

PD 819

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 6, 2014

Richard F. Klawiter
DLA Piper LLP (US)
203 N. LaSalle Street
Suite 1900
Chicago, IL 60601-1293

Re: Administrative Relief and Site Plan Approval for Residential Business Planned Development No. 819, Subareas C and D, Proposed North Union Avenue pedestrian bridge

Dear Mr. Klawiter:

Please be advised that your request for a minor change and site plan approval to Residential Business Planned Development No. 819 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statements 14 and 18 of the Planned Development.

You are requesting, on behalf of the applicant and property owner of Sub area D, SP5 Wood K2 Apartments LLC, to construct a pedestrian bridge over N. Union Ave. This proposed open bridge will connect the residential building now being constructed in Subarea D and commonly identified as 365 N. Halsted St., with the existing commercial building occupied by a grocery store located at 370 N. Des Plaines St., and within Subarea C. The commercial building is owned by Hubbards Cave L.L.C. and leased to Jewel Food Stores, Inc. A revised Planned Development Boundary and Right of Way Adjustment Map (dated February 1, 2013), a Bridge Full Site Plan, Bridge Site Plan, and Pedestrian Bridge Plan (all dated June 18, 2013), and a Rendering (dated September 19, 2013), shall be inserted into the main file.

The Applicant, SP5 Wood K2 Apartments, LLC, acknowledges that the pedestrian bridge is partially located outside its planned development boundary in an above-grade portion of the North Union Avenue right-of-way owned by the City of Chicago and zoned DS-5 (the "Above-Grade Easement Area"). The Applicant has executed an easement agreement with the City to use the Above-Grade Easement Area for the pedestrian bridge. Upon the City's execution of the easement agreement, the Above-Grade Easement Area and the pedestrian bridge (but no other portion of the North Union Avenue right-of-way) shall be permitted and regulated as a part of Residential Business Planned Development No. 819, as amended ("PD 819"). The Applicant acknowledges the potential for conflict arising from the split zoning of the Above-Grade Easement Area and, therefore, agrees to amend PD 819 to include the Above-Grade Easement

Area in the planned development boundary if the City so requests. The Applicant has also submitted a letter from John Mason, the current owner of the Cardiff Mason site (360 N. Union Ave.) that confirms his knowledge that the K2 Apartment bridge is partially located outside of the PD 819's zoning lot.

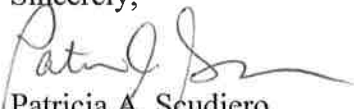
There are several vehicular and pedestrian traffic circumstances unique to this location. Union Ave. dead-ends at Kinzie St., therefore, there is no through traffic and minimal traffic in general at this site. This part of Union Ave. is used primarily by the residential building owner and the commercial owner and tenant. There is also a grade change at this location, thereby, limiting pedestrian traffic along Union Ave. The proposed bridge will connect the second floor of the residential building with the ground floor of the commercial building and provide for safe pedestrian movement between the two buildings.

With regard to your request, the Department of Planning and Development has determined that the proposed pedestrian bridge will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 819, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for 12 months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

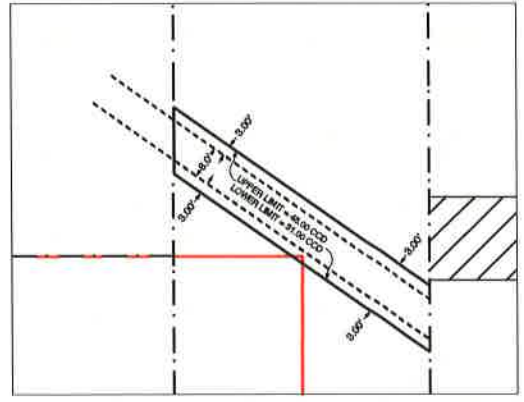
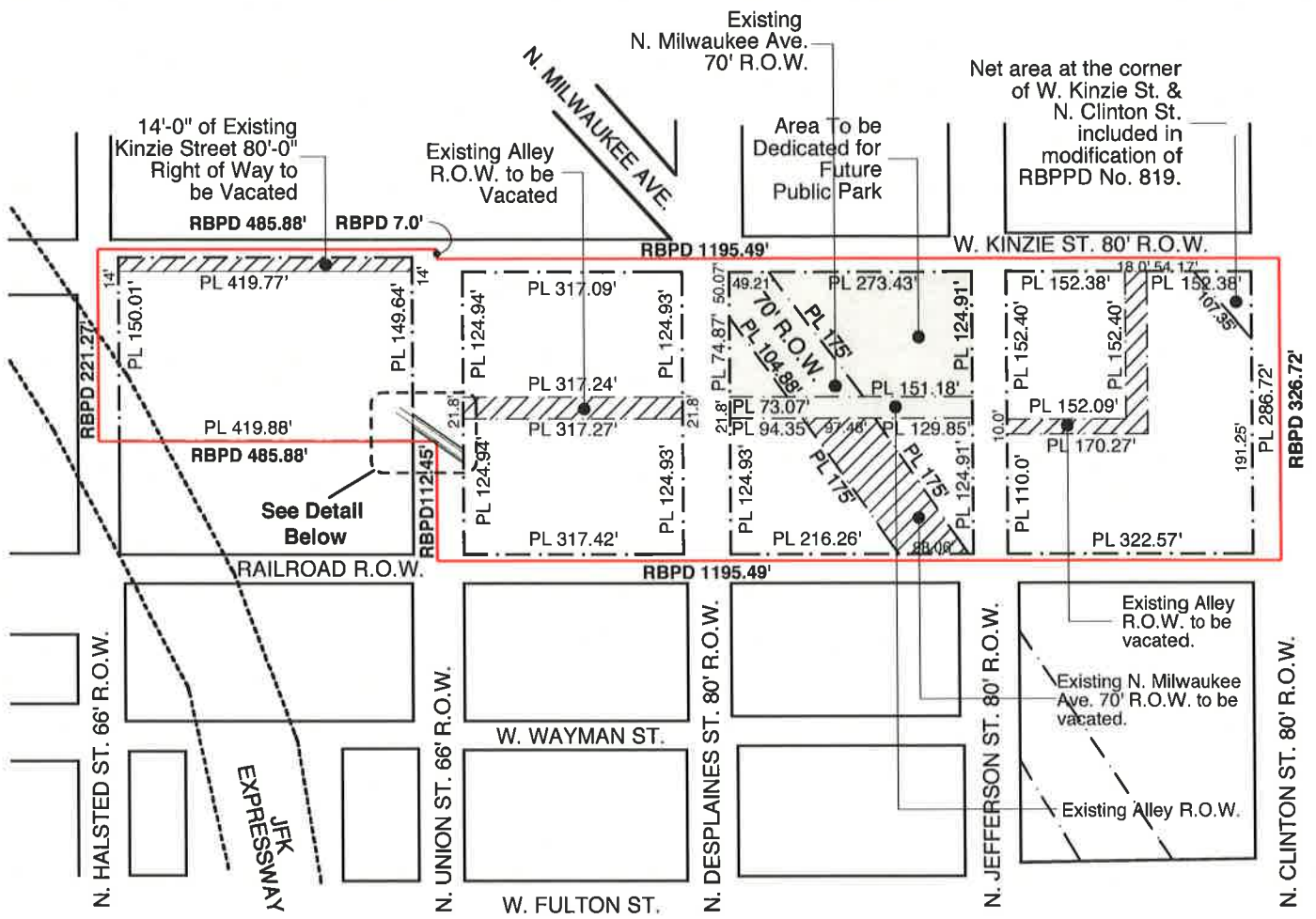
Sincerely,



Patricia A. Scudiero
Zoning Administrator

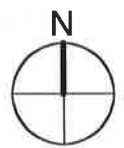
PAS: HG: tm

C: Mike Marmo, Erik Glass, Karen Bielarz, Susan Mea, Adam Lavey, Main file



Pedestrian Bridge Right of Way Detail
 NOT TO SCALE

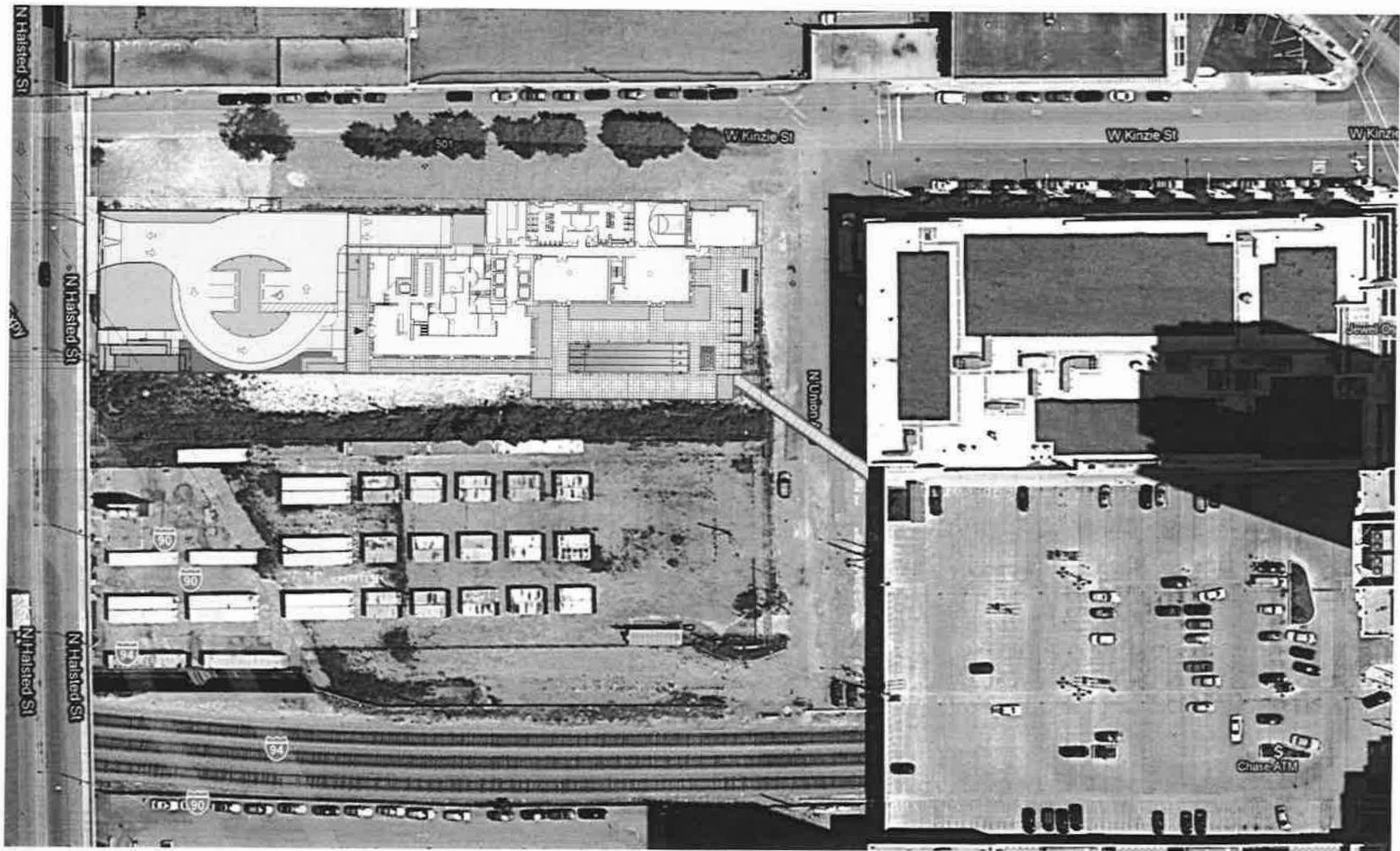
Applicant FRC Kinzie/Jefferson L.L.C.
 Applicant Address 20 North Wacker
 Chicago, IL 60606
 Date March 22, 2004
 Revised February 01, 2013



Modification to RBDP No. 819 Planned Development Boundary and Right of Way Adjustment Map



Prepared by: PAPPAGEORGE/HAYMES Ltd.
 ARCHITECTS



K2-Jewel Osco Pedestrian Bridge Site Plan

SCALE: 1/64" = 1'-0"

K2
365 N. Halsted
Chicago, Illinois



Bridge Full Site Plan



FRC Realty, Inc.
developer



pappageorgehaymes partners
www.pappageorgehaymes.com

6/15/13
P/H # 101980

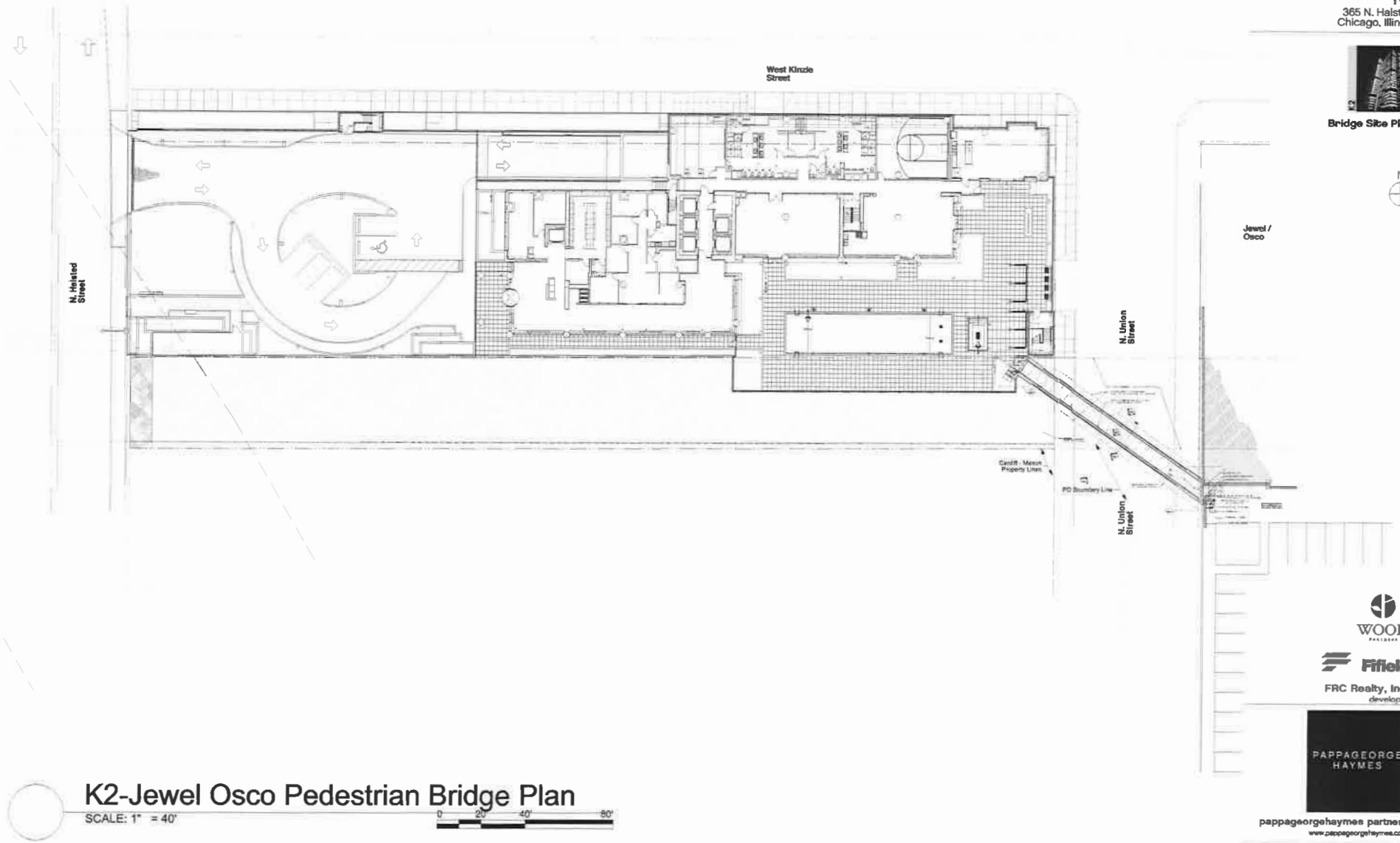
K2
365 N. Halsted
Chicago, Illinois



Bridge Site Plan



Jewel /
Osco



K2-Jewel Osco Pedestrian Bridge Plan

SCALE: 1" = 40'



FRC Realty, Inc.
developer



pappageorgehaymes partners
www.pappageorgehaymes.com

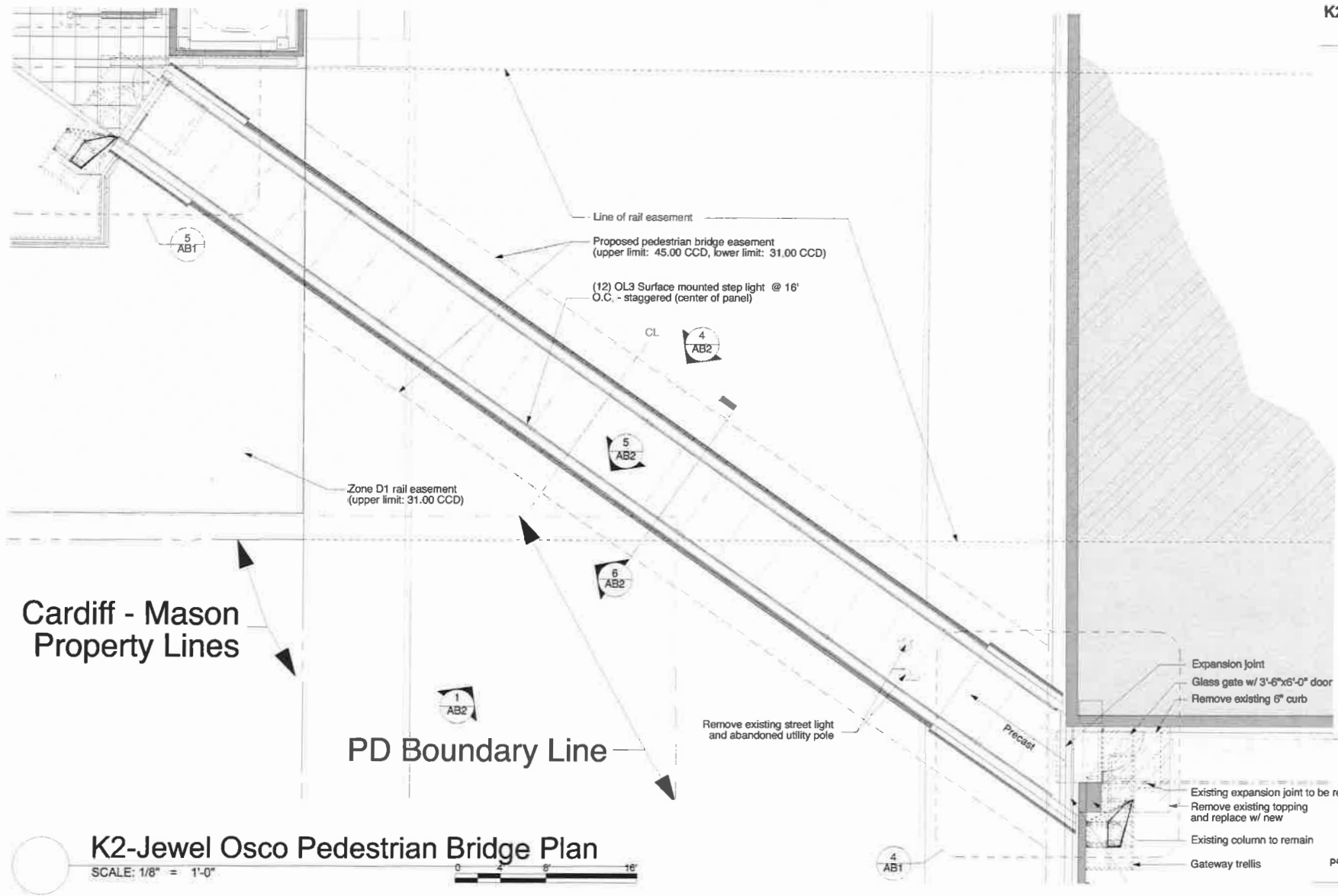
6/7/13
P/H # 101980

This plan and all drawings are subject to field verification for compliance and code.

K2 - Pedestrian Bridge
 365 N. Halsted
 Chicago, Illinois



Pedestrian Bridge Plan



WOOD
 ARCHITECTS

Fifield
 FRC Realty, Inc.
 developer

PAPPAGEORGEHAYMES PARTNERS
 www.pappageorgehaymes.com

K2-Jewel Osco Pedestrian Bridge Plan

SCALE: 1/8" = 1'-0"



6/18/13
 P/H # 101980

This plan set shall remain the property of Pappageorgehaymes & Partners, LLC.



K2
365 N. Halsted
Chicago, Illinois

9/19/13
PM # 101980

K2 PEDESTRIAN BRIDGE

Ffield
FRC Realty, Inc.
Developer

WOOD
ARCHITECTS



PAPPAGEORGE
HAYM
CORP.

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City of Chicago
Richard M. Daley, Mayor
Department of Housing
and Economic Development

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121 North LaSalle Street
Chicago, Illinois 60602
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(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

May 13, 2011

Brian Kidd
Pappageorge Haymes Partners
640 North LaSalle Street
Suite 400
Chicago, IL 60654

Re: **Administrative Relief request for Residential Business Planned Development No. 819, Sub Area D, 365 North Halsted Street**

Dear Mr. Kidd:

Please be advised that your request for a minor change to Residential Business Planned Development No. 819 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.

You are requesting to:

1. Relocate the curb cut for the parking garage entrance from West Kinzie Street to North Union Avenue. A revised 1st Floor (Kinzie St.) Floor and Site Plan, dated March 12, 2011, was approved by the Department of Transportation on March 16, 2011.
2. Modify the building base facing Kinzie Street, increase the typical floor height by 4 inches, thereby increasing the overall height of the building by 10 feet, shift the residential tower on top of the parking podium to the west by approximately 25 feet and cantilever the pool deck over the high-speed rail easement on the southeast corner of the building.
3. Revise the landscaping by reducing the number of trees from 17 to 16 along the Kinzie Street frontage in order to allow space for utilities and revise the Halsted drive entry court. Also, replace the tree planters along the Kinzie Street parkway with tree grates.

With regard to your request, the Department of Housing and Economic Development has determined that allowing these revisions, will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

The following drawings, prepared by Pappageorge Haymes Partners, shall be inserted into the main file:

- A401 North Elevation, March 31, 2011
- A402 South Elevation, March 31, 2011
- A403 East and West Elevation, March 31, 2011

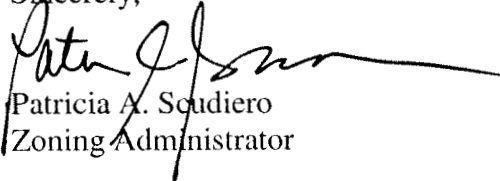


1st Floor (Kinzie St.) Floor and Site Plan, March 12, 2011
Third Floor (Plaza Level) Floor and Site Plan, March 12, 2011

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 819, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

However, you also requested to replace the approved at-grade landscaping along the Kinzie Street building setback and continuing around the corner of North Union Street with planter boxes. This request has been denied except for the area under the proposed overhang. Please revise the landscaping in this area in conformance with the Planned Development.

Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

c: Mike Marmo, Erik Glass, Fred Deters, Ron Daye, Main file



City of Chicago
Richard M. Daley, Mayor

Department of Zoning and
Land Use Planning

Patricia A. Scudiero
Commissioner

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November 4, 2009

Adam Lavey
Pappageorge Haymes Partners
640 North LaSalle Street
Suite 400
Chicago, IL 60654

Re: **Administrative Relief request for Residential Business Planned
Development No. 819, Sub Area A, Landscape changes at 365 North
Jefferson Street and 565 West Kinzie Street**

Dear Mr. Lavey:

Please be advised that your request for a minor change to Residential Business Planned Development No. 819, Sub Area A, has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.

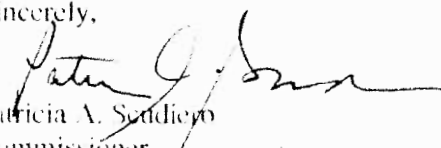
You are requesting to:

- Eliminate the planters along North Jefferson Street and replace them with tree pits and grates and new planters. This substitution is partially due to the location of a ComEd transmission line. It will also allow the ground floor restaurant tenant to provide outdoor seating as existing in the surrounding area.
- Revise the tree layout along West Kinzie Street due to existing underground utilities. Both of these revisions are shown on a revised Landscape Plan, prepared by DLK Civic Design, and dated July 29, 2009.

With regard to your request, the Department of Zoning and Land Use Planning has determined that allowing these landscaping revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 819, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,


Patricia A. Scudiero
Commissioner

PAS:ADG:tm
c: Mike Marmo, Erik Glass, Ron Daye, Main file





City of Chicago
Richard M. Daley, Mayor

Department of Zoning and
Land Use Planning

Patricia A. Scudiero
Commissioner

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Briden

August 4, 2009

Bernard I. Citron
Schain, Burney, Ross & Citron, Ltd.
222 North La Salle Street; Suite 1910
Chicago, Illinois 60601-1102

**Re: Request for Minor Change to Residential Business
Planned Development No. 819, as amended - Subarea D
(Site Plan, Landscape Plan, and Building Elevations)
353 N. Halsted Street**

Dear Mr. Citron:

Your request for minor changes to Residential Business Planned Development No. 819, as amended, submitted on behalf of FRC Kinzie/ Jefferson, LLC, has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.

Specifically, you requested to substitute the following plans for the Site Plan, Landscape Plan, and Building Elevations attached to Residential-Business Planned Development No. 819, as amended November 30, 2005, as they pertain to Subarea D:

1. Sub-Basement Floor Plan
2. Basement Floor Plan
3. First Floor (Kinzie Street) Floor & Site Plan
4. Second Floor Plan
5. Third Floor (Plaza Level) Floor & Site Plan
6. Kinzie Street Landscape Plan
7. Halsted Street Landscape Plan
8. Green Roof Plan
9. North Elevation
10. South Elevation
11. East & West Elevations

All plans were dated June 18, 2009, and prepared by Papageorge/Haymes Ltd.





City of Chicago
Richard M. Daley, Mayor

Department of Zoning and
Land Use Planning

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**RESIDENTIAL-BUSINESS PLANED DEVELOPMENT
No. 819, as amended, SUB-AREA D
(353 NORTH HALSTED STREET)**

RESOLUTION

WHEREAS, the Applicant, FRC Kinzie/ Jefferson, L.L.C., proposes to construct a 36-story residential tower with 496 dwelling units and a three-level parking garage for 397 autos in Sub-area D of the Planned Development No. 819, as amended; and the Residential-Business Planned Development was most recently approved by the Chicago Plan Commission on November 17, 2005, and by the Chicago City Council on November 30, 2005; and

WHEREAS, pursuant to the provisions of Statement No. 10 of the Planned Development No. 819, any substantial changes to the site plans as approved in the Planned Development must be reviewed and approved by the Chicago Plan Commission; and

WHEREAS, the Applicant has submitted a set of revised Site Plans dated April 29, 2009, for approval; and

WHEREAS, the Department of Zoning and Land Use Planning recommended approval of the application for revised Site Plan for Sub-area D, which recommendation and explanation are contained in the Department's written report dated June 18, 2009, a copy of which is attached hereto and made a part hereof; and

WHEREAS, the Chicago Plan Commission has fully reviewed the application and all information submissions associated with the proposed development, the report and recommendation of the Commissioner of the Department of Zoning and Land Use Planning, and all other testimony presented at the public hearing held June 18, 2009;

NEIGHBORHOODS
2009

7/23/09



City of Chicago
Richard M. Daley, Mayor

Department of Zoning and
Land Use Planning

Patricia A. Scudiero
Commissioner

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Binder 1

June 16, 2009

Bernard I. Citron
Schain, Burney, Ross & Citron, Ltd.
222 North La Salle Street; Suite 1910
Chicago, Illinois 60601-1102

**Re: Request for Minor Change to Residential Business
Planned Development No. 819, as amended
(Bulk Regulations and Data Table)**

Dear Mr. Citron:

Your request for a minor change to Residential Business Planned Development No. 819, as amended, submitted on behalf of FRC Kinzie/Jefferson, LLC, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 14 and Footnote "h" of the Bulk Regulations and Data Table of the Planned Development.


The following minor change has been reviewed by the Department of Zoning and Land Use Planning:

Revise the Bulk Regulations and Data Table to increase the maximum permitted height in Subarea D from 368 feet to 375 feet (as measured from the grade of N. Union Avenue).

With regard to your request, the Department of Zoning and Land Use Planning has determined that such a revision to the Planned Development would constitute a minor change pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 14 and Footnote "h" of the Bulk Regulations and Data Table of the Planned Development, as amended.

I hereby approve the above minor change, but no other change, to Residential Business Planned Development No. 819, as amended, as indicated on the attached "Revised Bulk Regulations and Data Table".

Very truly yours,


Patricia A. Scudiero
Commissioner

Originated by: Fred Deters

cc: Mike Marmo, Pat Haynes, Eric Glass, Planned Development files





City of Chicago
Richard M. Daley, Mayor

Department of Zoning

Patricia A. Scudiero
Zoning Administrator

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May 5, 2009

Bernard I. Citron
Schain, Burney, Ross & Citron, Ltd.
222 North La Salle Street, Suite 1910
Chicago, Illinois 60601-1102

**Re: Request for Minor Change to Residential Business Planned
Development No. 819, as amended (Bulk Regulations and Data Table)**

Dear Mr. Citron:

Your request for a minor changes to Residential Business Planned Development No. 819, as amended, submitted on behalf of FRC Kinzie/Jefferson, LLC, has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 14 and Footnote "h" of the Bulk Regulations and Data Table of the Planned Development.

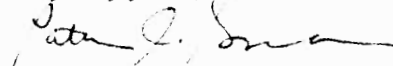
The following minor changes have been reviewed by the Department of Zoning and Land Use Planning:

1. Revise the Bulk Regulations and Data Table to transfer 6 dwelling units from Subarea A to Subarea D, reducing the maximum permitted number of dwelling units in Subarea A from 854 to 848, and increasing the maximum permitted number of dwelling units in Subarea D from 490 to 496. The overall total maximum permitted number of dwelling units would remain 1,694.
2. Revise the Bulk Regulations and Data Table to increase the maximum permitted Floor Area Ratio in Subarea D from 9.187 to 11.74 and reduce the maximum permitted Floor Area Ratio in Subarea A from 15.50 to 13.81. The overall total maximum permitted Floor Area Ratio would remain 7.00.
3. Revise the Bulk Regulations and Data Table to increase the maximum permitted height in Subarea D from 350 feet to 368 feet (as measured from the grade of N. Union Avenue).

With regard to your request, the Department of Zoning and Land Use Planning has determined that such revisions to the Planned Development would constitute minor changes pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 14 and Footnote "h" of the Bulk Regulations and Data Table of the Planned Development, as amended.

I hereby approve the above minor changes, but no other changes, to Residential Business Planned Development No. 819, as amended, as indicated on the attached "Revised Bulk Regulations and Data Table".

Very truly yours,


Patricia A. Scudiero
Commissioner

Attachment

Originated by: Fred Deters

cc: Mike Jasso, Mike Marmo, Pat Haynes, Eric Glass, Planned Development Files

NEIGHBORHOODS





City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

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December 5, 2007

Bernard I. Citron
Schain, Burney, Ross & Citron, Ltd.
222 N. LaSalle Street
Suite 1910
Chicago, Illinois 60601-1102

**Re: Administrative Relief request for Residential Business Planned
Development No. 819, as amended, Sub-Area A and D, Kinzie Station**

Dear Mr. Citron:

Please be advised that your request for a minor change to Residential Business Planned Development No. 819, as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.

Specifically, you are requesting to:

- Reduce the number of allowable units in Sub-Area D from 740 to 490 units, and thereby increase the permitted number of units in Sub-Area A to 854 units.
- Increase the maximum building height within Sub-Area A from 375 feet to 390 feet.
- Increase the floor area ratio (FAR) in Sub-Area A to 15.50 and correspondingly, to reduce the FAR in Parcel D to 9.187 and reduce the FAR in Parcel B to 8.82. The overall allowable FAR will remain 7.0.

With regard to your request, the Department of Planning and Development has determined that these revisions do not create an adverse impact on the Planned Development or surrounding neighborhood, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 819, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Arnold L. Randall
Commissioner

ALR:SA tm

cc: Ferri Haymaker, Mike Marmo, Pat Haynes, Erik Glass, Fred Deters, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

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May 30, 2007

Ms. Caroline A. Nash
Schain, Burney, Ross & Citron, Ltd.
Suite 1910
222 N. LaSalle Street
Chicago, IL 60601-1102

Re: **Site Plan Approval for Residential Business Planned Development No. 819, as amended, Kinzie Station, Sub-Area A**

Proposal: The construction of a 37-story, 422 dwelling unit building with 339 parking spaces.

Location: Kinzie Station Parcel A, Southeast corner of W. Kinzie and N. Jefferson Streets

Dear Ms. Nash:

We have reviewed the drawings dated April 9, 2007, and prepared by Pappageorge/Haymes Ltd., for the construction of a 37-story residential apartment building on Parcel A of Residential Business Planned Development No. 819, as amended. The building will include a green roof and amenity area for building residents above the parking garage and is the first of two buildings planned for this parcel.

The following drawings were reviewed and will be added to the main file within The Department of Planning and Development in anticipation of Part II:

- Site Plan
- Rendered Images
- Combined View
- City View
- North Elevation
- South Elevation
- East Elevation
- West Elevation
- Building D
- Roof Plan
- B01 Floor Plan
- 1st Floor Plan
- 2nd Floor
- 3rd Floor (Typical Garage)
- 8th Floor (Terrace Level)
- A101 Site Plan (May 4, 2007)
- L-1 Landscape Plan (DLK Civic Design, May 3, 2007)
- L-2 Green Roof Plan (DLK Civic Design, May 3, 2007)



- A401 North/West Elevations (April 26, 2007)
- A402 South/East Elevations (April 26, 2007)

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Any minor change to the above-mentioned plans must be submitted for approval by the Commissioner of the Department of Planning and Development. Accordingly, this Site Plan submittal for Residential Business Planned Development No. 819, as amended, is hereby approved as conforming to the Plan of Development as amended and passed by the Chicago City Council on November 30, 2005.

Sincerely,

A handwritten signature in black ink that reads "Kathleen Nelson". The signature is written in a cursive style with a long, sweeping tail on the "N" and "l" at the end.

Kathleen Nelson *pk*
First Deputy Commissioner

KCN:MRD:tm

cc: Kathleen Nelson, Terri Haymaker, Mike Marmo, Pat Haynes, DPD Files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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March 26, 2007

Mariah F. DiGrino
DLA PIPER US LLP
203 N. LaSalle Street
Suite 1900
Chicago, Illinois 60601-1263

**Re: Administrative Relief request for Residential Business Planned
Development No. 819, Subarea C, Jewel Food Stores, 641-671 West
Kinzie Street/370 North Des Plaines Street**

Dear Ms. DiGrino:

Please be advised that your request for a minor change to Residential Business Planned Development No. 819, as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.

Specifically, you requested the following:

- Substitute the existing Landscape Plan for the updated Landscape Plan, Sheet L-1, dated February 23, 2007 and prepared by Webster, McGrath and Ahlberg, Ltd. Additional landscaping has been added along N. Des Plaines St. and N. Union Ave., a landscaped island has been relocated resulting in a net loss of one parking space, and parking stalls adjacent to N. Des Plaines St. have been orientated diagonally.
- Reduce the minimum number of parking spaces from 170 to 142, in order to reconcile inconsistencies between the number of parking spaces as identified in the Bulk Table and as depicted on the plans approved under the Planned Development. The 28 spaces depicted on the original plans will be provided within Jewel's proposed parking deck, however, these 28 spaces will be located outside the Planned Development boundaries.

With regard to your request, the Department of Planning and Development has determined that these revisions do not create an adverse impact on the Planned Development or surrounding neighborhood, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 819, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,

Lori T. Healey

Lori T. Healey
Commissioner

LTHEMRD:tm

cc: Kathleen Nelson, Terri Haymaker, Mike Marmo, Pat Haynes, DPD files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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<http://www.cityofchicago.org>

February 14, 2007

Mariah F. DiGrino
DLA PIPER US LLP
203 N. LaSalle Street
Suite 1900
Chicago, Illinois 60601-1263

Re: Administrative Relief request for Residential Business Planned Development No. 819, Subarea C, Jewel Food Stores, 641-671 West Kinzie Street/370 North Des Plaines Street

Dear Ms. DiGrino:

Please be advised that your request for a minor change to Residential Business Planned Development No. 819, as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.

Specifically, you requested the following:

- Relocate the Kinzie-Des Plaines corner entrance to the center of the Des Plaines building elevation. Landscaped planters and clear insulated glass will be provided at the former corner entrance location, resulting in an increase of approximately 250-300 square feet of landscape materials.
- Increase the floor area of the lower level to accommodate additional back-of-house areas. Accordingly, the loading berths will be shifted south, the self-contained trash compactor will be relocated to the area adjacent to the loading berths, and the lower level employee parking spaces will be removed.
- Increase the overall floor area from 52,800 square feet to 65,500 square feet. The resulting floor area ratio of 0.58 is less than the permitted floor area ration of 0.81 for Subarea C.
- Replace the pre-aged copper panels with pre-finished metal panels with a silver metallic finish.

The following drawings, prepared by Camburas & Theodore Ltd., and dated January 25, 2007, shall be substituted in place of the previously approved drawings:

Sheet 3.2A	Exterior Elevations
Sheet 3.2B	Exterior Elevations
Sheet L-1	Landscape Plan
Sheet L-2	Landscape Details

NEIGHBORHOODS




Sheet 1.0A Site Layout and Details
Sheet 1.0B Lower Level Site Layout & Details

With regard to your request, the Department of Planning and Development has determined that these proposed design revisions do not create an adverse impact on the Planned Development or surrounding neighborhood, do not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 819, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,



Lori T. Healey 
Commissioner

LTH:MRD:tm

cc: Kathleen Nelson, Terri Haymaker, Mike Marmo, Pat Haynes, DPD files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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September 20, 2006

Caroline A. Nash
Schain, Burney, Ross & Citron, Ltd.
222 North La Salle Street; Suite 1910
Chicago, Illinois 60601-1102

**Re: Request for Minor Change to Residential Business Planned
Development No. 819, as amended - Subarea B
(Site Plan, Landscape Plan, Building Elevations and Park)**

Dear Ms. Nash:

Your request for a minor changes to Residential Business Planned Development No. 819, as amended; submitted on behalf of FRC Kinzie/Jefferson, L.L.C., has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development.

Subarea B: Site Plan, Landscape Plan and Building Elevations.

Specifically, you requested to substitute the following plans for the Site Plan, Landscape Plan, and Building Elevations attached to Residential-Business Planned Development No. 819, as amended November 30, 2005, as they pertain to Subarea B:

- Site Plan - A1.02 (May 16, 2006)
- Landscape Plan - L1 (May 18, 2006)
- Green Roof Plan (May 18, 2006)
- North Elevation (June 13, 2006)
- East and West Elevations (June 13, 2006)
- South Elevation (June 13, 2006)
- Crown of Tower - West and East Elevations (June 13, 2006)
- Crown of Tower - South and North Elevations (June 13, 2006)
- Detail Elevations (except for Crown of Tower) (May 18, 2006).

All plans were prepared by either Papageorge/Haymes Ltd. or Wolff Landscape Architecture.

The above plans represent a 39-story residential tower, 391 feet high from the grade of North Jefferson Street, with 350 residential dwelling units, 280 off-street automobile parking spaces, one off-street loading space, at least 50 bicycle parking spaces, at least 6,543 square feet of vegetated ("green") roof, and a dog run on grade at the Jefferson Street side. Face brick and Renaissance Stone may be substituted for the precast concrete indicated at the base of the structure.

The 280 off-street automobile parking spaces provided represent 0.8 spaces per dwelling unit in accord with the requirements of the Planned Development. At least 274 of those spaces shall be full-size as per the Zoning Code.

The above substantial changes to the Site Plan, Landscape Plan, and Building Elevations for Subarea B have been reviewed and approved by the Chicago Plan Commission at its May 19, 2006 meeting, as required by Statement No. 10 of the Planned Development. The Resolution of the Chicago Plan Commission is attached.



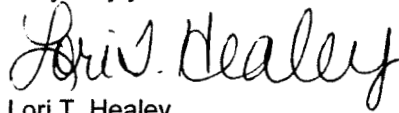
Subarea B: Park

Notwithstanding the requirements of Statement No. 12 of the Planned Development, the developer of the above improvements in Subarea B shall complete construction of the Subarea B Park within 12 months of either the issuance of the first permit for construction of the above improvements or final determination of the program for the park, whichever occurs later.

With regard to your request, the Department of Planning and Development has determined that such revisions to the Planned Development would constitute minor changes pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 14 of the Planned Development, as amended.

I hereby approve the above minor changes, but no other changes, to Residential Business Planned Development No. 819, as amended.

Very truly yours,



Lori T. Healey
Commissioner

Originated by: Fred Deters

cc: Mike Marmo, Terri Haymaker, Kathleen Nelson, Planned Development files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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Final

**RESIDENTIAL-BUSINESS PLANED DEVELOPMENT No. 819, as amended, SUB-AREA B
(600-629 WEST KINZIE STREET)**

RESOLUTION

WHEREAS, the Applicant, Fifield Companies, proposes to construct a 39-story residential tower with 350 dwelling units located on top of a three-level parking garage for 287 autos, plus a 1-acre park in Sub-area B of the Planned Development No. 819, as amended; and the amended Residential-Business Planned Development was most recently approved by the Chicago Plan Commission on November 17, 2005, and by the Chicago City Council on November 30, 2005; and

WHEREAS, pursuant to the provisions of Statement No. 10 of Planned Development No. 819, any substantial changes to the site plans as approved in the Planned Development must be reviewed and approved by the Chicago Plan Commission; and

WHEREAS, the Applicant has submitted a set of revised Site Plans dated May 18, 2006, for approval; and

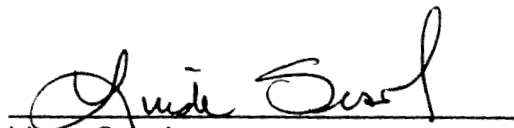
WHEREAS, the Department of Planning and Development recommended approval of the application for revised Site Plans for Sub-area B, which recommendation and explanation are contained in the Department's written report dated May 19, 2006, a copy of which is attached hereto and made a part hereof; and

WHEREAS, the Chicago Plan Commission has fully reviewed the application and all information submissions associated with the proposed development, the report and recommendation of the Commissioner of the Department of Planning and Development, and all other testimony presented at the public hearing held May 19, 2006;



NOW, THEREFORE, BE IT RESOLVED BY THE CHICAGO PLAN COMMISSION:

THAT the application for approval of the revised Site Plan for Sub-area B of Residential-Business Planned Development No. 819, as amended, including the final plans dated May 18, 2006, be approved by this Plan Commission.

A handwritten signature in black ink, appearing to read "Linda Searl", written over a horizontal line.

Linda Searl
Vice-Chairman
Chicago Plan Commission

RBPD No. 819, Sub-area B

Approved: May 19, 2006



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

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September 19, 2006

Caroline A. Nash
Schain, Burney, Ross & Citron, Ltd.
222 North La Salle Street; Suite 1910
Chicago, Illinois 60601-1102

**Re: Request for Minor Change to Residential Business Planned
Development No. 819, as amended - Subarea B
(Bulk Regulations and Data Table)**

Dear Ms. Nash:

Your request for a minor changes to Residential Business Planned Development No. 819, as amended, submitted on behalf of FRC Kinzie/Jefferson, L.L.C., has been considered by the Department of Planning and Development pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 14 and Footnote "h" of the Bulk Regulations and Data Table of the Planned Development.

The following minor changes have been reviewed by the Department of Planning and Development:

1. Revise the Bulk Regulations and Data Table to transfer 35 dwelling units from Subarea D to Subarea B, reducing the maximum permitted number of dwelling units in Subarea D from 775 to 740, and increasing the maximum permitted number of dwelling units in Subarea B from 315 to 350. The overall total maximum permitted number of dwelling units would remain 1,694.
2. Revise the Bulk Regulations and Data Table to increase the maximum permitted height in Subarea B from 290 feet to 392 feet (as measured from the grade of North Jefferson Street). This would allow for a taller tower with a much smaller floor plate.

With regard to your request, the Department of Planning and Development has determined that such revisions to the Planned Development would constitute minor changes pursuant to Section 17-13-0611-A of the Chicago Zoning Ordinance and Statement No. 14 and Footnote "h" of the Bulk Regulations and Data Table of the Planned Development, as amended.

I hereby approve the above minor changes, but no other changes, to Residential Business Planned Development No. 819, as amended, as indicated on the attached "Revised Bulk Regulations and Data Table".

Very truly yours,

Lori T. Healey
Commissioner

Attachment

Originated by: Fred Deters

cc: Mike Marmo, Terri Haymaker, Kathleen Nelson, Planned Development files



Residential-Business Planned Development No. 819, as amended
Bulk Regulations and Data Table

REVISED SEPTEMBER 19, 2006

	TOTAL	SUBAREA			
		A	B	C	D
Gross Site Area	503,681 s.f. (11.56 ac.)	131,589 s.f. (3.02 ac.)	131,550 s.f. (3.02 ac.)	155,096 s.f. (3.56 ac.)	85,446 s.f. (1.96 ac.)
- Area in Existing Public Right-of-Way to Remain	139,912 s.f. (3.21 ac.)	33,183 s.f. (0.76 ac.)	44,005 s.f. (1.01 ac.)	41,297 s.f. (0.95 ac.)	21,427 s.f. (0.49 ac.)
- Area to be Dedicated to Public Park	47,310s.f. a) (1.09 ac.)	--	47,310 s.f. a) (1.09 ac.)	--	--
= NET SITE AREA	316,459 s.f. (7.26 ac.)	98,406 s.f. (2.28 ac.)	40,235 s.f. (0.92 ac.)	113,799 s.f. (2.61 ac.)	64,019 s.f. (1.45 ac.)
Max. Permitted Floor Area Ratio g)	7.0	10.47	10.47	0.81	10.47
Permitted Uses	See Statement No. 5				
Maximum Permitted Number of Dwelling Units h)	1,694	604	315 <u>350</u>	0	775 <u>740</u>
Maximum Site Coverage	In accordance with the Site Plans				
Minimum Setbacks	In accordance with the Site Plans				
Minimum Number of Off-Street Parking Spaces		b)	b)	170	b)
Maximum Number of Off-Street Parking Spaces		c)	c)	190	c)
Minimum Number of Off-Street Loading Berths	7	2	1	3	1
Minimum Number of Bicycle Spaces	1 per 2 automobile spaces for residential uses				
Maximum Building Height		375 ft. d)	290 ft. d) <u>392 ft.</u>	40 ft. e)	350 ft. f)
a) Includes private land and existing public right-of-way.					
b) Residential: 0.8 spaces per residential unit Retail/commercial: 1 space per 1000 square feet					
c) Residential: 1.1 spaces per residential unit Retail/commercial: 2.5 spaces per 1000 square feet					
d) Height measured from the grade of N. Jefferson Street					
e) Height measured from the grade of N. Desplaines Street at W. Kinzie Street					
f) Height measured from the grade of N. Union Avenue					
g) Developable Floor Area (FAR) may be transferred between subareas with the approval of the Commissioner of Planning and Development, so long as the overall Maximum Floor Area Ratio of 7.0 is not exceeded.					
h) Dwelling units may be transferred between subareas with the approval of the Commissioner of Planning and Development, so long as the overall Maximum of 1,694 dwelling units is not exceeded.					

15214

11/30/2005

REPORTS OF COMMITTEES

62821

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Number 1-F.

(As Amended)

(Application Number 15214) RBPD 819, 99

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current DS-5 Downtown Service District and Residential Business Planned Development Number 819 symbols and indications as shown on Map Number 1-F:

in the property and space lying above a horizontal plane having an elevation 21½ feet above the highest rail in the area bounded by the north line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; North Desplaines Street; the south line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; and North Union Avenue; and

in the area bounded by West Kinzie Street; North Clinton Street; the north line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; North Union Avenue; a line 135.84 feet south of and parallel to West Kinzie Street; and North Halsted Street,

to those of a DX-7 Downtown Mixed-Use District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the DX-7 Downtown Mixed-Use District symbols and indications as shown on Map Number 1-F in the area indicated above to those of Residential Business Planned Development Number 819, as amended, and a corresponding use district is hereby established in the areas above described.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to in this ordinance read as follows:

*Residential-Business Planned Development
Number 819, As Amended.*

Plan Of Development Statements.

1. The area delineated herein as Residential Business Planned Development Number 819, as amended (the "Planned Development") consists of approximately 316,459 net square feet (7.26 acres) of real property generally located along West Kinzie Street between North Clinton Street and North Halsted Street and bounded as follows:

West Kinzie Street; North Clinton Street; the North Line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) Right-of-Way; North Union Street; a Line approximately 135.84 Feet South of and Parallel to West Kinzie Street; and North Halsted Street in Chicago, Illinois; and also

the Property and Space Lying Above a Horizontal Plane Having an Elevation 21-1/2 Feet Above the Highest Rail in the Area Bounded by the North Line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) Right-of-Way; North Des Plaines Street; the South Line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) Right-of-Way; and North Union Street in Chicago, Illinois (the "Property").

The Property is currently owned by three entities: CMC Heartland Partners ("CMC"), FRC Kinzie/Jefferson, LLC ("FRC"), and Jameson/Clinton, LLC ("Jameson"). Taken together, FRC and Jameson are referred to as "Residential Developer Parties." The Property is divided into four (4) Subareas (A-D) as indicated on the Subarea Boundary and Generalized Land-Use Map. CMC holds legal title to Subareas B and C. FRC and Jameson hold legal title as tenants in common to Subareas A and D, and are the contract purchasers of the southern half of Subarea B. Jewel Food Stores, Inc., a New York Corporation (the "Applicant"), the contract purchaser of the Subarea C property, is the applicant for this Planned Development with the authorization of CMC, FRC and Jameson. Applicant, FRC, CMC, and Jameson are collectively referred to herein as the "Developer Parties" and individually as a "Developer Party," as the context may require.

2. Each Developer Party or its successors, assignees or grantees shall, with respect to each Developer Party's subarea only, obtain all applicable official reviews, approvals or permits which are necessary to implement this Planned Development. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way within an individual subarea shall require a separate submittal by the Developer that owns such subarea or its successors, assignees or grantees, and approval by the City Council. The Developer Parties may choose in their sole discretion to jointly apply for such right-of-way adjustment.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon each Developer Party with respect to each Developer Party's subarea, its successors and assignees and, if different than the Developer Party, the legal titleholders and any ground lessees except as provided herein. All rights granted hereunder to each Developer Party for each Developer Party's subarea shall inure to the benefit of each Developer Party's successors and assignees and, if different than the Developer Party, the legal titleholders and any ground lessees and their respective successors and assignees. The Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control if the amendment modification or change has a material adverse effect on one or more other subareas. An amendment modification or change shall be deemed to have a material adverse effect if it results in, or would result in, any of the following: (i) any limitation, restriction or diminution in the allowable uses, floor area, floor area ratio, density or other development entitlements of another Developer Party as they exist under this Planned Development or the Chicago Zoning Ordinance; (ii) any increase in another Developer Party's obligations with regard to, or cost of, the development or maintenance of the improvements located, or which may in the future may be located, in the subarea owned by such other Developer Party; (iii) any imposition of changes, conditions or requirements upon the use, development, construction or maintenance of the other Developer Party's subarea, the improvements located or to be located thereon or thereunder, which changes, conditions or requirements are not contained in this Planned Development, or (iv) any change in law sought by a Developer Party which would result in any portion of the Property owned by another Developer Party or the improvements located thereon becoming non-conforming.. Single designated control for purposes of this Statement shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors of the Property. If an amendment, modification or change (administrative, legislative or otherwise) does not have a material adverse effect, the

amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development applicable to or in a given subarea designated pursuant to Statement No. 5 below need only be made or authorized by the owners and/or ground lessees of such subarea. Moreover, where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and not to the individual unit owners therein. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness) and solely with respect to the portion of the Property so transferred, the term "Developer Party" shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof (and its beneficiaries if such seller or transferor is a land trust) shall thereafter be released from any and all obligations or liability hereunder.

4. This Plan of Development consists of these 18 Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; Planned Development Boundary, Property Line and Right-of-Way Adjustment Map - Sheets 1-2; a Subarea Boundary and Generalized Land Use Map; a Site Plan; a Landscape Plan; a Subarea C: Revised Site/Landscape Plan; Building Elevations - Sheets 1-8; and a Subarea C: Revised Elevations. Full-sized copies of the Plans and Elevations are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a Planned Development.
5. The property within the Planned Development is divided into four (4) Subareas (A, B, C, and D) as indicated on the Subarea Boundary and Generalized Land-Use Map. Subject to the Bulk Regulations and Data Table, the following uses are permitted on the Property under this Planned Development:

Any portion of the Property may be utilized on an interim basis for temporary construction staging, the storage of construction materials, temporary sales trailers, and accessory and non-accessory parking for the various phases of development of the Property. If a subarea is used in whole or in part for surface parking (whether accessory or non-accessory) and the owner or developer of such subarea has not applied for a building permit within six months of publication of this Planned Development, then such surface lot shall be landscaped in accordance with the provisions of the Chicago Zoning Ordinance. In addition, if a building permit has been issued for a subarea that is used in whole or in part for surface parking and the owner or developer of such subarea has not commenced construction as permitted under such permit within six month of the permit's issuance, then such surface lot shall be landscaped in accordance with the provisions of the Chicago Zoning Ordinance. Notwithstanding the foregoing, an owner or developer of a subarea shall not be in violation of this Planned Development if the landscaping obligations of this Statement 5 arise between November 1 and April 1. If such landscaping obligations arise during such period, the owner of developer shall diligently pursue and perform such landscaping obligations after April 1. Provisions of this paragraph may be modified with the consent of the Commissioner of Planning and Development.

Subarea A: Multi-family residential, all permitted uses in the DX-7 Downtown Mixed-Use District and accessory uses, including but not limited to transit stations and transit facilities owned or operated by the Chicago Transit Authority or its designee, and ground floor residential uses shall be permitted.

Subarea B: Multi-family residential, parks and recreation, all permitted and special uses in the DX-7 Downtown Mixed-Use District and accessory uses. Ground floor residential uses shall be permitted.

Subarea C: Business and commercial uses permitted in the DX-7 Downtown Mixed-Use District, accessory uses, accessory parking and non-accessory parking shall be permitted.

Subarea D: Multi-family residential, all permitted uses in the DX-7 Downtown Mixed-Use District and accessory uses and ground floor residential uses shall be permitted.

Passenger and freight rail lines and facilities shall be permitted in all subareas.

Notwithstanding any other provision of this Statement 5, the following uses shall not be permitted in any subarea: adult use; body art services; payday loan stores; pawn shops; fortune telling service; light equipment sales/rental, outdoor; motor vehicle repair shop; warehousing, wholesaling and freight movement; currency exchanges; laboratories – medical and dental – research and testing; millinery shops; amusement establishments, arcades; automobile service stations; caskets and casket supplies; employment agencies; exterminating shops; feed stores; garages for storage, repair and servicing of any non-commercial motor vehicle; laundrettes; laundries; newspaper distributors for home delivery and retail sale; radio and television service and repair shops; recording studios; taxidermists; tire facilities; undertaking establishments and funeral parlors.

6. Temporary signs such as construction and marketing signs shall be permitted subject to the reasonable review and approval of the Department of Planning and Development. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development, consistent with the provisions of Section 17-12-010, *et seq.*, of the Chicago Municipal Code.
7. Off-street parking for the Property shall be provided in substantial compliance with this Planned Development subject to the review and approval of the Department of Transportation and the Department of Planning and Development. If any residential building contemplated by this Planned Development in Subarea D is originally developed as, or converted to, a condominium building, one (1) parking space shall be deeded with each residential unit within the building; provided, however, that a maximum of five percent (5%) of the spaces shall be exempt of this requirement to the extent they are offered to the buyer of the unit, the buyer does not wish to purchase the space and the space is thereafter used for accessory purposes.
8. Ingress and egress for the Property shall be provided in substantial compliance with the site plan for the individual subareas, and no further approvals shall be required for such ingress and egress plans.

9. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. The improvements on the Property, the landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Plans described in Statement No. 4, above. Any substantial changes to the site plans for any of the subareas shall be subject to the review and approval of the Chicago Plan Commission.

Mechanical equipment located on the rooftop of uses within Subarea C shall be screened to the extent reasonably possible and without a financial burden to the owner or developer of Subarea C to decrease its visibility at grade level.

11. The Residential Developer Parties shall provide within each subarea that contains residential buildings an interior or fenced exterior area for dog walking.
12. Those privately-owned portions of a parcel of land consisting of approximately forty-seven thousand three hundred ten (47,310) square feet, which is depicted on the Subarea B Site Plan as a Park and is located immediately south of Kinzie Street and extends from Jefferson Street to Des Plaines Street (the "Park Parcel"), shall be conveyed by the owner of the northern half of Subarea B to the Chicago Park District at no cost. Those portions of the Park Parcel not owned privately are City of Chicago rights-of-way. The conveyance of the Park Parcel may occur at any time, however, it shall occur on the earlier of thirty (30) days after the issuance of a Certificate of Occupancy for the proposed residential building depicted on the site plan for subarea B or the fifth (5th) anniversary of the effective date of this Planned Development. The Residential Developer Parties shall construct improvements to the Park Parcel and shall be given credit against open space impact fees for the remainder of the residential buildings constructed on subareas A, B and D in an amount equal to the costs which are approved by the Chicago Park District of constructing the Park Parcel improvements. The Residential Developer Parties, the City and the Chicago Park District shall cooperate in the design and construction of the Park Parcel. If construction of Sub Area B has not commenced or, if commenced, has not been completed when the owner of the Park Parcel conveys it to the Chicago Park District, then the conveyance shall be subject to the reservation of an easement for construction of the residential building over those portions of the Park Parcel that are not or will not

remain as public rights-of-way. The easement shall be a minimum of forty (40) feet wide, inclusive of any rights-of-way that will remain, and shall extend along the entire southern boundary of the Park Parcel. In the event the Park Parcel improvements are completed in advance of the Sub Area B improvements, the Residential Developer Parties shall bear the costs of returning the easement area to substantially the same condition it was in at the time of commencement of use of the easement for construction of the adjacent residential building. If the easement is to be reserved, the City and the Chicago Park District shall design and construct the park in such a fashion as to minimize the costs of returning the easement area to the condition it was in at the time of commencement of use of the area. Prior to issuance of Part II approval for the improvements to Sub Area B, the Residential Developer Parties, in consultation with, and with the approval of, the Park District and the City of Chicago, shall produce a preliminary grade/topography plan for the Park Parcel. The privately-owned portions of the Park Parcel shall be conveyed to the Park District with at least an interim park graded according to the preliminary grade/topography plan and seeded to grass, and with ensurance that the land to be conveyed is of a residential or park standard as evidenced by a Letter of No Further Remediation of a Risk Assessment. All costs if any related to the environmental remediation and construction of a public park on the Park Parcel, shall be undertaken by Residential Developer Parties in compliance with any contractual provisions relating to the purchase of the remainder of subarea B.

13. For purposes of Floor Area, Floor Area Ratio ("FAR") and Building Height calculations, the definitions of the Chicago Zoning Ordinance shall govern. The calculation of FAR shall be made based on the net site area of the Planned Development. Developable Floor Area (FAR) may be transferred between subareas with the approval of the Commissioner of Planning and Development, so long as the overall Maximum Floor Area Ratio of 7.0 is not exceeded.
14. The requirements of the Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development (the "Commissioner") upon application and a determination by the Commissioner that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements of the Planned Development by the Commissioner shall be deemed to be a minor change in the Planned Development as contemplated by Section 17.13-0611 of the Chicago Zoning Ordinance.

15. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Any changes to ingress and egress as depicted in the Plans and as set forth below shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. Off-street parking and loading facilities shall be provided in compliance with this Planned Development. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped.
16. The Developer Parties acknowledge that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. Each Developer Party shall, with respect to the subarea which each Developer Party owns, use commercially reasonable efforts to design, construct and maintain all buildings located within the Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design (LEED) Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development.

Each Developer Party shall, with respect to the subarea which each Developer Party owns, shall provide a vegetated ("green") roof on at least twenty-five percent (25%) of the net roof area of each building to be constructed within this Planned Development. The commercial building contemplated by this Planned Development in Subarea C shall have a vegetated ("green") roof on at least fifty percent (50%) of the net roof area. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures, and roof-mounted equipment. If City financial assistance is received in connection with development within any subarea of this Planned Development, then relevant City policy in effect at the time such assistance is sought regarding vegetated ("green") roofs and other environmental requirements shall apply to development within that subarea.

17. The Developer Parties acknowledge that it is in the public interest to design, construct and maintain the improvements of the Property in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") at the time of application for a building permit to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility at the time of application for a building permit.

18. Unless substantial construction of at least one building in any of the Subareas has commenced within six (6) years of the date of City Council approval of this Amended Planned Development Ordinance, then the zoning of the Property within said Subareas shall automatically revert to the underlying DX-7 Downtown Mixed-Use District. Said six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for such an extension is shown. This sunset provision will be deemed satisfied upon the construction of at least one building included within this Amended Planned Development. Should all the improvements not be completed within the six year period and its extensions, a Developer Party seeking issuance of a building permit must apply first to the Department of Planning and Development for Site Plan Approval. Such approval shall not be unreasonably exercised or withheld.

[Bulk Regulations and Data Table; Existing Zoning Map; Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; Subarea Boundary and Generalized Land-Use Map; Site Plan; Landscape Plan; Subarea C: Revised Site/Landscape Plan; Building Elevations -- Sheets 1 through 8; and Subarea C: Revised Elevations referred to in these Plan of Development Statements printed on pages 62831 through 62847 of this *Journal*.]

15214

11/30/2005

REPORTS OF COMMITTEES

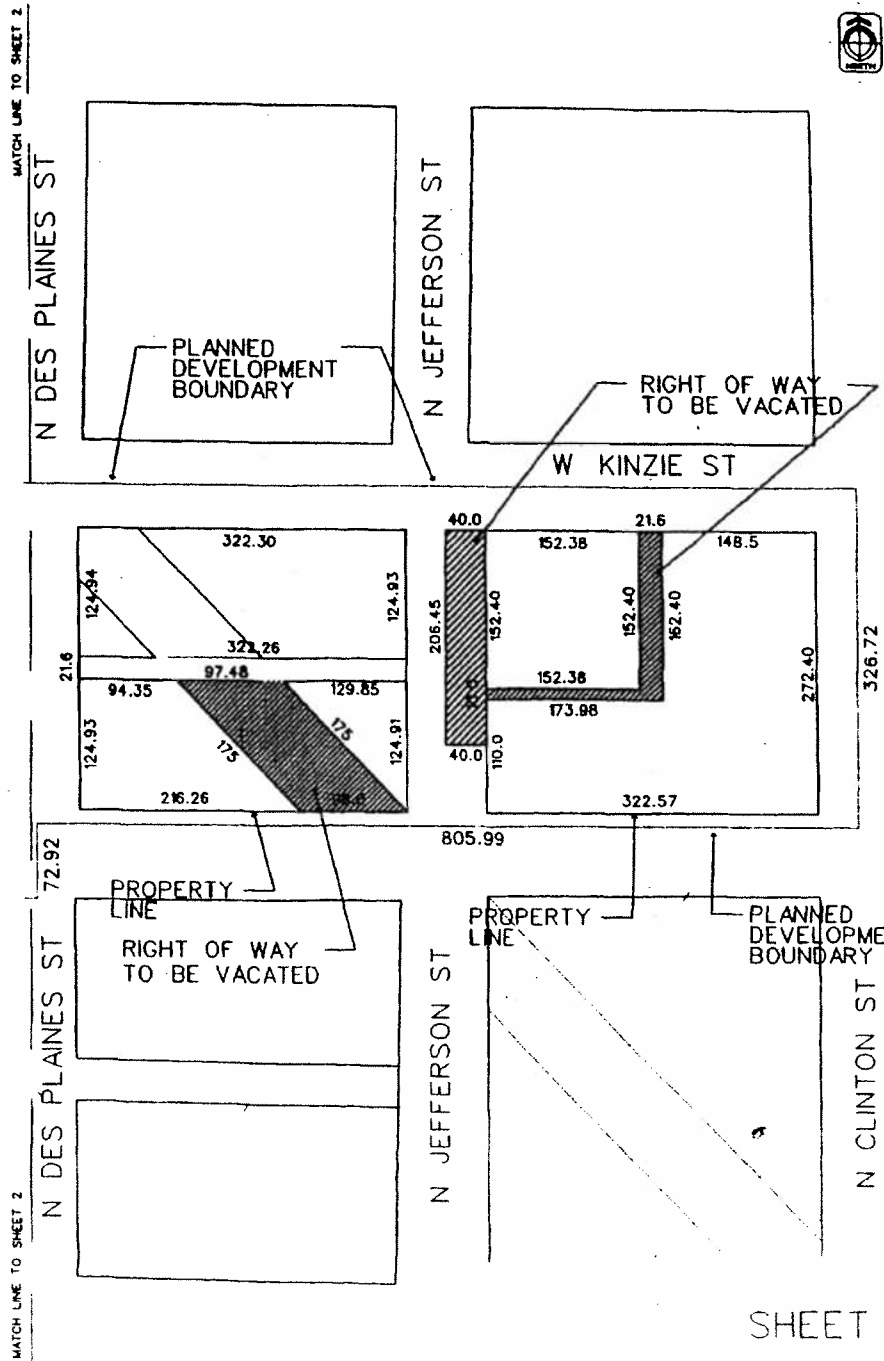
62831

*Residential-Business Planned Development
Number 819, As Amended.*

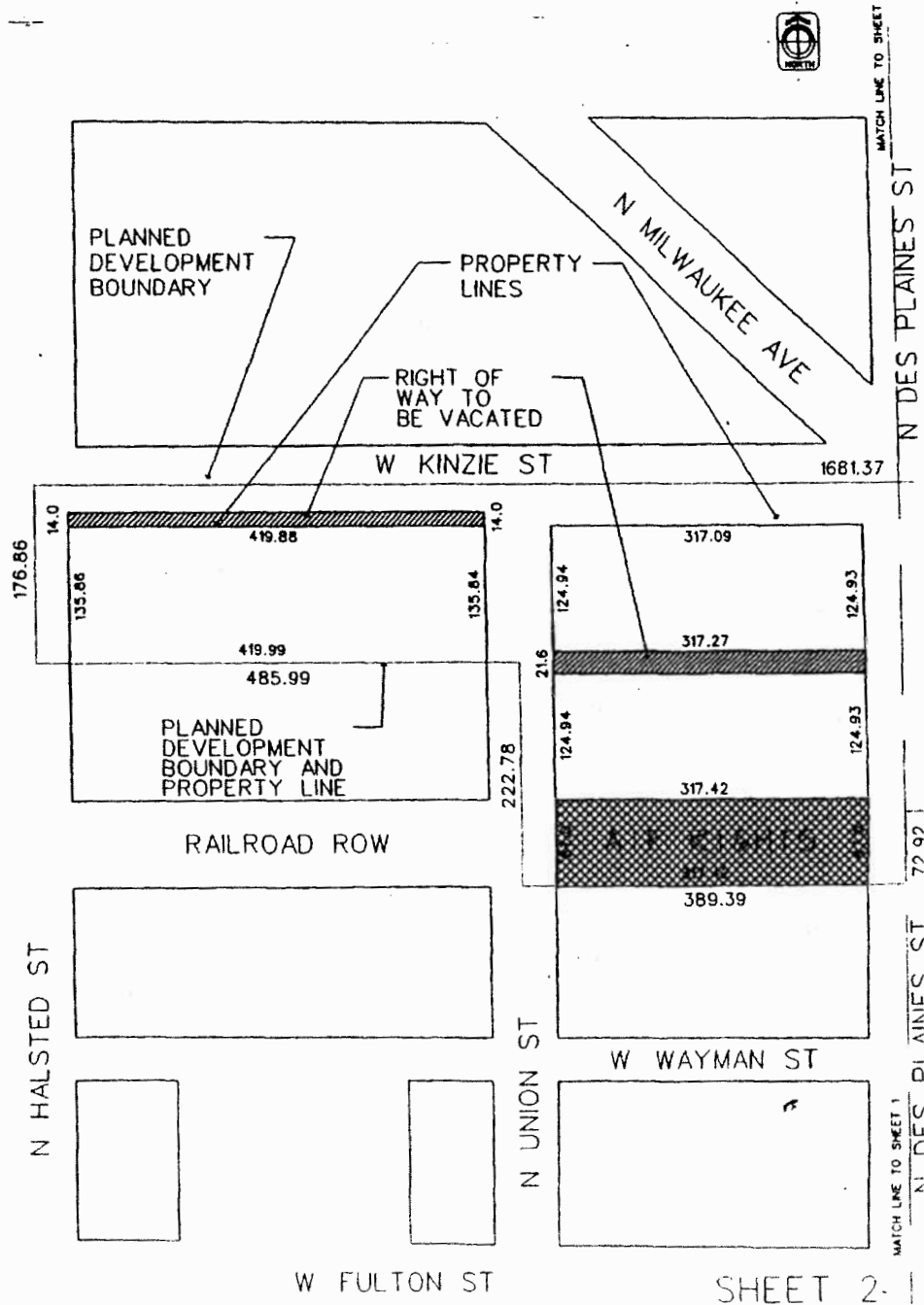
Bulk Regulations And Data Table.

	TOTAL	SUBAREA			
		A	B	C	D
Gross Site Area	503,681 s.f. (11.56 ac.)	131,589 s.f. (3.02 ac.)	131,550 s.f. (3.02 ac.)	155,096 s.f. (3.56 ac.)	85,446 s.f. (1.96 ac.)
- Area in Existing Public Right-of-Way to Remain	139,912 s.f. (3.21 ac.)	33,183 s.f. (0.76 ac.)	44,005 s.f. (1.01 ac.)	41,297 s.f. (0.95 ac.)	21,427 s.f. (0.49 ac.)
- Area to be Dedicated to Public Park	47,310s.f. a) (1.09 ac.)	--	47,310 s.f. a) (1.09 ac.)	--	--
= NET SITE AREA	316,459 s.f. (7.26 ac.)	98,406 s.f. (2.28 ac.)	40,235 s.f. (0.92 ac.)	113,799 s.f. (2.61 ac.)	64,019 s.f. (1.45 ac.)
Max. Permitted Floor Area Ratio g)	7.0	10.47	10.47	0.81	10.47
Permitted Uses	See Statement No. 5				
Maximum Permitted Number of Dwelling Units h)	1,694	604	315	0	775
Maximum Site Coverage	In accordance with the Site Plans				
Minimum Setbacks	In accordance with the Site Plans				
Minimum Number of Off-Street Parking Spaces		b)	b)	170	b)
Maximum Number of Off-Street Parking Spaces		c)	c)	190	c)
Minimum Number of Off-Street Loading Berths	7	2	1	3	1
Minimum Number of Bicycle Spaces	1 per 2 automobile spaces for residential uses				
Maximum Building Height		375 ft. d)	290 ft. d)	40 ft. e)	350 ft. f)
a)	Includes private land and existing public right-of-way.				
b)	Residential: 0.8 spaces per residential unit Retail/commercial: 1 space per 1000 square feet				
c)	Residential: 1.1 spaces per residential unit Retail/commercial: 2.5 spaces per 1000 square feet				
d)	Height measured from the grade of N. Jefferson Street				
e)	Height measured from the grade of N. Desplaines Street at W. Kinzie Street				
f)	Height measured from the grade of N. Union Avenue				
g)	Developable Floor Area (FAR) may be transferred between subareas with the approval of the Commissioner of Planning and Development, so long as the overall Maximum Floor Area Ratio of 7.0 is not exceeded.				
h)	Dwelling units may be transferred between subareas with the approval of the Commissioner of Planning and Development, so long as the overall Maximum of 1,694 dwelling units is not exceeded.				

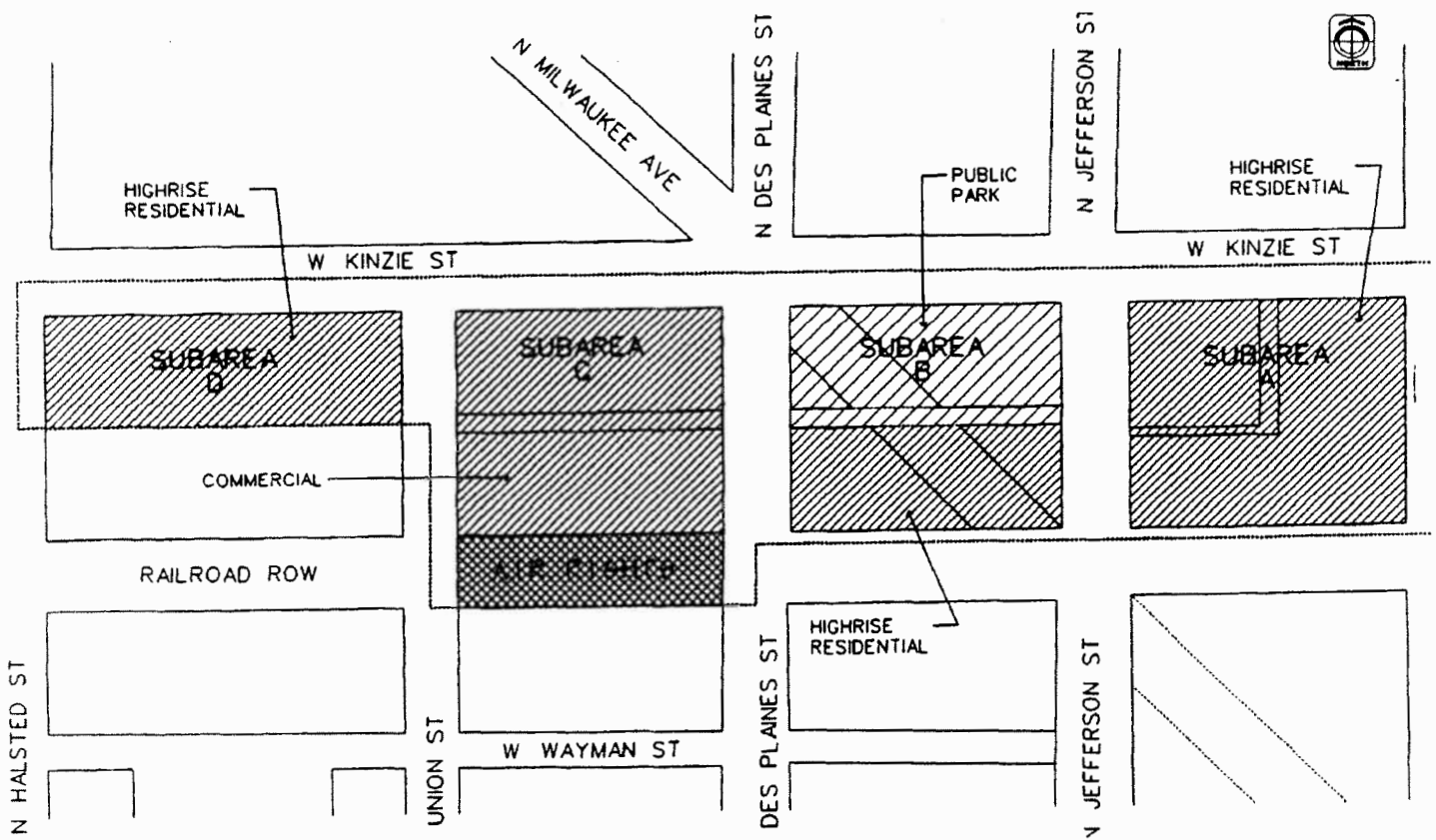
Planned Development Boundary, Property Line And
Right-Of-Way Adjustment Map.
(Page 1 of 2)



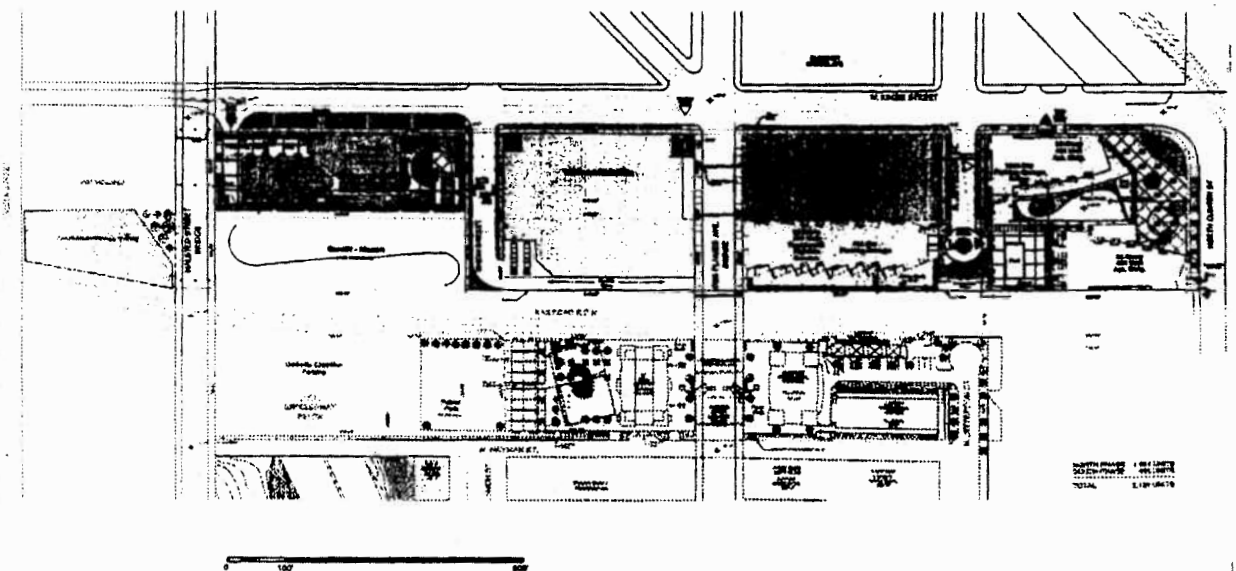
Planned Development Boundary, Property Line And
Right-Of-Way Adjustment Map.
(Page 2 of 2)



Subarea Boundary And Generalized Land-Use Map.



Site Plan.

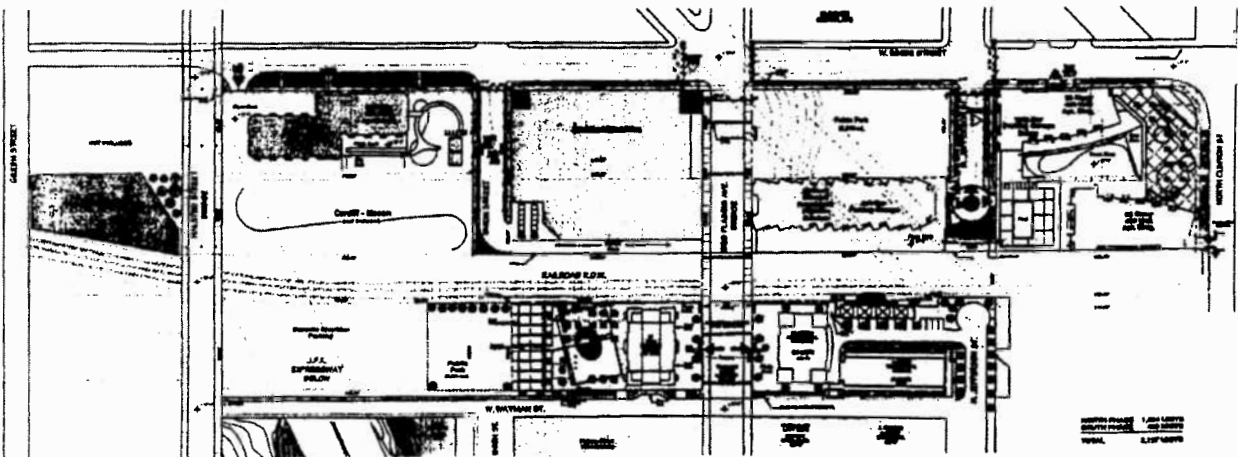


11/30/2005

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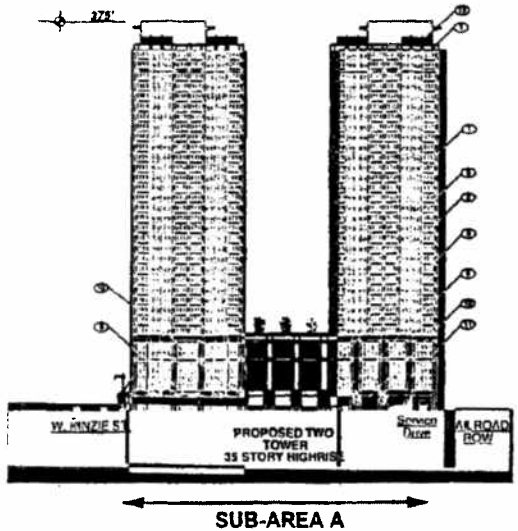
Landscape Plan.



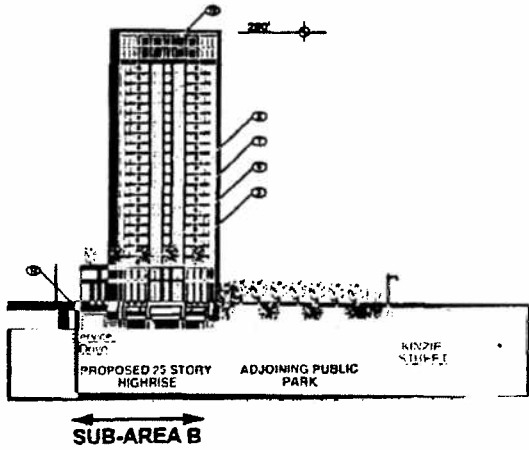
TAG	TYPE	SIZE	SPACING	REMARKS
L1	SHADE TREE	4" CALIPER (DBH)	25'-47' U.I.A.O.	SEE BELOW
L2	CONTAINER TREE	2" CALIPER	PER PLAN	SEE BELOW
L3	SPRUE	2'-0" W x 2'-0" H	PER PLAN	SEE BELOW
L4	GROUND COVER	12"-18" HIGH	-	SEE BELOW
L5	CRAWLING IVY	-	-	SEE BELOW

SPECIES		
TYPE	BOTANIC NAME	COMMON NAME
TREE	ACER PLATANOIDES	NORWAY MAPLE
	ACER SACCHARINUM	SUGAR MAPLE
	ACER RUBRUM	RED MAPLE
	CISTACEA OCCIDENTALIS	HACIOBERRY
	FRAXINUS PENNSYLVANICA	GREEN ASH
	GLABRATA TRICANTINOS	THORNLESS HONEYLOCUST
SPRUE	TELIA CORDATA	LITTLE LEAF LINDEN
	BUXUS MICROPHYLLA KOR.	DWARF KOREAN BOXWOOD
	CONTONIASTER APIQUATA	CRANBERRY DONTONEASTER
	RIBES ALPIMUM	ALPINE CURRANT
	SPINEA JAPONICA	JAPANESE SPIREA
	VIBURNUM CARLISSE JOOMP.	DWARF KOREAN SPICE VIB.
GROUND COVER	GLYCYRRHIZA FORT. COLORAT.	PURPLE LEAF WOODCREEPER
	YENGA MINOR	PERIWINKLE

- ① Cast in Place Concrete with Plastered Coating
- ② Concrete Balcony with cast in Place
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Storefront
- ⑦ Architectural Louver System
- ⑧ Architectural Metalwork Canopy
- ⑨ Overhead Door
- ⑩ Stone Band Typical
- ⑪ Architectural Precast Concrete
- ⑫ Open to Beyond
- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework



JEFFERSON STREET ELEVATION LOOKING EAST

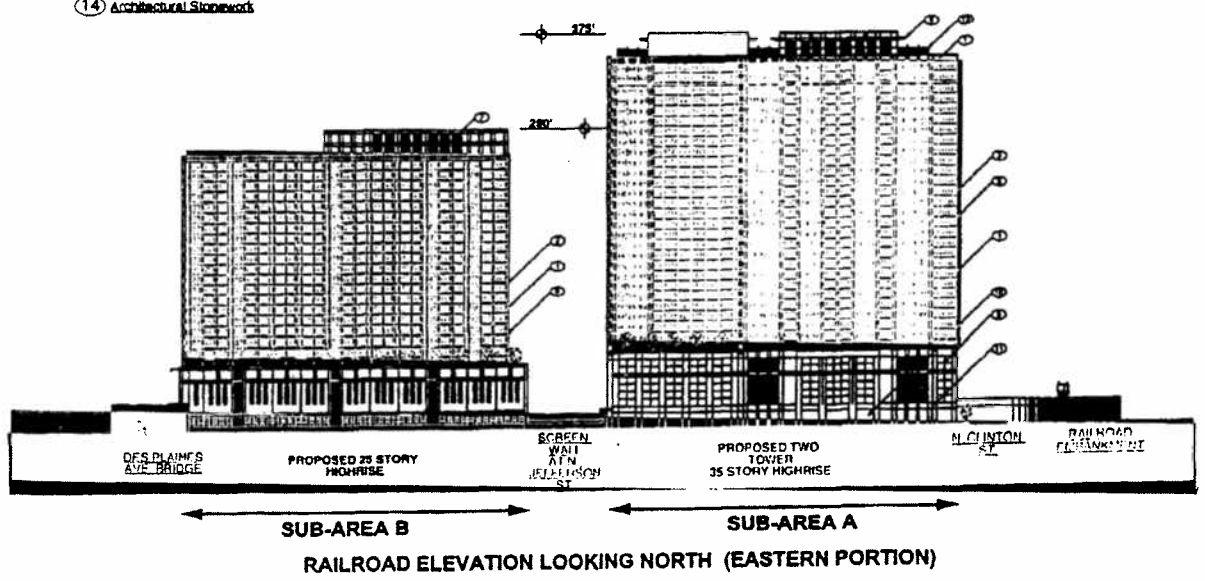


JEFFERSON STREET ELEVATION LOOKING WEST

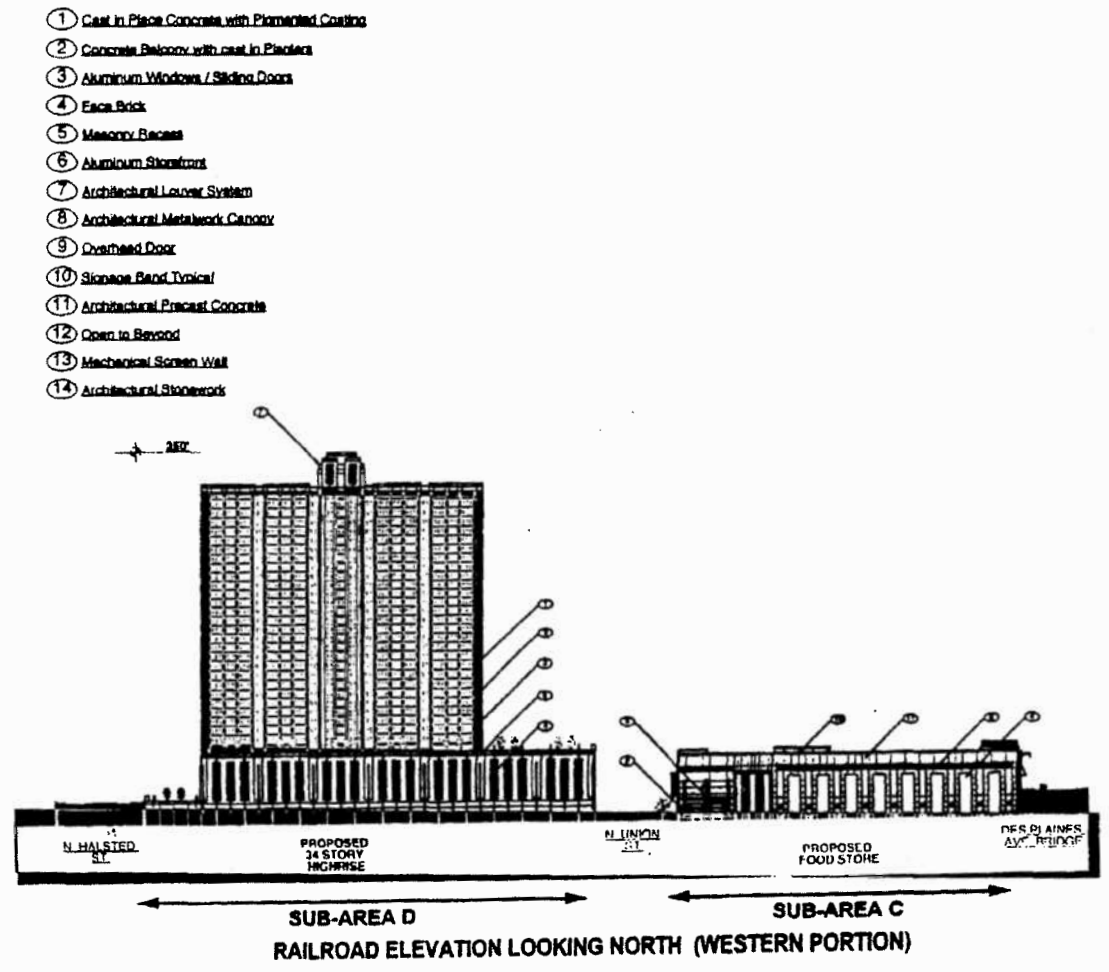
Building Elevations -- Sheet 1.

Building Elevations -- Sheet 2.

- ① Cast in Place Concrete with Flomented Coating
- ② Concrete Balcony with cast in Place
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Storefront
- ⑦ Architectural Louver System
- ⑧ Architectural Metalwork Canopy
- ⑨ Overhead Door
- ⑩ Storage Band Typical
- ⑪ Architectural Precast Concrete
- ⑫ Open to Beyond
- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework

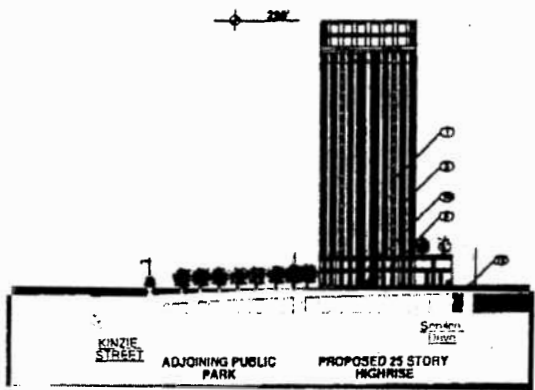


Building Elevations -- Sheet 3.

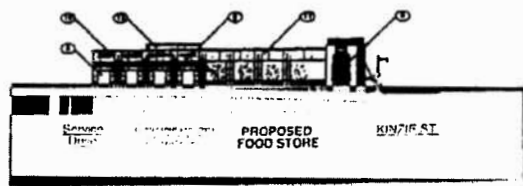


Building Elevations -- Sheet 4.

- ① Cast in Place Concrete with Flomented Coating
- ② Concrete Balcony with cast in Plaster
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Slanifront
- ⑦ Architectural Louver System
- ⑧ Architectural Metalwork Canopy
- ⑨ Overhead Door
- ⑩ Stone or Band Typical
- ⑪ Architectural Precast Concrete
- ⑫ Open to Beyond
- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework



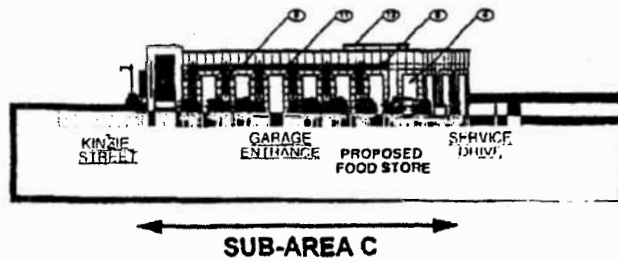
SUB-AREA B
DES PLAINES STREET ELEVATION LOOKING EAST



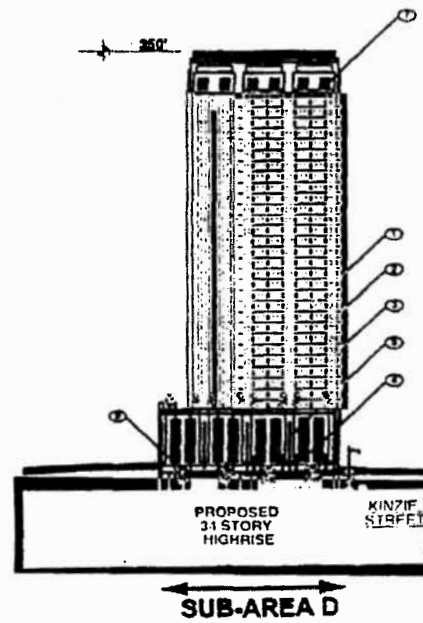
SUB-AREA C
DES PLAINES STREET ELEVATION LOOKING WEST

Building Elevations -- Sheet 5.

- ① Cast in Place Concrete with Flomented Coating
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Storefront
- ⑦ Architectural Louver System
- ⑧ Architectural Metalwork Canopy
- ⑨ Overhead Door
- ⑩ Storage Band Typical
- ⑪ Architectural Precast Concrete
- ⑫ Open to Beyond
- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework



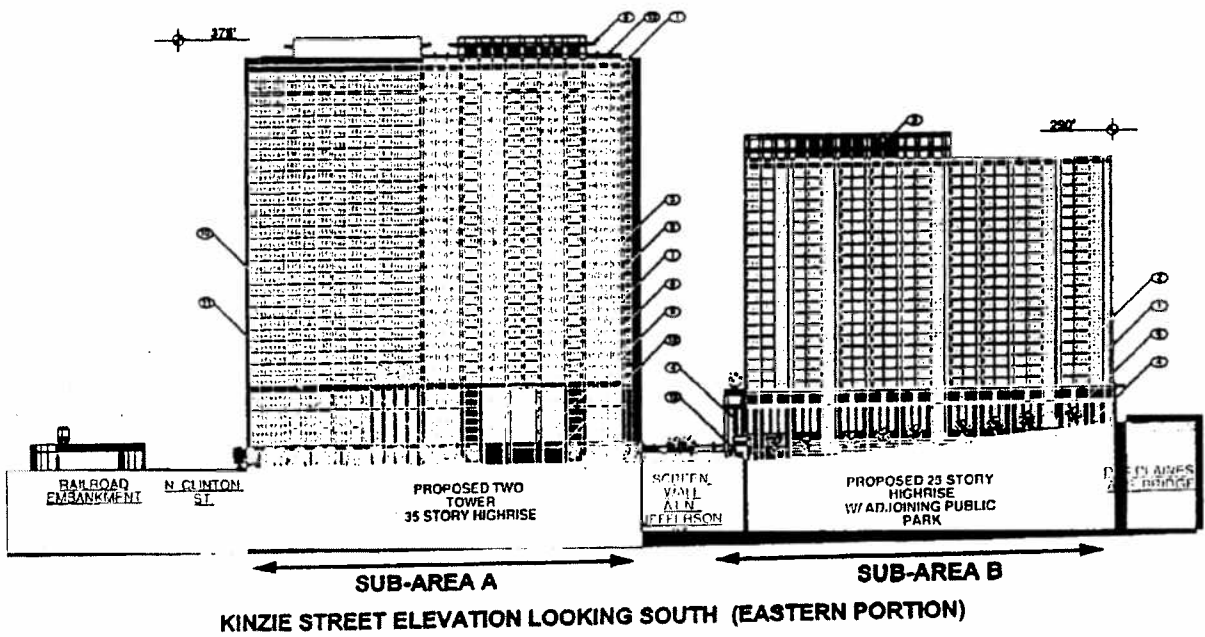
UNION STREET ELEVATION LOOKING EAST



UNION STREET ELEVATION LOOKING WEST

Building Elevations -- Sheet 6.

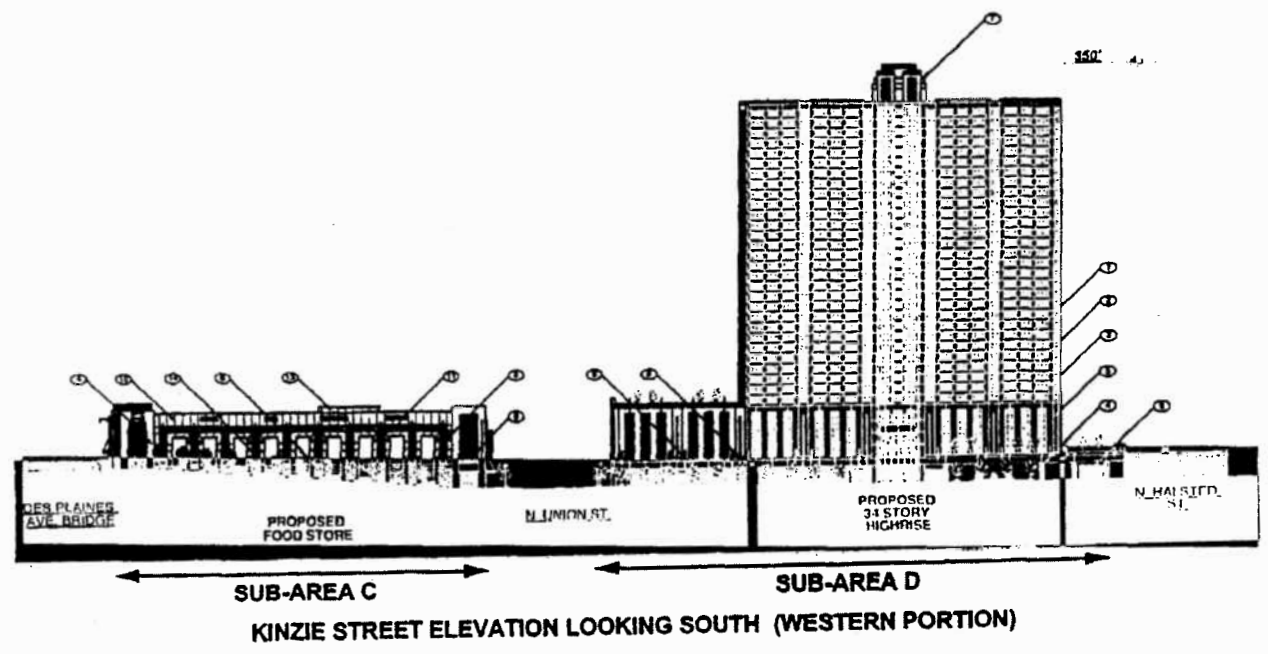
- ① Cast in Place Concrete with Flomented Coring
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Storefront
- ⑦ Architectural Louver System
- ⑧ Architectural Metalwork Canopy
- ⑨ Overhead Door
- ⑩ Stone Band Typical
- ⑪ Architectural Precast Concrete
- ⑫ Open to Beyond
- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework



KINZIE STREET ELEVATION LOOKING SOUTH (EASTERN PORTION)

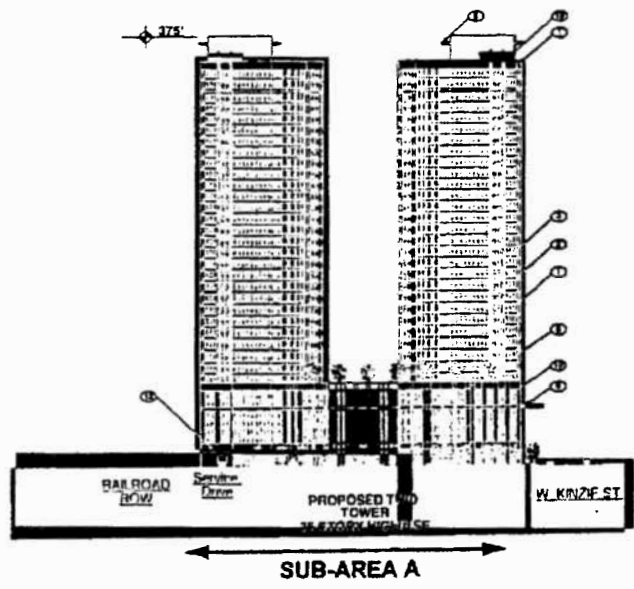
Building Elevations -- Sheet 7.

- ① Cast in Place Concrete with Plomanted Coating
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Storefront
- ⑦ Architectural Louver System
- ⑧ Architectural Metalwork Canopy
- ⑨ Overhead Door
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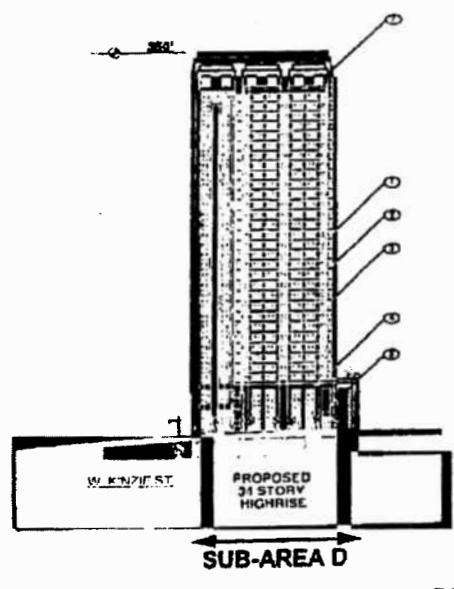


Building Elevations -- Sheet 8.

- ① Cast in Place Concrete with Flomented Coating
- ② Concrete Balcony with cast in Place
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Stonefront
- ⑦ Architectural Louver System
- ⑧ Architectural Metalwork Canopy
- ⑨ Overhead Door
- ⑩ Stone or Band Typical
- ⑪ Architectural Precast Concrete
- ⑫ Open to Beyond
- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework



CLINTON STREET ELEVATION LOOKING WEST



HALSTED STREET ELEVATION LOOKING EAST

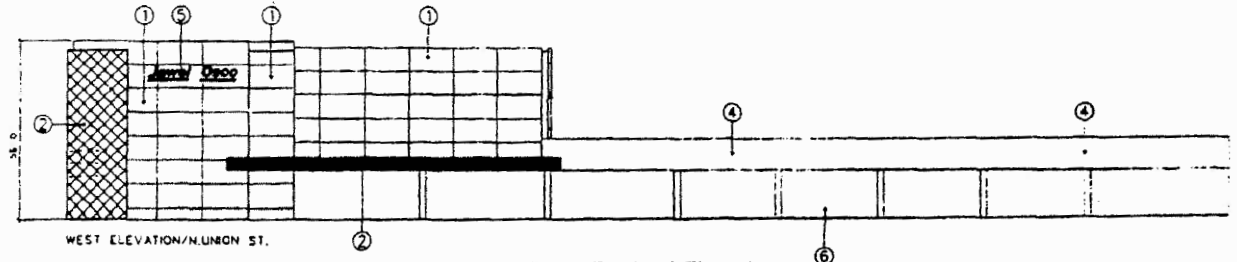
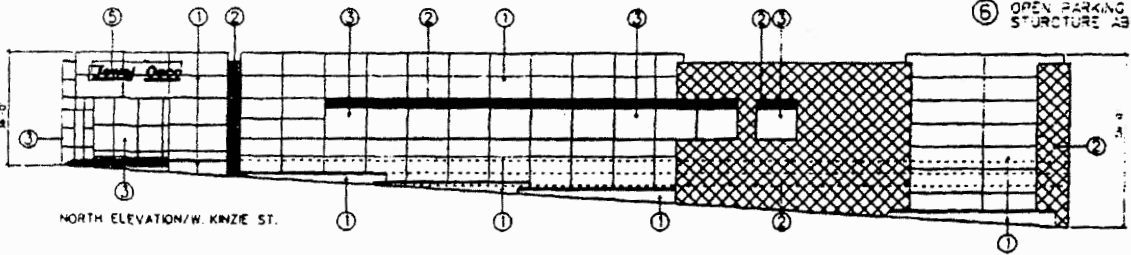
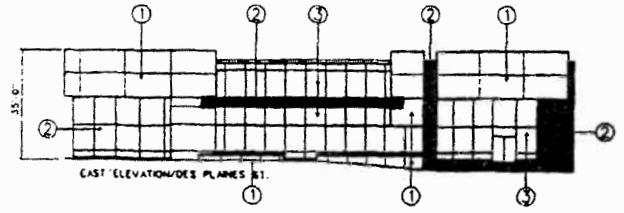
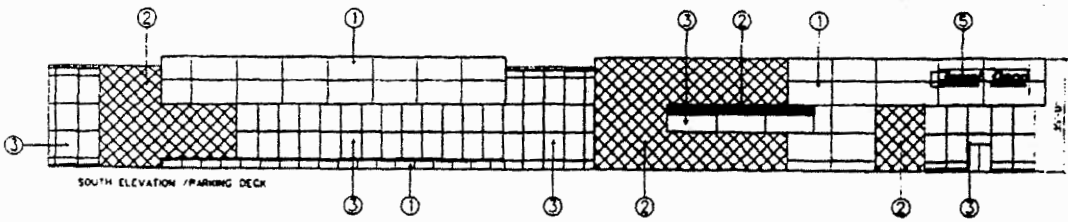
11/30/2005

REPORTS OF COMMITTEES

62847

Subarea C: Revised Elevations.

CONCEPT ELEVATION
 APPLICATION: FOOD STORES, 7
 ADDRESS: 849 74th ST. N. 217th ST.
 DATE: SEPTEMBER 30, 2004
 REVISED: NOVEMBER 17, 2005



- KEY
- ① CAST LIVESTONE PANELS (WHITE COLOR)
 - ② PRE-AGED COPPER PANELS SECTION 45 DEGREE ANGLE WITH COVER LOCKING IN
 - ③ LIGHT GREEN XERCON GLAZING SET IN CLEAR ALUMINUM FRAMES
 - ④ CAST CONCRETE WALL COLOR TO MATCH CAST STONE
 - ⑤ 30 & 6 INTERNALLY ILLUMINATED BUSINESS IDENTIFICATION SIGN
 - ⑥ OPEN PARKING AREA WITH PARKING STRUCTURE ABOVE

SUBAREA C: Revised Elevations



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Denise M. Casalino, P.E.
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

September 29, 2005

Ms. Caroline A. Nash
Schain, Burney, Ross & Citron. Ltd.
222 North La Salle Street, Suite 1910
Chicago, IL 60601-1102

RE: Request to Revoke Prior Minor Change, dated April 13, 2004,
to Residential-Business Planned Development No. 819
(Kinzie Station - Phase 2)

Dear Ms. Nash:

In your letter in behalf of Jameson Development and Fifield Realty, dated August 5, 2005, you requested, among other things, a revocation of the Minor Change letter for Planned Development No. 819, signed by Commissioner Casalino and dated April 13, 2005. The purpose of this request was to re-establish the maximum number of residential units permitted in Planned Development No. 819 to 1,694 dwelling units and to re-establish a 373-foot height limit.

Upon review of our records, the Minor Change letter of April 13, 2004, concerned only increases to Net Site Areas and reductions in the minimum required parking ratios in Sub-area A and Sub-area D. There was no mention of the number of permitted dwelling units or height limits.

Therefore, the requirements of Planned Development No. 819 regarding the maximum permitted number of dwelling units (1,694) and maximum permitted heights (as per the Elevations attached to the Planned Development) remain as approved by the City Council on March 27, 2002; and no further Minor Change is required in this particular matter.

If you have any questions regarding this matter, please contact me at 312-744-4182 or Patti Scudiero at 312-744-6504.

Very truly yours,

Stephen R. Patterson
Assistant Commissioner

SRP:fwd

cc: Michael Marmo, Terri Haymaker, Planned Development files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Denise M. Casalino, P.E.
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
<http://www.cityofchicago.org>

April 13, 2004

Ms. Caroline A. Nash
Schain, Burney, Ross & Citron, Ltd.
222 North LaSalle Street, Suite 1910
Chicago, IL 60601-1102

Re: Request for minor changes to Residential-Business Planned Development No. 819 - ("Kinzie Station") - Sub-Areas A, B and D - Property bounded by Kinzie Street to the North, Clinton Street to the East, Chicago and Northwest Railroad Right-of-Way to the South and Union and Halsted Streets to the West.

Dear Ms. Nash:

Please be advised that your request for minor changes to Residential- Business Planned Development No. 819, Sub-Areas A, B and D, have been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance and Statement No. 15 of the Planned Development

The Department recognizes the request for the following amendments:

- increasing the net site area of Sub Area A to 90,157 square feet, by eliminating the dedication the corner of Clinton and Kinzie; however, the boundaries of the original Planned Development ordinance included this within the gross site area;
- increasing the net site area in Sub-Area D to 62,927 to reflect the partial vacation of Kinzie Street; again, however the boundaries of this Planned Development are not being changed;
- reducing the parking ratio to 1-1 in Sub-Area A to reflect the elimination of non-accessory public parking facilities; and
- reducing the parking ratio to 0.8-1 for Sub-Areas B and D.

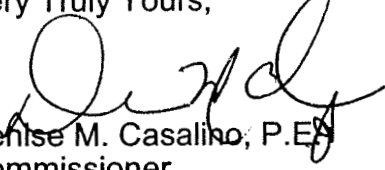


With regard to your request, the Department of Planning and Development has determined that this revision to the Planned Development would constitute a minor change pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 797, I hereby approve the foregoing minor change, but no other changes to Residential Planned Development No. 797.

819

819

Very Truly Yours,


Denise M. Casalino, P.E.
Commissioner

Originated By: Tim Bleuher

- cc: Ed Kus
- Jack Swenson
- Philip Levin
- Benet Haller
- Mike Marmo
- Pat Haymes

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

~~*Reclassification Of Area Shown On Map Number 1-F.*~~
~~(As Amended)~~
~~(Application Number 13441)~~

Be It Ordained by the City Council of the City Of Chicago: **RBPD 819**

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current M2-5 General Manufacturing District symbols and indications as shown on Map Number 1-F in the area bounded by:

West Kinzie Street; North Clinton Street; the north line of the R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; and North Desplaines Street,

to those of a B4-5 Restricted Service District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the current M2-4 General Manufacturing District symbols and indications as shown on Map Number 1-F in the area bounded by:

West Kinzie Street; North Union Avenue; a line 135.84 feet south of West Kinzie Street; and North Halsted Street,

to those of a B4-5 Restricted Service District.

SECTION 3. That the Chicago Zoning Ordinance be amended by changing all the B4-5 Restricted Service District symbols and indications as shown on Map Number 1-F in the area bounded by:

West Kinzie Street; North Clinton Street; the north line of the R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; North Union Avenue; a line 135.84 feet south of West Kinzie Street; and North Halsted Street,

to those of Residential-Business Planned Development Number **819**, which is hereby established in the area described above and subject to such use and bulk regulations as are set forth in the plan of development attached hereto and to no others.

SECTION 4. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential Business Planned Development Number 819.

Plan Of Development Statements.

1. The area delineated herein as Residential Business Planned Development Number 819 (the "Planned Development") consists of approximately two hundred sixty-eight thousand nine hundred sixty-nine (268,969) square feet (six and seventeen hundredths (6.17) acres) of property which is depicted on the attached Planned Development Boundary/Property Line and Right-of-Way Adjustment Map (the "Property") and is owned or controlled by C.M.C. Heartland Partners III, L.L.C. (the "Applicant").
2. The Applicant shall obtain all necessary official reviews, approvals or permits. Any dedication or vacation of streets, alleys or easements or any adjustment of right-of-way shall require a separate submittal on behalf of the Applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) is made or authorized by the Applicant or any homeowner's association or similar property owner's association which is formed to succeed the Applicant.

4. This plan of development consists of eighteen (18) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map all prepared by Pappageorge Haymes, Ltd. and dated February 14, 2002; a Subarea Boundary and Generalized Land-Use Map prepared by Pappageorge Haymes, Ltd. and dated February 14, 2002; a Site Plan prepared by Pappageorge Haymes, Ltd. and dated February 14, 2002, a Landscape Plan prepared by Pappageorge Haymes, Ltd. and dated February 14, 2002, Building Elevations (consisting of eight (8) sheets) and Street Sections (consisting of two (2) sheets) prepared by Pappageorge Haymes, Ltd. and dated February 14, 2002. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The property within the Planned Development is divided into four (4) Subareas (A -- D) as indicated on the Subarea Boundary and Generalized Land-Use Map. Subject to the Bulk Regulations and Data Table, the following uses are permitted on the Property under this Planned Development:

Any portion of the Property may be utilized on an interim basis for construction staging, the storage of construction materials and non-accessory parking for the various phases of development of the Property. If interim non-accessory parking is intended to remain for longer than six (6) months, then it shall be landscaped in accordance with the provisions of the Chicago Zoning Ordinance.

Subarea A: Multi-family residential, all permitted uses in the B4-5 Restricted Service District and accessory uses and ground floor residential uses shall be permitted.

Subarea B: Multi-family residential, public park, all permitted uses in the B4-5 Restricted Service District and accessory uses. Ground floor residential uses shall be permitted.

Subarea C: Business and commercial uses permitted in the B4-5 Restricted Service District and accessory uses shall be permitted.

Subarea D: Multi-family residential, all permitted uses in the B4-5 Restricted Service District and accessory uses and ground floor residential uses shall be permitted.

Notwithstanding any other provision of this Statement 5, the following principal uses shall not be permitted in any subarea: currency exchanges; laboratories -- medical and dental -- research and testing; millinery shops; amusement establishments, arcades; automobile service stations; caskets and casket supplies; catering establishments; employment agencies; exterminating shops; feed stores; garages for storage, repair and servicing of any non-commercial motor vehicle; laundrettes; laundries; newspaper distributors for home delivery and retail sale; radio and television service and repair shops; recording studios; taxidermists; tire facilities; undertaking establishments and funeral parlors.

6. Temporary signs such as construction and marketing signs shall be permitted subject to the review and approval of the Department of Planning and Development. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development.
7. Off-street parking shall be provided in compliance with this Planned Development subject to the review and approval of the Departments of Transportation and Planning and Development. The parking areas within Subarea A may be used to provide accessory and non-accessory parking, which may be achieved through a flexible sharing arrangement. None of the area devoted to parking within Subarea A, regardless of whether used as accessory or non-accessory parking shall count as floor area for F.A.R. purposes. If any residential building contemplated by this Planned Development is originally developed, or subsequently converted, to a condominium building, one (1) parking space shall be deeded with each residential unit within the building; provided, however, that a maximum of five percent (5%) of the spaces shall be exempt from this requirement to the extent they are offered to the buyer of the unit, the buyer does not wish to purchase the space and the space is thereafter used for accessory purposes.
8. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development.

9. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. The improvements on the Property, the landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations.
11. The Applicant shall utilize good faith efforts to provide within each subarea that contains residential buildings an interior or enclosed area for dog walking to be utilized in inclement weather during the winter months. If such an area cannot reasonably be constructed or provided, the failure to provide such interior or enclosed dog walking accommodations shall not be a basis for the Department of Planning and Development to withhold Part II approval for the construction of the development.
12. Mechanical equipment located on the rooftop of the uses within Subarea C shall be screened to the extent reasonably possible to decrease its visibility by persons residing in the residential building located within Subareas B and D.
13. The Applicant shall convey to the Chicago Park District, at no cost, those portions of a parcel of land consisting of approximately forty-seven thousand three hundred ten (47,310) square feet, which is depicted on the Site Plan as a Park and is located immediately south of Kinzie Street and extends from Jefferson Street to Desplaines Street (the "Park Parcel") which the Applicant owns. Those portions of the Park Parcel not owned by the Applicant are currently City of Chicago rights-of-way. The conveyance of the Park Parcel shall occur on the earlier of thirty (30) days after the issuance of a Certificate of Occupancy for the proposed residential building to be located immediately south of the Park Parcel or the fifth (5th) anniversary of the effective date of this Planned Development. If the Park Parcel is to be conveyed and construction of the residential building immediately south thereof has not commenced or, if commenced, has not been completed, then the conveyance shall be subject to the reservation of an easement for construction of the residential building over those portions of the Park Parcel that are not or will not remain as public rights-of-way. The easement shall be a minimum of forty (40) feet wide, inclusive of any right-of-ways that will remain, and shall extend along the entire southern

boundary of the Park Parcel. The Applicant shall bear the costs of returning the easement area to the same condition it was in at the time that the Applicant commenced use of the easement for construction of the adjacent residential building. If the easement is to be reserved, the City and the Chicago Park District shall design and construct the park in such a fashion as to minimize the costs of returning the easement area to the condition it was in at the time the Applicant commenced its use of the area. The costs of designing a public park to be located on the Park Parcel shall be borne by the Applicant up to a maximum amount of Ten Thousand Dollars (\$10,000). All other costs related to construction of a public park on the Park Parcel, including design costs in excess of Ten Thousand Dollars (\$10,000), shall not be the obligation of the Applicant.

14. For purposes of maximum Floor Area Ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from Floor Area Ratio for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical equipment in excess of five thousand (5,000) square feet in a single location, regardless of placement in the building, shall be excluded.
15. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
16. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air-Conditioning Engineers and the Illuminating Engineering Society.

17. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office of People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
18. Unless substantial construction of at least one residential building in any of the Subareas has commenced in at least one (1) residential building in any of the Subareas within six (6) years of the date of City Council approval of this Planned Development Ordinance, then the zoning of the Property within said Subareas shall automatically revert to the former B4-5 Restricted Service District and M2-4 General Manufacturing Districts as applicable.

[Existing Zoning Map; Planned Development Boundary, Property Line And Right-of-Way Adjustment Map; Subarea Boundary And Generalized Land-Use Map; Existing Land-Use Map; Site Plan; Landscape Master Plan; Building Elevation Drawings; and Street Section Drawings referred to in these Plan of Development Statements printed on pages 82596 through 82611 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Residential Business Planned Development Number 819.**Plan Of Development**Bulk Regulations And Data Table.*

Gross Site Area, 391,539 square feet (899 acres) = Net Site Area, 268,969 square feet (6.17 acres) + Area Remaining in Public Rights-of-Way, 122,570 square feet (2.81 acres).

Maximum Permitted F.A.R.*:	Subarea A	10.82
	Subarea B	11.68
	Subarea C	0.81
	Subarea D	11.01
	Blended Total	7.70
Maximum Number Of Dwelling Units:	Subarea A	812
	Subarea B	360
	Subarea C	N/A
	Subarea D	522
	Total:	1,694

* The net site area includes certain public rights-of-way which the Applicant intends to vacate. Should such vacations not be approved, the net site area shall be decreased accordingly and maximum F.A.R. increased a corresponding amount.

Maximum Percent Site Coverage: In accordance with the Site Plan.

Minimum Building Setbacks: In accordance with the Site Plan.

Off-Street Parking Spaces: Subarea A Minimum: 1 per dwelling unit.
Maximum: 1,200.

Subarea B Minimum: 1 per dwelling unit.
Maximum: 125% of the number of dwelling units.

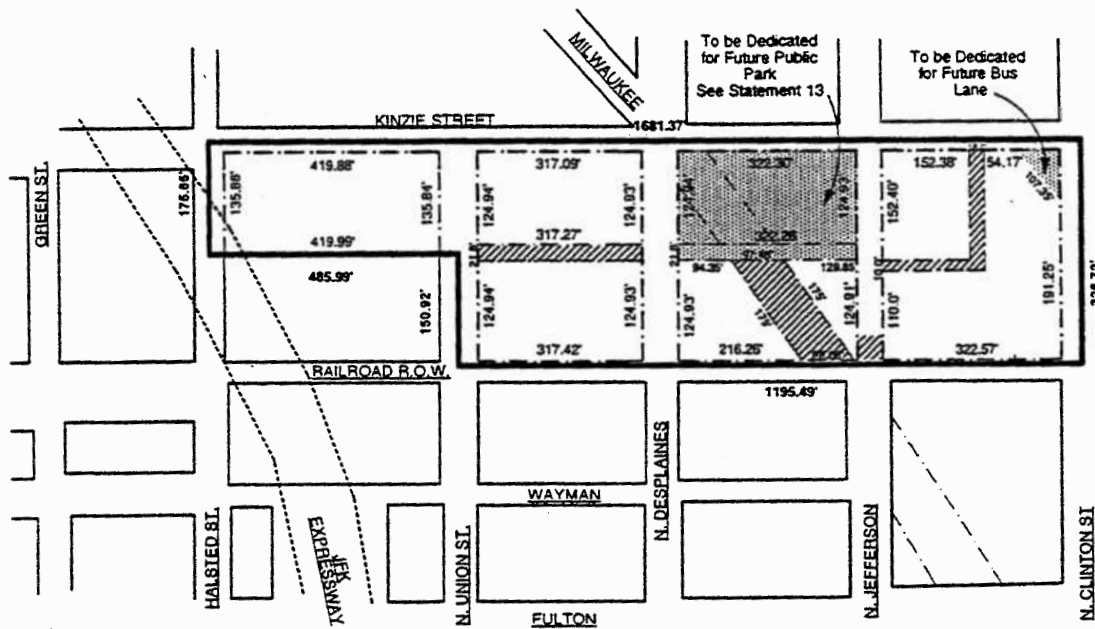
Subarea C Minimum: 1 space per 250 square feet of retail area.





Subarea D Minimum: 1 per dwelling unit.
Maximum: 125% of the number of dwelling units.

Maximum Number Of Off-Street Loading Spaces:	Subarea A:	2
	Subarea B:	1
	Subarea C:	2
	Subarea D:	1
	Total:	6

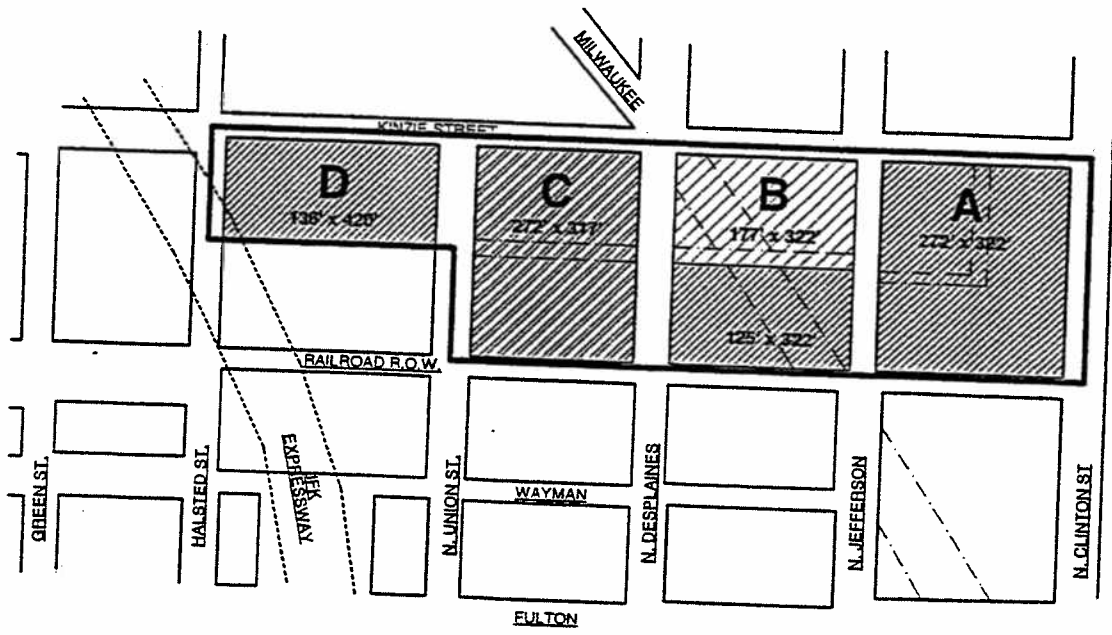
Maximum Building Height: In substantial conformance with the Building Elevations.




Planned Development Boundary, Property Line And Right-Of-Way Adjustment Map.



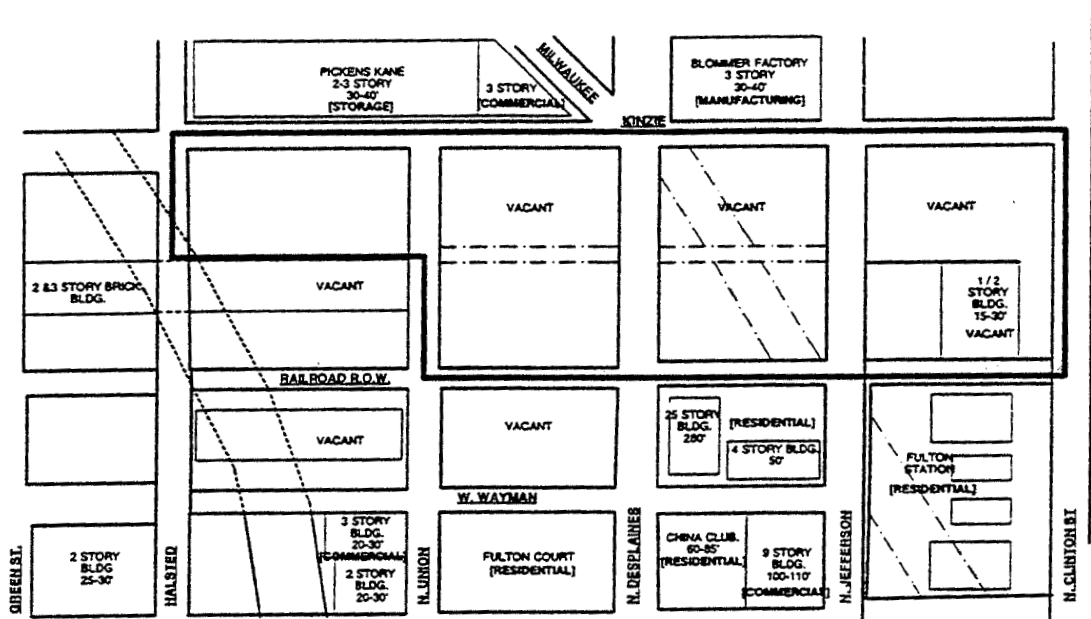
-  PLANNED DEVELOPMENT BOUNDARY
-  PROPERTY LINES
-  RIGHT OF WAY TO BE VACATED
-  PROPERTY TO BE DEDICATED

Subarea Boundary And Generalized Land-Use Map.



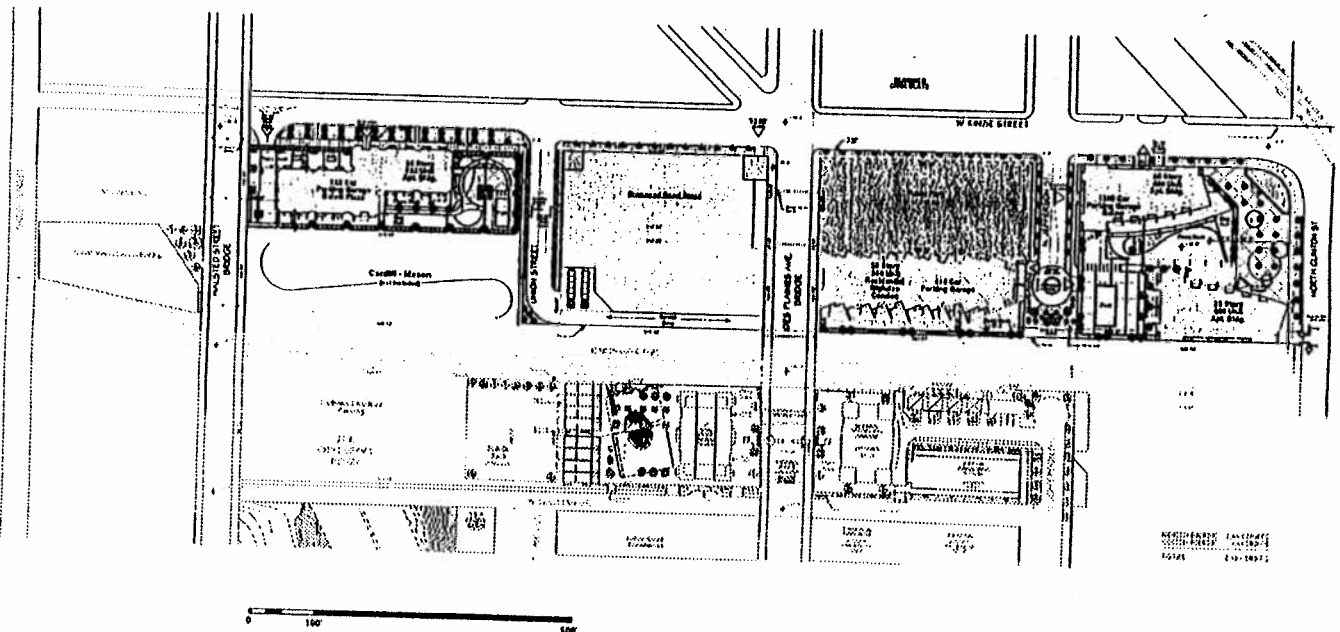
-  PUBLIC PARK
-  COMMERCIAL
-  HIGHRISE RESIDENTIAL

Existing Land-Use Map.

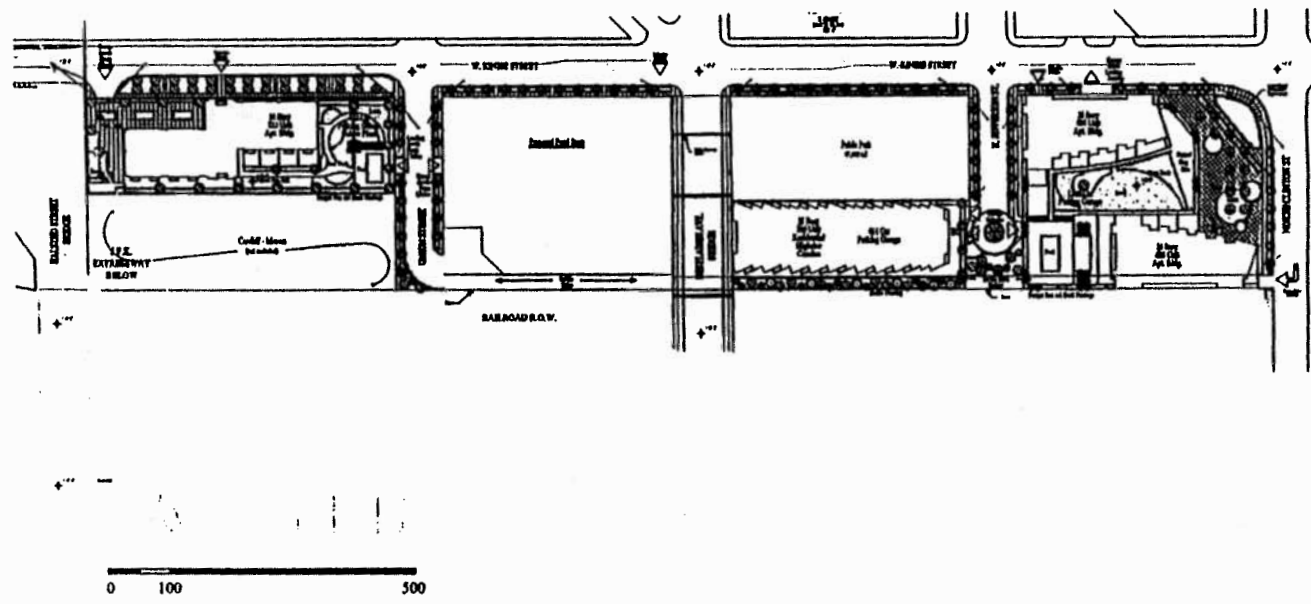


 INDICATES PROPERTY FOR PLANNED DEVELOPMENT

Site Plan.



Landscape Master Plan.

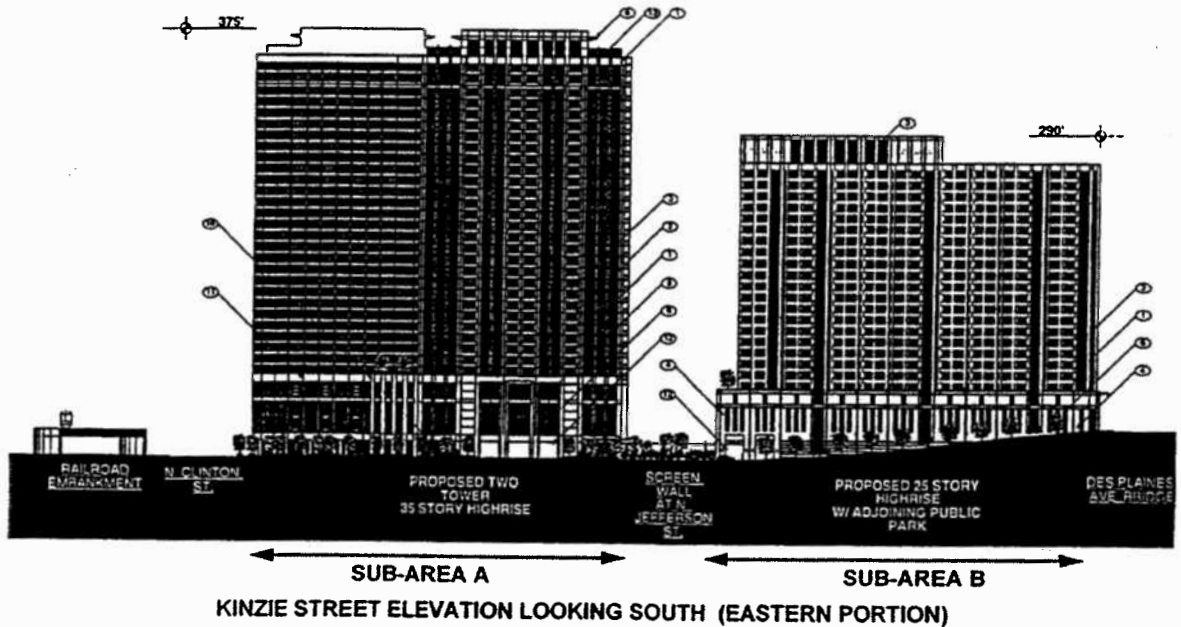


PLANT SCHEDULE

Tag	Type	Botanical Name	Common Name	Size	Spacing
L-1	Shade & Container Tree	<i>Acer platanoides</i>	Norway Maple	4" Caliper (shade) 2" Cal (container)	25' u.n.o. (shade) Per Plan (container)
		<i>Acer saccharum</i>	Sugar Maple		
		<i>Acer rubrum</i>	Red Maple		
		<i>Celtis occidentalis</i>	Hackberry		
		<i>Fraxinus americana</i>	White Ash		
		<i>Gleditsia tricanthos var. inermis</i>	Thornless Honeylocust		
		<i>Tilia americana 'Redmond'</i>	Redmond Linden		
		<i>Ulmus japonica X willsoniana 'Morton'</i>	Morton Elm		
L-2	Shrub	<i>Buxus microphylla 'Koreana'</i>	Korean Boxwood	2'-0"W x 3'-0"H	Per Plan
		<i>Cotoneaster spiculata</i>	Cranberry Cotoneaster		
		<i>Euonymus fortunei 'Sarcocoe'</i>	Sarcocoe Wintercreeper		
		<i>Spiraea japonica</i>	Japanese Spirea		
		<i>Viburnum carlesii 'Compacta'</i>	Dwarf Koreanspice Viburnum		
L-3	Hedge	<i>Cotoneaster acutifolius</i>	Peking Cotoneaster		
		<i>Ligustrum lucidum</i>	Privet		
		<i>Ribes alpinum</i>	Alpine Currant		
L-4	Groundcover	<i>Euonymus fortunei 'Colorata'</i>	Purpleleaf Wintercreeper	12-18" H	Per Plan
		<i>Rhus aromatica 'Gro Low'</i>	Grow Low Sumac		
		<i>Vinca minor</i>	Periwinkle		

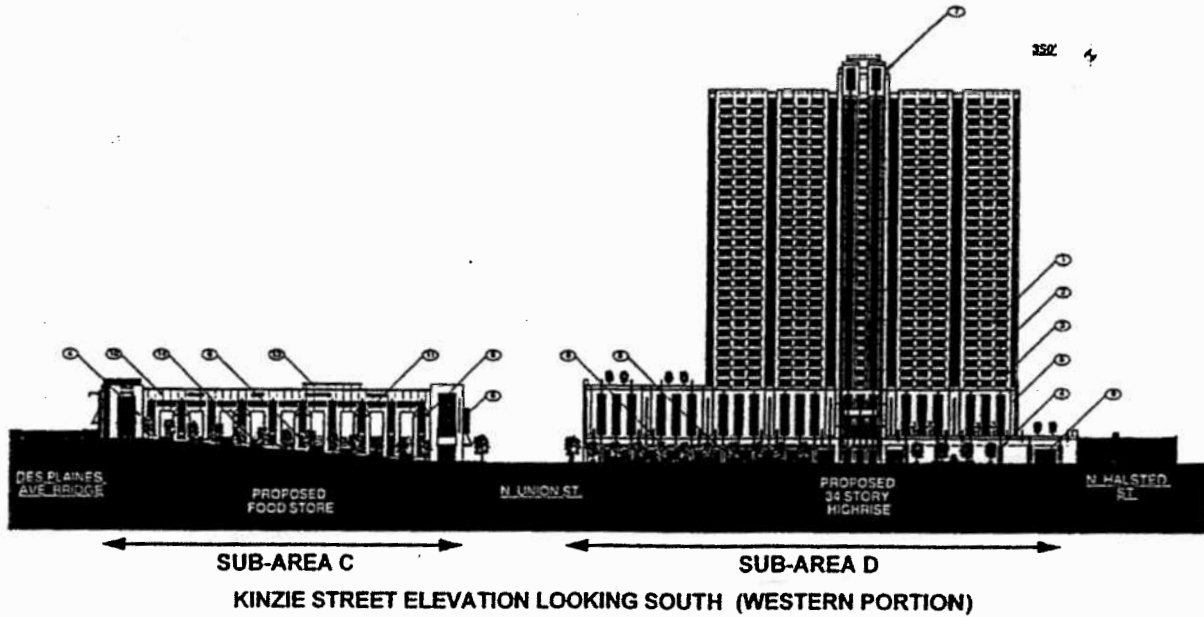
Kinzie Street Elevation Looking South.
(Eastern Portion)

- ① Cast in Place Concrete with Pigmented Coating
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Storefront
- ⑦ Architectural Louver System
- ⑧ Architectural Metalwork Canopy
- ⑨ Overhead Door
- ⑩ Signage Band Typical
- ⑪ Architectural Precast Concrete
- ⑫ Open to Beyond
- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework



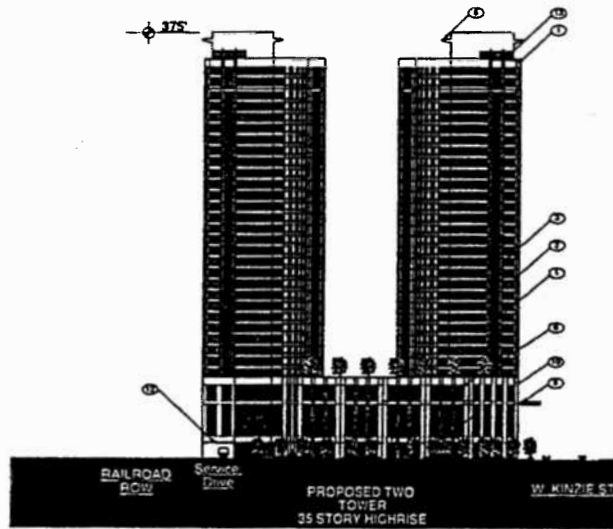
Kinzie Street Elevation Looking South.
(Western Portion)

- ① Cast in Place Concrete with Pigmented Coating
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
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- ⑭ Architectural Stonework

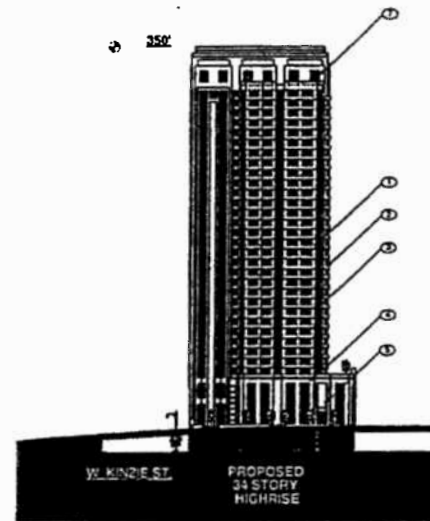


Clinton Street Elevation Looking West And Halsted Street Elevation Looking East.

- ① Cast in Place Concrete with Pigmented Coating
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
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- ⑦ Architectural Louver System
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- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework



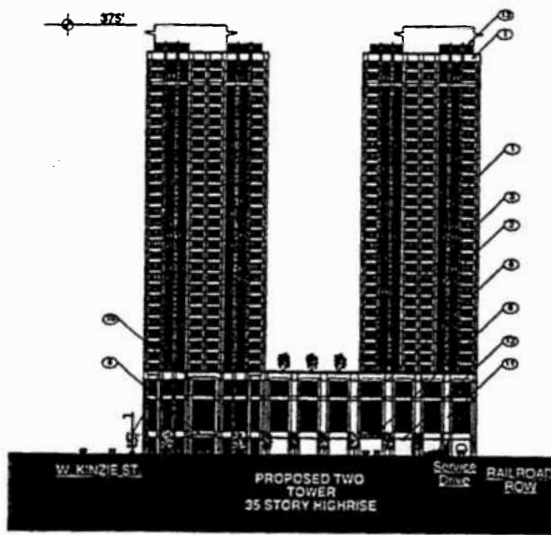
CLINTON STREET ELEVATION LOOKING WEST



HALSTED STREET ELEVATION LOOKING EAST

Jefferson Street Elevation Looking East And West.

- ① Cast in Place Concrete with Pigmented Coating
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Stonefront
- ⑦ Architectural Louver System
- ⑧ Architectural Metalwork Canopy
- ⑨ Overhead Door
- ⑩ Signage Band Typical
- ⑪ Architectural Precast Concrete
- ⑫ Open to Beyond
- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework



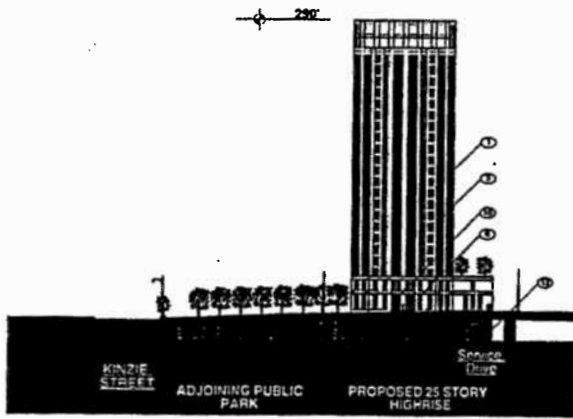
JEFFERSON STREET ELEVATION LOOKING EAST



JEFFERSON STREET ELEVATION LOOKING WEST

Desplaines Street Elevation Looking East And West.

- ① Cast in Place Concrete with Pigmented Coating
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Storefront
- ⑦ Architectural Louver System
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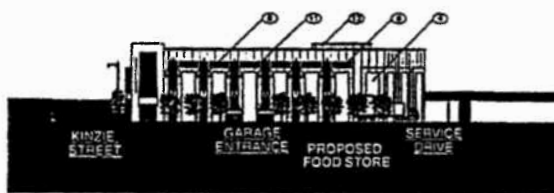
DES PLAINES STREET ELEVATION LOOKING EAST



DES PLAINES STREET ELEVATION LOOKING WEST

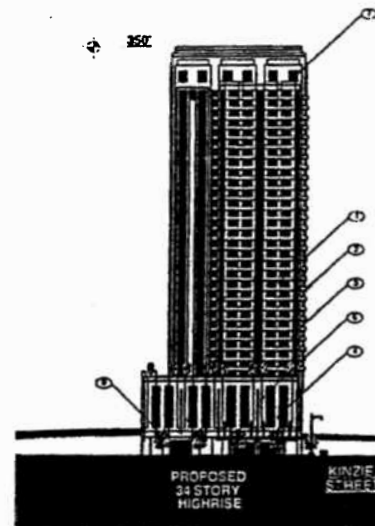
Union Street Elevation Looking East And West.

- ① Cast in Place Concrete with Plomanted Coating
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Storefront
- ⑦ Architectural Louver System
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- ⑨ Overhead Door
- ⑩ Signage Band Typical
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- ⑬ Mechanical Screen Wall
- ⑭ Architectural Stonework



← SUB-AREA C →

UNION STREET ELEVATION LOOKING EAST

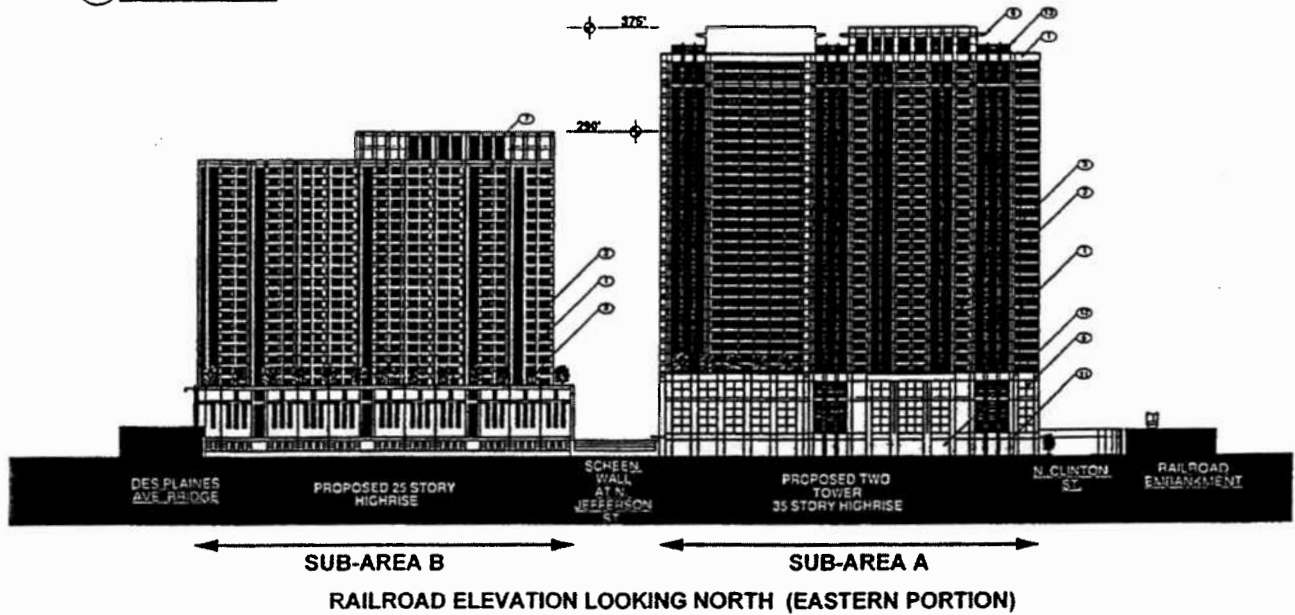


← SUB-AREA D →

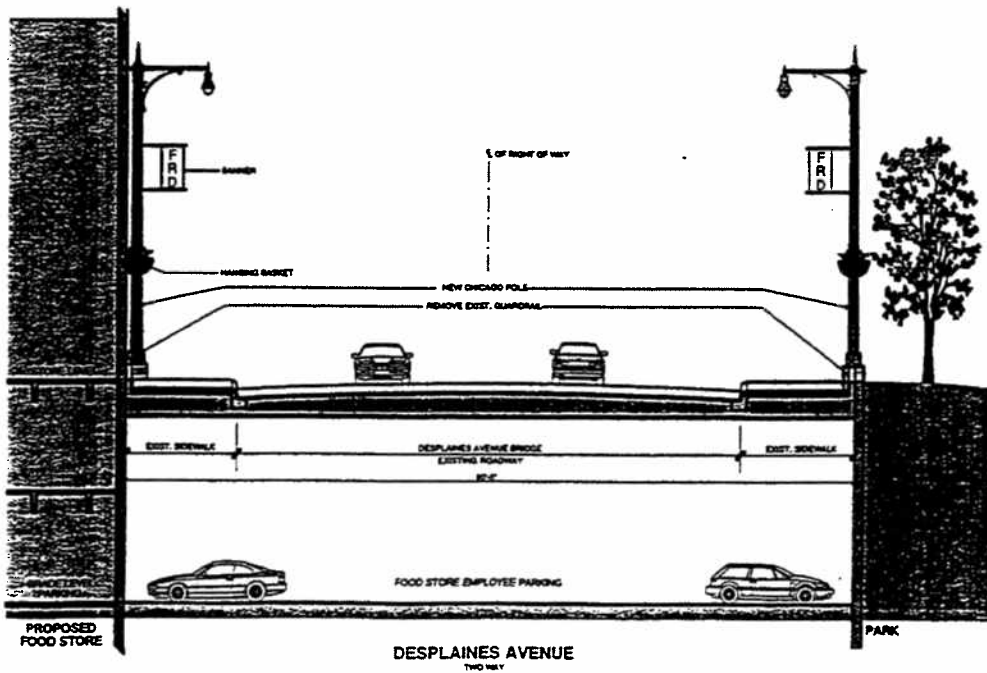
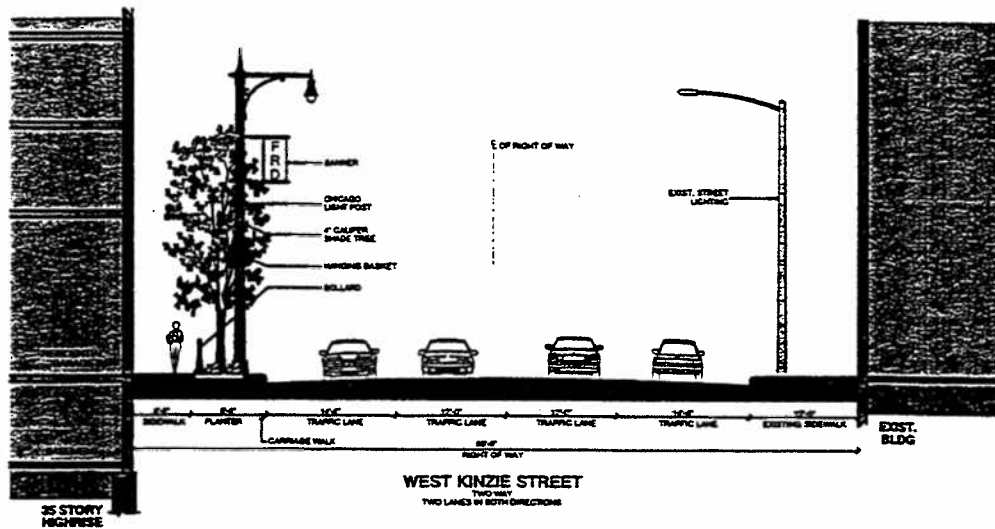
UNION STREET ELEVATION LOOKING WEST

Railroad Elevation Looking North.
(Eastern Portion)

- ① Cast in Place Concrete with Pigmented Coating
- ② Concrete Balcony with cast in Planters
- ③ Aluminum Windows / Sliding Doors
- ④ Face Brick
- ⑤ Masonry Recess
- ⑥ Aluminum Storefront
- ⑦ Architectural Louver System
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- ⑨ Overhead Door
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- ⑭ Architectural Stonework



Street Sections.
(Page 1 of 2)



Street Sections.
(Page 2 of 2)

