

PD 500

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 12, 2026

Garry P. Potts II
Professional Permits
58171 Dragonfly Ct.
Osceola, IN 46561

Re: Minor change denial for PD No. 500, Proposed 2nd high-rise building sign

Dear Mr. Potts:

Please be advised that your request for a minor change to Business Planned Development No. 500 ("PD 500") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement Number's 6 and 12 of PD 500.

On behalf of One North Wacker LLC, the sole property owner, and PwC US Group LLP ("PwC"), you are seeking a minor change to allow PwC a 2nd high-rise sign on the existing building at 1 N. Wacker Dr. As shown on the attached exhibit, the proposed 962 SF sign would be located at the top of the north elevation.

Pursuant to Section 17-12-1005-D.10 of the Zoning Ordinance, if a principal tenant, as identified in Section 17-12-1005-D.9, maintains, in the subject building: (i) its international headquarters, or if no international headquarters exists, its national headquarters; (ii) its chief executive officer; and (iii) occupies or has a signed lease to occupy at least the lesser of 60 percent of the building's total floor area or 450,000 square feet of the building's total floor area, then such principal tenant is eligible to place two high-rise building signs on the subject building.

No evidence was submitted with the request that PwC maintains its international or national headquarters, or the office of its chief executive officer, within the subject building. According to your request, PwC has a signed lease to occupy only 20% or 294,694 SF of the total 1,428,401 SF of floor area, which is less than the required amount identified above.

Therefore, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 500, I hereby deny this minor change request.

Sincerely,


Noah Szafraniec
Assistant Commissioner

NS:tm

C: Noah Szafraniec, Mike Marmo, Luis Clayton, Main file

E02 NORTH ELEVATION - WHITE LETTERS

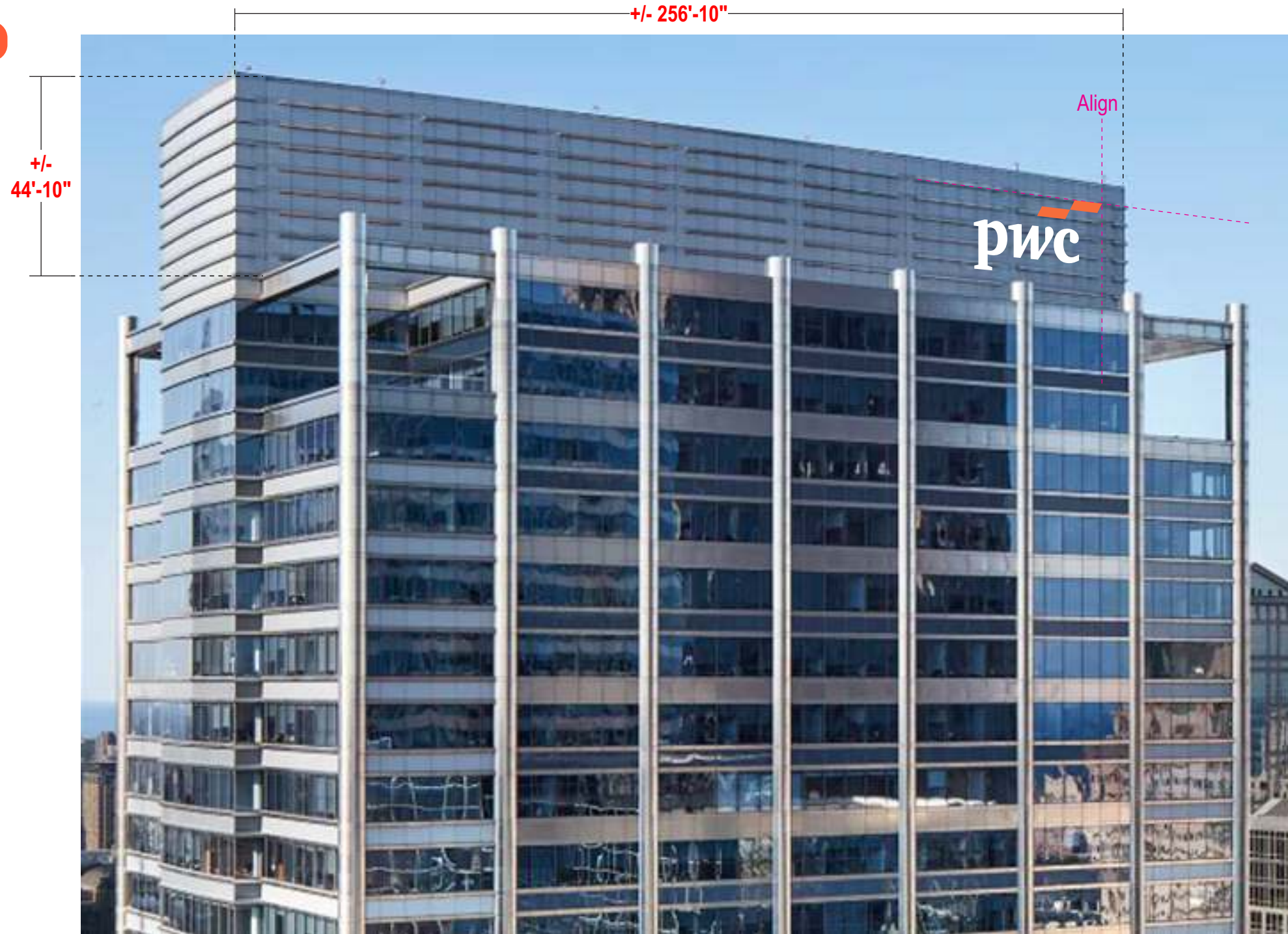
Scale: N.T.S.

EXISTING SIGN SF:	+/- 1658
PROPOSED SIGN SF:	962.3 Sq. Ft. Overall 617.2 Sq. Ft. Separate



OPTION E

13'-6" (P) WHITE



Stratus[®]

onstratus.com
8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:	
ADDRESS:	1 N WACKER DR CHICAGO, IL 60606
PAGE NO.:	11

ORDER NUMBER:	N/A	PROJECT NUMBER:	4875
SITE NUMBER:	N/A	PROJECT MANAGER:	NORA DIGGINS
ELECTRONIC FILE NAME:	G:\ACCOUNTS\PI\PWC\2024\IL\60606_Chicago\60606_Chicago_High Rise_R4.cdr		

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	488611	08/08/24 KWK					
Rev 1	531517	05/14/25 CR					
Rev 2	533170	05/29/25 PV					
Rev 3	537699	06/19/25 PB					
Rev 4	541700	07/16/25 PB	Page added				
Rev 5	543719	07/23/25 PB	Revised placement				
Rev 6	543720	08/22/25 PB					

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February 18, 1999

Mr. Rolando R. Acosta
Alzheimer & Gray
10 South Wacker Drive
Suite 4000
Chicago, Illinois 60606

RE: Request for minor changes to Business Planned Development
No. 500, as Amended (One North Wacker Drive)

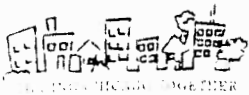
Dear Mr. Acosta:

Please be advised that your request for minor changes to Business Planned Development No. 500, as Amended, on behalf of One North Wacker Drive Venture has been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance and Statement No. 12 of the Planned Development.

In your letter, you requested modifications to the Planned Development resulting from a decrease in the size of the project from approximately 1.9 million square feet to approximately 1.6 million square feet. The height of the building also would be reduced and the amount of at-grade open space increased. Landscaping and other amenities also would be provided to reflect the changes in the project. These modifications are depicted on the revised Site/Landscape Plan and Building Elevations prepared by Lohan Associates and dated February 15, 1999. Specifically, you requested the following modifications:

- (1) A decrease in the maximum permitted floor area ratio from 31.94 to 26.0 and in the minimum number of loading berths from 8 to 7 as specified on Bulk Regulations and Data Table;
- (2) Modifications to the Site/Landscape Plan, as per the attached plan prepared by Lohan Associates and dated February 15, 1999;
- (3) Modifications to the Building Elevations, per plans prepared by Lohan Associates and dated February 15, 1999.
- (4) Modifications to Statement No. 11, to reflect the revised design: and

NEIGHBORHOODS



The revised Site/Landscape Plan, Building Elevations, Statement No. 11 and the Bulk Regulations and Data Table all dated February 15, 1999, depict and describe the following modifications:

- (A) Replacement of the Madison Street colonnade with a full building setback of approximately 24 feet;
- (B) Relocation of the through-block lobby from north of the elevator core to the Madison Street frontage;
- (C) An increase in the setback of the entire building along the Franklin Street frontage from approximately 16 ft. to approximately 38 ft.;
- (D) Projection of a portion of the ground floor space to the Wacker Drive property line. (The building as approved extended to this point above the ground floor);
- (E) Removal of the curb cut along Franklin Street; and
- (F) A new design for the proposed at-grade landscaping, including replacement of the previously proposed two, 50-foot tall water features which bordered the colonnade with water elements to be incorporated into the new landscaping design.

After reviewing the proposed revisions to the development, the Department of Planning and Development has determined that while the project has been reduced in scale, the quality of the proposal has not decreased. Significant at-grade public amenities including planters, benches and fountains are provided in the new Site/Landscape Plan. The new Building Elevations depict similar materials to those originally proposed.

The Department of Planned and Development has determined that the requested modifications to BPD No. 500, as Amended, would constitute minor changes. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and BPD No. 500, as Amended, I hereby approve the foregoing minor changes, but no other changes, to BPD No. 500, as Amended.

The revised Site/Landscape Plan, Building Elevations, Statement No. 11 and the Bulk Regulations and Data Table dated February 15, 1999 are made a part of this approval. All other provisions of BPD No. 500 shall remain as adopted on September 9, 1998.

Sincerely,

A handwritten signature in black ink, appearing to read "CHRILL", written over a large, stylized circular mark.

Christopher R. Hill
Commissioner

cc: Susan Connelly
Paul Woznicki
Philip Levin
Michael Marmo

On motion of Alderman Banks, the said proposed ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Granato, Tillman, Preckwinkle, Holt, Lyle, Beavers, Dixon, Buchanan, Balcer, Frias, Olivo, Coleman, Peterson, Murphy, Rugai, Troutman, DeVille, Munoz, Zalewski, Chandler, Solis, Ocasio, Burnett, E. Smith, Burrell, Wojcik, Suarez, Matlak, Mell, Austin, Colom, Banks, Giles, Allen, Laurino, O'Connor, Doherty, Natarus, Hansen, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 45.

Nays -- None.

Alderman Hansen moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

Said ordinances, as passed, read as follows (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map Number 1-F.
(As Amended)
(Application Number 12429)

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business Planned Development Number 500 symbols and indications as shown on Map Number 1-F in the area bounded by:

West Calhoun Place; North Franklin Street; West Madison Street; and North Wacker Drive,

to those of Business Planned Development Number 500, as amended, which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance reads as follows:

Business Planned Development Number 500, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Business Planned Development Number 500, as amended, consists of approximately sixty thousand seven hundred twenty-four (60,724) square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map and is owned or controlled by the Applicant, One North Wacker Drive Venture, L.L.C. (hereafter, the "Applicant").
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant. Any dedication or vacation of streets, alleys or easements or any adjustment of rights-of-way shall require a separate submittal on behalf of the Applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns (including any condominium association which is formed) and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns (including any condominium association which is formed) and, if different than the Applicant, the legal title holders and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all of the owners of the Property and any ground lessors.

4. This Planned Development consists of fifteen (15) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary and Property Line Map; an Existing Land-Use Map; and a Site/Landscape Plan and Building Elevations prepared by Lohan Associates, dated August 13, 1998. A full size copy of the Site/Landscape Plan and Building Elevations are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago and all requirements thereof, and satisfies the established criteria for approval as a Planned Development.
5. The following uses shall be permitted in this Planned Development subject to the restrictions contained in Statement 11 hereof and in the Bulk Regulations and Data Table:

business and professional offices, conference center, day care center, health club, retail and restaurant uses (including outdoor food service and the serving of liquor as incidental to the serving of food), telecommunications and broadcast equipment, structures and installations subject to the review and approval of the Department of Planning and Development, accessory uses and accessory and non-accessory parking.
6. Business and business identification signs shall be permitted within the Property subject to the review and approval of the Department of Planning and Development. Temporary signs such as construction and marketing signs shall also be permitted, subject to the review and approval of the Department of Planning and Development. No advertising signs as defined by the Chicago Zoning Ordinance shall be permitted.
7. Off-street parking and loading facilities shall be provided in compliance with this Planned Development subject to the review and approval of the Department of Transportation and of the Department of Planning and Development. A minimum of two percent (2%) of all parking spaces provided pursuant to this Planned Development shall be designated and designed for parking for the handicapped. Access to the loading docks and the below grade parking shall be provided directly from Lower Wacker Drive. The Applicant shall submit details of the design for the

below grade parking and loading to the Chicago Department of Transportation's Bureau of Bridges prior to the submission of drawings for Part II approval to ensure that any lower level construction is coordinated with plans for the reconstruction of Wacker Drive.

8. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Department of Transportation and of the Department of Planning and +Development.
9. In addition to the maximum height of the proposed building and any appurtenances attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as certified and approved by the Federal Aviation Administration.
10. For purposes of Floor Area Ratio (F.A.R.) calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that floor area for these purposes shall not include (i) floor area devoted to mechanical equipment in excess of five thousand (5,000) square feet in any single location, regardless of placement in the building, and (ii) floor area devoted to accessory off-street parking.
11. The improvements on the Property, (including landscaping, raised planters, fixed seats and fountains) and the landscaping along the adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the exhibits described in Statement 4 of this Planned Development. Landscaping and water features depicted on the Site/Landscape Plan shall be modified prior to Part II approval to meet the specific goals and standards described below in this statement. Landscaping shall be installed and maintained in accordance with the requirements of this Planned Development and with the parkway tree planting provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. In addition, the improvements on the property shall be subject to the following standards:

- a. Corner Plaza at Franklin and Madison Streets. The plaza shall include a minimum of four thousand (4,000) square feet of area open to the sky, with no more than fifty percent (50%) paved surface. Fifty percent (50%) or more of the plaza area shall be landscaped with seating areas that are open to public and accessible to persons with disabilities.
- b. Setbacks on Wacker Drive. Setback areas facing Wacker Drive shall be improved with additional landscaping beyond that depicted on the Site/Landscape Plan. Revised plans shall be submitted prior to Part II approval.
- c. Public Access Through Private Arcade. Landscaping proposed in the Madison Street sidewalk would severely restrict pedestrian passage on this sidewalk. Alternative passage through a private forty (40) foot wide arcade immediately adjacent to the Madison Street sidewalk is proposed. Public access through this arcade shall be permitted at all times. The Applicant shall maintain a free and clear pathway of no less than twenty (20) feet in width through the arcade in a clean and safe condition. Prior to issuance of any Part II approval, the Applicant shall enter into an agreement with the City regarding public access through the arcade and planting of landscaping on the public way.
- d. Madison Avenue Landscaping/Streetscaping Features. Prior to submission of any application for full Part II approval, the Applicant shall submit detailed plans prepared by a qualified landscape architect to the Department of Planning and Development and to the Department of Transportation for Board of Underground review of proposed improvements in the public way. Such plan shall also be submitted to the Department of Transportation's Bureau of Highways to ensure that the plans are consistent with the City's plans to install decorative street lighting on Madison Street and Wacker Drive. The Applicant also agrees to pay a proportionate share of such street lighting costs which are attributable to the proposed development.
- e. Water Features. The Applicant proposes to construct two (2) fifty (50) foot tall, year-round waterfalls enclosed by glass panels at

the ground floor. Prior to submission of Part II plans, the Applicant shall submit alternate plans for seasonal water features and sculpture for consideration and review by the Department of Planning and Development and the Wacker Drive Association as a possible substitute for the proposed waterfalls. A density bonus was assumed for the installation of public art and water features costing a minimum of Five Hundred Thousand Dollars (\$500,000). Documentation of actual cost shall be submitted prior to Part II approval.

- f. Rooftop Garden. The perimeter of the proposed parking garage facing Wacker Drive shall be landscaped with trees or other plant materials that are visible from Wacker Drive.
 - g. Wind and Ice Impacts. Studies pertaining to the pedestrian level wind and ice impacts shall be submitted prior to Part II approval.
12. The terms, conditions and exhibits of this Planned Development may be modified administratively by the Commissioner of the Department of Planning and Development upon the request of the Applicant and after a determination by the Commissioner that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated by this Planned Development. Any such modification shall be deemed a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within the Property in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables

and maximizes universal access throughout the property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office for People with Disabilities (M.O.P.D.) to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(3) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.

15. Unless substantial construction of the improvements contemplated by this Planned Development has commenced within six (6) years of the effective date hereof and unless completion of those improvements is thereafter diligently pursued, then this Planned Development shall expire and the zoning of the Property shall automatically revert to the pre-existing Business Planned Development Number 500 classification. This six (6) year period may be extended for up to one (1) additional year if, before expiration, the Commissioner of the Department of Planning and Development determines that good cause for an extension is shown.

[Existing Zoning Map; Planned Development Boundary and Property Line Map; Existing Land-Use Map; Site/Landscape Plan; and Building Elevation Drawings referred to in these Plan of Development Statements printed on pages 77668 through 77675 of this Journal.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Business Planned Development Number 500.

Plan Of Development

Bulk Regulations And Data Table.

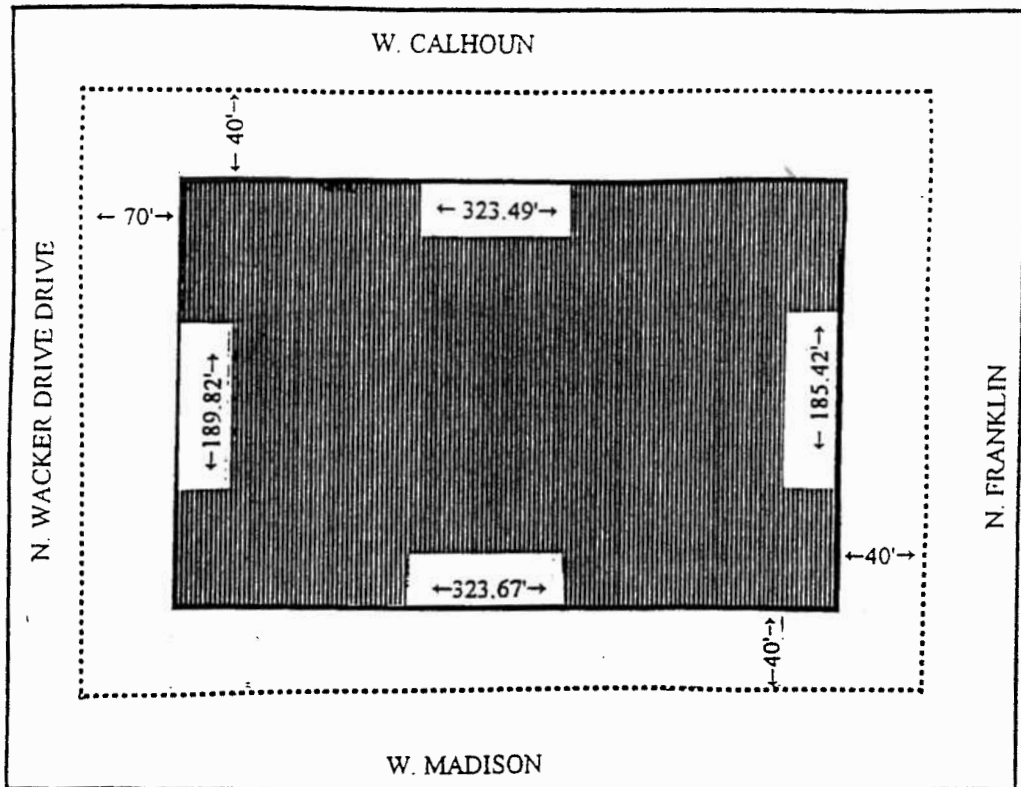
General Description of Land-Use:	See Statement Number 5 of this Planned Development.
Maximum Permitted Floor Area Ratio:	31.94.

Gross Site Area = Net Site Area + Area Remaining in Public Right-of-Way:	101,236.41 square feet (2.32 acres) = 60,724 square feet (1.39 acres) + 40,512.41 square feet (0.93 acres).
Setbacks From Property Line:	In substantial conformance with the Site/Landscape Plan.
Maximum Percentage of Site Coverage:	In Substantial conformance with the Site/ Landscape Plan.
Minimum Number of Off-Street Parking Spaces:	175 parking spaces. ¹
Maximum Number of Off-Street Parking Spaces:	550 parking spaces. ²
Minimum Number of Off-Street Loading Berths:	8 berths (10 feet by 25 feet).

¹ A maximum of 20% of such parking spaces may be designed and designated for use by "compact cars" with approvals as set forth in Statement 7.

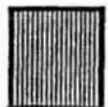
² If less than 200 parking spaces are provided below grade or less than 350 parking spaces are provided in the above grade enclosed parking structure, the maximum F.A.R. shall be adjusted downward to adjust the density bonus granted for such parking by a corresponding amount. The above ground parking spaces shall be deemed accessory regardless of licensure. In addition, a maximum of 25% of the number of off-street parking spaces above the minimum required may be provided as compact car spaces.

Planned Development Boundary And Property Line Map.



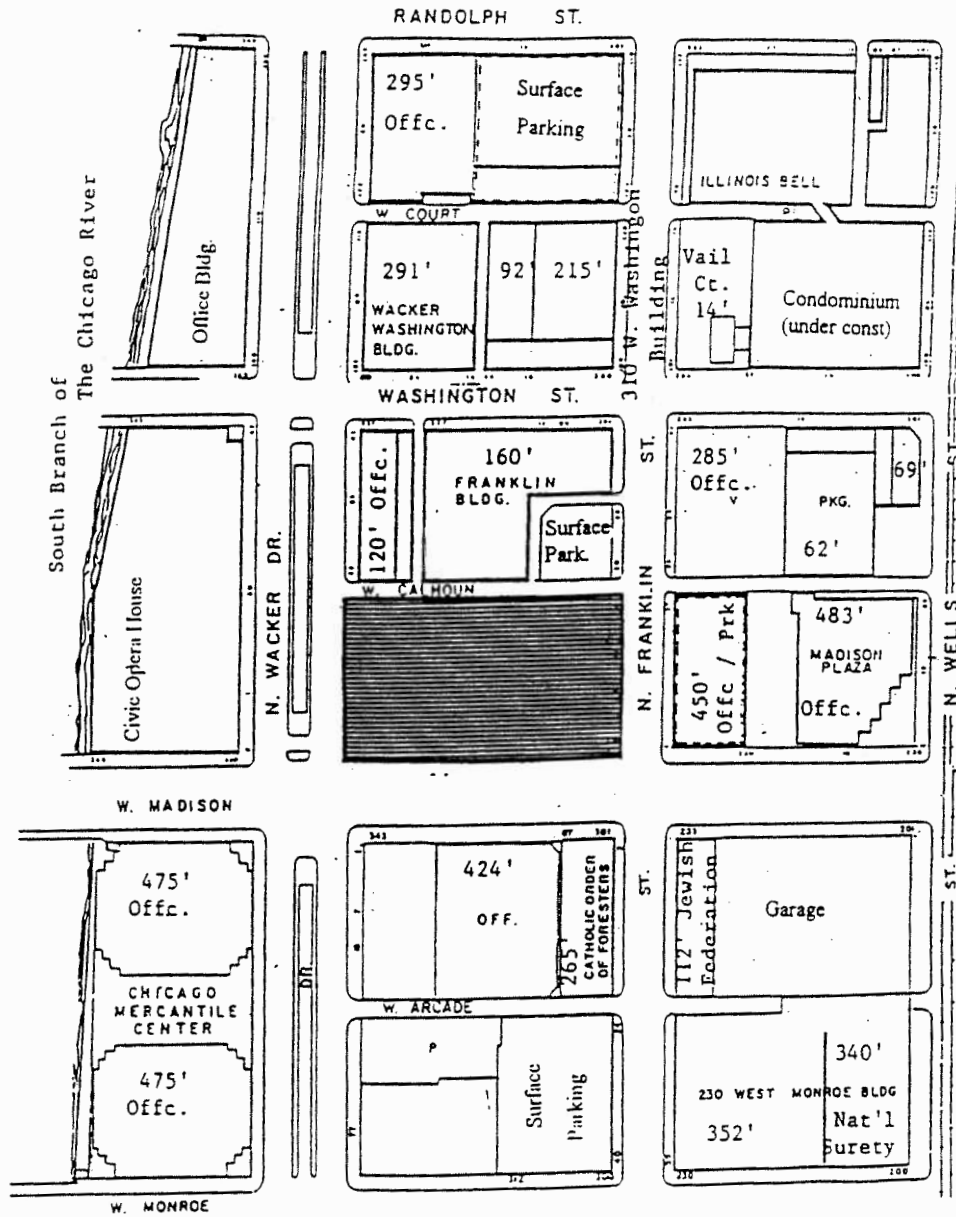
APPLICANT: One North Wacker Drive Venture, L.L.C.
c/o The John Buck Company
233 South Wacker Drive, Suite 550
Chicago, Illinois 60606-6300

PLANNED DEVELOPMENT BOUNDARY
PROPERTY LINE _____

SUBJECT PROPERTY 

Revised Date: August 13, 1998

Existing Land-Use Map.



APPLICANT: One North Wacker Drive Venture, L.L.C.
 c/o The John Buck Company
 233 South Wacker Drive, Suite 550
 Chicago, Illinois 60606-6300

Revised Date: August 13, 1998

SUBJECT PROPERTY

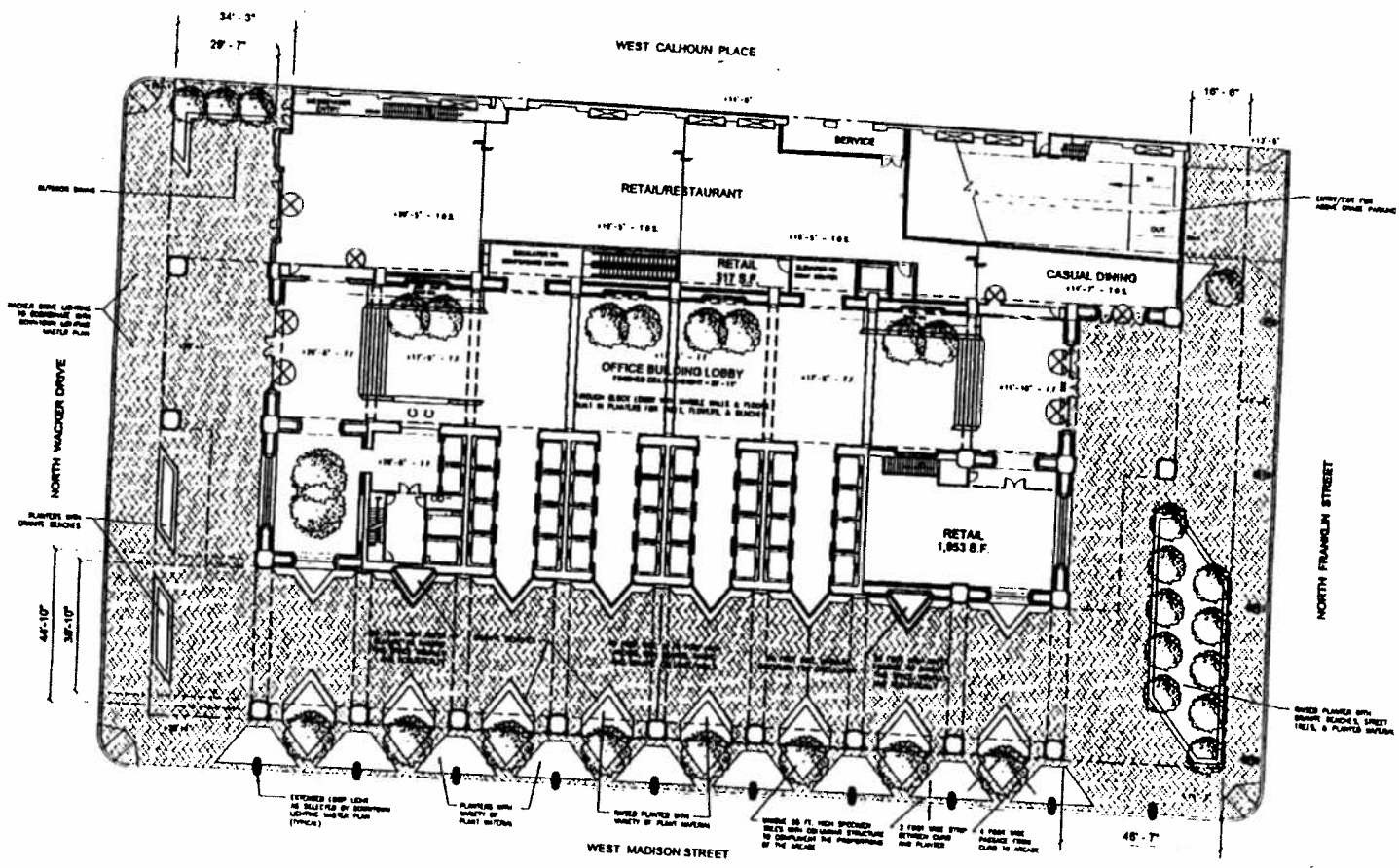


9/9/98

REPORTS OF COMMITTEES

77671

Site/Landscape Plan.

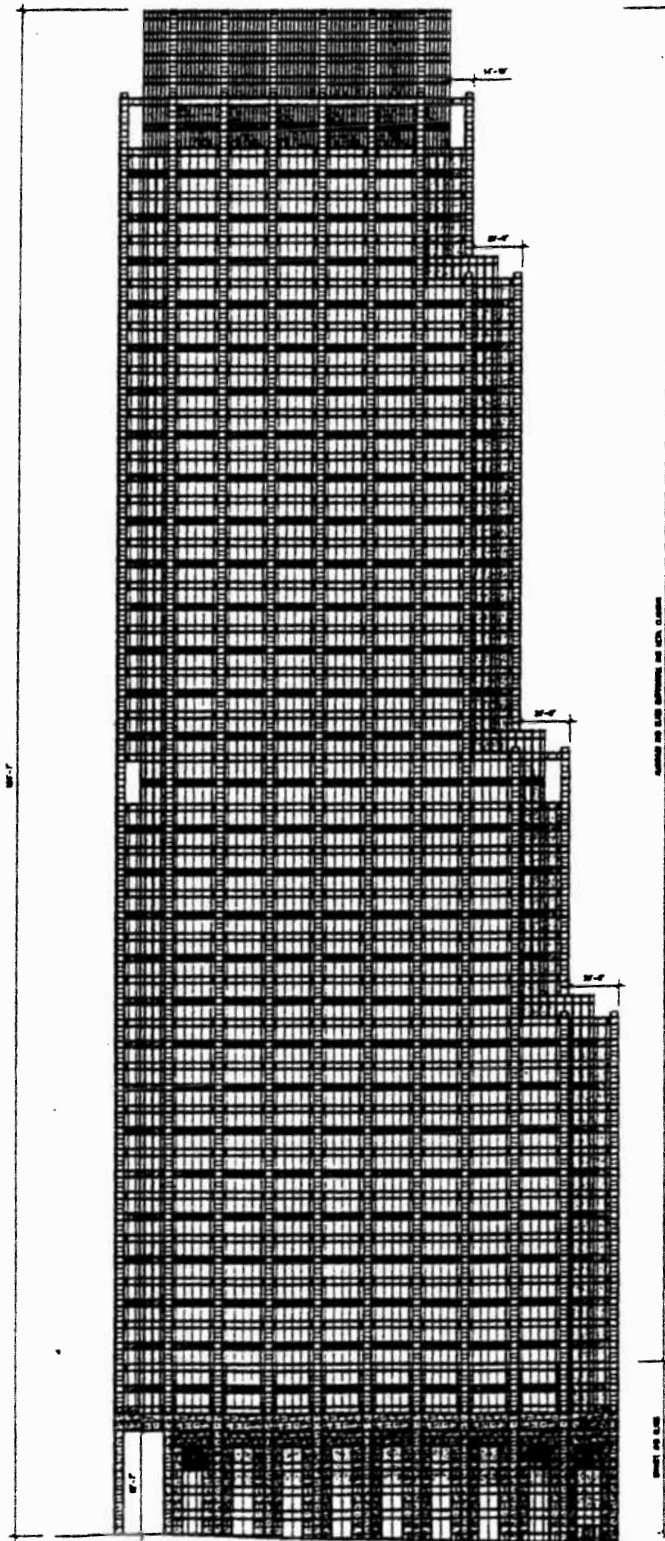


SITE - LANDSCAPE PLAN
LOHAN ASSOCIATES

One North Wacker

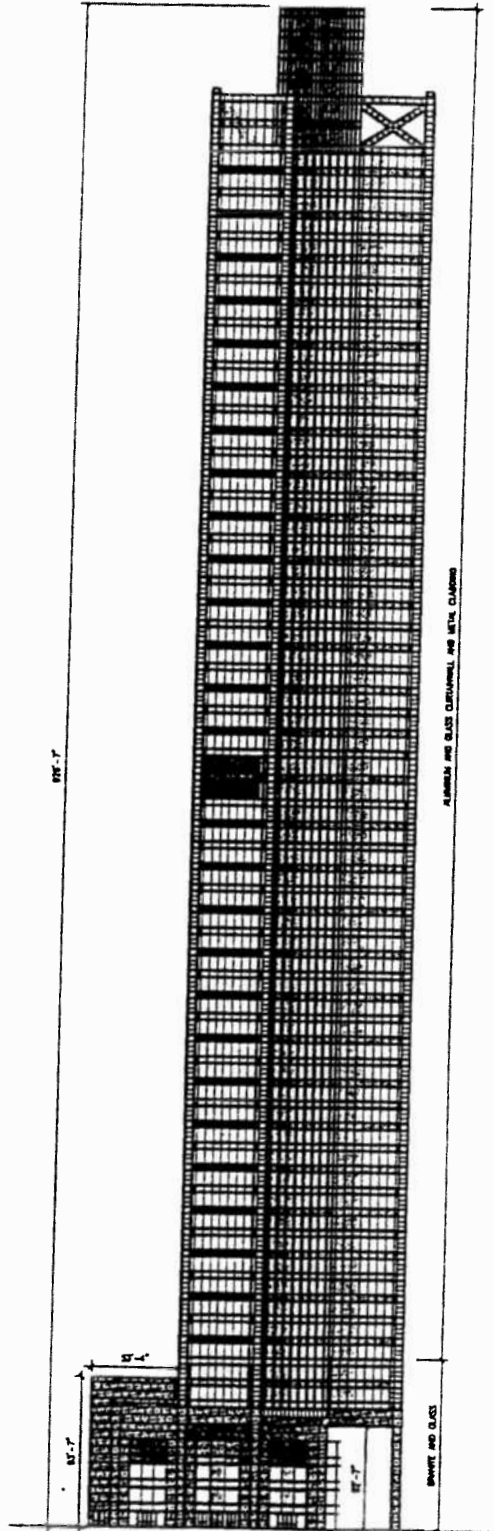
AUGUST 13, 1998

Building Elevations.
(Page 1 of 4)



One North Wacker

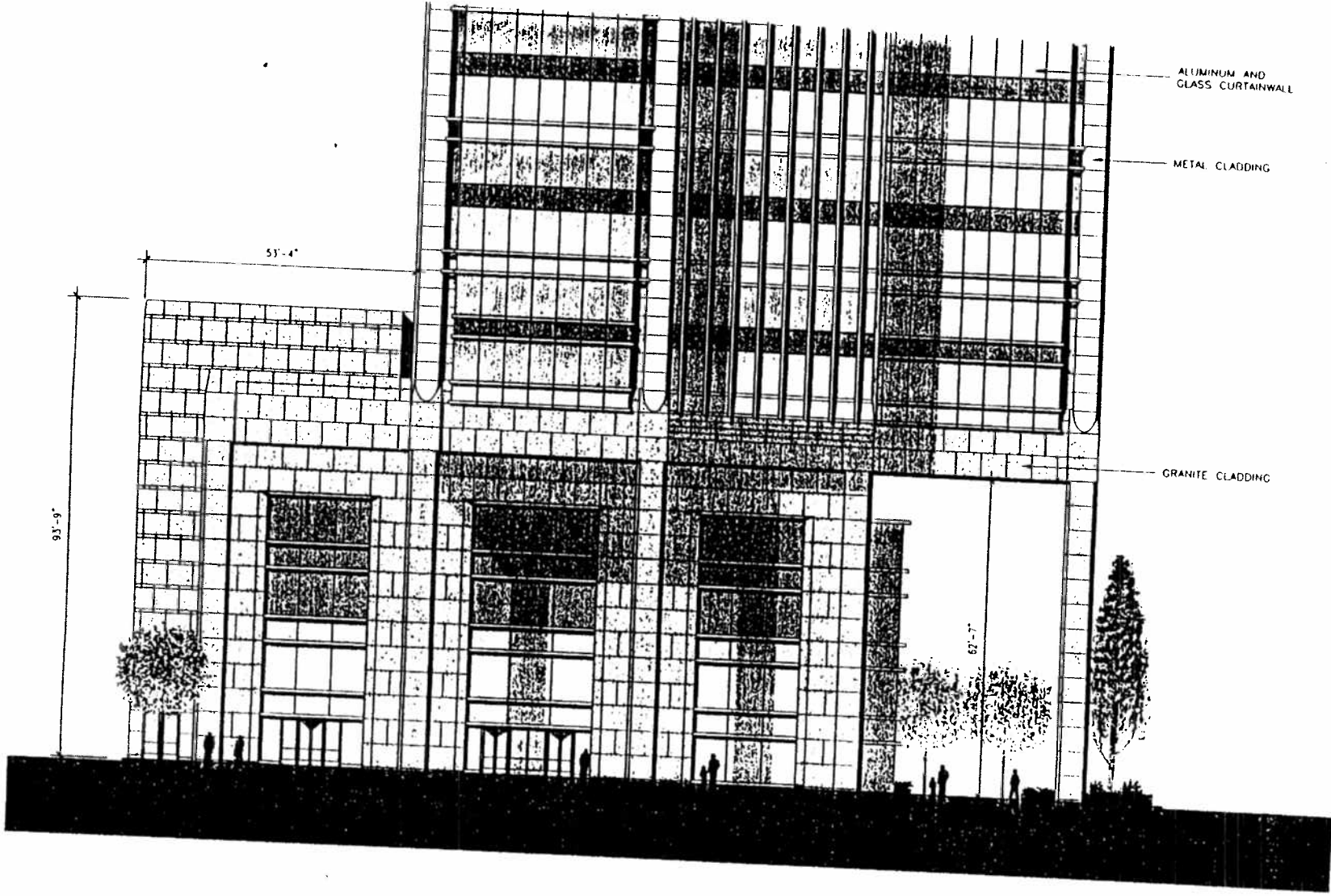
Building Elevations.
(Page 2 of 4)



WEST ELEVATION
LOHAN ASSOCIATES

One North Wacker

Building Elevations.



WEST ELEVATION
LOHAN ASSOCIATES

One North Wacker

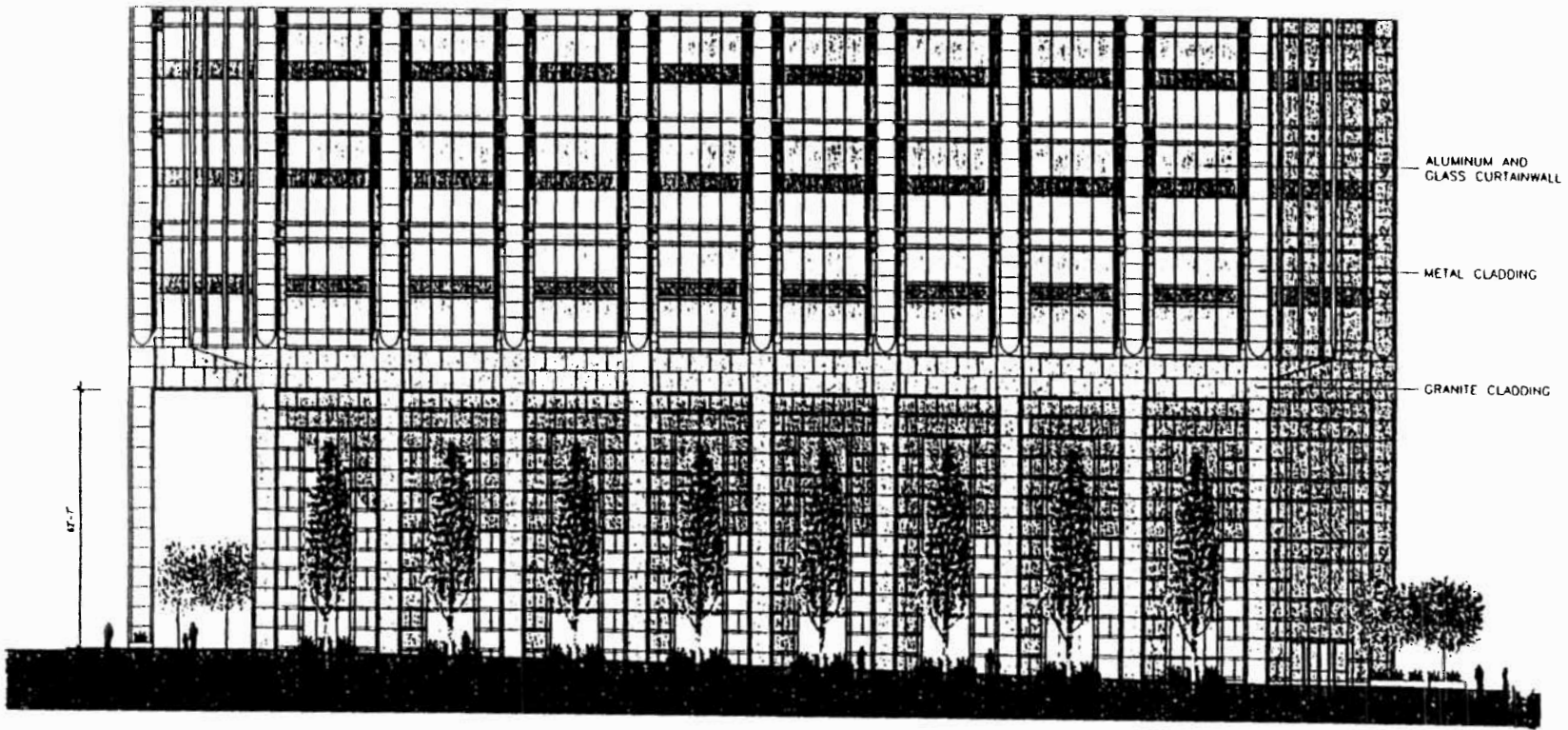
AUGUST 13, 1998

9/9/98

REPORTS OF COMMITTEES

77675

Building Elevations.



SOUTH ELEVATION
LOHAN ASSOCIATES

One North Wacker

AUGUST 13, 1998



of Chicago
ard M. Daley, Mayor

Department of Planning
and Development

J. F. Boyle, Jr.
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4471 (Voice)
(312) 744-6550 (FAX)
(312) 744-2578 (TTY)

<http://www.ci.chi.il.us>

March 25, 1997

Mr. Rolando R. Acosta
Alzheimer & Gray
10 South Wacker Drive
Suite 4000
Chicago, Illinois 60606

Re: One North Wacker Drive
Business Planned Development No. 500

Dear Mr. Acosta:

Please be advised that your request for a minor change to Business Planned Development No. 500 on behalf of The Walken Company has been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance and is hereby approved subject to the conditions described herein.

Specifically, you requested that the use of the site as a public parking lot with a maximum of 284 spaces (including 80 below-grade) be permitted until construction commences in accordance with this Planned Development. The Planned Development Ordinance permits the use of the eastern portion of the site as a 200 space parking lot for a limited time period which has now expired. In addition, relief granted by this Department on September 7, 1993, allowed for an extension of the surface lot onto the western portion of the site providing an additional 84 spaces. This approval was also for a limited time period which has now expired.

The Department of Planning and Development has determined that the use of the property included within Planned Development No. 500, for interim parking would constitute a minor change pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance, provided that landscaping and fencing installed on the site is maintained in accordance with the Landscape Plan on file at the Department of Planning and Development prepared by Daniel Weinback and Partners, Ltd., dated August 17, 1993. Periodic review of interim parking lots at this location was originally required in order to assure proper landscaping and maintenance of the lots, as well as cooperation with the city's former plans for a light rail system. With landscaping now fairly mature and abandonment of the light rail plans, periodic review no longer seems necessary.

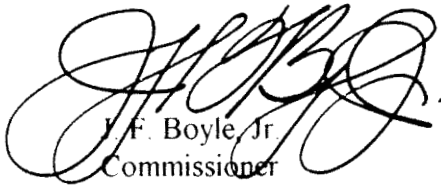


Please
Recycle!



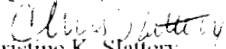
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, I hereby approve the foregoing minor change, but no other changes to Planned Development No. 500.

Sincerely,



J. F. Boyle, Jr.
Commissioner

Originated by:



Christine K. Slattery
Deputy Commissioner

cc: Paul Woznicki
Philip Levin
Michael Marmo

ROLANDO R. ACOSTA
(312) 715-4753



10 SOUTH WACKER DRIVE
CHICAGO, ILLINOIS 60606-7482
TEL: (312) 715-4000
FAX: (312) 715-4800

April 10, 1997

Mr. Phil Levin
Department of Planning & Development
121 North LaSalle Street
Room 1003
Chicago, Illinois 60602

PD 494
PD 500 ✓

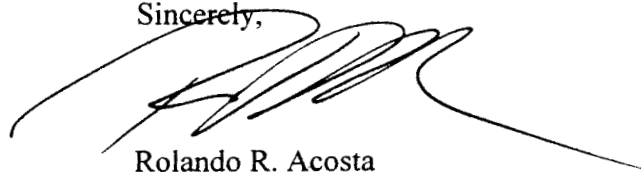
Re: Walken Planned Developments

Dear Phil:

The Walken Company has authorized me to confirm to you in writing that the planters along Madison Street will be replanted with trees and that they are currently securing bids not only for those trees but also for repairs to the fence along the Madison Street border of the property. We believe that both the repairs to the fence and the planting of these trees should be achieved in the immediate future.

Should you have any questions, please call me.

Sincerely,



Rolando R. Acosta

RRA/ecf

cc: David Graff



City of Chicago
Richard M. Daley, Mayor

**Department of Planning
and Development**

Valerie B. Jarrett
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4471 (Voice)
(312) 744-2578 (TDD)
(312) 744-6550 (FAX)

November 21, 1994

Mr. Rolando Acosta
Sidley and Austin
One First National Plaza
Chicago, IL 60603

Re: 1 North Wacker Drive
Business Planned Development No. 500

Dear Rolando:

Please be advised that your request for a minor change to Business Planned Development No. 500 on behalf of The Walken Company has been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance, and is hereby approved subject to the conditions specified below.

Specifically, you requested that the use of the site as a public parking lot with a maximum of 284 spaces (including 80 below-grade) be extended for a two year period pursuant to statement No. 13 of the Plan Development. Statement No. 13 permits the use of the eastern portion of the site as a 200 space parking lot subject to the terms and conditions of Central Area Parking Planned Development No. 494, which governed its use prior to the adoption of Business Planned Development No. 500. In addition, Administrative Relief granted by this Department on September 7, 1993 allowed for an extension of the surface lot onto the western portion of the site providing an additional 84 spaces. This approval, allowing up to 284 spaces, expired on October 25, 1994.

The Department of Planning and Development has determined that the extension of the use of the property included within Planned Development No. 500, for parking for an additional two year period extending to October 25, 1996 would constitute a minor change pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance, provided that:

1. Landscaping and fencing installed on the site is maintained during this two year extension period in accordance with the Landscape Plan on file at the Department of Planning and Development prepared by Daniel Weinbach and Partners, Ltd., dated August 17, 1993; and
2. the operator of the parking facility acknowledges that Madison Street fronting the property is a potential route for the proposed transit circulator; and that if construction on the circulator trackage or other facilities begins within this two year period, access to and from the



November 18, 1994

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Madison Street driveway may be disrupted. In addition, the status of the construction and routing of the proposed transit project shall be taken into consideration if and when any additional time extensions are requested for this interim parking facility.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, the termination date of the use of this property as a parking lot, subject to the aforesaid conditions, is hereby extended from October 25, 1994 to October 25, 1996.

Sincerely,

A handwritten signature in cursive script, appearing to read "Valerie B. Jarrett".

Valerie B. Jarrett
Commissioner

cc: Paul Woznicki



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Valerie B. Jarrett
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4471 (Voice)
(312) 744-2578 (TDD)
(312) 744-6550 (FAX)

September 7, 1993

Mr. Rolando Acosta
Sidley and Austin
One First National Plaza
Chicago, Il 60603

Re: 1 North Wacker Drive
Planned Development No. 500

Dear Rolando:

Please be advised that your request for a minor change to Business Planned Development No. 500 on behalf of The Walken Company has been considered by the Department of Planning and Development pursuant to Section 11.11-3 (c) of the Chicago Zoning Ordinance, and is hereby approved subject to the conditions specified below.

Specifically, you requested that the use of the eastern portion of the site as a public parking lot with a maximum of 200 spaces (including 80 below-grade) be extended for two one-year periods pursuant to statement No. 13 of the Plan Development. Statement No. 13 permits the use of the eastern portion of the site as a parking lot subject to the terms and conditions of Central Area Parking Planned Development No. 494, which governed its use prior to the adoption of Business Planned Development No. 500. Also, you requested that at-grade parking be extended onto the western portion of the site providing a total of 284 interim spaces within the Planned Development. Planned Development No. 494 allowed for parking on the eastern portion of the site for a period of three years with up to two one-year renewals.

The Department of Planning and Development has determined that the extension of the use of the property included within Planned Development No. 500, for parking only for two one-year periods extending to October 25, 1994 would constitute a minor change pursuant to Section 11.11-3 (c) of the Chicago Zoning Ordinance, provided that:

1. Landscaping and fencing are installed on the site by December 1, 1993 and maintained during this two year extension period in accordance with the Landscape Plan on file at the Department of Planning and Development prepared by Daniel Weinbach and Partners, Ltd., dated August 17, 1993; and
2. The operator of the parking facility acknowledges that Madison Street fronting the property is a potential route for the proposed transit circulator; and that if construction on the circulator trackage or other facilities begins within this two year period, access to and from the Madison Street driveway may be disrupted. In addition, the status of the construction and routing of the proposed transit project shall be taken into




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consideration if and when any additional time extensions are requested for this interim parking facility.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, the termination date of the use of this property as a parking lot, subject to the aforesaid conditions, is hereby extended from October 25, 1992 to October 25, 1994. Further, the maximum number of parking spaces is hereby increased from 200 to 284, also subject to the October 25, 1994 termination date.

Sincerely,

A handwritten signature in cursive script, appearing to read "Valerie B. Jarrett".

Valerie B. Jarrett
Commissioner

(Continued from page 15154)

On motion of Alderman Banks, the said proposed ordinance was *Passed* by yeas and nays as follows:

~~Yeas -- Aldermen Roti, Tillman, T. Evans, Bloom, Steele, Beavers, Caldwell, Shaw, Huels, Fary, Burke, Carter, Langford, Streeter, Kellam, Sheahan, J. Evans, Garcia, Krystyniak, Soliz, Gutierrez, E. Smith, Davis, Bialczak, Figueroa, Gabinski, Mell, Austin, Kotlarz, Banks, Giles, Cullerton, Laurino, Pucinski, Natarus, Eisendrath, Hansen, Levar, Shiller, Schulter, M. Smith, Orr, Stone -- 43.~~

~~Nays -- None.~~

~~Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.~~

~~Said ordinances as passed read as follows (the italic heading in each case not being a part of the ordinance):~~

Reclassification Of Area Shown On Map Number 1-F.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B7-7 General Central Business District and Central Area Parking Planned Development symbols and indications as shown on Map No. 1-F in the area bounded by:

West Calhoun Place; North Franklin Street; West Madison Street; and North Wacker Drive,

to those of a Business Planned Development which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development attached to this ordinance reads as follows:

*Business Planned Development
(As Amended)*

H. M. Walken

Plan Of Development

Statements.

1. The area delineated herein as a Business Planned Development (the "Planned Development") consists of approximately 60,724 square feet of real property which is depicted on the attached property line map (the "Property") and is owned or controlled by the applicant, H. M. Walken Company, Incorporated.
2. This Plan of Development consists of seventeen (17) statements; an existing zoning map; a boundary and property line map; a generalized land use map; an existing land use map and a table of use and bulk regulations and related controls; and a site plan prepared by Kevin Roche John Dinkeloo and Associates dated March 8, 1990 (the "Site Plan") which is on file with the Department of Planning. These and no other controls shall apply to the Property.
3. The permitted uses in the Planned Development are:

Business and professional offices, health club, day care centers, retail uses including outdoor food service, telecommunications and broadcast equipment, structures and installations including parabolic dishes exceeding 8 feet in diameter, art galleries and museums, conference facilities, other uses permitted in the B7-7 district, accessory uses and public parking.
4. Business and business identification signs shall be permitted within the Planned Development subject to the review and approval of the Departments of Planning and Zoning. Temporary signs such as construction and marketing signs shall be permitted.
5. Any dedication or vacation of streets, alleys or easements or any adjustment of right-of-way shall require a separate submittal on behalf of the applicant and approval by the City Council.
6. The applicant shall obtain all official City reviews, approvals and permits required in connection with this Planned Development.

7. The height restriction of the improvements and any appurtenance attached thereto shall be subject to :
 - (1) Height limitations as certified and approved by the Federal Aviation Administration; and
 - (2) Airport zoning regulations as established by the Department of Planning, Department of Aviation and Department of Law and approved by the City Council.
8. This Planned Development shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Development Amendments" as promulgated by the Commissioner of the Department of Planning and in effect on the date hereof.
9. Off-street parking and loading facilities will be provided in compliance with this Planned Development and shall be subject to the review and approval of the Commissioner of Planning and the Bureau of Traffic Engineering and Operations.
10. Any service drive or other ingress or egress shall be adequately designed and paved, in accordance with the regulations of the Department of Streets and Sanitation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Bureau of Traffic Engineering and Operations and of the Commissioner of Planning.
11. For purposes of Floor Area Ratio (F.A.R.) calculations, the definitions in the Chicago Zoning Ordinance shall apply. In addition to the other exclusions from floor area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area in excess of 5,000 square feet devoted to mechanical equipment in a single location, regardless of placement in the building, shall be excluded.
12. The improvements on the Property, including the lobby of the building, the exterior landscaping and all entrances and exits to the parking area, shall be designed and constructed in general conformance with the Site Plan. In addition, the design and construction of the Property also shall be subject to the following conditions:
 - a) The minimum 53-foot setback from the North Wacker Drive property line shall provide a plaza (the "Plaza"). The Plaza shall be designed to serve as a gateway to the building and so as to create a sense of place. Consistent with that purpose, it also shall be designed to recognize the Civic Opera House building to the west of the Property, to enhance public enjoyment of the breadth and quality of Wacker Drive generally, and to be hospitable to the business visitor, pedestrian, casual stroller

and others who come to the Property. Efforts shall be made to create an active environment. To these ends, it shall include a public amenity or amenities which may be one or more of the following items: sculpture, landscaping, water features, flag or banner standards or seating;

- b) The applicant shall set the improvements back from the Madison Street property line so as to permit the widening of the Madison Street sidewalk to a minimum of 22 feet in width as measured from the curb existing on the date of this Planned Development. The expanded Madison Street sidewalk shall be flanked on both sides by trees as depicted in the Site Plan. Parallel to the expanded Madison Street sidewalk there shall be a raised terrace, at lobby level (the "Raised Terrace"). The Raised Terrace shall have a minimum width of 10 feet at its eastern and western extremes and 15 feet along its central portion. It may accommodate public activities and shall include either fixed or movable seating. The railing along the southern boundary of the Raised Terrace and extending above the Raised Terrace's floor shall be, to the maximum extent practicable, open or of a translucent material;
- c) Terraced grand stairs shall be constructed on the Franklin Street frontage of the building. These stairs shall accommodate the six foot grade change between Wacker Drive and Franklin Street and shall be designed with approximately 6 inch risers and 14 inch treads, excluding landings. The stairs shall be so situated as to permit the widening of the Franklin Street sidewalk to a minimum width of 15 feet as measured from the curb existing on the date of this Planned Development. The widened Franklin Street sidewalk shall be landscaped with trees as depicted on the Site Plan;
- d) The Madison Street frontage of the building's lobby shall contain an atrium-like area (the "Interior Atrium"). The Interior Atrium shall extend from the Wacker Drive to the Franklin Street frontages of the building, shall be a minimum of 30 feet in width (as measured in the area between the building's Madison Street super columns) and shall contain a minimum floor to ceiling height of 28 feet. The Interior Atrium's Madison Street facade may be rectilinear or curvilinear. The Interior Atrium shall be visible from the street or from the Raised Terrace. The Interior Atrium shall contain seating (which may be integrated into the amenities) and public amenities which may include any one, or a combination, of the following items: landscaping, murals, sculpture, paintings, water features or exhibition spaces;
- e) The ground floor of the building shall contain a minimum of 6,000 square feet of retail uses;

- f) The exterior facades of the building to be constructed on the Property shall be, to the maximum extent practicable, of stone and glass; and
 - g) The requirements of this statement may be modified, administratively, by the Commissioner of the Department of Planning, upon the application for such a modification by the applicant and a determination by the Commissioner of the Department of Planning that such amendment is consistent with the nature of the improvements contemplated in this Planned Development. Such an amendment shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Provided, however, that no such minor change shall be authorized if it reduces the minimum setbacks identified in the Use and Bulk Regulations and Data Table included in this Planned Development.
13. The portion of the Property included within this Planned Development located east of a line 161.84 feet west of North Franklin Street property line was included within a Central Area Parking Planned Development which permitted its use as a parking facility for 200 cars. The use of that portion of the Property as a parking facility shall continue to be permitted subject to the terms and conditions of Central Area Parking Planned Development No. 494 which governed its use prior to the adoption of this Business Planned Development.
14. The following items shall be permitted obstructions within the minimum setbacks required by this Planned Development:
- a) Super columns supporting a roof or upper stories which do not encroach upon a setback a distance greater than 3 feet;
 - b) An entrance or a combined entrance and entrance vestibule generally centered on the building's Wacker Drive facade which encroaches on the setback the minimum extent practicable but in no event a distance greater than 15 feet and which is not greater than 60 feet in width for its easternmost 6 feet, 55 feet in width for the next 6 feet and 45 feet in width for the balance thereof and provided that it does not rise to a point greater than 40 feet above grade. The vertical walls of the entrance or combined entrance and entrance vestibule shall be, to the maximum extent practicable and consistent with the building's architectural design, of glass or other similarly translucent material, but in no event shall the percentage of glass or similarly translucent material be less than 50%. That entrance or combined entrance and entrance vestibule shall be constructed contemporaneously with the building;

- c) The stairs leading to the Raised Terrace or located along Franklin Street;
 - d) The Raised Terrace and structural components thereof; and
 - e) Any landscaping elements or other public amenities.
15. For purposes of this Planned Development, grade shall be deemed to be the level of the Upper Wacker Drive curb as existing on the date of this Planned Development.
16. The rights granted to and the obligations imposed on the applicant under this Planned Development shall inure to the benefit of and be binding on the applicant's successors or assigns.
17. Unless a building permit is properly applied for and pursued with due diligence, the approvals granted and obligations imposed under this Planned Development shall expire upon the tenth anniversary of the effective date hereof. Provided, however, if the City Council amends the Chicago Zoning Ordinance to provide for a shorter expiration period which is applicable to all planned development ordinances, then this Planned Development shall expire upon the expiration of such shorter time period as provided for by said amendatory ordinance (the first day of which as applied to this Planned Development shall be the effective date of the amendatory ordinance). If this Planned Development expires under the provisions of this section, then the zoning of the Property shall automatically revert to that of a B7-7 General Central Business District.

[Existing Zoning Map, Boundary and Property Line Map,
Generalized Land Use Map and Existing Land
Use Map attached to this Plan of
Development printed on
pages 15166 through
15169 of this
Journal.]

Use and Bulk Regulations and Data, as amended, attached to this Plan of Development reads as follows:

*Business Planned Development**Plan Of Development**Use And Bulk Regulations And Data.
(As Amended)*

Net Site Area		General Description Of Land Use	Maximum Floor Area Ratio
Square Feet	Acres		
60,724	1.39	Business and professional offices, health club, day care centers, retail uses including outdoor food service, telecommunications and broadcast equipment, structures, and installations including parabolic dishes exceeding 8 feet in diameter, art galleries and museums, conference facilities, other uses permitted in the B7-7 district, accessory uses and public parking.	33.97

Gross Site Area = Net Site Area + Area remaining in public right-of-way:

100,290.41 square feet = 60,724 square feet + 36,566.41 square feet.

Setbacks From Property Line*:

West Calhoun Place: None at grade; 20 feet beginning 40 feet above grade.

North Franklin Street: 20 feet.

* See Statement Number 14 for permitted obstructions within setbacks.

West Madison Street: 23 feet.

North Wacker Drive: 53 feet.

Maximum Percentage Of Site Coverage:

55% at grade.

Maximum Building Height:

1,350 feet above grade.

Parking And Loading:

Minimum number of off-street parking: 290 spaces.

Maximum number of off-street parking: 435 spaces.

Minimum number of off-street loading: 11 berths.

Reclassification Of Area Shown On Map Number 1-F.

Be It Ordained by the City Council of the City of Chicago:

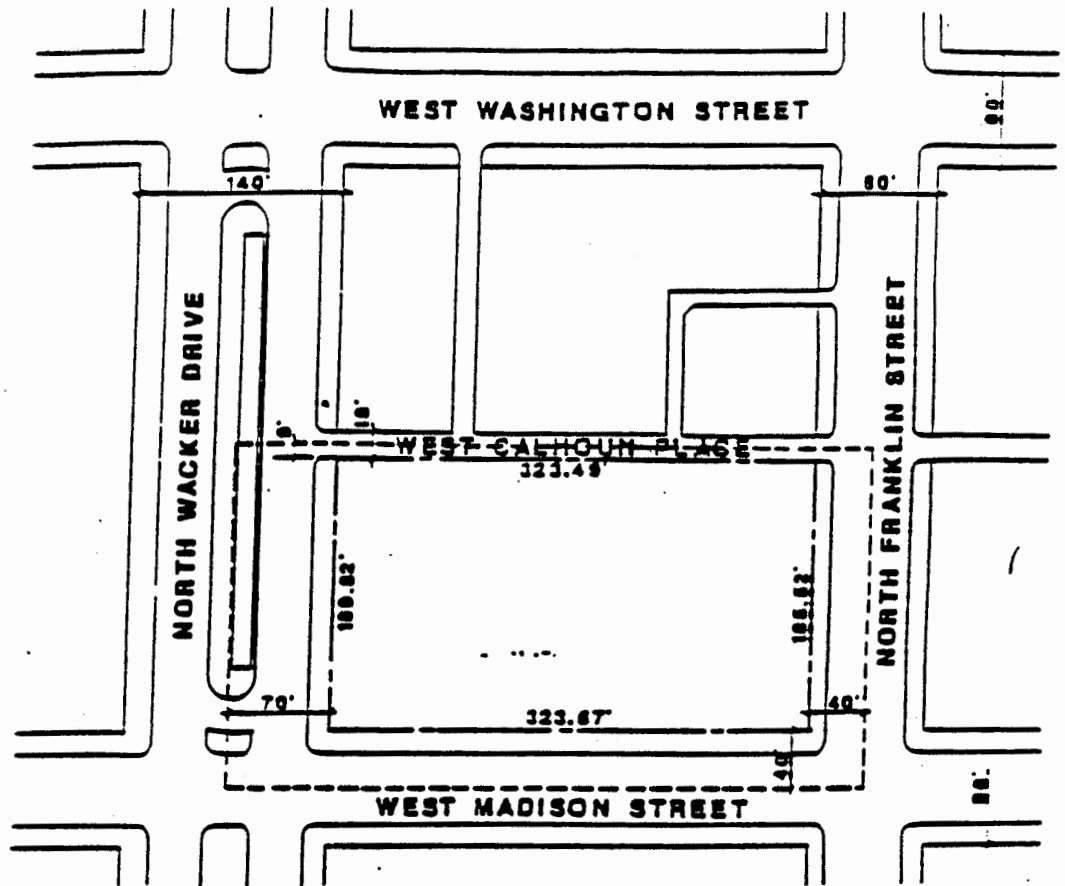
SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C3-5 Commercial-Manufacturing District symbols and indications as shown on Map No. 1-F in area bounded by:

West Grand Avenue; a line 240.66 feet east of and parallel to North Dearborn Street; the alley next south of and parallel to West Grand Avenue; a line 120.33 feet west of and parallel to North Dearborn Street.

to those of a C3-6 Commercial Manufacturing District and a corresponding use district is hereby established in the area above described.



SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

PROPERTY LINE AND RIGHT-OF-WAY
ADJUSTMENTS MAP



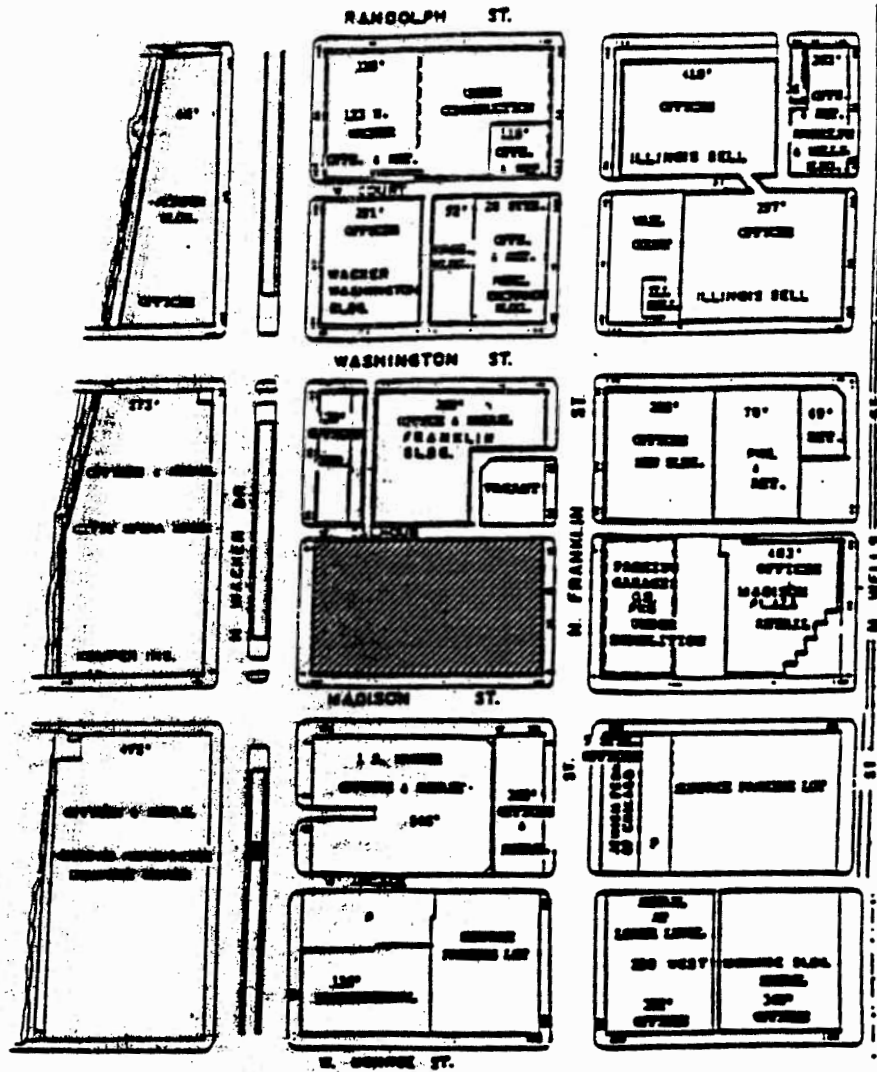
APPLICANT:

E. M. Walker Company, Inc.
 One North Wacker Drive
 Suite 200
 Chicago, Illinois 60606

-  Planned Development Bound
-  Property Line

DATE: November 29, 1989

EXISTING LAND USE MAP.



SUBJECT PROPERTY

Applicant: **H. M. Walker Company, Inc.**
 One North Madison Drive
 Suite 200
 Chicago, Illinois 60606

ALL RETAIL SPACE IS AT GROUND LEVEL
 UNLESS OTHERWISE NOTED

Date: November 29, 1989