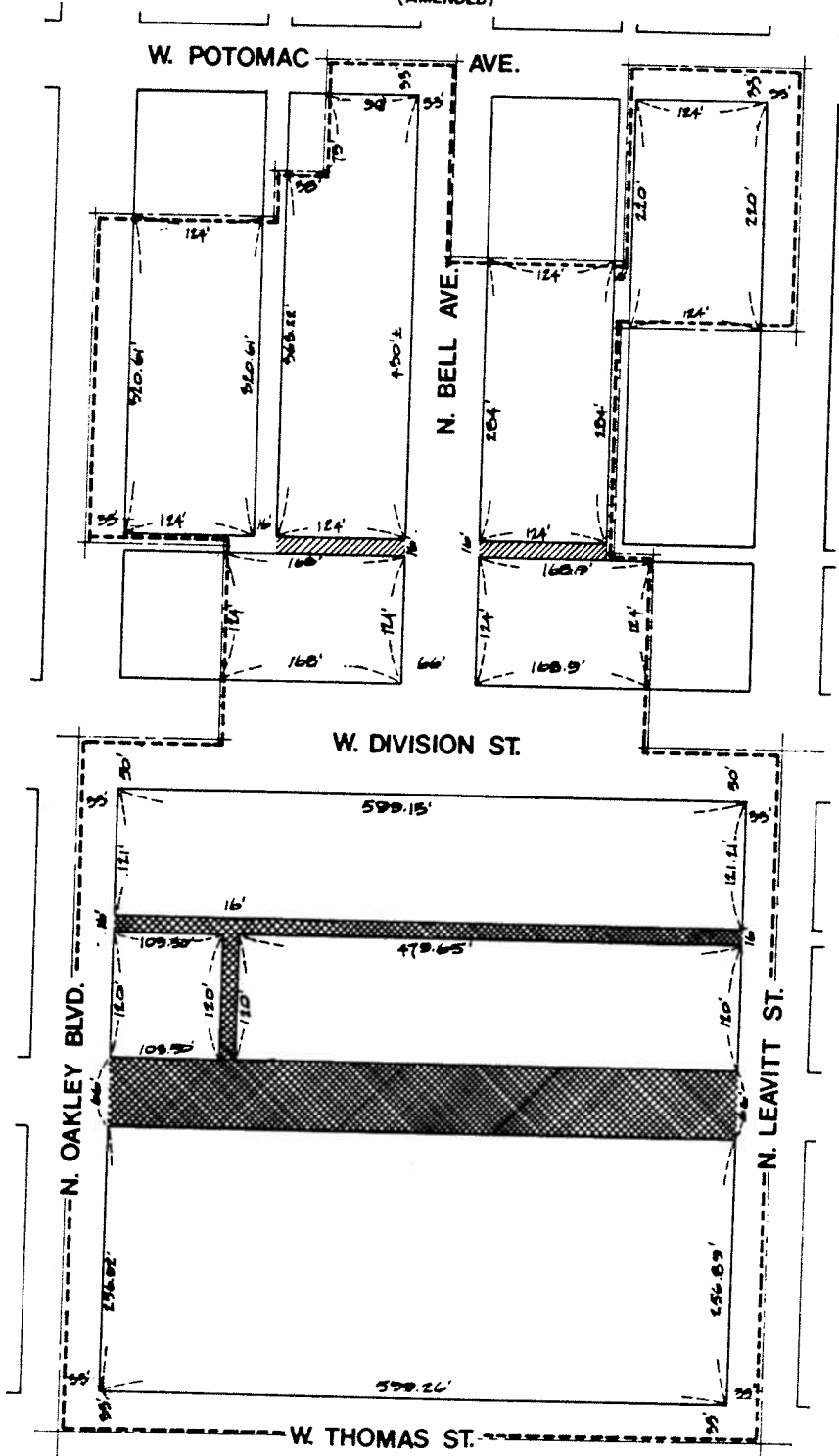
STATEMENTS





1. The area delineated as a "Residential Planned Development" is owned or controlled by Saint Mary of Nazareth Hospital Center.
2. Off-street parking and loading facilities will be provided in compliance with this Plan of Development as authorized by the R5 General Residence District of the Chicago Zoning Ordinance.
3. Any dedication of streets or alleys or adjustments of the rights of way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of Saint Mary of Nazareth Hospital Center and approval by the City Council.
4. All applicable reviews, approvals or permits are required to be obtained by the Saint Mary of Nazareth Hospital Center.
5. Service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Street and Sanitation and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking permitted within such paved areas.
6. Use of land will consist of hospital, research, medical, housing, and related uses as authorized by the Chicago Zoning Ordinance.
Laboratories or research facilities contained therein shall be governed by performance standards as authorized under the M1 zoning district of the Chicago Zoning Ordinance.
7. The following information sets forth data concerning the property included in said Planned Development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to the R5 General Residence District classification and with regulations hereby made applicable thereto.
8. The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments," as promulgated by the Commissioner of Development and Planning.

APPLICANT: Saint Mary of Nazareth Hospital Center

DATE: March 19, 1974

PROPERTY LINE MAP AND RIGHT-OF-WAY ADJUSTMENTS
INSTITUTIONAL PLANNED DEVELOPMENT NO.82
(AMENDED)

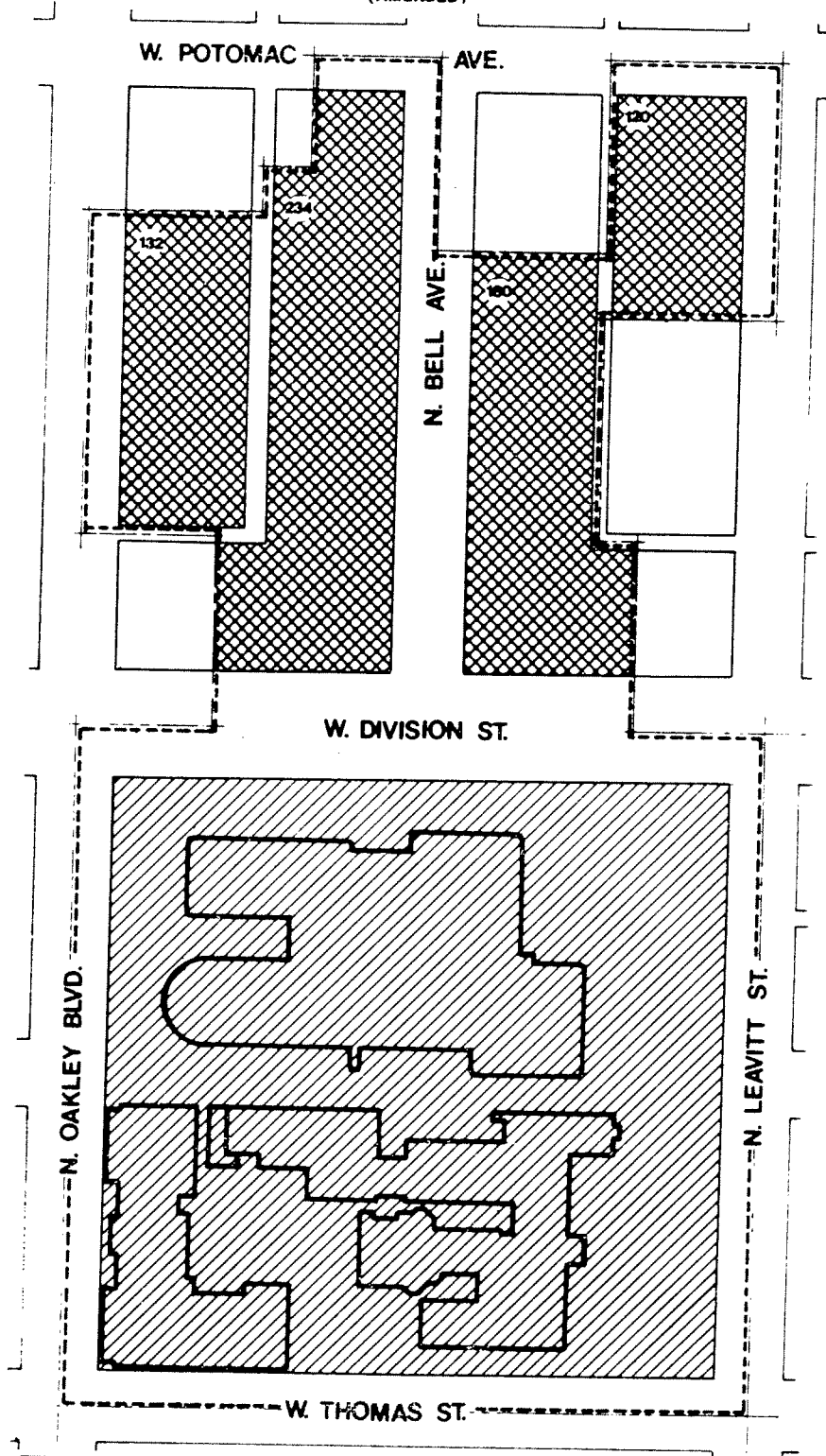






 ALLEYS TO BE VACATED
 AREAS VACATED BY ORD. 11/12/71
 PLANNED DEVELOPMENT
 SCALE: 100'-0" 


APPLICANT: SAINT MARY OF NAZARETH HOSPITAL, CENTER

DATE: MARCH 19 1974

GENERALIZED LAND USE PLAN
INSTITUTIONAL PLANNED DEVELOPMENT NO.82
(AMENDED)



-  EXT. BUILDING
-  MEDICAL AND RELATED USES
-  PLANNED DEVELOPMENT
-  PARKING & NUMBER OF SPACES

SCALE : 100'-0" 

APPLICANT: SAINT MARY OF NAZARETH HOSPITAL CENTER

DATE: MARCH 19, 1974

PLANNED DEVELOPMENT USE AND BULK REGULATIONS
INSTITUTIONAL PLANNED DEVELOPMENT NUMBER 82
(AMENDED)

Net Site Area Square Feet Acres	General Description of Land Use and Type	Max. F.A.R.	Max. % of Land Covered
551,280 12.66	Medical and Related Uses Laboratories (Clinical & Research) Housing (Nurses, Interns & Residents)	1.5	30%

THE ABOVE NOTED REGULATIONS RELATE TO THE ULTIMATE DEVELOPMENT WITHIN THE PLANNED DEVELOPMENT AREA. INTERIM STAGES OF DEVELOPMENT MAY EXCEED THESE PERMITTED STANDARDS: SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Gross Site Area = Net Site Area (12.66 Acres) plus Area of Right-of-Way of Public Streets
 (4.41 Acres) = 17.07 Acres.

Maximum permitted F.A.R. for Total Net Site Area 1.5

Present Population:

- A. Medical and Related Uses
 - 1. Number of Beds 304
 - 2. Number of Attending Doctors 90
 - 3. Number of Employees (maximum in one shift) 350
- B. Housing
 - 1. Nurses 125 (student)

Minimum number of off-street parking spaces for Medical and Related Uses, Laboratories (Clinical and Research), Housing (Student Nurses) 500 spaces.

Off-street parking and loading requirements for proposed Medical and Related Uses, Laboratories (Clinical and Research), Housing (Student Nurses) shall be provided as authorized by R5 General Residence District Classification of the Chicago Zoning Ordinance.

Minimum Periphery Setbacks:

- A. Boundary and Front Yard Setbacks 43 FEET.
- B. Boundary and Side Yard Setbacks 56 and 123 FEET.

Minimum Distances Between Buildings:

- A. Patient Room Facings 24 FEET.
- B. End and Face Walls 24 FEET

SETBACK AND YARD REQUIREMENTS MAY BE ADJUSTED WHERE REQUIRED TO PERMIT CONFORMANCE TO THE PATTERN OF, OR ARCHITECTURAL ARRANGEMENT RELATED TO, EXISTING STRUCTURES, OR WHEN NECESSARY BECAUSE OF TECHNICAL REASONS, SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Maximum percent of land covered (for total Net Site Area) 30%

APPLICANT: Saint Mary of Nazareth Hospital Center

DATE: March 19, 1974

Yeas—Aldermen Roti, Holman, Sawyer, Bohling, Adduci, Vrdolyak, Bilandic, Swinarski, Staszczuk, Burke, Lawlor, Shannon, Hines, Fitzpatrick, Stewart, Stemberk, Rhodes, Marzullo, Zydlo, Ray, Washington, Filippini, Keane, Gabinski, Sande, Laskowski, Aiello, Casey, Cullerton, Simon, Scholl, Natarus, Fifielski, Hedlund, Wigoda, Sperling—36.

Nays—Aldermen Cousins, Langford, Frost, Singer, Simpson, Hoellen—6.

The following is said order as passed:

Ordered, That the City Comptroller is hereby authorized to issue a permit to Chicago Athletic Association to maintain an existing canopy over the sidewalk in E. Madison Street, attached to the building or structure located at Nos. 71-73 E. Madison Street, for a period of ten years from and after July 9, 1971, in accordance with plans and specifications filed with the Commissioner of Public Works and approved by the Commissioner of Buildings and the Chief Fire Prevention Engineer, said canopy not to exceed 20 feet in length nor 16 feet in width: upon the filing of the application and bond and payment of the initial compensation provided for by ordinances relating to the construction and maintenance of canopies.

Chapter 33 of Municipal Code Amended Concerning Construction of Driveways.

On motion of Alderman Wigoda the City Council took up for consideration the report of the Committee on Traffic and Public Safety deferred and published in the Journal of the Proceedings of June 24, 1971, page 640, recommending that the City Council pass a proposed ordinance to amend Chapter 33 of the Municipal Code of Chicago concerning construction of driveways.

On motion of Alderman Wigoda said proposed ordinance was *Passed*, by yeas and nays as follows:

Yeas—Aldermen Roti, Kenner, Holman, Sawyer, Bohling, Cousins, Adduci, Vrdolyak, Bilandic, Swinarski, Staszczuk, Burke, Lawlor, Langford, Shannon, Hines, Fitzpatrick, Kelley, Stewart, Stemberk, Potempa, Rhodes, Marzullo, Zydlo, Ray, Washington, Filippini, Keane, Gabinski, Sande, Frost, Laskowski, Aiello, Casey, Cullerton, Laurino, Simon, Scholl, Natarus, Singer, Simpson, Fifielski, Cohen, Hoellen, Hedlund, Wigoda, Sperling—47.

Nays—None.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Chapter 33 of the Municipal Code of the City of Chicago be and is hereby amended by inserting therein the following new section after Section 33-20, said new section to be known as Section 33-20.1.

"33-20.1. No permit to construct any driveway shall be granted in any area in which the City Council has established a "Bus Stop", except if there is no other means of ingress and then in that event the driveway shall have a width of not more than 15 feet."

SECTION 2. This ordinance shall take effect and be in force from and after its passage and due publication.

Chicago Zoning Ordinance Amended to Reclassify Particular Areas.

On motion of Alderman Fitzpatrick the City Council took up for consideration the report of the Committee on Buildings and Zoning deferred and published in the Journal of Proceedings of July 28, 1971, pages 970-971, recommending that the City Council pass eleven proposed ordinances (under separate committee reports), for amendment of the Chicago Zoning Ordinance to reclassify particular areas.

Alderman Fitzpatrick moved to *Concur In* the Committee's recommendation and *each* of the eleven proposed ordinances was *Passed*, by yeas and nays as follows:

Yeas—Aldermen Roti, Kenner, Holman, Sawyer, Bohling, Cousins, Adduci, Vrdolyak, Bilandic, Swinarski, Staszczuk, Burke, Lawlor, Langford, Shannon, Hines, Fitzpatrick, Kelley, Stewart, Stemberk, Potempa, Rhodes, Marzullo, Zydlo, Ray, Washington, Filippini, Keane, Gabinski, Sande, Frost, Laskowski, Aiello, Casey, Cullerton, Laurino, Simon, Scholl, Natarus, Singer, Simpson, Fifielski, Cohen, Hoellen, Hedlund, Wigoda, Sperling—47.

Nays—None.

Said ordinances, as passed, read respectively as follows (the *Italic* heading in each case not being a part of the ordinance):

Reclassification of Area Shown on Map 2-G.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-3 Restricted Manufacturing District Symbols and indications as shown on Map No. 2-G in the area bounded by W. Congress Parkway; S. Racine Avenue; W. Harrison Street; and a line 70 feet west of S. Throop Street,

to those of a B5-2 General Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map 3-H.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R4 General Residence District and C1-2 Restricted Commercial District symbols and indications as shown on Map No. 3-H in the area bounded by

W. Division Street; N. Leavitt Street; W. Thomas Street; and N. Oakley Boulevard,

to the designation of a Residential Planned Development which is hereby established in the area above described subject to such use and bulk regulations as set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Plan of Development attached to the foregoing ordinance is printed on pages 1145 to 1149 of this Journal]

1145-1149

PLAN OF DEVELOPMENT
RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)
STATEMENTS

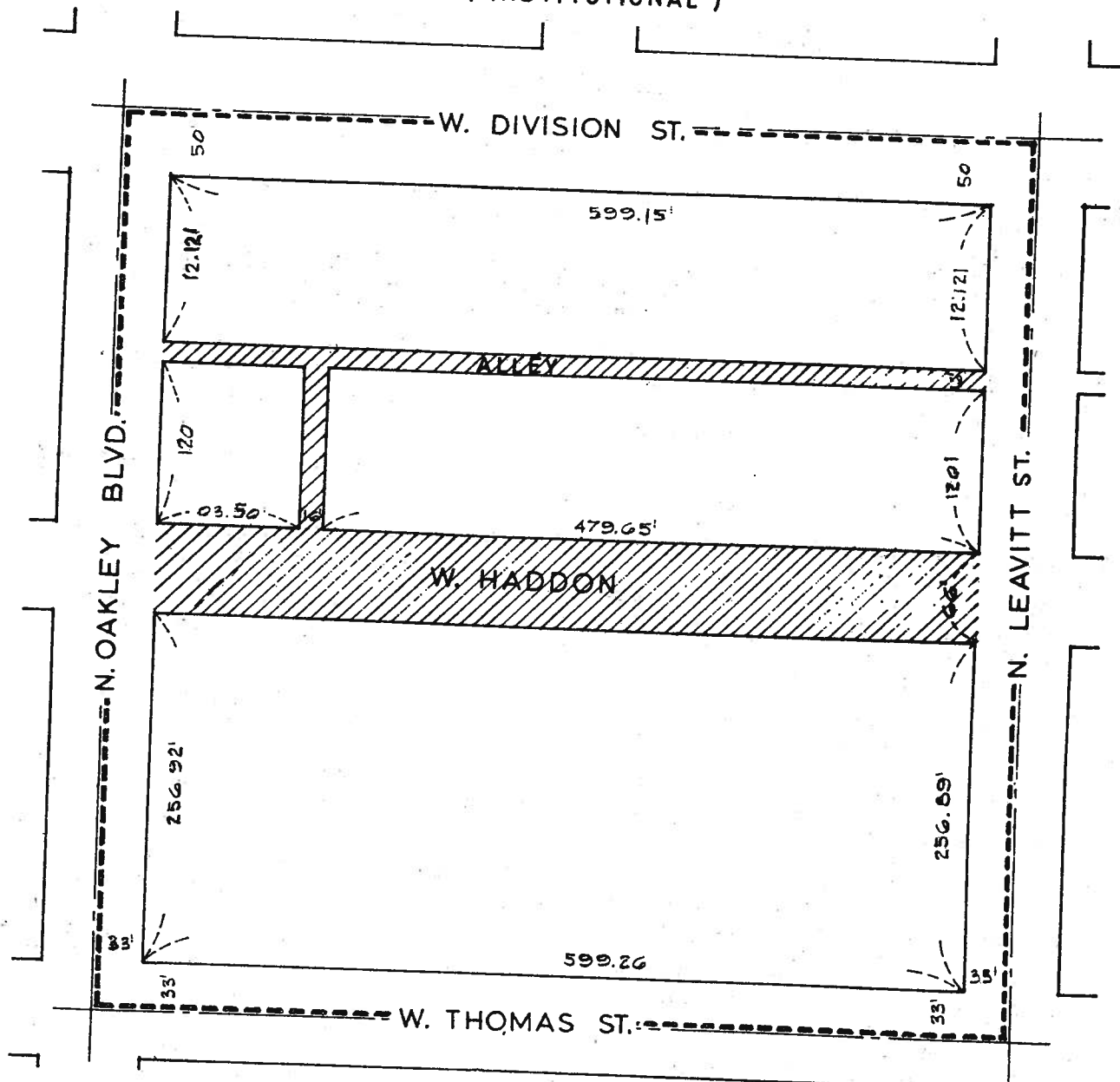
1. The area delineated as a "Residential Planned Development" is owned or controlled by St. Mary of Nazareth Hospital, Inc.
2. Off-street parking and loading facilities will be provided in compliance with this Plan of Development as authorized by the R5 General Residence District of the Chicago Zoning Ordinance.
3. Any dedication of streets or alleys or adjustments of the rights of way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of St. Mary of Nazareth Hospital, Inc. and approval by the City Council.
4. All applicable reviews, approvals or permits are required to be obtained by the St. Mary of Nazareth Hospital, Inc.
5. Service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Street and Sanitation and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking permitted within such paved areas.
6. Use of land will consist of hospital, research, medical, housing, and related uses as authorized by the Chicago Zoning Ordinance.

Laboratories or research facilities contained therein shall be governed by performance standards as authorized under the M1 zoning district of the Chicago Zoning Ordinance.
7. The following information sets forth data concerning the property included in said Planned Development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to the R5 General Residence District classification and with regulations hereby made applicable thereto.
8. The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments," as promulgated by the Commissioner of Development and Planning.

APPLICANT: St. Mary of Nazareth Hospital, Inc.

DATE: June 4, 1971

PROPERTY LINE MAP AND RIGHT - OF-WAY ADJUSTMENTS
RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)



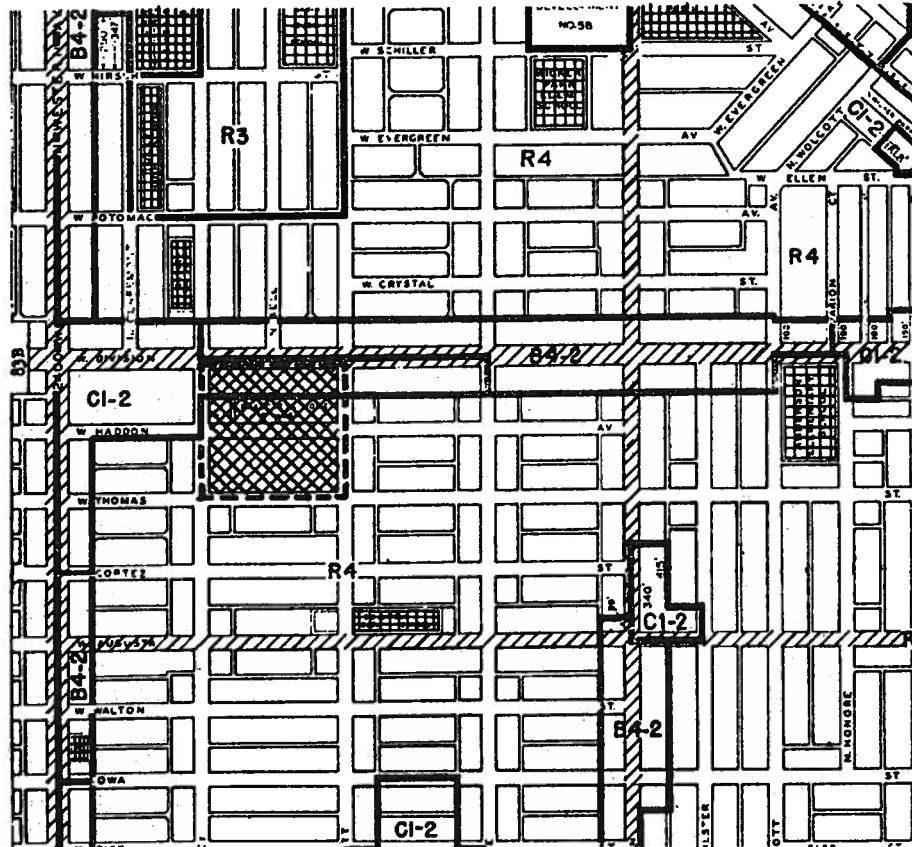
SCALE : 1" = 100'-0"





- PLANNED DEVELOPMENT BOUNDARY
- STREET AND ALLEYS TO BE VACATED

APPLICANT : ST. MARY OF NAZARETH HOSPITAL, INC.

DATE : JUNE 4, 1971

EXISTING ZONING AND PREFERENTIAL STREET SYSTEM
RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)

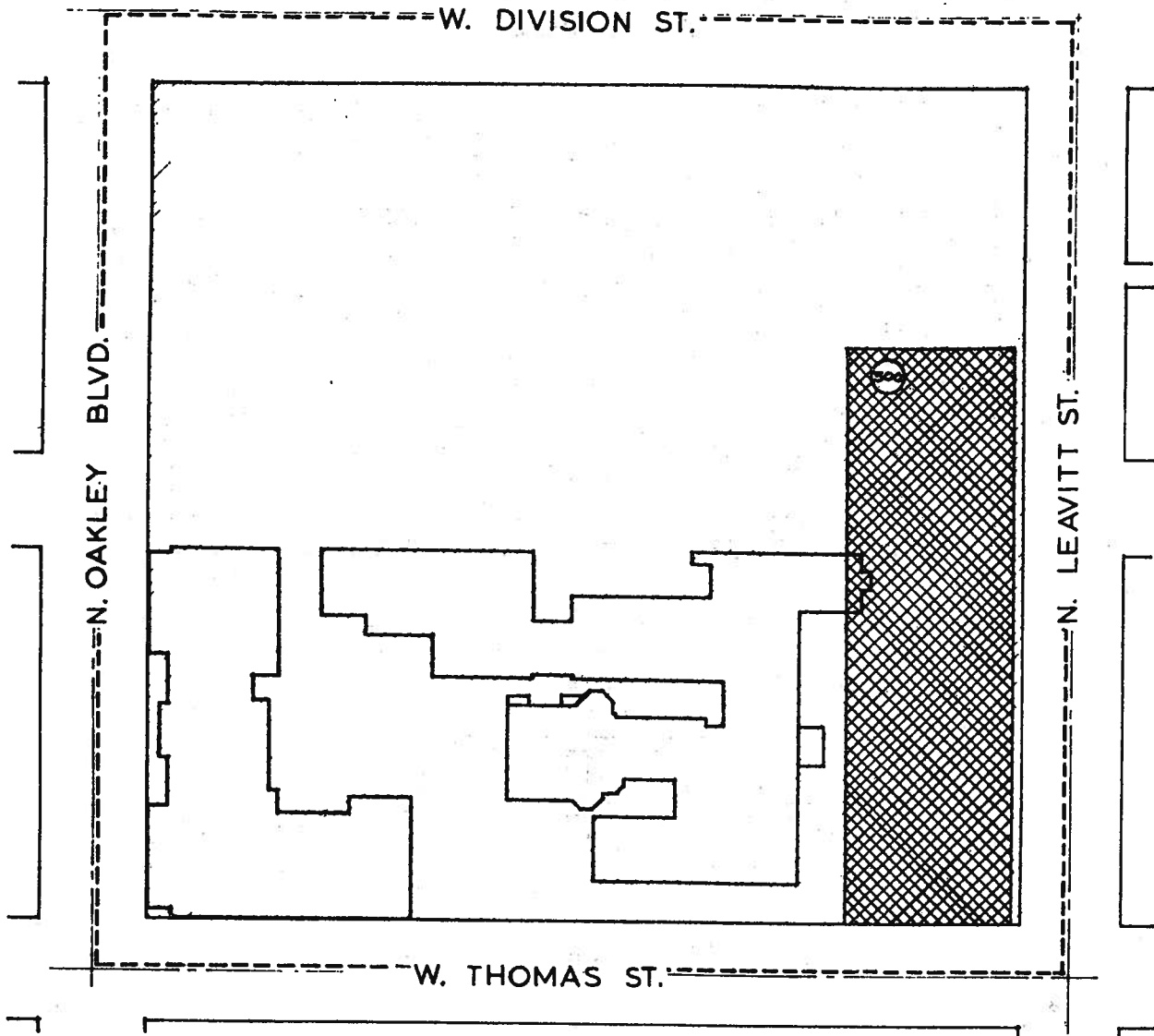



-  ZONING DISTRICTS
-  PREFERENTIAL STREET SYSTEM
-  PROPOSED RESIDENTIAL PLANNED DEVELOPMENT
-  OTHER PUBLIC, QUASI - PUBLIC AND PRIVATE INSTITUTIONS AND FACILITIES







APPLICANT: ST. MARY OF NAZARETH HOSPITAL, INC. DATE: JUNE 4, 1971

GENERALIZED LAND USE PLAN
RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)



SCALE: 1" = 100'-0" 



-  EXISTING BUILDINGS
-  MEDICAL AND RELATED USES, LABORATORIES, (CLINICAL AND RESEARCH) HOUSING (NURSES, INTERNS AND RESIDENTS)
-  PLANNED DEVELOPMENT
-  PARKING AREA WITH NUMBER OF SPACES

APPLICANT: ST. MARY OF NAZARETH HOSPITAL, INC.

DATE: JUNE 4, 1971

PLANNED DEVELOPMENT USE AND BULK REGULATIONSRESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)

<u>Net Site Area</u>		<u>General Description of Land Use and Type</u>	<u>Max. F.A.R.</u>	<u>Max. % of Land Covered</u>
<u>Square Feet</u>	<u>Acres</u>			
347,596	7.98	Medical and Related Uses Laboratories (Clinical & Research) Housing (Nurses, Interns & Residents)	2.2	45%

THE ABOVE NOTED REGULATIONS RELATE TO THE ULTIMATE DEVELOPMENT WITHIN THE PLANNED DEVELOPMENT AREA. INTERIM STAGES OF DEVELOPMENT MAY EXCEED THESE PERMITTED STANDARDS: SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Gross Site Area = Net Site Area (7.98 Acres) plus Area of Right-of-Way of Public Streets (2.15 Acres) = 10.13 Acres.

Maximum permitted F.A.R. for Total Net Site Area 2.2

Present Population:

- A. Medical and Related Uses
 - 1. Number of Beds 304
 - 2. Number of Attending Doctors 90
 - 3. Number of Employees (maximum in one shift) 350
- B. Housing
 - 1. Nurses 125 (student)

Minimum number of off-street parking spaces for Medical and Related Uses, Laboratories (Clinical and Research), Housing (Student nurses) 500 spaces.

Off-street parking and loading requirements for proposed Medical and Related Uses, Laboratories (Clinical and Research), Housing (Student nurses) shall be provided as authorized by R5 General Residence District Classification of the Chicago Zoning Ordinance.

Minimum Periphery Setbacks:

- A. Boundary and Front Yard Setbacks 43 FEET.
- B. Boundary and Side Yard Setbacks 56 and 123 FEET.

Minimum Distances Between Buildings:

- A. Patient Room Facings 24 FEET.
- B. End and Face Walls 24 FEET.

SETBACK AND YARD REQUIREMENTS MAY BE ADJUSTED WHERE REQUIRED TO PERMIT CONFORMANCE TO THE PATTERN OF, OR ARCHITECTURAL ARRANGEMENT RELATED TO, EXISTING STRUCTURES, OR WHEN NECESSARY BECAUSE OF TECHNICAL REASONS, SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Maximum percent of land covered (for total Net Site Area) 45%

APPLICANT: ST. MARY OF NAZARETH HOSPITAL, INC.

DATE: JUNE 4, 1971

8273
PASS 9/15

PLAN OF DEVELOPMENT
RESIDENTIAL PLANNED DEVELOPMENT #82

(INSTITUTIONAL)

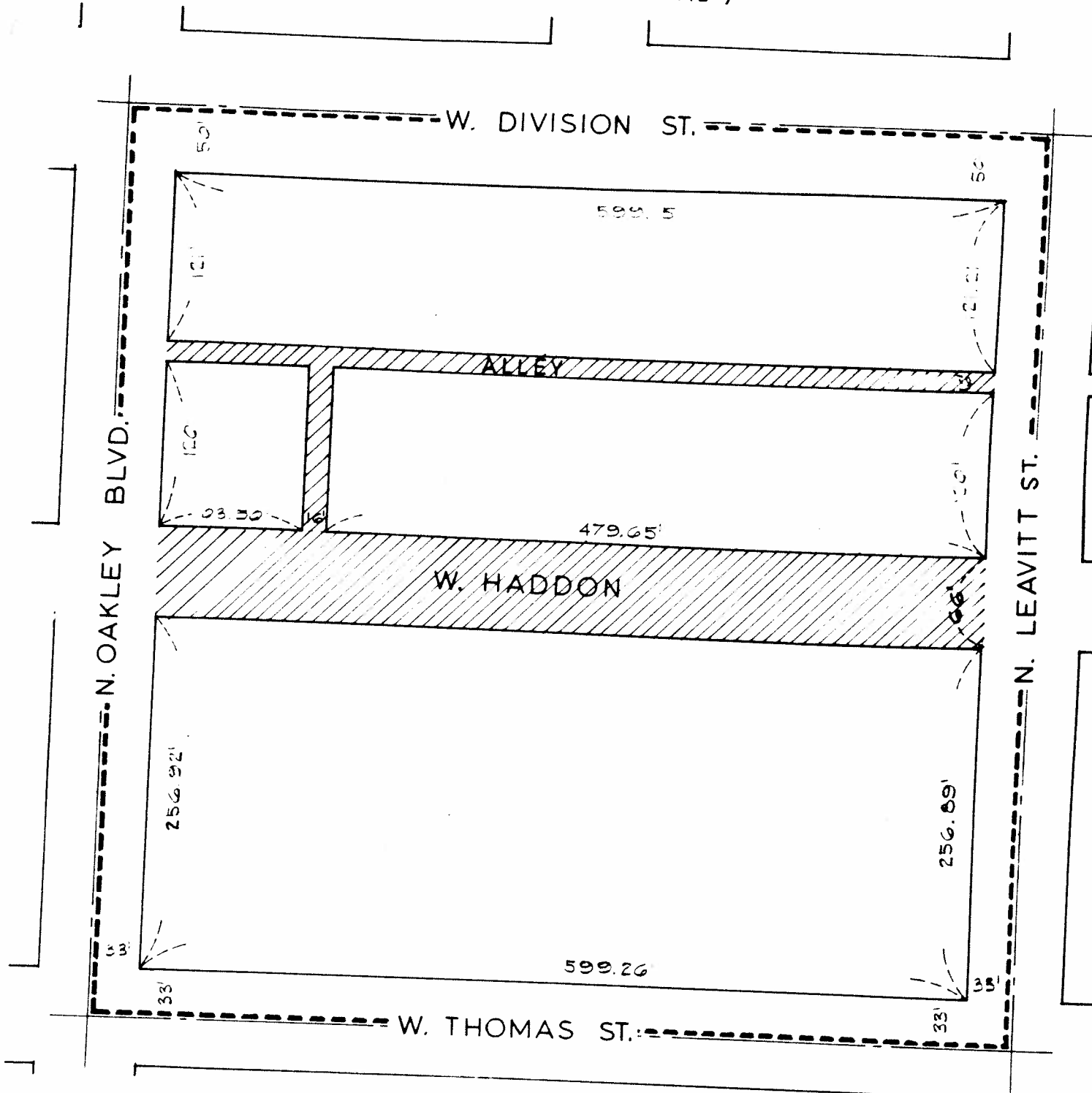
STATEMENTS

1. The area delineated as a "Residential Planned Development" is owned or controlled by St. Mary of Nazareth Hospital, Inc.
2. Off-street parking and loading facilities will be provided in compliance with this Plan of Development as authorized by the R5 General Residence District of the Chicago Zoning Ordinance.
3. Any dedication of streets or alleys or adjustments of the rights of way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of St. Mary of Nazareth Hospital, Inc. and approval by the City Council.
4. All applicable reviews, approvals or permits are required to be obtained by the St. Mary of Nazareth Hospital, Inc.
5. Service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Street and Sanitation and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking permitted within such paved areas.
6. Use of land will consist of hospital, research, medical, housing, and related uses as authorized by the Chicago Zoning Ordinance.
Laboratories or research facilities contained therein shall be governed by performance standards as authorized under the M1 zoning district of the Chicago Zoning Ordinance.
7. The following information sets forth data concerning the property included in said Planned Development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to the R5 General Residence District classification and with regulations hereby made applicable thereto.
8. The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments," as promulgated by the Commissioner of Development and Planning.

APPLICANT: St. Mary of Nazareth Hospital, Inc.

E: June 4, 1971

PROPERTY LINE MAP AND RIGHT - OF-WAY ADJUSTMENTS
 RESIDENTIAL PLANNED DEVELOPMENT
 (INSTITUTIONAL)



SCALE : 1" = 100' - 0"

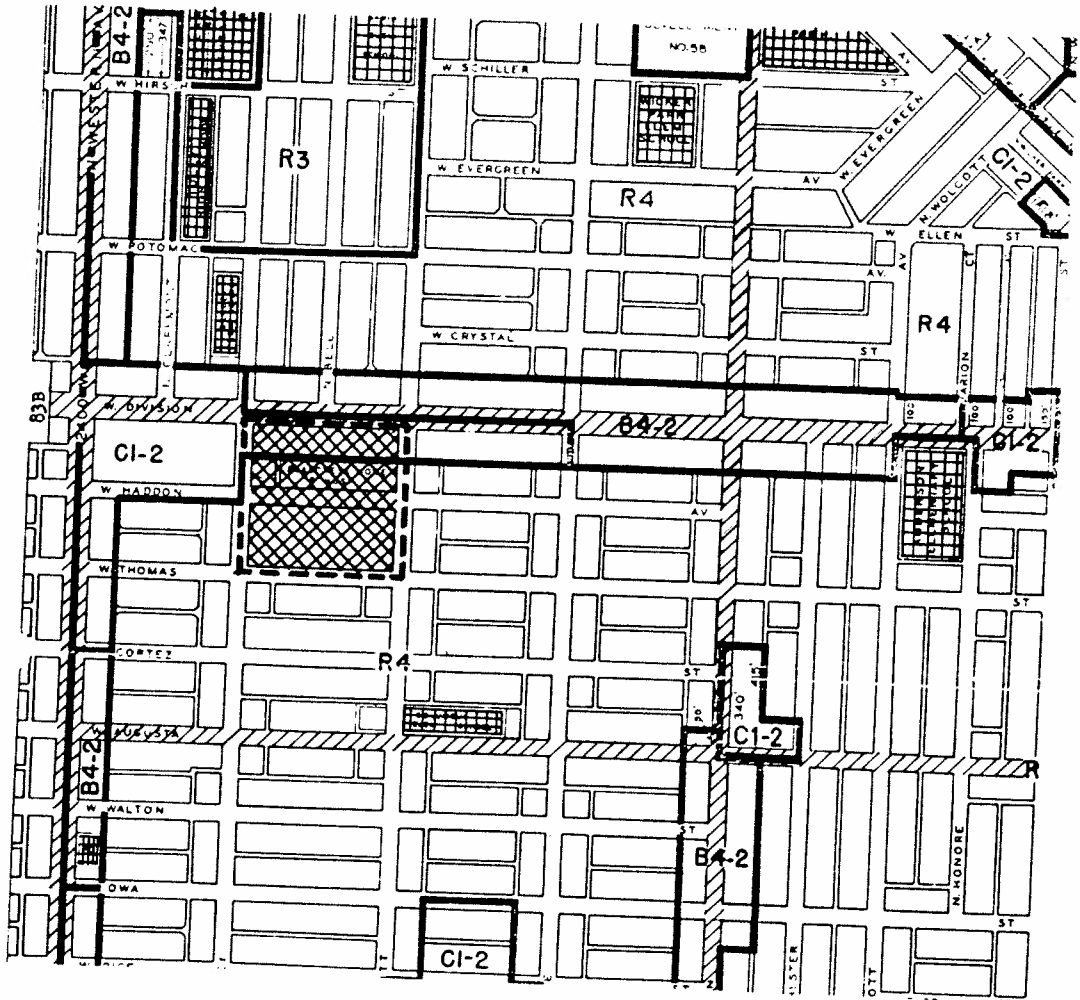






- PLANNED DEVELOPMENT BOUNDARY
- STREET AND ALLEYS TO BE VACATED

APPLICANT : ST. MARY OF NAZARETH HOSPITAL, INC.

DATE : JUNE 4, 1971

EXISTING ZONING AND PREFERENTIAL STREET SYSTEM
 RESIDENTIAL PLANNED DEVELOPMENT
 (INSTITUTIONAL)



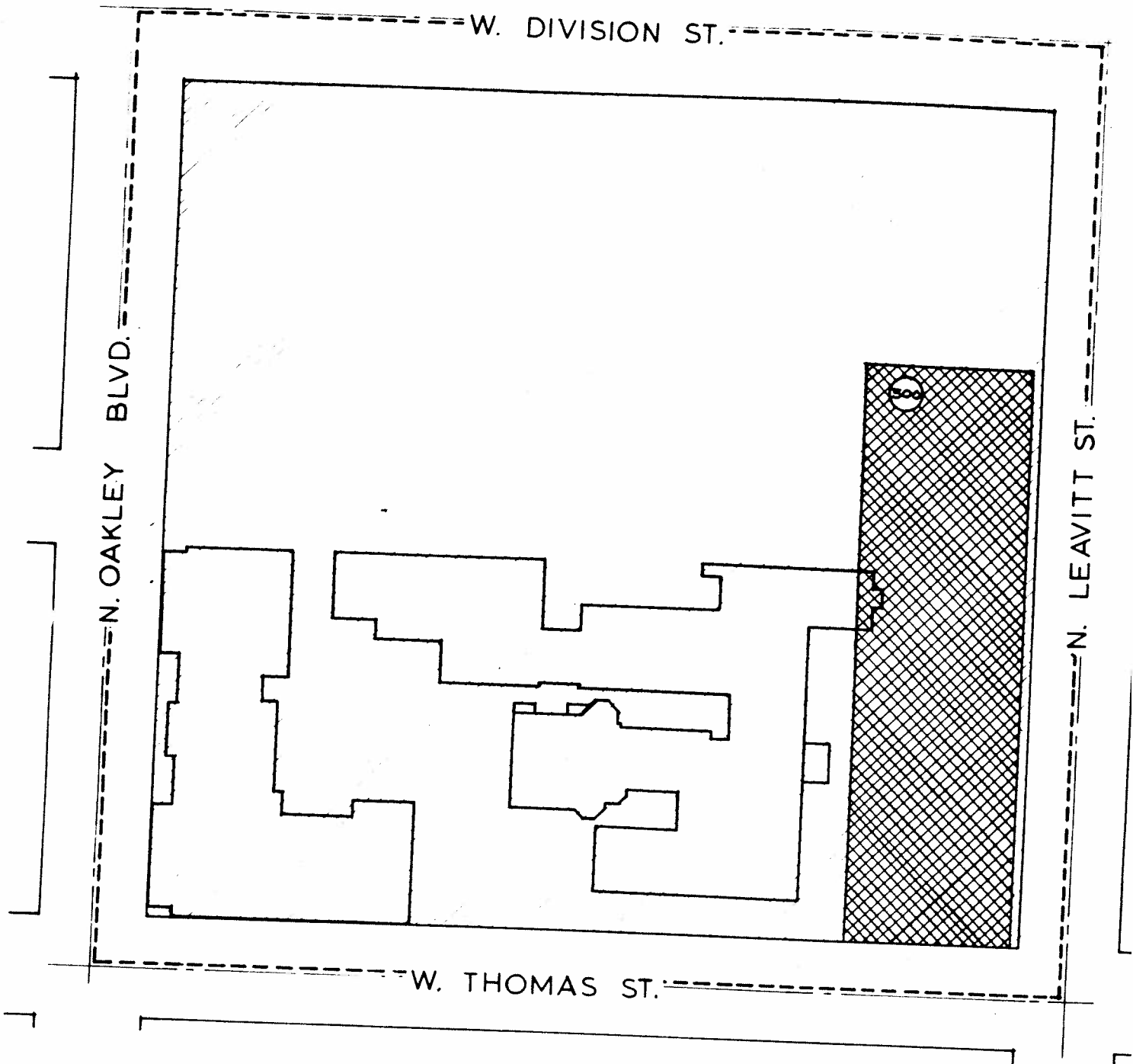
-  ZONING DISTRICTS
-  PREFERENTIAL STREET SYSTEM
-  PROPOSED RESIDENTIAL PLANNED DEVELOPMENT
-  OTHER PUBLIC, QUASI - PUBLIC AND PRIVATE INSTITUTIONS AND FACILITIES



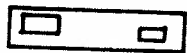
APPLICANT : ST. MARY OF NAZARETH HOSPITAL, INC.

DATE : JUNE 4, 1971

GENERALIZED LAND USE PLAN
 RESIDENTIAL PLANNED DEVELOPMENT
 (INSTITUTIONAL)



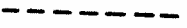
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EXISTING BUILDINGS



MEDICAL AND RELATED USES. LABORATORIES, (CLINICAL AND RESEARCH) HOUSING (NURSES, INTERNS AND RESIDENTS)



PLANNED DEVELOPMENT



PARKING AREA WITH NUMBER OF SPACES

APPLICANT: ST. MARY OF NAZARETH HOSPITAL, INC.

DATE: JUNE 4, 19

PLANNED DEVELOPMENT USE AND BULK REGULATIONS

RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)

<u>Net Site Area</u>		<u>General Description of Land Use and Type</u>	<u>Max. F.A.R.</u>	<u>Max. % of Land Covered</u>
<u>Square Feet</u>	<u>Acres</u>			
347,596	7.98	Medical and Related Uses Laboratories (Clinical & Research) Housing (Nurses, Interns & Residents)	2.2	45%

THE ABOVE NOTED REGULATIONS RELATE TO THE ULTIMATE DEVELOPMENT WITHIN THE PLANNED DEVELOPMENT AREA. INTERIM STAGES OF DEVELOPMENT MAY EXCEED THESE PERMITTED STANDARDS: SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Gross Site Area = Net Site Area (7.98 Acres) plus Area of Right-of-Way of Public Streets (2.15 Acres) = 10.13 Acres.

Maximum permitted F.A.R. for Total Net Site Area 2.2

Present Population:

- A. Medical and Related Uses
 - 1. Number of Beds 304
 - 2. Number of Attending Doctors 90
 - 3. Number of Employees (maximum in one shift) 350

Housing

- 1. Nurses 125 (student)

Minimum number of off-street parking spaces for Medical and Related Uses, Laboratories (Clinical and Research), Housing (Student nurses) 500 spaces.

Off-street parking and loading requirements for proposed Medical and Related Uses, Laboratories (Clinical and Research), Housing (Student nurses) shall be provided as authorized by R5 General Residence District Classification of the Chicago Zoning Ordinance.

Minimum Periphery Setbacks:

- A. Boundary and Front Yard Setbacks 43 FEET.
- B. Boundary and Side Yard Setbacks 56 and 123 FEET.

Minimum Distances Between Buildings:

- A. Patient Room Facings 24 FEET.
- B. End and Face Walls 24 FEET.

SETBACK AND YARD REQUIREMENTS MAY BE ADJUSTED WHERE REQUIRED TO PERMIT CONFORMANCE TO THE PATTERN OF, OR ARCHITECTURAL ARRANGEMENT RELATED TO, EXISTING STRUCTURES, OR WHEN NECESSARY BECAUSE OF TECHNICAL REASONS, SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Maximum percent of land covered (for total Net Site Area) 45%

APPLICANT: ST. MARY OF NAZARETH HOSPITAL, INC.

DATE: JUNE 4, 1971