

PD 818

Table of Contents

01/26/2026 Zoning Letter **2**

02/27/2026 PD Adoption **3**

 Ordinance 3

 Statements 4

 Bulk Table 7

 Exhibits 9



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 26, 2026

Robert Gawronski
Vice President of Development
Senior Lifestyle
303 E. Wacker Dr., Suite 2400
Chicago, IL 60631

Re: PD 818, 4845 S. Western Boulevard

Dear Mr. Gawronski:

In response to your recent request, please be advised that the subject property is zoned Residential Planned Development No. 818 ("PD 818"). According to our records, the property is improved with a six-story building containing 110 units for the elderly.

We understand that Senior Lifestyle is the owner of the subject property and they are seeking to rehabilitate the building using financing from the Illinois Housing Development Authority. The proposed scope of work includes upgrading the units and common spaces along with the replacement of the roof, windows and HVAC systems. No building addition or changes in occupancy type or number of units is proposed. The proposed renovation is permitted under the current zoning designation, and the current zoning allows for the continued existence of the 110-unit building following its proposed rehabilitation.

All rehabilitation and new construction must comply with the requirements of PD 818 and the Chicago Zoning Ordinance, and all required permits must be obtained prior to the start of construction.

Sincerely,

Kyle Barteltt
Assistant Zoning Administrator

KB:tm

C: Noah Szafraniec, Mike Marmo

*Reclassification Of Area Shown On Map Number 11-I.
(Application Number 13350)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-1 Restricted Manufacturing District symbols and indications as shown on Map Number 11-I in the area bounded by:

a line 154 feet west of and parallel to North Rockwell Street; West Berteau Avenue; North Rockwell Street; and a line 212 feet south of and parallel to West Berteau Avenue,

to those of an R3 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification Of Area Shown On Map Numbers 12-H And 7-F.
(As Amended)
(Application Number 13350) RPD 818*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M2-2 General Manufacturing District symbols and indications as shown on Map Number 12-H in the area bounded by:

West 48th Place; the public alley immediately east of and parallel to South Western Avenue; West 49th Street; and South Western Avenue,

to those of an R6 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the R6 General Residence District symbols and indications as shown on Map Number 7-F in the area bounded by:

West 48th Place; the public alley immediately east of and parallel to South Western Avenue; West 49th Street; and South Western Avenue,

to those of a Residential Planned Development which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance reads as follows:

Residential Planned Development. 818

Plan Of Development Statements.

1. The area delineated herein as a residential planned development consists of approximately thirty-one thousand seven hundred twenty-four (31,724) square feet, zero and seventy-three hundredths (0.73) of an acre, of property which is depicted on the attached Planned Development Boundary and Property Line Map and is owned or controlled by the applicant, Senior Living Little-Village, L.P.
2. All applicable official reviews, approvals or permits which are necessary to implement this plan of development shall be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal title holders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property, including any condominium association which may be formed to represent all or some of the owners for zoning purposes and any ground lessors.
4. This plan of development consists of fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary and Property Line Map; an Existing Land-Use Map; a Landscape Plan prepared by Jack DiClementi, dated February 14, 2002; and Site Plan and Building Elevations prepared by Haylock Design, Inc., dated February 14, 2002. Full-sized copies of the Site Plan, Landscape Plan and the Building Elevations are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the property. This planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfied the established criteria for approval as a planned development.
5. The following uses shall be permitted in the area delineated herein as a residential planned development:
 - multi-family dwelling units for the elderly, accessory parking and accessory uses.
6. Identification signs and temporary signs such as construction and marketing signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development.

7. Off-street parking and loading facilities shall be provided in compliance with this planned development subject to the review and approval of the Departments of Transportation and Planning and Development. A minimum of two percent (2%) of all parking spaces provided within the planned development shall be designated and designed for parking for the handicapped.
8. Additional parking with a minimum of fourteen (14) spaces shall be provided on a parcel of real estate commonly known as 2312 West 48th Place, Chicago, Illinois land which is outside the boundaries of the planned development (the "Additional Parking Area"). A minimum of two percent (2%) of all parking spaces provided within the Additional Parking Area shall be designated and designed for parking for the handicapped.
9. Any service drive or other ingress or egress shall be adequately designed and paved, in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development.
10. In addition to the maximum height of the improvements and any appurtenance depicted on the Building Elevations attached hereto, the height of the improvements shall also be subject to limitations approved by the Federal Aviation Administration.
11. The improvements on the property, including the on-site exterior landscaping and all entrances and exits to and from the loading area, shall be designed, constructed and maintained in substantial conformance with the Site and Landscape Plans and the Building Elevations. New sidewalks adjacent to the property will be installed.
12. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance, until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.

- 13. The requirements of the planned development may be modified, administratively, by the Commissioner of Planning and Development upon the application for such modification by applicant and a determination by the Commissioner of Planning Development that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of the planned development by the Commissioner of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
- 14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The applicant shall use its best and reasonable efforts to design, construct and maintain all buildings located within this planned development in conformance with energy efficiency standards published by the American Society of Heating, Refrigerating and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illumination Engineering Society ("I.E.S.").
- 15. Unless substantial construction of the building has commenced within six (6) years following adoption of this planned development, and unless completion thereof is diligently pursued, then this planned development shall expire and the zoning of the property shall automatically revert to the pre-existing M2-2 General Manufacturing District.

[Existing Zoning Map; Existing Land-Use Map; Planned Development Boundary Map; Project Area Plan; Site Plan; Landscape Plan; and Building Elevation Drawings referred to in these Plan of Development Statements printed on pages 80463 through 80472 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential Planned Development.

Bulk Regulations And Data Table.

Net Site Area:

31,725 square feet or 0.73 of an acre.

Maximum Permitted Floor Area Ratio:	3.0.
Setbacks from Property Line:	In substantial conformance with the Site Plan.
Maximum Percentage of Site Coverage:	In substantial conformance with the Site Plan.
Maximum Number of Dwelling Units:	110 units.
Minimum Number of Off-Street Parking Spaces (On-Site):	26 spaces.
Minimum Number of Off-Street Parking Spaces (Additional Parking Area -- Off-Site):	14 spaces.
Minimum Number of Off-Street Loading Spaces:	1 space.
Maximum Building Height:	In substantial conformance with the Building Elevations.

FILE
HAVE
AND

*Reclassification Of Area Shown On Map Number 15-N.
(Application Number 13564)*

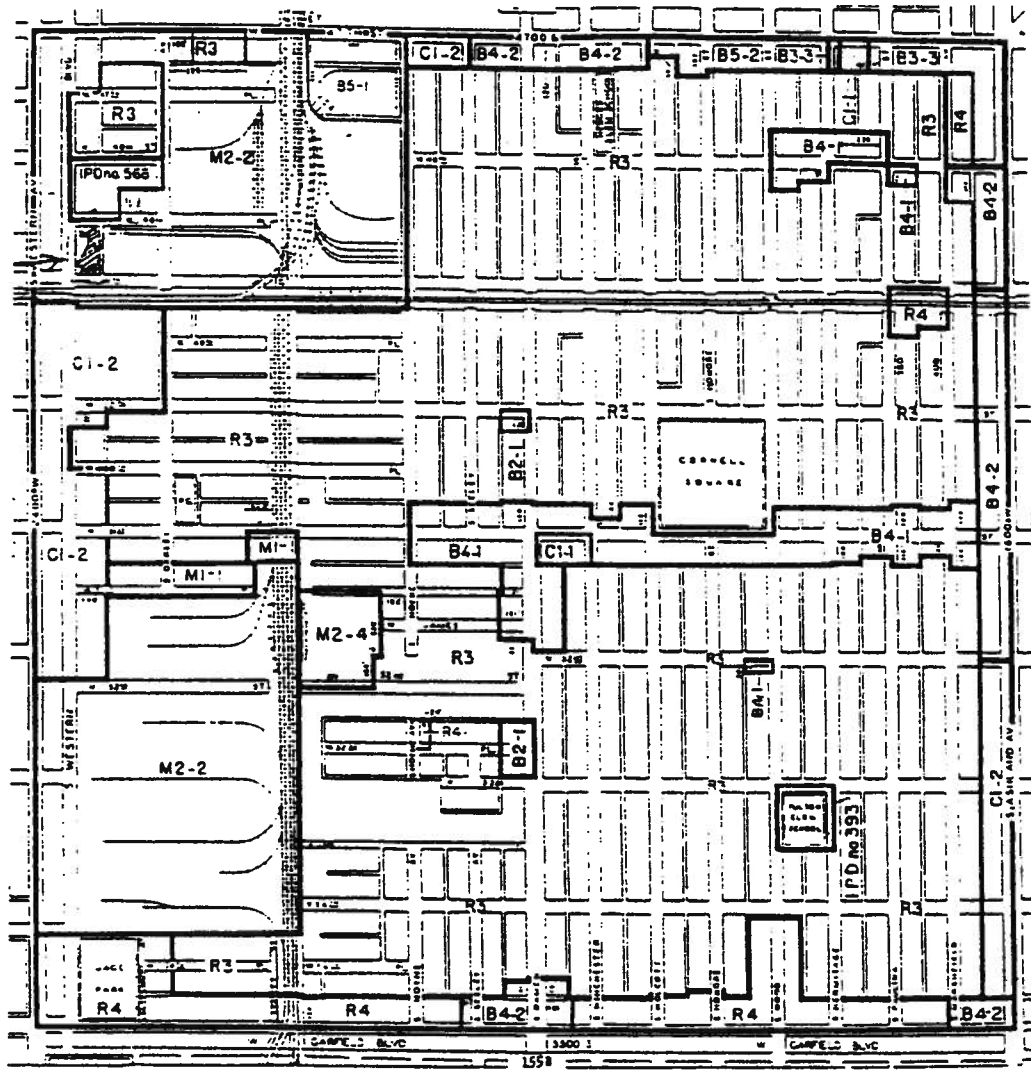
Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R3 General Residence District symbols and indications as shown on Map Number 15-N in the area bounded by;

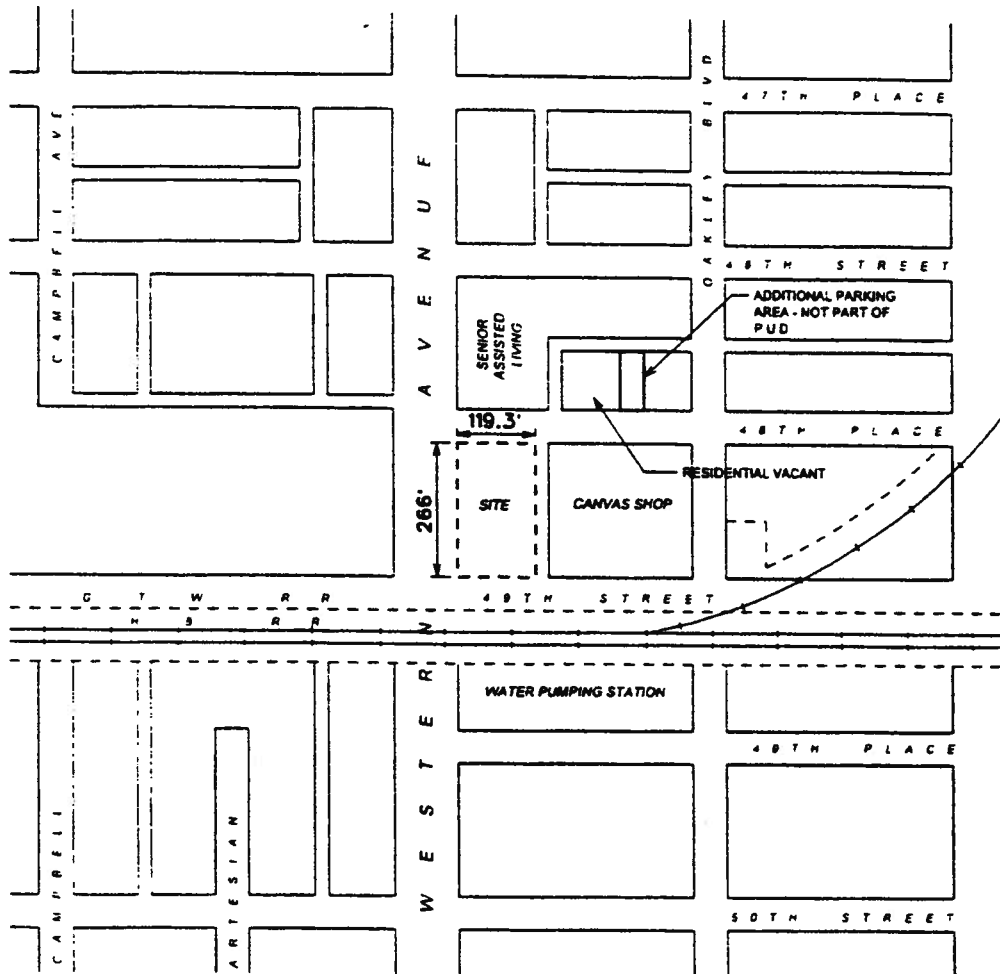
a line 200 feet northwest of and parallel to North Naper Avenue; a line 175 feet northeast of and parallel to North Northwest Highway; a line 100 feet northwest of and parallel to North Naper Avenue; and North Northwest Highway,

(Continued on page 80473)

Existing Zoning Map.



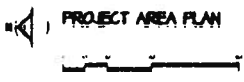
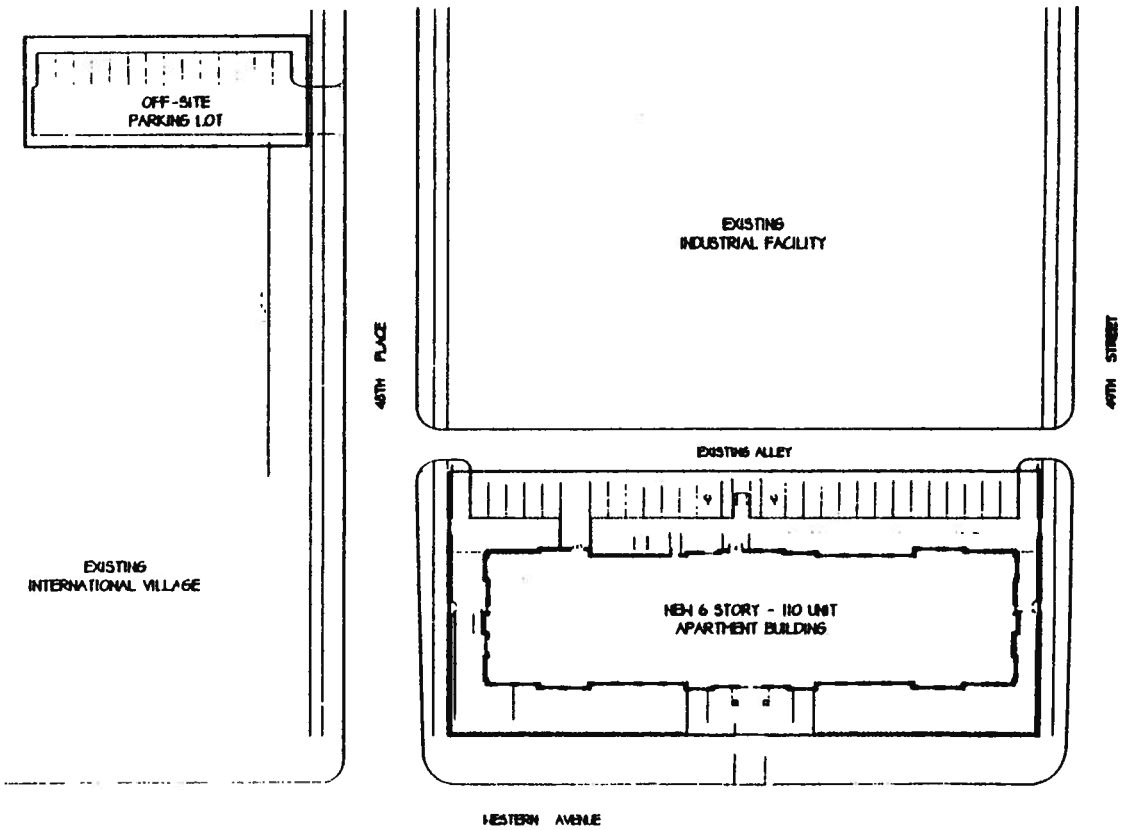
Planned Development Boundary Map.



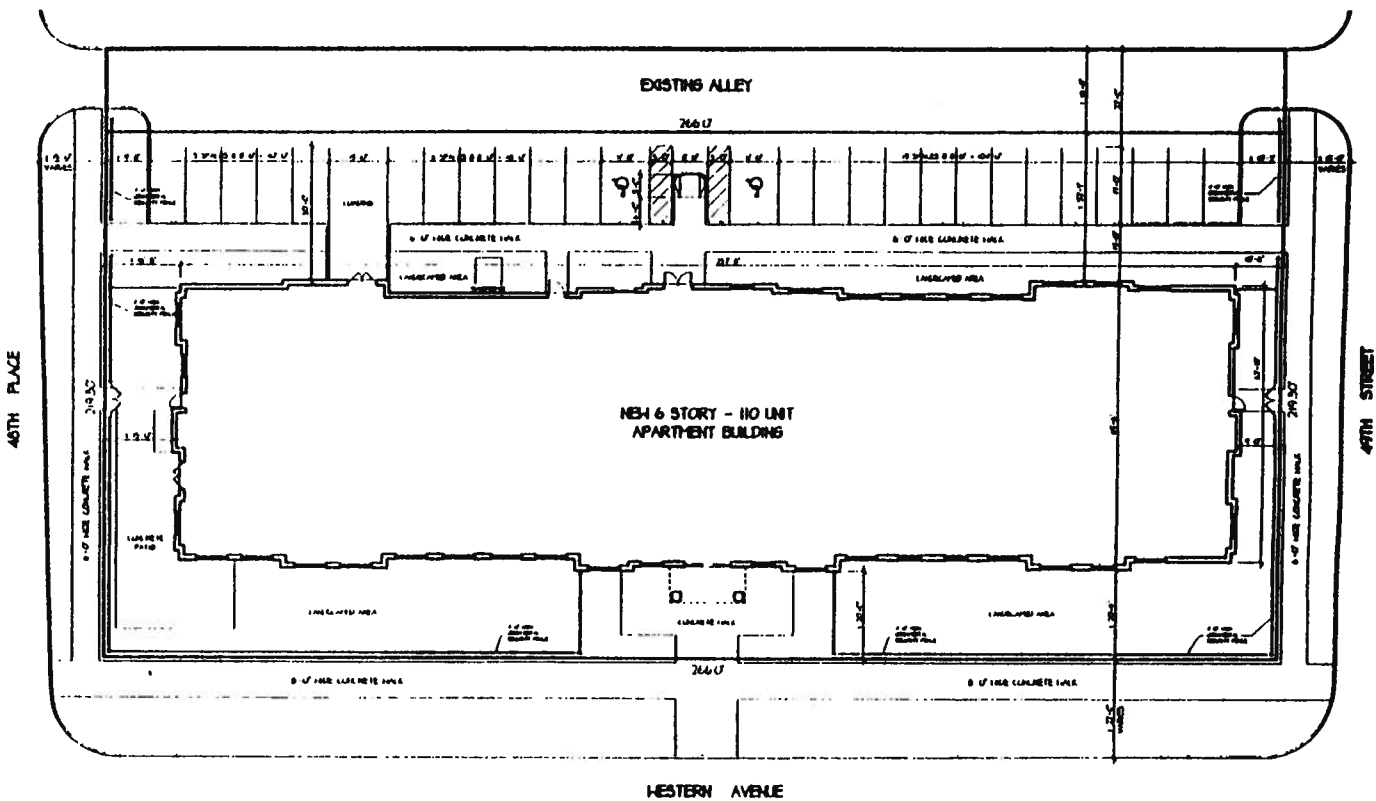
 PROPERTY LINE BOUNDARY



Project Area Plan.



Site Plan.
(Page 1 of 2)

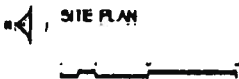


ZONING DATA

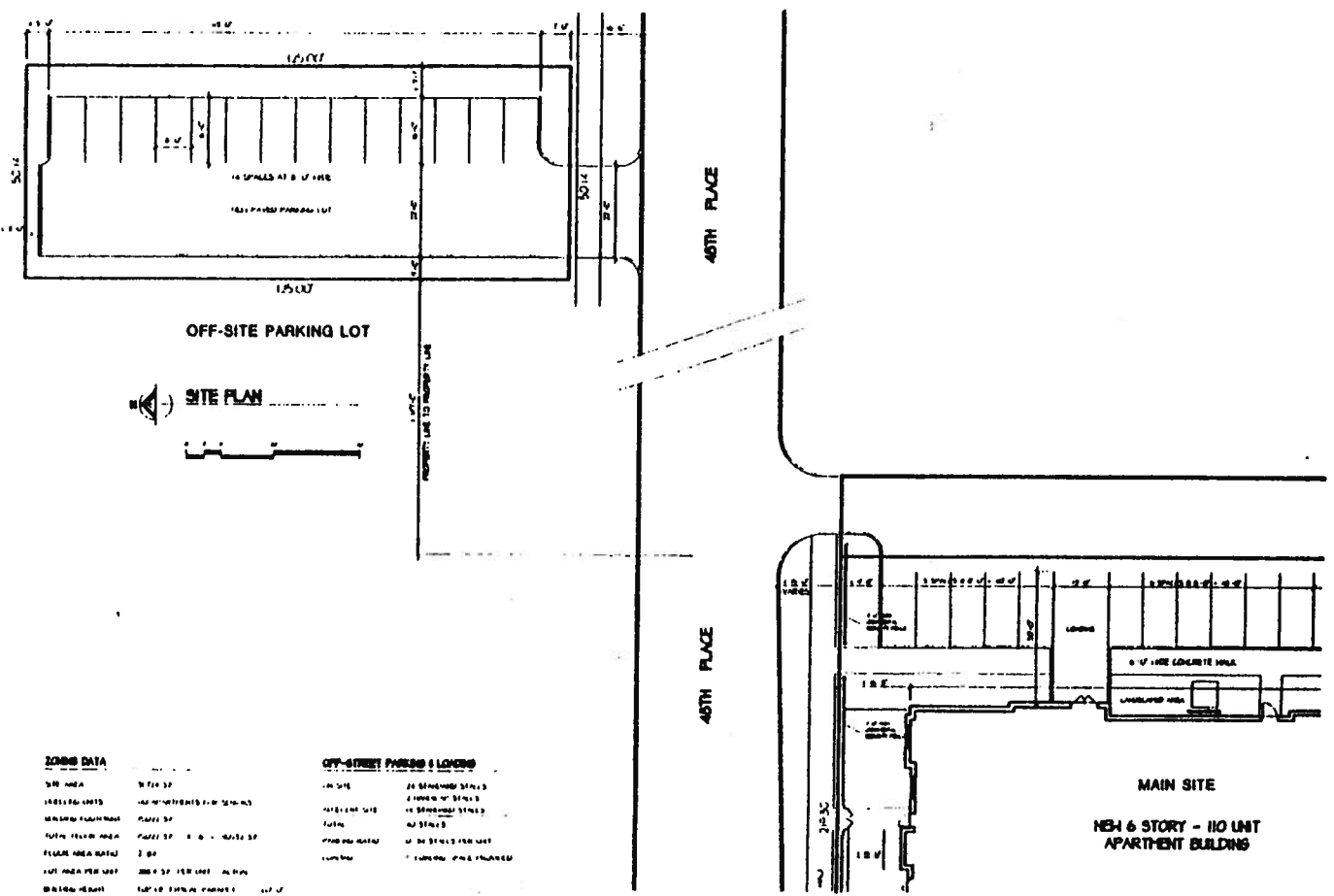
SITE AREA	5,720 SF
TOTALING AREAS	NO APARTMENTS PER ZONING
MAXIMUM FLOOR AREA	1,122 SF
TOTAL FLOOR AREA	1,122 SF
FLOOR AREA RATIO	1.96
GUT AREA PER UNIT	100 SF PER UNIT
MAXIMUM HEIGHT	TOP OF THIRD FLOOR

CITY-STREET PARKING & LOADING

ON SITE	20 STANDING SPACES
STREET SIDE	2 UNDER SPACES
LOADING	4 STANDING SPACES
LOADING	40 SPACES
LOADING	20 STANDING SPACES
LOADING	10 STANDING SPACES



Site Plan.
(Page 2 of 2)



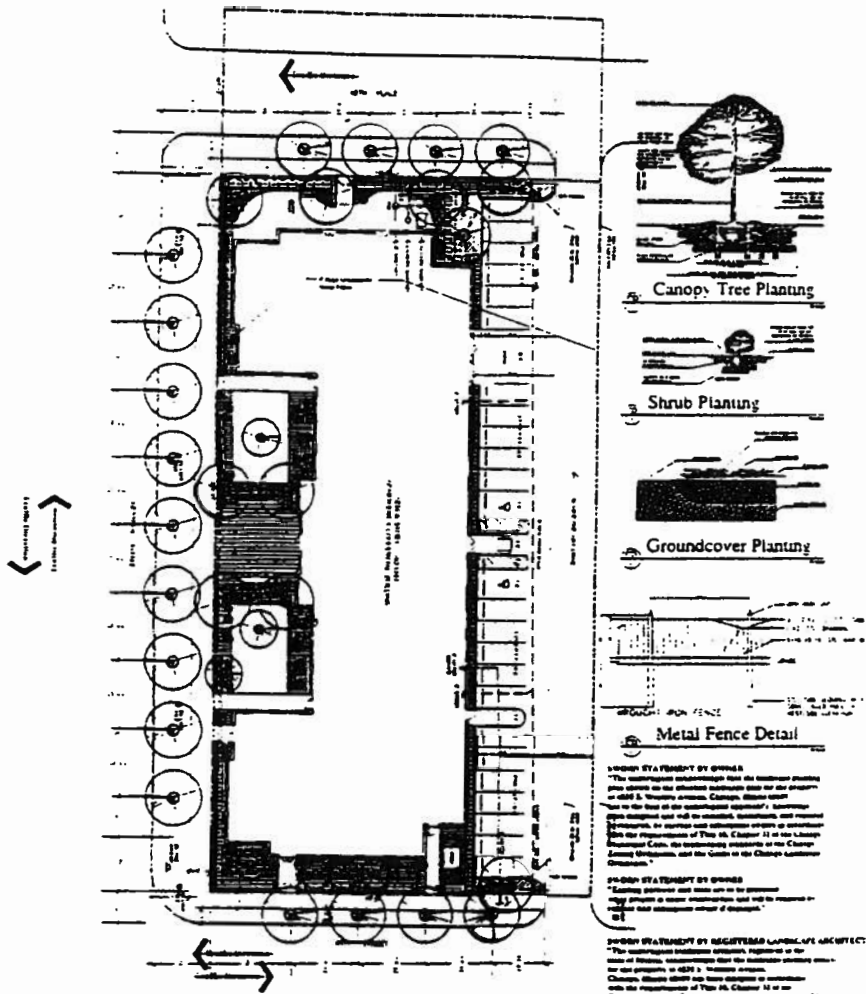
ZONING DATA

USE AREA	R 1.5 3P
MINIMUM UNITS	140 UNITS PER 50,000 SQ FT
MINIMUM FLOOR AREA	10,000 SQ FT
FLOOR AREA RATIO	2.0
MAXIMUM HEIGHT	35 FT

OFF-STREET PARKING & LOADING

IN SITE	24 STANDARD SPACES
OFF SITE	16 STANDARD SPACES
TOTAL	40 STANDARD SPACES
LOADING	10' WIDE CONCRETE PAVEMENT

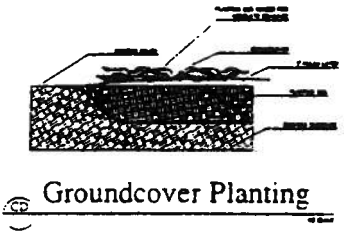
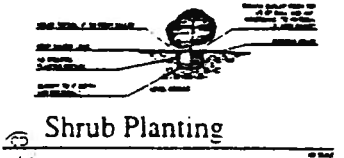
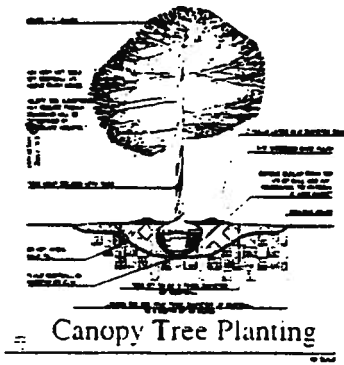
Landscape Plan.
(Page 1 of 2)



PLANT MATERIAL PALETTE

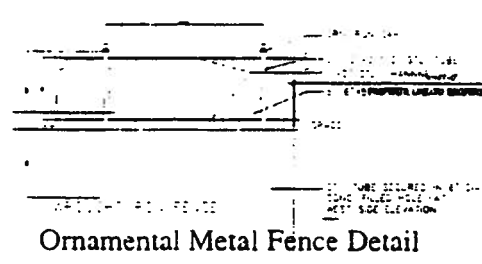
SOFTSCAPE		HARDSCAPE	
1	Plant Material	1	Material
2	Plant Material	2	Material
3	Plant Material	3	Material
4	Plant Material	4	Material
5	Plant Material	5	Material
6	Plant Material	6	Material
7	Plant Material	7	Material
8	Plant Material	8	Material
9	Plant Material	9	Material
10	Plant Material	10	Material
11	Plant Material	11	Material
12	Plant Material	12	Material
13	Plant Material	13	Material
14	Plant Material	14	Material
15	Plant Material	15	Material
16	Plant Material	16	Material
17	Plant Material	17	Material
18	Plant Material	18	Material
19	Plant Material	19	Material
20	Plant Material	20	Material
21	Plant Material	21	Material
22	Plant Material	22	Material
23	Plant Material	23	Material
24	Plant Material	24	Material
25	Plant Material	25	Material
26	Plant Material	26	Material
27	Plant Material	27	Material
28	Plant Material	28	Material
29	Plant Material	29	Material
30	Plant Material	30	Material
31	Plant Material	31	Material
32	Plant Material	32	Material
33	Plant Material	33	Material
34	Plant Material	34	Material
35	Plant Material	35	Material
36	Plant Material	36	Material
37	Plant Material	37	Material
38	Plant Material	38	Material
39	Plant Material	39	Material
40	Plant Material	40	Material
41	Plant Material	41	Material
42	Plant Material	42	Material
43	Plant Material	43	Material
44	Plant Material	44	Material
45	Plant Material	45	Material
46	Plant Material	46	Material
47	Plant Material	47	Material
48	Plant Material	48	Material
49	Plant Material	49	Material
50	Plant Material	50	Material
51	Plant Material	51	Material
52	Plant Material	52	Material
53	Plant Material	53	Material
54	Plant Material	54	Material
55	Plant Material	55	Material
56	Plant Material	56	Material
57	Plant Material	57	Material
58	Plant Material	58	Material
59	Plant Material	59	Material
60	Plant Material	60	Material
61	Plant Material	61	Material
62	Plant Material	62	Material
63	Plant Material	63	Material
64	Plant Material	64	Material
65	Plant Material	65	Material
66	Plant Material	66	Material
67	Plant Material	67	Material
68	Plant Material	68	Material
69	Plant Material	69	Material
70	Plant Material	70	Material
71	Plant Material	71	Material
72	Plant Material	72	Material
73	Plant Material	73	Material
74	Plant Material	74	Material
75	Plant Material	75	Material
76	Plant Material	76	Material
77	Plant Material	77	Material
78	Plant Material	78	Material
79	Plant Material	79	Material
80	Plant Material	80	Material
81	Plant Material	81	Material
82	Plant Material	82	Material
83	Plant Material	83	Material
84	Plant Material	84	Material
85	Plant Material	85	Material
86	Plant Material	86	Material
87	Plant Material	87	Material
88	Plant Material	88	Material
89	Plant Material	89	Material
90	Plant Material	90	Material
91	Plant Material	91	Material
92	Plant Material	92	Material
93	Plant Material	93	Material
94	Plant Material	94	Material
95	Plant Material	95	Material
96	Plant Material	96	Material
97	Plant Material	97	Material
98	Plant Material	98	Material
99	Plant Material	99	Material
100	Plant Material	100	Material

Landscape Plan.
(Page 2 of 2)



PLANT MATERIAL PALETTE

NO.	SYMBOL	PLANT NAME	COMMON NAME	SIZE	REMARKS
SOFTSCAPE					
CANOPY TREES					
101	(Tree Symbol)	...	...	...	...
SHRUBS					
102	(Shrub Symbol)	...	...	...	...
GROUNDCOVER					
103	(Groundcover Symbol)	...	...	...	...



REVISIONS

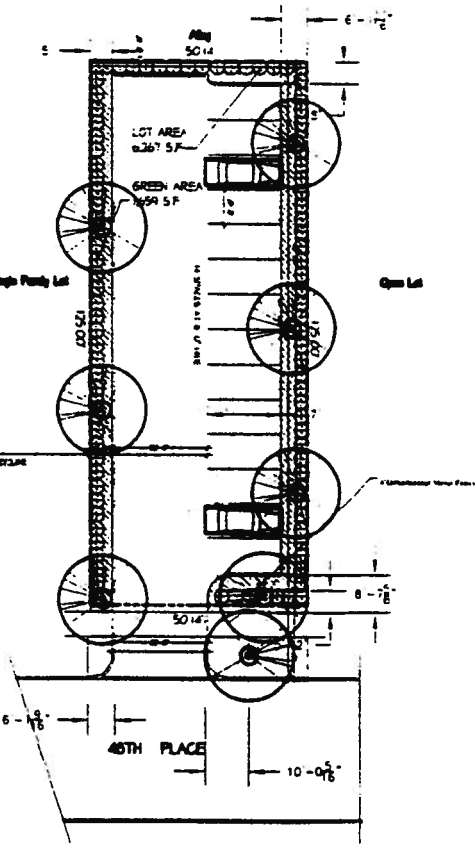
1. REVISED BY: [Name]

2. REVISED BY: [Name]

3. REVISED BY: [Name]

4. REVISED BY: [Name]

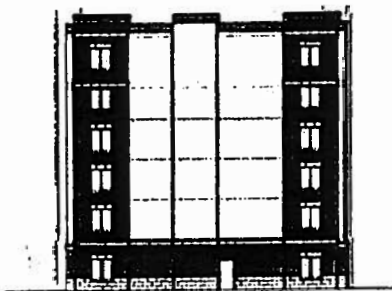
5. REVISED BY: [Name]



Building Elevation.
(Page 1 of 2)



WEST ELEVATION



SOUTH ELEVATION

Building Elevation.
(Page 2 of 2)



EAST ELEVATION



NORTH ELEVATION

