



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 29, 2019

Matthew S. Kogut
rlps architects
250 Valleybrook Dr.
Lancaster PA 17601

Re: Minor change for PD No. 73, Smith Village, Johanson Health Center proposed addition and courtyard, 2320 W. 113th Place

Dear Mr. Kogut:

Please be advised that your request for a minor change to Institutional Planned Development No. 73, ("PD 73") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 15 of PD 73.

Your client and the owner of all of the property within PD 73, the Washington and Jane Smith Community, are renovating the existing Johanson Health Center skilled nursing facility located on the Smith Community Campus at 2320 W. 113th Pl. They are also proposing a new three story addition on the south side of the existing building which will include a physical therapy courtyard on the first floor. The addition will be setback 21.2' from Oakley Ave., in keeping with the existing building setbacks. The 927 square foot courtyard elevation at the perimeter wall will be 71.81', which is 1'-11½" below the mean back of curb elevation (73.77') along Oakley Ave. The courtyard will extend out from the east side of the new addition 17'-9½" toward Oakley Ave. and will be 52'-5" wide, the full width of the physical therapy gym. There will be a 3' landscape buffer between the east courtyard wall and the Oakley Ave. property line. To accommodate the addition, the existing trash enclosure will be relocated to the north side of the building. You are seeking a minor change to allow for the addition and modifications, as shown on the revised Site Plan, First Floor Plan, Exterior Elevations, and Building Sections & Details,

With regard to your request, the Department of Planning and Development has determined that allowing the proposed addition will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Since the patio pit is less than 2 feet below grade it is permitted, pursuant to Section 17-17-0306-C of the Zoning Ordinance. Additionally, the Department of Transportation approved the new curb cut location along S. Oakley Ave. which is required for the relocated trash enclosure.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 73, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



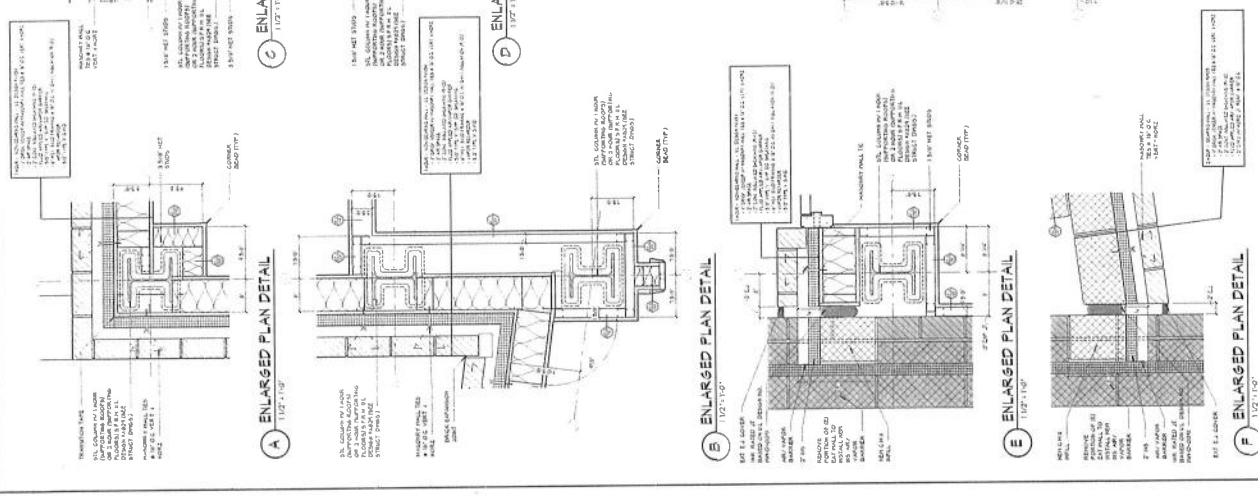
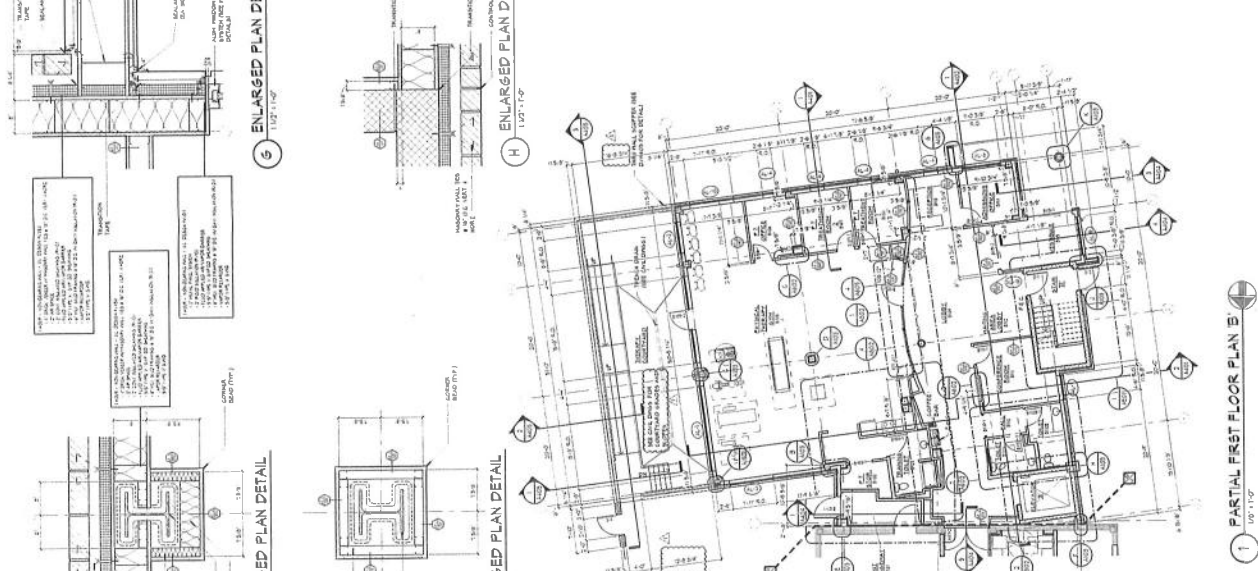
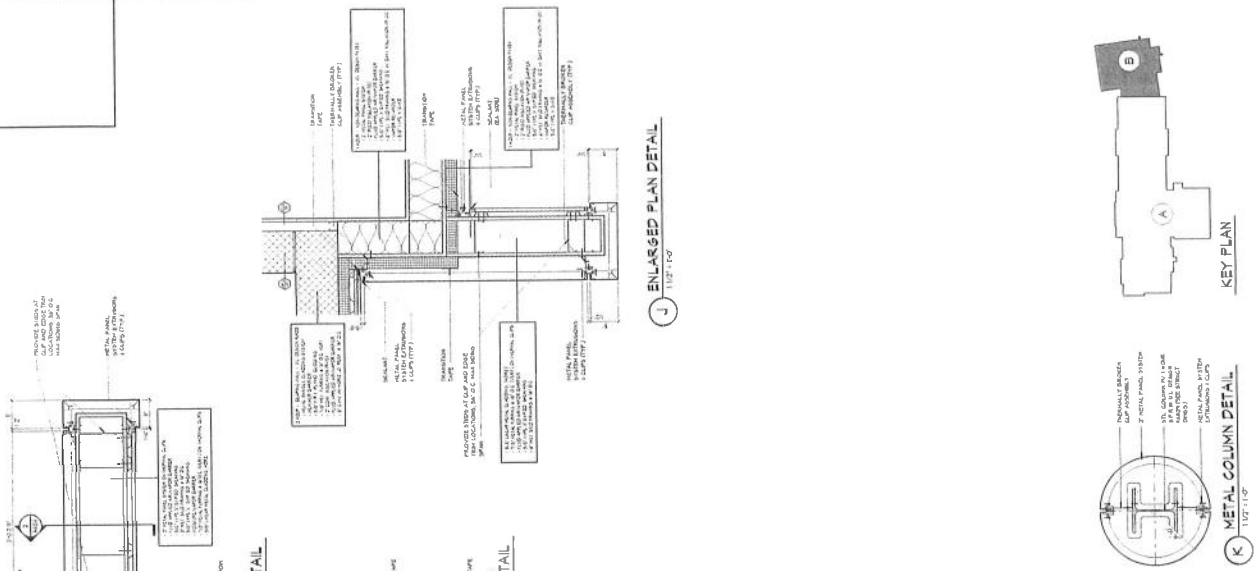
Patrick Murphey
Zoning Administrator

PM:tm

C: Mike Marmo, Erik Glass, Noah Szafraniec, Bill Higgins, Main file

JOHN KAMON ARCHITECTS 1000 W. 13TH AVENUE, SUITE 1000 DENVER, CO 80202 TEL: 303.733.1111 FAX: 303.733.1112 WWW.JKAMON.COM		SMITH SENIOR LIVING 1300 W. 13TH AVENUE, SUITE 1000 DENVER, CO 80202 TEL: 303.733.1111 FAX: 303.733.1112 WWW.SENIORLIVING.COM		rips architects 1300 W. 13TH AVENUE, SUITE 1000 DENVER, CO 80202 TEL: 303.733.1111 FAX: 303.733.1112 WWW.RIPSAARCHITECTS.COM	
DATE	DESCRIPTION	BY	CHECKED	SCALE	REGION
11/27/11	REVISED	JK	JK	1/8" = 1'-0"	AREA B
11/27/11	ISSUED	JK	JK	1/8" = 1'-0"	AREA B

A103
FIRST FLOOR PLAN - AREA B





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Sincerely,


Patrick Murphey
Zoning Administrator

PM:tm

C: Mike Marmo, Erik Glass, Noah Szafraniec, Bill Higgins, Main file

JOHNSON HEALTH CENTER
SMITH SENIOR WING
137TH PLACE, CHICAGO, ILLINOIS 60642
ARCHITECTURE + INTERIOR DESIGN
230 W. ALLEGRONCO DRIVE, CHICAGO, IL 60609
773.560.9501 FAX 773.560.2373 RFP# 17-03

rps architects

REVISIONS
NO. DATE REVISIONS
1 08/20/15
2 08/20/15
3 08/20/15
4 08/20/15
5 08/20/15
6 08/20/15
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16 08/20/15
17 08/20/15

A202 EXTERIOR ELEVATIONS
DATE: 08/20/15
SCALE: AS SHOWN

PROJECT: JOHNSON HEALTH CENTER
SMITH SENIOR WING
137TH PLACE, CHICAGO, ILLINOIS 60642

ARCHITECT: rps architects
230 W. ALLEGRONCO DRIVE, CHICAGO, IL 60609
773.560.9501 FAX 773.560.2373 RFP# 17-03

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SMITH SENIOR WING
137TH PLACE, CHICAGO, ILLINOIS 60642



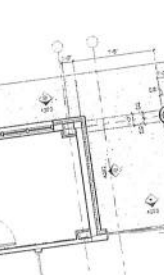
KEY PLAN



1 ELEVATION G' 1/8" = 1'-0"



2 ELEVATION H' 1/8" = 1'-0"



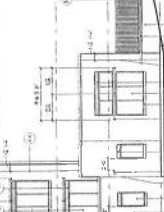
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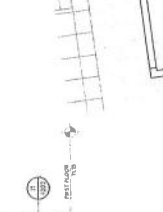
4 ELEVATION J' 1/8" = 1'-0"



5 ELEVATION K' 1/8" = 1'-0"



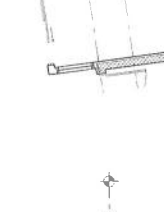
6 ELEVATION L' 1/8" = 1'-0"



7 ELEVATION M' 1/8" = 1'-0"



8 ELEVATION N' 1/8" = 1'-0"



9 ELEVATION O' 1/8" = 1'-0"



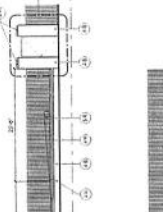
10 ELEVATION P' 1/8" = 1'-0"



11 ELEVATION Q' 1/8" = 1'-0"



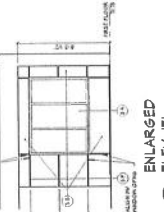
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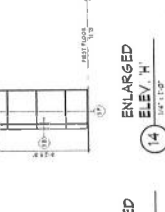
13 ELEVATION S' 1/8" = 1'-0"



14 ELEVATION T' 1/8" = 1'-0"



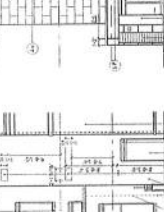
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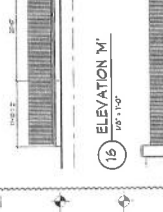
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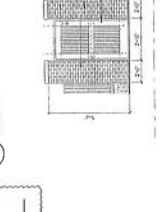
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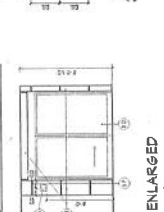
5 ENLARGED FIRST FLOOR REFLECTED CEILING PLAN 1/4" = 1'-0"



6 ENLARGED FIRST FLOOR PLAN 1/4" = 1'-0"



7 ENLARGED ELEV. A' 1/8" = 1'-0"



8 ENLARGED ELEV. B' 1/8" = 1'-0"



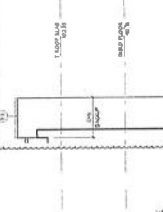
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9 ENLARGED ELEV. D' 1/8" = 1'-0"



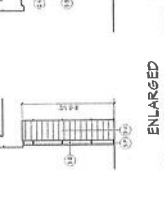
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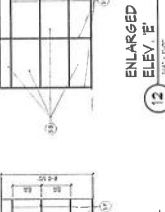
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15 ENLARGED ELEV. G' 1/8" = 1'-0"



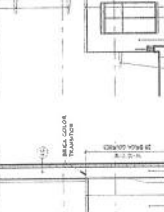
14 ENLARGED ELEV. H' 1/8" = 1'-0"



13 ENLARGED ELEV. I' 1/8" = 1'-0"



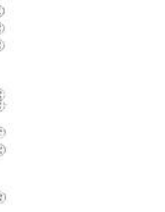
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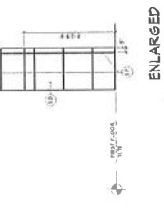
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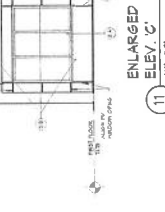
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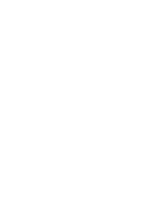
13 ENLARGED ELEV. S' 1/8" = 1'-0"



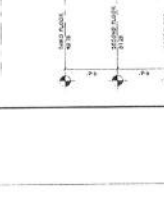
14 ENLARGED ELEV. T' 1/8" = 1'-0"



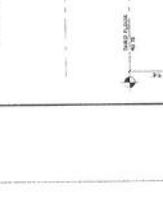
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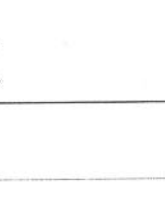
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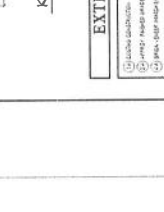
17 ENLARGED ELEV. W' 1/8" = 1'-0"



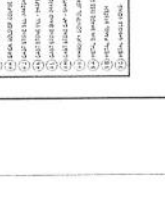
18 ENLARGED ELEV. X' 1/8" = 1'-0"



19 ENLARGED ELEV. Y' 1/8" = 1'-0"



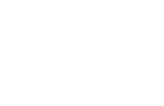
20 ENLARGED ELEV. Z' 1/8" = 1'-0"



21 ENLARGED ELEV. AA' 1/8" = 1'-0"



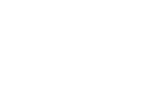
22 ENLARGED ELEV. BB' 1/8" = 1'-0"



23 ENLARGED ELEV. CC' 1/8" = 1'-0"



24 ENLARGED ELEV. DD' 1/8" = 1'-0"



25 ENLARGED ELEV. EE' 1/8" = 1'-0"



26 ENLARGED ELEV. FF' 1/8" = 1'-0"



27 ENLARGED ELEV. GG' 1/8" = 1'-0"



28 ENLARGED ELEV. HH' 1/8" = 1'-0"

- EXTERIOR KEYNOTES**
1. SEE EXTERIOR KEYNOTES FOR MATERIALS
 2. SEE EXTERIOR KEYNOTES FOR MATERIALS
 3. SEE EXTERIOR KEYNOTES FOR MATERIALS
 4. SEE EXTERIOR KEYNOTES FOR MATERIALS
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 28. SEE EXTERIOR KEYNOTES FOR MATERIALS

2/8/2006

REPORTS OF COMMITTEES

15248
70501

*Reclassification Of Area Shown On Map Number 26-H.
(Application Number 15334)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 26-H in the area bounded by:

West 103rd Street; a line 148.70 feet long perpendicular to West 103rd Street commencing at a point 61.61 feet west of the east line of South Longwood Drive (as measured along the south line of West 103rd Street) to a point 148.70 feet east of the east line of South Longwood Drive; and South Longwood Drive,

to those of a B1-2 Neighborhood Shopping District.

SECTION 2. This ordinance takes effect and after its passage and approval.

*Reclassification Of Area Shown On Map Number 28-H.
(As Amended)*

(Application Number 15248)

IPD 73,00

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. The Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, is hereby amended by changing all of the Institutional Planned Development symbols and indications as shown on Map Number 28-H in the area bounded by:

West 112th Place; South Oakley Avenue; West 113th Place; and South Western Avenue,

to those of an Institutional Planned Development District Number 73, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and made a part hereof and to no others.

SECTION 2. This ordinance takes effect after its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 73, As Amended.

Plan Of Development Statements.

1. The area delineated as an Institutional Planned Development consists of approximately two hundred forty-four thousand nine hundred fifty-six (244,956) square feet (five and sixty-two hundredths (5.62) acres) of net site area which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is currently under the single ownership and control of Washington and Jane Smith Community -- Beverly, an Illinois not-for-profit corporation.
2. The applicant shall seek all applicable official reviews, approvals or permits required in connection with the planned development, including any additional submittals for any dedication or vacation of streets, alleys or easements, or right-of-way adjustments, Part II Approvals or administrative relief requests. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the owners or legal titleholders of the Property, their successors and assigns, grantees, subsidiaries, lessees and ground lessors. All rights granted hereunder shall inure to the benefit of the owners of the Property, their successors and assigns. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property at the time of any application for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or control or under single designated control. Single designated control for purposes of this paragraph shall mean that any application for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the owner(s) or designee proposing the modification or change. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interest or obligations therein.
4. This planned development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary and Property Line Map; a Site Plan prepared by AG Architecture dated December 15, 2005; Exterior Elevations (9 sheets) prepared by AG Architecture dated June 10, and December 15, 2005; and a Landscape Plan (6 sheets) and a Green Roof Plan prepared by Linden/Lenet Land Design, Ltd. dated December 8, 2005. Full-size sets of the Site Plan, Landscape Plans and Exterior Elevations are on file with the Department of Planning and Development. The planned development is applicable to the Property and these and no other controls shall apply. The planned development conforms to the intent and purpose of the

Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The uses permitted within the area delineated as "Institutional Planned Development" shall be: elderly housing; assisted living (elderly custodial care); nursing home (skilled nursing care); offices; off-street parking and dining services for residents, guests and visitors; geriatric physical therapy and physical fitness facility; social services, including but not limited to, book clubs, dances, art and crafts, and computer training; and related uses.
6. Business identification and other necessary signs, including temporary construction signs may be permitted within the Institutional Planned Development subject to the review and approval of the Department of Planning and Development.
7. Off-street parking and off-street loading facilities shall be provided in compliance with the Site Plan and the Bulk Regulations and Data Table of this planned development, subject to the review of the Departments of Transportation and Planning and Development. During construction of the improvements, the off-street parking and off-street loading requirements of the Bulk Regulations and Data Table may be temporarily suspended.
8. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. All work in the public way must be designed and constructed in accordance with the Chicago Department of Transportation's "Construction Standards for Work in the Public Way" and in compliance with the Municipal Code of the City of Chicago except where specifically approved by the Chicago Department of Transportation. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to review and approval by the Chicago Department of Transportation. Ingress and egress shall be maintained as indicated on the Site Plan.
9. The height of any improvements, in addition to the Exterior Elevations, shall be subject to the height limitations as approved by the Federal Aviation Administration.
10. The maximum floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. During construction of the improvements, the F.A.R. requirements of the Bulk Regulations and Data Table may be temporarily suspended. For purposes of F.A.R. calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
11. Improvements on the Property, including landscaping and all entrances and exits to the parking areas, shall be designed and installed in

substantial conformance with the Site Plan, Landscape Plan, Exterior Elevations, and Bulk Regulations and Data Table attached hereto and made a part hereof. During construction of the improvements, the requirements of the Bulk Regulations and Data Table may be temporarily suspended. Every application for a permit or license within the planned development shall be submitted to the Commissioner of the Department of Planning and Development for approval prior to the Department of Planning and Development's issuance of a Part II approval, pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II Approval"). No Part II Approval shall be granted without the prior approval of the Commissioner. Following approval by the Commissioner, the approved plan(s) shall be kept on permanent file with the Department of Planning and Development and shall be deemed an integral part of this planned development. The approved plans may be changed or modified pursuant to the minor change and amendment provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

12. Parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Landscape Plan and the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
13. It is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all new buildings on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of energy resources. The applicant shall make commercially reasonable efforts to design, construct and maintain all buildings located in the planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating. The applicant shall install and maintain a vegetated "green roof" upon the Commons Building in conformance with the Green Roof Plan attached hereto.
15. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the applicant or its designee, after a determination is made by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this planned development by the Commissioner of the

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Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611-A of the Chicago Zoning Ordinance.

[Existing Zoning and Street System Map; Planned Development Boundary and Property Line Map; Site Plan; Exterior Elevations; Key Plan; Landscape Plan; Assisted Living/Memory Care; Existing Johanssen Commons; Parking and Loading Plan; Independent Living Plans; and Green Roof Plan referred to in these Plan of Development Statements printed on pages 70506 through 70524 of this *Journal*.]

Bulk of Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

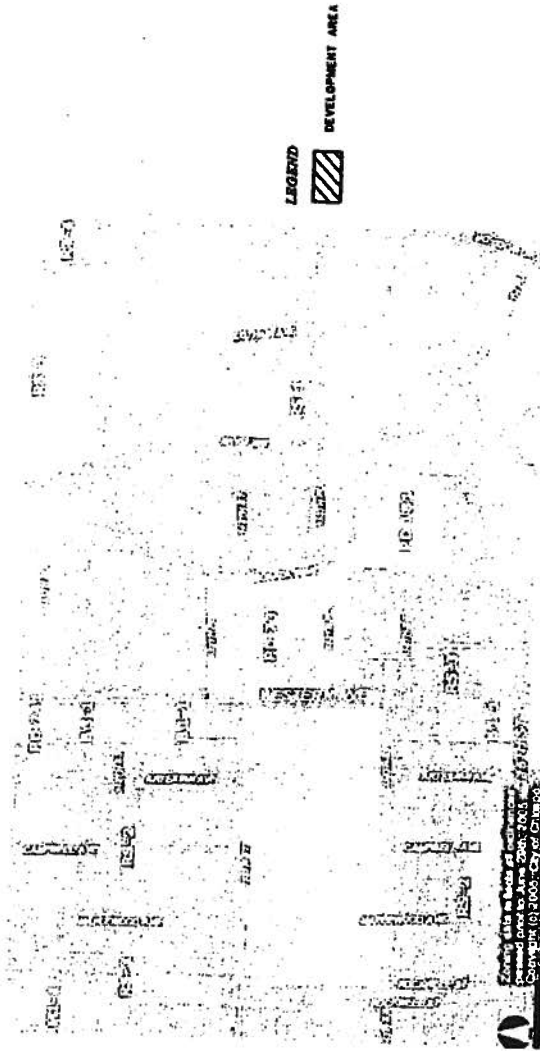
Institutional Planned Development Number 73, As Amended.

Bulk Regulations And Data Table.

Gross Site Area:	328,968 square feet (7.55 acres)
Public Right-of-Way Area:	84,012 square feet (1.93 acres)
Net Site Area:	244,956 square feet (5.62 acres)
Maximum Floor Area Ratio:	1.35
Maximum Number of Residential (Independent Living) Units:	154
Maximum Site Coverage Area:	As shown on Site Plan
Permitted Uses:	All Uses described in Statement Number 5 of the Planned Development Statements
Minimum Number of Off-Street Parking Spaces to be Provided:	145
Minimum Number of Loading Berths to be Provided:	1
Maximum Building Height:	As shown on the Exterior Elevations
Minimum Setbacks:	As shown on Site Plan

Existing Zoning And Street System Map.

INSTITUTIONAL PLANNED DEVELOPMENT

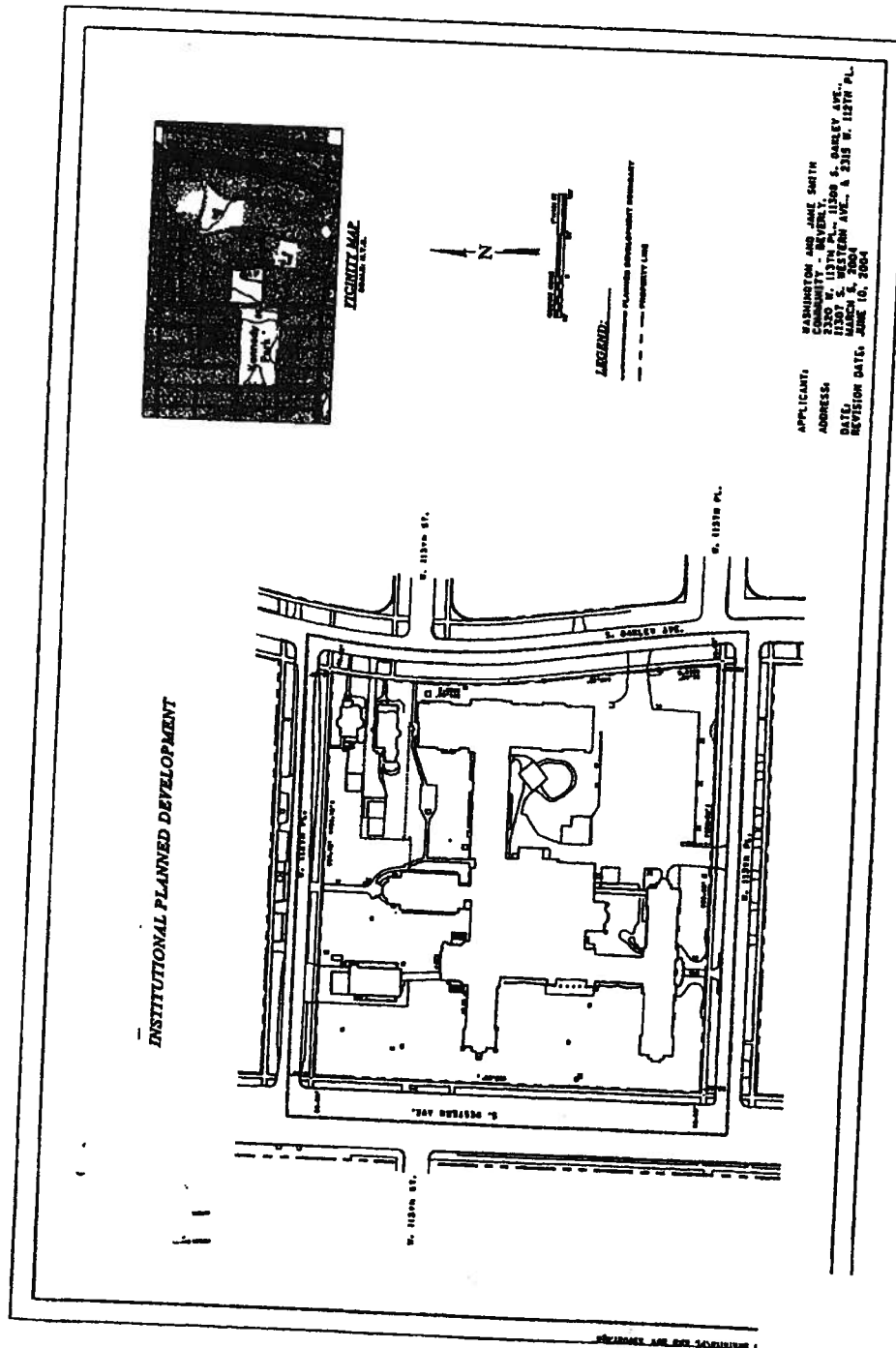


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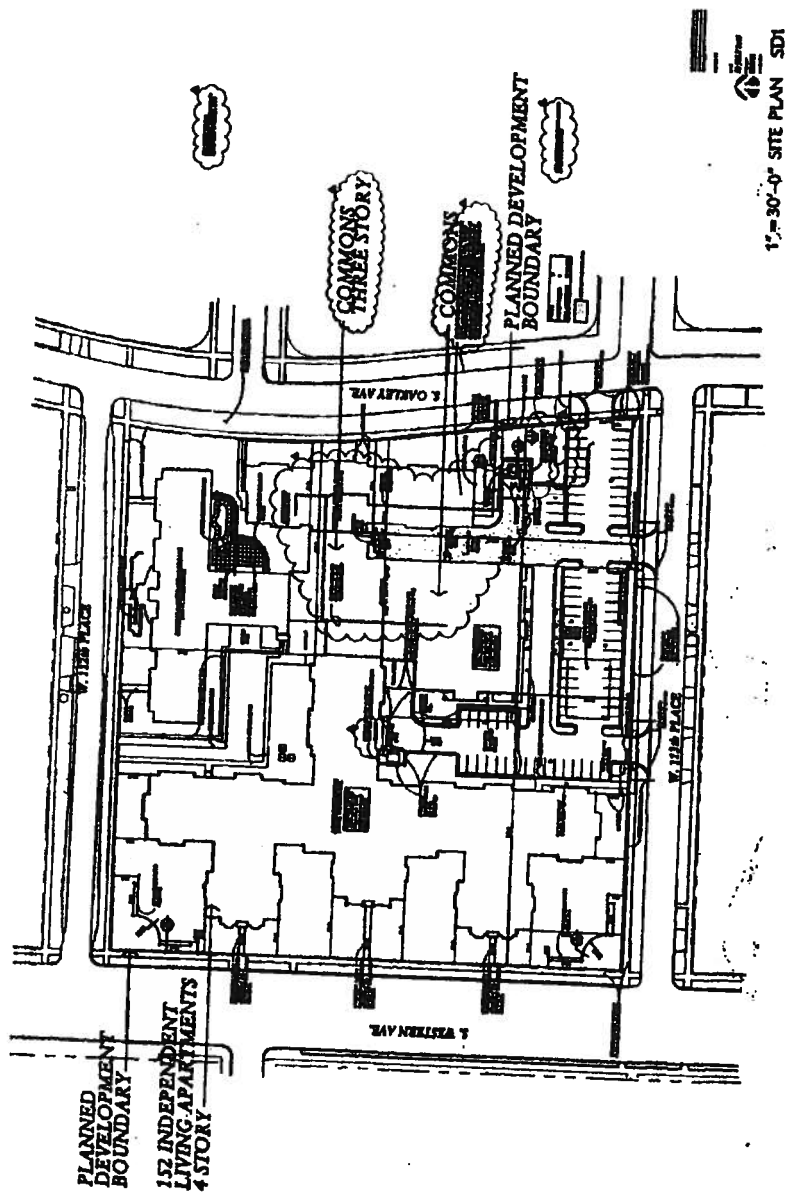
REPORTS OF COMMITTEES

70507

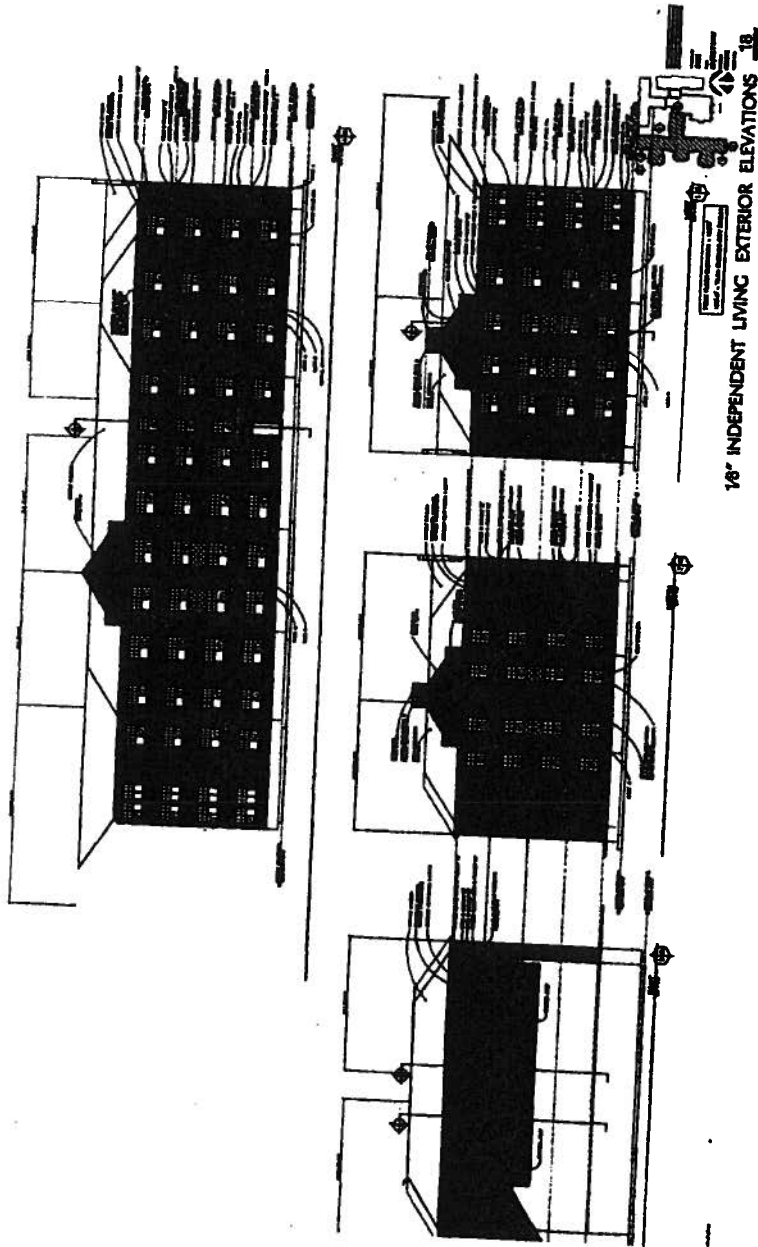
Planned Development Boundary And Property Line Map.



Site Plan.



1/8 Inch Independent Living Exterior Elevations.
(Page 2 of 3)

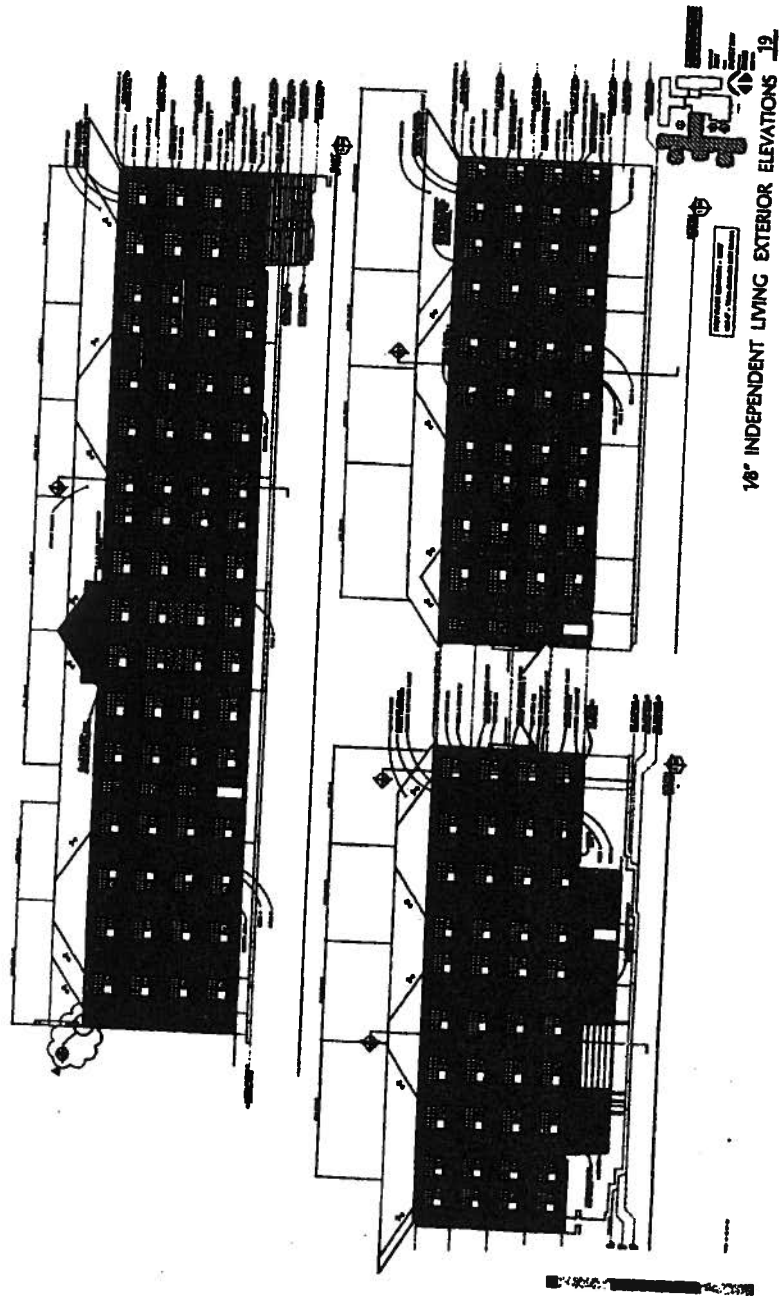


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70511

1/8 Inch Independent Living Exterior Elevations.
(Page 3 of 3)

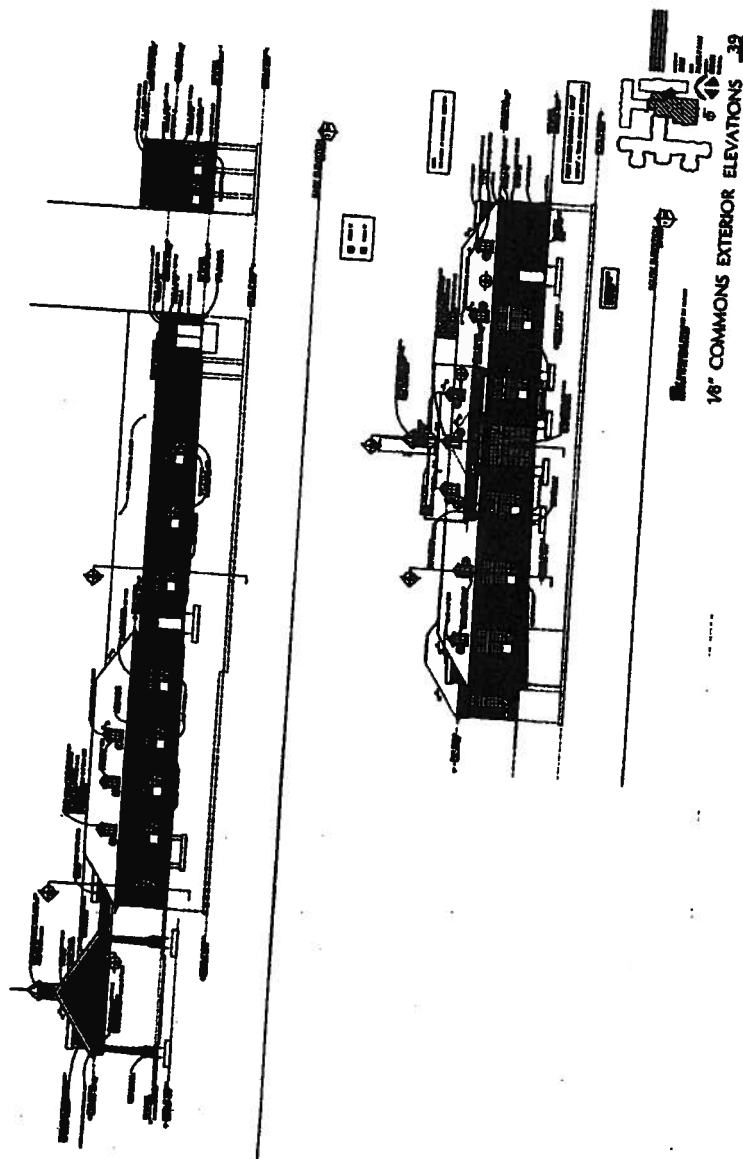


70512

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2/8/2006

1/8 Inch Commons Exterior Elevations.
(Page 1 of 2)

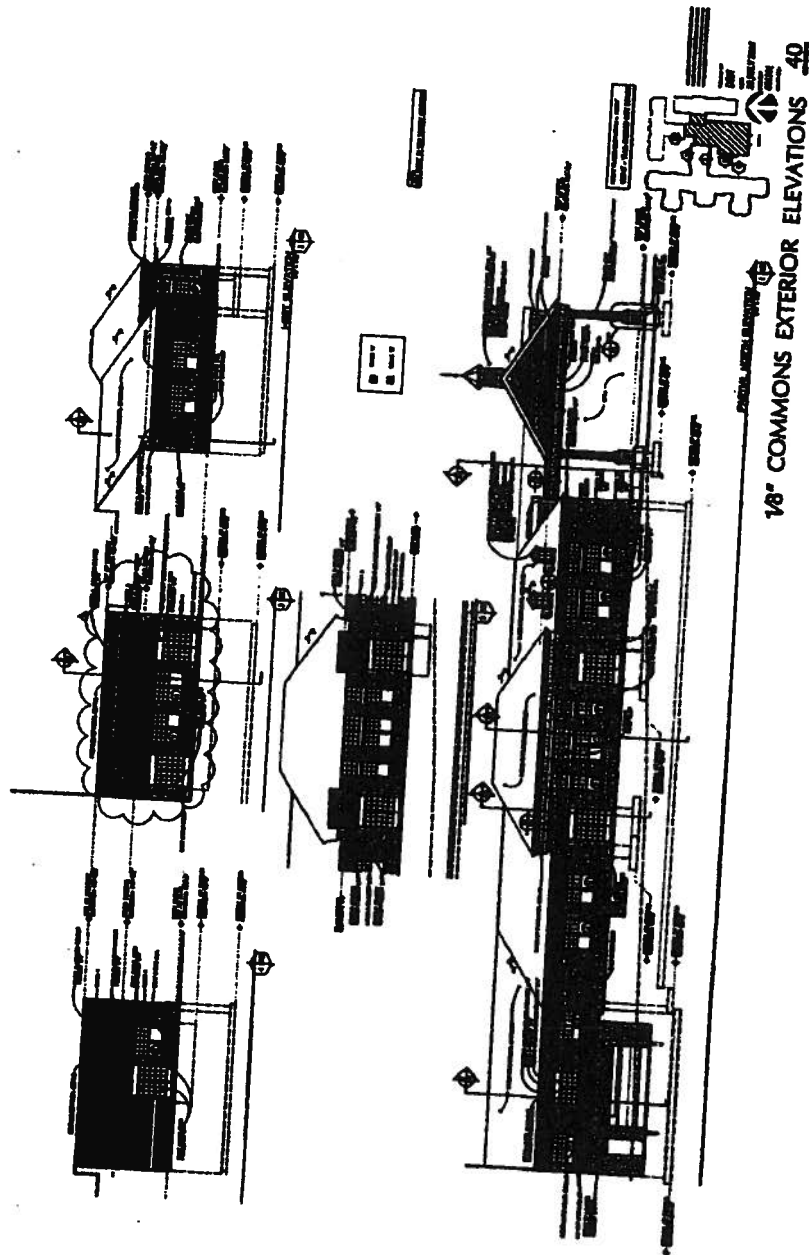


2/8/2006

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70513

1/8 Inch Commons Exterior Elevations.
(Page 2 of 2)

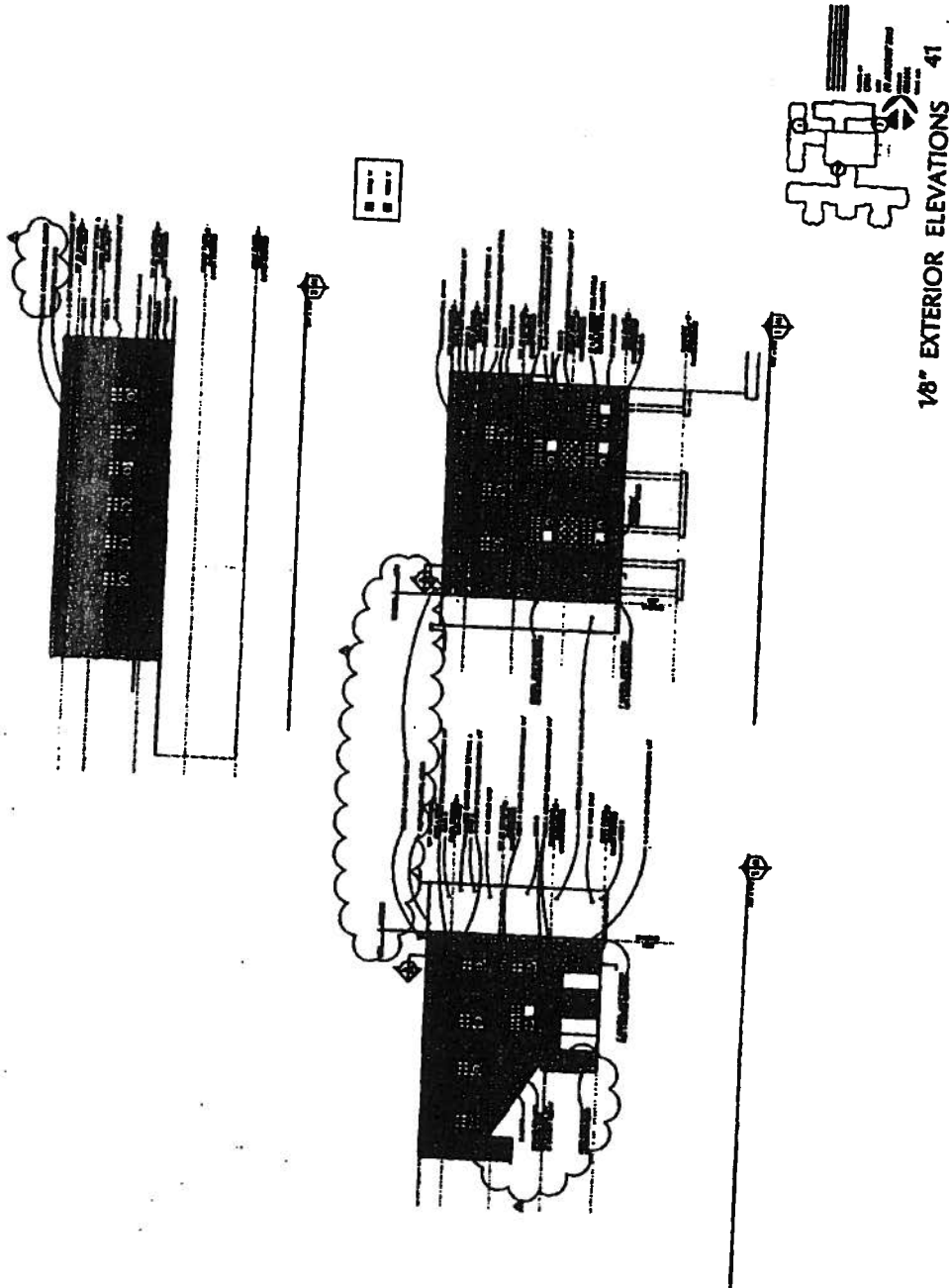


70514

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1/8 Inch Exterior Elevations.
(Page 1 of 3)

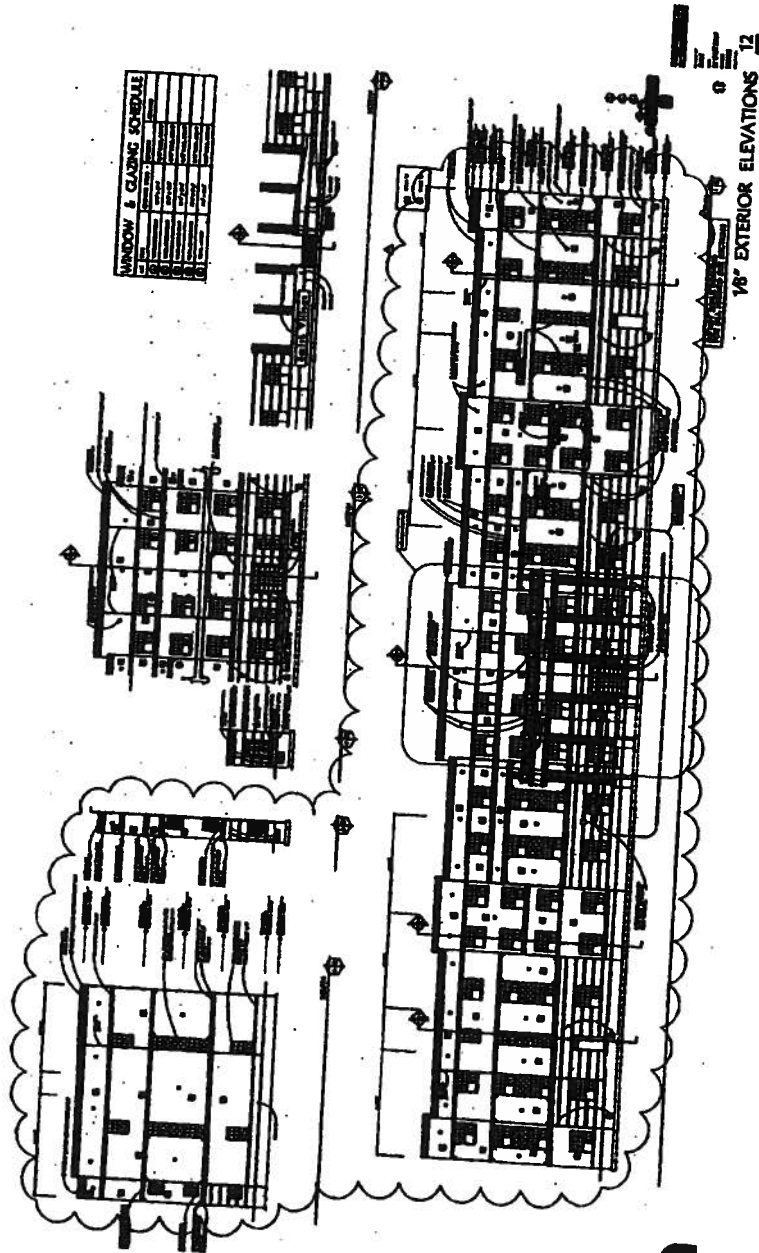


2/8/2006

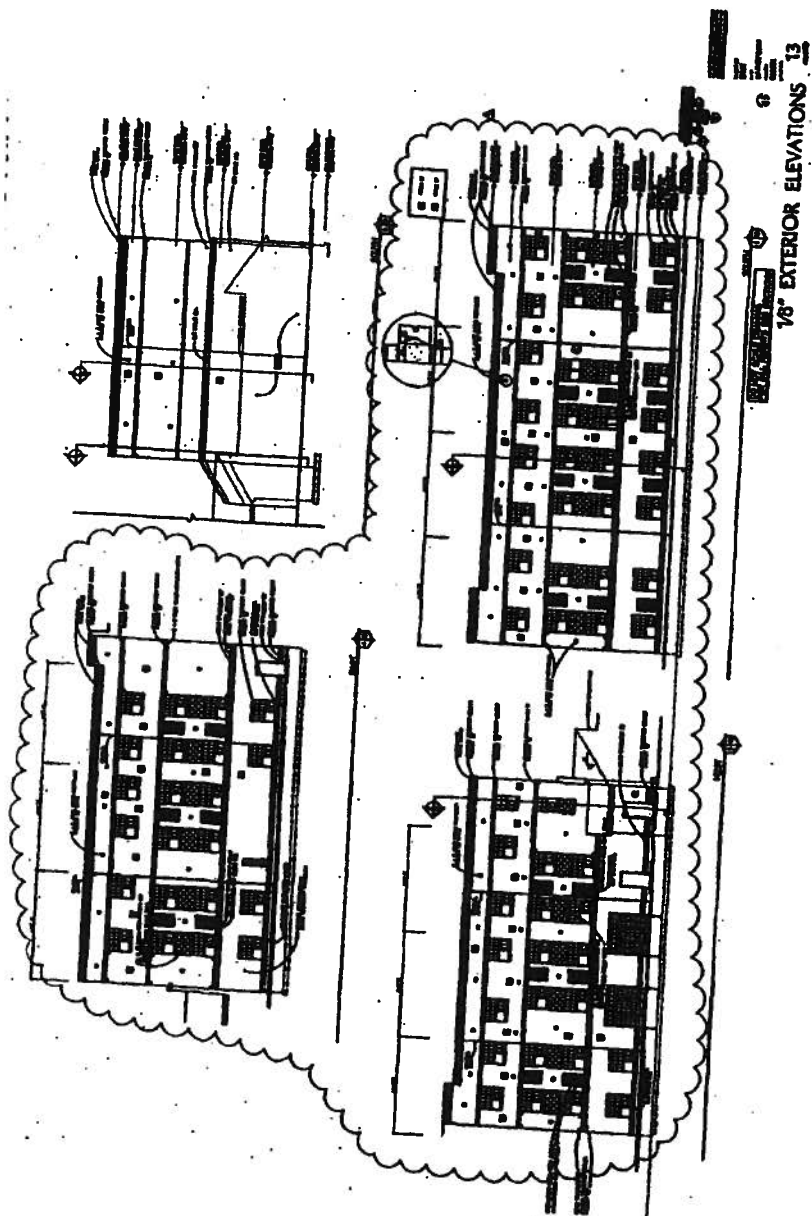
REPORTS OF COMMITTEES

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1/8 Inch Exterior Elevations.
(Page 2 of 3)



1/8 Inch Exterior Elevations.
(Page 3 of 3)

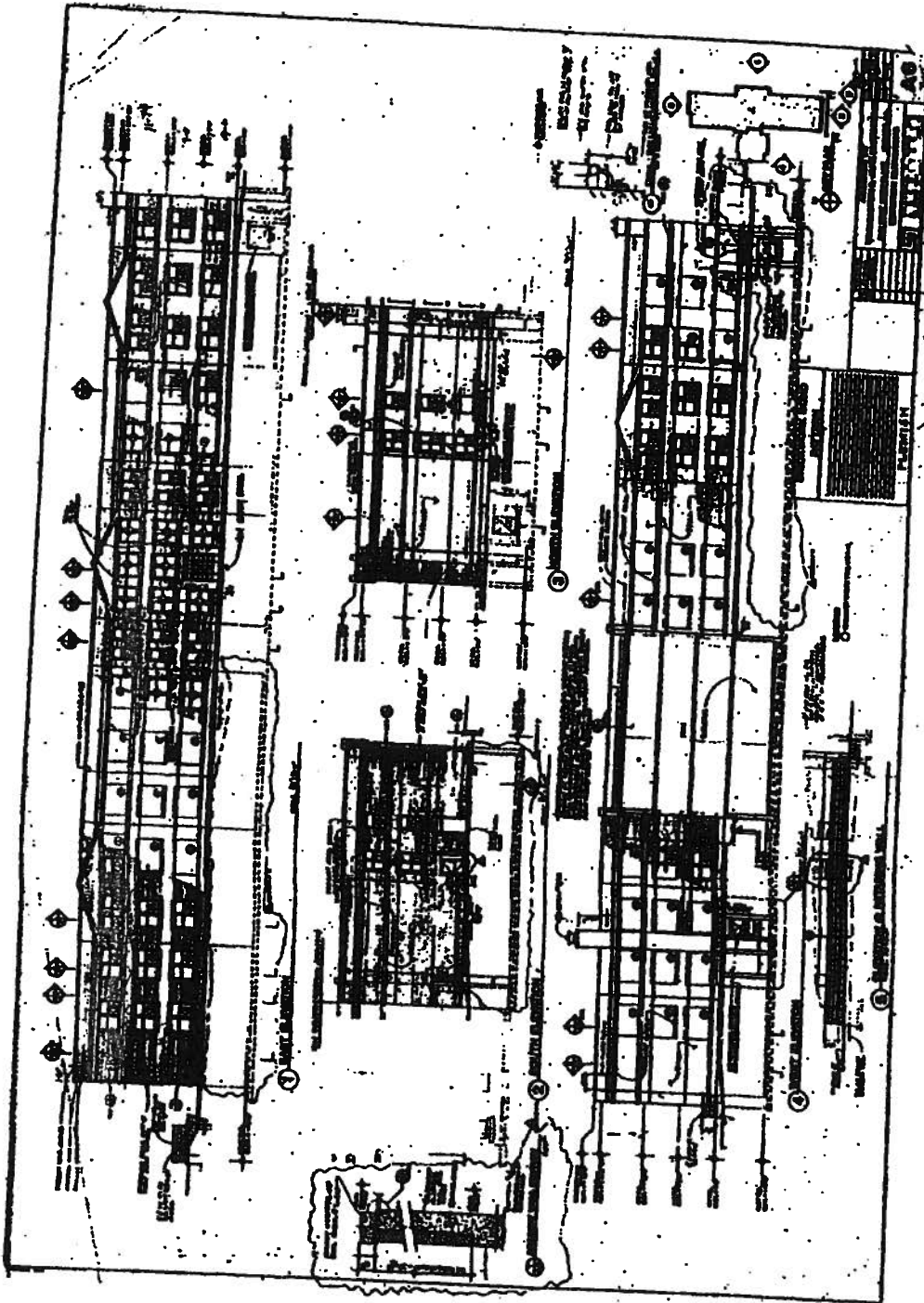


2/8/2006

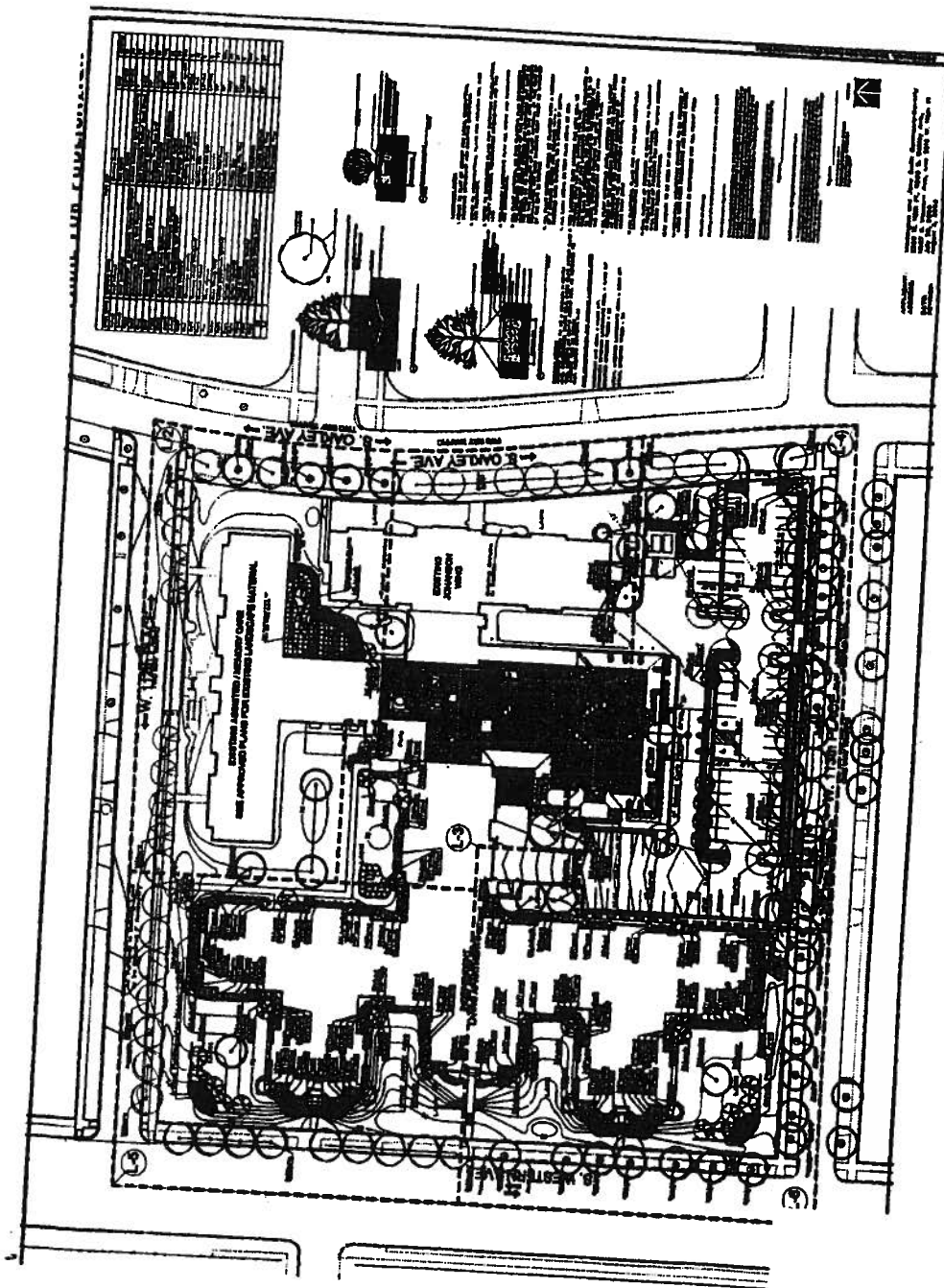
REPORTS OF COMMITTEES

70517

Key Plan.



Phase II Landscape Plan.



Existing Johansen/Commons.

1. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

2. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

3. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

4. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

5. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

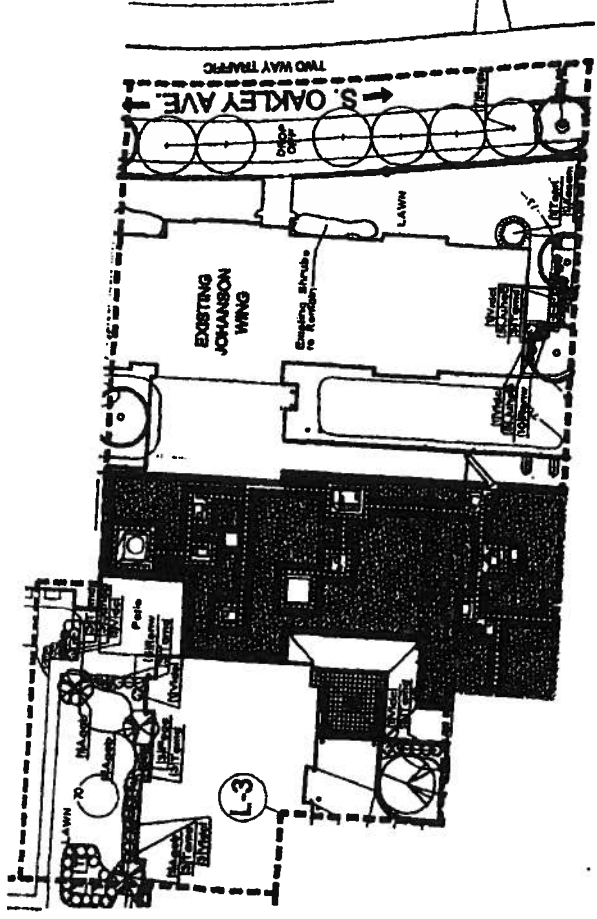
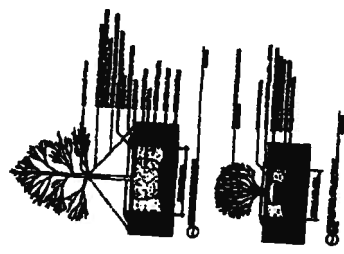
6. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

7. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

8. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

9. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

10. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.



Code Name	Plant List L-3 Copy	Quantity
1	Common Name	1
2	Field Name	1
3	Plant Name	1
4	Plant Name	1
5	Plant Name	1
6	Plant Name	1
7	Plant Name	1
8	Plant Name	1
9	Plant Name	1
10	Plant Name	1
11	Plant Name	1
12	Plant Name	1
13	Plant Name	1
14	Plant Name	1
15	Plant Name	1
16	Plant Name	1
17	Plant Name	1
18	Plant Name	1
19	Plant Name	1
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40	Plant Name	1
41	Plant Name	1
42	Plant Name	1
43	Plant Name	1
44	Plant Name	1
45	Plant Name	1
46	Plant Name	1
47	Plant Name	1
48	Plant Name	1
49	Plant Name	1
50	Plant Name	1

ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE CHICAGO LANDSCAPE ARCHITECTURE BOARD'S (CLAB) BEST PRACTICES FOR LANDSCAPE ARCHITECTURE. SEE CLAB WEBSITE FOR CURRENT BEST PRACTICES.

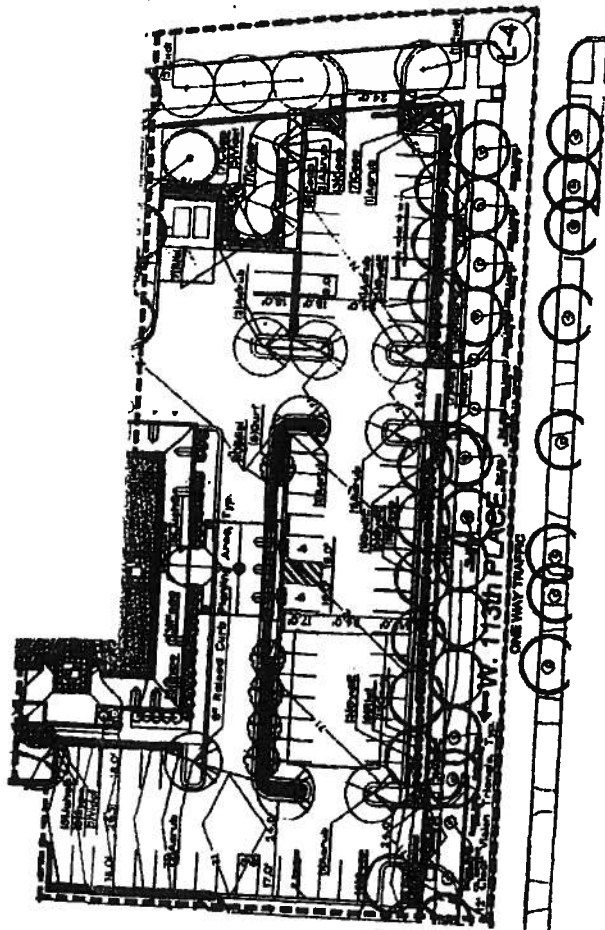
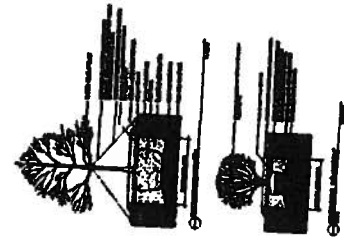
2/8/2006

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Parking And Loading.

1. The proposed site plan for the parking and loading area is shown on the attached drawings. The site is located at the rear of the building and is bounded by the building on the north and east, and the existing parking area on the south and west. The proposed parking area is approximately 100 feet wide and 150 feet long. The proposed loading area is approximately 50 feet wide and 100 feet long. The proposed site plan shows the location of the parking and loading areas, the location of the building, and the location of the existing parking area. The proposed site plan also shows the location of the proposed parking and loading areas, the location of the building, and the location of the existing parking area.



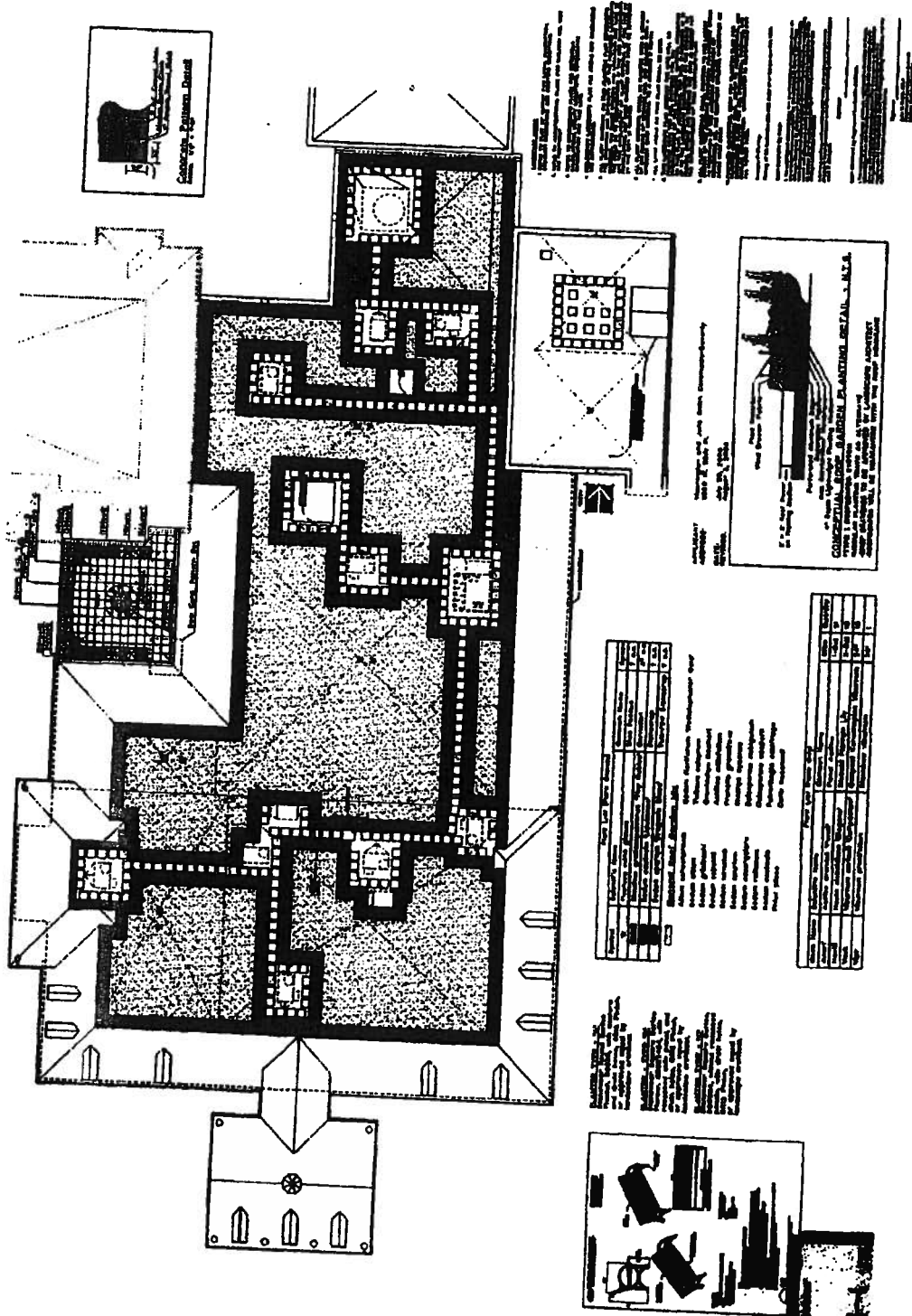
Code	Item Name	Qty	Unit	Notes
1	Asphalt	100	Sq Yd	For parking area
2	Concrete	50	Sq Yd	For loading area
3	Gravel	200	Sq Yd	For parking area
4	Rebar	100	Lbs	For concrete
5	Formwork	100	Sq Yd	For concrete
6	Excavation	100	Sq Yd	For parking area
7	Drainage	100	Sq Yd	For parking area
8	Lighting	100	Sq Yd	For parking area
9	Signage	100	Sq Yd	For parking area
10	Paint	100	Sq Yd	For parking area
11	Landscaping	100	Sq Yd	For parking area
12	Security	100	Sq Yd	For parking area
13	Accessibility	100	Sq Yd	For parking area
14	Fire Safety	100	Sq Yd	For parking area
15	Weathering	100	Sq Yd	For parking area
16	Soundproofing	100	Sq Yd	For parking area
17	Insulation	100	Sq Yd	For parking area
18	Roofing	100	Sq Yd	For parking area
19	Foundation	100	Sq Yd	For parking area
20	Structural	100	Sq Yd	For parking area
21	Interior	100	Sq Yd	For parking area
22	Exterior	100	Sq Yd	For parking area
23	Plumbing	100	Sq Yd	For parking area
24	Electrical	100	Sq Yd	For parking area
25	Mechanical	100	Sq Yd	For parking area
26	HVAC	100	Sq Yd	For parking area
27	Sanitary	100	Sq Yd	For parking area
28	Fire	100	Sq Yd	For parking area
29	Security	100	Sq Yd	For parking area
30	Accessibility	100	Sq Yd	For parking area

BY: [Redacted Signature]

DATE: [Redacted Date]

PROJECT: [Redacted Project Name]

Green Roof Plan.



Item	Quantity	Unit	Notes
1. Green Roof System	1	Sq. Ft.	See Specification
2. Planting Material	1	Sq. Ft.	See Specification
3. Drainage System	1	Sq. Ft.	See Specification
4. Edge Detail	1	Linear Ft.	See Specification
5. Access Detail	1	Linear Ft.	See Specification

Item	Quantity	Unit	Notes
1. Green Roof System	1	Sq. Ft.	See Specification
2. Planting Material	1	Sq. Ft.	See Specification
3. Drainage System	1	Sq. Ft.	See Specification
4. Edge Detail	1	Linear Ft.	See Specification
5. Access Detail	1	Linear Ft.	See Specification

COMPETITIVE BIDDING - GREEN ROOF PLAN - N.Y.C.

1. Green Roof System
 2. Planting Material
 3. Drainage System
 4. Edge Detail
 5. Access Detail

to those of an R4 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance takes effect after its passage and approval.

*Reclassification Of Area Shown On Map Number 26-G.
(Application Number A-5374)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the R2 Single-Family Residence District and R3 General Residence District symbols and indications as shown on Map Number 26-G in the area bounded by:

the public alley next north of and parallel to West 1 10th Place; a line 225 feet west of and parallel to South Throop Street; West 1 10th Place; and a line 275 feet west of and parallel to South Throop Street,

to those of an R4 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance takes effect after its passage and approval.

*Reclassification Of Area Shown On Map Number 28-H.
(As Amended)*

(Application Number 14284) IPD 73,00

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. The Chicago Zoning Ordinance is amended by changing all the Institutional Planned Development Number 73 and R1 Single-Family Residence District symbols and indications as shown on Map Number 28-H in the area bounded by:

West 112th Place; South Oakley Avenue; West 1 13th Place; and South Western Avenue,

to those of an R5 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. The Chicago Zoning Ordinance is amended by changing all of the R5 General Residence District symbols and indications within the area herein above described to the designation of an Institutional Planned Development Number 73, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and made a part hereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

Institutional Planned Development Number 73, As Amended.

Plan Of Development Statements.

1. The area delineated as an Institutional Planned Development consists of approximately two hundred forty-four thousand nine hundred fifty-six (244,956) square feet (five and sixty-two hundredths (5.62) acres) of net site area which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is currently under the single ownership or control of Washington and Jane Smith Community-Beverly, an Illinois not-for-profit corporation.
2. The applicant shall seek all applicable official reviews, approvals or permits required in connection with the planned development, including any additional submittals for any dedication or vacation of streets, alleys or easements, or rights-of-way adjustments, Part II approvals or administrative relief requests. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the owners or legal title

holders of the Property, their successors and assigns, grantees, subsidiaries, lessees and ground lessors. All rights granted hereunder shall inure to the benefit of the owners of the Property, their successors and assigns. Furthermore, pursuant to the requirements of Section 11.1 1- 1 of the Chicago Zoning Ordinance, the Property at the time of any application for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or control or under single designated control. Single designated control for purposes of this paragraph shall mean that any application for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the owner(s), or designee, proposing the modification or change. Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interest or obligations therein.

4. This planned development consists of these fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; an Existing Zoning and Street System Map; an Overall Site Plan; Building Elevations, Numbers 1 -- 9 prepared by AG Architecture and dated June 10, 2004; and an Overall Landscape Plan and a Conceptual Green Roof Plan prepared by Linden/Lenet Land Design, Ltd. and dated June 10, 2004. Full size sets of the Site Plan, Landscape Plan and Building Elevations, Numbers 1 -- 9 are on file with the Department of Planning and Development. The planned development is applicable to the Property and these and no other controls shall apply. The planned development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The uses permitted within the area delineated as "Institutional Planned Development" shall be housing for elderly persons, homes for the aged, rest homes, nursing homes, convalescent homes, offices, off-street accessory parking, dining services for residents, guests and visitors, geriatric physical therapy and physical fitness facility, social services, including, for example but not limited to, book clubs, dances, art and crafts, computer training and related uses.
6. Business identification and other necessary signs, including temporary construction signs may be permitted with the Institutional Planned Development subject to the review and approval of the Department of Planning and Development.

7. Off-street parking and off-street loading facilities shall be provided in compliance with the Overall Site Plan and the Bulk Regulations and Data Table of this planned development, subject to the review of the Department of Transportation and the Department of Planning and Development.
8. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development. All work in the public way must be designed and constructed in accordance with the Chicago Department of Transportation "Construction Standards for Work in the Public Way" and in compliance with the Municipal Code of the City of Chicago except where specifically approved by the Chicago Department of Transportation. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to review and approval by the Chicago Department of Transportation. Ingress and egress shall be maintained as indicated on the Overall Site Plan. Applicant shall also design and reconstruct West 112nd Place, from South Western Avenue to South Oakley Avenue, according to Chicago Department of Transportation standards.
9. The height of any improvements, in addition to the Building Elevations, shall be subject to the height limitations as approved by the Federal Aviation Administration.
10. The maximum floor area ratio ("F.A.R.") shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of F.A.R. calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
11. Improvements on the Property, including landscaping and all entrances and exits to the parking areas, shall be designed and installed in substantial conformance with the Overall Site Plan, Landscape Plan, Building Elevations and Bulk Regulations and Data Table attached hereto and made a part hereof. Every application for a permit or license within the planned development shall be submitted to the Commissioner of the Department of Planning and Development for approval prior to the Department of Planning and Development's issuance of a Part II approval, pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance ("Part II approval"). No Part II approval shall be granted without the prior approval of the Commissioner. Following approval by the Commissioner, the approved plan(s) shall be kept on permanent file with the Department of Planning and Development and shall be deemed an integral part of this planned development. The approved plans may be changed or modified pursuant to the minor change provisions of Section 11.11-3(c) of the Chicago Zoning Ordinance.

12. Parkway trees and other landscaping shall be installed and maintained at all times in accordance with the Landscape Plan and the parkway tree and parking lot landscaping provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
13. It is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all new buildings on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals for any new building shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of energy resources. The applicant shall make best and reasonable efforts to design, construct and maintain all buildings located in the planned development in a manner generally consistent with the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating. Applicant shall install and maintain a vegetative "green roof" upon the commons building in conformance with the Conceptual Green Roof Plan attached hereto.
15. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the application for such a modification by the applicant or its designee, after a determination is made by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the planned development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.

[Overall Landscape Plan referred to in these Plan
of Development Statements unavailable
at time of Printing.]

7/21/2004

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[Existing Land-Use Map; Planned Development Boundary and Property Line Map; Existing Zoning and Street System Map; Overall Site Plan; Building Elevations and Conceptual Green Roof Plan referred to in these Plan of Development Statements printed on pages 29020 through 29027 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

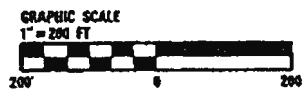
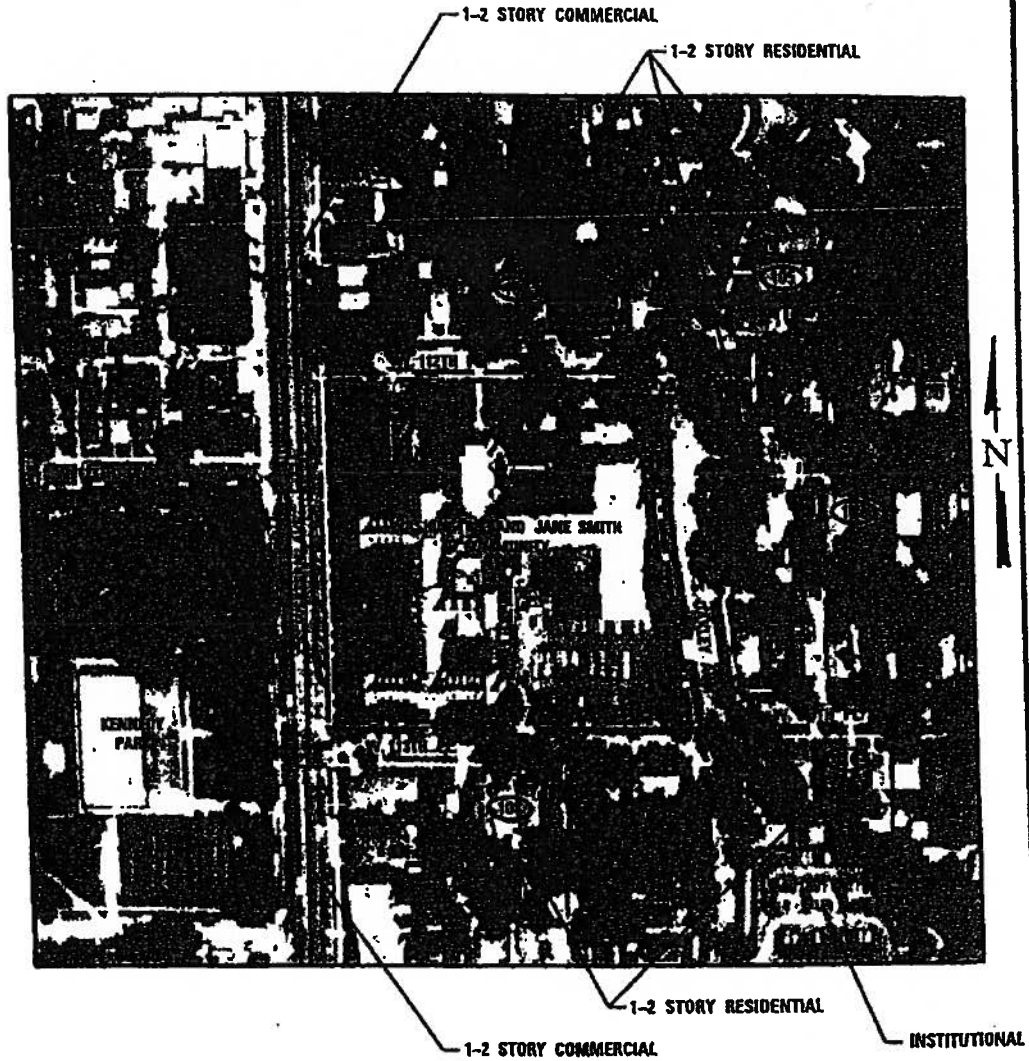
Institutional Planned Development Number 73, As Amended.

Bulk Regulations And Data Table.

Gross Site Area:	328,968 square feet (7.55 acres)
Public Right-of-Way Area:	84,012 square feet (1.93 acres)
Net Site Area:	244,956 square feet (5.62 acres)
Maximum Floor Area Ratio:	1.33
Maximum Number of Residential (Independent Living) Units:	144
Maximum Site Coverage:	As shown on the Overall Site Plan
Permitted Uses:	All uses described in Statement 5 of the Planned Development Statements
Minimum Number of Off-Street Parking Spaces to be Provided:	146
Minimum Number of Loading Berths to be Provided:	1
Maximum Building Height:	As shown on the Building Elevations
Minimum Setbacks:	As shown on the Overall Site Plan

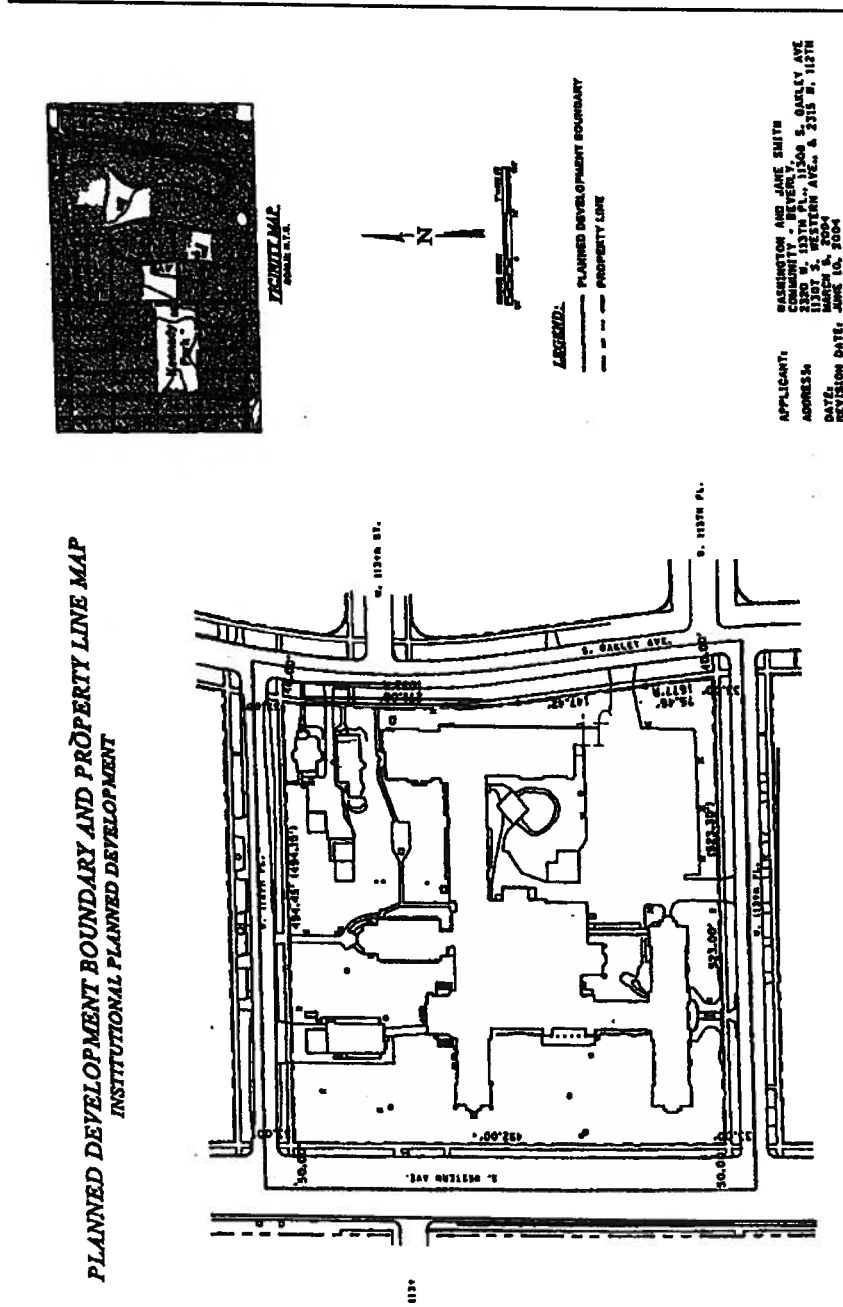
Existing Land-Use Map.

EXISTING LAND USE MAP
INSTITUTIONAL PLANNED DEVELOPMENT



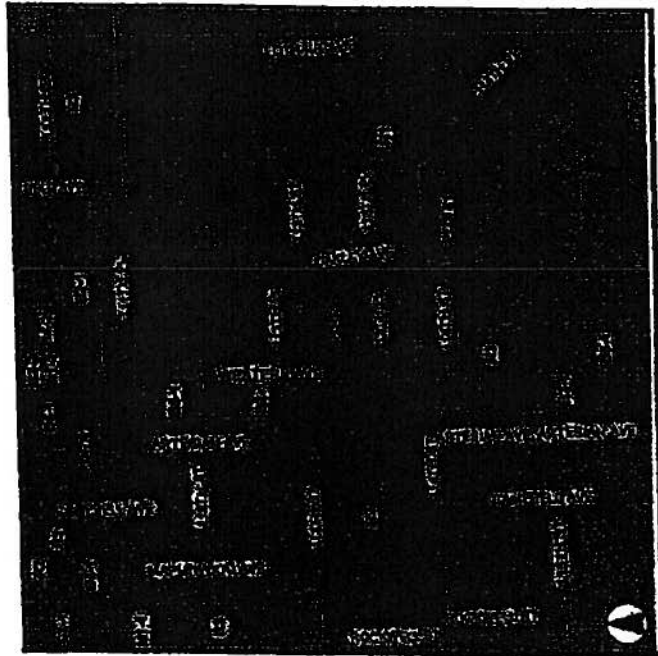
APPLICANT: WASHINGTON AND JANE SMITH
COMMUNITY - BEVERLY
ADDRESS: 2320 W. 113TH PL., 11200 S. OAKLEY AVE.,
11207 S. WESTERN AVE., & 2315 W. 112TH PL.
DATE: MARCH 5, 2004
REVISION DATE: JUNE 10, 2004

Planned Development Boundary And property Line Map.



Existing Zoning And Street System Map.

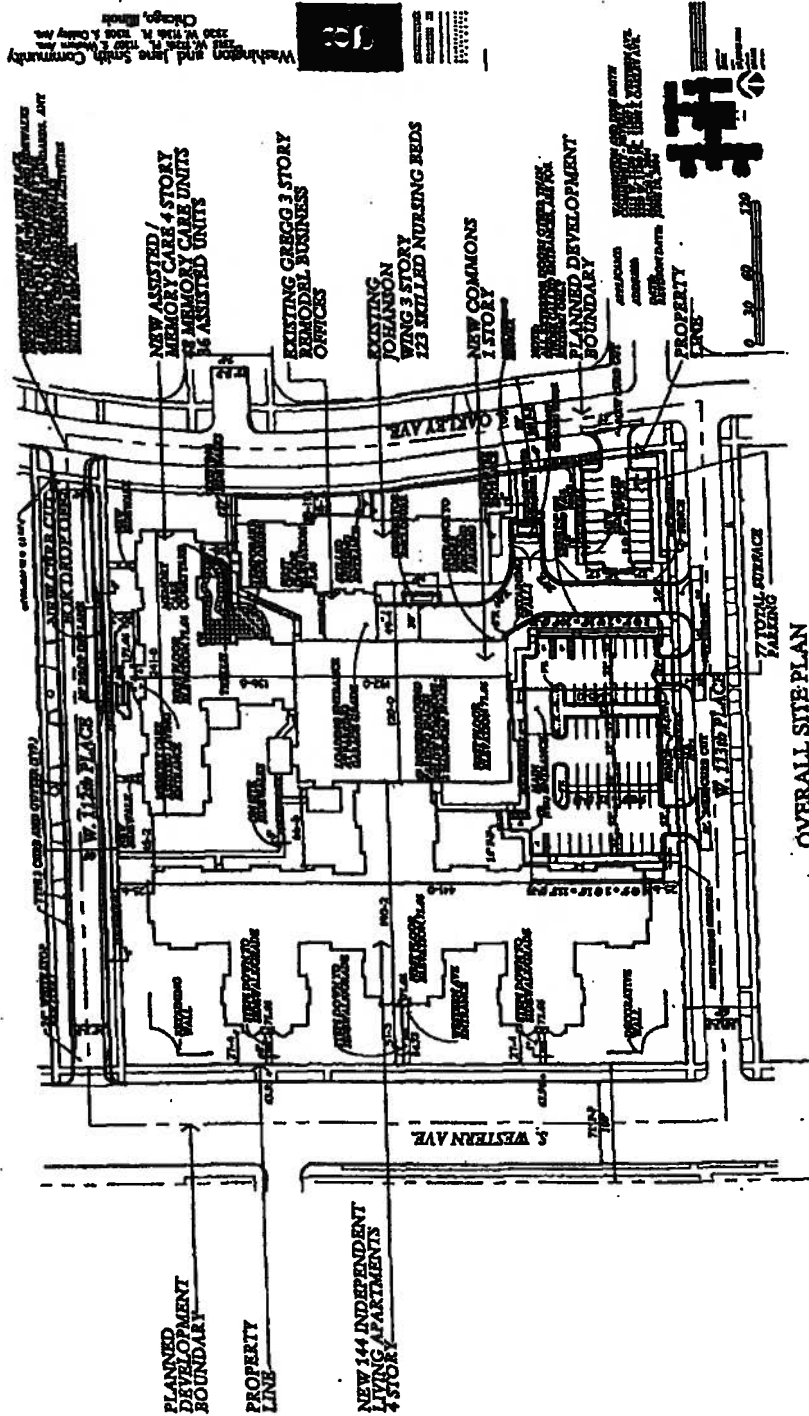
EXISTING ZONING AND STREET SYSTEM MAP
INSTITUTIONAL PLANNED DEVELOPMENT



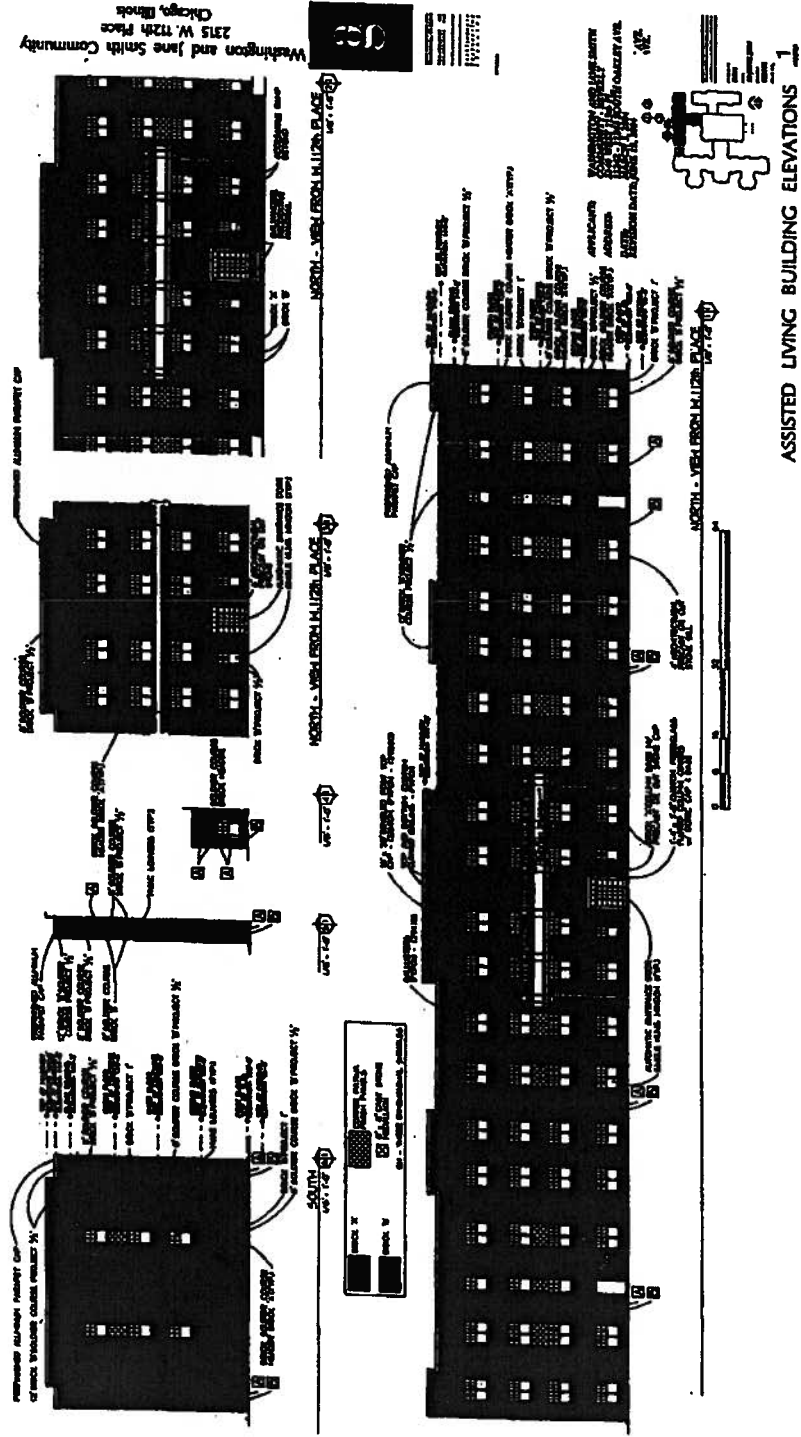
LEGEND
[Hatched Box] DEVELOPMENT AREA

APPLICANT: WASHINGTON AND JANE SMITH
COMMUNITY DEVELOPMENT
ADDRESS: 2307 W. WESTERN AVE. & 2315 N. 112TH PL.
DATE: MARCH 4, 2004
REVISION DATE: JUNE 10, 2004

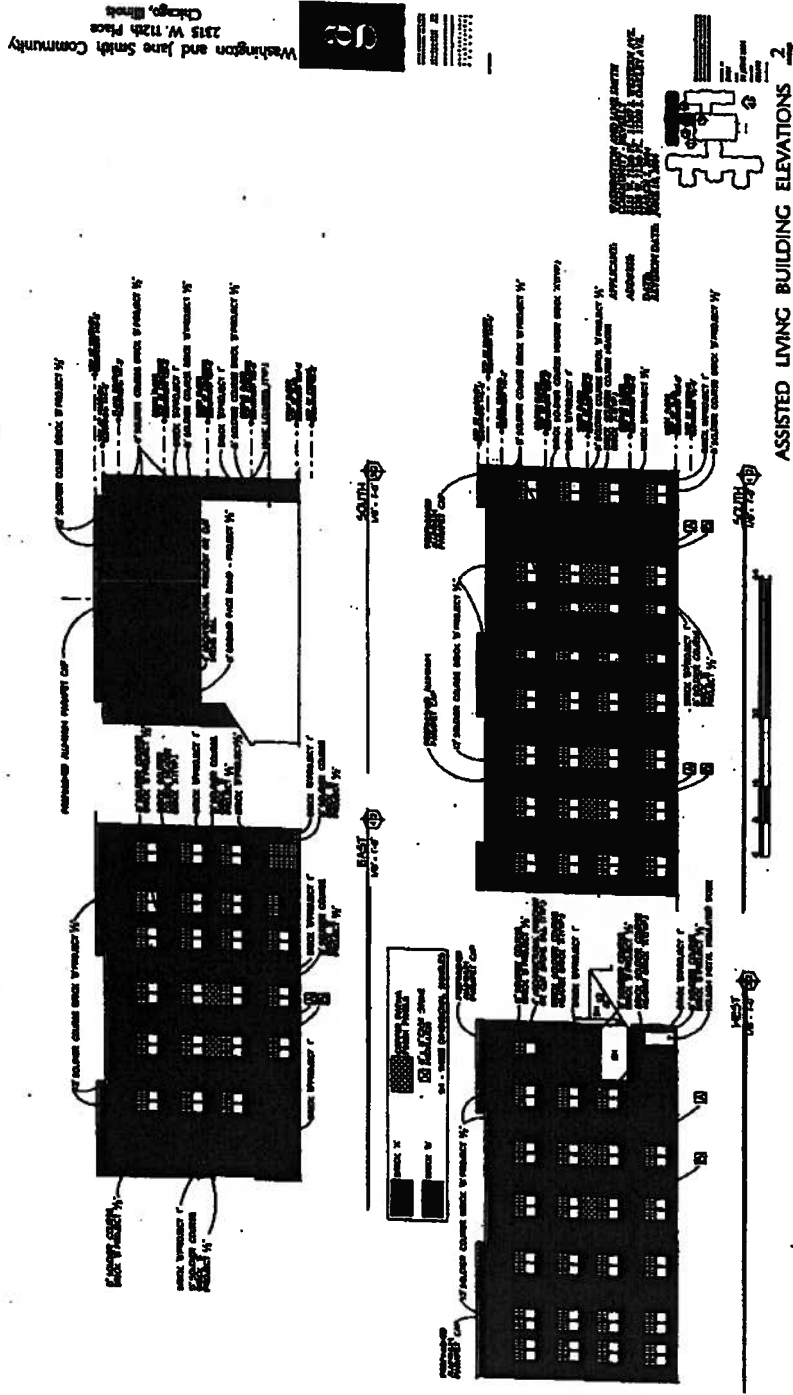
Overall Site Plan.



Assisted Living Building Elevations.
(Page 1 of 2)



Assisted Living Building Elevations.
(Page 2 of 2)



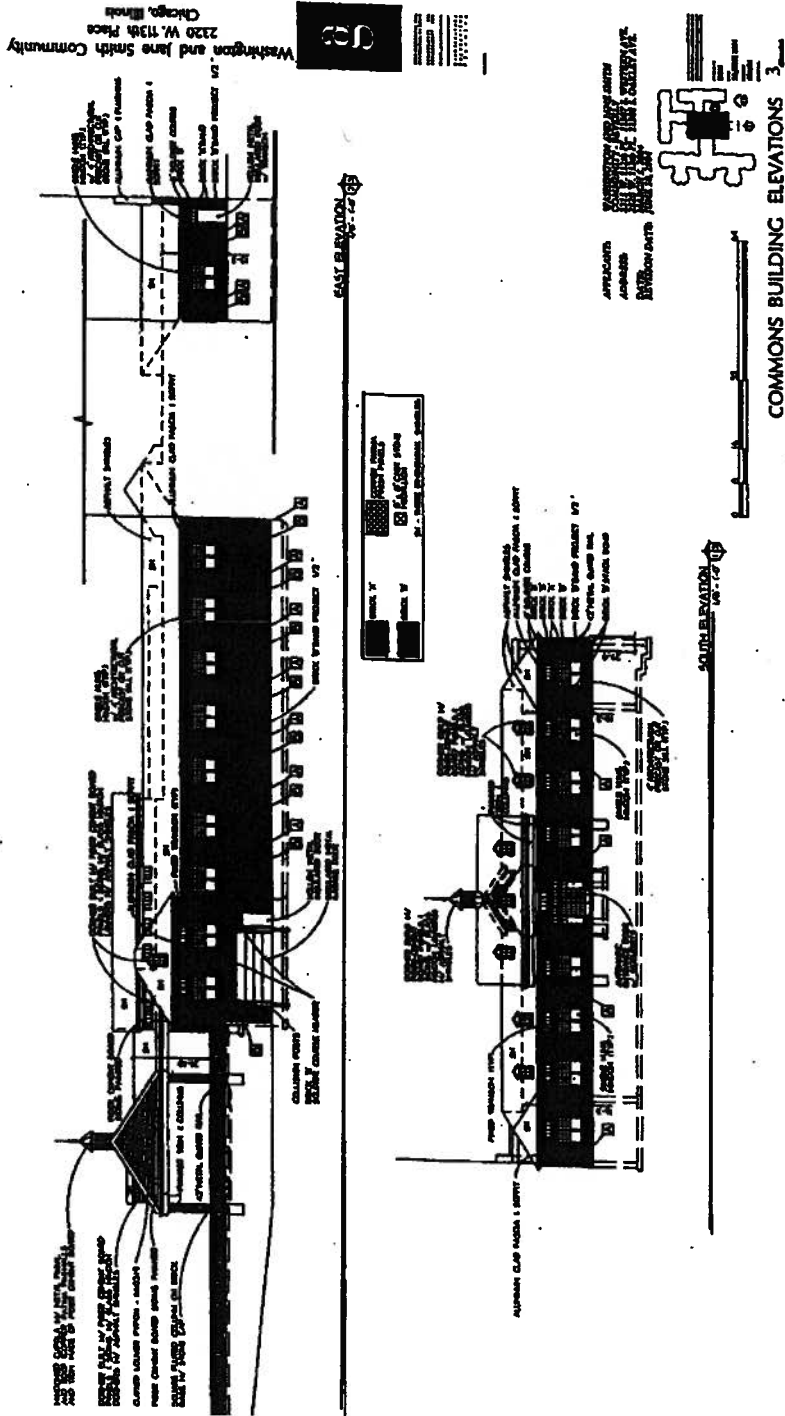
Washington and Jane Smith Community
2315 W. 112th Place
Chicago, Illinois



ARCHITECT
PLANNING
ENGINEERING
CONSULTANTS

ASSISTED LIVING BUILDING ELEVATIONS 2

Commons Building Elevations.



10/7/93

UNFINISHED BUSINESS

39813

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R3 General Residence District symbols and indications as shown on Map No. 26-E in the area bounded by:

a line 314 feet south of East 108th Street; the alley next east of and parallel to South Wabash Avenue; a line 344 feet south of East 108th Street; and South Wabash Avenue,

to those of an R4 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification Of Area Shown On Map Number 28-H.
(As Amended)*

PD 73 14

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Planned Development and R1 Single-Family Residence District symbols and indications as shown on Map No. 28-H in the area bounded by:

West 112th Place; South Oakley Avenue; a line 50.4 feet south of West 112th Place; a line 198.75 feet west of South Oakley Avenue; a line 100.4 feet south of West 112th Place; South Oakley Avenue; West 113th Place; and South Western Avenue,

to those of an Institutional Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development attached to this ordinance reads as follows:

Plan Of Development.

Institutional Planned Development Statements.

1. The area delineated as "Institutional Planned Development" consists of property identified in the drawing attached hereto entitled "Property Line and Right-of-Way Adjustment Map". The Institutional Planned Development is under the single designated control of The Washington and Jane Smith Home, an Illinois not-for-profit corporation.
2. The Applicant shall separately obtain all approvals such as any dedication or vacation of streets or alleys, that may be required.
3. The following uses shall be permitted within the area delineated herein as "Institutional Planned Development":
 - (A) Within Subarea A: Housing for the aged, housing for nurses, interns and residents, offices, parking, geriatric physical therapy and physical fitness facility and related uses; and
 - (B) Within Subarea B: Housing for up to four nurses, interns and staff of the institution, or any use permitted in the R1 Single-Family Residence District.
4. Off-street parking and loading facilities will be provided in compliance with this Plan of Development.
5. Circulation patterns will be designed to permit fire and emergency vehicle lanes as required by the Commissioners of Planning, Public Works and the Fire Department.
6. Business identification or advertising signs may be permitted within the area delineated herein as "Institutional Planned Development", subject to the review and approval of the Commissioner of Planning.
7. The height restrictions of any proposed structure shall not exceed any federal or local height restrictions.
8. The Plan of Development shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments" as promulgated by the Commissioner of Planning.

9. The improvements of the Property, including all entrances and exits to parking areas, shall be designed and constructed in substantial conformance with the Generalized Land Use Plan and Use and Bulk Regulations attached to this Plan of Development. In addition to the following development guidelines, any demolition or new development to occur in any subarea will require that entire subarea to be brought into conformance with the Chicago Landscape Ordinance.

Any alterations, additions or new structures constructed in Subarea B shall be compatible in scale, materials, colors and fenestration with the surrounding residential neighborhood.

10. Future Site Plan/Elevation Approval: A site plan and elevations for any demolition of existing structures or new building or parking areas to be constructed within this Planned Development shall be submitted to the Commissioner of the Department of Planning and Development for site plan and Part II approval pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance. The Applicant shall also give notice to the alderman that it intends to submit to the Commissioner a site plan and/or elevations for approval. Site plan and elevation approval is intended to assure that specific development proposals conform with the Planned Development Ordinance and to assist the City in monitoring ongoing development.

If a site plan and elevations substantially conform with the provisions of this Planned Development Ordinance, the Commissioner shall approve the site plan and elevations and shall issue written approval thereof to the Applicant within thirty (30) days of submission of the completed application. If the Commissioner determines within said thirty (30) day period that the site plan does not substantially conform with the provisions of this Planned Development Ordinance, the Commissioner shall advise the Applicant in writing regarding the specific reasons for such adverse determination and the specific areas in which the site plan or elevations do not conform to the provisions of this Planned Development Ordinance within fourteen (14) days and make a final written determination within said period. Following approval of the site plan and elevations by the Commissioner, the site plan and elevations shall be kept on permanent file with the Commissioner and shall be deemed to be an integral part of this Planned Development Ordinance.

After the Commissioner approves the site plan and elevations, the approved scheme may be changed or modified pursuant to the provisions of this Planned Development Ordinance. In the event of any inconsistency between an approved site plan and elevations and the terms of the Planned Development Ordinance in effect at the

time of approval of such site plan or of the modifications thereto, the terms of the Planned Development Ordinance shall govern.

The site plan and elevations for a new building to be constructed within the boundaries of Institutional Planned Development Number 73 shall, at a minimum, provide the following information:

- Building footprint;
 - Dimensions of all setbacks;
 - Location and depiction of all on-site parking spaces (including relevant dimensions);
 - Location and depiction of all loading berths (including relevant dimensions);
 - All building elevations (including indications of finish materials and all relevant dimensions); and
 - Statistics regarding the new building or buildings to be constructed in Institutional Planned Development Number 73, including:
 - (1) Floor area and floor area ratio as presented on submitted drawing;
 - (2) Number of parking spaces provided;
 - (3) Number of loading berths provided;
 - (4) The uses to occur in the building;
 - (5) Maximum building height;
 - (6) Setbacks and vertical setbacks, required and provided; and
 - (7) Traffic Generation Data to update and supplement previously submitted traffic impact studies, if the Chicago Department of Transportation deems it necessary.
11. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the request of

the Applicant and after a determination by the Commissioner that such a modification is minor, appropriate, and consistent with the nature of the development of the Property contemplated in this Planned Development Ordinance and will not result in increasing the maximum floor area ratio for the total property. Any such modification shall be deemed to be a minor change in the Planned Development Ordinance as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Notwithstanding the provisions of subclauses (4) and (5) of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes may include a reduction in the minimum required distance between structures, a reduction in periphery setbacks or an increase of the maximum percent of land covered.

12. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all new buildings located within this Planned Development in an energy efficient manner, generally consistent with most current energy efficiency standards published by the American Society of Heating, Refrigerating and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.

[Property Line and Right-of-Way Adjustment Map and Generalized Land Use Plan attached to this Plan of Development printed on pages 39819 and 39820 of this Journal.]

Use and Bulk Regulations and Data attached to this Plan of Development reads as follows:

Institutional Planned Development No. 73, As Amended.

Use And Bulk Regulations And Data.

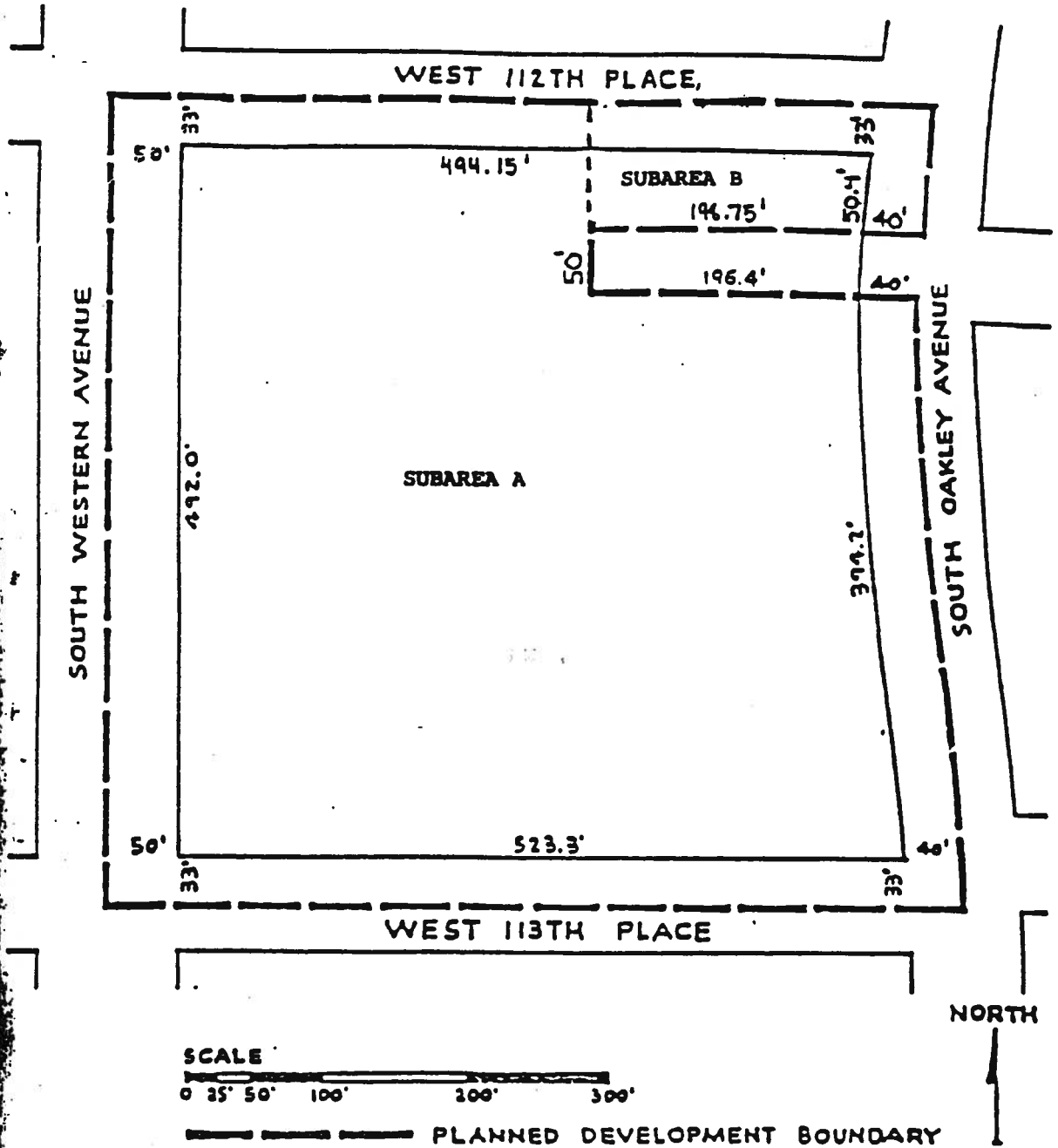
	Subarea A	Subarea B	Total
Net Site Area:	225,792 sq. ft.	9,868 sq. ft.	235,660 sq.ft.

	Subarea A	Subarea B	Total
General Description of Permitted Uses:	See Statement No. 3	See Statement No. 3	---
Maximum Floor Area Ratio:	1.2	.5	1.15
Maximum Site Coverage:	35%	35%	---
Minimum Number of Off-Street Parking Spaces:	42	2	44
Minimum Periphery Setback:	As existing, no change	As existing, no change	---

Setback and yard requirements may be adjusted where required to permit conformance to the pattern of, or architectural arrangements related to existing structures, or when necessary because of technical reasons, subject to the approval of the Department of Planning and Development.

Number of Persons Employed (and in the Property at the Same Time):	---	---	75
Number of Residents of the Home:	---	---	241

Property Line And Right-Of-Way Adjustments.
INSTITUTIONAL PLANNED DEVELOPMENT



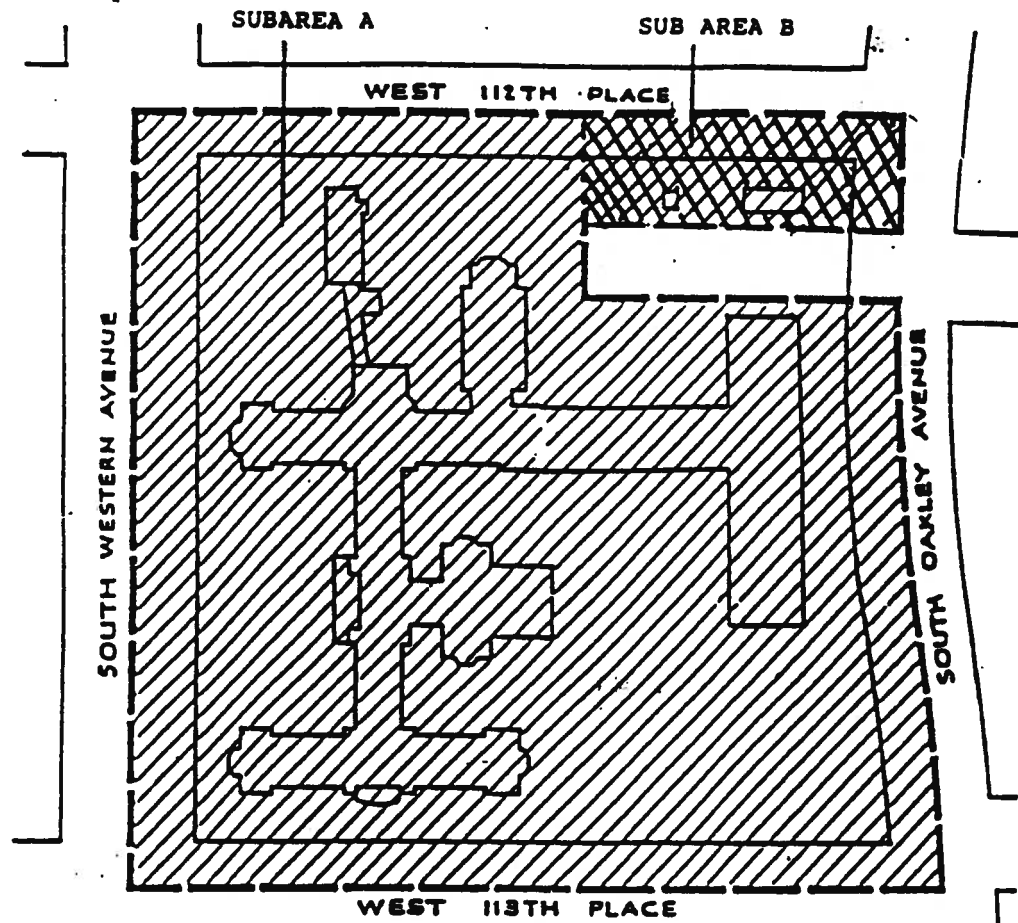
APPLICANT: THE WASHINGTON AND JANE SMITH HOME

DATE: JUNE 16, 1993

REVISED: September 2, 1993

Generalized Land Use Plan.

INSTITUTIONAL PLANNED DEVELOPMENT



SCALE:



NORTH

PLANNED DEVELOPMENT BOUNDARY

EXISTING BUILDINGS

SUBAREA A: HOUSING FOR THE AGED, HOUSING FOR NURSES, INTERNS AND RESIDENTS, OFFICES, PARKING, GERIATRIC PHYSICAL THERAPY AND PHYSICAL FITNESS FACILITY AND RELATED USES.

SUBAREA B: HOUSING FOR UP TO 6 NURSES, INTERNS AND STAFF, OR ANY USE PERMITTED IN THE R-1 SINGLE FAMILY RESIDENCE DISTRICT

APPLICANT: THE WASHINGTON AND JANE SMITH HOME
 PROPERTY ADDRESS: 2340 N. 113th PLACE and 11242 S. OAKLEY AVENUE, CHICAGO, ILLINOIS
 DATE: JUNE 18, 1983
 REVISED: SEPTEMBER 2, 1983

Reclassification of Area Shown on Map No. 17-H.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R1 Single Family Residence District symbols and indications as shown on Map No. 17-H in the area bounded by

the alley next north of and parallel to W. Pratt Avenue; a line 122 feet east of N. Western Avenue; W. Pratt Avenue; and a line 108 feet east of N. Western Avenue,

to those of a B4-2 Restricted Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 18-D.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R3 General Residence District and all the B4-2 Restricted Service District symbols and indications as shown on Map No. 18-D in the area bounded by

E. 75th Street; S. Harper Avenue; E. 75th Place; and a line 38 feet west of S. Harper Avenue,

to those of a C2-2 General Commercial District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 26-F.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R3 General Residence District symbols and indications as shown on Map No. 26-F in the area bounded by

a line 163 feet north of W. 111th Street; S. State Street; a line 132 feet north of W. 111th Street; and the alley next west of and parallel to S. State Street,

to those of a C1-1 Restricted Commercial District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 28-H.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R1 Single Family Residence District symbols and indications as shown on Map No. 28-H in the area bounded by

W. 112th Place; a line 290 feet east of S. Western Avenue; a line 100 feet south of W. 112th Place; S. Oakley Avenue; W. 113th Place; and S. Western Avenue,

to the designation of a Residential Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Plan of Development attached to this ordinance printed on pages 6433-6437 of this Journal]

Reclassification of Area Shown on Map No. 28-J.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R2 Single Family Residence District and all the B4-1 Restricted Service District symbols and indications as shown on Map No. 28-J in the area bounded by

W. 111th Street; S. Kedzie Avenue; a line 150 feet south of W. 111th Street; and S. Sawyer Avenue,

to those of a B4-2 Restricted Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Alderman Metcalfe moved to pass the two proposed ordinances transmitted with the committee's report, as amended by the committee, and as noted on page 6305 of the Journal of the Proceedings for October 29, 1969. The motion *Prevailed* and said two proposed ordinances *as so amended* were *Passed*, by yeas and nays as follows:

Yeas—Aldermen Roti, Hubbard, Metcalfe, Holman, Bohling, Lupo, Buchanan, Bilandic, Swinarski, Staszczuk, Burke, Krska, Sheridan, Shannon, Hines, Fitzpatrick, Frost, Kuta, Collins, Marzullo, Zydlo, Sain, Jambrone, Biggs, McMahan, Keane, Gabinski, Brandt, Sande, Laskowski, Aiello, Casey, Cullerton, Laurino, Scholl, Singer, Fifielski, Kerwin, Hoellen, O'Rourke, Wigoda, Sperling—42.

Nays—Aldermen Despres, Rayner, Cousins, Simon, McCutcheon—5.

Said two ordinances as passed read respectively as follows:

Reclassification of Area Shown on Map No. 9-H.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R3 General Residence District symbols and indications as shown on Map No. 9-H in the area bounded by

a line 70 feet north of the north line of the right of way of the C.T.A.; the alley next east of and parallel to N. Paulina Street; the north line of the right of way of the C.T.A.; and N. Paulina Street,

to those of a B2-2 Restricted Retail District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 22-E.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance
(Continued on page 6438)

73
Pass 11/27/69

PLAN OF DEVELOPMENT
RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)

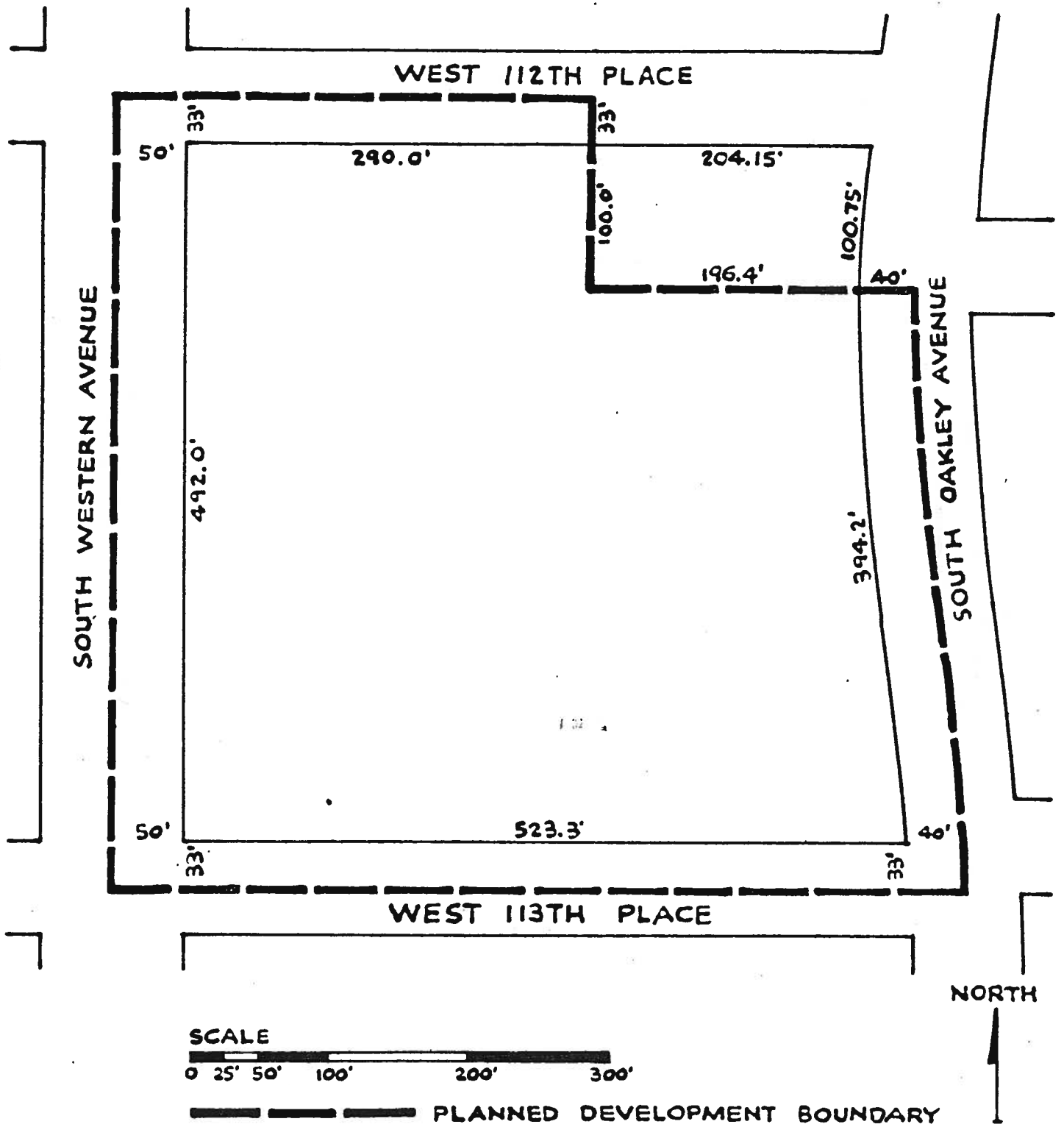
STATEMENTS

1. The area delineated hereon as a "Residential Planned Development" is owned and/or controlled by the Washington and Jane Smith Home.
2. Off-street parking and loading facilities will be provided in compliance with this Plan of Development as authorized by the R4 General Residence District of the Chicago Zoning Ordinance.
3. Any dedication of streets or alleys or adjustments of the rights of way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Washington and Jane Smith Home, and approval by the City Council.
4. All applicable official reviews, approvals or permits are required to be obtained by the Washington and Jane Smith Home.
5. Service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking permitted within such paved areas.
6. Use of land will consist of housing for the aged, and related uses as authorized by the Chicago Zoning Ordinance.
7. The following information sets forth data concerning the property included in said planned development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to an R4 General Residence District classification and with regulations hereby made applicable thereto.
8. The Plan of Development herewith attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments," as adopted by the Commissioner of Development and Planning.

APPLICANT: The Washington and Jane Smith Home

DATE: July 15, 1969

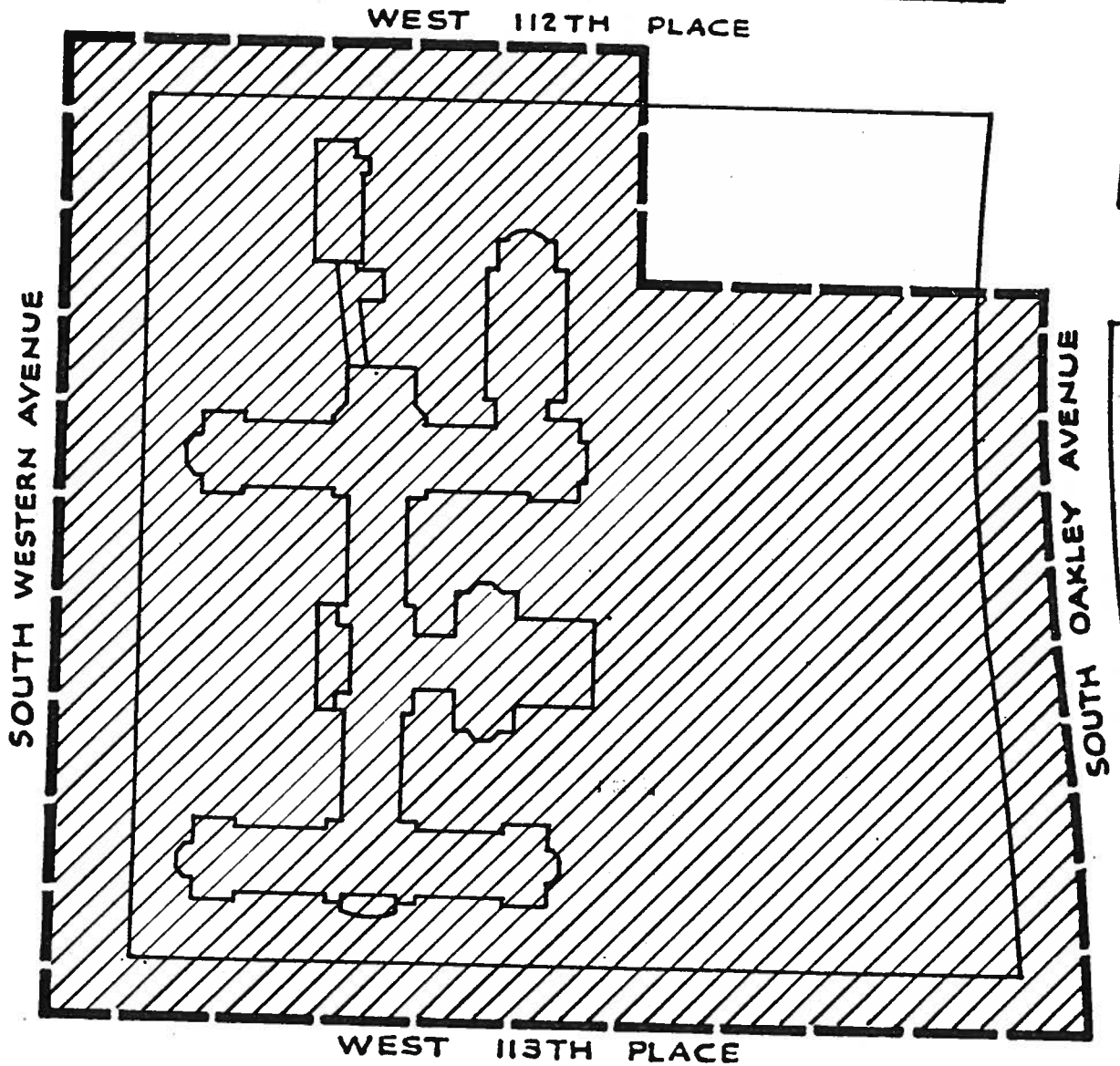
RESIDENTIAL PLANNED DEVELOPMENT
PROPERTY LINE AND RIGHT-OF-WAY ADJUSTMENTS



APPLICANT:
THE WASHINGTON AND JANE SMITH HOME

DATE: July 15, 1969

RESIDENTIAL PLANNED DEVELOPMENT
GENERALIZED LAND USE PLAN



SCALE :



NORTH

-  PLANNED DEVELOPMENT BOUNDARY
-  EXISTING BUILDINGS
-  HOUSING FOR THE AGED AND RELATED USES

APPLICANT:

THE WASHINGTON AND JANE SMITH HOME

DATE: July 15, 1969

Residential Planned Development

PLANNED DEVELOPMENT USE AND BULK REGULATIONS

NET SITE AREA		GENERAL DESCRIPTION OF LAND USE	MAXIMUM FLOOR AREA RATIO	MAXIMUM % OF LAND COVERAGE
SQUARE FEET	ACRES			
225,792	5.18	Housing for the Aged	1.2	30%

Gross Site Area = Net Site Area (5.18 Acres) + Area of Public Sts.(1.65 Acres)= 6.83 Acre

Maximum permitted F.A.R. for net site area: 1.2
 Number of persons employed: 70.
 Number of residents: 190.
 Minimum number of parking spaces 42.

Off-Street parking and loading requirements for proposed housing for the aged and related uses shall be provided as authorized by the R4 General Residence District of the Chicago Zoning Ordinance

Minimum periphery setbacks:
 Front yard.....15 ft.
 Side yard..... 8 ft.

Setback and yard requirements may be adjusted where required to permit conformance to the pattern of, or architectural arrangement related to existing structures, or when necessary, because of technical reasons, subject to the approval of the Department of Development and Planning.

APPLICANT: The Washington and Jane Smith Home

DATE: July 15th, 1969