

PD 798

Table of Contents

10/03/2001 PD Adoption **2**
 Ordinance 2
 Statements 2
 Bulk Table 6
 Exhibits 7

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B2-1 Restricted Retail District and C1-1 Restricted Commercial District symbols and indications as shown on Map Number 14-I within the area bounded by:

the alley next north of and parallel to West 63rd Street; South Rockwell Street; West 63rd Street; and South Washtenaw Avenue,

to those of a B2-3 Restricted Retail District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the B2-3 Restricted Retail District symbols and indications shown on Map Number 14-I within the area bounded by:

the alley next north of and parallel to West 63rd Street; South Rockwell Street; West 63rd Street; and South Washtenaw Avenue,

to those of Residential Planned Development Number _____, which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development Statements herewith attached and made a part hereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance reads as follows:

Residential Planned Development Number 798

Plan Of Development Statements.

1. The area delineated herein as Residential Planned Development Number _____ (the "Property") consists of approximately seventy-four thousand eight hundred ten (74,810) net square feet (one and seventy-two hundredths (1.72) acres) of property located in the area bounded by the alley next north of and parallel to West 63rd Street; South Rockwell Street; West 63rd Street; and South Washtenaw Avenue, which is depicted on the attached Planned Development Property Line and Boundary Map, and of

which the applicant, Greater Southwest Development Corporation, an Illinois not-for-profit corporation, is the owner, in part, and the contract purchaser, in part.

2. All applicable official reviews, approvals or permits are required to be obtained by the applicant. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the applicant, its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. "Single designated control" for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors.
4. This plan of development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Property Line Boundary and Right-of-Way Adjustment Map; a Site Plan prepared by William Worn Architecture, P.C. dated September 13, 2001 ("Site Plan"); a Landscape Plan prepared by Daniel Weinbach & Partners, Ltd. dated September 13, 2001 ("Landscape Plan"); and Building Elevations prepared by William Worn Architecture, P.C. dated September 13, 2001. Full-sized copies of these plans are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. This planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The uses of the Property permitted pursuant to this planned development shall be housing for elderly persons, accessory parking and accessory uses.

6. Identification signs and temporary signs, such as construction and marketing signs, shall be permitted on the Property subject to the review and approval of the Department of Planning and Development.
7. Any service drive or other ingress or egress shall be adequately designed and paved, in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. Any changes to ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development.
8. In addition to the maximum height of the buildings and any appurtenances attached thereto prescribed in this planned development, the height of any improvements also shall be subject to height limitations as approved by the Federal Aviation Administration.
9. The improvements on the Property shall be designed, constructed and maintained in substantial conformance with the plans and exhibits described in statement 4 above, and in accordance with the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
10. The existing park on the west portion of the Property is owned by Neighborspace and will be open to the public.
11. The applicant shall be permitted to provide a mix of sizes of dwelling units on the Property in its discretion subject to the requirements of this planned development, provided that the number of efficiency units on the Property shall not be limited to thirty percent (30%) of the total number of permitted dwelling units.
12. The terms, conditions and exhibits of this planned development may be modified, administratively, by the Commissioner of the Department of Planning and Development upon the application for such a modification by the applicant or legal title holder of the Property determination by the Commissioner of the Department of Planning and Development that such modification is minor, appropriate and consistent with the nature of the improvements contemplated by this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of the planned development by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.

13. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the Conservation of energy resources. The applicant shall use its best and reasonable efforts to design, construct and maintain all buildings located within this planned development in an energy-efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S.").
14. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities (M.O.P.D.) to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
15. Unless substantial construction of the improvements contemplated by this planned development has commenced within six (6) years following adoption of this planned development, and unless completion thereof is diligently pursued, then this planned development shall expire and the zoning of the Property shall automatically revert to the B2-3 Restricted Retail District. Said six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for such an extension is shown.

[Existing Zoning Map; Existing Land-Use Area Map; Planned Development Property Line and Boundary Map; Planned Development Property Line and Right-of-Way Adjustment Map; Site Plan; Landscape Plan; and Building Elevation Drawings referred to in these Plan of Development Statements printed on pages 68855 through 68862 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential Planned Development Number 798, As Amended

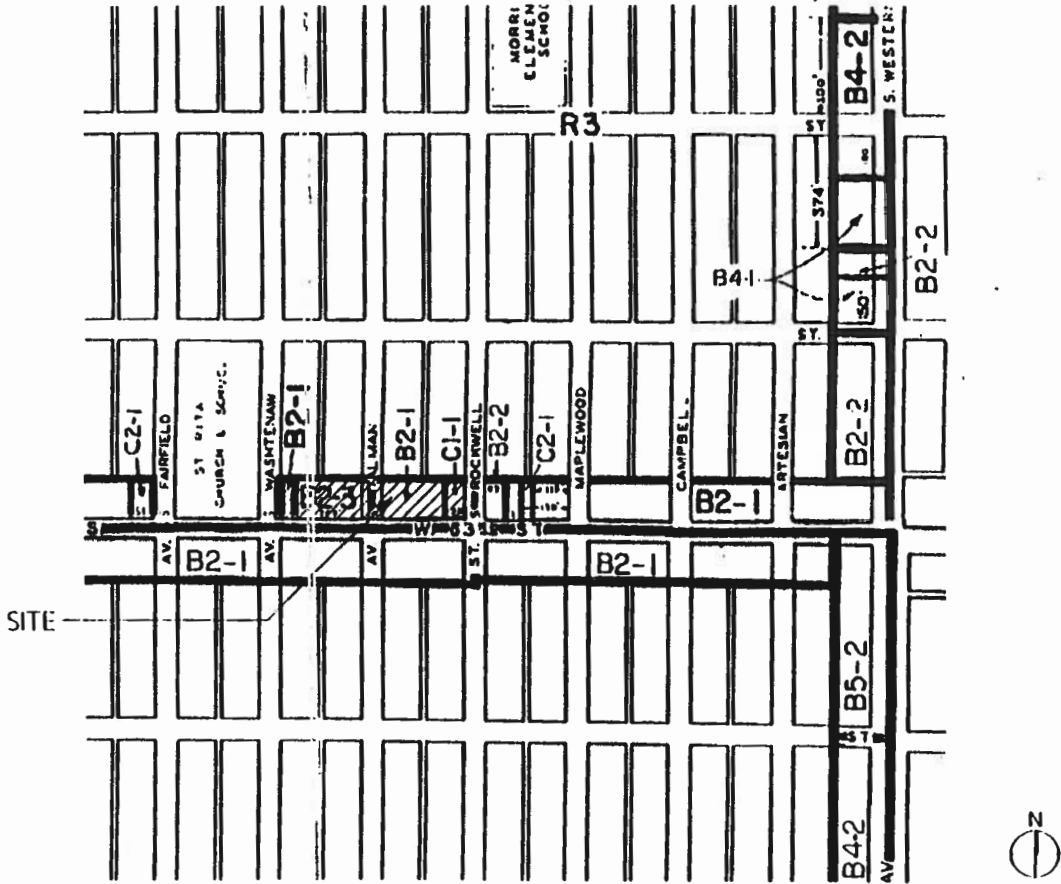
Plan Of Development

Bulk Regulations And Data Table.

Gross Site Area = Net Site Area + Area Remaining in Public Right-of-Way/± 114,955 gross square feet (2.64 acres) = ± 74,810 net square feet + 40,145 square feet in public right-of-way.

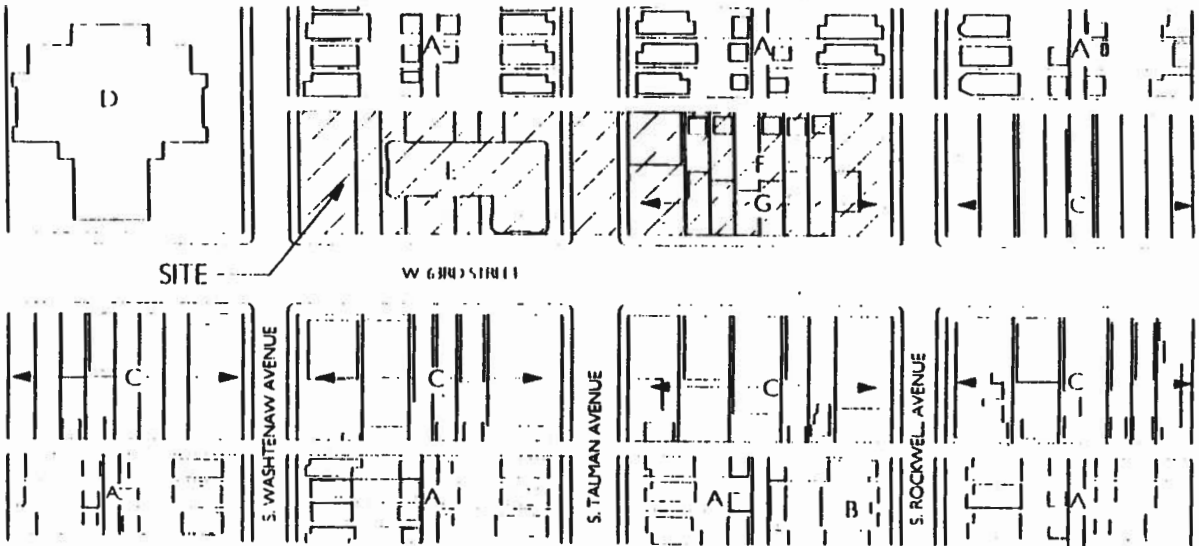
Maximum Permitted Floor Area Ratio:	1.8.
Minimum Setbacks from Property Line:	In accordance with the Site Plan.
Maximum Number of Dwelling Units	150.
Minimum Number of Parking Spaces:	50.
Minimum Number of Loading Docks:	
East Building:	1.
West Building:	1.
Maximum Percentage of Land Covered:	In accordance with the Site Plan.
Maximum Building Height:	62 feet (as depicted on the Building Elevations).

Existing Zoning Map.



<p>CHURCHVIEW III 2626 WEST 63RD STREET, CHICAGO, IL. 60629</p>	<p>APPLICANT: GREATER SOUTHWEST DEVELOPMENT CORP</p>	<p>DATE: 9/13/01</p>	<p>DRAWING: EXISTING ZONING MAP</p>
<p>WILLIAM WORN ■ ARCHITECTURE, P.C. <small>100 WEST SUPERIOR STREET, CHICAGO, ILLINOIS 60610 PHONE: 312/257-1200 FAX: 312/257-1201</small></p>		<p>SCALE: N.T.S.</p>	<p><small>© 2001 BY WILLIAM WORN ARCHITECTURE, P.C.</small></p>

Existing Land-Use Area Map.



KEY:

- A SINGLE FAMILY DWELLINGS (1 & 2 STORY)
- B MULTI-FAMILY DWELLINGS (3 STORY)
- C B2-1 BUSINESS DISTRICT (1 TO 3 STORY)
- D SAINT RITA CHURCH AND SCHOOL
- E CHURCHVIEW I (5 STORY RESIDENTIAL)
- F PROJECT SITE
- G BUILDING TO BE REMOVED

FINAL FOR PUBLICATION

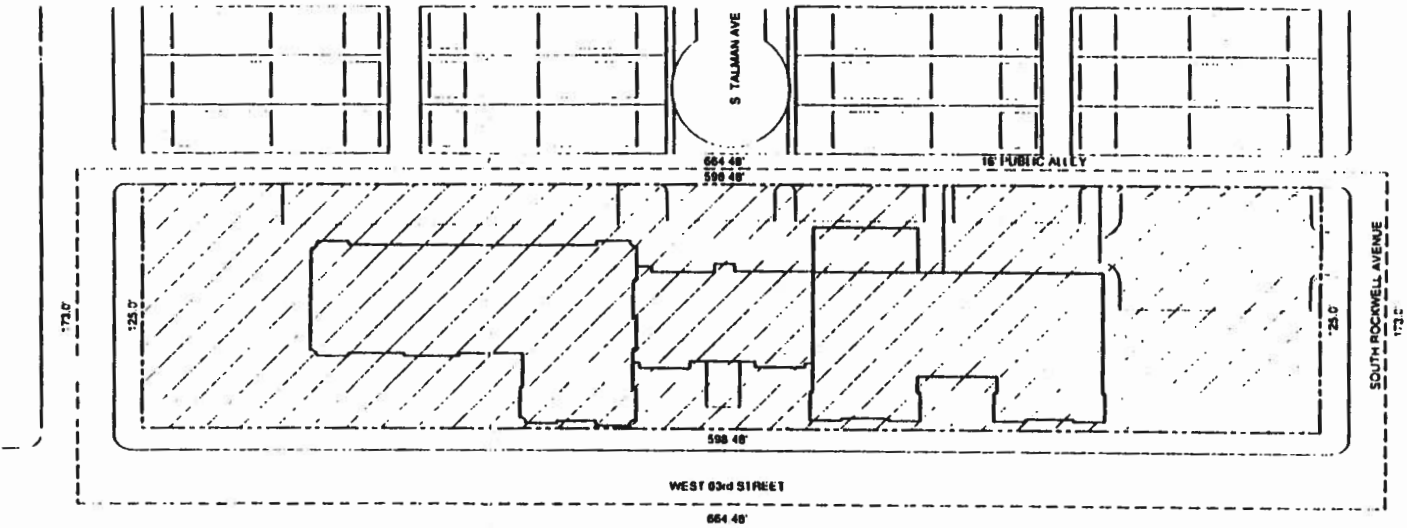
CHURCHVIEW III 2626 WEST 63RD STREET, CHICAGO, IL 60629 WILLIAM WORN ■ ARCHITECTURE, P.C. <small>401 WEST SUPERIOR STREET, CHICAGO, ILLINOIS 60610 PHONE 312.697.5877 FAX 312.697.5187</small>	APPLICANT: GREATER SOUTH WEST DEVELOPMENT CORP.	DATE: 9.13.01	DRAWING: EXISTING LAND-USE AREA MAP
		SCALE: 1" = 150'	<small>© 2001 BY WILLIAM WORN ARCHITECTURE, P.C. ALL RIGHTS RESERVED.</small>




10/3/2001

REPORTS OF COMMITTEES

68857

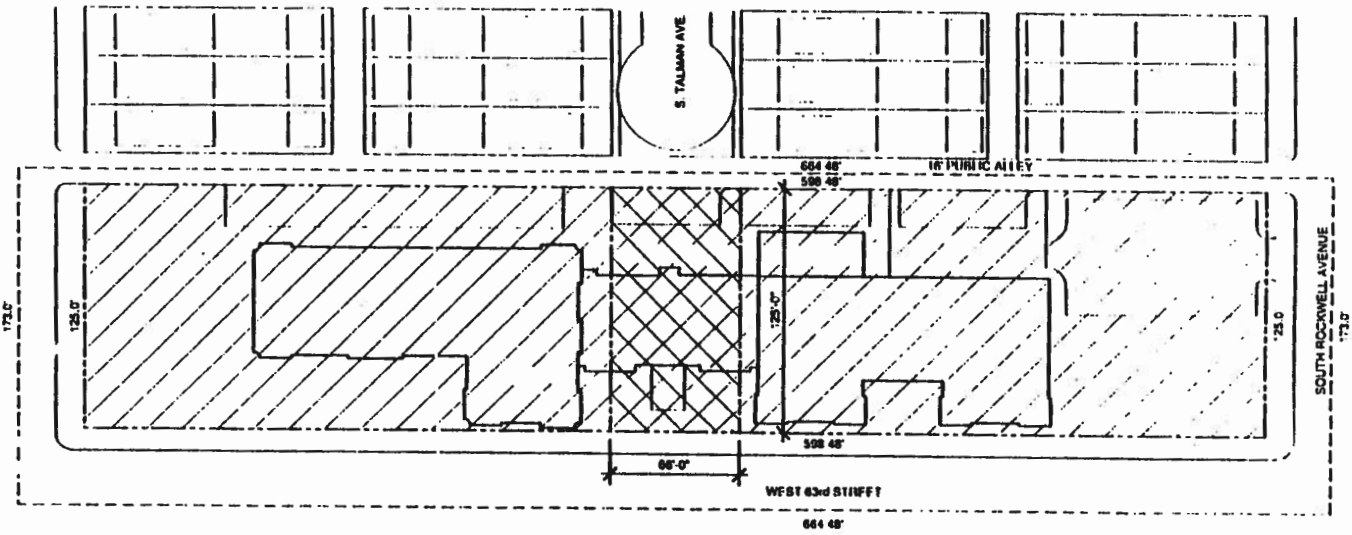
Planned Development Property Line
And Boundary Map.




-  SITE
-  PROPERTY LINE
-  PLANNED DEVELOPMENT BOUNDARY

CHURCHVIEW III 2626 WEST 63RD STREET, CHICAGO, IL. 60629 WILLIAM WORN ■ ARCHITECTURE, P.C. <small>401 WEST SUPERIOR STREET CHICAGO ILLINOIS 60610 PHONE 312/6675507 FAX 312/6675109</small>	APPLICANT: GREATER SOUTH WEST DEVELOPMENT CORP.	DATE: 9.13.01	DRAWING: PLANNED DEVELOPMENT PROPERTY LINE AND BOUNDARY MAP <small>©1 2001 BY WILLIAM WORN ARCHITECTURE, P.C. 2001</small>
		SCALE: 1" = 75'	

Planned Development Property Line And
Right-Of-Way Adjustment Map.



 SITE

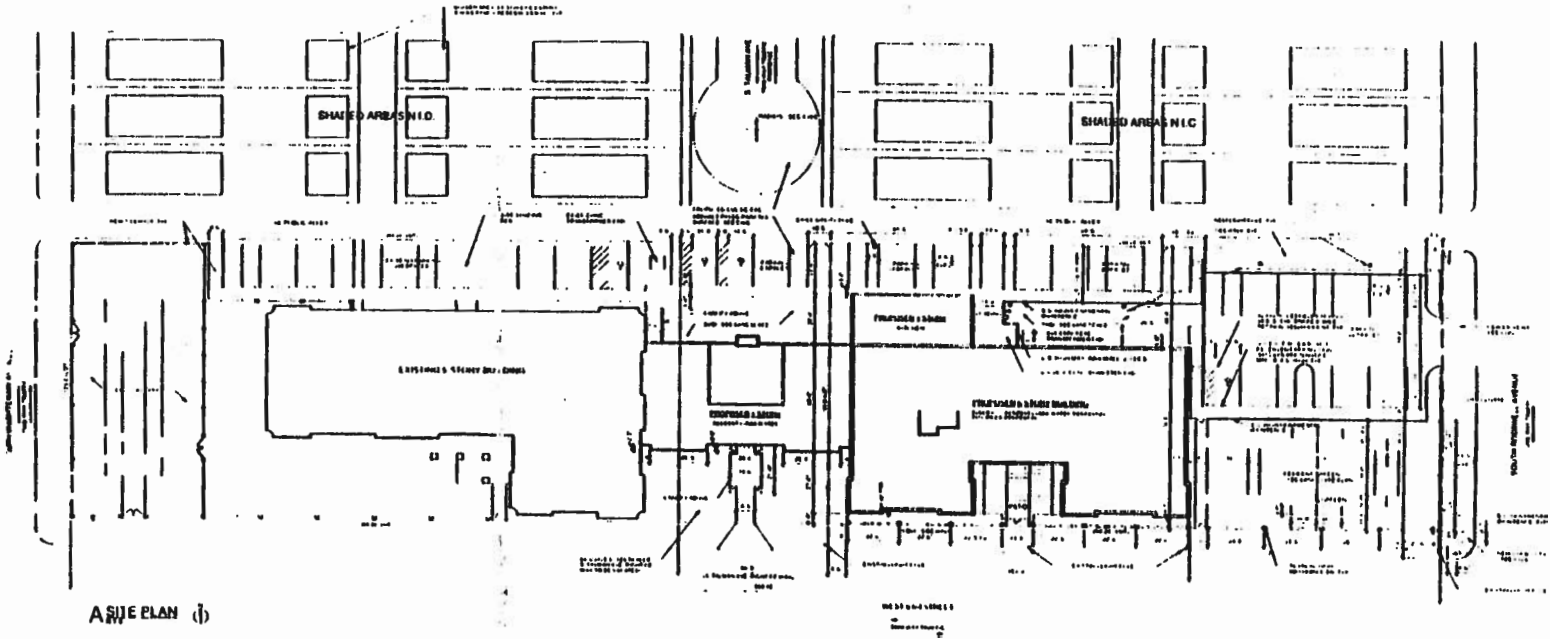
 S. TALMAN AVE. RIGHT OF WAY VACATION

 PROPERTY LINE

 PLANNED DEVELOPMENT BOUNDARY

CHURCHVIEW III 2626 WEST 63RD STREET, CHICAGO, IL. 60629 WILLIAM WORN ■ ARCHITECTURE, P.C. <small>101 WEST SYNDICATE STREET CHICAGO ILLINOIS 60601 PHONE (312) 727-5507 FAX (312) 647-0109</small>	APPLICANT GREATER SOUTH WEST DEVELOPMENT CORP	DATE: 9/11/01	DRAWING PLANNED DEVELOPMENT PROPERTY LINE AND RIGHT OF WAY ADJUSTMENT MAP
		SCALE: 1" = 75'	<small>© 2001 WILLIAM WORN ARCHITECTURE, P.C.</small>

Site Plan.



AS PER PLAN (j)

APPLICANT: CHURCHVIEW III DEVELOPMENT CORP.
DATE: 9/13/01

CHURCHVIEW III <small>200 N. LAUREL - CHICAGO, ILL. 60610</small>	WILLIAM WORN ■ ARCHITECTURE, P.C.	<small>PROJECT NO. 01-001-001 SHEET NO. 1 OF 1 DATE: 9/13/01</small>	<small>98278</small>	A-2
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401 WEST SUPERIOR ST. CHICAGO, ILLINOIS 60610
PHONE 312 642 5687 FAX 312 647 4189

Landscape Plan.

THOMAS WINDHAM II & PARTNERS LTD.
 Landscape Architects
 1100 North Dearborn Street, Suite 200
 Chicago, Illinois 60610
 Phone: (312) 329-1100
 Fax: (312) 329-1101
 E-mail: thomas@twi.com

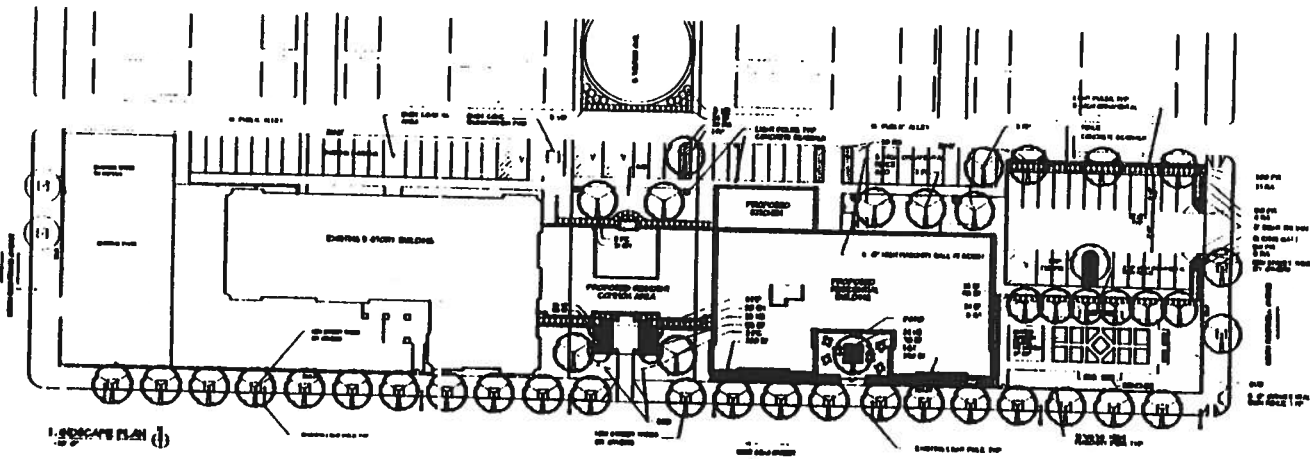
WILLIAM W. WELLS
 ARCHITECT
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 Chicago, Illinois 60610
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 Fax: (312) 329-1101
 E-mail: william@www.com

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LANDSCAPE PLAN

SCALE: 1" = 10'-0"

DATE: 9/20/01



1. DECIDUOUS TREE PLANTING - SMALL SIZE
 1/2" = 1'-0"

DECIDUOUS TREES SHOULD BE PLANTED AT A DISTANCE OF 10 FEET FROM THE CURB OR SIDEWALK. ALL TREES SHOULD BE PLANTED AT A DISTANCE OF 10 FEET FROM THE CURB OR SIDEWALK. ALL TREES SHOULD BE PLANTED AT A DISTANCE OF 10 FEET FROM THE CURB OR SIDEWALK.

THE TREE SHALL HAVE AN UNBROKEN TRUNK TO A HEIGHT OF 10 FEET. THE TREE SHALL HAVE A SPREAD OF 10 FEET. THE TREE SHALL HAVE A SPREAD OF 10 FEET. THE TREE SHALL HAVE A SPREAD OF 10 FEET.

2. SMALL PERENNIAL AND GROUNDCOVER PLANTING
 1/2" = 1'-0"

SMALL PERENNIALS AND GROUNDCOVERS SHOULD BE PLANTED AT A DISTANCE OF 10 FEET FROM THE CURB OR SIDEWALK. ALL PERENNIALS AND GROUNDCOVERS SHOULD BE PLANTED AT A DISTANCE OF 10 FEET FROM THE CURB OR SIDEWALK.

PLANTS SHALL BE PLANTED AT A DISTANCE OF 10 FEET FROM THE CURB OR SIDEWALK. ALL PERENNIALS AND GROUNDCOVERS SHOULD BE PLANTED AT A DISTANCE OF 10 FEET FROM THE CURB OR SIDEWALK.

PLANT LIST

NO.	PLANT NAME	PLANT TYPE	PLANT SIZE	PLANT QUANTITY	PLANT SPECIES	PLANT NOTES
01	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB
02	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB
03	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB
04	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB
05	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB
06	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB
07	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB
08	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB
09	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB
10	SMALL PERENNIAL AND GROUNDCOVER	PERENNIAL	1'-0" TO 2'-0"	100	SPREADER	PLANTED AT 10' FROM CURB

APPLICANT: GREATER SOUTHWEST DEVELOPMENT CORP.
 DATE: 9/20/01

10/3/2001

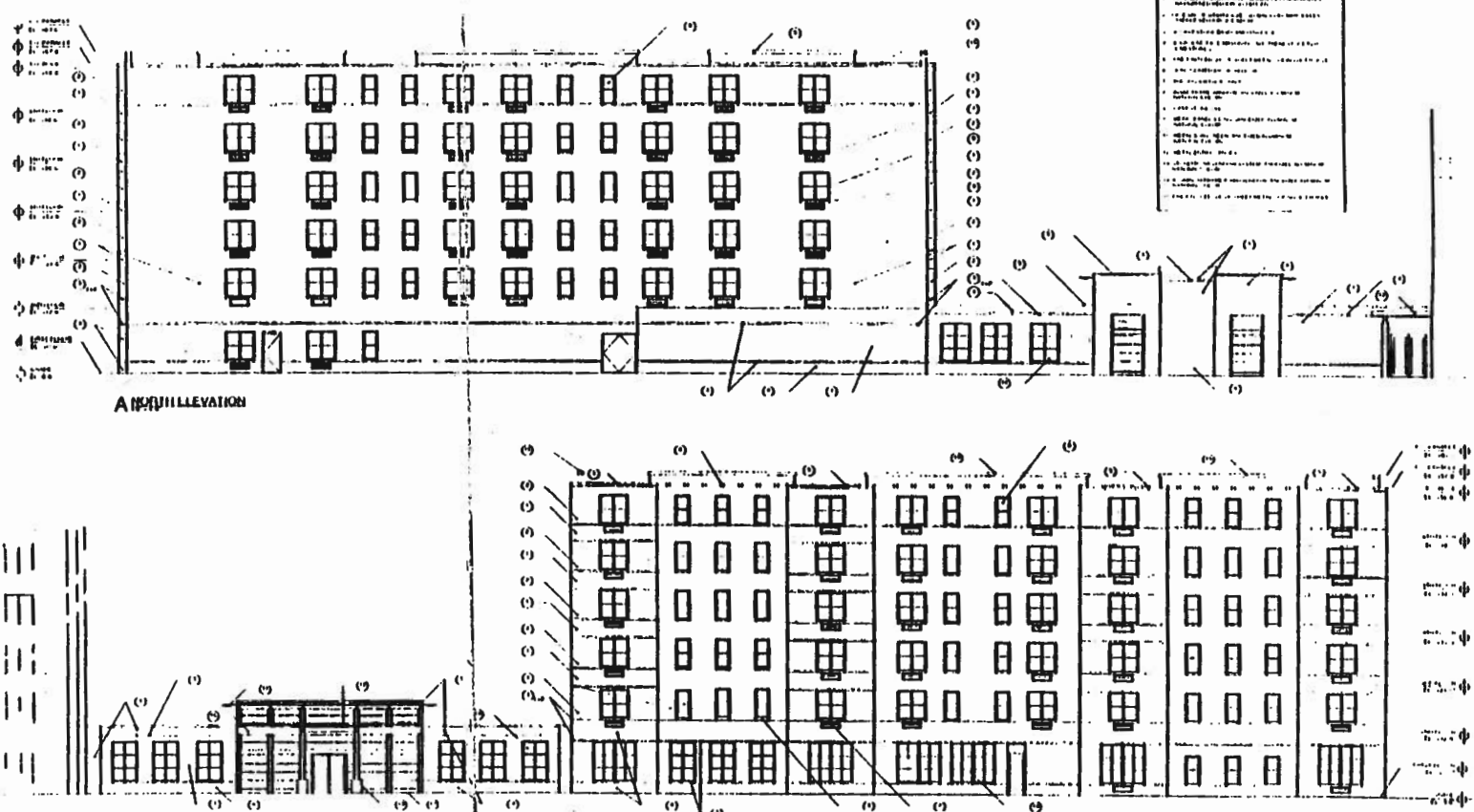
REPORTS OF COMMITTEES

68861

North/South Building Elevations.

SYMBOLS AND LEGEND

- 1. FINISHES: EXTERIOR WALLS: TERRAZZO
- 2. FINISHES: INTERIOR WALLS: PLASTER
- 3. FINISHES: FLOORS: POLISHED CONCRETE
- 4. FINISHES: CEILING: PLASTER
- 5. FINISHES: ROOF: BURR
- 6. FINISHES: STAIRS: TERRAZZO
- 7. FINISHES: ELEVATOR SHAFTS: PLASTER
- 8. FINISHES: MECHANICAL ROOMS: PLASTER
- 9. FINISHES: RESTROOMS: PLASTER
- 10. FINISHES: OFFICE: PLASTER
- 11. FINISHES: CONFERENCE ROOMS: PLASTER
- 12. FINISHES: BREAK ROOMS: PLASTER
- 13. FINISHES: STORAGE: PLASTER
- 14. FINISHES: LOBBY: PLASTER
- 15. FINISHES: CORRIDORS: PLASTER
- 16. FINISHES: ENTRANCE: PLASTER
- 17. FINISHES: EXTERIOR STAIRS: TERRAZZO
- 18. FINISHES: EXTERIOR WALLS: TERRAZZO
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- 49. FINISHES: EXTERIOR WALLS: TERRAZZO
- 50. FINISHES: EXTERIOR WALLS: TERRAZZO



A NORTH ELEVATION

B SOUTH ELEVATION

CHURCHVIEW III

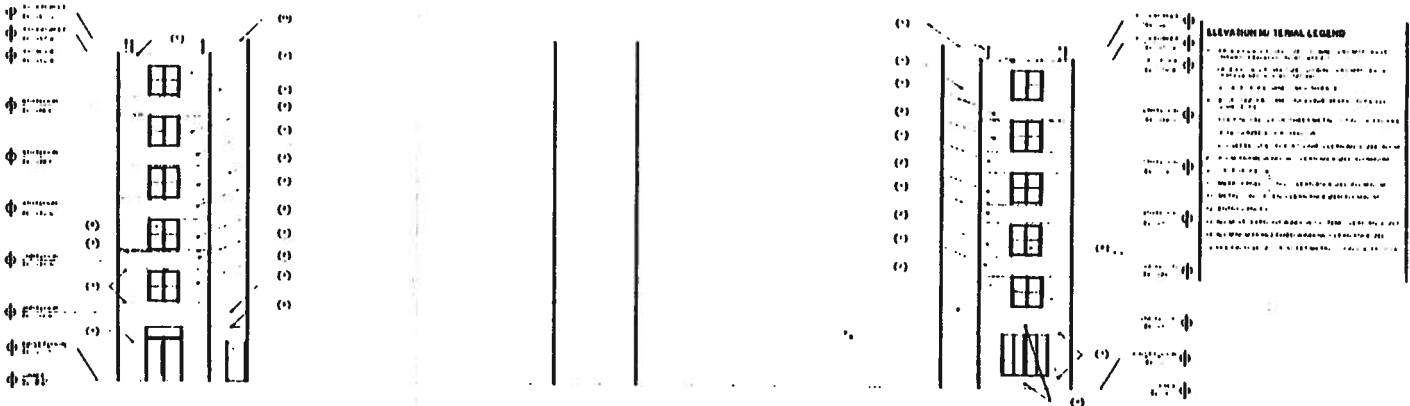
WILLIAM WORN ARCHITECTURE, P.C.

401 WEST SUPERIOR #211 CHICAGO, ILLINOIS 60610
PHONE 312 647 5587 FAX 312 647 4189

APPLICANT: GREATER SOUTHWESTERN VETERANS COMMUNITY CENTER
DATE: 9/13/01

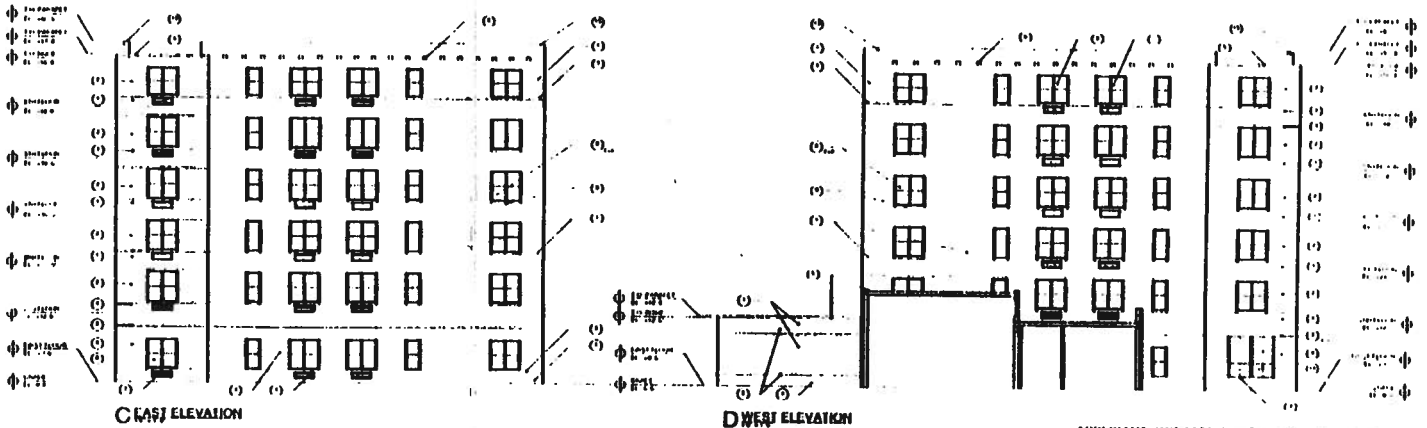
Project Number	98278
Sheet	A-11
Date	9/13/01

East/West Building Elevations.



A WEST COURTYARD ELEVATION

B EAST COURTYARD ELEVATION



C WEST ELEVATION

D WEST ELEVATION

APPLICANT: GREATER SOUTHWESTERN DEVELOPMENT CORP.
DATE: 9/13/01

CHURCHVIEW III

WILLIAM WORN ■ ARCHITECTURE, P.C.

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PHONE 312 642 5587 FAX 312 642 4188

A-12