

PD 796

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**DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO**

August 20, 2025

VIA EMAIL

Steve D. Friedland
Applegate & Thomsen
425 S. Financial Place
Chicago, Illinois 60605

Re: Site Plan Approval for Commercial Waterway Planned Development No. 796

Dear Mr. Friedland:

Please be advised that your request for site plan approval for Commercial Waterway Planned Development No. 796 ("PD 796"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0800 of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development.

The City of Chicago Department of Planning and Development ("DPD") has reviewed the site plan request for approval submitted for the project identified above. The applicant proposes to demolish the approximately 9,654 square foot "out lot" building at the corner of Lincoln Avenue and McCormick Road and replace it with 43 additional vehicle parking spaces, the parking spaces would be additional accessory parking stalls serving the current planned development and are being added in conjunction with an interior build out of existing space to accommodate a grocery store.

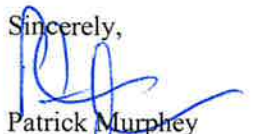
The request for site plan approval includes the following four (4) exhibits:

- Existing Landscape Ordinance Review
- Landscape Plan (Overall)
- Landscape Plan (Enlargement)
- Planting Schedule, Notes & Details

Upon review of the material submitted, the Department of Planning and Development has determined that the material submitted is consistent with and satisfies the requirements of Commercial Waterway Planned Development No. 796, as amended. Additionally, the Site Plan has been approved by the Chicago Department of Transportation (CDOT), the Chicago Fire Department (CFD), the Mayor's Office for People with Disabilities (MOPD), and Stormwater from the Department of Buildings. Accordingly, this Site Plan submittal for Commercial Waterway Planned Development No. 796 is hereby approved.

If you have any questions or concerns, please contact Omar Smailbegovic at omar.smailbegovic@cityofchicago.org.

Sincerely,



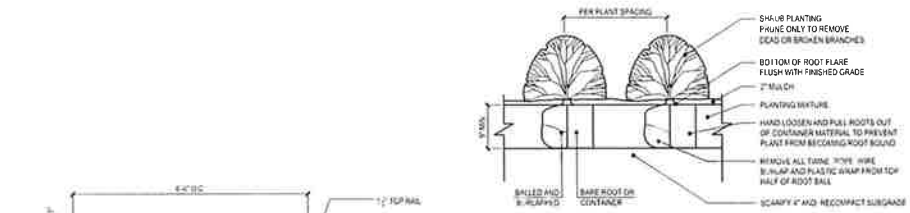
Patrick Murphey
Zoning Administrator

cc: Main File, Mike Marmo, Stephen Nutt, Janice Hill, Teresa Mc Laughlin

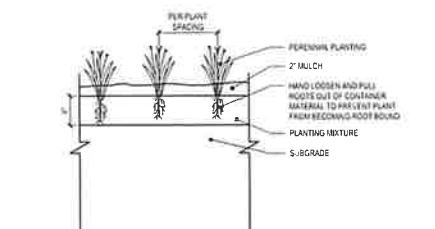
121 NORTH LASALLE STREET, ROOM 1101, CHICAGO ILLINOIS 60602

LANDSCAPE NOTES:

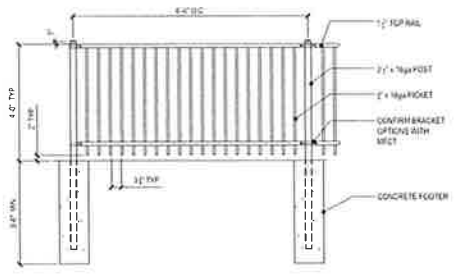
- SEE SHEET LP-101 FOR LANDSCAPE PLAN, ORDINANCE, REVIEW DATA TABLE & SWORN STATEMENTS
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR HIS PORTION OF WORK
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE GRAPHIC SYMBOL'S DIMENSIONS ON THE PLAN SHALL Dictate
- NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT ID AT NURSERY OR CONTRACTOR'S OPERATIONS PRIOR TO MOVING TO JOB SITE. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE BY LANDSCAPE ARCHITECT
- LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS HE SHE RECEIVES THAT SURVIVE PLANTING OPERATIONS
- ALL PLANTS SHALL MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK 1990 EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN
- ALL PLANT MATERIAL AND SEEDS SHALL BE PROVIDED FROM A NURSERY WITHIN 200 MILES WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT W/ CONSTRUCTION OPERATIONS AND AS DIRECTED BY LANDSCAPE ARCHITECT
- FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATIONS SHALL BE MARKED WITH A WOOD STAKE PLACING THE MARK IN A LINE WITH THE TREE. ALL GRASS, TOPSOIL AND PLANTING BED LINES SHALL BE MARKED WITH HIGH VISIBLE PAINT LINES W/ OCCASIONAL WOOD STAKES FOR REFERENCE. ALL STAKES SHALL BE REMOVED FOLLOWING PLANTING OPERATIONS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT LOCATIONS ON SITE
- IRRIGATION SYSTEM PROVIDE AN ALTERNATIVE COST FOR A LANDSCAPE IRRIGATION SYSTEM PROVIDE A BACKFLOW PREVENTER PER LOCAL CODE. PROVIDE A 7" MIN. ROLLER LAWN ZONE TO BE COVERED BY SUNNY HEADS OR ROTARY HEADS. ALL SHRUBS BEGS ARE TO BE IRRIGATED WITH Drip IRRIGATION
- CONTRACTOR SHALL CALCULATE A RETAINMENT FOR 2" BELOW THE FINISH GRADE
- ALL SEEDS & SOO AREAS SHALL RECEIVE A MINIMUM OF 4" DEPTH OF TOPSOIL
- ALL PLANTING BEDS SHALL RECEIVE 4" DEPTH OF FINE RED SOIL
- MULCH SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND SHALL BE UNIFORM IN TEXTURE AND COLOR AND SHALL BE OBTAINED FROM SAME SOURCE OR LAMBERING OPERATION. NO UTILITY MULCH OR PROCESSED TREE TRIMMING MULCH WILL BE ALLOWED
- ALL SHRUB PLANTING AREA SHALL BE COVERED WITH 3" LAYER OF SHREDED HARDWOOD BARK MULCH
- ALL SHRUB COVER BEGS SHALL BE COVERED WITH 2" LAYER OF SHREDED HARDWOOD BARK MULCH
- ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 90 DAYS MIN. FOLLOWING COMPLETE INSTALLATION AND FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, MOWING AND MOWING AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF LAWNS AND PLANTINGS. CONTRACTOR TO SUBMIT UNIT PRICES ON EVENT TYPE OF WORK AS REQUIRED BY LANDSCAPE ARCHITECT
- ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL, FERTILIZER, DEAD OR DAMAGED BY THE LANDSCAPE CONTRACTOR SHALL ALSO BE GUARANTEED FOR 1 YEAR
- AN APPROVED FIRE EMERGENCY HELP GUIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY



SHRUB PLANTING
SCALE: 1" = 1'-0"

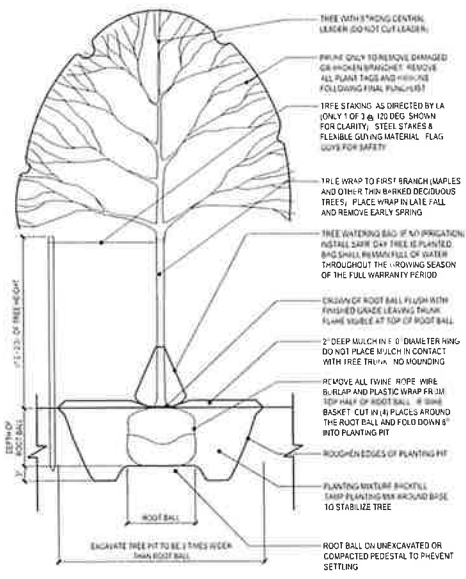


PERENNIAL PLANTING
SCALE: 1" = 1'-0"

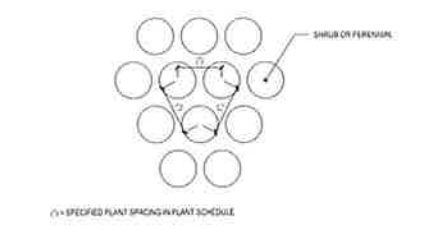


NOTE:
1. ORNAMENTAL FENCE SHALL BE POWDERCOAT ALUMINUM MATERIALS (COLOR BLACK)
2. ORNAMENTAL FENCE FINISH OF DESIGNATED AREAS PLUS MAINTENANCE PROVIDED BY AMERISTAR FENCE
3. CONFORM POST SIZES AND SPACING WITH WHAT YOU PURCHASE

ORNAMENTAL FENCE
SCALE: 1/2" = 1'-0"



TREE PLANTING
SCALE: 1/2" = 1'-0"



SWORN STATEMENT BY OWNER:

COMMITTS TO THE MAINTENANCE OF THE REQUIRED LANDSCAPING IN THE FOLLOWING FORM

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPING PLANTING ON THE ATTACHED LANDSCAPE PLANS FOR THE PROPERTY AT 6163 N. LINCOLN AVENUE, CHICAGO, ILLINOIS HAS TO BE THE BEST OF THE UNDERSIGNED APPLICANTS KNOWLEDGE. BEEN DESIGNATED AND WILL BE INSTALLED, MAINTAINED AND REPLACED AS REQUIRED BY EQUIPMENT AND SUBSEQUENT CLIMATE IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10 CHAPTER 12 OF THE CHICAGO MUNICIPAL CODE. THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

SWORN STATEMENT BY REGISTERED LANDSCAPE ARCHITECT:

COMMITTS TO THE PREPARATION OF THE LANDSCAPE PLAN IN THE FOLLOWING FORM

THE UNDERSIGNED LANDSCAPE ARCHITECT REGISTERED IN THE STATE OF ILLINOIS ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND THE CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLANS FOR THE PROPERTY AT 6163 N. LINCOLN AVENUE, CHICAGO, ILLINOIS, HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10 CHAPTER 12 OF THE CHICAGO MUNICIPAL CODE. THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE AND THE GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.

[Signature]

REV.	COMMENT	DATE

SEAL:

[Signature]
DATE: 06/02/2025

JOB NO.: 25-777Q
DRAWN BY: JR
CHECKED BY: TS

DRAWING TITLE:
PLANTING SCHEDULE,
NOTES & DETAILS

SHEET NO.:
LP-201



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

November 12, 2024

Scott R. Borstein
Neal & Leroy
20 S. Clark St., Suite 2050
Chicago, IL 60603

Re: PD 796, Site Plan Approval for bank expansion at 6131 N. Lincoln Ave.

Dear Mr. Borstein:

Please be advised that your request for site plan approval to Commercial Waterway Planned Development No. 796 ("PD 796") has been considered by the Department of Planning and Development pursuant to Section 17-13-0802 of the Chicago Zoning Ordinance and Statement Number 13 of PD 796.

JP Morgan Chase Bank will be occupying the former Fifth Third branch at 6131 N. Lincoln Ave. and plans to expand the facility and reduce the number of drive-through lanes from four to three. The proposed addition will measure approximately 1,268 SF in floor area, and will be constructed of masonry, glass and metal consistent with the existing facility. Four parking spaces will be eliminated, however, the minimum requirement of 459 spaces is still being provided.

We have reviewed the drawings and exhibits you submitted. The attached Site Plan, Landscape Plan and Elevations are in accordance with and satisfy the requirements of PD 796. Additionally, the proposed addition has been reviewed and approved by CDOT, Sustainability, Bureau of Fire Prevention, Dept. of Water Management and MOPD. Accordingly, this site plan approval is hereby approved.

Sincerely,



Patrick Murphey
Zoning Administrator

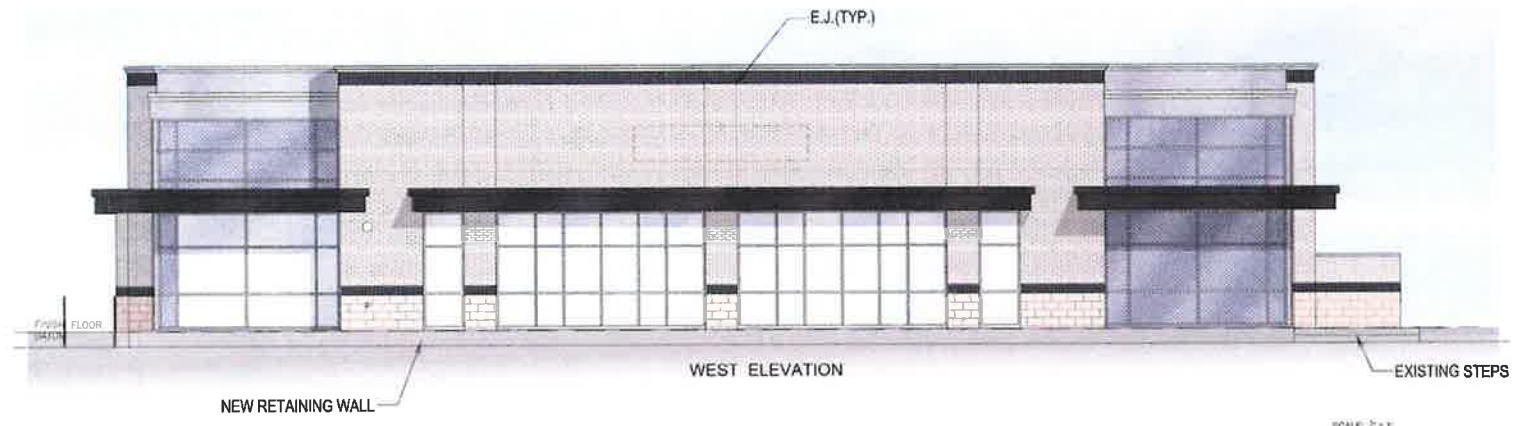
PM:tm

C: Mike Marmo, Janice Hill, Noah Szafraniec, Main file



 STORE FRONT COLOR: CLEAR ANODIZED ALUMINUM	 METAL CANOPY COLOR: SILVERSMITH	 LIMESTONE COLOR: MATCH EXISTING
 COPING CAP COLOR: CLEAR ANODIZED ALUMINUM	 BLACK MASONRY COLOR: MATCH EXISTING	 LIGHT BRICK COLOR: MATCH EXISTING
 CLEAR GLASS		

NOTE:
 • NEW CLEAR ANODIZED STOREFRONT PROPOSED THROUGHOUT BUILDING.
 • RE-SKIN EXISTING CANOPIES WITH BLACK ACM.



SCALE: 1/4" = 1'



NO.	REVISION	DATE

PROJECT INFORMATION BLOCK	
DATE:	10/17/18
DESIGNED BY:	WJ/JL
CHECKED BY:	WJ/JL
SCALE:	AS SHOWN

EXTERIOR ELEVATIONS

1-2018-10-18

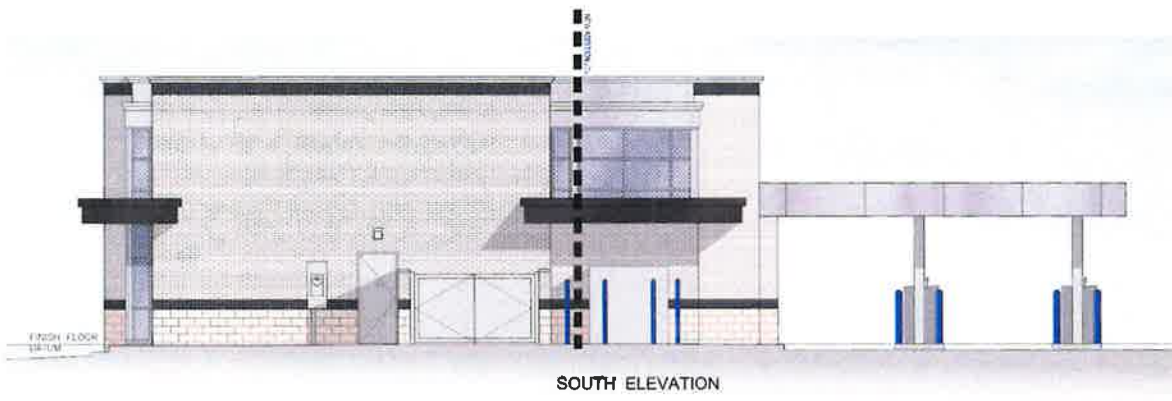
REV.	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	DATE	2/15/21
DRAWN BY:	BLK	
CHECKED BY:	AJ/D	
DATE PLOTTED		


EXTERIOR ELEVATIONS

SHEET NUMBER

A2.2

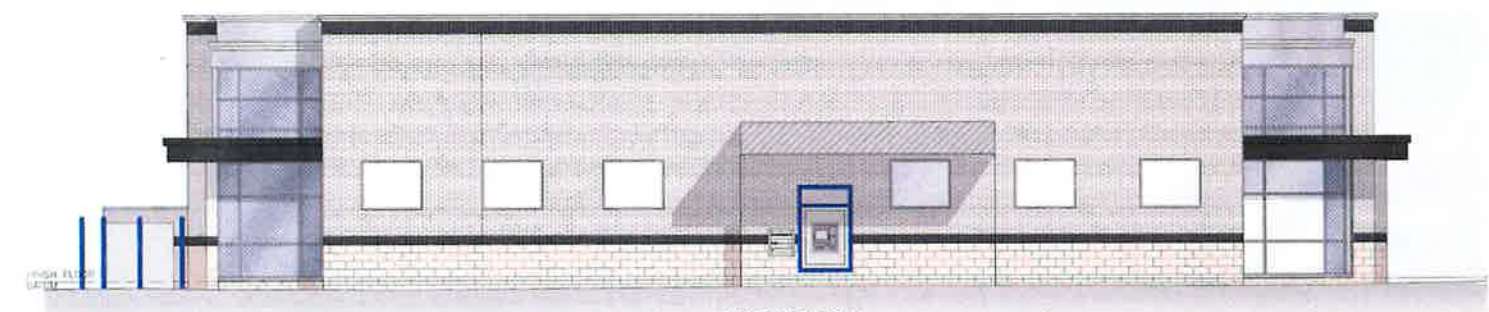


SOUTH ELEVATION

 STORE FRONT COLOR: CLEAR ANODIZED ALUMINUM	 METAL CANOPY COLOR: SILVERSMITH	 LIMESTONE COLOR: MATCH EXISTING
 COPING CAP COLOR: CLEAR ANODIZED ALUMINUM	 BLACK MASONRY COLOR: MATCH EXISTING	 LIGHT BRICK COLOR: MATCH EXISTING

CLEAR GLASS

NOTE:
 • NEW CLEAR ANODIZED STOREFRONT PROPOSED THROUGHOUT BUILDING.
 • RE-SKIN EXISTING CANOPIES WITH BLACK ACM.



EAST ELEVATION





DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

June 10, 2022

Steven D. Friedland
Applegate & Thorne-Thomsen
425 S. Financial Place, Suite 1900
Chicago, IL 60605

Re: Minor Change to PD 796, Lincoln Village Shopping Center Maximum Sign Area

Dear Mr. Friedland:

Please be advised that your request for a minor change to Commercial Residential Waterway Planned Development No. 796 ("PD 796") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 796.

TCB-Lincoln Village, LLC, the property owner, is seeking a minor change to memorialize the maximum total sign area allowed within PD 796 for the Lincoln Village Shopping Center. Lincoln Village Shopping Center is a 10+ acre parcel fronting on two streets with over 1,500 feet of frontage. In addition, the property has approximately 3,310 square feet of existing signage and has had well over 4,000 square feet of total sign area since the mall opened in the 1950s, making it a nonconforming development in terms of allowed sign area. The owners are proposing additional signage for a new tenant, Fresh Start, and for other potential tenants in existing vacant tenant spaces. This would result in a total sign area of approximately 5,000 square feet, as shown on the attached exhibit. That would be equal to a maximum total sign area of roughly three times the street frontage of the property.

Regarding your request, the Department of Planning and Development has determined that allowing the proposed maximum total sign area increase will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 796, I hereby approve the foregoing minor change and establish the maximum total sign area allowed for PD 796 at 5,000 square feet.

Since this is an existing condition, the typical 12-month validation limit for a minor change does not apply. No further action is required to memorialize this minor change as part of PD 796. However, all new signs will require the issuance of a sign permit prior to installation.

Sincerely,

Steven Valenziano
Assistant Zoning Administrator

C: Noah Szafraniec, Main file

LINCOLN VILLAGE SIGNAGE					
Tenant Name	Area (SF)	% of GLA		Signage per Photos	NOTES
Help At Home	2,850	2.0%	No Sign	0	Second floor tenant
Fresh Street (Proposed)	10,822	7.7%	Proposed signage	294	
Sally Beauty Company	2,280	1.6%	SF per Doyle	39	
Famous Footwear	8,362	6.0%	SF per Doyle	91	
The UPS Store	2,773	2.0%	SF per Doyle	74	
American Nails Spa	2,500	1.8%	SF per Doyle	58	
TJ Maxx	21,000	15.0%	SF per Doyle	346	
America's Best Contacts #5497	3,761	2.7%	SF per Doyle	52	
Five Below - Store # 07004	11,810	8.4%	SF per Doyle	325	
Ross Dress for Less	35,348	25.3%	SF per Doyle	518	
ATI Physical Therapy	4,032	2.9%	SF per Doyle	335	
Fifth Third Bank	4,600	3.3%	SF per Doyle	221	
Panera Bread	4,651	3.3%	SF per Doyle	276	
NorthShore University Health System	2,400	1.7%	SF per Doyle	229	
Starbucks	1,875	1.3%	SF per Doyle	109	
Total Lesased SF	119,064	85.1%	Total Tenant Sign SF	2,966	
Vacant2006-04	955	0.7%	Proposed	32	Second floor tenant
Vacant2006-05	505	0.4%	Proposed	32	Second floor tenant
Vacant2006-06	300	0.2%	Proposed	32	Second floor tenant
Vacant2006-12	2,753	2.0%	Proposed	90	Same size as UPS Store
Vacant2006-15B	2,876	2.1%	Proposed	100	Slightly larger than UPS Store
Vacant2006-19	3,909	2.8%	Proposed	200	Similar sized space to ATI and America's Best Contacts - asking for average of those two tenants' existing signage
Vacant200601	9,607	6.9%	Proposed - space could be subdivided into three spaces of 3,200 sf each.	800	Could subdivide space into 3 spaces totaling 3,200 psf and most tenants will want signage on side of Lincoln Avenue and interior facing. The proposed 800 sf assumes 200 sf per tenant
Total Vacant SF	20,905	14.9%	Anticipated Future Signage Needs	1286	
Total Building SF	139,969	100.0%	Total Tenant Signage	4,252	
Shopping Center Pylon Sign	n/a	n/a		452	
Shopping Center Multi-tenant Wall Sign	n/a	n/a		175	
Shopping Center Directional Sign	n/a	n/a		11	
	n/a	n/a	Total Other Sign SF	638	
			Total Sign SF	4,890	
SUMMARY					
Current Signage In Place			Tenant & Street Existing	3,310	
Requested for Fresh Street			Permit Application	294	
Requested for Rest of Center			Projected to Lease Remainder of Center	1,286	
Projected Total Upon Full Occupancy				4,890	Requested Signage SF for Total Center

Reclassification Of Area Shown On Map No. 15-J.
 (As Amended)
 (Application No. 20851)
 (Common Address: 6111 -- 6199 N. Lincoln Ave.
 And 6231 -- 6257 N. McCormick Blvd.)

CRWPD 796, AA

[SO2021-4546]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Commercial/Residential/Waterway Planned Development Number 796 symbols and indications as shown on Map Number 15-J in the area bounded by:

North Lincoln Avenue; North McCormick Boulevard; a line 877 feet south of and parallel to West Devon Avenue; and the north channel of the Chicago River,

to those of Commercial/Residential/Waterway Planned Development Number 796, as amended, which is hereby established in the area described above and subject to such use and bulk regulations set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance takes effect after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Commercial/Residential/Waterway Planned Development No. 796, As Amended.

Planned Development Statements.

1. The area delineated herein as Commercial/Residential/Waterway Planned Development Number 796 ("Planned Development") consists of approximately 448,909 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the Applicant, TCB-Lincoln Village LLC, a Delaware limited liability company, and TCB-LV GL LLC, a Delaware limited liability company.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and

any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.

3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement

shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This plan of development consists of 17 Statements; a Bulk Regulations Table; and the following maps attached to the Planned Development, as published in the *Journal of the Proceedings of the City Council of the City of Chicago* on October 10, 2001 at page numbers 68806 -- 68816 -- Existing Zoning Map, Boundary and Property Line Map, Existing Land-Use Map, Concept "NNN" Site Plan, Landscape Plan, Building Elevations (1 of 3), Building Elevations (2 of 3), Building Elevations (3 of 3), Site Plan, Independent Elderly Housing Building Elevations (page 1 of 2) and Independent Elderly Housing Building Elevations (page 2 of 2), incorporated by reference. Full-size copies of these materials are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.
5. The following uses are permitted in the area delineated herein as Commercial/Residential/Waterway Planned Development Number 796: residential units for seniors; day care; postal service; animal services (excluding sheltering/boarding/kenneling/stabling); artist work or sales space; business equipment sales and service; business support services (excluding day labor employment agency); communication services establishments; construction sales and service (building material sales); drive-through facility (only with site plan approval) restaurant (limited, general); outdoor patio (if located at grade level); entertainment and spectator sports (indoor special event including incidental liquor sales, and small venues (1 -- 149 occupancy); financial services (bank, savings bank, savings and loan association, currency exchange, and credit union, automated teller machine facility-walk-up only (drive-up facilities only with site plan approval)); food and beverage retail sales (liquor store (packaged goods) use is only permitted for premises of 10,000 square feet or greater); medical service; office (electronic data storage center); parking, non-accessory; personal service (hair salon, nail salon, or barbershop, massage establishment); repair or laundry service, consumer (dry cleaning drop-off or pick-up (no on-premise plant), coin-operated laundromat); retail sales, general; sports and recreation indoor (restricted to physical fitness centers); valuable objects dealer;

vehicle sales and service (auto supply/accessory sales and indoor vehicle showroom); manufacturing, production and industrial services (limited (catering)); wireless communication facilities (co-located); accessory parking and accessory uses.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 448,909 square feet and a base FAR of 0.6.
9. Upon review and determination, Part II review, pursuant to Section 17-13-0610, a Part II review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. Prior to the Part II approval (per Section 17-13-0610 of the Zoning Ordinance) for any new buildings in the Planned Development or any use requiring site plan approval in

accordance with Section 5, the Applicant shall submit a site plan, landscape plan and building elevations for the specific building or use for review and approval by the Department of Housing and Economic Development. Review and approval by the Department of Housing and Economic Development is intended to assure that specific development components substantially conform with the Planned Development and to assist the City in monitoring ongoing development. Site Plan Approval Submittals need only include that portion of the Property for which approval is being sought by the Applicant. If the Applicant is seeking approval for a portion of the Property that represents less than an entire subarea, the Applicant shall also include a site plan for that area of the Property which is bounded on all sides by either public rights-of-way or the boundary of the nearest subarea. The site plan provided shall include all dimensioned and planned street rights-of-way.

No Part II approval for any portion of the Property shall be granted until Site Plan approval has been granted. If the Site Plan Approval Submittals substantially conform to the provisions of the Planned Development, the Department of Housing and Economic Development shall approve the submittal in a prompt and timely manner. Following approval by the Department of Housing and Economic Development, the approved Site Plan Approval Submittals, supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the Planned Development.

After approval of the Site Plan, changes or modifications may be made pursuant to the provisions of Statement, to be determined. In the event of any inconsistency between approved plans and the terms of the Planned Development, the terms of the Planned Development shall govern. Any Site Plan Approval Submittals shall, at a minimum, provide the following information:

- fully-dimensioned site plan (including a footprint of the proposed improvements);
- fully-dimensioned building elevations;
- fully-dimensioned landscape plan(s); and
- statistical information applicable to the subject subarea, including floor area, the applicable FAR, uses to be established, building heights and setbacks.

Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the Planned Development.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the

Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

15. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. For any new construction in the Planned Development, the Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
16. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the

Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

17. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to Commercial/Residential/Waterway Planned Development Number 796.

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Commercial/Residential/Waterway Planned Development No. 796, As Amended.

Bulk Regulations And Data Table.

Gross Site Area:	511,559 square feet (11.74 acres)
Area Remaining in Public Right-of-Way:	62,650 square feet (1.43 acres)
Net Site Area:	448,909 square feet (10.3 acres)
Maximum Floor Area Ratio:	0.6
Maximum Number of Dwelling Units:	109 Dwelling Units
Minimum Off-Street Loading Spaces:	1 -- retail; 1 -- residential
Minimum Number of Off-Street Parking Spaces:	421 -- retail; 38 -- residential
Minimum Required Setbacks:	In accordance with Site Plan
Maximum Building Heights:	In accordance with the Building Elevations

October 26, 2021

Steven D. Friedland
Applegate & Thorne-Thomsen
425 S. Financial Place
Suite 1900
Chicago, IL 60605

**Re: Minor Change to PD No. 796
Lincoln Village Shopping Center**

Dear Mr. Friedland:

This letter is in response to your recent request on behalf of your client, Newport Capital Partners, seeking a minor change to allow Orangetheory Fitness (“Orangetheory”) to operate a physical fitness center within the Lincoln Village Shopping Center located at 6165 N. Lincoln Avenue. Your client has also submitted an amendment to Planned Development No. 796 (“PD 796”) to modify Statement No. 5 to explicitly refer to certain non-retail uses as permitted uses. The amendment application includes consent from the Metropolitan Water Reclamation District of Greater Chicago, who also owns property within PD 796. The minor change will allow Orangetheory to sign a lease and begin operation, while the amendment goes through the approval process.

Statement 5 of PD 796 states the following use are permitted: residential units for seniors, all retail uses in the B5-2 General Services District, accessory parking, and related uses. However, several non-retail uses, such as a fitness center, have operated within the shopping center prior to and after the establishment of the PD. Based on the foregoing, it is the opinion of this office that the minor change to reestablish a fitness center at the subject site should be granted pending approval of the PD amendment.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 796, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter or until passage of the PD amendment described above, whichever occurs first. If action to implement the minor change including construction and licensing does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Steven Valenziano
Assistant Zoning Administrator

C: Mike Marmo, Erik Glass, Noah Szafraniec, Janice Hill, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

September 8, 2020

Jordan Whitted
Inform Studio
235 E. Main St., Suite 102B
Northville, MI 48167


Re: PD No. 796, 6165 N. Lincoln Ave.

Dear Mr. Whitted:

In response to your recent request, please be advised that the subject property is currently zoned Commercial-Residential-Waterway Planned Development No. 796 ("PD 796"). Your client, DaVita Inc., is seeking clarification that an outpatient hemodialysis clinic is a permitted use at this location.

Pursuant to the definition in Section 17-17-0104-T of the Zoning Ordinance ("Ordinance"), an outpatient hemodialysis treatment clinic is defined as a medical service. Pursuant to Statement No. 5 of PD 796, the following uses are permitted: residential units for seniors, all retail uses contained in a B5-2 General Services District, accessory parking and related uses. This PD Ordinance was approved in 2001 and in 2004, the B5-2 District was converted to the B3-2 District. Pursuant to Section 17-3-0207-JJ of the Ordinance, medical service is not a retail use and therefore, it is not permitted at the subject site. An amendment to the Planned Development is required in order to add a new use.

Sincerely,


Patrick Murphey
Zoning Administrator
Bureau of Zoning

C: Janice Hill, Main file



December 29, 2003

City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Alicia Mazur Berg
Commissioner

121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)

<http://www.cityofchicago.org>

Mr. Richard P. Mann
Mann Gin Dubin & Frazier, Ltd.
104 South Michigan Avenue
Suite 200
Chicago, IL 60603

RE: Request for minor changes to Commercial-Residential-
Waterway Planned Development No. 796 (Lincoln Village
Senior Housing)

Dear Mr. Mann:

Please be advised that your request for minor changes to
Commercial-Residential-Waterway Planned Development No. 796,
on behalf of Perlmark, has been considered by the Department of
Planning and Development pursuant to Section 11.11-3(c) of Chicago
Zoning Ordinance and Statement No.12 of the Planned Development.

Specifically, you indicated that the plans for the proposed senior
housing building have been modified resulting in a reduction in the
number of units from 109 to 102 and a reduction in the number of
floors from 8 to 7. The revised plans also eliminate the garage parking
area in the southern portion of the building and the placement of
active ground level uses and a ground level outdoor patio area in
place of the parking. To accommodate these modifications, you have
requested the following:

1. A reduction in the number of parking spaces from 38 to 35;
2. The placement of a 16 space parking lot at the north end of the
building with appropriate landscaping; and
3. The substitution of the approved Building Elevations and Site/
Landscape Plans with revised Elevations dated October 21, 2003,
and a revised Site/Landscape Plan dated December 28, 2003.

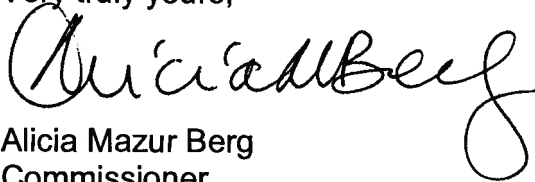
The Department has reviewed the request and has determined that
the proposed modifications would be appropriate. At the request of
the Department, you have made other modifications to the Plans
including the provision of additional landscaping and a pedestrian
walkway, and additional architectural detailing along the eastern



facade of the building.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, I hereby approve the requested minor changes, but no other changes, to this Planned Development.

Very truly yours,

A handwritten signature in black ink that reads "Alicia Mazur Berg". The signature is written in a cursive style with a large, looping initial "A" and a long, sweeping tail on the "g".

Alicia Mazur Berg
Commissioner

CC: Jack Swenson, Philip Levin, Michael Marmo, Ed Kus, Don Hohenadel

Reclassification Of Area Shown On Map Number 15-J.
(As Amended)
(Application Number 13330)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B5-2 General Service District symbols and indications as shown on Map Number 15-J in the area bounded by:

North Lincoln Avenue; North McCormick Boulevard; a line 877 feet south of and parallel to West Devon Avenue; and the North Shore Channel of the Chicago River,

to the designation of a Commercial/Residential/Waterway Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Commercial/Residential/Waterway Planned Development Number 796

Plan Of Development Statements.

1. The area delineated herein as a commercial/residential/waterway planned development consists of approximately four hundred forty-eight thousand nine hundred nine (448,909) square feet (ten and thirty hundredths (10.30) acres) and is owned or controlled by the applicant, B.G.P. Lincoln Village, L.L.C., an Illinois limited liability company.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors,

assignees, or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the property shall be ~~under single ownership or under single designated control~~ at the time any applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the property or any property owners association which may be formed to succeed the applicant, and any ground lessors.
4. This plan of development consists of fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary and Property Line Map; an Existing Land-Use Map; a Site Plan, Landscape Plan and Building Elevations for retail center dated September 13, 2001 prepared by Stewart Nosky Architects, Ltd., along with a Site Plan and Elevations for the senior housing building dated September 13, 2001 prepared by Mann, Gin, Dubin & Frazier, Ltd. Full sized sets of the Site/Landscape Plan and Building Elevations are on file with the Department of Planning and Development. The Planned Development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area delineated herein as "Commercial/Residential/Waterway Planned Development": residential units for seniors, all retail uses contained in a B5-2 General Services District, accessory parking and related uses.
6. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Planning and Development. Upon approval of the Department of Planning, pylon shall be permitted at the locations depicted on the Site Plan.
7. Any service drives or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress

for motor vehicles, including emergency vehicles. Ingress and egress shall be subject to the review and approval of the Department of Transportation, and the Department of Planning and Development. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Department of Transportation.

8. In addition to the maximum height of any building or any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of floor area ratio (F.A.R.) calculations, the definitions in the Chicago Zoning Ordinance shall apply.
10. The improvements on the property shall be designed, installed and maintained in substantial conformance with the Site/Landscape Plan and Building Elevations, and in accordance with the parkway and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
11. The applicant acknowledges the importance of the Chicago River as a resource for both commerce and recreation and also acknowledges the City's goals of improving the appearance, quality and accessibility of the river, as provided in the waterway planned development guidelines contained in the Chicago Zoning Ordinance (Section 11.11-3(1)). To further these goals, the applicant agrees to set back all buildings and parking areas as per the approved site plan. The publicly accessible portion of this setback area shall be developed jointly between the applicant and the Park District with an all-weather-surface bike path, benches, lighting, and decorative landscaping, and shall be open and available for use by the general public, free of charge, during normal Chicago Park District hours. Public access shall be provided through the property as depicted on the Site Plan. No gates impeding public access shall be installed.
12. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning

Ordinance. Notwithstanding the provisions of subclauses (4) and (5) of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes may include a reduction in periphery setbacks or an increase in the maximum percent of land coverage.

13. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and ~~maximizes the conservation of energy resources~~. The applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this planned development in an energy efficient manner, generally consistent with most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities (M.O.P.D.) to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
15. Unless substantial construction has commenced within six (6) years following adoption of this planned development, then this planned development shall expire and the zoning of the property shall automatically revert to the pre-existing B5-2 General Service District classification.

[Existing Zoning Map; Boundary and Property Line Map; Existing Land-Use Map; Concept "NNN" -- Site Plan; Landscape Plan; Building Elevation Drawings; Independent Elderly Housing Site/Landscape Plan; and Independent Elderly Housing Building Elevation Drawings referred to in these Plan of Development Statements printed on pages 68806 through 68816 of this Journal.]

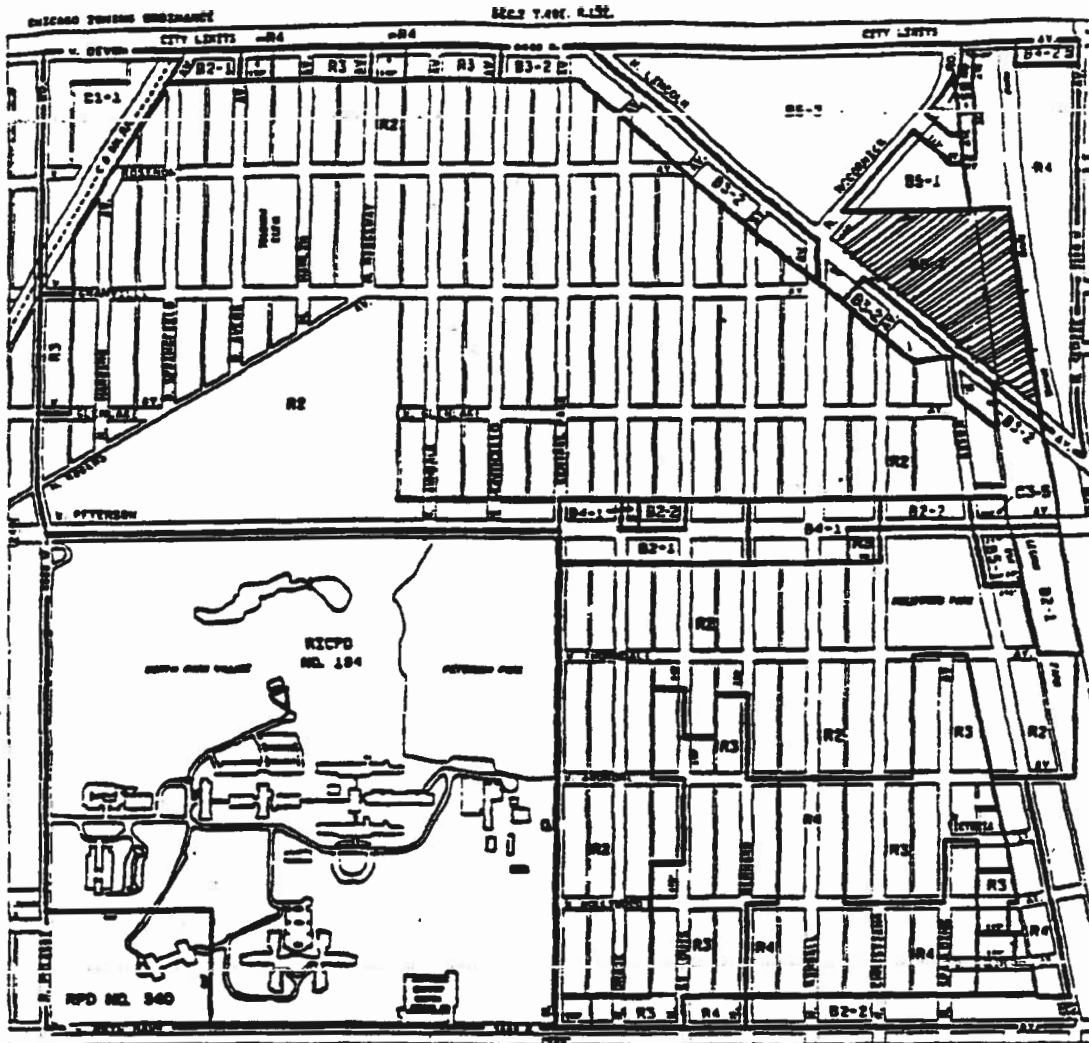
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Commercial/Residential/Waterway Plan Development Number 796

Bulk Regulations And Data Table.

Net Site Area	Maximum Floor Area Ratio	Maximum Percent Of Site Coverage
Net Site Area:		
448,909 square feet (10.3 acres)	0.6	In accordance with the Site Plan.
Gross Site Area:		
511,559 square feet (11.74 acres)		
Right-of-Way Area:		
62,650 square feet (1.43 acres)		
Maximum Number of Dwelling Units:	109.	
Minimum Off-Street Loading Spaces:	1 -- Retail.	
	1 -- Residential.	
Minimum Off-Street Parking Spaces:	431 -- Retail.	
	38 -- Residential.	
Minimum Required Setbacks:	In accordance with the Site Plan.	
Maximum Building Heights:	In accordance with the Building Elevations.	

Existing Zoning Map.



- RESIDENCE DISTRICTS**
- R1 SINGLE-FAMILY RESIDENCE DISTRICT
 - R2 SINGLE-FAMILY RESIDENCE DISTRICT
 - R3 GENERAL RESIDENCE DISTRICT
 - R4 GENERAL RESIDENCE DISTRICT
 - R5 GENERAL RESIDENCE DISTRICT
 - R6 GENERAL RESIDENCE DISTRICT
 - R7 GENERAL RESIDENCE DISTRICT
 - R8 GENERAL RESIDENCE DISTRICT

- BUSINESS DISTRICTS**
- B1-1 TO B1-5 LOCAL RETAIL DISTRICTS
 - B2-1 TO B2-5 RESTRICTED RETAIL DISTRICTS
 - B3-1 TO B3-5 GENERAL RETAIL DISTRICTS
 - B4-1 TO B4-5 RESTRICTED SERVICE DISTRICTS
 - B5-1 TO B5-5 GENERAL SERVICE DISTRICTS
 - B6-5 AND B6-7 RESTRICTED CENTRAL BUSINESS DISTRICTS
 - B7-5 TO B7-7 GENERAL CENTRAL BUSINESS DISTRICTS

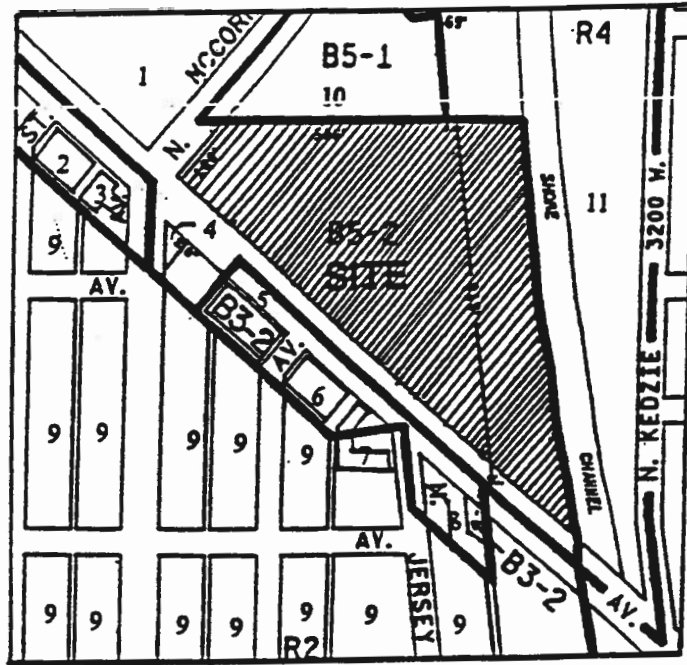
- COMMERCIAL DISTRICTS**
- C1-1 TO C1-5 RESTRICTED COMMERCIAL DISTRICTS
 - C2-1 TO C2-5 GENERAL COMMERCIAL DISTRICTS
 - C3-5 TO C3-7 COMMERCIAL-MANUFACTURING DISTRICTS
 - C4 MOTOR FREIGHT TERMINAL DISTRICT

- MANUFACTURING DISTRICTS**
- M1-1 TO M1-5 RESTRICTED MANUFACTURING DISTRICTS
 - M2-1 TO M2-5 GENERAL MANUFACTURING DISTRICTS
 - M3-1 TO M3-5 HEAVY MANUFACTURING DISTRICT

FOR USE AND BULK REGULATIONS, RESIDENCE DISTRICTS, SEE ARTICLE 7
 FOR USE AND BULK REGULATIONS, BUSINESS DISTRICTS, SEE ARTICLE 8
 FOR USE AND BULK REGULATIONS, COMMERCIAL DISTRICTS, SEE ARTICLE 9
 FOR USE AND BULK REGULATIONS, MANUFACTURING DISTRICTS, SEE ARTICLE 10



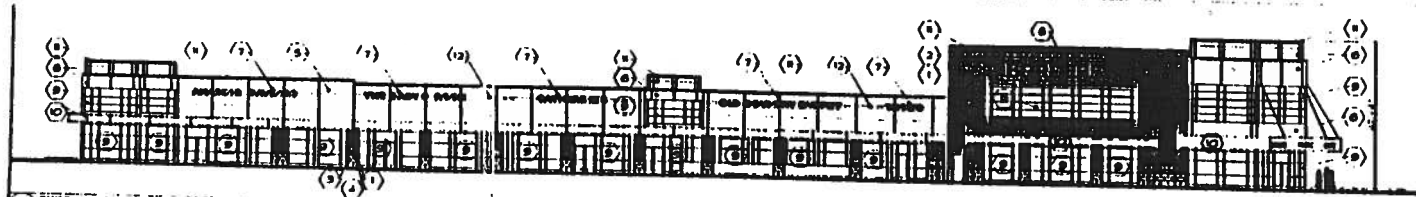
Existing Land-Use Map.



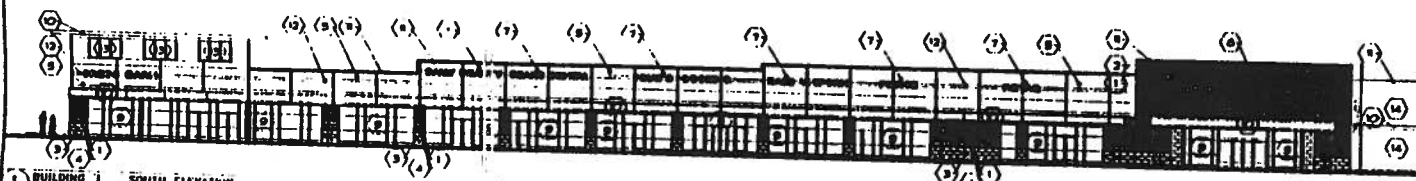
KEY

- 1. Existing Shopping Center - Super K-Mart
- 2. Existing Commercial - Retail
- 3. Existing Commercial - Tire Center
- 4. Existing Commercial - Retail
- 5. Existing Commercial - Retail/Restaurant
- 6. Existing Motel
- 7. Existing Motel
- 8. Existing Motel
- 9. Single Family Residential
- 10. Existing Shopping Center
- 11. United States Army Reserve Center

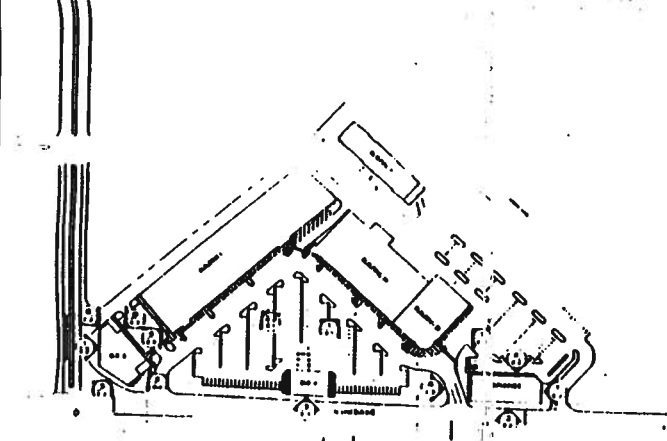
Building Elevations.
(Page 1 of 3)



BUILDINGS 2A & 2B WEST ELEVATION
Date: 9/27/01

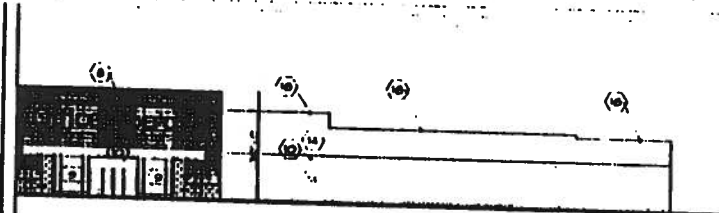


BUILDING 1 SOUTH ELEVATION
Date: 9/27/01



SITE KEY PLAN
Date: 9/27/01

Applicant: IN.P.I. Inc./A. Valdez, LLC
Address: 8901 51st NW, Suite 400, Ave
Chicago, Illinois, 60630
Date: May 2, 2001
Revised Date: September 11, 2001



BUILDING 1 NORTH ELEVATION (Continued)
Date: 9/27/01

- 1. FACE BRICK - VS RUNNING BOND
- 2. FACE BRICK - SOLD BR COURSE
- 3. CAST STONE (24" x 12" x 4" RUNNING BOND) - TYPE A
- 4. CAST STONE (18" x 12" x 4" ROM-LOCK) - TYPE B
- 5. PREFINISHED METAL PANELS - COLOR WHITE
- 6. PREFINISHED METAL PANEL - COLOR GRAY
- 7. INDIVIDUAL LETTER BACKLIT SIGN MOUNT DIRECTLY TO CONTIGUOUS RACEWAY
- 8. CONTIGUOUS LETTER BACKLIT SIGN MOUNT DIRECTLY TO RACEWAY
- 9. PREFINISHED ALUMINUM STOREFRONT WITH INS. FLOAT GLASS
- 10. PREFINISHED METAL CANOPY FASCIA - COLOR GRAY
- 11. PREFINISHED METAL PARAPET CAP - COLOR GRAY
- 12. CONTIGUOUS RECESSED AREA FOR SIGNAGE RACEWAY
- 13. EXISTING WINDOW TO REMAIN
- 14. PAINT EXISTING MASONRY TO MATCH COLOR WITH METAL PANELS
- 15. BOLTED ALUMINUM PANELS TO PREFINISHED STOREFRONT
- 16. EXISTING PARAPET CAPPING

IN.P.I. Inc./A. Valdez, LLC
 8901 51st NW, Suite 400, Ave
 Chicago, Illinois, 60630
 May 2, 2001
 September 11, 2001

SINOLI VALDEZ
 ARCHITECTS
 2145 N. WILSON ST. SUITE 100
 CHICAGO, ILLINOIS 60647

1

Building Elevations.
(Page 2 of 3)

BUILDING 5 NORTHWEST ELEVATION
Scale 1/8" = 1'-0"

BUILDING 5 SOUTHWEST ELEVATION
Scale 1/8" = 1'-0"

BUILDING 5 NORTH ELEVATION
Scale 1/8" = 1'-0"

BUILDING 5 SOUTH ELEVATION
Scale 1/8" = 1'-0"

BUILDING 5 NORTHEAST ELEVATION
Scale 1/8" = 1'-0"

BUILDING 5 NORTHWEST ELEVATION
Scale 1/8" = 1'-0"

BUILDING 5 EAST ELEVATION
Scale 1/8" = 1'-0"

LEGEND:

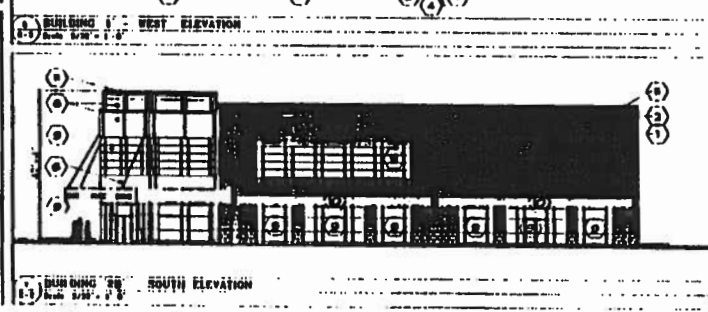
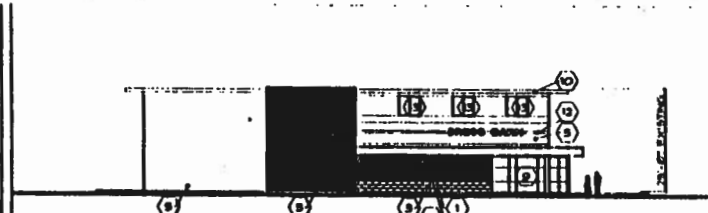
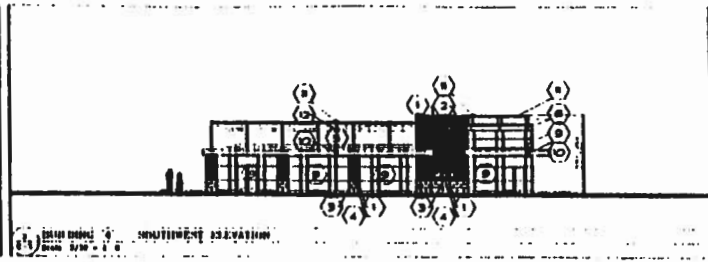
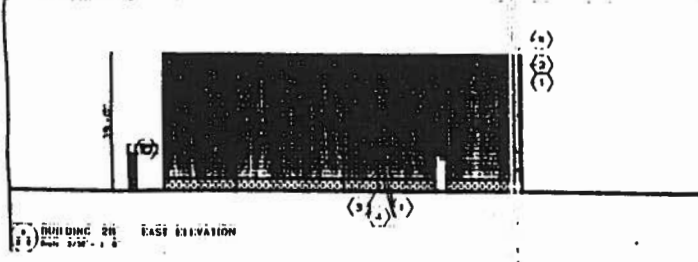
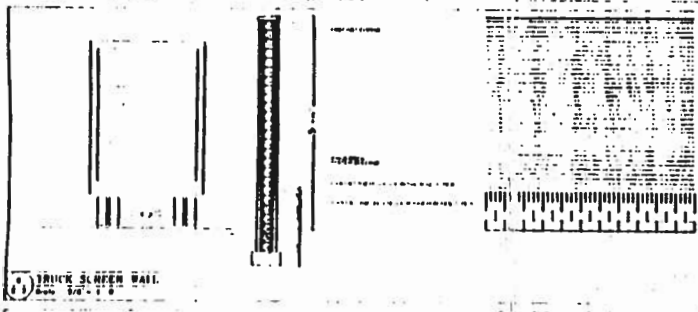
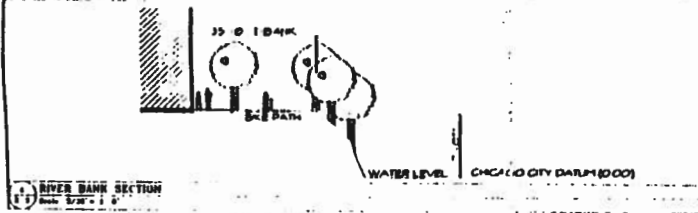
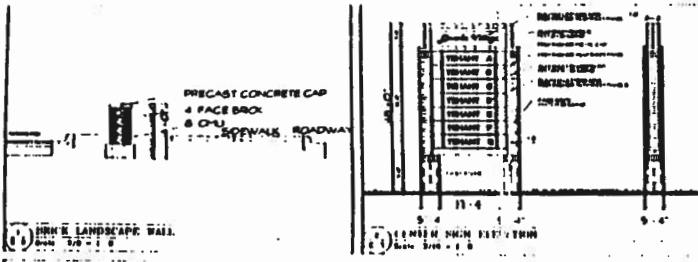
- 1. FACE BRICK - VS RUNNING BOND - 489078
- 2. FACE BRICK - SOLDIER COURSE
- 3. CAST STONE (24" x 12" x 4" RUNNING BOND) - TYPE A
- 4. CAST STONE (8" x 4" x 4" ROWLOCK) - TYPE B
- 5. PREFINISHED METAL PANELS - COLOR WHITE
- 6. PREFINISHED METAL PANEL - COLOR GRAY
- 7. INDIVIDUAL LETTER BACKLIT SIGN MOUNT DIRECTLY TO CONTINUOUS RACEWAY
- 8. INDIVIDUAL LETTER BACKLIT SIGN MOUNT DIRECTLY TO MASONRY
- 9. PREFINISHED ALUMINUM STOREFRONT WITH 1/4" FLOAT GLASS TOP-WEED GLASS AS REQUIRED
- 10. PREFINISHED METAL CANOPY FASCIA - COLOR GRAY
- 11. PREFINISHED METAL PARAPET CAP - COLOR GRAY
- 12. CONTINUOUS RECESSED AREA FOR SIGNAGE RACEWAY
- 13. EXISTING WINDOW TO REMAIN
- 14. PAINT EXISTING MASONRY MATCH COLOR WITH METAL PANELS
- 15. BOLTED ALUMINUM PANELS IN PREFINISHED STOREFRONT
- 16. EXISTING PARAPET COPING

SNOLAVETE
 ARCHITECTS
 300 N. LAUREL ST. CHICAGO, IL 60610
 TEL: 312.467.1111
 FAX: 312.467.1112
 WWW: www.snolavete.com

Applicant: NIP 1, Inc. dba Village 111
 Address: 6001 61st St. 11111
 City: Chicago, Illinois 60630
 Date: May 2, 2001
 Revised Date: September 11, 2001

Building Elevations.
(Page 3 of 3)

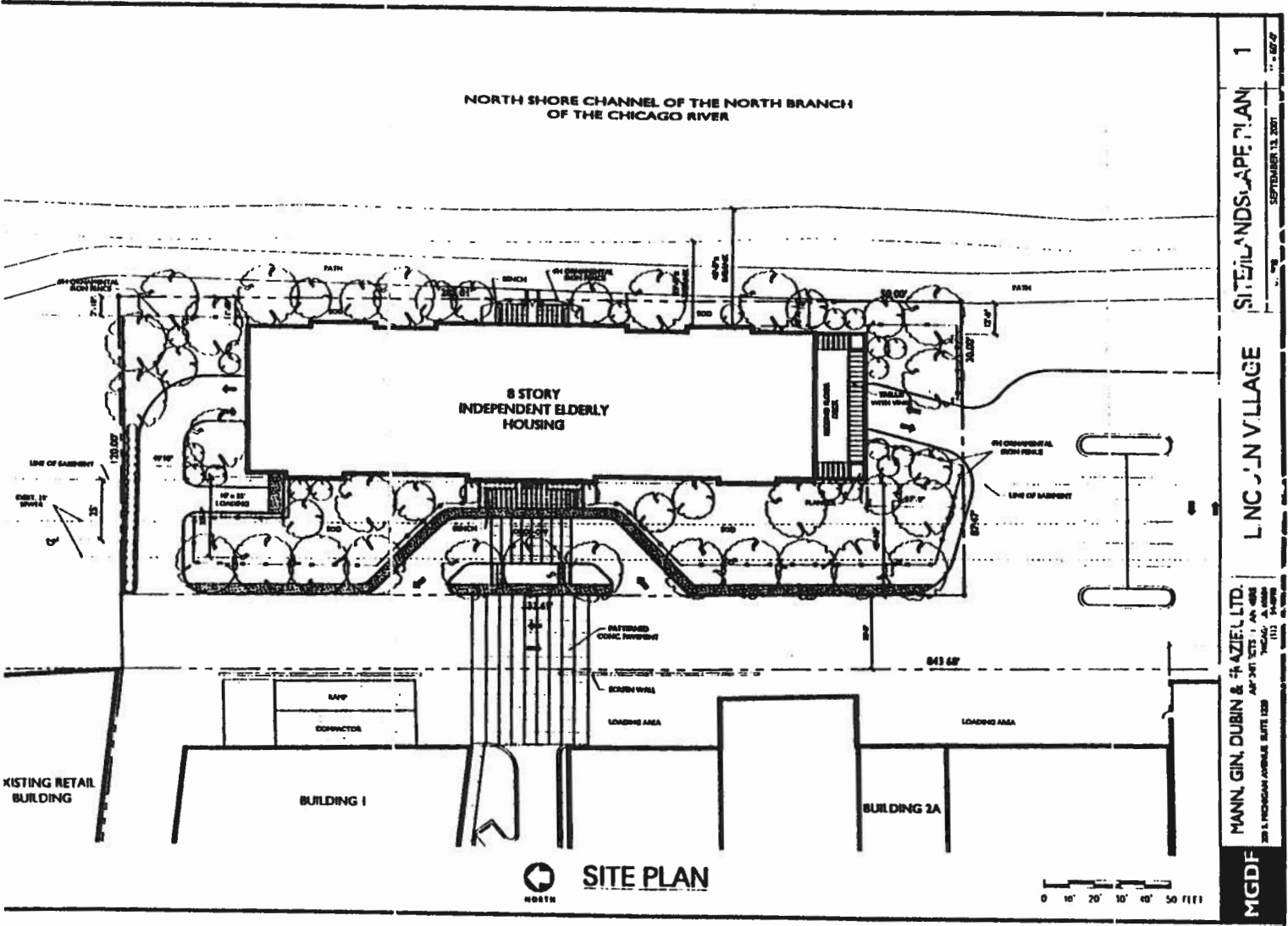
SNOLTA VET
 740 W. MOUNTAIN ST. CHICAGO, ILL. 60612
 (773) 327-1111
 WWW.SNOLTA.COM



- (1) FACE BRICK - VS RUNNING BOND
- (2) FACE BRICK - SOLDIER COURSE
- (3) CAST STONE (24" x 12" x 4" RUNNING BOND) - TYPE A
- (4) CAST STONE (14" x 4" x 4" ROWLOCK) - TYPE B
- (5) PREFINISHED METAL PANELS - COLOR WHITE
- (6) PREFINISHED METAL PANEL - COLOR GRAY
- (7) INDIVIDUAL LETTER BACKLIT SIGN MOUNT DIRECTLY TO CONTIGUOUS FACEWAY
- (8) PREFINISHED METAL CANOPY FASCIA - COLOR GRAY
- (9) PREFINISHED METAL PARAPET CAP - COLOR GRAY
- (10) CONTIGUOUS RECESSED AREA FOR SIGNAGE FACEWAY
- (11) EXISTING WINDOW TO REMAIN
- (12) PAINT EXISTING MASONRY MATCH COLOR WITH METAL PANELS
- (13) ROUTED ALUMINUM PANELS TO PREFINISHED STOREFRONT
- (14) EXISTING PARAPET CORNS
- (15) PREFINISHED ALUMINUM STOREFRONT WITH 1/4" FLOAT GLASS TEMPERED GLASS AS REQUIRED

Applicant: BHP 1 on Main Village, LLC
 Address: 6881 6179 N 1 on Main Ave
 Chicago, Illinois 60618
 Date: May 2, 2001
 Revised Date: September 13, 2001

Site Plan.



 **SITE PLAN**

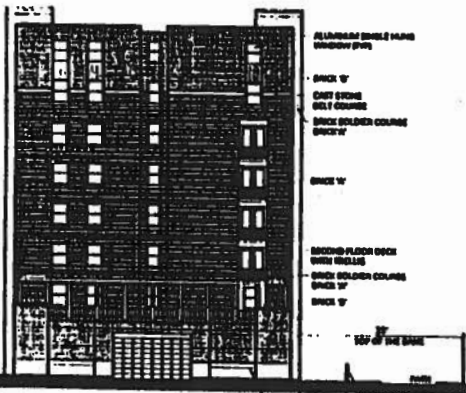
1 1111 S. WINDSPEAN SITE PLAN
 SEPTEMBER 11, 2001
 AS SHOWN
 MANN, GIN, DUBIN & HAZEL, LTD.
 620 LITTLE BEAVER AVENUE
 CHICAGO, ILL. 60611

Independent Elderly Housing
Building Elevations.
(Page 1 of 2)

2 BUILDING ELEVATIONS
SEPTILIA, NTCOMIT
MANN, NTCOMIT
MGDF



WEST ELEVATION
0 4' 8" 16' 32 FEET



SOUTH ELEVATION
0 4' 8" 16' 32 FEET

