

PD 643

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Reclassification Of Area Shown On Map No. 1-F.
(As Amended)
(Application No. 22104)
(Common Address: 320 N. Jefferson St., 650 W. Wayman St.,
740 W. Fulton Market And 331 N. Halsted St.)
[O2023-1231/SO2023-0001871]

RCPD 643,99

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Residential-Commercial Planned Development Number 643 ("P.D. 643") District symbols and indications as shown on Map Number 1-F in the area generally bounded by:

a line 287.46 feet south of and parallel to West Kinzie Street; a line 25 feet east of North Halsted Street; the south line of the RTA/Metra railroad right-of-way; North Jefferson Street; West Wayman Street; a line 90.51 feet east of North Halsted Street; West Fulton Market Street; and North Halsted Street,

to the designation of Residential-Commercial Planned Development Number 643, as amended, subject to the use and bulk regulations set forth in the Plan of Development attached hereto and made a part hereof.

SECTION 2. This ordinance takes effect after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Commercial Planned Development No. 643, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Residential-Commercial Planned Development Number 643, as amended (the "Planned Development") consists of approximately one hundred ninety-one thousand five hundred fourteen (191,514) square feet, or approximately 4.39 acres (net site area) of property which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way Adjustment Map (the "Property") and is owned or controlled by 740 Fulton LLC (the "Applicant"), CMC Heartland Partners, Kinzie Station Condominium Association, RTA/Metra and Chicago Self Storage II LLC. The purpose of this amendment is to remove Subarea E from the Planned Development. Subarea E is owned and controlled by Onni 357 North Green LLC.

2. The Applicant shall obtain all necessary official reviews, approvals or permits. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) is made or authorized by the Applicant or any homeowner's association or similar property owner's association which is formed to succeed the Applicant.
4. This plan of development consists of seventeen (17) Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map all prepared by Fitzgerald Associates Architects, dated July 18, 2002; a Site Plan for Subareas A -- D prepared by Pappageorge Haymes Ltd. and dated January 25, 2001; a Landscape Plan for Subareas A -- D prepared by Pappageorge Haymes Ltd. and dated January 25, 2001; and Building Elevations for Subareas A -- D prepared by Pappageorge Haymes Ltd. and dated January 25, 2001; a Site/Landscape Plan for Subarea D and Building Elevations for Subarea D prepared by Fitzgerald Associates Architects, dated July 18, 2002. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The Property within the Planned Development is divided into four (4) lettered Subareas (A -- D) as indicated on the Subarea Boundary Map. Subject to the Bulk Regulations and Data Table, the following uses are permitted on the Property under this Planned Development:

Any portion of the Property may be utilized on an interim basis for construction staging, the storage of construction materials and non-accessory parking for the various phases of development of the Property.

Subarea A:

Townhouses and multi-family residential units and accessory uses.

Subarea B:

Multi-family residential units and accessory uses. In addition, all permitted uses in the B4-5 Restricted Service District and ground floor residential uses shall be allowed; provided, however, that non-residential uses shall be limited to levels one (1) through four (4) above the West Wayman Street and North Desplaines Street levels, or the top floor of any high-rise structure.

Subarea C:

Public park and related uses.

Subarea D:

Multi-family residential units (including ground floor residential uses) and accessory uses; accessory parking; off-site accessory parking; non-accessory parking; and related uses. Further, all uses permitted in the M2-4 District shall be permitted in that portion of Subarea D currently used as a railroad right-of-way.

6. Temporary signs such as construction and marketing signs shall be permitted subject to the review and approval of the Department of Planning and Development. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development.
7. Off-street parking shall be provided in compliance with this Planned Development subject to the review and approval of the Departments of Transportation and Planning and Development. Except as specifically permitted in Subarea D, at no time shall parking spaces be sold or rented to persons not residing within the Planned Development boundaries. With respect to all residential units west of North Desplaines Street, a minimum of one (1) parking space shall be deeded along with each dwelling unit sold, with the exception of the twenty (20) affordable units sold under the City's CPAN program.
8. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in

effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development. In Subarea D, each unit purchaser, except the purchasers of any dwelling set aside by the Applicant as an affordable unit, shall be required to purchase a minimum of one (1) parking space.

9. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. The improvements on the Property, the landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations.
11. The Applicant acknowledges that there is a lack of improved public open space in the immediate area and that the proposed development will create demand for new neighborhood parks and recreational facilities. The Applicant will therefore voluntarily donate to the City of Chicago a parcel of land containing approximately eleven thousand six hundred seven (11,607) square feet (zero and twenty-seven hundredths (0.27) acre), located generally at the northwest corner of North Union Avenue and West Wayman Street, for use as a public park. The donation of said parcel of land shall be made at the time the City vacates or otherwise closes to traffic that part of North Union Avenue adjacent to said parcel of land.
12. For purposes of maximum floor area ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining FAR permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical equipment in excess of five thousand (5,000) square feet in a single location, regardless of placement in the building, shall be excluded.
13. The terms, conditions and exhibits of this Planned Development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements by the Commissioner of the Department of Planning and Development

shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air-Conditioning Engineers and the Illuminating Engineering Society.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office of People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the director of MOPD has approved detailed construction drawings for each building or improvement.
16. In order to ensure that the Property is adequately served with school, library, police, fire and emergency services and facilities as it develops, the Applicant shall cooperate with the City in providing such information and documentation, from time to time upon the City's request, with regard to completed and anticipated development as may be appropriate to assist the City and other governmental bodies in assessing the need for such additional services and facilities.
17. With respect to Subarea D, unless substantial construction of the improvements contemplated by this amendment to RBPD Number 643 have commenced within six (6) years of the date of City Council approval of the amendment to RBPD Number 643, then the zoning of the Property within said Subarea D shall automatically revert to the former C3-5 Commercial-Manufacturing Zoning District. With respect to Subareas A, B and C, the provisions of Statement Number 17 of RBPD Number 643, as approved on March 7, 2001, shall apply.

[Existing Zoning Map; General Land-Use Map; and
Boundary and Property Line Map referred to in
these Plan of Development Statements
printed on pages 1067 through
1069 of this *Journal*.]

6/21/2023

REPORTS OF COMMITTEES

22104
1065

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads follows:

Residential-Commercial Planned Development No. 643, As Amended.

Bulk Regulations And Data Table.

Gross Site Area, 267,146 square feet (6.13 acres) = Net Site Area, 191,514 square feet (4.39 acres) + Area Remaining in Public Right-of-Way, 75,632 square feet (1.73 acres).

Maximum Permitted Floor Area Ratio:

Subarea A:	1.58
Subarea B:	8.21
Subarea C:	1.00
Subarea D:	2.50

Maximum Number of Dwelling Units:

Subarea A:	29
Subarea B:	421
Subarea C:	Not applicable
Subarea D:	132
Total:	582

Minimum Setbacks: In accordance with the Site Plan

Maximum Site Coverage: In accordance with the Site Plan

Minimum Number of Off-Street
Parking Spaces:

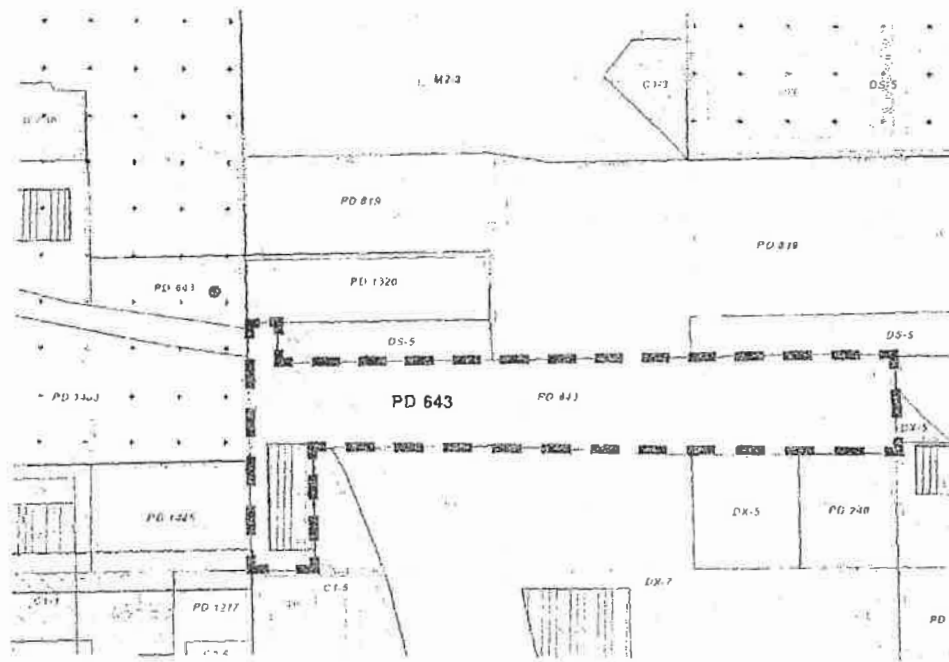
Subareas A and B:	Parking shall be provided at a minimum ratio of 1.15 parking spaces per dwelling unit
Subarea C:	None
Subarea D:	208 plus 20 tandem parking spaces total 65 surface parking spaces to serve 126 North Desplaines Street 142 + 20 tandem parking spaces within 740 West Fulton Market Building 31 parking spaces shall be non-accessory In the event fewer units are constructed, fewer parking spaces shall be required, however, a minimum 1:1 parking ratio to each dwelling unit shall be maintained

Maximum Number of Off-Street
Loading Spaces:

Subarea A:	0
Subarea B:	2
Subarea C:	Not applicable
Subarea D:	1
Total:	3

Maximum Building Height: In accordance with the Building Elevations

**FINAL FOR
PUBLICATION**

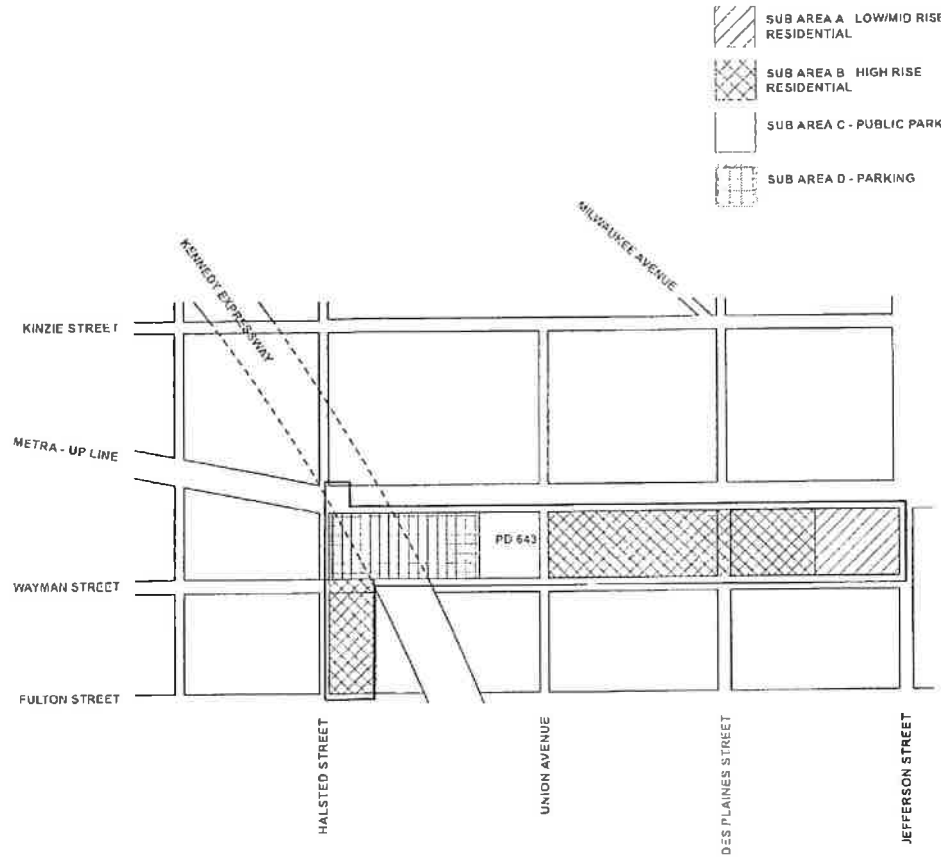


EXISTING ZONING MAP

Applicant: ONNI 357 NORTH GREEN, LLC.
Address: 357-359 NORTH GREEN STREET
Introduced: March 15, 2023
Plan Commission: JUNE 15, 2023



FINAL FOR PUBLICATION



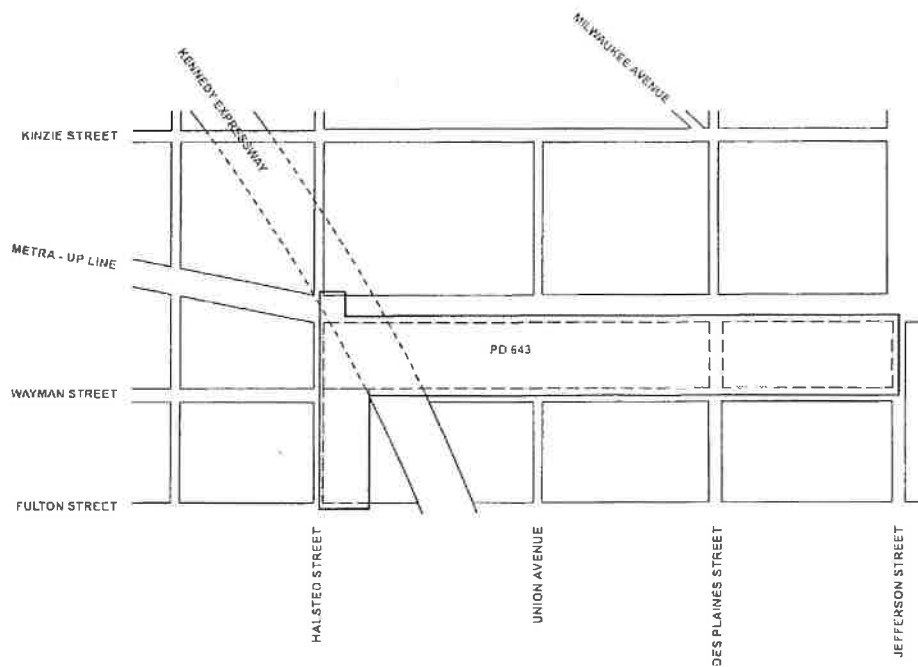
GENERAL LAND USE PLAN

Applicant: ONNI 357 NORTH GREEN, LLC.
Address: 357-359 NORTH GREEN STREET
Introduced: March 15, 2023
Plan Commission: JUNE 15, 2023

0' 125' 250'

2022 SUTHERLAND GRADWELL BOSTON

**FINAL FOR
PUBLICATION**



PD BOUNDARY AND PROPERTY LINE MAP

Applicant: ONNI 357 NORTH GREEN, LLC
Address: 357-359 NORTH GREEN STREET
Introduced: March 15, 2023
Plan Commission: JUNE 15, 2023





City of Chicago
Richard M. Daley, Mayor

Department of Zoning and
Land Use Planning

Patricia A. Scudiero
Commissioner

City Hall, Room 905
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-5777 (Voice)
(312) 744-6552 (FAX)
(312) 744-2950 (TTY)

<http://www.cityofchicago.org>

March 12, 2010

Mr. Douglas Cha
Permit Consulting, Inc.
1401 S. State Street
Suite 706
Chicago, IL 60605

**Re: Administrative Relief Request for Residential Commercial Planned
Development No. 643, Sub area B, 334 N. DesPlaines Street**

Dear Mr. Cha:

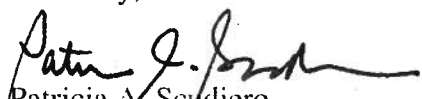
Please be advised that your request for a minor change to Residential Commercial Planned Development No. 643, as amended, has been considered by the Department of Zoning and Land Use Planning pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development (PD).

Mr. Woon Park, owner of Trio Park Cleaners, operates a drop-off dry cleaners at 334 N. DesPlaines St., as permitted by the PD. Mr. Park is requesting to install a boiler, press machine and wet wash machine (washer and dryer) in order to minimize expenses that are outsourced. There will be no dry cleaning equipment installed and no dry cleaning on premise. Employees of Trio Park Cleaners will press and provide laundry service to their customers. These services will not be available to the public via coin operation but operated by employees only.

With regard to your request, the Department of Zoning and Land Use Planning has determined that allowing Trio Park Cleaners to install the above-referenced equipment, for use by their employees only, will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Commercial Planned Development No. 643, I hereby approve this minor change, but no other changes to this Planned Development.

Sincerely,


Patricia A. Scudiero
Commissioner

PAS:HG:tm
c: Mike Marmo, Erik Glass, Main file





City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)

<http://www.cityofchicago.org>

February 20, 2008

Mr. Benjamin Kennedy
Hartshorne Plunkard Architecture
232 North Carpenter
Chicago, Illinois 60607

Re: Administrative Relief request for Residential Commercial Planned Development No. 643, as amended, Subarea B, 650, 660 and 670 West Wayman Street

Dear Mr. Kennedy:

Please be advised that your request for a minor change to Residential Commercial Planned Development No. 643, as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development.

Specifically, you are requesting the following changes:

- Extend the floor over the "Open to Below" area on the upper level of four (4) duplex penthouse units. This additional 975 square feet, combined with the current floor area of 249,102 square feet results in a total of 250,077 square feet, less than the 255,080 square feet allowed.
- Revise the window mullion spacing and quantity on all four elevations of the High-Rise building only.
- Remove one parking space on the first floor of the High-Rise building, resulting in a reduction from 239 to 238 spaces.
- Reduce the width of the W. Wayman St. parkway planting area from 8'-0" to 4'-6" as required and approved by CDOT on July 13, 2007.

The following drawings, prepared by Hartshorne Plunkard Architecture, and dated August 23, 2007, shall be inserted into the main file:

A0.01	Site Plan
A1.01.W	1st Floor Plan West & Mailroom Blowups
A2.00	High-Rise South Elevation
A2.01	Mid-Rise South Elevation
A2.02	High-Rise East Elevation
A2.03	Mid-Rise Courtyard Elevations
A2.04	Mid-Rise East Elevation
A2.05	High-Rise North Elevation
A2.06	Mid-Rise North Elevation
A2.07	High-Rise West Elevation

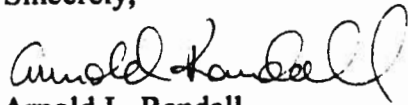
NEIGHBORHOODS



With regard to your request, the Department of Planning and Development has determined that permitting these changes does not create an adverse impact on the Planned Development or surrounding neighborhood, does not change the character of the development and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Commercial Planned Development No. 643, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

Sincerely,



Arnold L. Randall
Commissioner

ALR:SA:tm

cc: Terri Haymaker, Mike Marmo, Pat Haynes, Erik Glass, DPD files



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Denise M. Casalino, P.E.
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
<http://www.cityofchicago.org>

July 23, 2004

Mr. Bernard Citron
Schain, Burney, Ross & Citron, Ltd.
222 North LaSalle Street - Suite 1000
Chicago, IL 60601

Re: Request for administrative amendment to Residential
Commercial Planned Development No. 643 located at
650 West Wayman Street, Chicago, IL

Dear Mr. Citron:

Please be advised that your request for a administrative amendment to Residential Commercial Planned Development No. 643 has been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development.

The subject property is on a portion of the above-captioned Planned Development and is bounded by Wayman Street on the south, DesPlaines Avenue on the east and the future site of a proposed Jewel/Osco north of the site. The original Planned Development allowed for this subarea ("B") 421 dwelling units and a maximum Floor Area Ratio of 8.21.

The Department recognizes the request for the following amendment:

- Subarea B to be developed with three condominium towers for a total of 209 residential dwelling units, 9,500 square feet of retail space and 242 parking spaces. The total gross square footage of the new construction would be 307,000 and would result in a Floor Area Ratio of 4.37. These changes are reflected in drawings dated May 20, 2004 and prepared by Hartshore and Plunkard Architecture.

With regard to your request, the Department of Planning and Development has determined that this revision to the Planned Development would constitute a minor change pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and this Planned Development, I hereby approve the foregoing minor change, but no other changes to Residential Commercial Planned Development No. 643

Very Truly Yours,

Denise M. Casalino, P.E.
Commissioner

Originated By: Tim Bleuher

cc: Terry Haymaker, Nori Bleiman, Mike Marmo, Pat Haymes



The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Number 1-F And 1-G.
(As Amended)
(Application Number 13576)

Be It Ordained by the City Council of the City Of Chicago: RCPD 643 99

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential-Commercial Planned Development 643 and C3-5 Commercial-Manufacturing District symbols and indications as shown on Map Numbers 1-F and 1-G in the area bounded by:

a line 137.04 feet south of West Kinzie Street; North Halsted Street; the north line of R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; a line 25 feet east of North Halsted Street; the south line of the R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; North Jefferson Street; West Wayman Street; North Halsted Street; the south line of the R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; a line 25 feet west of North Halsted Street; the north line of the R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; North Green Street; the north line of West Wayman Street; a line 90.51 feet east of North Halsted Street; West Fulton Market; and North Halsted Street,

to those of Residential-Commercial Planned Development Number 654, ⁶⁴³ as amended, which is hereby established in the area described above and subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Commercial Planned Development Number 643, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Residential-Commercial Planned Development Number 643, as amended (the "Planned Development") consists of approximately two hundred twenty-three thousand two hundred fifty-eight (223,258) square feet (five and thirteen hundredths (5.13) acres) (net site area) of property which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way Adjustment Map (the "Property") and is owned or controlled by 740 Fulton, L.L.C. (the "Applicant"), CMC Heartland Partners, Kinzie Station Condominium Association, R.T.A./Metra and Chicago Self Storage II, L.L.C.
2. The Applicant shall obtain all necessary official reviews, approvals or permits. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) is made or authorized by the Applicant or any homeowner's association or similar property owner's association which is formed to succeed the Applicant.
4. This Plan of Development consists of seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Right-of-Way Adjustment Map all prepared by Fitzgerald Associates Architects, dated July 18, 2002; a Site Plan for Subareas A -- D prepared by Pappageorge Haymes, Ltd. and dated January 25, 2001; a Site Plan, Landscape Plan and Building Elevations for Subarea E prepared by

Timothy Morgan and Associates and dated January 25, 2001; a Landscape Plan for Subareas A -- D prepared by Pappageorge Haymes, Ltd. and dated January 25, 2001; and Building Elevations for Subareas A -- D prepared by Pappageorge Haymes, Ltd. and dated January 25, 2001; a Site/Landscape Plan for Subarea D and Building Elevations for Subarea D prepared by Fitzgerald Associates Architects, dated July 18, 2002. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The Property within the Planned Development is divided into five (5) lettered Subareas (A -- E) as indicated on the Subarea Boundary Map. Subject to the Bulk Regulations and Data Table, the following uses are permitted on the Property under this Planned Development:

Any portion of the Property may be utilized on an interim basis for construction staging, the storage of construction materials and non-accessory parking for the various phases of development of the Property.

Subarea A: Townhouses and multi-family residential units and accessory uses.

Subarea B: Multi-family residential units and accessory uses. In addition, all permitted uses in the B4-5 Restricted Service District and ground floor residential uses shall be allowed; provided, however, that non-residential uses shall be limited to levels one (1) through four (4) above the West Wayman Street and North Desplaines Street levels, or the top floor of any high-rise structure.

Subarea C: Public park and related uses.

Subarea D: Multi-family residential units (including, ground floor residential uses) and accessory uses; accessory parking; off-site accessory parking; non-accessory parking; and related uses. Further, all uses permitted in the M2-4 District shall be permitted in that portion of Subarea D currently used as a railroad right-of-way.

Subarea E: Storage uses, including self storage and general storage, telecommunications uses, high technology uses, railroad rights-of-way and related uses. In addition, all permitted uses in the C3-4 Commercial-Manufacturing District shall be allowed. Further, all uses permitted in Planned Manufacturing District Number 4 shall be permitted in that portion of Subarea E currently used as a railroad right-of-way.

6. Temporary signs such as construction and marketing signs shall be permitted subject to the review and approval of the Department of Planning and Development. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development.
7. Off-street parking shall be provided in compliance with this Planned Development subject to the review and approval of the Departments of Transportation and Planning and Development. Except as specifically permitted in Subarea D, at no time shall parking spaces be sold or rented to persons not residing within the Planned Development boundaries. With respect to all residential units west of North Desplaines Street, a minimum of one (1) parking space shall be deeded along with each dwelling unit sold, with the exception of the twenty (20) affordable units sold under the City's CPAN program.
8. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved, areas. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development. In Subarea D, each unit purchaser, except the purchasers of any dwelling set aside by the Applicant as an affordable unit, shall be required to purchase a minimum of one (1) parking space.
9. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. The improvements on the Property, the landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations.
11. The Applicant acknowledges that there is a lack of improved public open space in the immediate area and that the proposed development will create demand for new neighborhood parks and recreational facilities. The Applicant will therefore voluntarily donate to the City of Chicago a parcel of land containing approximately eleven thousand six hundred seven (11,607) square feet (zero and twenty-seven hundredths (0.27) acres), located generally at the northwest corner of North Union and West Wayman Streets, for use as a public park. The donation of said parcel of

land shall be made at the time the City vacates or otherwise closes to traffic that part of North Union Avenue adjacent to said parcel of land.

12. For purposes of maximum floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical equipment in excess of five thousand (5,000) square feet in a single location, regardless of placement in the building, shall be excluded.
13. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air Conditioning Engineers and the Illuminating Engineering Society.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office of People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
16. In order to ensure that the Property is adequately served with school,

library, police, fire and emergency services and facilities as it develops, the Applicant shall cooperate with the City in providing such information and documentation, from time to time upon the City's request, with regard to completed and anticipated development as may be appropriate to assist the City and other governmental bodies in assessing the need for such additional services and facilities.

17. With respect to Subarea D, unless substantial construction of the improvements contemplated by this amendment to R.B.P.D. Number 643 have commenced within six (6) years of the date of City Council approval of the amendment to R.B.P.D. Number 643, then the zoning of the Property within said Subarea D shall automatically revert to the former C3-5 Commercial-Manufacturing Zoning District. With respect to Subareas A, B, C and E, the provisions of the Statement Number 17 of R.B.P.D. Number 643, as approved on March 7, 2001 shall apply.

[Existing Zoning Map; Kinzie Station Phase II Site Plan; Building Elevations; Generalized Land-Use Plan; Existing Land-Use Map; Existing Land-Use Map -- Key Notes; Property Line and Right-of-Way Adjustment Map; Site Plan; and Basement Floor Plan referred to in these Plan of Development Statements printed on pages 91697 through 91712 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Commercial Planned Development Number 643, As Amended.

Bulk Regulations And Data Table.

Gross Site Area, 307,116 square feet (7.05 acres) = Net Site Area, 223,258 square feet (5.13 acres) + Area Remaining in Public Right-of-Way, 83,858 square feet (1.92 acres).

**Maximum Permitted
Floor Area Ratio:**

Subarea A:	1.58.
Subarea B:	8.21.
Subarea C:	1.00.
Subarea D:	2.50.
Subarea E:	5.00.
Blended Total:	4.50.

**Maximum Number of
Dwelling Units:**

Subarea A:	29.
Subarea B:	421.
Subarea C:	NA.
Subarea D:	132.
Subarea E:	NA.
Total:	582.

Minimum Setbacks:

In accordance with the Site Plan.

Maximum Site Coverage:

In accordance with the Site Plan.

**Minimum Number of Off-
Street Parking Spaces:**

Subarea A and B: Parking shall be provided at a minimum ratio of 1.15 parking spaces per dwelling unit.

Subarea C: None.

Subarea D: 208 plus 20 tandem parking spaces total.

65 surface parking spaces to serve 126 North Desplaines Street.

142 + 20 tandem parking spaces within 740 West Fulton Street building.

31 parking spaces shall be non-accessory.

In the event fewer units are constructed, fewer parking spaces shall be required, however, a minimum 1:1 parking ratio to each dwelling unit shall be maintained.

Subarea E: 6 parking spaces.

Minimum Number of Off-Street Loading Spaces:

Subarea A: 0.

Subarea B: 2.

Subarea C: NA.

Subarea D: 1.

Subarea E: 0.

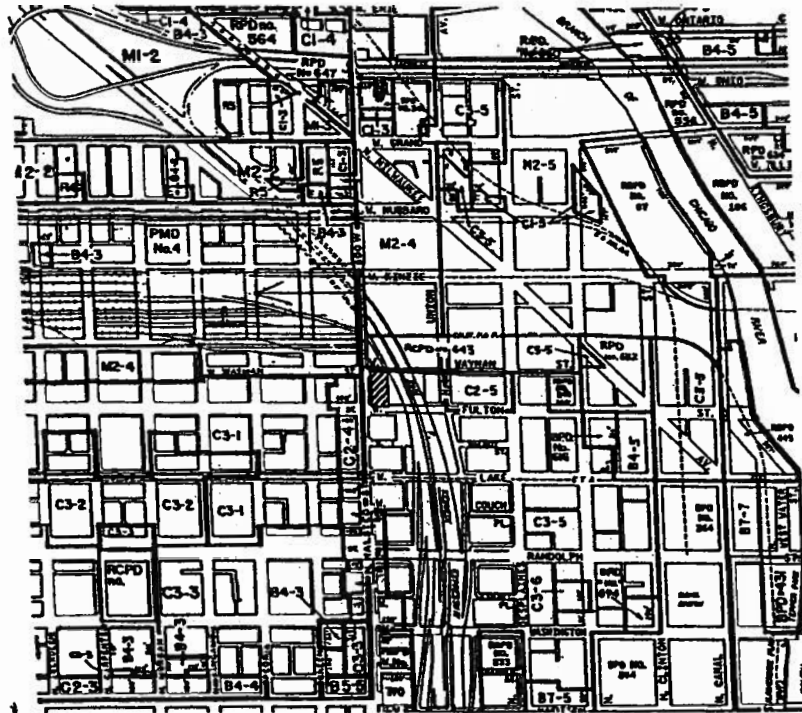
Total: 3.

Maximum Building Height:

In accordance with the Building Elevations.

Existing Zoning Map.

RESIDENTIAL AND COMMERCIAL PLANNED DEVELOPMENT
NO.643 AS AMENDED EXISTING ZONING MAP



INDICATES PROPERTY
FOR PLANNED DEVELOPMENT 

APPLICANT: 740 FULTON L.L.C
ADDRESS: 357 W. CHICAGO AVE
CHICAGO, IL 60610

DATE: 02-6-02
REVISED: 07-18-02

7/31/2002

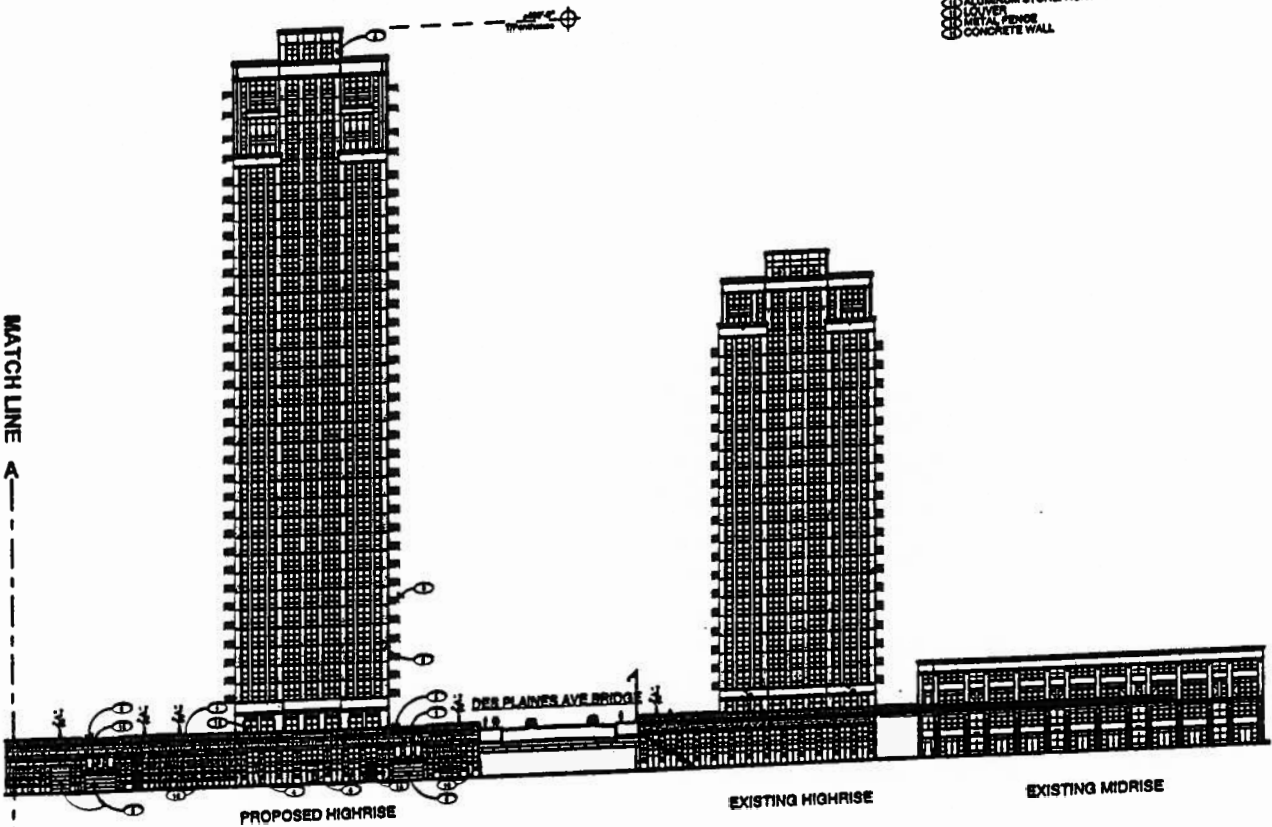
REPORTS OF COMMITTEES

91699

South Building Elevation -- Eastern Portion.

DATE FOR PUBLICATION
MATERIAL LEGEND

- BRICK WITH STONE TRIM
- CAST IN PLACE CONCRETE WITH PIGMENTED COATING
- BRONZE
- DIRECT-APPLIED EXTERIOR FINISH SYSTEM
- ARCHITECTURAL METALWORK GUARDRAIL
- OVERHEAD DOORS
- CMU WITH STONE TRIM
- ALUMINUM BALCONY RAILING
- ARCHITECTURAL METALWORK CANOPY
- MASONRY RECESS
- CONCRETE SPANDREL WALL W/ PLANTER
- ALUMINUM STOREFRONT
- LOUVER
- METAL FENCE
- CONCRETE WALL



APPLICANT: CMC HEARTLAND PARTNERS
339 N. JEFFERSON ST., SUITE # 305
CHICAGO, ILLINOIS 60610

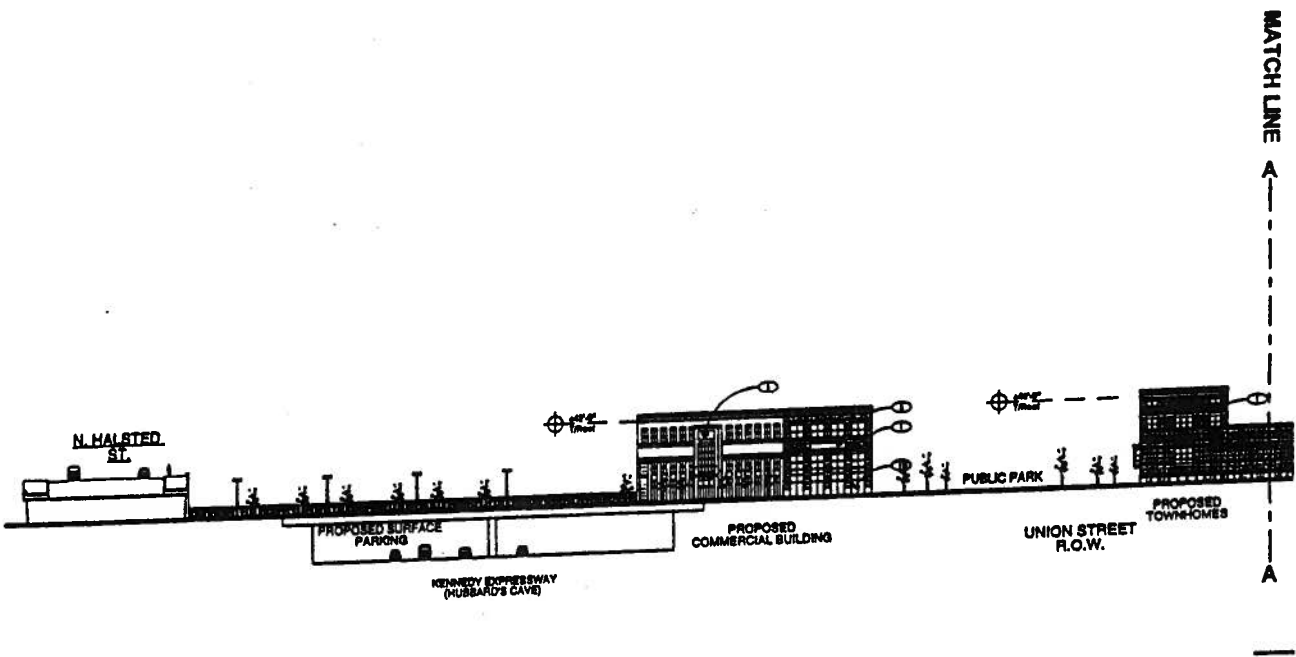
DATE: DECEMBER 15, 1999
REVISED: JULY 18, 2002

South Elevation - Eastern portion

South Building Elevation -- Western Portion.

MATERIAL LEGEND/NOTATION

- BRICK WITH STONE TRIM
- CAST IN PLACE CONCRETE WITH PIGMENTED COATING
- BRICK
- BRICK APPLIED EXTENSION FIBER SYSTEM
- ARCHITECTURAL METALWORK GUARDRAIL
- OVERHEAD DOORS
- GULI WITH STONE TRIM
- ALUMINUM BALCONY RAILING
- ARCHITECTURAL METALWORK CANOPY
- MASONRY PIERCE
- CONCRETE SPANDREL WALL W/ PLANTER
- ALUMINUM STOREFRONT
- LOUVER
- METAL FENCE
- CONCRETE WALL



South Elevation - Western portion

APPLICANT: CMC HEARTLAND PARTNERS
 330 N. JEFFERSON ST., SUITE # 205
 CHICAGO, ILLINOIS 60610

DATE: DECEMBER 15, 1999
 REVISION: JULY 18, 2002

7/31/2002

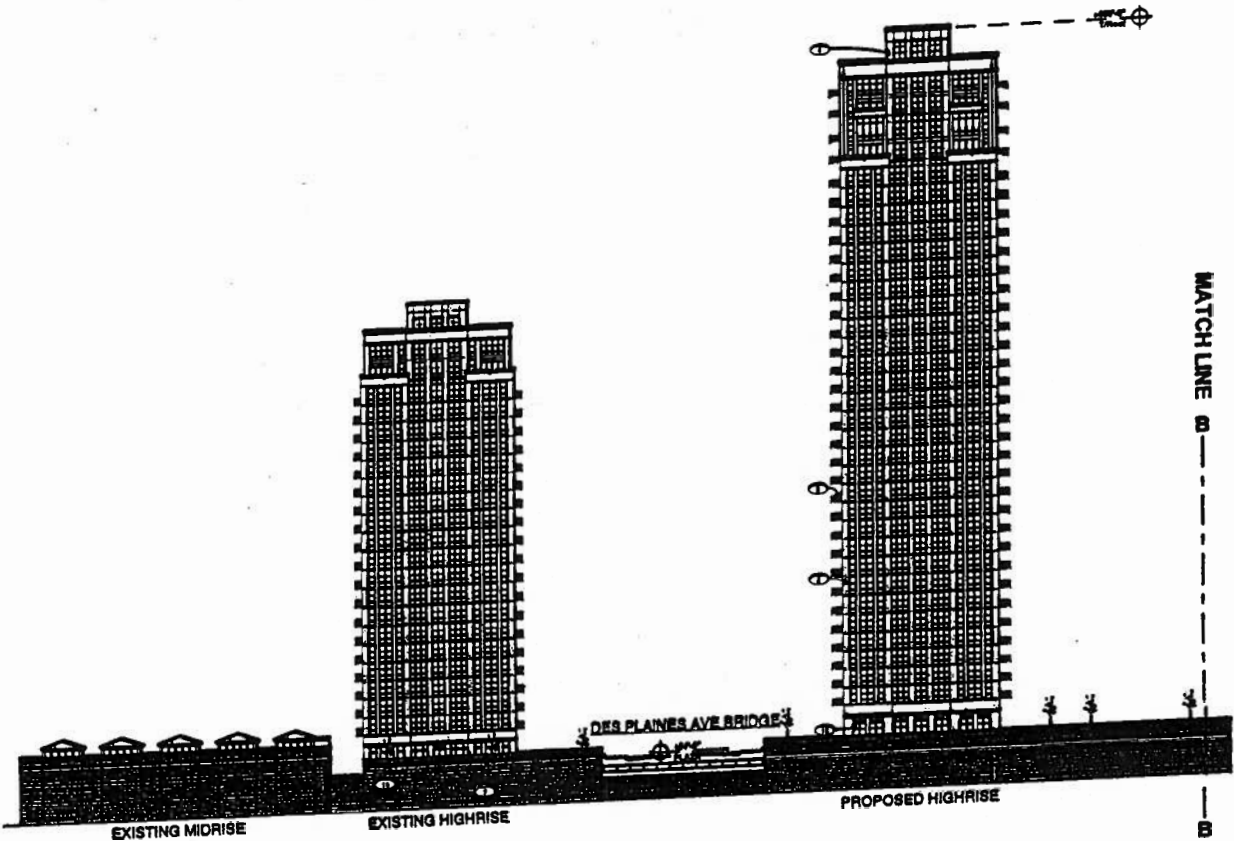
REPORTS OF COMMITTEES

91701

North Building Elevation -- Eastern Portion.

MATERIAL LEGEND

- BRICK WITH STONE TRIM
- CAST IN PLACE CONCRETE WITH PIGMENTED COATING
- BRICK
- BRICK - APPLIED EXTERIOR FINISH SYSTEM
- ARCHITECTURAL METALWORK GUARDRAIL
- OVERHEAD DOORS
- CURU WITH STONE TRIM
- ALUMINUM BALCONY RAILING
- ARCHITECTURAL METALWORK CANOPY
- MASONRY RECESS
- CONCRETE SPANDREL WALL W/ PLANTER
- ALUMINUM STOREFRONT
- GLASS
- METAL FENCE
- CONCRETE WALL



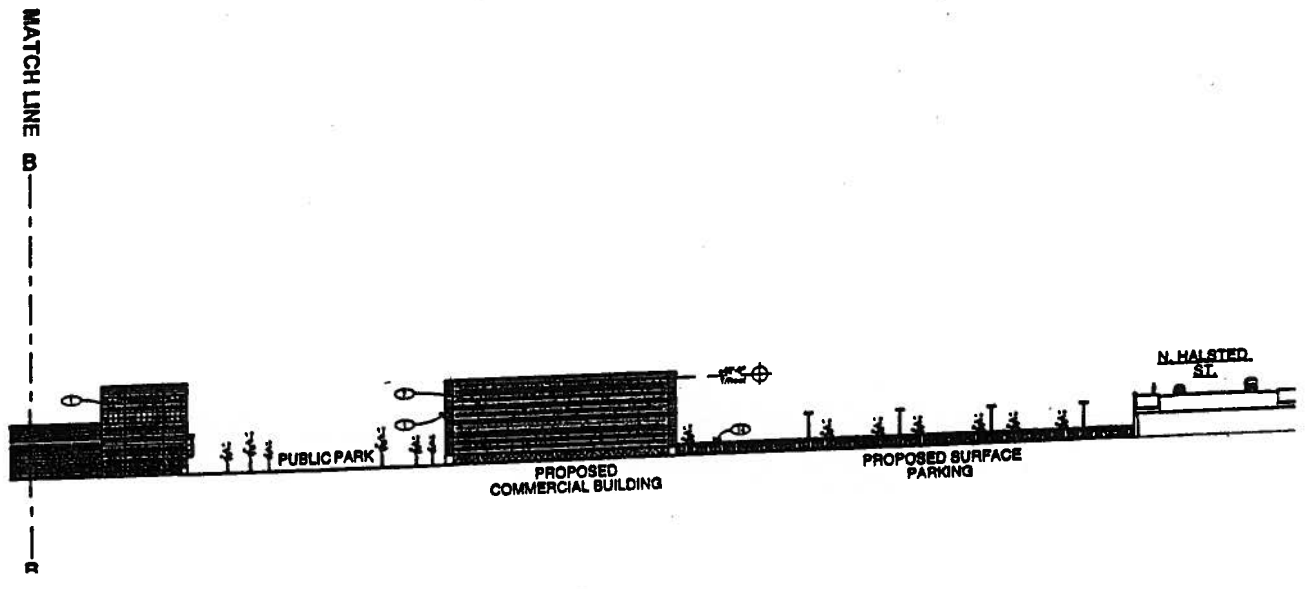
APPLICANT: CHIC HEARTLAND PARTNERS
330 N. JEFFERSON ST., SUITE # 305
CHICAGO, ILLINOIS 60610

DATE: DECEMBER 15, 1999
REVISED: JULY 18, 2002

North Elevation - Eastern portion

North Building Elevation -- Western Portion.

- MATERIAL LEGEND**
- ⊙ BRICK WITH STONE TRIM
 - ⊙ CAST IN PLACE CONCRETE WITH PRIME/MENT COATING
 - ⊙ FINISH
 - ⊙ DIRECT APPLIED EXTERIOR FINISH SYSTEM
 - ⊙ ARCHITECTURAL METALWORK GUARDRAIL
 - ⊙ ARCHITECTURAL METALWORK CANOPY
 - ⊙ OVERHEAD DOORS
 - ⊙ SHU WITH STONE TRIM
 - ⊙ ALUMINUM BALCONY RAILING
 - ⊙ ARCHITECTURAL METALWORK CANOPY
 - ⊙ MASONRY PIECES
 - ⊙ CONCRETE SPANDREL WALL W/ PLANTER
 - ⊙ ALUMINUM STOREFRONT
 - ⊙ LOUVER
 - ⊙ METAL FENCE
 - ⊙ CONCRETE WALL



APPLICANT: CMC HEARTLAND PARTNERS
 330 N. JEFFERSON ST., SUITE # 305
 CHICAGO, ILLINOIS 60610

DATE: DECEMBER 15, 1999

REVISED: July 18, 2002

North Elevation - Western portion

7/31/2002

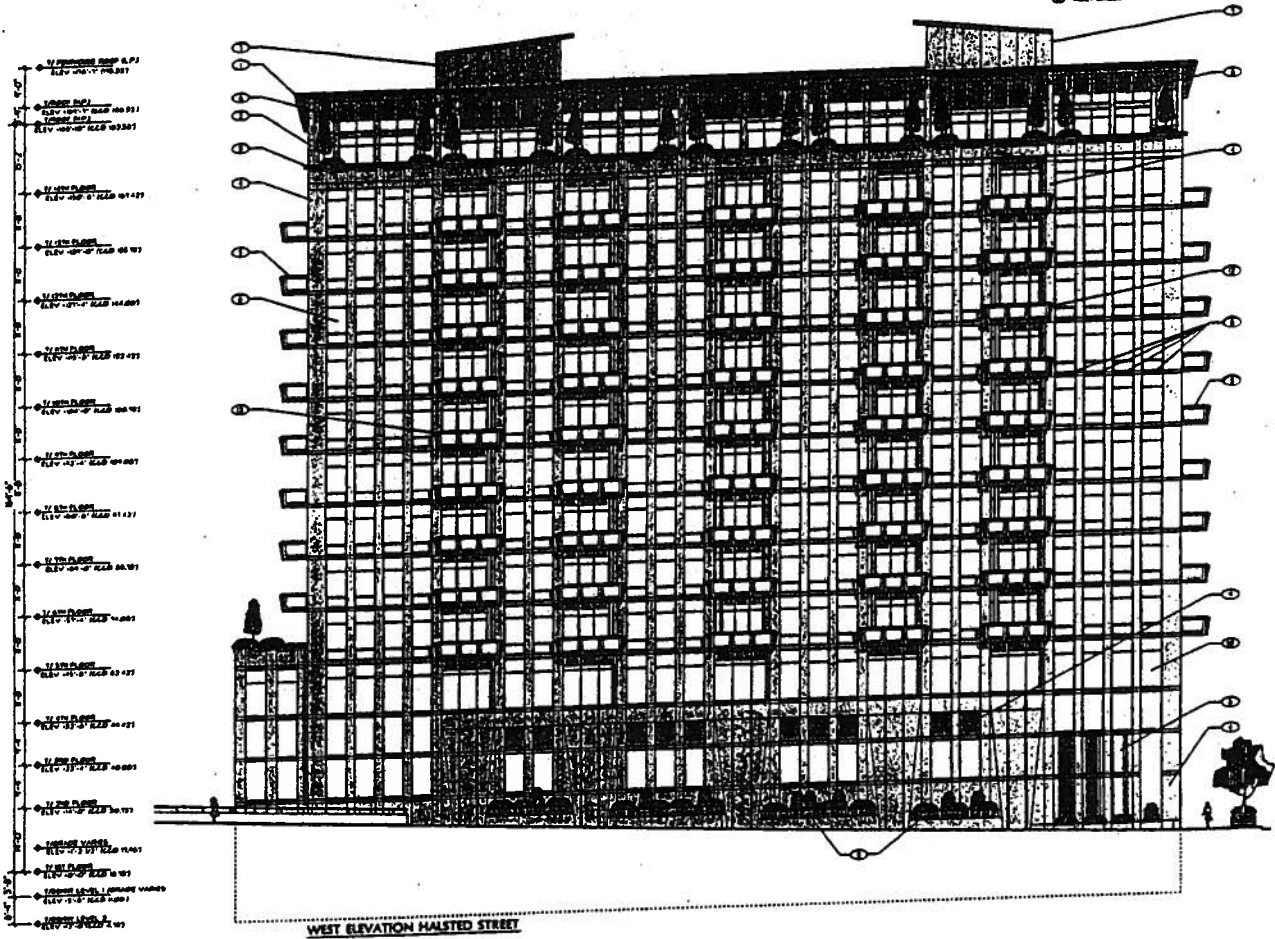
REPORTS OF COMMITTEES

91703

West Building Elevation -- Halsted Street.

KEYTAG NOTES THIS SHEET ONLY

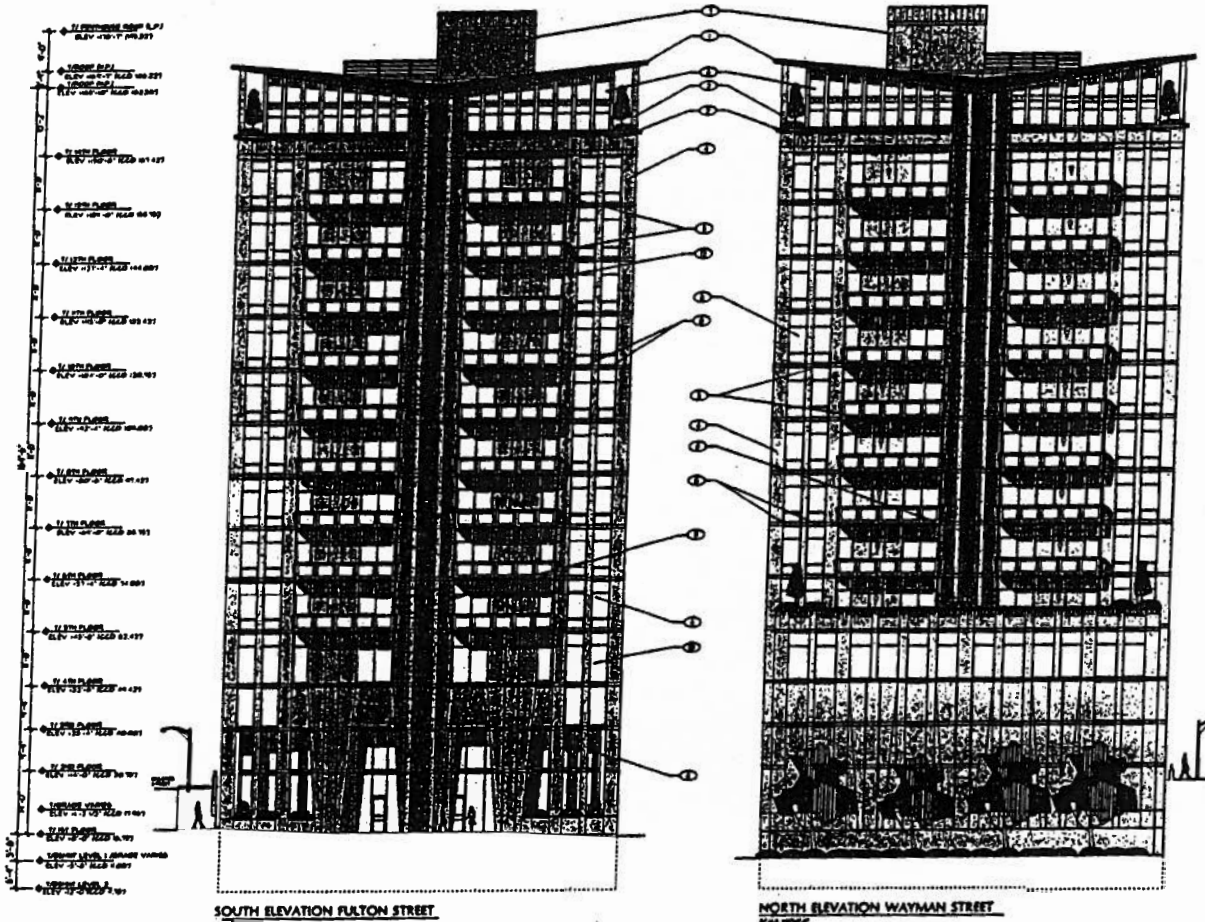
- ① CONCRETE ROOF - PART NO. 1
- ② CONCRETE ROOF SLABS - PART NO. 2
- ③ CONCRETE WALLS - PART NO. 1
- ④ CONCRETE - PART NO. 2
- ⑤ CONCRETE SAND-GRIT BLENDED WITH STEEL FIBER AND 1/4" GLASS BEADS
- ⑥ ALUMINUM AND GLASS WINDOW
- ⑦ CONCRETE MECHANICAL PENETRATOR WITH METAL FLASHING ON ROOF SURFACE
- ⑧ FLUSH GLASS WINDOW - PART NO. 2, 3, 4, 5 AND 6
- ⑨ FLUSH HUNGING ALUMINUM LOUVERS FOR BALANCE VENTILATION
- ⑩ UNPAINTED SAND-BLASTED BRASS @ GARAGE LEVEL ONLY
- ⑪ POLYESTER CONCRETE FINISH ON CONCRETE ONLY
- ⑫ ROOF DRAINAGE



South And North Building Elevations.

KEY TO SYMBOLS AND MATERIALS

- ⊕ CONCRETE ROOF - PART NO. 1
- ⊕ CONCRETE ROOF SLABS - PART NO. 2
- ⊕ CONCRETE ROOF DRAIN - PART NO. 1
- ⊕ CONCRETE - PART NO. 2
- ⊕ CONCRETE PARTLEDGE/CLASH WITH STEEL, POLY AND GALV. STEEL ALUM. PANELS ALUMINUM AND GLASS PANELS
- ⊕ CONCRETE ROOFING, FINISHED WITH METAL STANDING SEAM ROOF SYSTEM
- ⊕ FLOOR GLASS ROOF - PART NO. 2, 4, 5 AND 6
- ⊕ GLASS ANCHORED ALUMINUM LEARNING AND ANCHOR SYSTEMS
- ⊕ TRANSPARENT SAND BLASTED GLASS 5/8" THICK LENS, ONLY
- ⊕ CONCRETE - PART NO. 1
- ⊕ EXTERIOR LIGHT FIXTURE

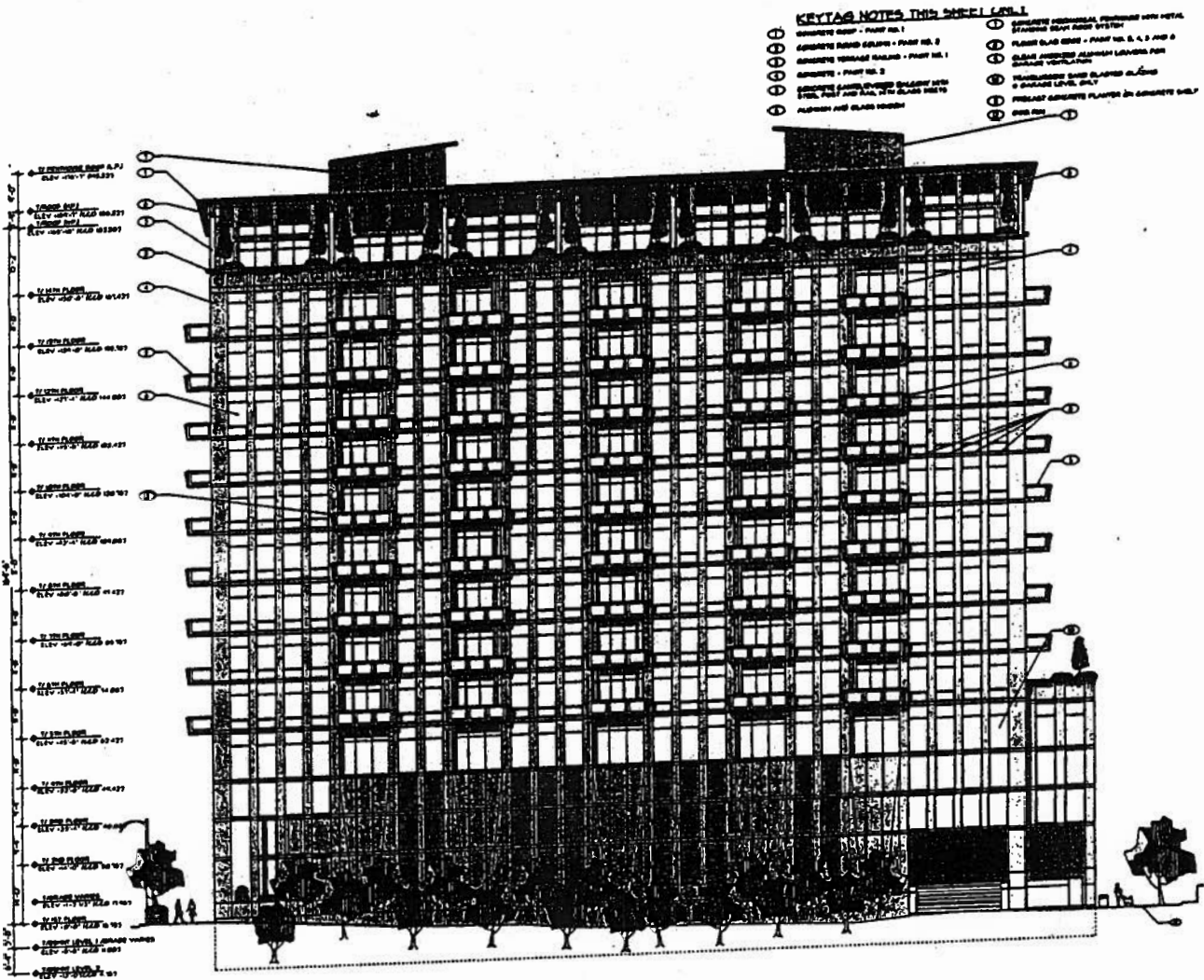


7/31/2002

REPORTS OF COMMITTEES

91705

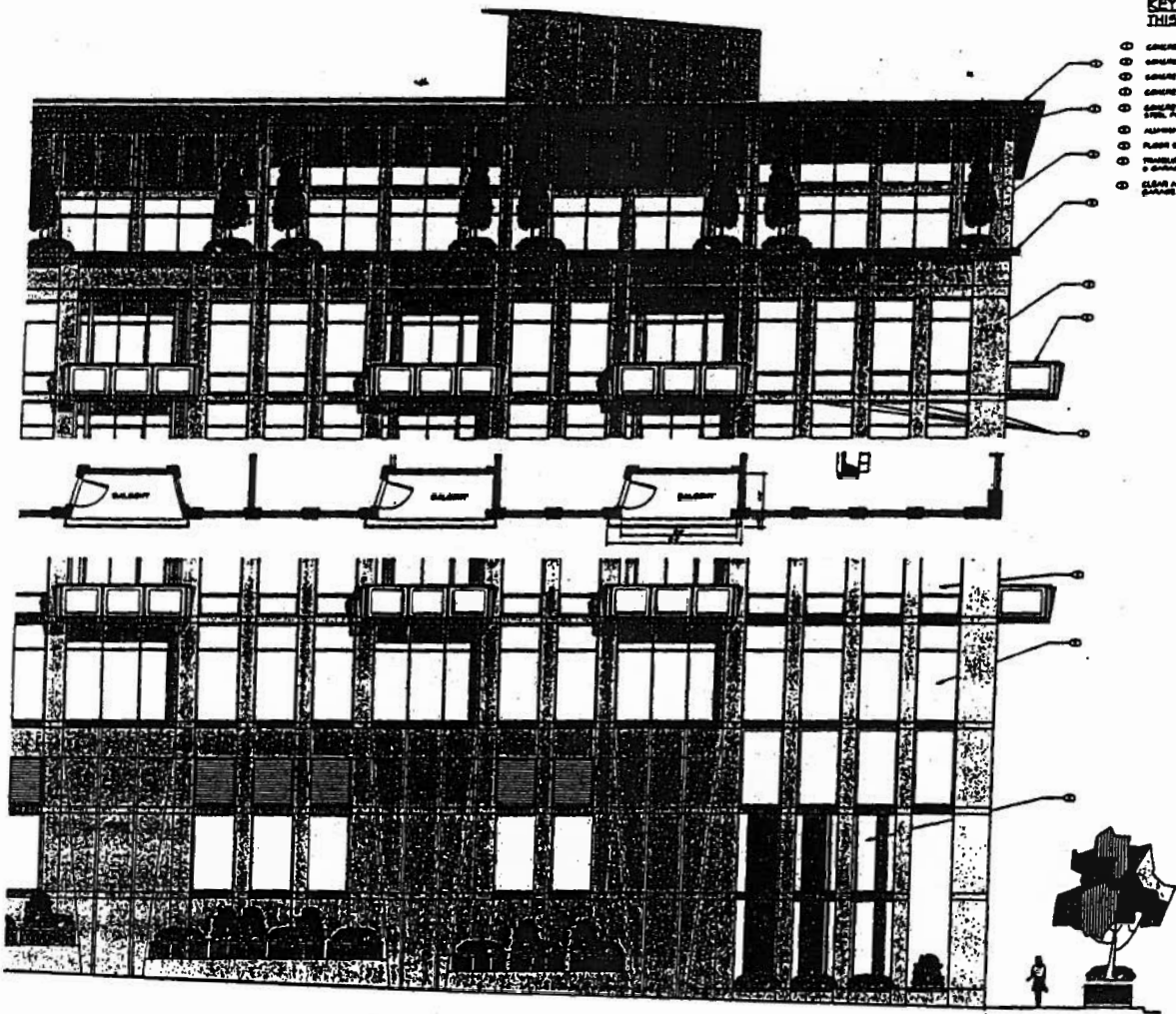
East Building Elevation -- Kennedy Highway.



Detail Building Elevation -- Halsted Street.

KEYTAG NOTES
THIS SHEET ONLY

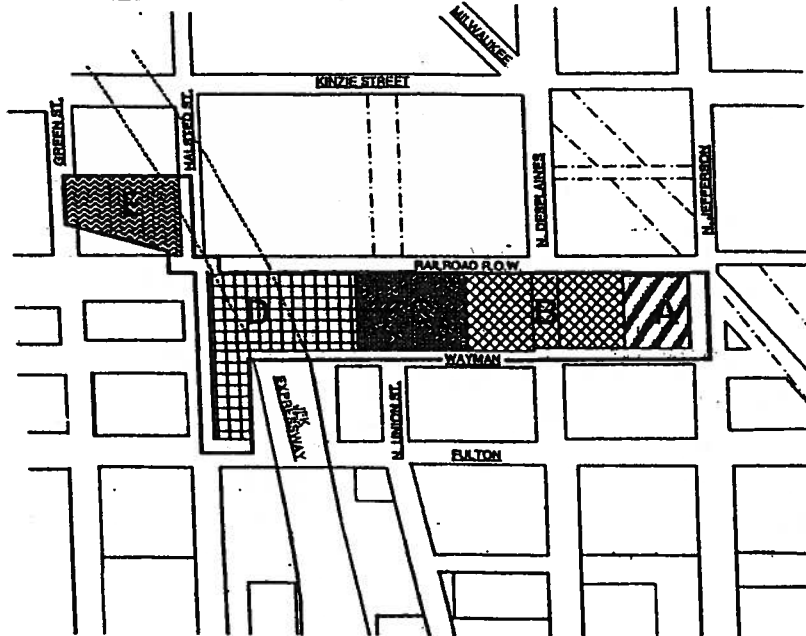
- 1 CONCRETE ROOF - PART NO. 1
- 2 CONCRETE ROOF BALCONY - PART NO. 2
- 3 CONCRETE TERRACE BALCONY - PART NO. 3
- 4 CONCRETE - PART NO. 3
- 5 CONCRETE CANTILEVERED BALCONY WITH STEEL POSTS AND RAIL, WITH GLASS PARTS
- 6 ALUMINUM AND GLASS FUSION
- 7 PLANT GLASS ROOF - PART NO. 2, 4, 5 AND 6
- 8 TRANSLUCENT GARDEN GLAZED BUILDING @ GARAGE LEVEL ONLY
- 9 CLEAR ANODIZED ALUMINUM LEAVERS FOR GARAGE VENTILATION





DETAIL ELEVATION HALSTED STREET

Generalized Land-Use Plan.

RESIDENTIAL AND COMMERCIAL PLANNED DEVELOPMENT
NO.643 AS AMENDED GENERALIZED LAND-USED PLAN



- PLANNED DEVELOPMENT BOUNDARY 
- SUB AREA A - LOW / MIDRISE RESIDENTIAL 
- SUB AREA B - HIGHRISE RESIDENTIAL 
- SUB AREA C - TOWNHOME RESIDENTIAL 
- SUB AREA D - COMMERCIAL / RESIDENTIAL 
- SUB AREA E - STORAGE 

APPLICANT: 740 FULTON L.L.C
 ADDRESS: 357 W. CHICAGO AVE
 CHICAGO, IL 60610
 DATE: 02-6-02
 REVISED: 07-18-02

Existing Land-Use Map -- Key Notes.

**RESIDENTIAL AND COMMERCIAL PLANNED DEVELOPMENT
NO.643 AS AMENDED EXISTING LAND USE MAP- KEY NOTES**

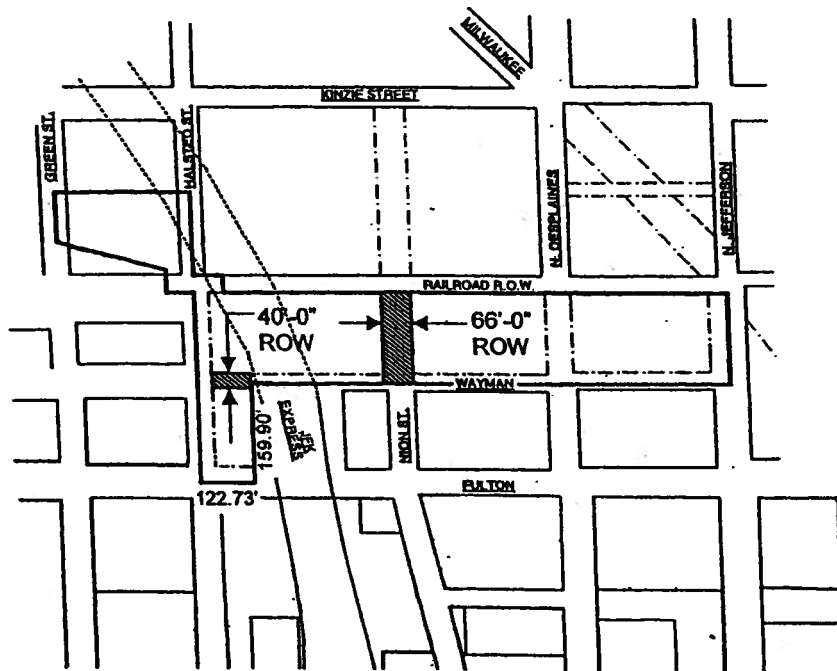
1. AQUA
2. Kozan Studios / Northwestern Cutlery and More
3. U - HAUL Storage
4. "Chromium"
5. Rooster Blue-Bar
6. Remus Bar
7. Rubinos Seafood Corporation
8. Mellos Peanut Co.
9. Old Style bar / Xerox/ Digital Image Resources "Rico"
10. Grand Stage Lighting
11. Storage
12. Foster Care - The Catholic Charities
13. Humana
14. Fast Truck
15. Ascot
16. "UHLICH"- Children Home
17. Residential
18. Vacant
19. Vacant
20. Auto and Truck Repairs
21. Residential - "Fulton Station"
22. The A. Epstein Companies
23. China Club Lofts
24. Residential - "RCPD No. 643, Sub Area A"
25. Residential - "RCPD No. 643, Sub Area B"
26. Residential - "Fulton Court"
27. Office building for lease
28. Storage
29. Vacant
30. "Drink"
31. Pickens Kane Storage
32. "Rave Gauche" Night Club
33. Isaacson and Stein Fish Co.
34. Isaacson and Stein Fish Co.
35. Brookfield Farms
36. Nationwide Beef
37. Storage - "RCPD No. 643, Sub Area E"
38. Pickens Kane Storage
39. Pickens Kane Storage
40. Vacant
41. Blommer Factory




APPLICANT: 740 FULTON L.L.C
ADDRESS: 357 W. CHICAGO AVE
CHICAGO, IL 60610

DATE: 02-6-02
REVISED: 07-18-02

Property Line And Right-Of-Way Adjustment Map.

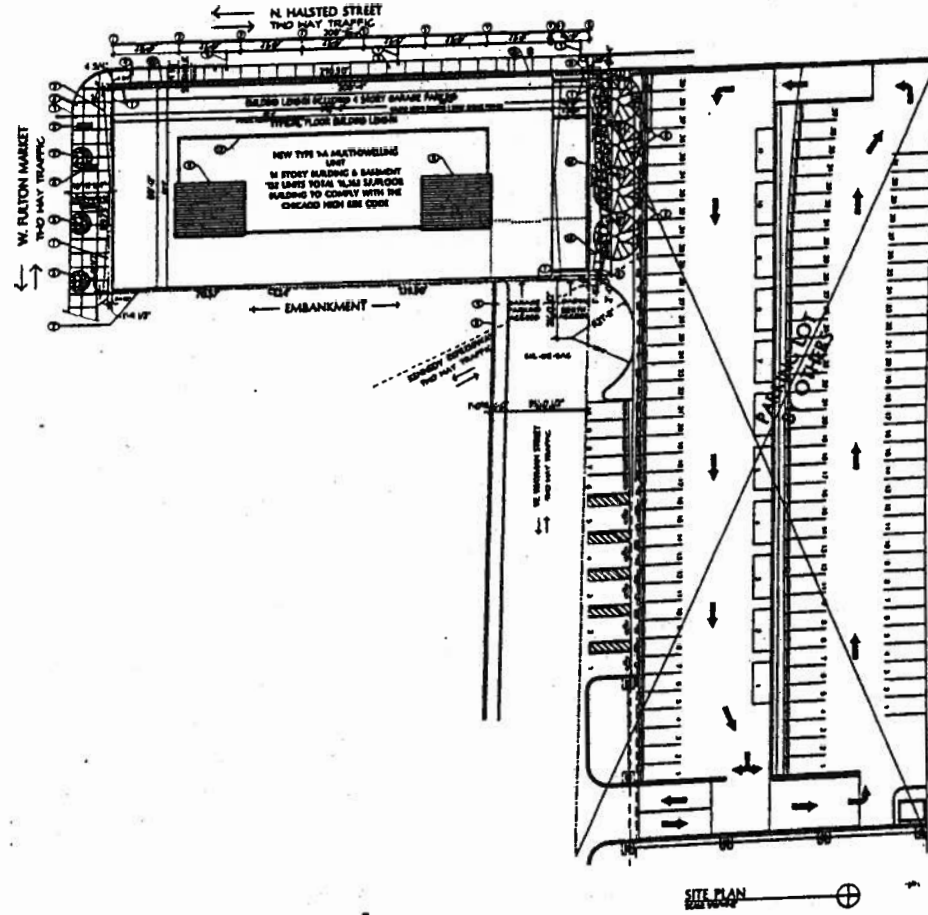
RESIDENTIAL AND COMMERCIAL PLANNED DEVELOPMENT
NO.643 AS AMENDED PROPERTY LINE MAP/ RIGHT OF WAY
ADJUSTMENT MAP



- PLANNED DEVELOPMENT BOUNDARY 
- PROPERTY LINES 
- RIGHT OF WAY TO BE VACATED 

APPLICANT: 740 FULTON L.L.C
ADDRESS: 357 W. CHICAGO AVE
CHICAGO, IL 60610

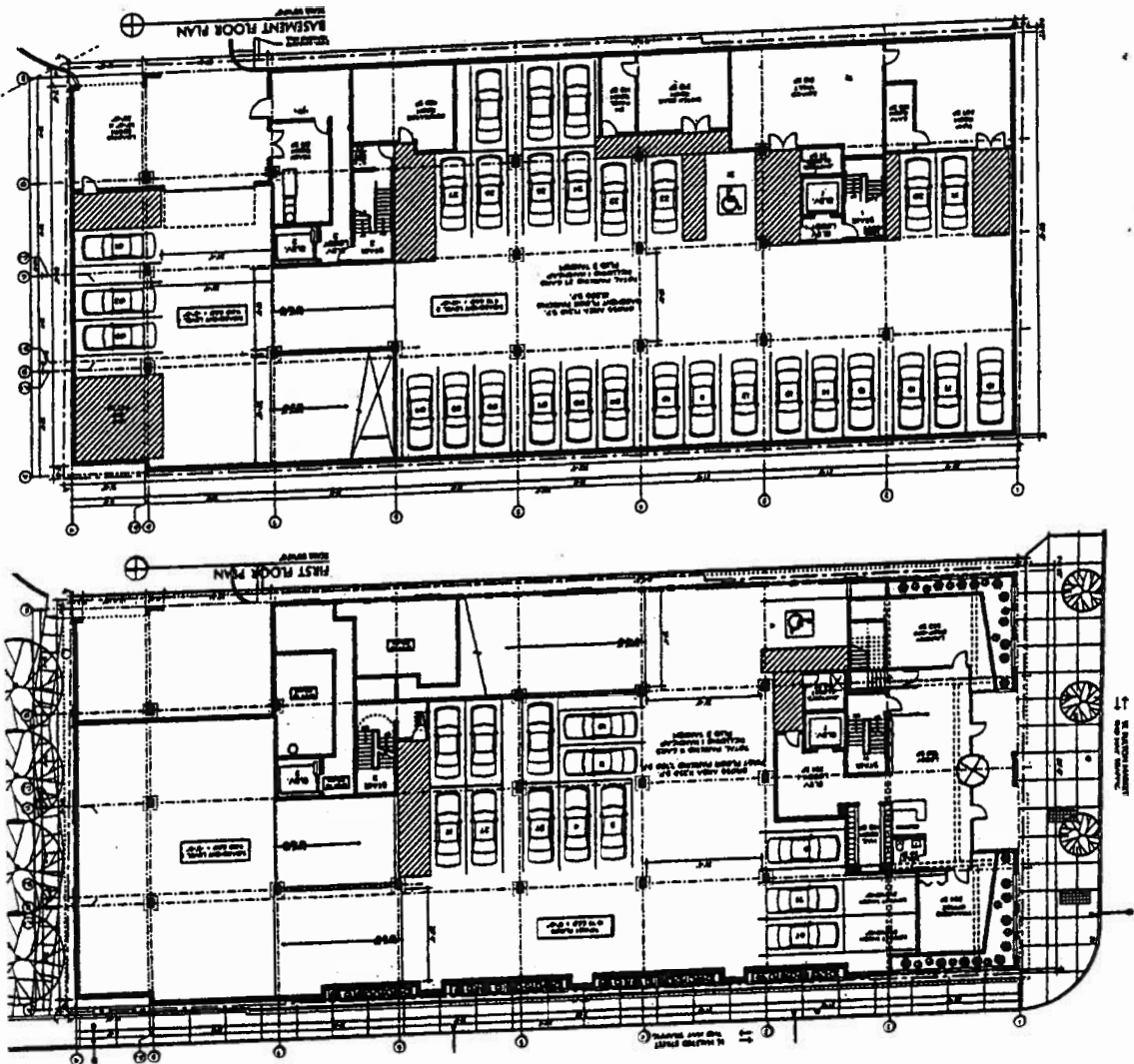
Site Plan.



KEYTAG NOTES THIS SHEET ONLY

- ① PROPERTY LINE
- ② EDGE OF ROAD LANE OVERPASS
- ③ WESTING STREET BRIDGE MAINTENANCE
- ④ TREES WITH SHOULDER BELONG TO OTHERS
- ⑤ NEW TREES WITH 2" O.D. 10' HIGHER PLANTER BOXES TYP.
- ⑥ EXISTING AIR VENT GRILLS FOR CAPED VAULT
- ⑦ EXISTING CITY LIGHT POLES
- ⑧ EXISTING FIRE HYDRANT
- ⑨ EXISTING CONCRETE DRIVEWAY AND CURB
- ⑩ EXISTING CONCRETE RETAINING WALL
- ⑪ METAL BRACING BEHIND PERMANENT PORTLAND ROOF
- ⑫ 2'-0" H. METAL BRACE WALL
- ⑬ TRASH BINNET
- ⑭ 4'-0" H. CONCRETE WALL FOR BRIDGE RAMP
- ⑮ LEAKED GATE

Basement Floor Plan.





Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Alicia Mazur Berg
Commissioner

121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)

<http://www.cityofchicago.org>

August 7, 2001

Mr. Edwin Jacobson
CMC Heartland Partners
330 N. Jefferson Court, Suite 305
Chicago, Illinois 60661

Re: RCPD No. 643 (Kinzie Station) - Request for Administrative Relief

Dear Mr. Jacobson:

Your request for a minor change to Residential Commercial Planned Development No. 643 (RCPD No. 643) has been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance and Statement No. 13 of RCPD No. 643.

Specifically, you requested an administrative change to allow for non-accessory surface parking in Subarea "D" as a permitted use. This would allow for the development of a secured surface parking lot in the block bounded by Halsted, Wayman, Union (vacated) and the Metra railroad tracks to be used solely by Catholic Charities located approximately two blocks to the southeast at 126 North DesPlaines. The approved plans for RCPD No. 643 contemplated the development of a three-story commercial building with accessory parking on the subject property. In addition, you requested to allow landscaping which does not conform to the Chicago Landscape Ordinance in light of the fact that the property is on structure and sits in large part over Hubbard's Cave. You further indicated that a mural would be provided on the east side of the Halsted Street bridge abutment.

With regard to your request, the Department of Planning and Development has determined that the above requested items constitute minor changes. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, your request, outlined above, is hereby deemed approved.

Very truly yours,

A handwritten signature in black ink that reads "Alicia Mazur-Berg".

Alicia Mazur-Berg
Commissioner

cc: Jack Swenson
Paul Woznicki
Philip Levin
Michael Marmo

NEIGHBORHOODS



On motion of Alderman Banks, the said proposed ordinances and substitute ordinance transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Granato, Haithcock, Tillman, Preckwinkle, Hairston, Lyle, Beavers, Beale, Pope, Balcer, Frias, Olivo, Burke, Coleman, L. Thomas, Murphy, Rugai, Troutman, DeVille, Munoz, Zalewski, Chandler, Solis, Ocasio, Burnett, E. Smith, Carothers, Wojcik, Suarez, Matlak, Mell, Austin, Colom, Banks, Mitts, Allen, Laurino, O'Connor, Doherty, Natarus, Daley, Hansen, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 48.

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Numbers 1-F And 1-G.
(As Amended)
(Application Number 13117) **RCPD 643 AA**

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current Residential-Commercial Planned Development Number 643 and M2-4 General Manufacturing District symbols and indications as shown on Map Number 1-F and all the current Planned Manufacturing District Number 4 symbols and indications as shown on Map Number 1-G in the area bounded by:

a line 137.04 feet south of West Kinzie Street; North Halsted Street; the north line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; a line 25 feet east of North Halsted Street; the south line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; North Jefferson Street; West Wayman Street; North Halsted Street; the south line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; a line 25 feet west of North Halsted Street; the north line of the R.T.A./Metra Railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; and North Green Street,

to those of Residential-Commercial Planned Development Number 643, as amended, which is hereby established in the area described above and subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Commercial Planned Development
Number 643, As Amended.*

Plan Of Development Statements.

1. The area delineated herein as Residential-Commercial Planned Development Number 643, as amended (the "Planned Development") consists of approximately two hundred four thousand two hundred forty-seven (204,247) square feet (four and sixty-eight hundredths (4.68) acres) of property which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way Adjustment Map (the "Property") and is owned or controlled by C.M.C. Heartland Partners (the "Applicant"), R.T.A./Metra and Chicago Self Storage II, L.L.C. The Applicant makes this application with the consent of R.T.A./Metra and Chicago Self Storage II, L.L.C.
2. The Applicant shall obtain all necessary official reviews, approvals or permits. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single

ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) is made or authorized by the Applicant or any homeowner's association or similar property owner's association which is formed to succeed the Applicant.

4. This Plan of Development consists of seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary Property Line and Right-of-Way Adjustment Map all prepared by Pappageorge Haymes, Ltd. and dated January 25, 2001; a Generalized Land-Use Map prepared by Pappageorge Haymes, Ltd. and dated January 25, 2001; a Site Plan for Subareas A -- D prepared by Pappageorge Haymes, Ltd. and dated January 25, 2001; a Site Plan, Landscape Plan and Building Elevations for Subarea E prepared by Timothy Morgan and Associates and dated January 25, 2001; a Landscape Plan for Subareas A -- D prepared by Pappageorge Haymes, Ltd. and dated January 25, 2001; and Building Elevations for Subareas A -- D prepared by Pappageorge Haymes, Ltd. and dated January 25, 2001. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The property within the Planned Development is divided into five (5) lettered Subareas (A -- E) as indicated on the Subarea Boundary Map. Subject to the Bulk Regulations and Data Table, the following uses are permitted on the Property under this Planned Development:

Any portion of the Property may be utilized on an interim basis for construction staging, the storage of construction materials and non-accessory parking for the various phases of development of the Property.

Subarea A: Townhouses and multi-family residential units and accessory uses.

Subarea B: Multi-family residential units and accessory uses. In addition, all permitted uses in the B4-5 Restricted Service District and ground floor residential uses shall be allowed; provided, however, that non-residential uses shall be limited to levels one (1) through four (4) above the West Wayman Street and North Desplaines Street levels, or the top floor of any high-rise structure.

Subarea C: Public park and related uses.

Subarea D: Commercial uses, railroad rights-of-way and related uses as permitted in the C3-4 Commercial Manufacturing District shall be allowed. Further, all uses permitted in the M2-4 District shall be permitted in that portion of Subarea D currently used as a railroad right-of-way.

Subarea E: Storage uses, including self storage and general storage, telecommunications uses, high technology uses, railroad rights-of-way and related uses. In addition, all permitted uses in the C3-4 Commercial Manufacturing District shall be allowed. Further, all uses permitted in Planned Manufacturing District Number 4 shall be permitted in that portion of Subarea E currently used as a railroad right-of-way.

6. Temporary signs such as construction and marketing signs shall be permitted subject to the review and approval of the Department of Planning and Development. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development.
7. Off-street parking shall be provided in compliance with this Planned Development subject to the review and approval of the Departments of Transportation and Planning and Development. At no time shall parking spaces be sold or rented to persons not residing within the Planned Development boundaries. With respect to all residential units west of North Desplaines Street, a minimum of one (1) parking space shall be deeded along with each dwelling unit sold.
8. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development.

9. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. The improvements on the Property, the landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations.
11. The Applicant acknowledges that there is a lack of improved public open space in the immediate area and that the proposed development will create demand for new neighborhood parks and recreational facilities. The Applicant will therefore voluntarily donate to the City of Chicago a parcel of land containing approximately eleven thousand six hundred seven (11,607) square feet (twenty-seven hundredths (0.27) acres), located generally at the northwest corner of North Union Avenue and West Wayman Streets, for use as a public park. The donation of said parcel of land shall be made at the time the City vacates or otherwise closes to traffic that part of North Union Avenue adjacent to said parcel of land.
12. For purposes of maximum floor area ratio (F.A.R.) calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical equipment in excess of five thousand (5,000) square feet in a single location, regardless of placement in the building, shall be excluded.
13. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air Conditioning Engineers and the Illuminating Engineering Society.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office of People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
16. In order to ensure that the Property is adequately served with school, library, police, fire and emergency services and facilities as it develops, the Applicant shall cooperate with the City in providing such information and documentation, from time to time upon the City's request, with regard to completed and anticipated development as may be appropriate to assist the City and other governmental bodies in assessing the need for such additional services and facilities.
17. With respect to Subareas B, C and D, unless substantial construction of the improvements contemplated by this Planned Development has commenced within six (6) years of the date of City Council approval of this Planned Development Ordinance, then the zoning of the Property within said subareas shall automatically revert to the former M2-4 and M2-5 General Manufacturing Districts as applicable. With respect to Subarea E, unless substantial construction of the improvements contemplated by this Planned Development has commenced within six (6) years of the date of City Council approval of this Planned Development Ordinance, then the zoning of the Property within Subarea E shall automatically revert to the former Planned Manufacturing District Number 4 classification.

[Existing Zoning Map; Planned Development Boundary and Right-of-Way Adjustment Map; Generalized Land-Use Map; Existing Land-Use Map; Kinzie Station Phase II Site Plan; Landscape Plan (Subareas A -- D only); South Elevation -- Eastern Portion; South Elevation -- Western Portion; North Elevation -- Western Portion; North Elevation -- Eastern Portion; East/West Elevation; Street Section; Exterior Elevations; Site Plan; and Landscape Plan referred to in these Plan of Development Statements printed on pages 53898 through 53912 of this Journal.]

Bulk Regulations and Data Table and (Sub)Exhibits "A" and "B" referred to in these Plan of Development Statements read as follows:

*Residential-Commercial Planned Development
Number 643, As Amended.*

Plan Of Development

Bulk Regulations And Data Table.

Gross Site Area, 284,516 square feet (6.53 acres) = Net Site Area, 204,247 square feet (4.68 acres) + Area Remaining in Public Rights-of-Way, 80,269 square feet (1.84 acres).

Maximum Permitted
Floor Area Ratio:

Subarea A	1.58
Subarea B	8.21
Subarea C	1.00
Subarea D	0.66
<u>Subarea E</u>	<u>5.00</u>
Blended Total	4.25

3/7/2001

REPORTS OF COMMITTEES

53895

Maximum Number of Dwelling Units:

Subarea A	29
Subarea B	421
Subarea C	NA
Subarea D	NA
<u>Subarea E</u>	<u>NA</u>
Total	450

Minimum Setbacks:

In accordance with the Site Plan.

Maximum Site Coverage:

In accordance with the Site Plan.

Minimum Number of Off-Street Parking Spaces:

Subareas A and B	Parking shall be provided at a minimum ratio of 1.15 parking spaces per dwelling unit.
Subarea C	None.
Subarea D	One parking space shall be provided for each 400 square feet of floor area in excess of 10,000 square feet.
Subarea E	6 parking spaces

Minimum Number of Off-Street Loading Spaces:

Subarea A	0
Subarea B	2
Subarea C	NA
Subarea D	1
<u>Subarea E</u>	<u>0</u>
Total	3

Maximum Building Height:

In accordance with the Building Elevations.

*Exhibit "A".***Subareas A -- D.**

Owner: CMC Heartland Partners

Address: 547 West Jackson Boulevard, Chicago, Illinois 60661

Telephone: (omitted for printing purposes).

Contact: Mr. Richard Brandstatter

Date Acquired Legal Title: April 1880, August 1990 and February 1991.

Has Present Owner Previously Rezoned Property? Yes

When? July 30, 1997

Subarea E.

Owner: Chicago Self Storage II, L.L.C., a Delaware limited liability company,
in care of Mr. Gray Cardiff.

Address: 156 Diablo Road, Suite 200, Danville, California 94526.

Telephone: (omitted for printing purposes).

Contact: Mr. Gray Cardiff.

Date Acquired Legal Title: October 14, 1999.

Has Present Owner Previously Rezoned Property? No

When? NA

Railroad Rights-Of-Way In Subareas D And E.

Owner: R.T.A./Metra

Address: 547 West Jackson Boulevard., Chicago, Illinois 60661

Telephone: (omitted for printing purposes).

Contact: Mr. Philip A. Pagano

Date Acquired Legal Title: September, 1987

Has Present Owner Previously Rezoned Property? No

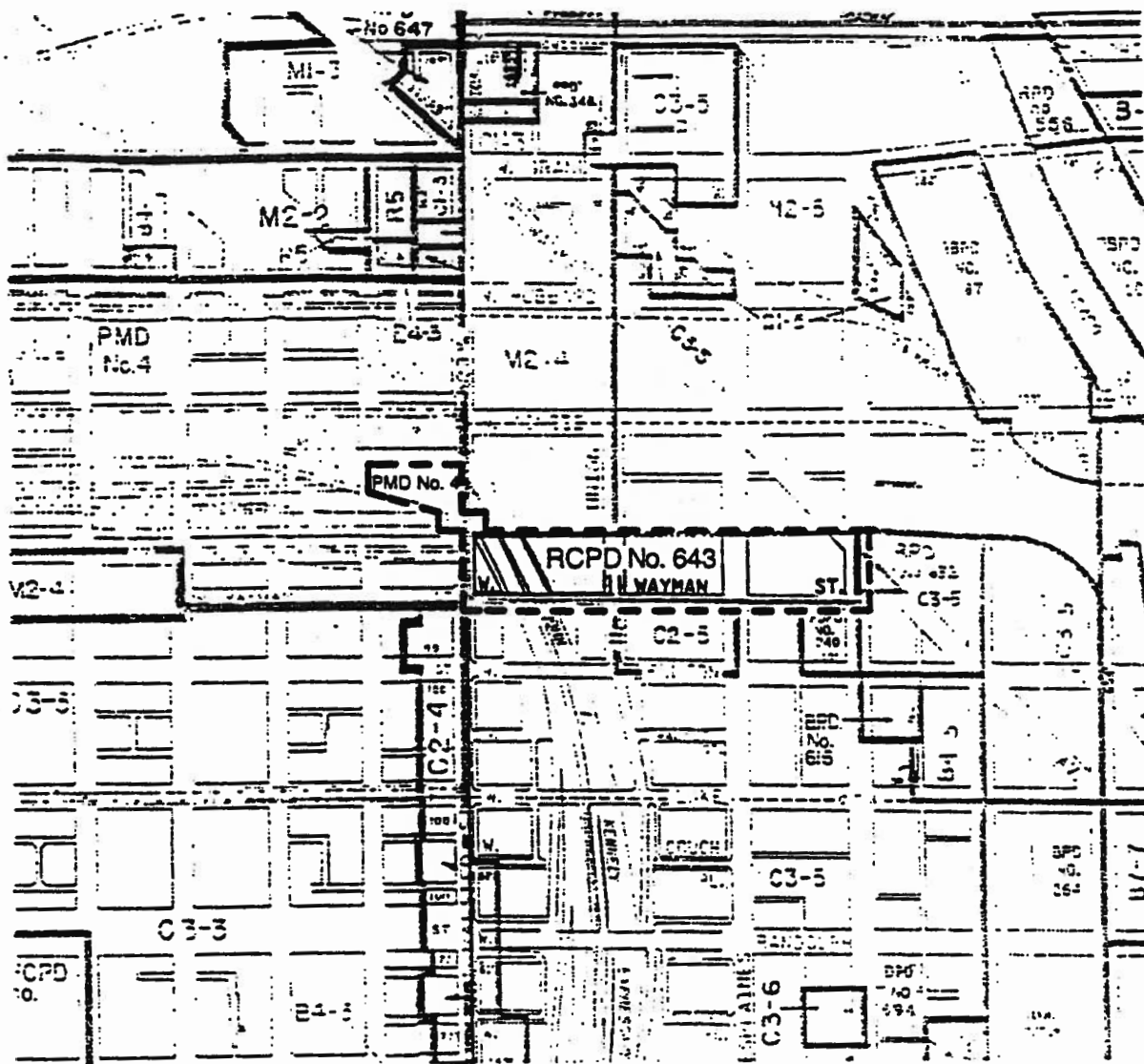
When? NA

Exhibit "B".

*Residential-Commercial Planned Development
Property Boundary.*

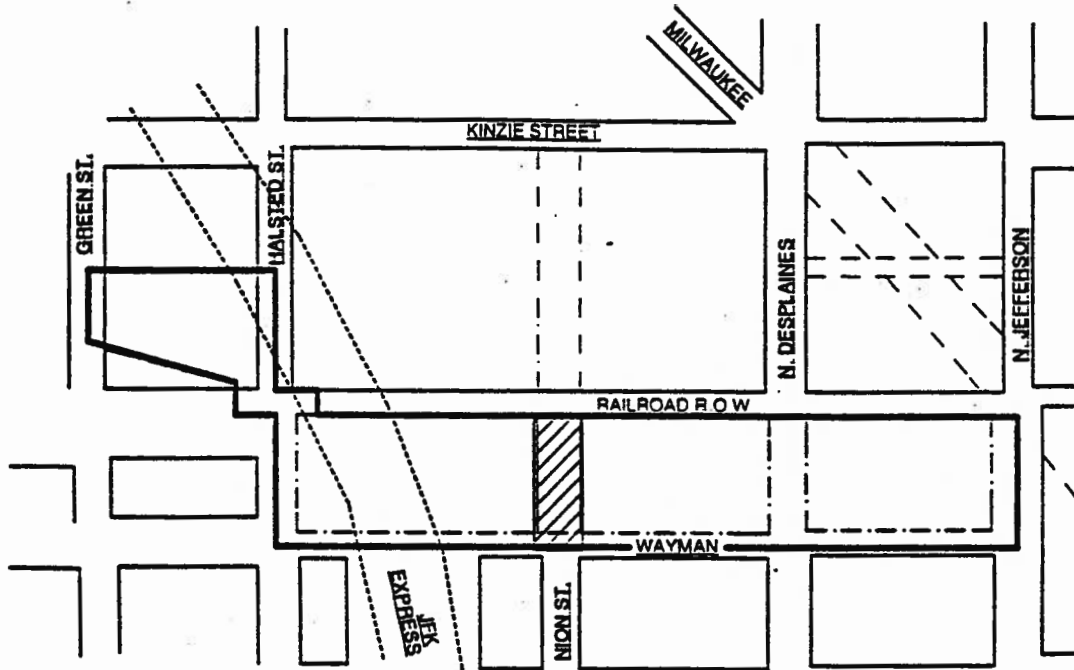
A line 137.04 feet south of West Kinzie Street; North Halsted Street; the north line of the R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; a line 25 feet east of North Halsted Street; the south line of the R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; North Jefferson Street; West Wayman Street; North Halsted Street; the south line of the R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; a line 25 feet west of North Halsted Street; the north line of the R.T.A./Metra railroad (formerly known as the Chicago, Milwaukee, St. Paul & Pacific Railroad) right-of-way; and North Green Street


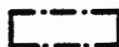

Existing Zoning Map.



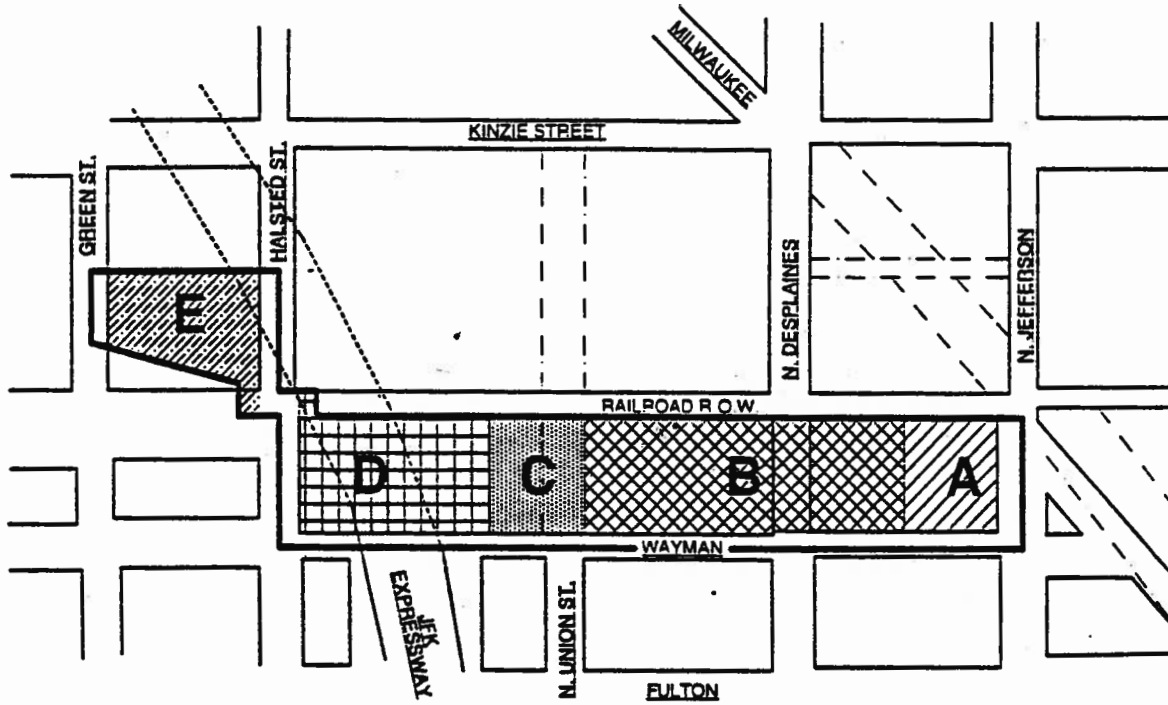
 INDICATES PROPERTY FOR PLANNED DEVELOPMENT




Planned Development Boundary And
Right-Of-Way Adjustment Map.



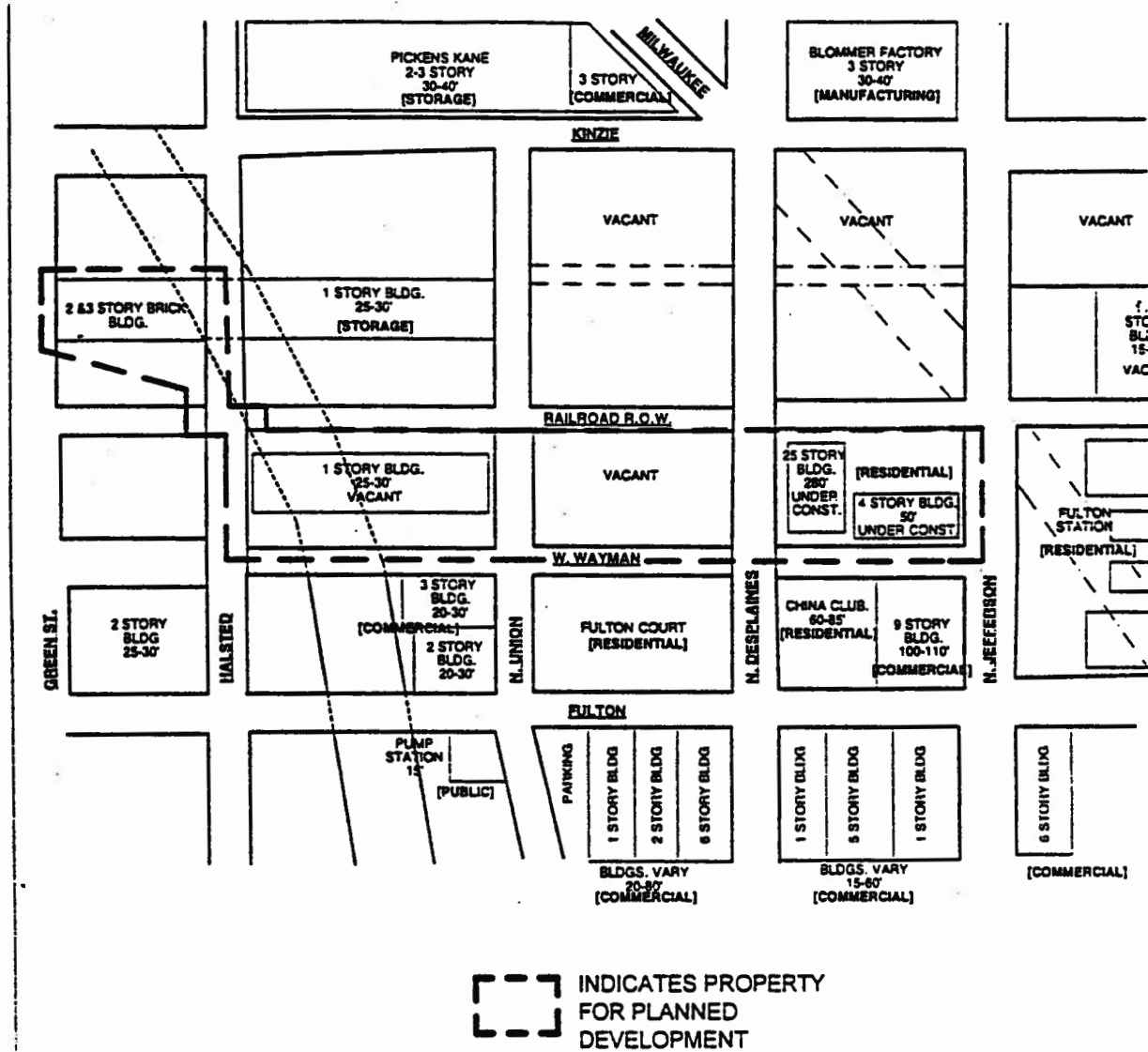
-  PLANNED DEVELOPMENT BOUNDARY
-  PROPERTY LINES
-  RIGHT OF WAY TO BE CLOSED

Generalized Land-Use Map.



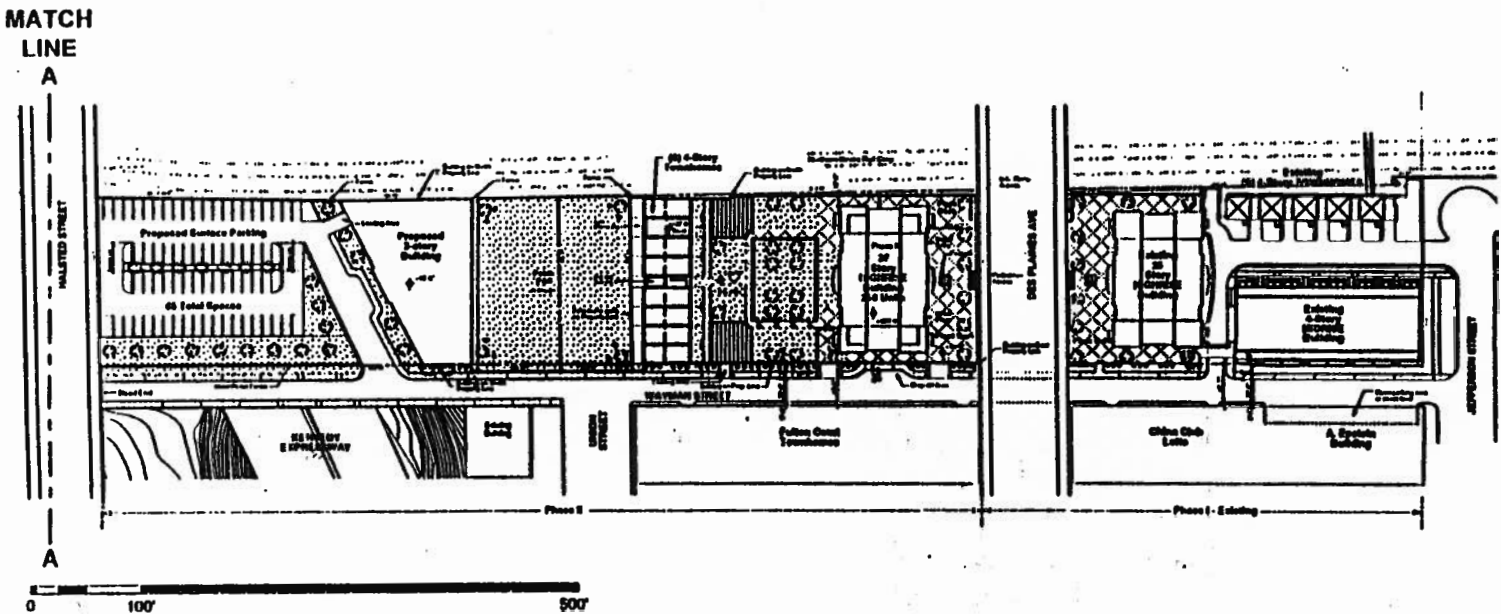
-  PLANNED DEVELOPMENT BOUNDARY
-  SUB AREA A - LOW / MIDRISE RESIDENTIAL
-  SUB AREA B - HIGHRISE RESIDENTIAL
-  SUB AREA C -PUBLIC PARK
-  SUB AREA D - COMMERCIAL
-  SUB AREA E - STORAGE

Existing Land-Use Map.



INDICATES PROPERTY FOR PLANNED DEVELOPMENT

Kinzie Station Phase II Site Plan.



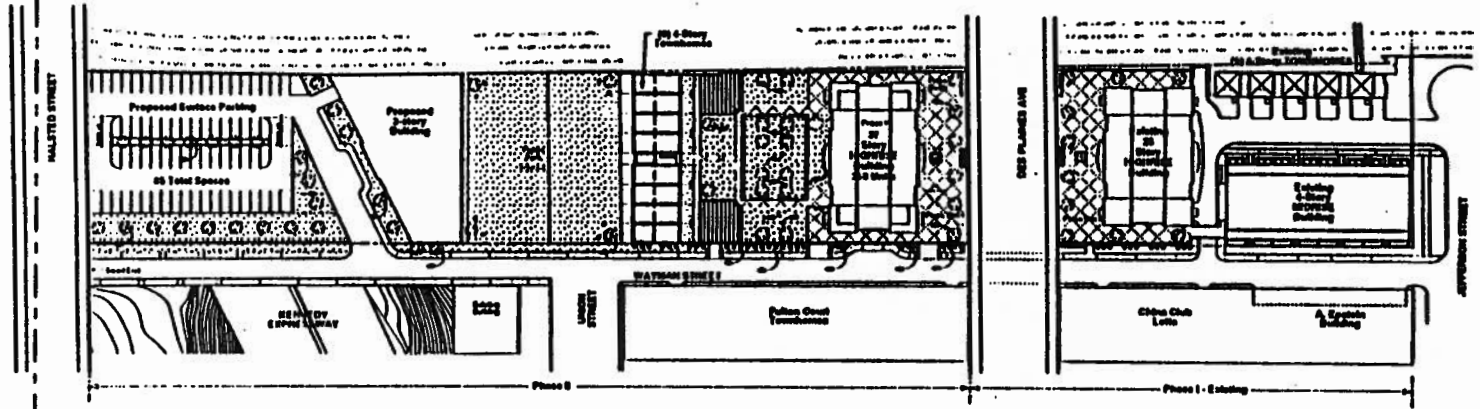
3/7/2001

REPORTS OF COMMITTEES

53903

Landscape Plan.
(Subareas A -- D Only)

MATCH
LINE
B



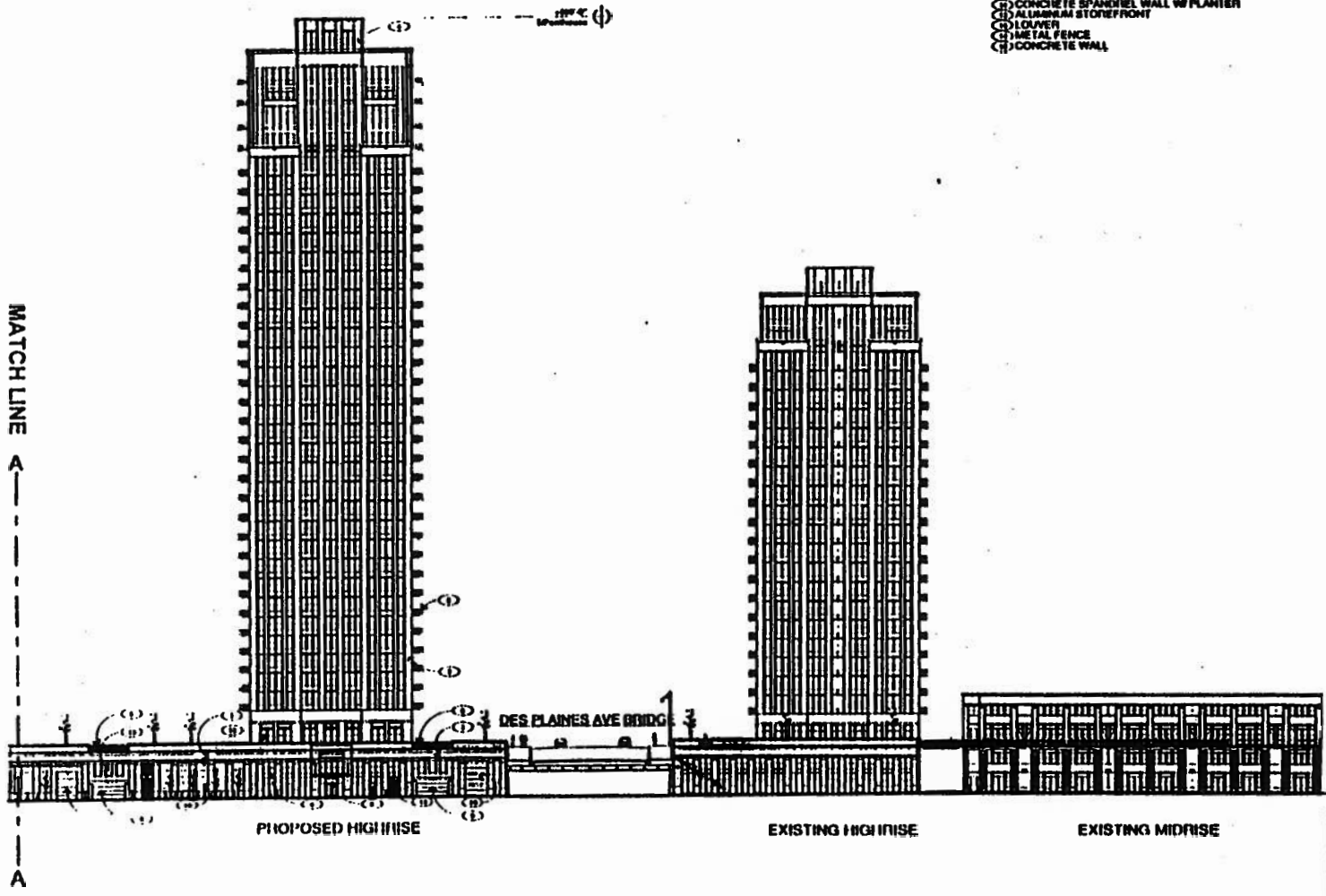
TAG	TYPE	SIZE	SPACING	REMARKS
L1	SHADE TREE	4" CALIPER (MIN)	25'-0" U N O	SEE BELOW
L2	CONTAINER TREE	2" CALIPER	PER PLAN	SEE BELOW
L3	SHRUB	2'-0" W x 3'-0" H	PER PLAN	SEE BELOW
L4	GROUND COVER	12"-18" HIGH		SEE BELOW
L5	CRAWLING IVY			SEE BELOW

SPECIES		
TYPE	BOTANIC NAME	COMMON NAME
TREE	ACER PLATANOIDES	NORWAY MAPLE
	ACER SACCHARINUM	SUGAR MAPLE
	ACER RUBRUM	RED MAPLE
	CELTIS OCCIDENTALIS	HICKBERRY
	FRAXINUS PENNSYLVANICA	GREEN ASH
	GL EDITSIA TRIACANTHOS	THORNLESS HONEYLOCUST
	LIRIA CORDATA	LITTLELEAF LINDEN
SHRUB	BUXUS MICROPHYLLA KONI	DWARF KOREAN BOXWOOD
	CONTONEASTERN APICILATA	STANBERRY CONTONEASTE
	PIEDS ALPNUM	AI PINE CLIBRIANT
	SPITREA JAPONICA	JAPANESE SPITREA
	VIBURNUM CARLESII (COMP)	DWARF KOREAN SPICE VIB.
GROUND COVER	EUKHYMIUS FONTI COLORAT	MURPHY LEAF WINDCREEPER
	VINCA MINORI	PERIWINKLE
	RUBUS ANOMALICA Q/O LOW	Q/O LOW SUMAC

South Elevation -- Eastern Portion.

MATERIAL LEGEND

- (1) BRICK WITH STONE TISS
- (2) CAST IN PLACE CONCRETE WITH PIGMENTED COATING
- (3) STUCCO
- (4) DIRECT-APPLIED EXTERIOR FINISH SYSTEM
- (5) ARCHITECTURAL METALWORK GUARDRAIL
- (6) OVERHEAD DOORS
- (7) CURB WITH STONE TISS
- (8) ALUMINUM BALCONY RAILING
- (9) ARCHITECTURAL METALWORK CANOPY
- (10) MASONRY RECESS
- (11) CONCRETE SPANDREL WALL W/ PLANIER
- (12) ALUMINUM STOREFRONT
- (13) LOUVER
- (14) METAL FENCE
- (15) CONCRETE WALL



3/7/2001

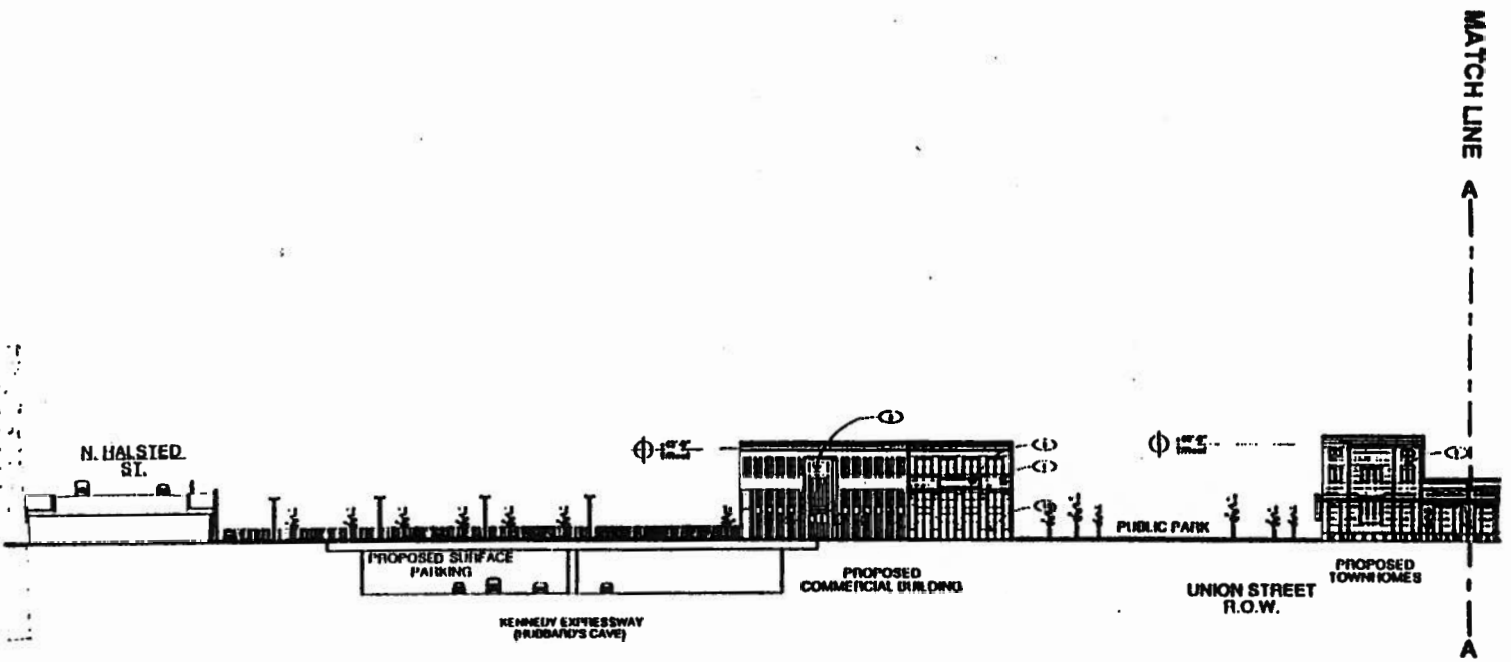
REPORTS OF COMMITTEES

53905

South Elevation -- Western Portion.

MATERIAL LEGEND

- (1) BRICK WITH STONE TRIM
- (2) CAST IN PLACE CONCRETE WITH MONOTONED COATING
- (3) SIGNAGE
- (4) DIRECT APPLIED EXTERIOR FINISH SYSTEM
- (5) ARCHITECTURAL METALWORK GUARDRAIL
- (6) OVERHEAD DOORS
- (7) CMU WITH STONE TRIM
- (8) ALUMINUM BALCONY RAILING
- (9) ARCHITECTURAL METALWORK CANOPY
- (10) MASONRY NICHE
- (11) CONCRETE SPANDREL WALL W/ PLANTER
- (12) ALUMINUM STOREFRONT
- (13) DOOR
- (14) METAL FENCE
- (15) CONCRETE WALL

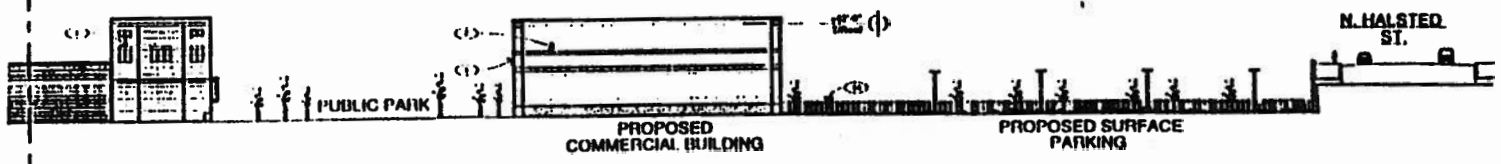


North Elevation -- Western Portion.

MATERIAL LEGEND

- (1) BRICK WITH STONE TRIM
- (2) CAST IN PLACE CONCRETE WITH PIGMENTED COATING
- (3) SIGNAGE
- (4) DIRECT-APPLIED EXTERIOR FINISH SYSTEM
- (5) ARCHITECTURAL METALWORK GUARDRAIL
- (6) OVERHEAD DOORS
- (7) CMU WITH STONE TRIM
- (8) ALUMINUM BALCONY RAILING
- (9) ARCHITECTURAL METALWORK CANOPY
- (10) MASONRY RECESS
- (11) CONCRETE SPANDREL WALL W/ PLANTER
- (12) ALUMINUM STOREFRONT
- (13) COVER
- (14) METAL FENCE
- (15) CONCRETE WALL

MATCH LINE



3/7/2001

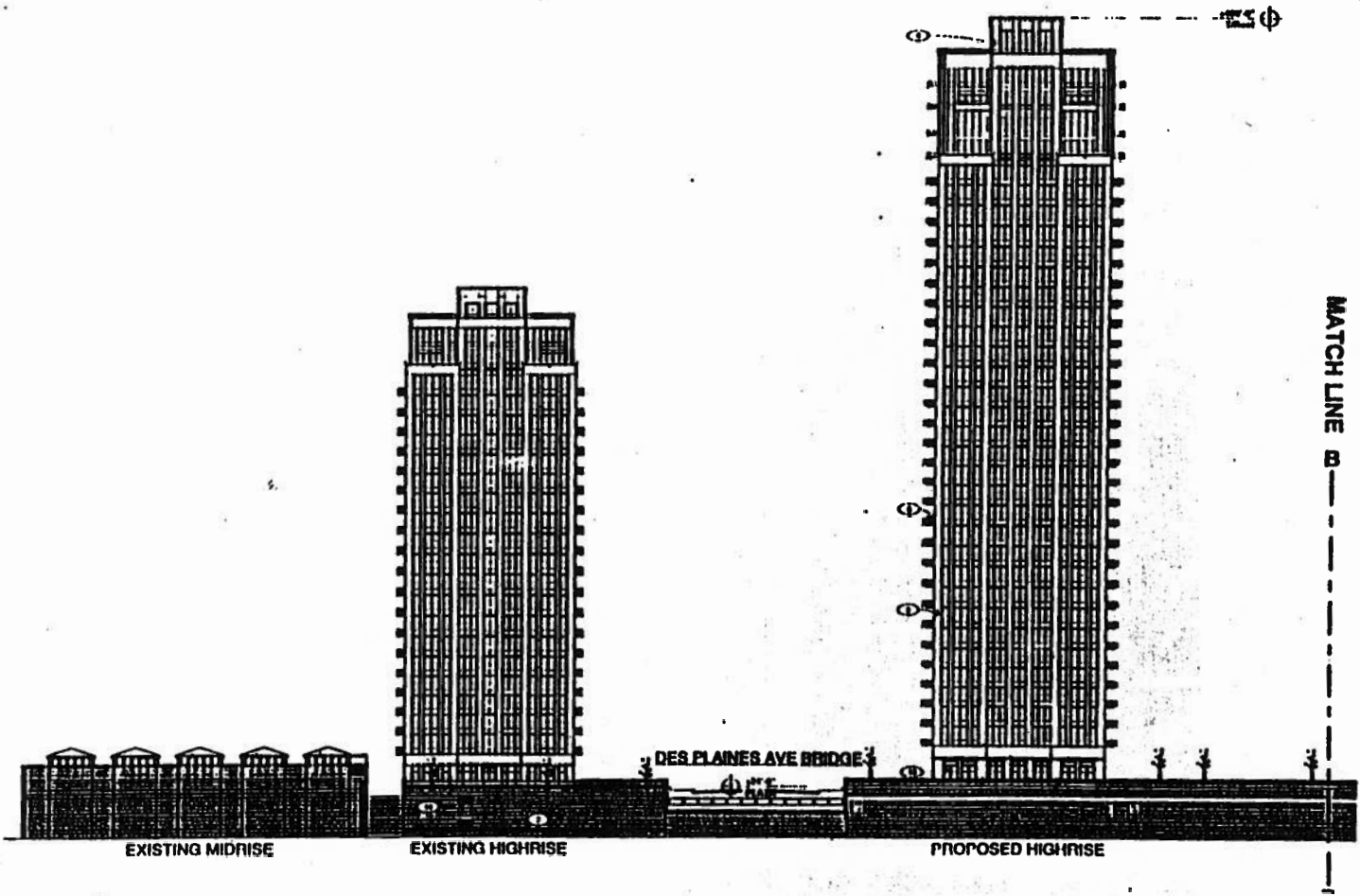
REPORTS OF COMMITTEES

53907

North Elevation -- Eastern Portion.

MATERIAL LEGEND

- BRICK WITH STONE TIE
- CAST IN PLACE CONCRETE WITH PROMENED COATING
- STONE
- DIRECT APPLIED EXTERIOR FINISH SYSTEM
- ARCHITECTURAL METALWORK GUARDRAIL
- OVERHEAD DOORS
- CMU WITH STONE TIE
- ALUMINUM BALCONY RAILING
- ARCHITECTURAL METALWORK CANOPY
- MASONRY NICES
- CONCRETE SPANDREL WALL W/ PLANTER
- ALUMINUM STOREFRONT
- LOUVER
- METAL FENCE
- CONCRETE WALL



MATERIAL LEGEND

- ① BRICK WITH STONE TRIM
- ② CAST IN PLACE CONCRETE WITH PIGMENTED COATING
- ③ SIGNAGE
- ④ DIRECT-APPLIED EXTERIOR FINISH SYSTEM
- ⑤ ARCHITECTURAL METAL WORK (ALUMINUM)
- ⑥ OVERHEAD DOORS
- ⑦ CMU WITH STONE TRIM
- ⑧ ALUMINUM BALCONY RAILING
- ⑨ ARCHITECTURAL METAL WORK CANOPY
- ⑩ MASONRY NICHE
- ⑪ CONCRETE SPANDREL WALL W/ PLASTER
- ⑫ ALUMINUM STOREFRONT
- ⑬ LOUVER
- ⑭ METAL FENCE
- ⑮ CONCRETE WALL



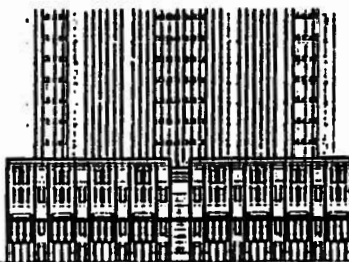
**Commercial Building
West Elevation**



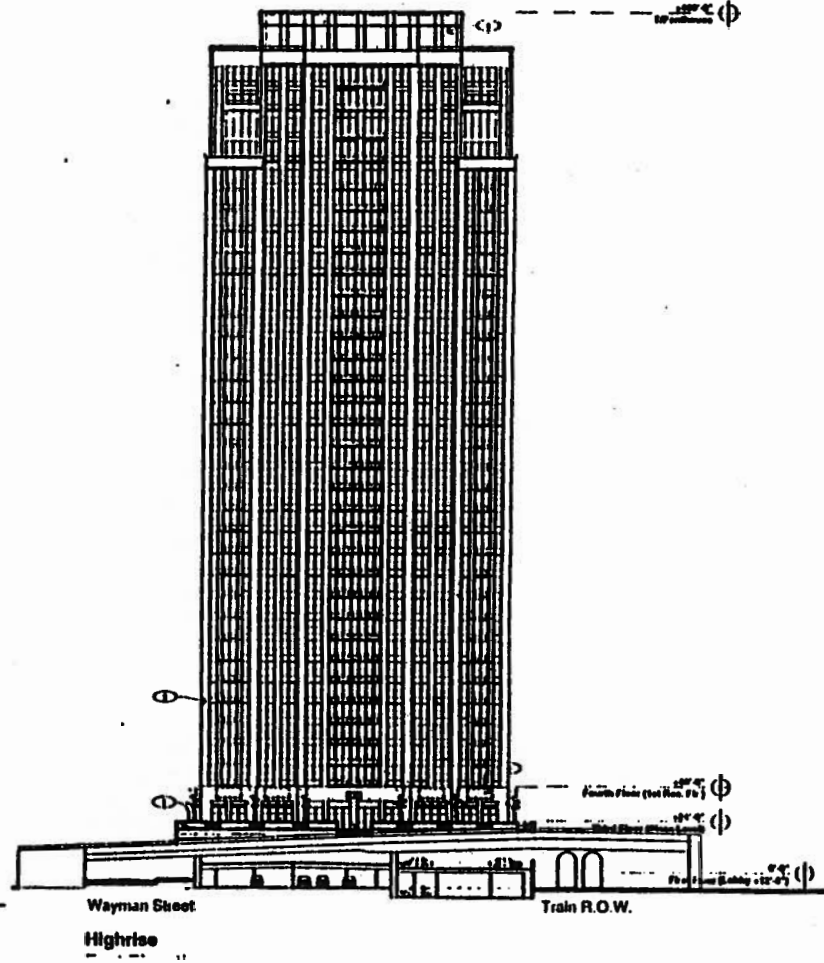
**Commercial Building
East Elevation**



**Townhomes (Plaza Level)
East Elevation**



**Townhomes
West Elevation**

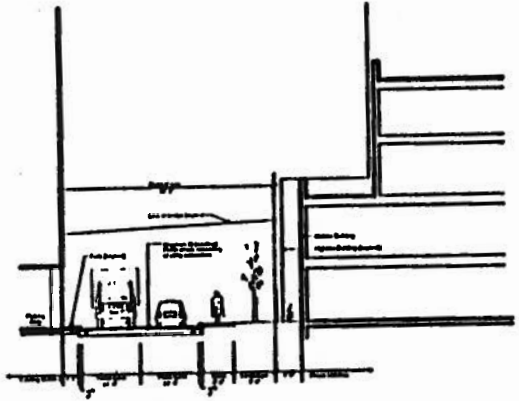


East/West Elevation.

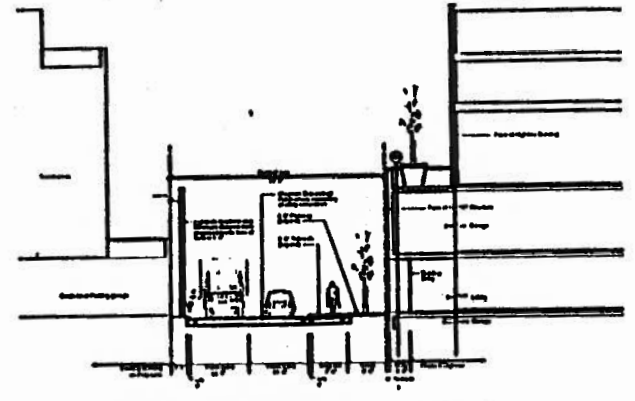
**Wayman Street
Highrise**

Train R.O.W.

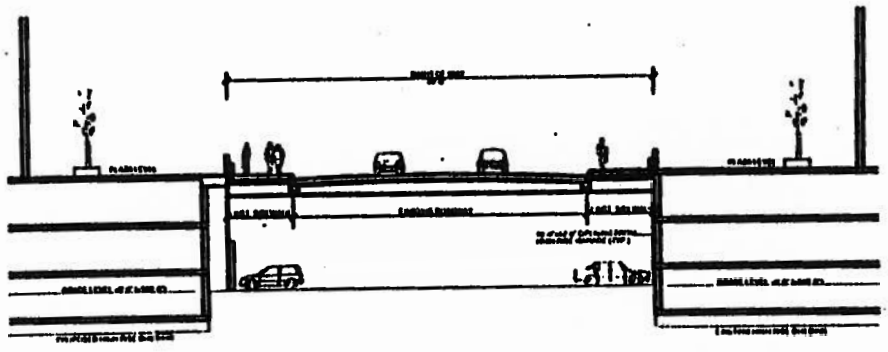
Street Section.



Wayman Street Section at Midrise (Phase I)

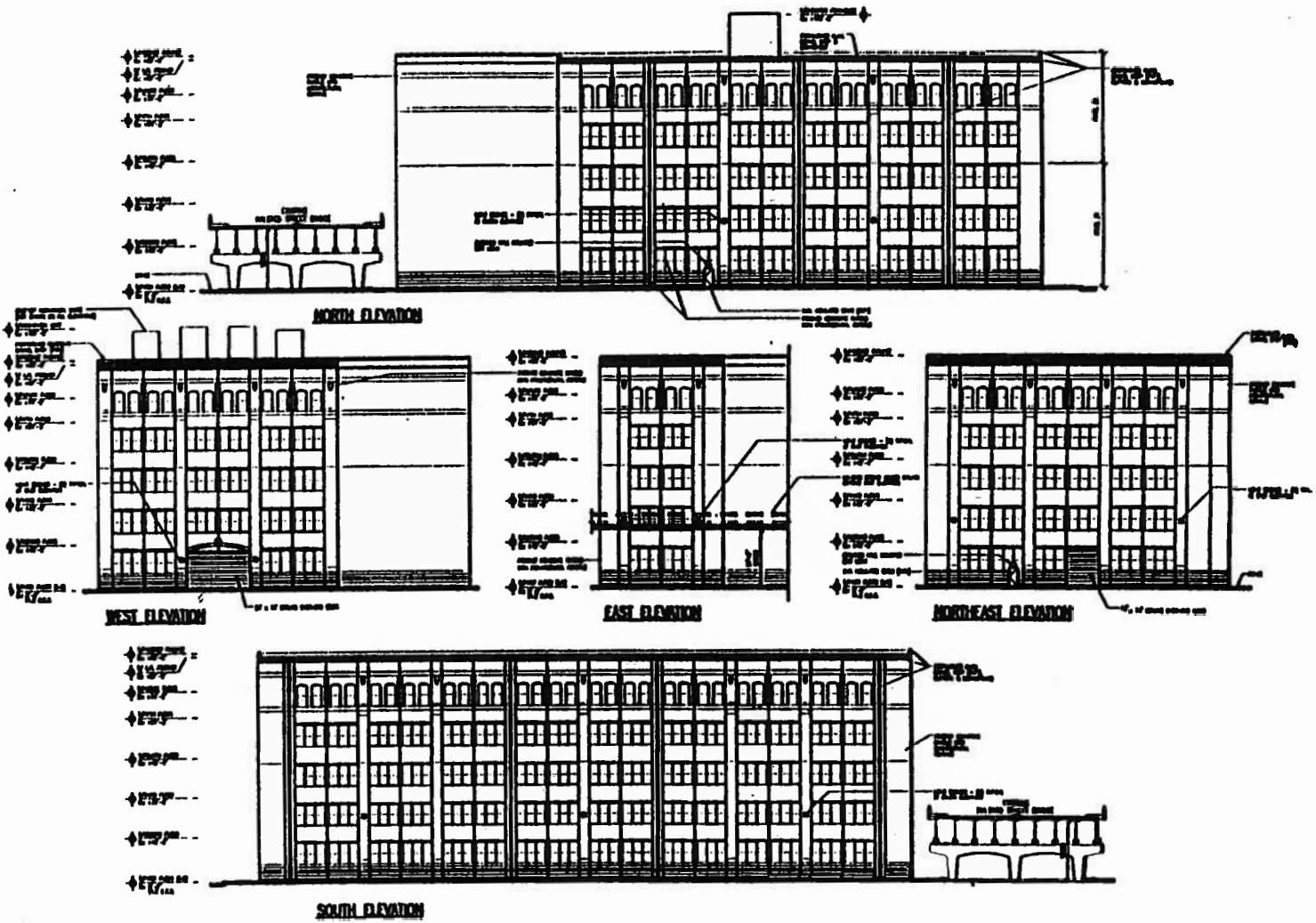


Wayman Street Section at Highrise (Phase II)

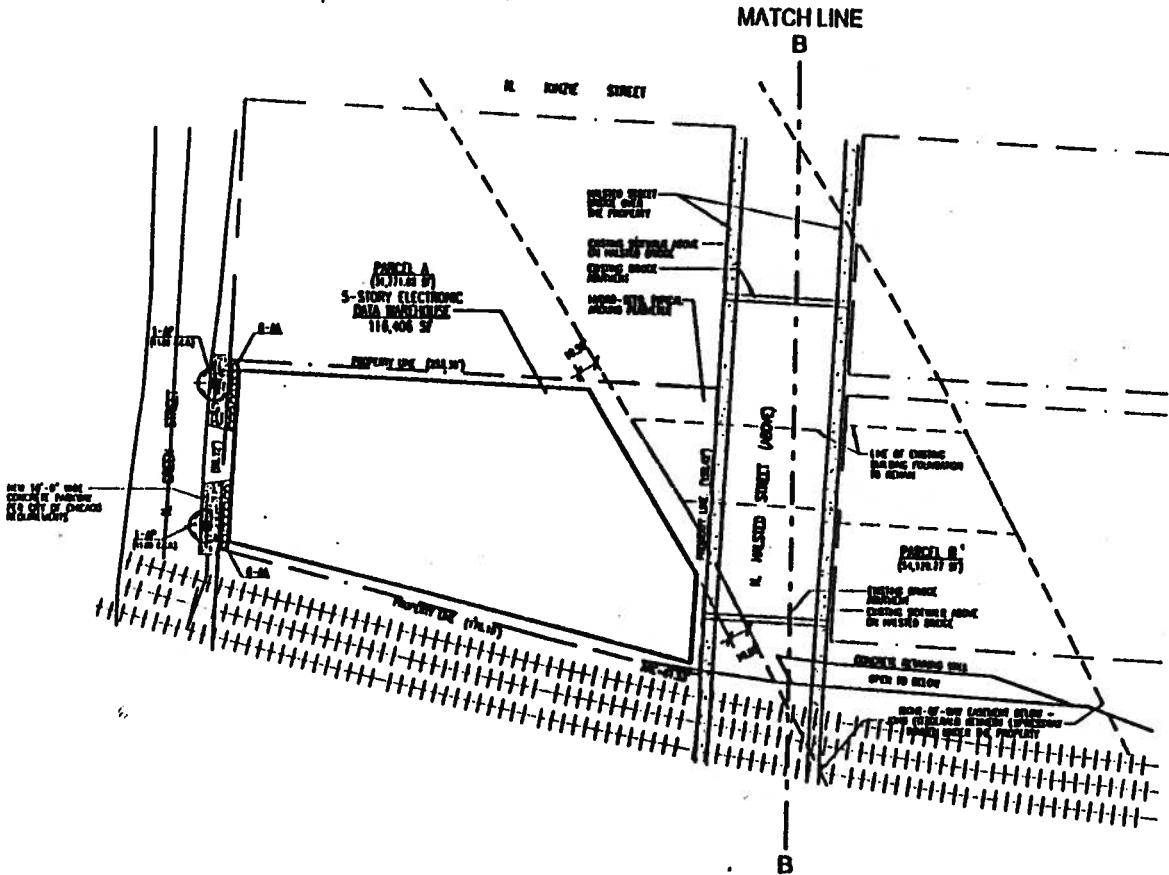


Des Plaines Street Section

Exterior Elevations.



Landscape Plan.



LANDSCAPE PLAN KEY:

PLANT LEG:			
KEY:	NEW	EXISTING	AS-BUILT



DATE: 02/20/01
 BY: A. P. THORNTON
 PROJECT NO: 01-00000000

SCALE: 1" = 10' (PLAN) AND 1" = 20' (SECTION)

GENERAL NOTES:

1. REFER TO THE EXISTING RECORDS FOR ALL EXISTING INFORMATION, UTILITIES, EXISTING CONDITIONS, CONSTRUCTION DETAILS AND EXISTING CONDITIONS.
2. CONSULT THE CITY ENGINEER OF THE DISTRICT, PLEASE VERIFY ALL CONDITIONS OF PLANT MATERIAL.
3. ALL EXISTING AREAS OF THE ARE TO BE MAINTAINED.
4. CONSULT THE PROJECT ARCHITECT FOR ALL PLANT SPECIFICATIONS FOR EACH PLANTING AREA TO BE APPROVED BY ARCHITECT. THE SITE IS SUBJECT TO ALL CITY LANDSCAPE REQUIREMENTS, EXCEPT AS NOTED.
5. TOTAL PLANTING VERTICAL USE AREA - 4,000 SF.
6. FURNISH THE LIST OF PLANTS TO BE PROVIDED BY THE CONTRACTOR.



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Christopher R. Hill
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4471 (Voice)
(312) 744-6550 (FAX)
(312) 744-2578 (TTY)

<http://www.ci.chi.il.us>

September 29, 1997

Mr. Thomas Conklin, Jr.
Sidley & Austin
One First National Plaza
Chicago, Illinois 60603

**Re: Request for minor changes to
Residential-Commercial Planned Development No. 643
Kinzie Station**

Dear Mr. Conklin:

The Department of Planning and Development has considered your request for minor changes to Residential-Commercial Planned Development No. 643, and hereby approves your request pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development.

Specifically, you requested that the Generalized Land Use Map, Site Plan, Landscape Plan, Building Elevations, and Bulk Regulation Data Table originally approved by the Chicago City Council on July 30, 1997 be modified to allow for an increase in height of the eastern high-rise building in Sub-Area B from twenty (20) stories to twenty-five (25) stories (with a maximum elevation of 272'-0"), a decrease in height of the mid-rise building in Sub-Area A from eight (8) stories to seven (7) stories (with a maximum elevation of 97'-0"), and a substitution of interior parking spaces for the previously-approved live-work units in the existing warehouse structure in Sub-Area D. The total number of off-street parking spaces would increase from 420, as shown in the Planned Development Bulk Regulation Data Table, to 464 spaces.

The increase in height of the high-rise would have no effect on the existing properties to the south of the site. The decrease in height of the mid-rise, however, would increase access to light and views for neighboring buildings of similar scale. There would be no change in the approved setbacks, maximum number of dwelling units, Blended Total Floor Area Ratio or building footprints. Maximum permissible floor area ratios within Sub-Areas B and C would increase, with a corresponding decrease in Sub-Areas A and D. The amount of landscaping in the public right-of-way in front of and within the setback of the existing building in Sub-Area D would increase per the new Site Plan and Landscape Plan.

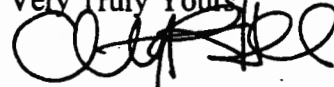


Please
Recycle!




Accordingly, per the authority granted by the Chicago Zoning Ordinance and Statement No. 13 of the Planned Development, I hereby approve the requested minor changes, but no other changes to Residential-Commercial Planned Development No. 643. The revised Generalized Land Use Map, Site Plan, Landscape Plan, Building Elevations, and Bulk Regulation Data Table dated September 26, 1997 and prepared by Pappageorge Haymes, Ltd. are made a part of this approval.

Very Truly Yours,



Christopher R. Hill
Commissioner

Originated by:



Philip Levin
Assistant Commissioner

cc: Paul Woznicki
Michael Marmo

~~SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C3-6 Commercial-Manufacturing District symbols and indications as shown on Map Number 1-E in the area bounded by:~~

~~a line 141 feet north of East Madison Street; North Garland Court; a line 101 feet north of East Madison Street; and North Wabash Avenue,~~

~~to those of a B6-7 Restricted Central Business District and a corresponding use district is hereby established in the area above described.~~

~~SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.~~

—

*Reclassification Of Area Shown On Map Number 1-F.
(As Amended)
(Application Number 12021)*

RCPD 643

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the M2-4 General Manufacturing District symbols and indications as shown on Map Number 1-F in the area bounded by:

the south line of the Northeastern Illinois Commuter Railroad Corporation (Metra) right-of-way; a point 215 feet east of the east line of North Halsted Street; a point 54 feet south of the south line of the railroad right-of-way; a point 39 feet east of said line; a point 99 feet, 6.75 inches south; West Wayman Street; and North Halsted Street, to the point of beginning,

to those of a C1-5 Restricted Commercial District which is hereby established in the area described above.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the M2-4 and M2-5 General Manufacturing District symbols and indications as shown on Map Number 1-F in the area bounded by:

the south line of the Northeastern Illinois Commuter Railroad Corporation (Metra) right-of-way at a point 205 feet, 10 inches west of the west line of North Union Street; a point 180 feet, 5 inches east of the east line of North Union Street; West Wayman Street; a point 166 feet, 10 inches west of the west line of North Union Street; a point 99 feet, 6.75 inches north of said line; a point 39 feet west of said line; and a point 54 feet north of said line, to the point of beginning,

- (12) *Restricted production and repair, limited to the following: art needlework; clothing -- custom manufacturing and alterations; [for retail only;] including jewelry (from precious metal); watches; dentures and optical lenses.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

AMENDMENT OF CHICAGO ZONING ORDINANCE BY
RECLASSIFICATION OF PARTICULAR AREAS.

On motion of Alderman Burke, the City Council took up for consideration the report of the Committee on Zoning, deferred and published in the Journal of the Proceedings of the City Council of July 2, 1997, pages 48361 and 48362, recommending that the City Council pass various proposed ordinances, printed on pages 48362 through 48428, which amend the Chicago Zoning Ordinance by reclassifying particular areas.

On motion of Alderman Banks, the said proposed ordinances were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Granato, Haithcock, Tillman, Preckwinkle, Holt, Steele, Beavers, Dixon, Shaw, Buchanan, Huels, Frias, Olivo, Burke, Coleman, Peterson, Murphy, Rugai, Troutman, Evans, Munoz, Zalewski, Chandler, Solis, Ocasio, Burnett, E. Smith, Burrell, Wojcik, Suarez, Gabinski, Mell, Banks, Giles, Allen, Laurino, Doherty, Natarus, Hansen, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 45.

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Number 1-E.
(Application Number A-3720)

Be It Ordained by the City Council of the City of Chicago:

to those of an R5 General Residence District which is hereby established in the area described above.

SECTION 3. That the Chicago Zoning Ordinance be amended by changing all of the M2-5 General Manufacturing District symbols and indication as shown on Map Number 1-F in the area bounded by:

the south line of the Northeastern Illinois Commuter Railroad Corporation (Metra) right-of-way at a point 137.30 feet west of the west line of North Desplaines Avenue; a point 134.30 feet east of the east line of North Desplaines Avenue; and West Wayman Street, to the point of beginning,

to those of a B4-4 Restricted Service District which is hereby established in the area described above.

SECTION 4. That the Chicago Zoning Ordinance be amended by changing all of the M2-5 General Manufacturing District symbols and indications as shown on Map Number 1-F in the area bounded by:

the south line of the Northeastern Illinois Commuter Railroad Corporation (Metra) right-of-way at a point 134.30 feet east of the east line of North Desplaines Street; North Jefferson Street; West Wayman Street; and a point 187 feet west of the west line of North Jefferson Street, to the point of beginning,

to those of an R5 General Residence District.

SECTION 5. That the Chicago Zoning Ordinance be amended by changing all the R5 General Residence District, B4-4 Restricted Service District and C1-5 Restricted Commercial District symbols as shown on Map Number 1-F in the area bounded by:

the south line of the Northeastern Illinois Commuter Railroad Corporation (Metra) right-of-way; North Jefferson Street; West Wayman Street; and North Halsted Street, to the point of beginning,

to the designation of a Residential/Commercial Planned Development which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 6. This ordinance shall be in full force and effect from and after passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential/Commercial Planned Development. No 643
Plan Of Development Statements.

1. The area delineated herein as a Residential/Commercial Planned Development (the "Planned Development") consists of approximately one hundred sixty-eight thousand five hundred forty-one (168,541) net square feet (three and eighty-seven one-hundredths (3.87)) acres of property which is depicted on the attached Planned Development Boundary, Property Line and Right-of-Way Adjustment Map (the "Property") and is owned and controlled by the Applicant, CMC Heartland Partners, Ltd.
2. All applicable official reviews, approvals or permits required in connection with this Planned Development shall be obtained by the Applicant, or its successors, assignees or grantees. Any dedication or vacation of streets, alleys or easements, or any adjustment of rights-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its affiliates, successors, assigns, grantees and lessees and, if different than the Applicant, the record owners of title and/or Property Owner's Association. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the record owners of title and/or Property Owner's Association. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, at the time of any application for an amendment, modification or change (administrative, legislative or otherwise) to this Planned Development, the Property shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made by the Applicant or any Homeowner's Association or similar Property Owner's Association which is formed to succeed the Applicant.
4. This Planned Development consists of fifteen (15) statements, a Bulk Regulations and Data Table and the following exhibits, dated June 19, 1997:
 - Existing Zoning Map;
 - Planned Development Boundary, Property Line and Right-of-Way Adjustment Map;

- Generalized Land-Use Map;
- Existing Land-Use Map;
- Site Plan;
- Landscape Plan;
- Building Elevations.

This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a Planned Development. These and no other zoning controls shall apply to the Property.

5. The Property within the Planned Development is divided into four (4) lettered sub-areas (A -- D) as indicated on the Generalized Land-Use Map. Subject to the Bulk Regulations and Data Table and the footnotes thereto, the following uses are permitted on the Property under this Planned Development:

Any portion of the Property may be utilized on an interim basis for construction staging, the storage of construction materials and non-accessory parking for the various phases of development of the Property, private parks, playgrounds and non-accessory parking may also be established in any sub-area as part of the development of the Property.

Sub-Area A shall be developed primarily for low- and mid-rise residential purposes. In addition, all permitted uses in the R5 General Residence District shall be allowed.

Sub-Area B shall be devoted primarily to high-rise residential uses. In addition, all permitted uses in the B4-5 Restricted Service District and ground floor residential uses shall be allowed; provided, however, that non-residential uses shall be limited to levels one (1) through four (4) above the Wayman Street and Desplaines Street levels, or the top floor of any high-rise structure.

Sub-Area C shall be devoted primarily to mid- and low-rise residential uses. In addition, all permitted uses in the R5 General Residential District shall be allowed.

Sub-Area D shall be devoted primarily to mixed low-rise residential (live-work) and commercial uses. In addition, all permitted uses in the C1-2 Restricted Commercial District and ground floor residential uses shall be allowed, provided however

that any commercial use that exceeds three thousand (3,000) square feet in a single location shall be subject to site plan review by the Department of Planning and Development.

6. Identification signs and business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Temporary signs, such as construction and marketing signs, are permitted upon the Property subject to the review and approval of the Commissioner of the Department of Planning and Development.
7. Any private service drive, private fire lanes or other ingress or egress shall be adequately designed and paved to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas except as approved by the Chicago Fire Department. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Planning and Development.
8. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed on the Building Elevations attached hereto, the height of the improvements and any appurtenance attached thereto also shall be subject to height limitations approved by the Federal Aviation Administration.
9. For purposes of maximum Floor Area Ratio (F.A.R.) calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from Floor Area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical equipment in excess of five thousand (5,000) square feet in a single location, regardless of placement in the building, shall be excluded.
10. The improvements on the Property, including driveways and landscaping, shall be designed, constructed and maintained in general conformance with the Site Plan, Landscape Plan and Building Elevations attached hereto. In addition, parkway trees shall be installed and maintained in accordance with the parkway tree planting provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
11. The Applicant acknowledges that there is a lack of improved public open space in the immediate area and that the proposed development will create demand for new neighborhood parks and recreational facilities. Preliminary planning for a new public park located at the northwest corner of Madison and Desplaines Streets is currently underway by the City and the Chicago Park District to meet the needs of proposed new residential development in the area.

Accordingly, the Applicant voluntarily commits to contribute the sum of One Hundred Sixty-four Thousand Dollars (\$164,000) toward the future development of public open space in the vicinity of this Planned Development. Payment or an irrevocable letter of credit shall be made pro-rata based proportionally on the total number of units approved out of the total proposed in this Planned Development concurrently with the issuance of each Part II approval for this Planned Development. Determination of whether payment should be made to the City or the Park District must be made prior to issuance of the first Part II approval. If the City or Park District fails to expend the Applicant's contribution within ten (10) years of the effective date of this Planned Development the contribution, plus any accrued interest, and the irrevocable letter of credit, shall be promptly refunded to the Applicant.

12. In order to ensure that the Property is adequately served with school, library, police, fire and emergency services and facilities as it develops, the Applicant shall cooperate with the City in providing such information and documentation, from time to time upon the City's request, with regard to completed and anticipated development as may be appropriate to assist the City and other governmental bodies in assessing the need for such additional services and facilities.
13. The terms, conditions and exhibits of the Planned Development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the request of the Applicant and after a determination by the Commissioner of the Department of Planning and Development that such a modification is minor, appropriate and consistent with the nature of the development of the Property contemplated herein. Any such modification shall be deemed to be a minor change in the Planned Development ordinance as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Notwithstanding the provisions of clauses (4) and (5) of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes may include a reduction in the minimum required distance between structures, a reduction in periphery setbacks or an increase in the maximum percent of land covered.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings to be located within this Planned Development in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air-Conditioning

Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S.").

15. The development and adaptive re-use of the Property under this Planned Development will occur in several phases over an extended period of time. Unless substantial construction of the improvements contemplated hereunder for Sub-Area A and the eastern half of Sub-Area B have commenced within five (5) years following adoption of this Planned Development, and unless completion thereof is diligently pursued, this Planned Development shall expire, but only with respect to the sub-area for which construction has not substantially commenced.

Unless substantial construction of the improvements contemplated hereunder for the western half of Sub-Area B and the eastern half of Sub-Area C within ten (10) years following adoption of this Planned Development, and unless completion thereof is diligently pursued, this Planned Development shall expire, but only with respect to the sub-area for which construction has not substantially commenced.

Unless substantial construction of the improvements contemplated hereunder for the western half of Sub-Area C and the entirety of Sub-Area D within (fifteen (15)) years following adoption of this Planned Development, and unless completion thereof is diligently pursued, this Planned Development shall expire, but only with respect to the sub-area for which construction has not substantially commenced.

Provided, however, that if the City Council amends the Chicago Zoning Ordinance to provide for a shorter expiration which is applicable to all Planned Developments, then this Planned Development shall expire upon the expiration of such shorter time period as provided by said amendatory ordinance (the first (1st) day of which as applied to this Planned Development shall be the effective date of the amendatory ordinance). If this Planned Development, with respect to any sub-area or portion thereof, expires under the provisions of this section, then the zoning of that sub-area or portion thereof, shall automatically revert to the present M2-4 and M2-5 General Manufacturing Districts.

[Bulk Regulations and Data Table; Existing Zoning Map; Planned Development Boundary, Property Line and Right-of-Way Adjustment Map; Generalized Land-Use Map; Existing Land-Use Map; Site Plan; Landscape Plan; Building Elevation Drawings; and Street Section Drawings referred to in these Plan of Development Statements printed on pages 50921 through 50931 of this Journal.]

7/30/97

UNFINISHED BUSINESS

50921

12021

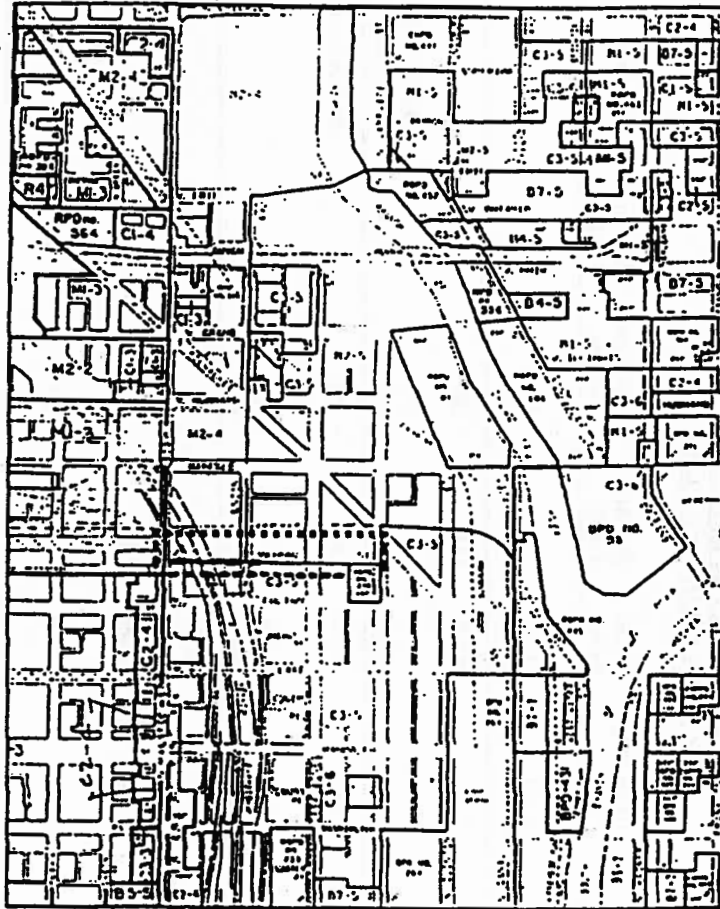
**RESIDENTIAL COMMERCIAL PLANNED DEVELOPMENT
320 N. JEFFERSON - 740 W. WAYMAN
BULK REGULATION DATA TABLE**

Bulk Regulations And Data Table.

Unit Type	Land Area	Maximum Dwelling Unit Quantity	Gross Bldg. Area	F.A.R. Area	Sub-Area F.A.R.	Minimum Off-Street Parking	Minimum Loading	Remarks
Sub Area A	30,896							
Townhouse		6	14,832	13,344		6		
Midrise		20	61,329	44,874		32		
Total		26	76,161	58,218	1.88	> 38		
Sub Area B	43,972							17 Res. Fis. @ 116 Units 116 Spaces per bldg.
Highrise		234	456,604	350,246		258	2	
Total		234	456,604	350,246	7.97	> 258		28 under Des Plaines
Sub Area C	56,357							
Townhouse		12	29,664	26,688		12		
Midrise		64	123,051	88,636		64		
Total		76	152,715	115,324	2.05	> 76		
Sub Area D	37,316							
Commercial/Residential		32	36,480	36,480	0.98	48		
Blended Total	168,541 3.32 Acres	381 98 Units/Acre	721,960	560,268	3.32	> 420	2	
Gross Site Area	225,189 s.f. (5.16 acres) = Net Site Area + Public R.O.W. (56,648 s.f.)							
Net Site Area	168,541 s.f. (3.87 acres)							
Blended F.A.R.	3.32		Bldg. Coverage Area	88,022 s.f. (46%)		(2.02 Acres)		
Parking Ratio	1.1		Road Coverage Area	32,697 s.f. (27%)		(.075 Acres)		
			Landscape Area*	47,823 s.f. (27%)		(1.10 Acres)		
			Area of Private Balconies/Terraces	22,316 s.f.				

*Includes high-rise plazas

Existing Zoning Map.



..... Subject Property
for Planned Development

EXISTING ZONING MAP



N.T.S.

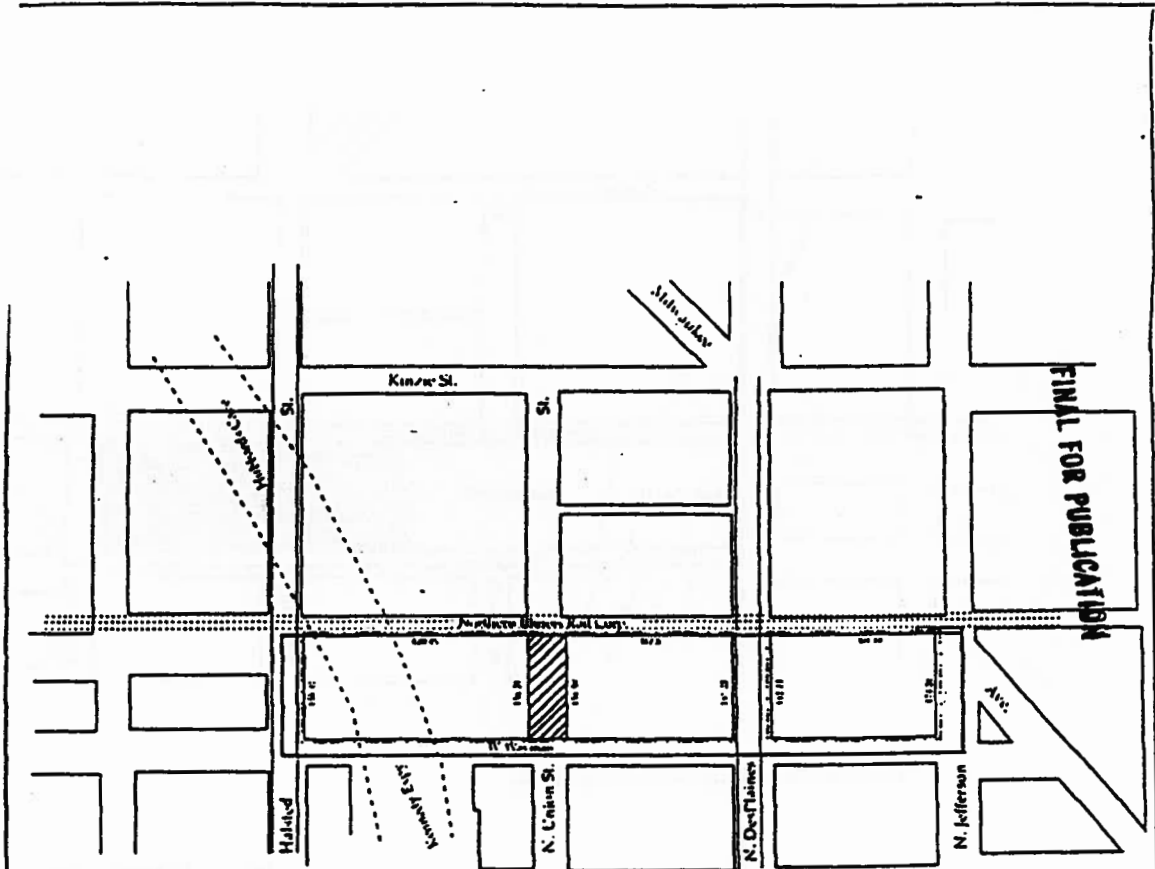
DATE: 6.19.97

APPLICANT:
CMC HEARTLAND PARTNERS
547 WEST JACKSON BLVD.
SUITE 1510
CHICAGO, ILLINOIS 60601

PAPAGEORGE HAYMES, LTD
ARCHITECTS / PLANNERS
514 NORTH FRANKLIN #100
CHICAGO, ILLINOIS 60610

SMITH & SMITH ASSOCIATES, INC
ARCHITECTS
1031 NORTH ORLEANS STREET
CHICAGO, ILLINOIS 60610

Planned Development Boundary, Property Line
And Right-Of-Way Adjustment Map.



PLAN DEVELOPMENT BOUNDARY,
PROPERTY LINE RIGHT OF WAY ADJUSTMENT MAP (CLOSING PART OF UNION STREET)
RIGHT OF WAY ADJUSTMENT MAP (CLOSING PART OF UNION STREET)

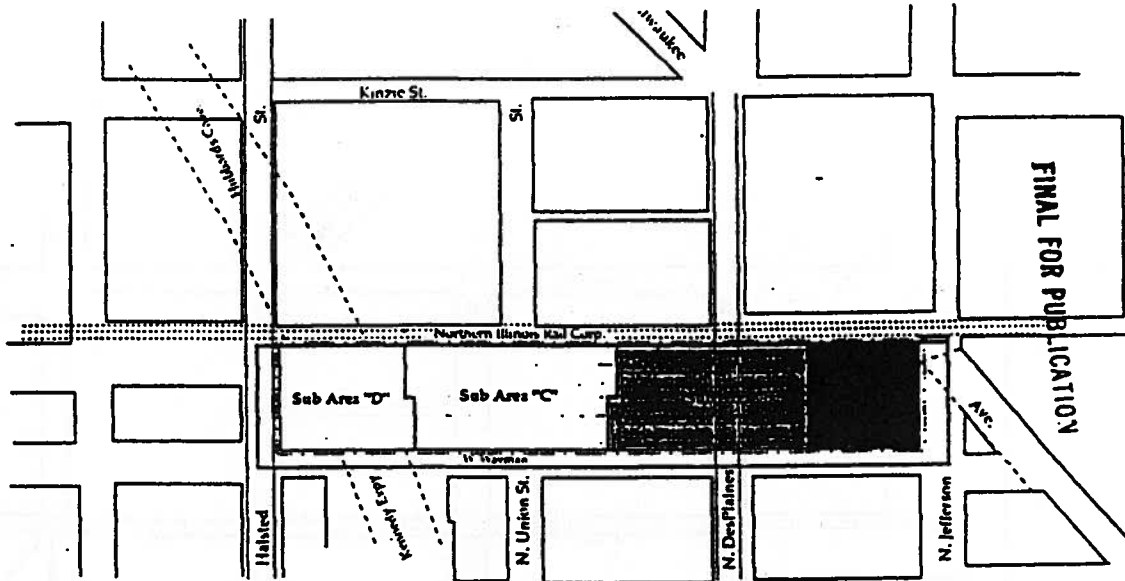


DATE: 6.19.97

- Planned Development
- - - Property Lines
- Union Street Right Of Way To Be Closed

<p>APPLICANT: CMC HEARTLAND PARTNERS 547 WEST JACKSON BLVD. SUITE 1510 CHICAGO, ILLINOIS 60661</p>	<p>PAPPAGEORGE HAYMES, LTD ARCHITECTS / PLANNERS 514 NORTH FRANKLIN #100 CHICAGO, ILLINOIS 60610</p>	<p>SMITH & SMITH ASSOCIATES, INC. ARCHITECTS 1031 NORTH ORLEANS STREET CHICAGO, ILLINOIS 60610</p>
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Generalized Land-Use Map.



GENERALIZED LAND USE MAP

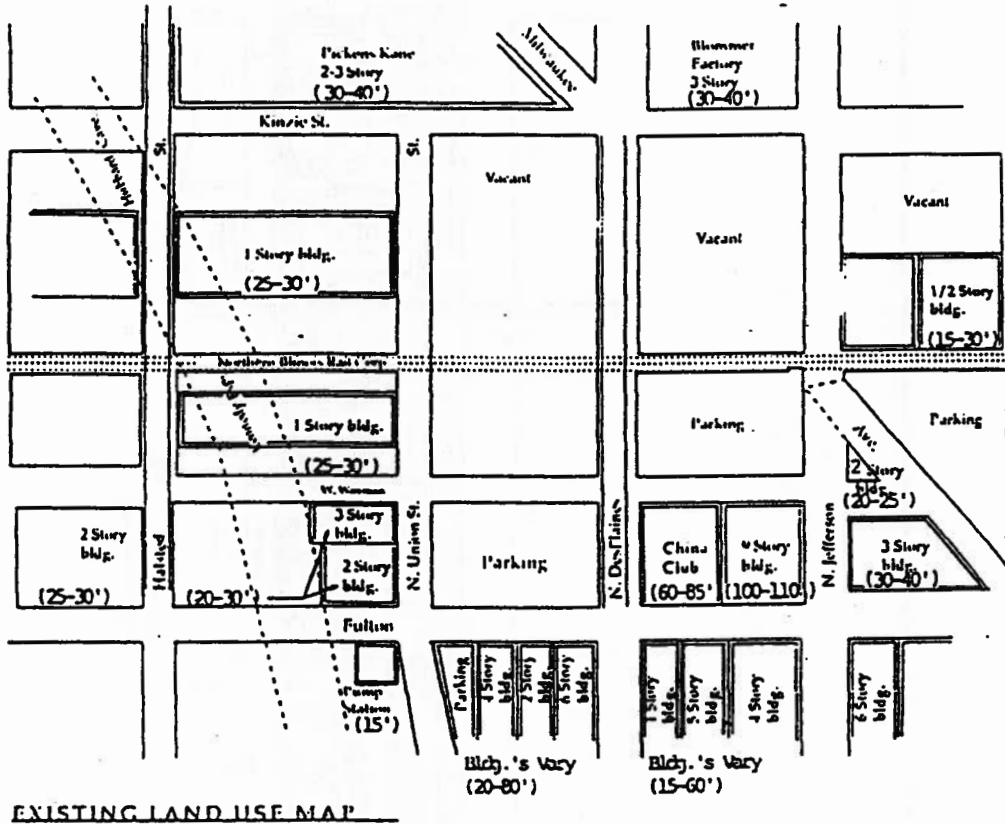


DATE: 6.19.97

-  Planned Development
-  Sub Area "A" Low/Midrise Residential
-  Sub Area "B" High rise Residential
-  Sub Area "C" Low/Midrise Residential
-  Sub Area "D" Residential/Commercial

<p>APPLICANT: CMC HEARTLAND PARTNERS 547 WEST JACKSON BLVD. SUITE 1510 CHICAGO, ILLINOIS 60661</p>	<p>PAPPAGEORGE HAYMES, LTD ARCHITECTS / PLANNERS 814 NORTH FRANKLIN #400 CHICAGO, ILLINOIS 60610</p>	<p>SMITH & SMITH ASSOCIATES, INC ARCHITECTS 1031 NORTH ORLEANS STREET CHICAGO, ILLINOIS 60610</p>
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Existing Land-Use Map.



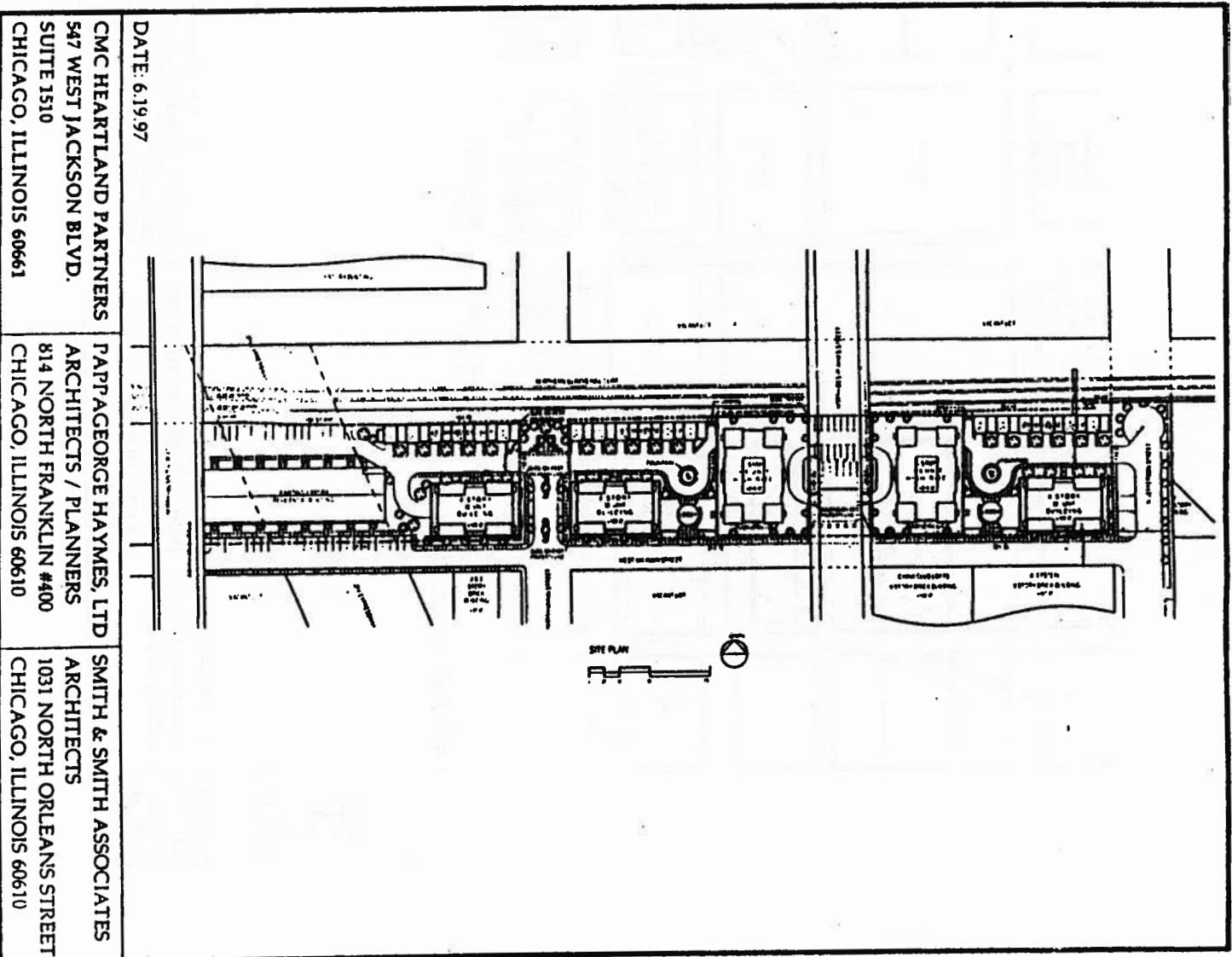
EXISTING LAND USE MAP



DATE: 6.19.97

<p>APPLICANT: CMC HEARTLAND PARTNERS 547 WEST JACKSON BLVD. SUITE 1510 CHICAGO, ILLINOIS 60661</p>	<p>PAPPAGEORGE HAYMES, LTD ARCHITECTS / PLANNERS 514 NORTH FRANKLIN #400 CHICAGO, ILLINOIS 60610</p>	<p>SMITH & SMITH ASSOCIATES, INC. ARCHITECTS 1031 NORTH ORLEANS STREET CHICAGO, ILLINOIS 60610</p>
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Site Plan.



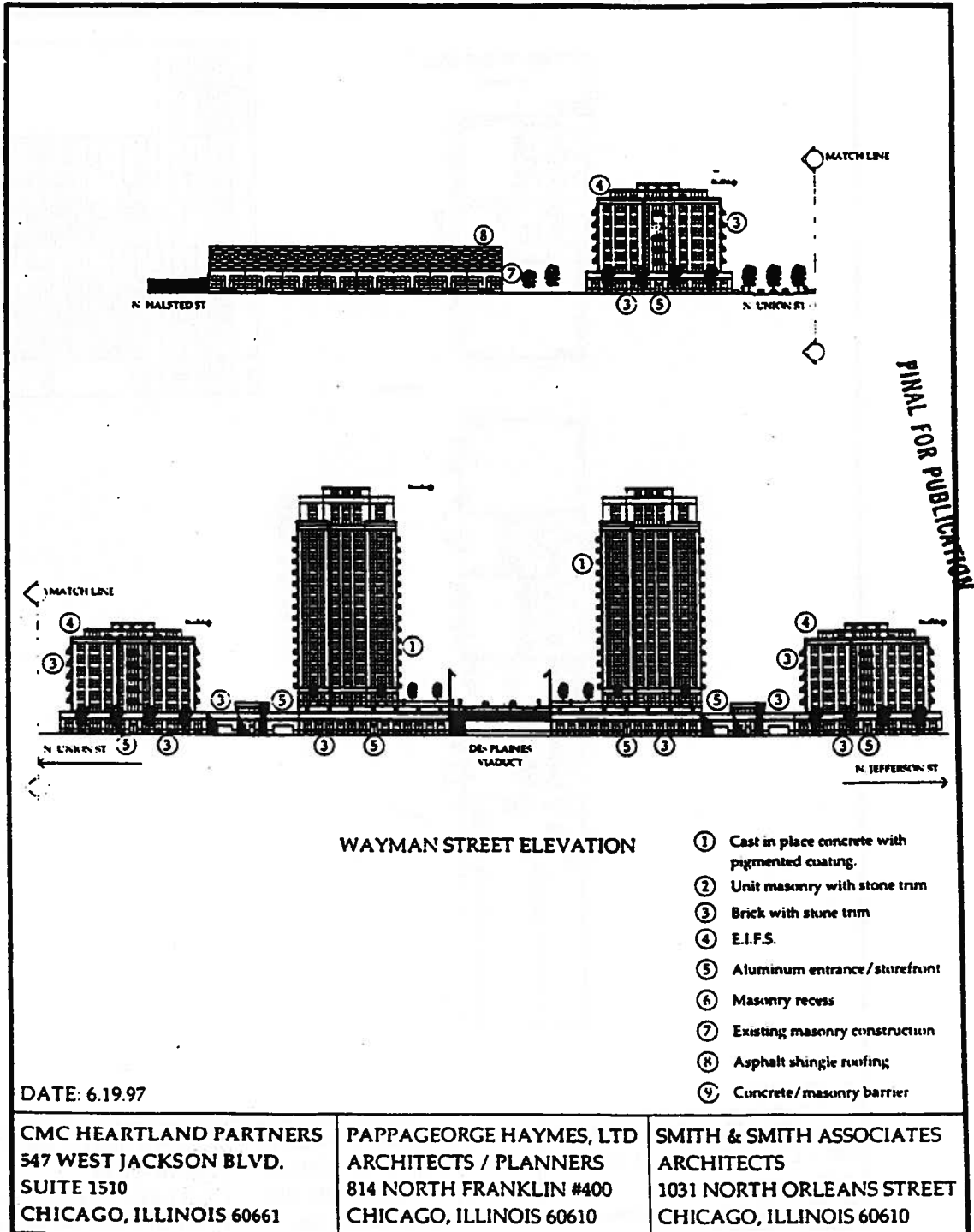
DATE: 6.19.97

CMC HEARTLAND PARTNERS
547 WEST JACKSON BLVD.
SUITE 1510
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PAPPAGEORGE HAYMES, LTD
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814 NORTH FRANKLIN #400
CHICAGO, ILLINOIS 60610

SMITH & SMITH ASSOCIATES
ARCHITECTS
1031 NORTH ORLEANS STREET
CHICAGO, ILLINOIS 60610

Wayman Street Elevation.



WAYMAN STREET ELEVATION

- ① Cast in place concrete with pigmented coating.
- ② Unit masonry with stone trim
- ③ Brick with stone trim
- ④ E.I.F.S.
- ⑤ Aluminum entrance/storefront
- ⑥ Masonry recess
- ⑦ Existing masonry construction
- ⑧ Asphalt shingle roofing
- ⑨ Concrete/masonry barrier

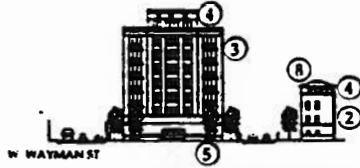
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547 WEST JACKSON BLVD.
SUITE 1510
CHICAGO, ILLINOIS 60661

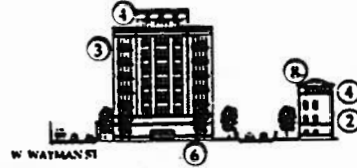
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ARCHITECTS
1031 NORTH ORLEANS STREET
CHICAGO, ILLINOIS 60610

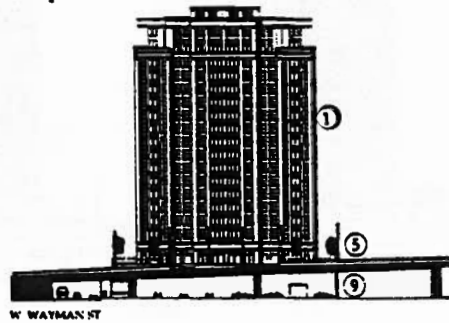
Desplaines Street Elevation.



N. UNION STREET ELEVATION
VIEW LOOKING WEST
(EAST VIEW, OPT. HAND)



N. JEFFERSON STREET ELEVATION
VIEW LOOKING WEST



DES PLAINES STREET ELEVATION

- ① Cast in place concrete with pigmented coating.
- ② Unit masonry with stone trim
- ③ Brick with stone trim
- ④ E.I.F.S.
- ⑤ Aluminum entrance/storefront
- ⑥ Masonry recess
- ⑦ Existing masonry construction
- ⑧ Asphalt shingle roofing
- ⑨ Concrete/masonry barrier

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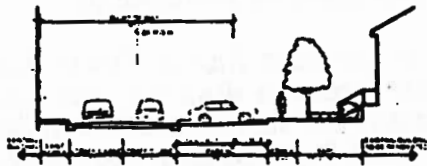
DATE: 6.19.97

CMC HEARTLAND PARTNERS
547 WEST JACKSON BLVD.
SUITE 1510
CHICAGO, ILLINOIS 60661

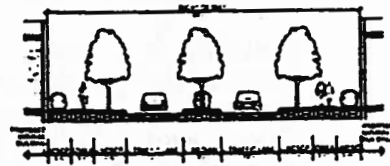
PAPPAGEORGE HAYMES, LTD
ARCHITECTS / PLANNERS
814 NORTH FRANKLIN #400
CHICAGO, ILLINOIS 60610

SMITH & SMITH ASSOCIATES
ARCHITECTS
1031 NORTH ORLEANS STREET
CHICAGO, ILLINOIS 60610

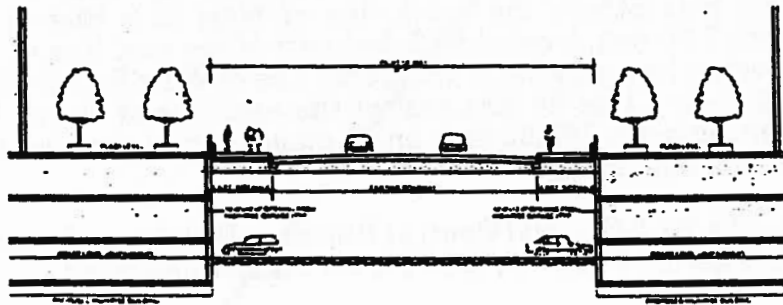
Street Sections.



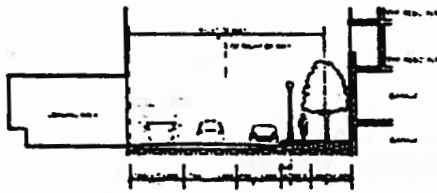
W. WAYMAN (West of Des Plaines Ave.)



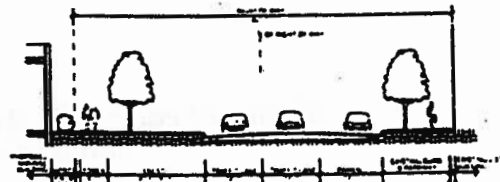
N. UNION ST. (North of Wayman)



N. DES PLAINES AVE (North of Wayman)



W. WAYMAN (East of Des Plaines Ave.)



N. JEFFERSON ST. (North of Wayman)

STREET SECTIONS

DATE: 6.19.97

CMC HEARTLAND PARTNERS
 547 WEST JACKSON BLVD.
 SUITE 1510
 CHICAGO, ILLINOIS 60661

PAPPAGEORGE HAYMES, LTD
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