



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

April 5, 2024

John J. George
Akerman LLP
71 S. Wacker Dr., 47th Floor
Chicago, IL 60606

Re: Minor change to PD 50, Subarea C, IL Masonic Center for Advanced Care Signage

Dear Mr. George:

Please be advised that your request for a minor change to Institutional Planned Development No. 50 ("PD 50") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement No. 13 of PD 50.

Advocate Illinois Masonic Medical Center ("IL Masonic") is seeking a minor change to increase the maximum total sign area allowed for the recently completed 8-story, Center for Advanced Care building at 900 W. Nelson St. Previously a public right-of-way, Nelson St. has been vacated and converted into a private road. While still allowing vehicular and pedestrian access to the building and medical campus, the vacation has resulted in the loss of additional sign area. IL Masonic is seeking to install two, 1,612 SF signs at a height of 144 feet above grade. One sign is proposed along the south (W. Nelson St.) elevation and one along the north (W. Barry Ave.) elevation, as shown on the attached renderings. There are no other signs existing or proposed on the subject building.

The Department of Planning and Development has determined that allowing the two proposed signs will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 50, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a sign permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Noah Szafraniec
Assistant Commissioner

C: Main file



(1) SET OF ILLUMINATED CROSS LOGO & LETTERS

SOUTH ELEVATION

VanBruggen Signs

19401 SOUTHWEST HWY.
ORLAND PARK, ILLINOIS

Since 1979

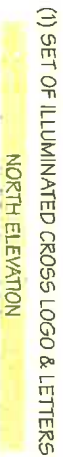
1/1/75 1/1/75 1/1/75 1/1/75

1/1/75 1/1/75 1/1/75 1/1/75

This rendering is the exclusive property of Van Bruggen Signs, Inc. for the sole purpose of consideration to purchase a sign or design from Van Bruggen Signs, Inc. Any unauthorized use of this drawing will result in a compensation fee of \$500.00 for the time and effort involved in creating these drawings.

Van Bruggen Signs, Inc.

Approved	Date	Scale	Title
		N.T.S.	ADVOCATE ILLINOIS MASONIC MEDICAL CENTER
Date	11-8-23	Drawn By	ILLUMINATED CHANNEL LETTERS & LOGO
Drawn By	D.S.	Reviewed By	
Date		Drawn No.	23-224.1C



NIC MEDICAL CENTER
L LETTERS & LOGO
Drawing No 23-225.1C

March 31, 2022

Jack George
Akerman LLP
71 South Wacker Drive
47th Floor
Chicago, IL 60606

Re: Site Plan Approval for Institutional Planned Development No. 50 Advocate North
Side Health Network d/b/a Advocate Illinois Masonic Medical Center

To Mr. George:

Please be advised that your request for site plan approval for Planned Development No. 50 ("PD #50"), has been considered by the Department of Planning and Development ("DPD") pursuant to Section 17-8-0900 and 17-13-0600 of the Chicago Zoning Ordinance and Statement No. 12 of PD #50 as amended.

You are requesting site plan approval to demolish an existing building located along Wilton Street, which is currently vacant since programs formerly housed within have moved into the new Counseling and Pediatric Development Center on Wellington Street. In its place, the Applicant is proposing the westward expansion of the Center for Advanced Care. Additionally, the Applicant is proposing to construct a four-story vertical bed tower expansion on top of the Center for Advanced Care in Sub-Area C.

DPD has completed a zoning and design review of the proposed plan package, which includes Enlarged Site Plan PD-05, Landscape Plan PD-06, Site Plan With First Floor PD-07, South Elevation PD-08, North Elevation PD-09, East Elevation PD-10, West Elevation PD-11, Roof Plan PD-12, rendered View From Nelson Street Looking Northeast, and rendered View Southeast Along Barry Avenue. The attached plan exhibits are in accordance with and satisfy the requirements of the Chicago Zoning Ordinance and PD #50. Additionally, the Site Plan has received approval from the Chicago Fire Department, Chicago Department of Transportation, Department of Water Management, and the Mayor's Office for People with Disabilities.

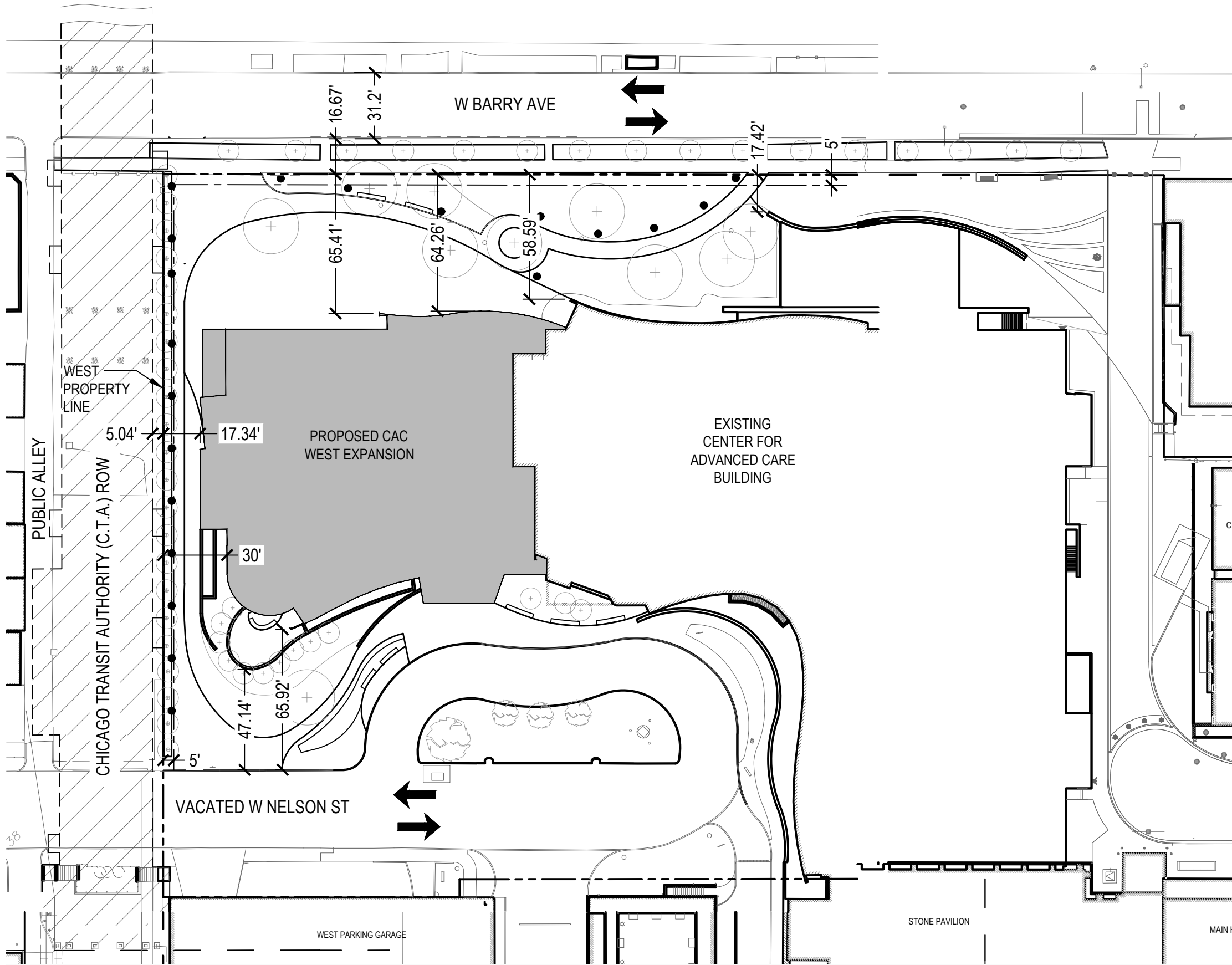
Accordingly, this site plan approval request is hereby approved.

Sincerely,



Patrick Murphey
Zoning Administrator
Department of Planning and Development

Cc: Paul Reise, Noah Szafraniec, PD Main File



LEGEND

- EXISTING CURB
- PROPOSED CURB
- PROPERTY LINE
- 5' SETBACK LINE
- CTA R.O.W. LINE
- PROPOSED BUILDING

09/30/21

ENLARGED SITE PLAN

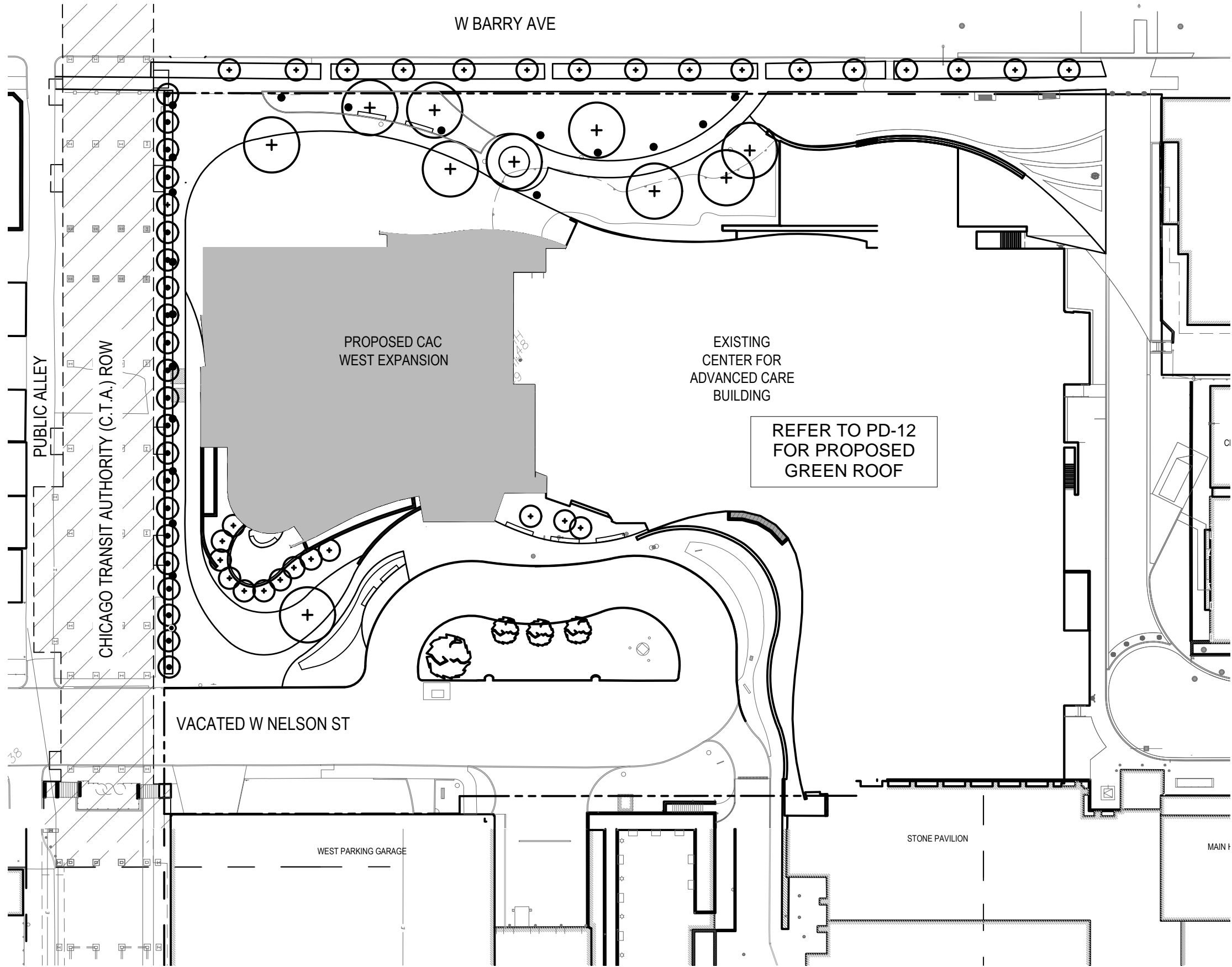
PD-05



APPLICANT: AURORA ADVOCATE HEALTH
 ADDRESS: 900 W. NELSON ST. CHICAGO, IL 60657
 INTRO DATE: 08/05/21
 CPC DATE: 08/05/21



SMITHGROUP



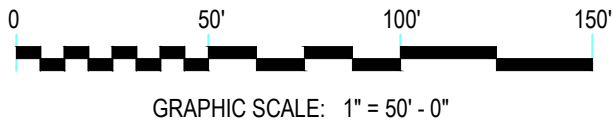
LEGEND

- EXISTING SHADE TREE
- NEW SHADE TREE
- NEW SHADE TREE - AUTUMN GOLD GINKGO
- LAWN
- GROUND COVER
- SHRUB
- MIX PLANTING
- LIGHTING - 15' POLE TOP PEDESTRIAN POLE
- BENCH
- PROPOSED BUILDING

09/30/21

LANDSCAPE PLAN

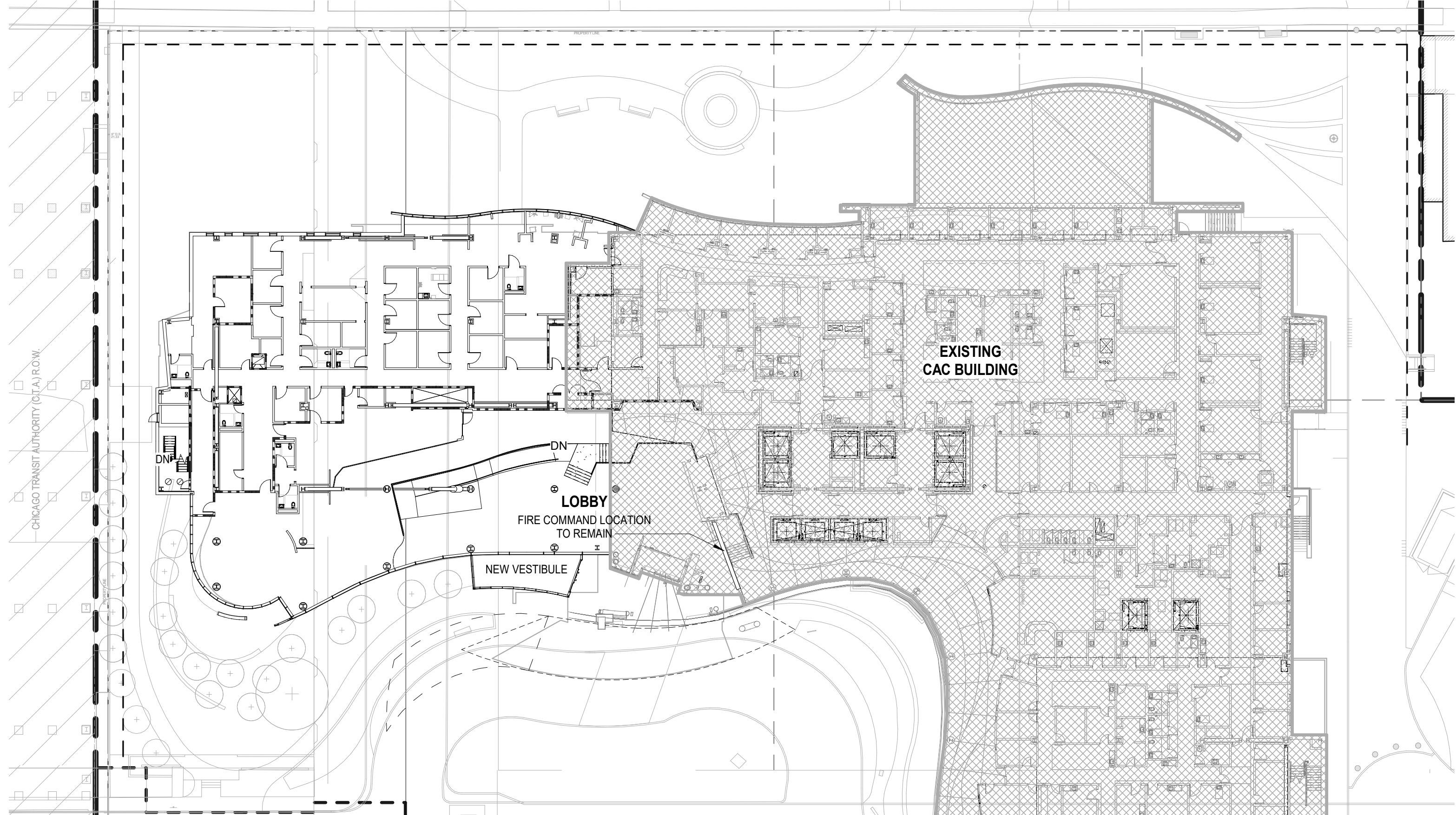
PD-06



APPLICANT: AURORA ADVOCATE HEALTH
 ADDRESS: 900 W. NELSON ST. CHICAGO, IL 60657
 INTRO DATE: 08/05/21
 CPC DATE: 08/05/21



SMITHGROUP



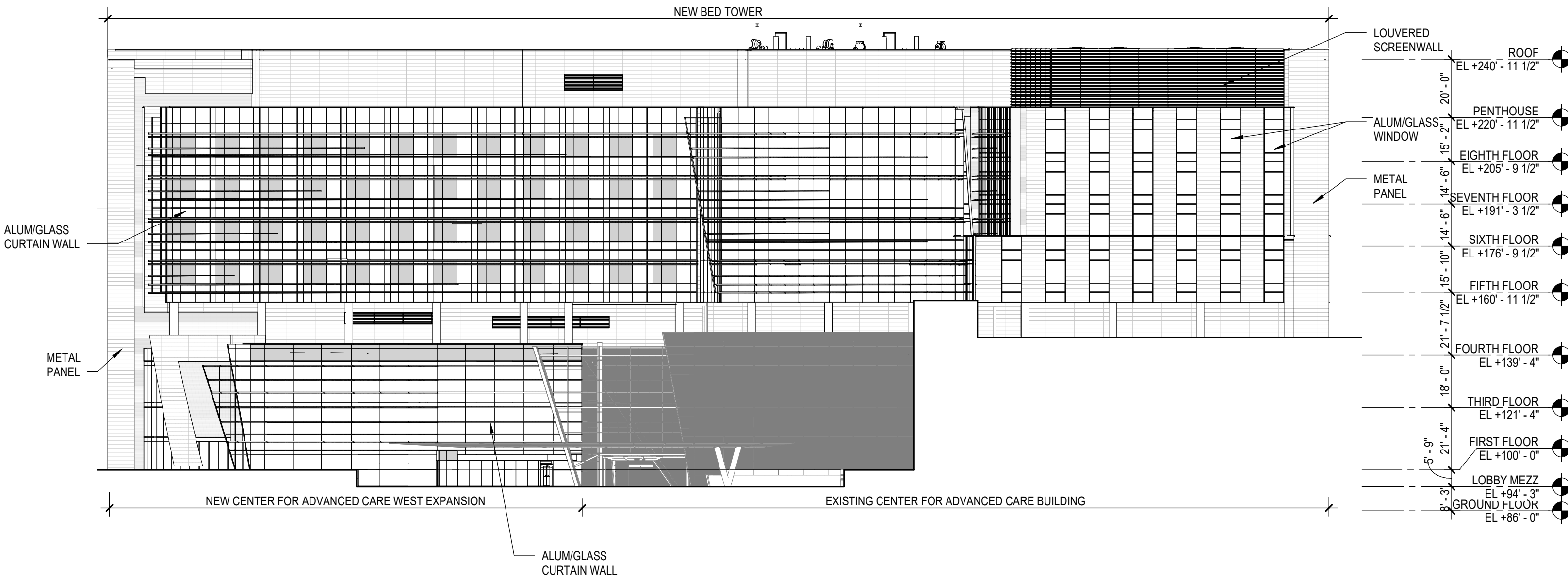
08/05/21

ENLARGED SITE PLAN WITH FIRST FLOOR

PD-07

APPLICANT: AURORA ADVOCATE HEALTH
ADDRESS: 900 W. NELSON ST. CHICAGO, IL 60657
INTRO DATE: 08/05/21
CPC DATE: 08/05/21

SMITHGROUP



08/05/21

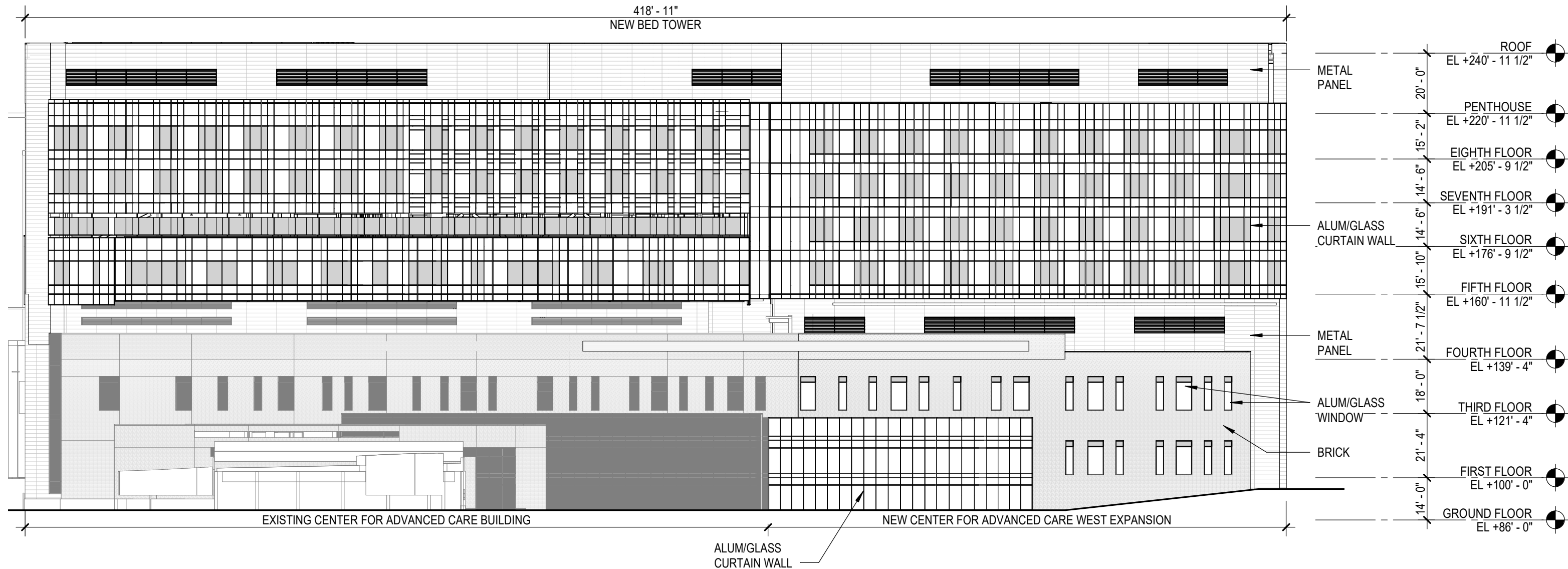
SOUTH ELEVATION

PD-08

SCALE: 1/32" = 1'-0"

APPLICANT: AURORA ADVOCATE HEALTH
ADDRESS: 900 W. NELSON ST. CHICAGO, IL 60657
INTRO DATE: 08/05/21
CPC DATE: 08/05/21

SMITHGROUP



08/05/21

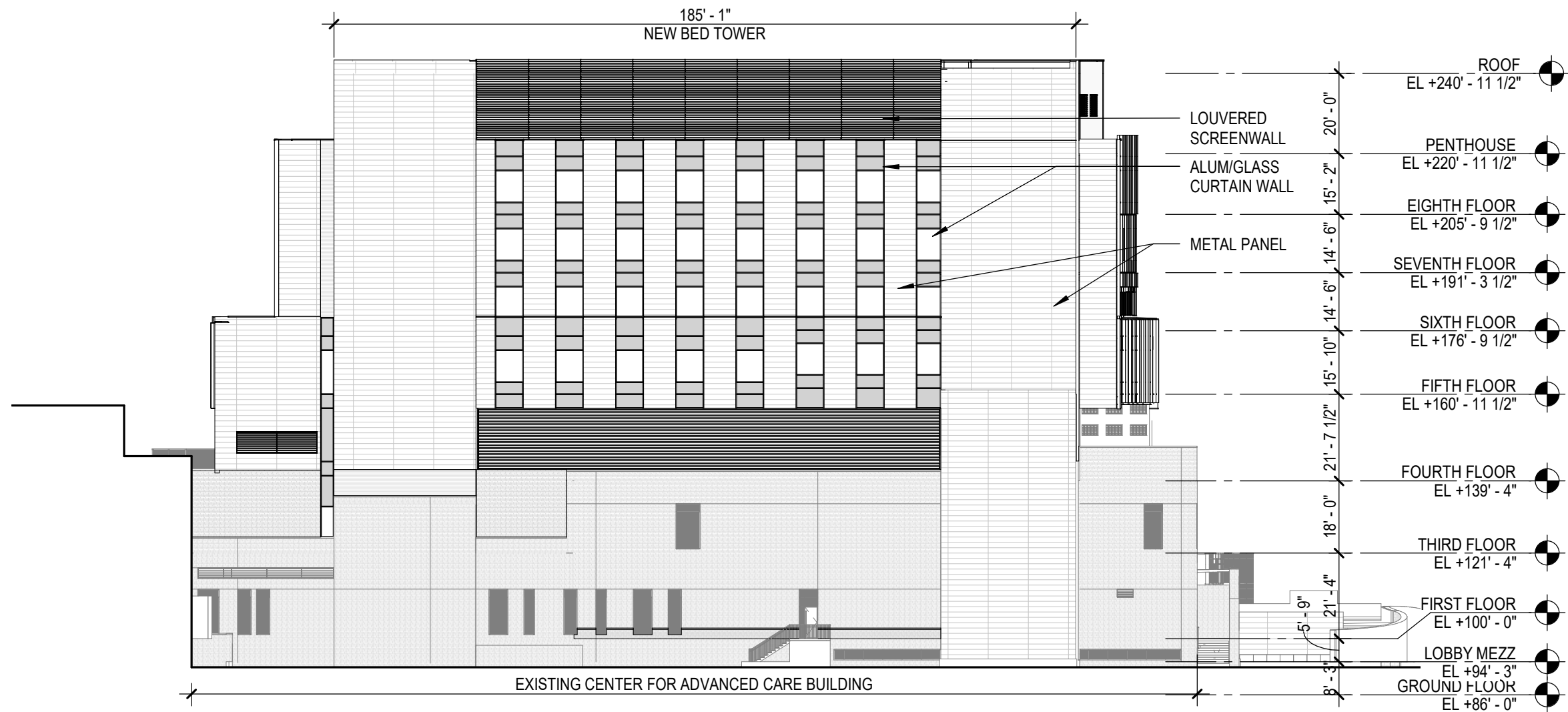
NORTH ELEVATION

PD-09

SCALE: 1/32" = 1'-0"

APPLICANT: AURORA ADVOCATE HEALTH
 ADDRESS: 900 W. NELSON ST. CHICAGO, IL 60657
 INTRO DATE: 08/05/21
 CPC DATE: 08/05/21

SMITHGROUP



08/05/21

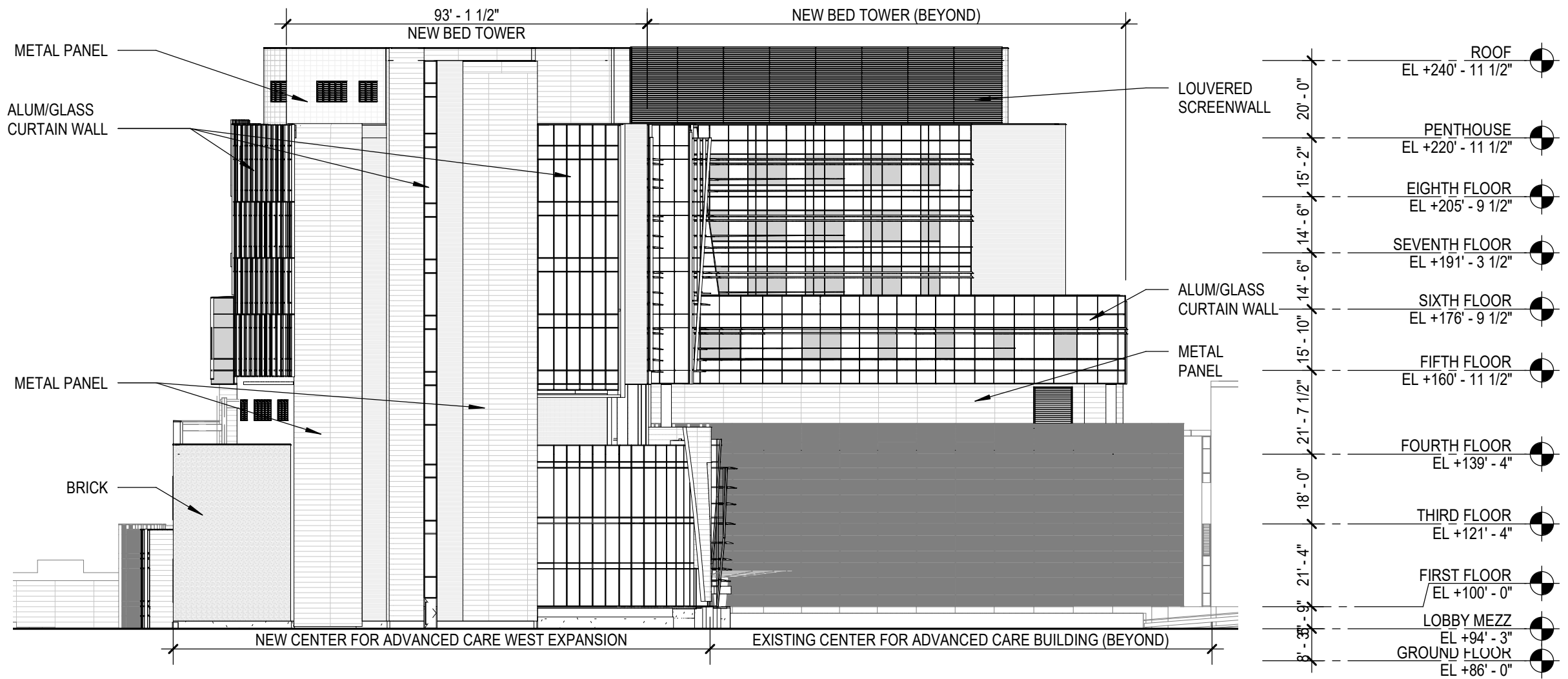
EAST ELEVATION

PD-10

SCALE: 1/32" = 1'-0"

APPLICANT: AURORA ADVOCATE HEALTH
 ADDRESS: 900 W. NELSON ST. CHICAGO, IL 60657
 INTRO DATE: 08/05/21
 CPC DATE: 08/05/21

SMITHGROUP



08/05/21

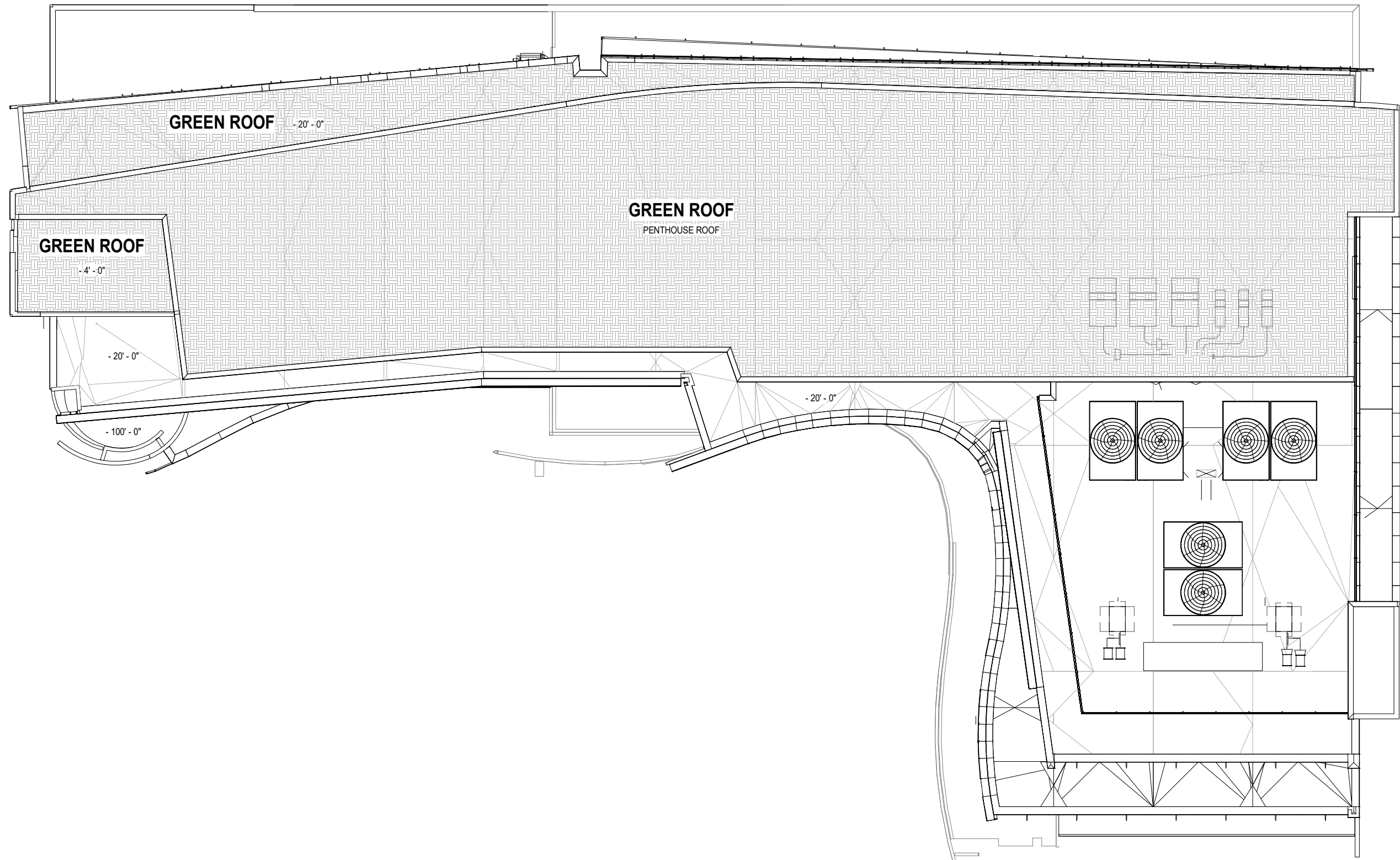
WEST ELEVATION

PD-11

SCALE: 1/32" = 1'-0"

APPLICANT: AURORA ADVOCATE HEALTH
 ADDRESS: 900 W. NELSON ST. CHICAGO, IL 60657
 INTRO DATE: 08/05/21
 CPC DATE: 08/05/21

SMITHGROUP



08/05/21

ROOF PLAN

PD-12

APPLICANT: AURORA ADVOCATE HEALTH
ADDRESS: 900 W. NELSON ST. CHICAGO, IL 60657
INTRO DATE: 08/05/21
CPC DATE: 08/05/21

SMITHGROUP



VIEW FROM NELSON STREET LOOKING NORTHEAST



VIEW SOUTHEAST ALONG BARRY AVENUE

September 20, 2021

John J. George
Akerman LLP
71 S. Wacker Drive
47th Floor
Chicago, IL 60606

**Re: Minor Change to PD No. 50, Statement 12
Advocate North Side Health Network**

Dear Mr. George:

Please be advised that your request for a minor change to Institutional Planned Development No. 50 ("PD 50") has been considered by the Department of Planning and Development ("Department") pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 13 of the PD.

Advocate North Side Health Network, the sole owner of the PD, is seeking a minor change to correct a procedural inconsistency in the Phase II site plan review process, as outlined in Statement No. 12 of the PD. Currently, paragraph one of Statement No. 12 requires the Department to execute all site plan reviews and approvals in accordance with Section 17-13-0800 of the zoning ordinance prior to Part II approval. Then again in paragraphs three and five of Statement No. 12 the PD recognizes and requires that site plan approvals be granted by the Department. Later in paragraph six the language is altered to require review and approval by the Chicago Plan Commission. This is inconsistent with the preceding paragraphs in State No. 12 and with established site plan approval practices and procedures, which only require a courtesy presentation to the Chicago Plan Commission. Therefore, to provide clarification and maintain a consistent review and approval process, it is the opinion of this office that the site plan review procedures outlined in Statement No. 12. only require a courtesy presentation to the Chicago Plan Commission and that the final approval authority lies with the Department.

Furthermore, the Department has determined that rectifying the inconsistencies regarding site plan review and approval in Statement No. 12 would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 50, I hereby approve the foregoing minor change, but no other changes to this Planned Development

Sincerely,



Steven Valenziano
Assistant Zoning Administrator



**DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO**

May 5, 2020

Mr. John J. George
Akerman LLP
71 South Wacker Drive
Chicago, Illinois 60606

**Re: Site Plan Approval for Planned Development No. 50, Advocate North Side Health Network
d/b/a Advocate Illinois Masonic Medical Center**

Dear Mr. George:

Please be advised that your request for site plan approval for Institutional Planned Development No. 50 ("PD 50") has been considered by the Department of Planning and Development pursuant to Section 17-13-0800 of the Chicago Zoning Ordinance.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request to refine the landscape plan along Sheffield Avenue adjacent to the proposed Sheffield Parking Garage, which was approved as part of the amendment to the Planned Development passed by City Council on December 18, 2019. The landscape plan was updated to include additional plantings within the public right of way adjacent to the proposed Sheffield Parking Garage.

The approval includes the following attached documents prepared by SmithGroup:

- Enlarged Site Plan
- Landscape Plan

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Institutional Planned Development No. 50. Accordingly, this site plan submittal is hereby approved as conforming to PD 50.

If you have any questions or need further clarification on these comments, please contact Emily Thrun at (312) 744-0756 or at emily.thrun@cityofchicago.org.

Sincerely,



Patrick Murphey

Zoning Administrator
Originator: Emily Thrun

cc: Kathleen Duncan, Akerman LLP
Janice Hill, DPD
Erik Glass, DPD
Mike Marmo, DPD
Nancy Radzevich, DPD

121 NORTH LASALLE STREET, ROOM 1000, CHICAGO ILLINOIS 60602



Jack George

Akerman LLP
71 South Wacker Drive
47th Floor
Chicago, IL 60606

T: 312 634 5700
F: 312 424 1900

January 6, 2020

BY HAND DELIVERY

Patrick Murphey
Zoning Administrator
Department of Planning and Development
City Hall – Room 905
121 North LaSalle Street
Chicago, Illinois 60602

Re: Request for Revised Site Plan Approval
Institutional Planned Development No. 50
Advocate North Side Health Network
d/b/a Advocate Illinois Masonic Medical Center

Dear Mr. Murphey:

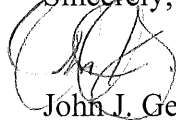
Pursuant to the provisions of Section 17-13-0800 of the Chicago Zoning Ordinance and Statement No. 12 of Institutional Planned Development No. 50 (the “Planned Development”), my client Advocate North Side Health Network d/b/a Advocate Illinois Masonic Medical Center, (“Applicant”), respectfully requests that you review this request for revised Site Plan Approval for the proposed Sheffield Parking Garage, which was approved as part of the amendment to the Planned Development passed by the Chicago City Council on December 18, 2019.

Since that time Applicant has further refined its landscape plan along Sheffield Avenue adjacent to the proposed Sheffield Parking Garage to include additional plantings within the public right of way. SmithGroup, the architect for Applicant has prepared the enclosed drawings reflecting the proposed revisions to the landscaping along Sheffield Avenue. I respectfully submit that the proposed revised Site Plan and drawings are appropriate and consistent with the nature of the improvements contemplated in the Planned Development. No other changes are proposed to the site plan approval that was approved on December 18, 2019.

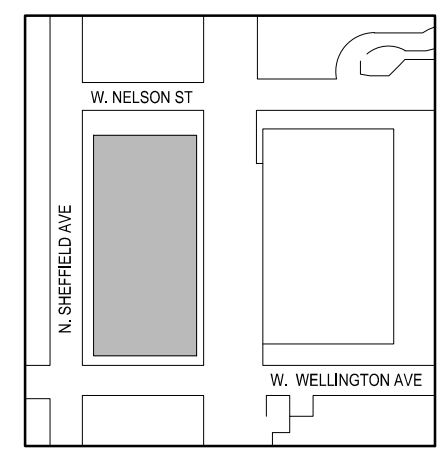
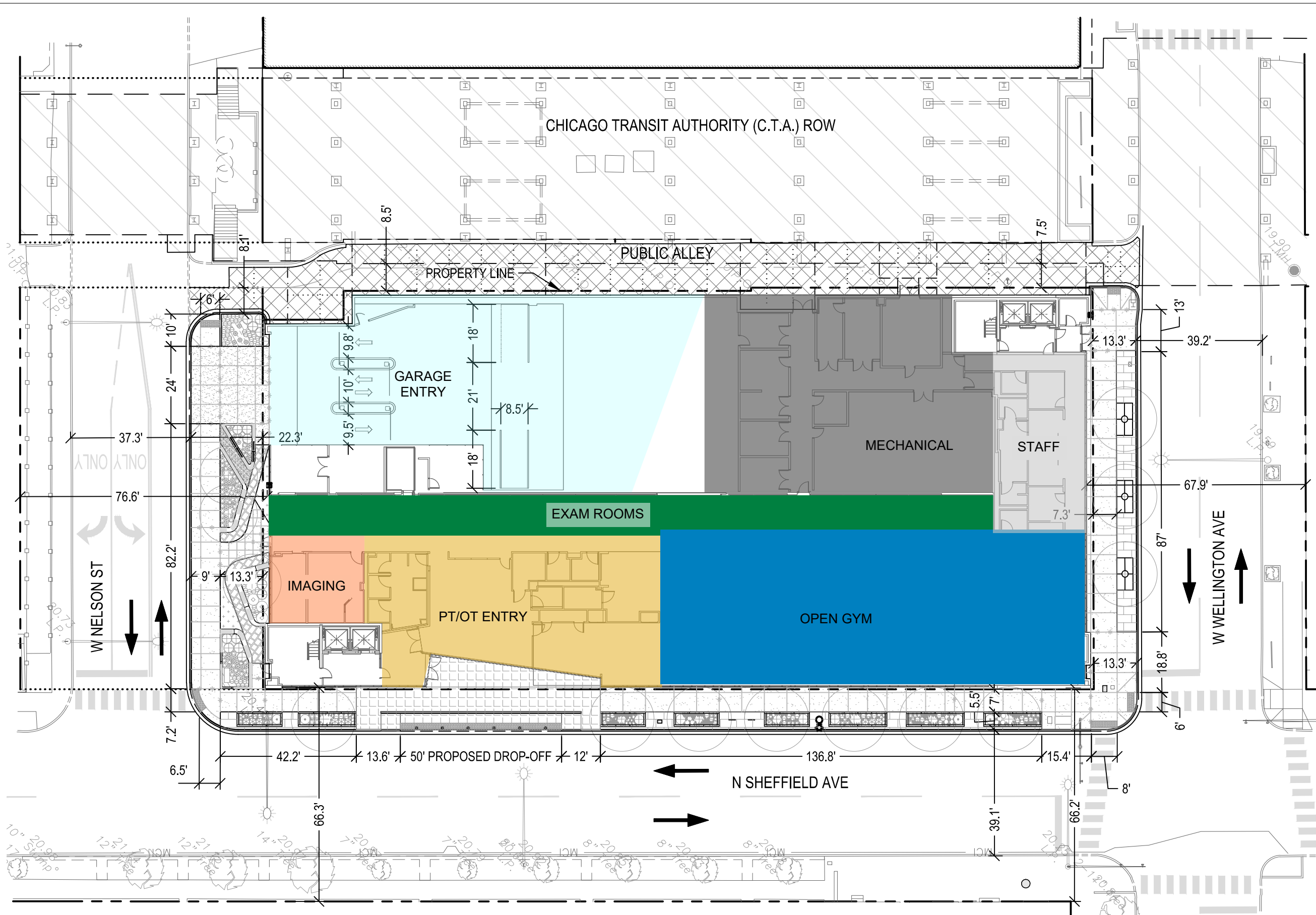
For the foregoing reasons, Applicant respectfully requests that the Commissioner of the Department of Planning and Development grant revised Site Plan Approval allowing the proposed revisions to the landscaping. I would appreciate it if you could please provide me with a letter indicating whether or not this revised Site Plan is acceptable to the Department of

Planning and Development. Please feel free to contact me if you should have any questions. Applicant and the Project Architect are prepared to meet and explain the proposed project in greater detail, if necessary. Thank you.

Sincerely,

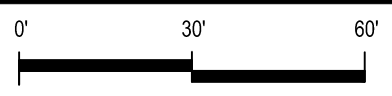
A handwritten signature in dark ink, appearing to read "John J. George", is written over a circular stamp or seal that is mostly illegible.

John J. George



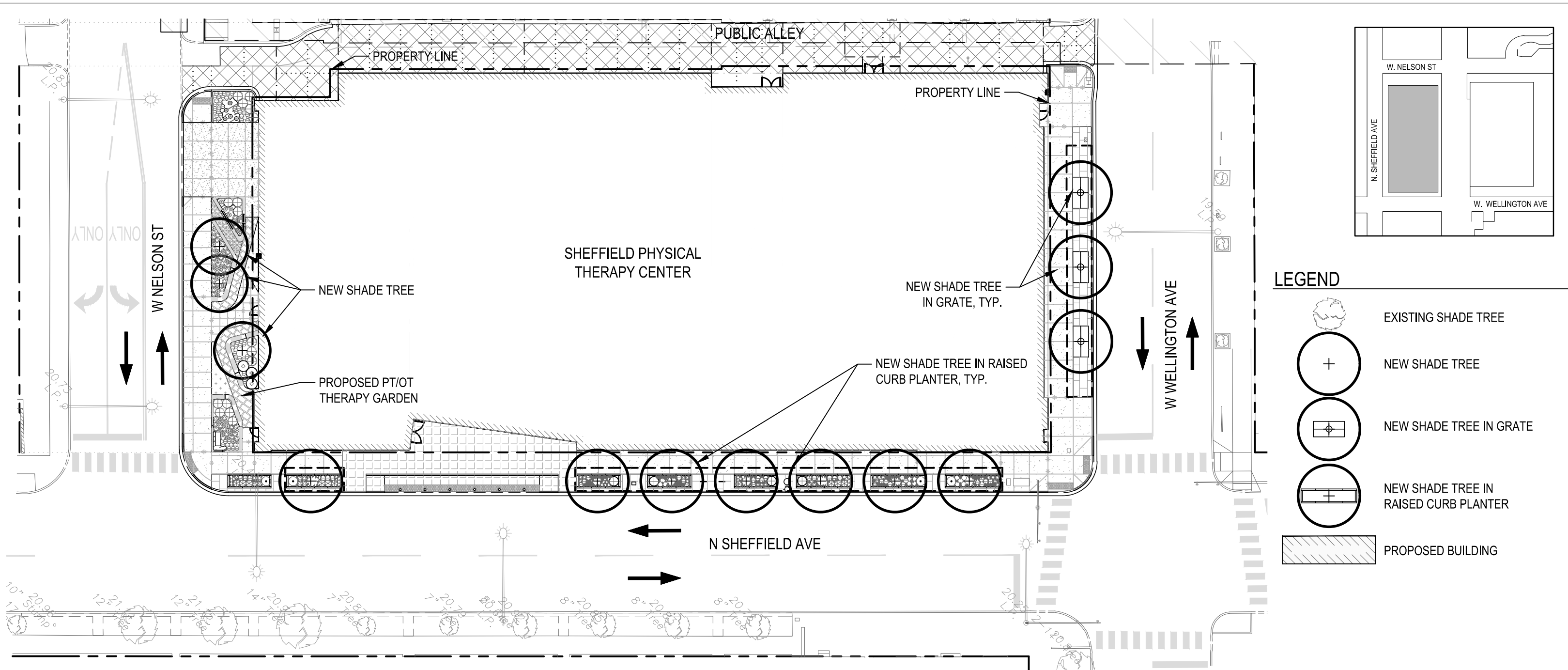
- LEGEND**
- STANDARD CURB AND GUTTER
 - DEPRESSED CURB AND GUTTER
 - EXISTING CURB
 - PROPERTY LINE
 - PROPOSED BUILDING

ENLARGED SITE PLAN



GRAPHIC SCALE: 1" = 30'-0"

APPLICANT: ADVOCATE AURORA HEALTH
 ADDRESS: 946 W. WELLINGTON AVENUE
 INTRO DATE: JUNE 12, 2019
 CPC DATE: NOVEMBER 21, 2019



CITY OF CHICAGO LANDSCAPE ORDINANCE

GENERAL NOTES

- 1) ONE (1) TREE PER TWENTY-FIVE (25) LINEAR FEET (LF) OF FRONTAGE ON A PUBLIC RIGHT-OF-WAY.
- 2) TWO-AND-ONE-HALF (2-1/2) INCH MINIMUM CALIPER TREES OUTSIDE THE "GREATER DOWNTOWN."
- 3) CONTINUOUS, OPEN PLANTERS WITH CONTINUOUS PLANTING SOILS ARE PREFERRED.
- 4) TREE GRATES ARE REQUIRED WHERE TREES ARE PLANTED IN SIDEWALK OPENINGS; USE OF GRATES MADE OF RECYCLED MATERIALS IS ENCOURAGED.
- 5) STRUCTURAL SOIL OR ROOT PATHS ARE REQUIRED BELOW SIDEWALKS WHEN TREE GRATES ARE USED.
- 6) MINIMUM BRANCH HEIGHT: 6'-0" ABOVE THE ROOTBALL.

REQUIREMENTS

- A) STREET TREES MUST BE AT LEAST 30' FROM THE RIGHT-OF-WAY (R.O.W.) LINE OR PROPERTY LINE ON THE SIDE OF THE STREET INTERSECTION CLOSER TO AN AUTOMOBILE DRIVER ("NEAR SIDE")
- B) STREET TREES MUST BE AT LEAST 20' FROM THE RIGHT-OF-WAY (R.O.W.) LINE OR PROPERTY LINE ON THE SIDE OF THE STREET INTERSECTION FARTHER FROM AN AUTOMOBILE DRIVER ("FAR SIDE")
- C) STREET TREES MUST BE AT LEAST 20' FROM THE EDGE OF AN ALLEY OR COMMERCIAL DRIVE ON THE SIDE OF THE STREET INTERSECTION CLOSER TO AN AUTOMOBILE DRIVER ("NEAR SIDE")
- D) STREET TREES MUST BE AT LEAST 10' FROM THE EDGE OF AN ALLEY OR COMMERCIAL DRIVE ON THE SIDE OF THE STREET INTERSECTION FARTHER FROM AN AUTOMOBILE DRIVER ("FAR SIDE")
- E) STREET TREES MUST BE AT LEAST 10' FROM THE EDGE OF A RESIDENTIAL DRIVEWAY ON THE SIDE OF THE STREET INTERSECTION CLOSER TO AN AUTOMOBILE DRIVER ("NEAR SIDE")
- F) STREET TREES MUST BE AT LEAST 10' FROM THE EDGE OF A RESIDENTIAL DRIVEWAY ON THE SIDE OF THE STREET INTERSECTION FARTHER FROM AN AUTOMOBILE DRIVER ("FAR SIDE")
- G) ONE TREE PER 25 LINEAR FEET (LF) OF FRONTAGE IS REQUIRED IN PARKWAYS.
- H) WHERE THE PARKWAY (THE DISTANCE FROM THE BACK OF CURB TO THE EDGE OF THE RIGHT-OF-WAY) IS LESS THAN OR EQUAL TO 9 FEET WIDE, NO STREET TREE IS REQUIRED.
- I) WHERE THE PARKWAY (THE DISTANCE FROM THE BACK OF CURB TO THE EDGE OF THE RIGHT-OF-WAY) IS BETWEEN 9 AND 12 FEET WIDE, STREET TREES MUST BE PLANTED USING A TREE GRATE TO PROVIDE ADEQUATE ROOM FOR PEDESTRIANS.
- J) STREET TREES PLANTED WITH TREE GRATES MUST BE PLANTED IN TOPSOIL BACKFILL WITH STRUCTURAL SOIL PLACED OUTSIDE TREE PIT PARKWAY PLANTER UNDER PAVEMENT.
- K) WHERE THE PARKWAY (THE DISTANCE FROM THE BACK OF CURB TO THE EDGE OF THE RIGHT-OF-WAY) IS MORE THAN 12 FEET WIDE, STREET TREES MUST BE PLANTED IN A CONTINUOUS PARKWAY PLANTER.
- L) PLANTERS MUST BE AT LEAST 3'-6" WIDE (INSIDE-TO-INSIDE OF PERIMETER CURB).
- M) THE USE OF STRUCTURAL SOIL MAY BE REQUIRED UNDER SIDEWALKS OUTSIDE OF THE PARKWAY PLANTER.

LANDSCAPE PLAN

0' 30' 60'

GRAPHIC SCALE: 1" = 30'-0"

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 946 W. WELLINGTON AVENUE
INTRO DATE: JUNE 12, 2019
CPC DATE: NOVEMBER 21, 2019

20065

Reclassification Of Area Shown On Map No. 7-G.

IPD50,00

(As Amended)

(Application No. 20065)

(Common Address: 857 -- 937 W. Barry Ave., 3000 -- 3020 N. Halsted St., 3001 -- 3021 N. Dayton St., 3000 -- 3024 N. Dayton St., 800 -- 956 W. Wellington Ave., 901 -- 937 W. Wellington Ave., 2934 -- 2958 N. Mildred Ave., 900 -- 908 W. Oakdale Ave. And 3001 -- 3029 N. Sheffield Ave.)

[SO2019-4340]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B3-2 Community Shopping District and Institutional Planned Development Number 50 symbols and designations as shown on Map Number 7-G in the area bounded by:

West Barry Avenue; a line 330.61 feet east of and parallel to North Wilton Avenue; a line 132.23 feet south of and parallel to West Barry Avenue; the centerline of vacated North Dayton Street and North Dayton Street; a line 230.33 feet north of and parallel to West Wellington Avenue; North Halsted Street; West Wellington Avenue; North Mildred Avenue; West Oakdale Avenue; a line 103 feet west of and parallel to North Mildred Avenue; the alley next north of and parallel to West Oakdale Avenue; a line 189.6 feet east of and parallel to North Sheffield Avenue, also known as the east line of the Chicago Transit Authority right-of-way; West Wellington Avenue; North Sheffield Avenue; West Nelson Street; and a line 189.6 feet east of and parallel to North Sheffield Avenue, also known as the east line of the Chicago Transit Authority right-of-way,

to those of Institutional Planned Development Number 50, as amended, and a corresponding use district is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development No. 50, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 50, as amended ("the Planned Development") consists of approximately

576,137 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property") and Subareas A, B, C and D are owned or controlled by the Applicant, Advocate North Side Health Network. Subarea E is owned or controlled by the Chicago Transit Authority.

2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant then to the owners of record title to all of the Property and to any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings

- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II Review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This plan of development consists of nineteen (19) Statements; Bulk Regulations and Data Table; Existing Land-Use Area and Zoning Map; Planned Development Boundary, Property Line, Subarea and Right-of-Way Adjustment Map, Site Plan; Subarea D Enlarged Site Plan; Subarea D Landscape Plan; Subarea D Elevations; Subarea D 6th Level Floor Plan; Sheffield North Base; Sheffield North Middle; Sheffield North Top; Sheffield South Base; Sheffield South Middle; Sheffield South Top; Sheffield East Base; Sheffield East Middle; Sheffield East Top; Sheffield West Base; Sheffield West Middle; and Sheffield West Top; prepared by SmithGroup dated November 21, 2019. Also: Phase 1 Enlarged Site and Roof Plan; Phase 1 Landscape/Green Roof Plan; Phase 1 Elevations; and Phase 1 Roof Plan prepared by SmithGroup dated November 27, 2012.

In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.

5. The following uses shall be permitted within the area herein delineated:

Subarea A:

hospital, medical service, office, dwelling units (housing for nurses, interns, residents and other similar positions who service the hospital), parking and related uses.

Subarea B:

hospital, medical service, office, parking and related uses.

Subarea C:

hospital, medical service, office, parking and related uses.

Subarea D:

hospital, medical service, office, parking and related uses.

Subarea E:

transit related uses including commuter rail line, and activities directly related to the provision of commuter rail service, major utilities and those customary and incidental accessory uses to any of the uses described above, as determined by the Zoning Administrator, and non-accessory parking.

6. Skybridges shall be permitted at the following locations: (i) a skybridge shall be permitted across North Dayton Street to connect the medical office building development with the medical center complex, (ii) a skybridge shall be permitted across West Wellington Avenue to connect the proposed parking garage with the parking deck, and (iii) one skybridge shall be permitted across vacated West Nelson Street to connect the education building to the medical center complex.
7. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
8. Loading Dock Management: In an effort to increase pedestrian safety, the Applicant will train, dedicate and designate traffic safety employees to manage and monitor the Wellington Loading Dock. Said employees will monitor pedestrian and vehicular traffic and activity on Mildred Avenue and the Wellington Loading Dock. Furthermore, Applicant will not permit any deliveries by new vendors at the Wellington Loading Dock unless they use a truck which completely fits into the loading area.
9. For the purposes of measuring height, the definition in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.

10. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 576,137 square feet and a base FAR of 2.81.
11. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
12. Prior to Part II Approval (Section 17-13-0610 of the Chicago Zoning Ordinance), the Applicant shall submit a site plan, landscape plan and building elevations for the specific project for review and approval by the Department of Planning and Development (DPD). Review and approval by DPD is intended to assure that specific development components substantially conform with the Planned Development (P.D.) and to assist the City in monitoring ongoing development. Site Plan Approval Submittals (Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant. If the Applicant is seeking approval for a portion of the Property that represents less than an entire Subarea, the Applicant shall also include a site plan for that area of the Property which is bounded on all sides by either public rights-of-way or the boundary of the nearest Subarea. The site plan provided shall include all dimensioned and planned street rights-of-way.

No Part II Approval for any portion of the Property shall be granted until Site Plan approval has been granted. Following approval by DPD, the approved Site Plan Approval Submittals, supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the P.D. This planned development amendment constitutes site plan approval for the Sheffield Parking Garage.

After approval of the Site Plan, changes or modifications may be made pursuant to the provisions of Statement Number 13. In the event of any inconsistency between approved plans and the terms of the P.D., the terms of the P.D. shall govern. Any Site Plan Approval Submittals shall, at a minimum, provide the following information:

- fully-dimensioned site plan (including a footprint of the proposed improvements);
- fully-dimensioned building elevations;
- fully-dimensioned landscape plan(s); and

- statistical information applicable to the subject Subarea, including floor area, the applicable floor area ratio, uses to be established, building heights and setbacks.

Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the P.D.

New improvements to be located in Subareas A and C shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. The landscape improvements as depicted in the attached Landscape Plan shall govern all landscape requirements.

Prior to the Department of Planning and Development issuing a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance (a "Part II Approval") for development of Phase II in the attached planned development exhibits for Subareas A and C, a Site Plan for the proposed development of such shall be submitted to the Department of Planning and Development for Site Plan Approval. Site Plan Approval for Phase II is intended to assure that the specific development proposal substantially conforms with this Planned Development and to assist the City in monitoring ongoing development. A Site Plan may be submitted for all or part of Phase II for Subareas A and C. Such Site Plan need only include the area within the Property for which approval is being sought by the Applicant. No Part II Approval for such area shall be granted until an applicable Site Plan has been approved.

Requests for Site Plan Approval for Phase II shall be submitted to the Commissioner of the Department of Planning and Development who shall then submit the plans to the Chicago Plan Commission for review and approval. Applicant shall also submit an updated Traffic Study for Phase II at that time to the Department of Transportation and Department of Planning and Development. Notice of the hearing before the Chicago Plan Commission for Phase II shall be posted by the Applicant on the property in question (but no written notice pursuant to Section 17-13-0107-A of the Zoning Ordinance, by the Applicant, shall be required). Following approval of a Site Plan for Phase II by the Chicago Plan Commission, the Site Plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this Planned Development.

After approval of a Site Plan approval for Phase II by the Chicago Plan Commission or Part II Approval by Department of Planning and Development for Phase II, the same may be changed or modified pursuant to the provisions of Statement Number 13 of this Planned Development. In the event of any inconsistency between the approved Site Plan for Phase II and the terms of this Planned Development (including any amendments hereto that may be in effect at the time of such approval), the terms of this Planned Development (as the same may be so amended) shall govern.

13. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator, including the transfer of FAR between subareas, upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II Review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all new buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities (MOPD) to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
16. The site and landscape plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II Permit Review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the

applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and City resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

18. The Applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Streets and Sanitation, the Commissioner of the Fleet and Facility Management and the Commissioner of Buildings under Section 13-32-085 of the Municipal Code of Chicago or any other provision of that Code.
19. Unless substantial construction of the proposed building in Subarea D has commenced within six (6) years following adoption of this Planned Development, and unless completion is thereafter diligently pursued, then this Planned Development shall expire. If this Planned Development expires under the provisions of this section, then the zoning of the Property within Subareas A, B, and C shall automatically revert to the Institutional Planned Development Number 50, as amended December 12, 2012, and the zoning of the Property within Subarea D shall automatically revert to the underlying zoning of the Property of B3-2 Community Shopping District.

[Existing Land-Use Area and Zoning Map; Boundary, Property Line, Subarea and Right-of-Way Adjustment Map; Site Plan; Enlarged Site Plan; Landscape Plan; North, South, East and West Sheffield Facade Elevations; 6th Level Floor Plan; Sheffield North, South, East and West Base, Middle and Top; Phase 1 Reference Documents; Phase 1 Enlarged Site and Roof Plans; Phase 1 Landscape/Green Roof Plans; and North, South, East and West Phase 1 Building Elevations referred to in these Plan of Development Statements printed on pages 12449 through 12477 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

12/18/2019

REPORTS OF COMMITTEES

12447

Institutional Planned Development No. 50.

Bulk Regulations And Data Table.

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INSTITUTIONAL PLANNED DEVELOPMENT #50 BULK REGULATIONS AND DATA TABLE			
<u>Site Area</u>	538,479 sq.ft (14.657 acres)		
<u>Gross Site Area:</u>	538,479 sq.ft (includes sub-area D and sub-area E)		
<u>Net Site Area:</u>	109,604 sq.ft (2.516 acres)		
<u>Public Right-of-Way</u>			
Sub-area A:	338,083 sq.ft		
Sub-area B:	63,164 sq.ft		
Sub-area C:	140,178 sq.ft		
Sub-area D:	30,462 sq.ft		
Sub-area E:	26,891.5 sq.ft		
<u>Maximum Height</u>			
Sub-area A:	171'-4" (as measured by Chicago Zoning Ordinance)		
Sub-area B:	135'-2" (as measured by Chicago Zoning Ordinance)		
Sub-area C:	146'-0" (as measured by Chicago Zoning Ordinance)		
Sub-area D:	74'-0" (as measured by Chicago Zoning Ordinance)		
Sub-area E:	N/A (existing CTA structure to remain)		
<u>Use Area Ratio & Buildable Area</u>			
Overall Maximum FAR:	2.81		
Overall Maximum Buildable Area:	1,654,210.47 sq.ft (576,137 net site area x 2.81 FAR)		
<u>Sub-area A:</u>			
Net Site Area:	338,083 sq.ft		
Maximum FAR:	2.5		
Total Buildable Square Footage	845,207.5 sq.ft		
As-Built sq.ft in 2020	818,938 sq.ft		
Remaining Available Buildable Area:	26,269.5 sq.ft		
<u>Sub-area B:</u>			
Net Site Area:	63,164 sq.ft		
Maximum FAR:	2.65		
Total Buildable Square Footage	167,384.6 sq.ft		
Existing As-Built sq.ft:	166,536 sq.ft		
Remaining Available Buildable Area:	848.6 sq.ft		
<u>Sub-area C:</u>			
Net Site Area:	140,178 sq.ft		
Maximum FAR:	3.60		
Total Buildable Square Footage	504,640.8 sq.ft		
Total Existing As-Built sq.ft:	185,259.0 sq.ft		
Remaining Available Buildable Area:	319,381.8 sq.ft		
<u>Sub-area D:</u>			
Net Site Area:	30,462 sq.ft		
Maximum FAR:	1.00		
Total Buildable Square Footage	30,462.0 sq.ft		
Building sq.ft:	30,462		
Remaining Available Buildable Area:	0 sq.ft		
<u>Sub-area E:</u>			
Net Site Area:	26,891.5 sq.ft		
Maximum FAR:	2.00		
Total Buildable Square Footage	53,783.0 sq.ft		
Building sq.ft:	53,783		
Remaining Available Buildable Area:	0 sq.ft		

FD-01A

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INDEX REGULATION & DATA TABLE

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 948 W. WELLINGTON AVENUE
DATE: OCTOBER 28, 2019
CPC DATE: NOVEMBER 21, 2019

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Sub-area E:
 Net Site Area:
 Maximum FAR:
 Total Buildable Square Footage
 Building sq.ft:

16,800 sq.ft. (Non-buildable Square Footage)
 2.20
 36,960 sq.ft.
 N/A

Setbacks

Sub-area A:
 Boundary & Front
 Boundary & Side

3'-0"
 7'-0"

Sub-area B:
 Boundary & Front
 Boundary & Side

2'-0"
 0'-0"

Sub-area C:
 Front & Back Yard
 Side Yard

5'-0"
 5'-0"

Sub-area D:
 Boundary & Front
 Boundary & Side

0'-0"
 0'-0"

Sub-area E: (CTA Right-of-Way)
 Boundary & Front
 Boundary & Side

N/A
 N/A

Parking Spaces:

Spaces Provided:

Sub-area A: 978
 Sub-area B: 380
 Sub-area C: 45
 Sub-area D: 408
 Sub-area E: N/A
 Total 1,811

Bicycle Spaces:

Spaces Provided:

Sub-area A: 10
 Sub-area B: 8
 Sub-area C: 50
 Sub-area D: 41
 Sub-area E: N/A
 Total 109

Loading Spaces:

Spaces Provided:

Sub-area A: 5 (Existing)
 Sub-area B: 0
 Sub-area C: 0
 Sub-area D: 0
 Sub-area E: N/A
 Total 5

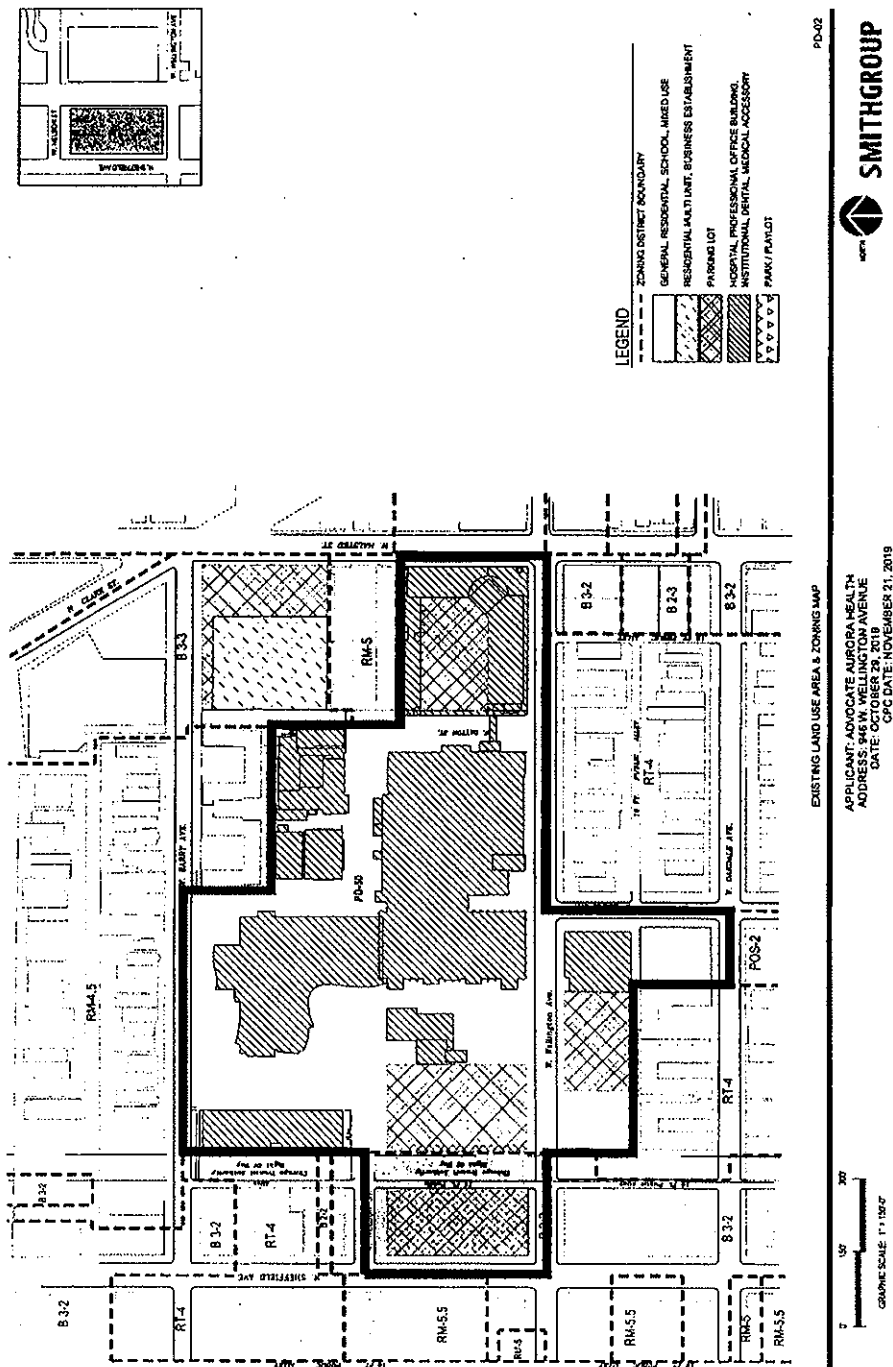
BULK REGULATION & DATA TABLE

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 ADDRESS: 846 W. WELLINGTON AVENUE
 DATE: OCTOBER 26, 2019
 CPC DATE: NOVEMBER 21, 2019

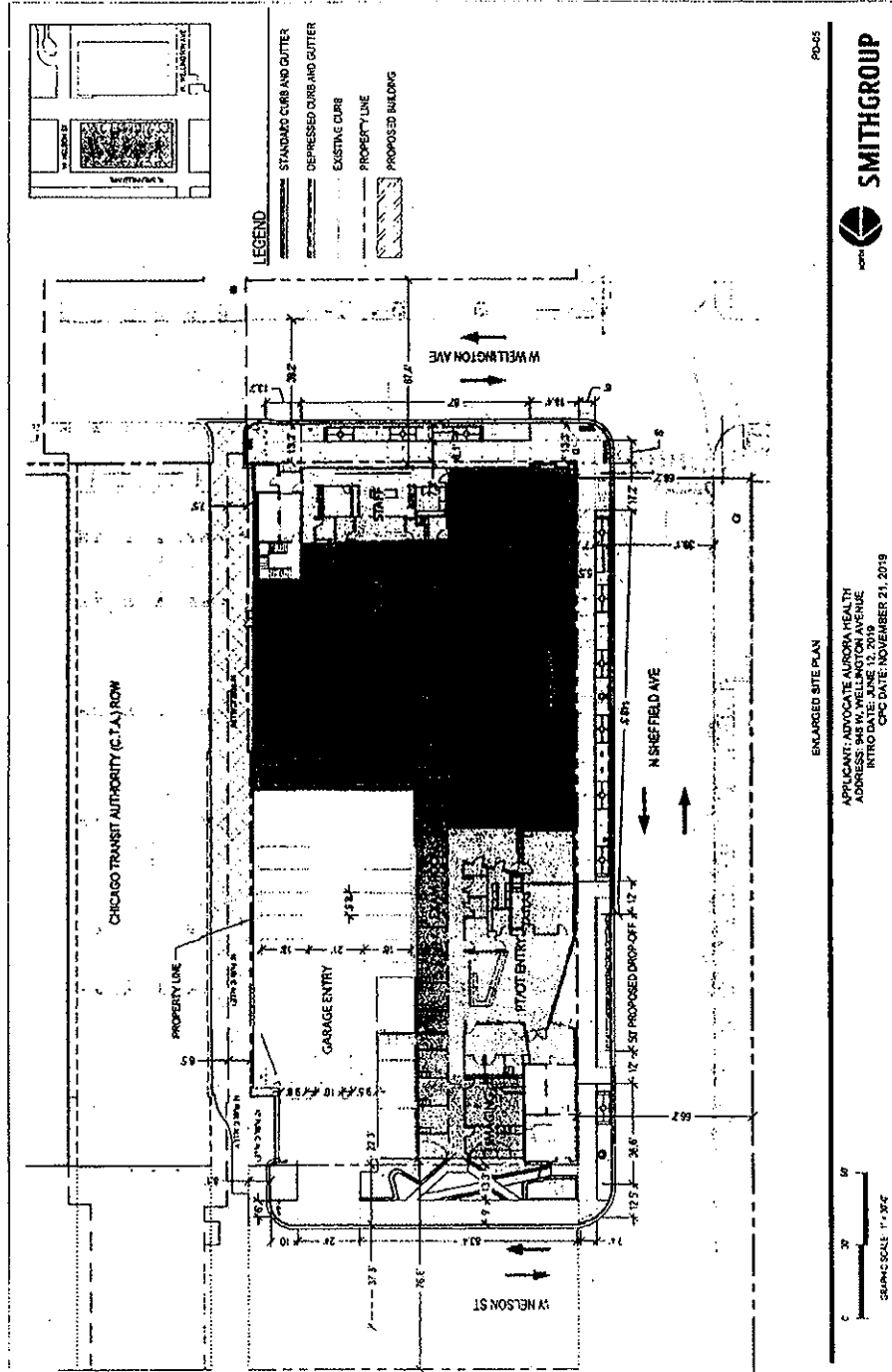
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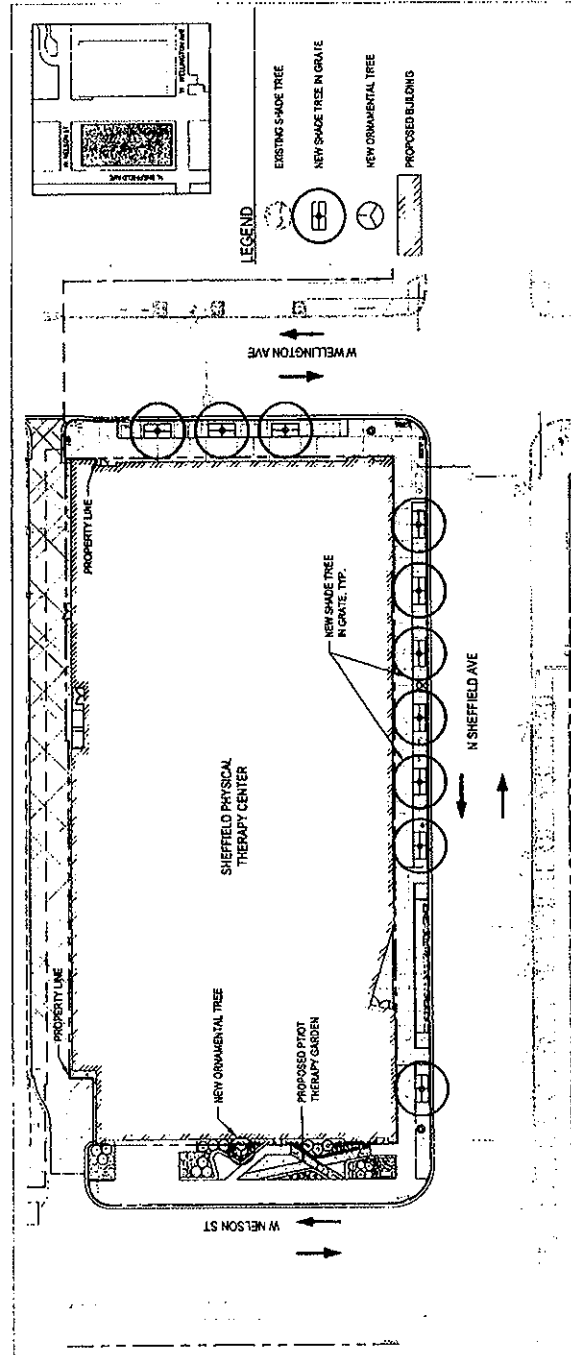
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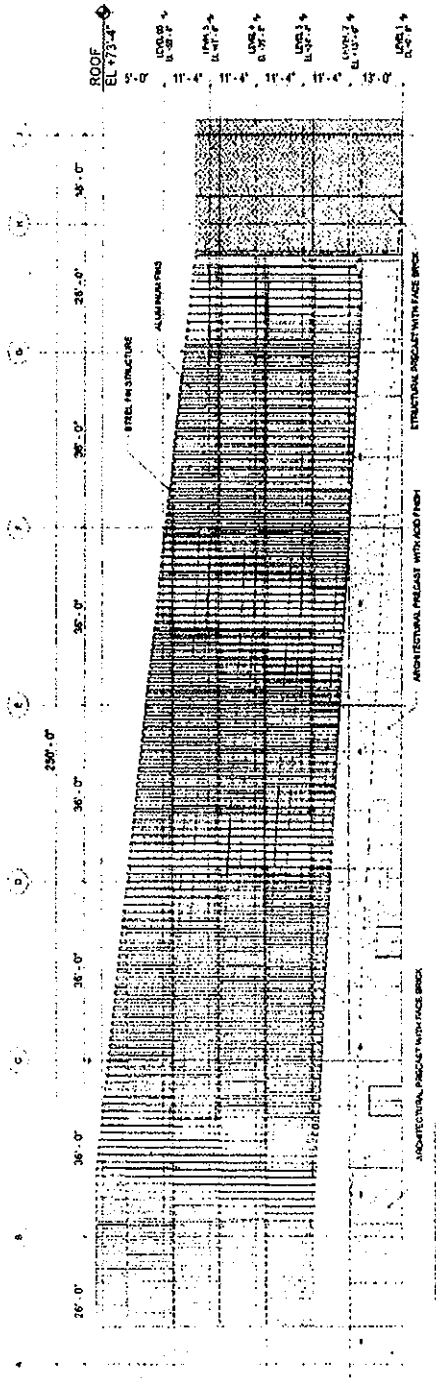
Final for Publication



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PG-07

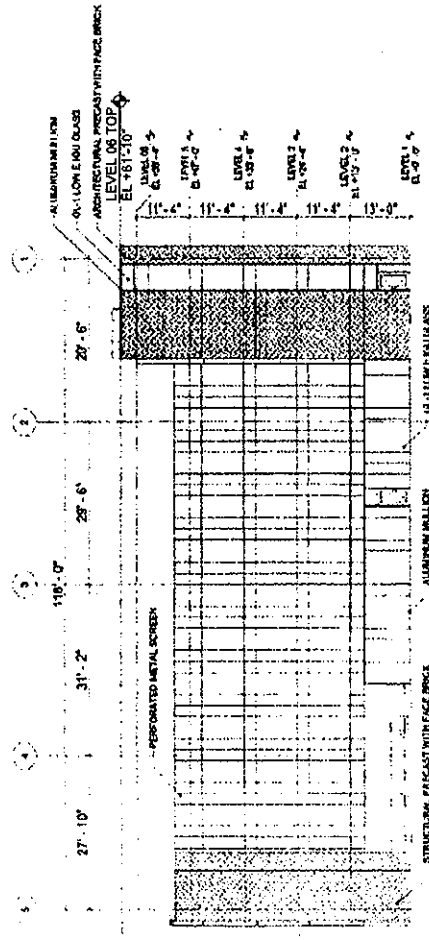
SMITHGROUP

SHEFFO EAST FACADE ELEVATION

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 96 W. WELLINGTON AVENUE
DATE: OCTOBER 21, 2019
CPC DATE: NOVEMBER 21, 2019

DATE: 12/18/19

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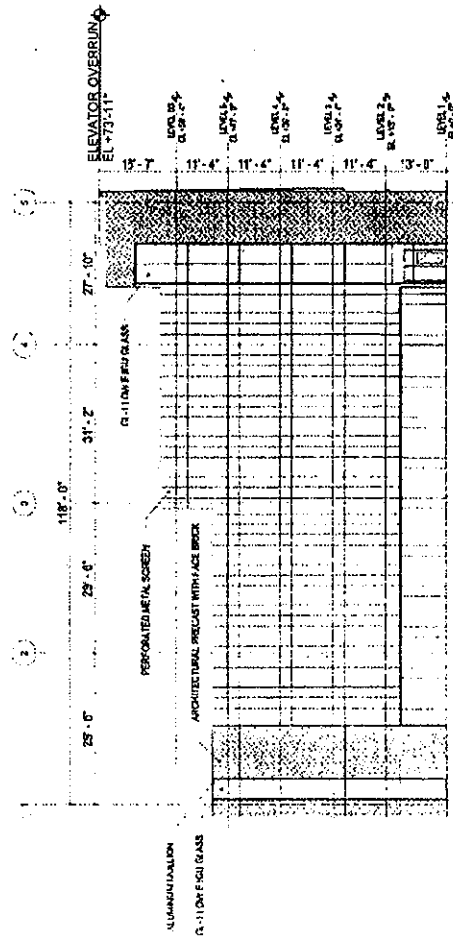
SMITHGROUP

SHEFFIELD NORTH FACADE ELEVATION

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 1000 W. FULLERTON AVENUE
DATE: OCTOBER 20, 2019
CPC DATE: NOVEMBER 21, 2019

DATE: 10/20/19

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PD-09

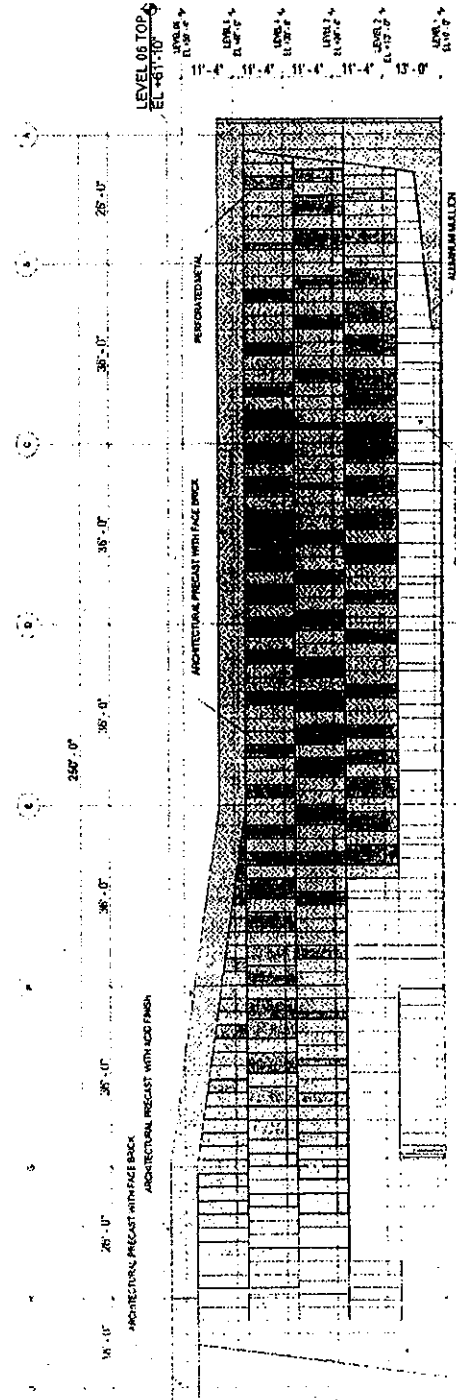
SHEFFIELD SURFSCULPTURE ELEVATION

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 845 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE: NOVEMBER 21, 2019

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10/17/19

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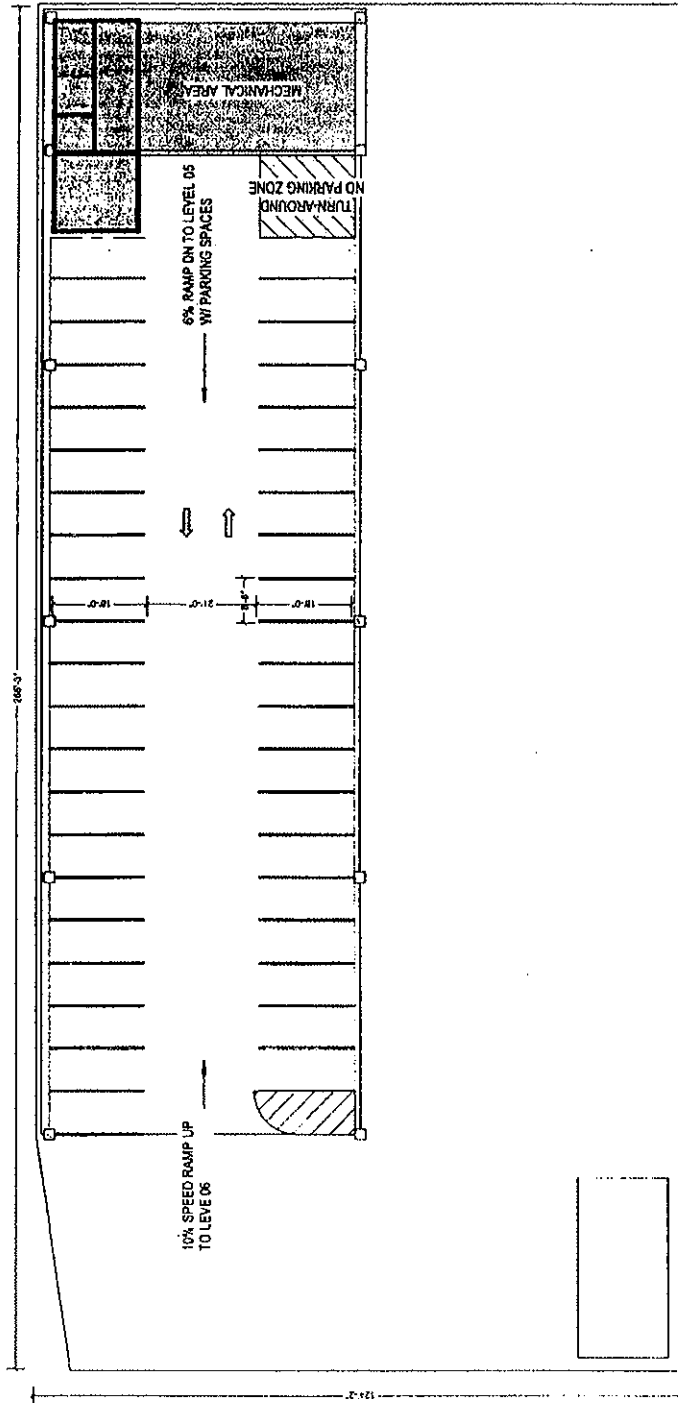
PD-10

SHEFFIELD WEST PLAZA ELEVATION

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 144 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE: NOVEMBER 21, 2019

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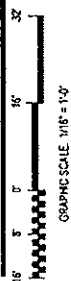
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PD-11

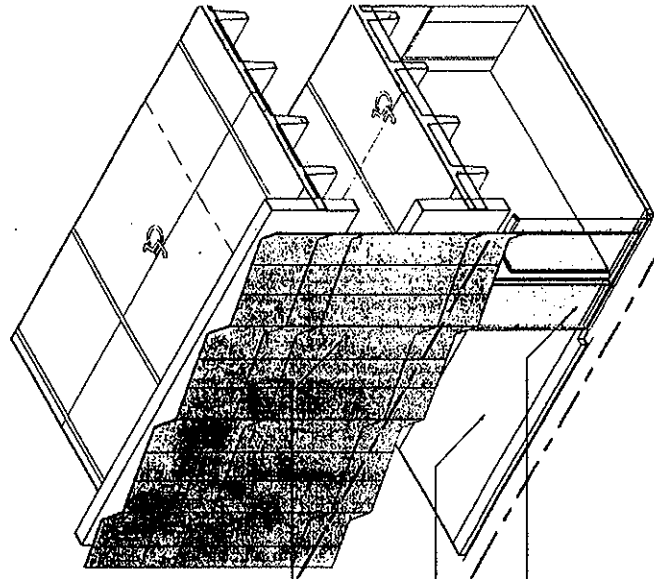
6TH LEVEL FLOOR PLAN

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 1111 WEST MONROE AVENUE
DATE: OCTOBER 29, 2018
CPC DATE: NOVEMBER 21, 2019



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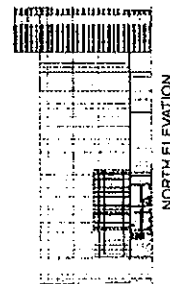
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PERFORATED METAL SCREEN

VEHICULAR ENTRY

GLASS CURTAIN WALL



NORTH ELEVATION

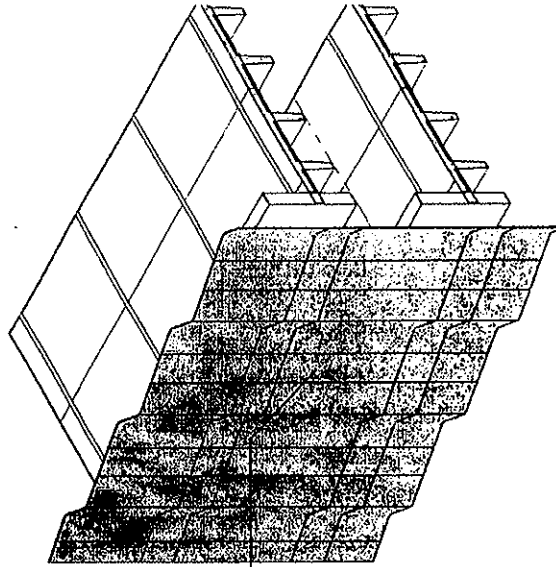
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SHEPHERD NORTH BASE

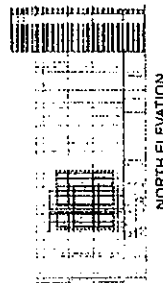
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ADDRESS: 540 W. VILLAMONT AVENUE
DATE: OCTOBER 28, 2018
CPC DATE: NOVEMBER 21, 2019

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PERFORATED METAL SCREEN



NORTH ELEVATION

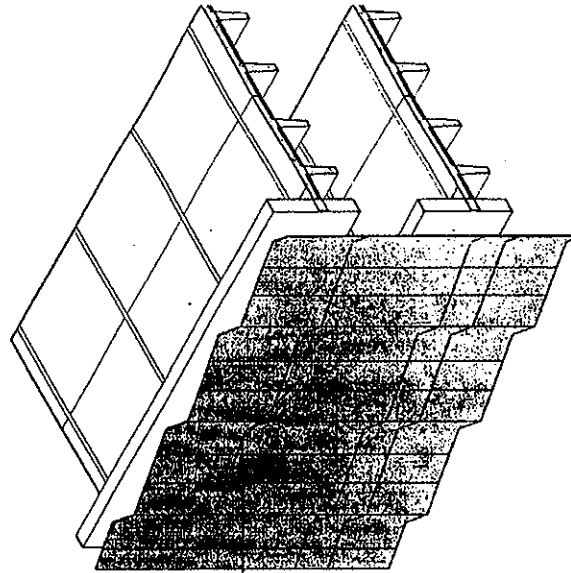
PD-13

SHEETED NORTH WIDE

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 946 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2018
CPC DATE: NOVEMBER 21, 2018

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PERFORATED METAL SCREEN



NORTH ELEVATION

PD-14

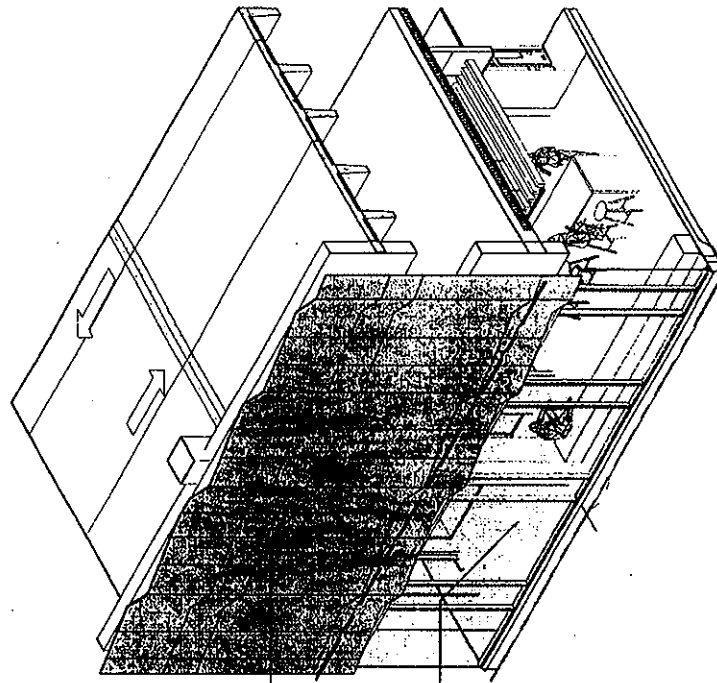
SHEFFIELD NORTH TOP

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 846 W. WELLINGTON AVENUE
DATE: OCTOBER 25, 2018
CPC DATE: NOVEMBER 21, 2019

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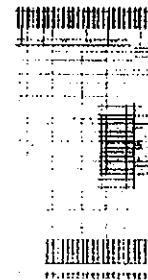
3/19/2019

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PERFORATED METAL SCREEN

GLASS CURTAIN WALL



SOUTH ELEVATION

PD-15

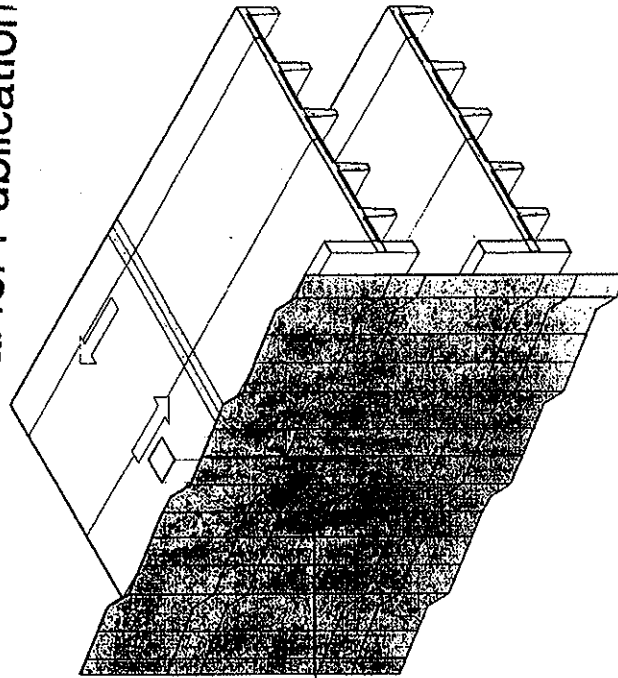
SHEPHERD SOUTH BASE

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ADDRESS: 100 WILSON AVENUE
DATE: OCTOBER 23, 2019
CPC DATE: NOVEMBER 21, 2019

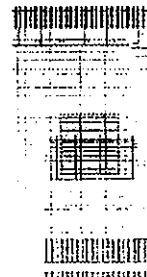
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9/23/24

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PERFORATED METAL SCREEN



SOUTH ELEVATION

PO-16

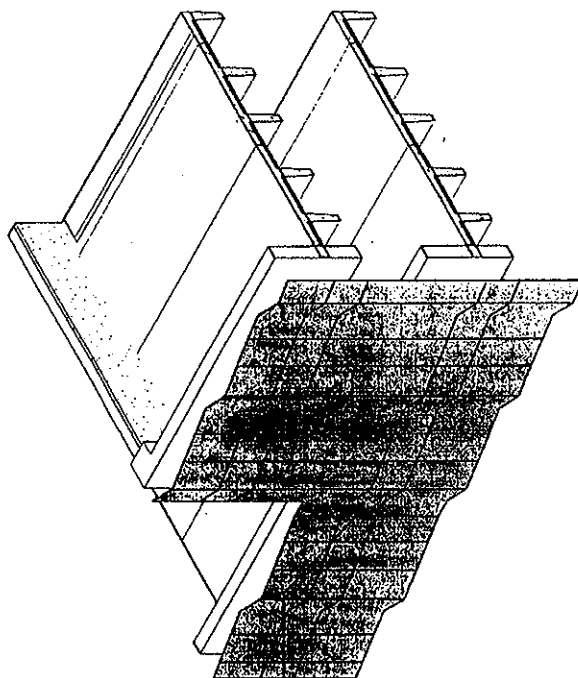
SMITHFIELD SOUTH WINDLE

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 946 W. WELLINGTON AVENUE
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CPC DATE: NOVEMBER 21, 2019

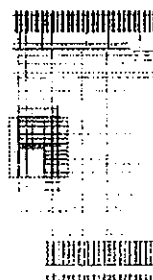
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PERFORATED METAL SCREEN



SOUTH ELEVATION

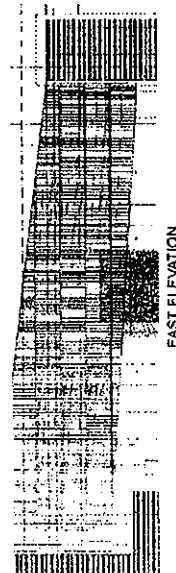
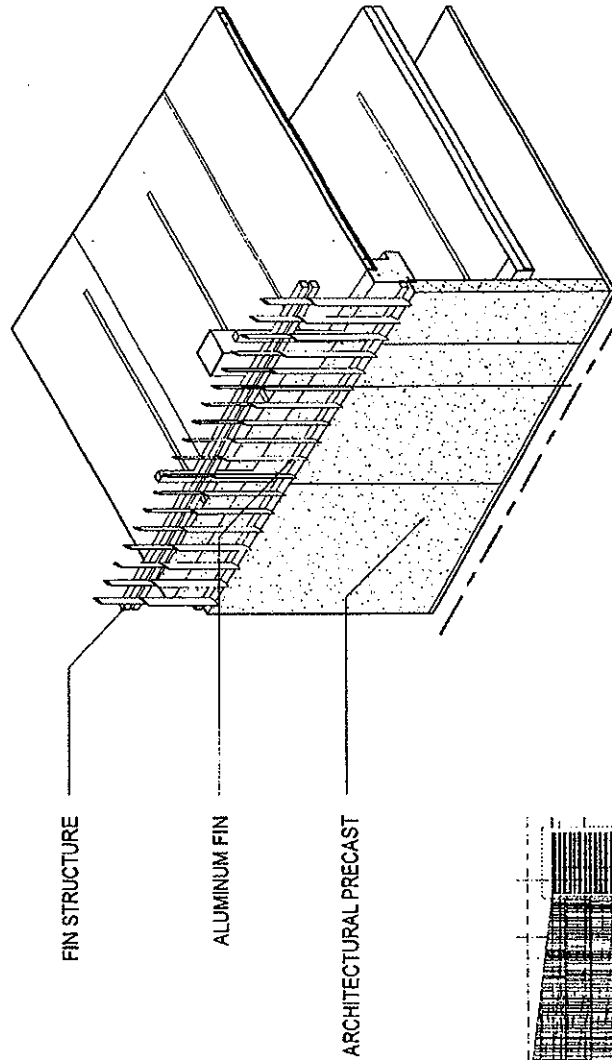
PD-17

SHEFFIELD SOUTH TOP

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 146 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE: NOVEMBER 21, 2019

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PD-18

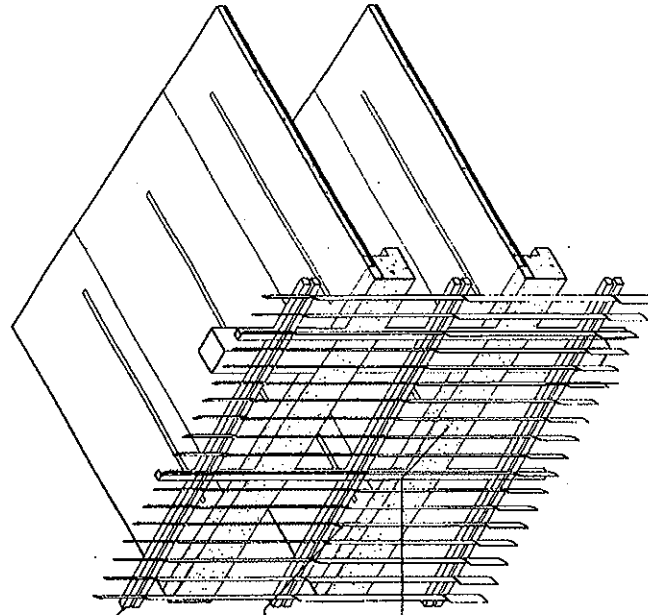
SERIALIZED BASE

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 146 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE: NOVEMBER 21, 2019

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10/21/2019

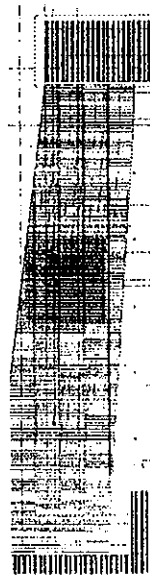
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FIN STRUCTURE

ALUMINUM FIN

STRUCTURAL PRECAST LEDGER BEAM



EAST ELEVATION

PD-19

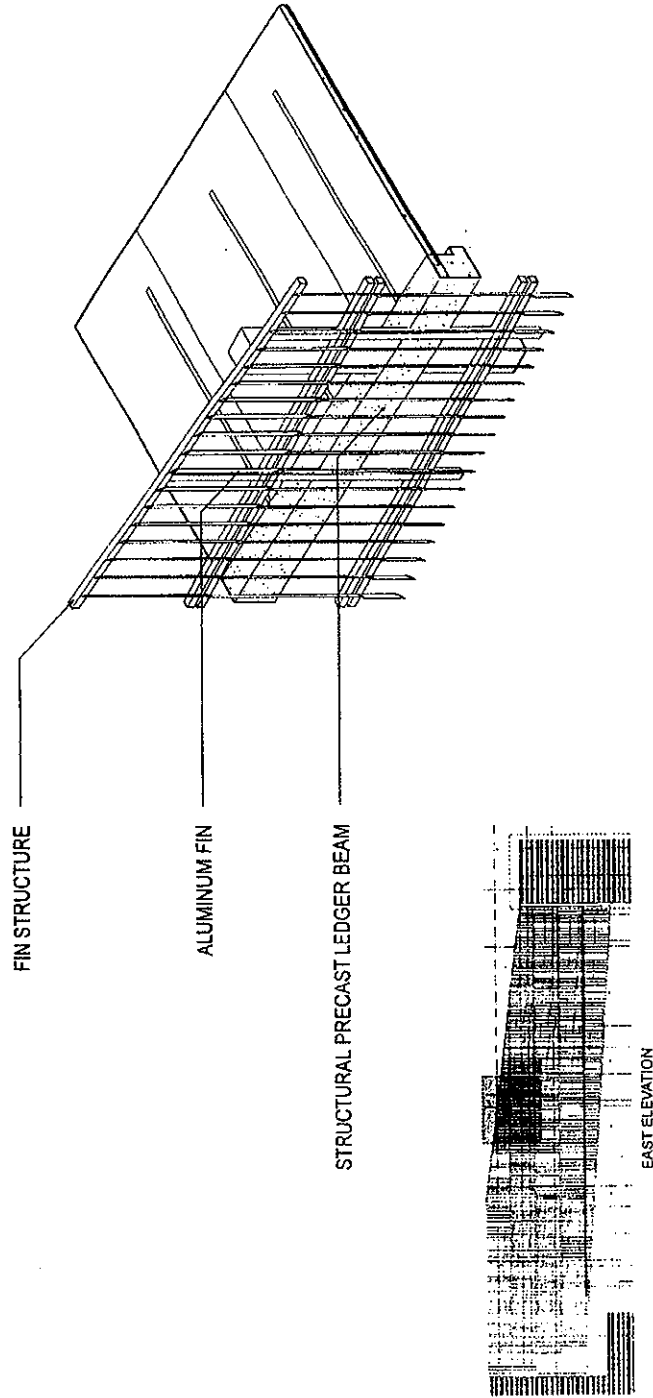
SHEFFIELD EAST WOODS

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 948 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE: NOVEMBER 21, 2019

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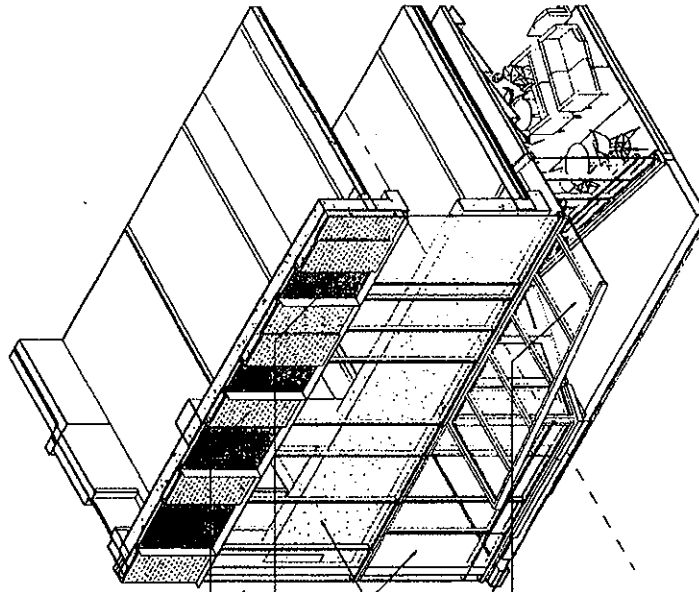
SHEPHERD EAST TOP

APPLICANT: ADVOCATE AURORA HEALTH
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DATE: OCTOBER 23, 2018
CPC DATE: NOVEMBER 21, 2019

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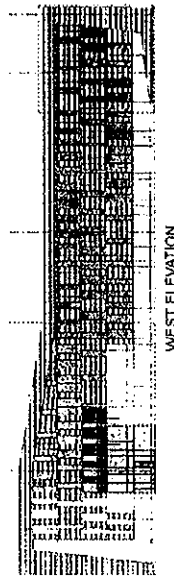


ARCHITECTURAL PRECAST
W/ BRICK INLAY

PERFORATED METAL INFILL PANEL

GLASS CURTAIN WALL

STEEL AND GLASS CANOPY



WEST ELEVATION

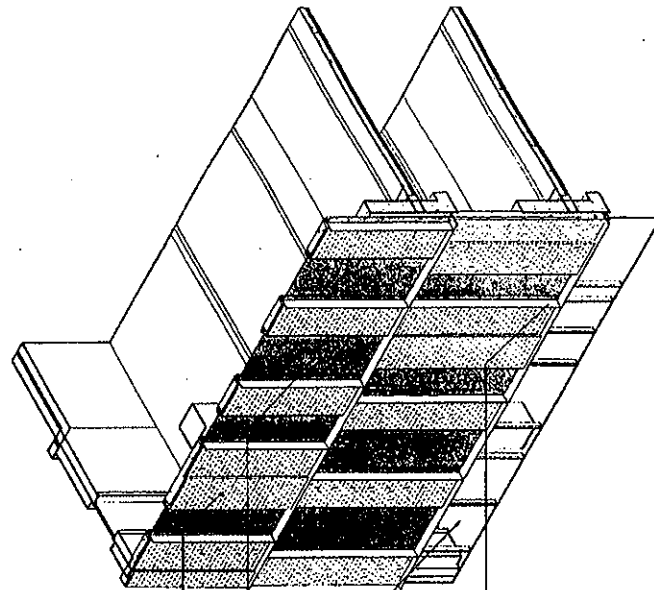
PD-21

SHEFFIELD WEST BASE

APPLICANT: AURORA HEALTH
ADDRESS: 148 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2018
CPC DATE: NOVEMBER 21, 2018

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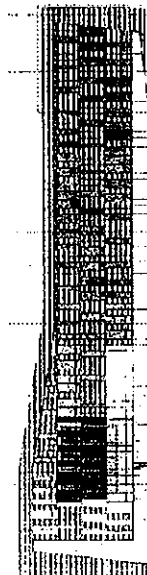


ARCHITECTURAL PRECAST
W/ BRICK INLAY

PERFORATED METAL INFILL PANEL

GLASS CURTAIN WALL

METAL FRAME



WEST ELEVATION

PD-32

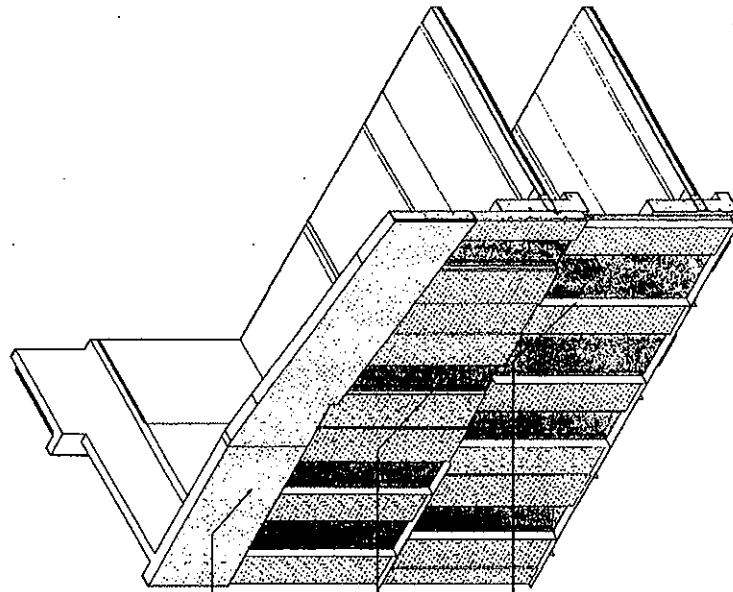
SHEFFIELD WEST MIDDLE

APPLICANT: ADVOCATE AIROORA HEALTH
ADDRESS: 948 W. WELLINGTON AVENUE
DATE: OCTOBER 26, 2019
CPC DATE: NOVEMBER 21, 2019

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10/15/2019

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ARCHITECTURAL PRECAST
W/ BRICK INLAY

PERFORATED METAL INFILL PANEL

METAL FRAME



WEST ELEVATION

PD-23

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SHEFFIELD WEST TOP

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 345 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE: NOVEMBER 21, 2018

12/18/2019

Final for Publication

PHASE 1 REFERENCE DOCUMENTS

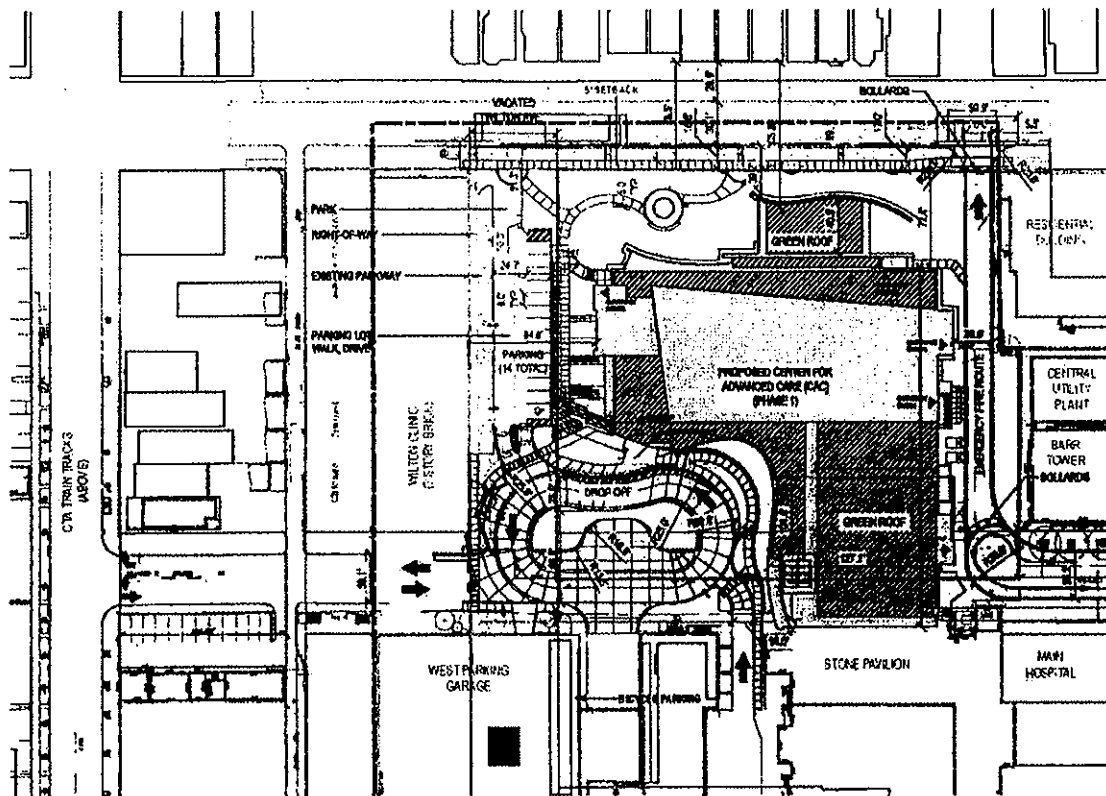
APPLICANT: ADVOCATE NORTHSIDE HEALTH NETWORK
ADDRESS: 857-937 W. BARRY AVENUE; 3000-20 N. HALSTED STREET; 3001-21 N. DAYTON STREET;
3000-24 N. DAYTON STREET; 800-938 WEST WELLINGTON AVENUE; 901-39 W. WELLINGTON
AVENUE; 2934-58 N. MILDRED AVENUE; 900-08 W. OAKDALE AVENUE; 3052-58 N. WILTON AVENUE;
3033-59 N. WILTON AVENUE, CHICAGO ILLINOIS
INTRO DATE: JUNE 20, 2012
CPC DATE: NOVEMBER 27, 2012

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 146 W. WELLINGTON AVENUE
INTRO DATE: JUNE 12, 2019
CPC DATE:

SMITHGROUP



PHASE 1 ENLARGED SITE & ROOF PLAN

Final for Publication



Sq. Ft. of Green Roof Area: 25,100 sq. ft.

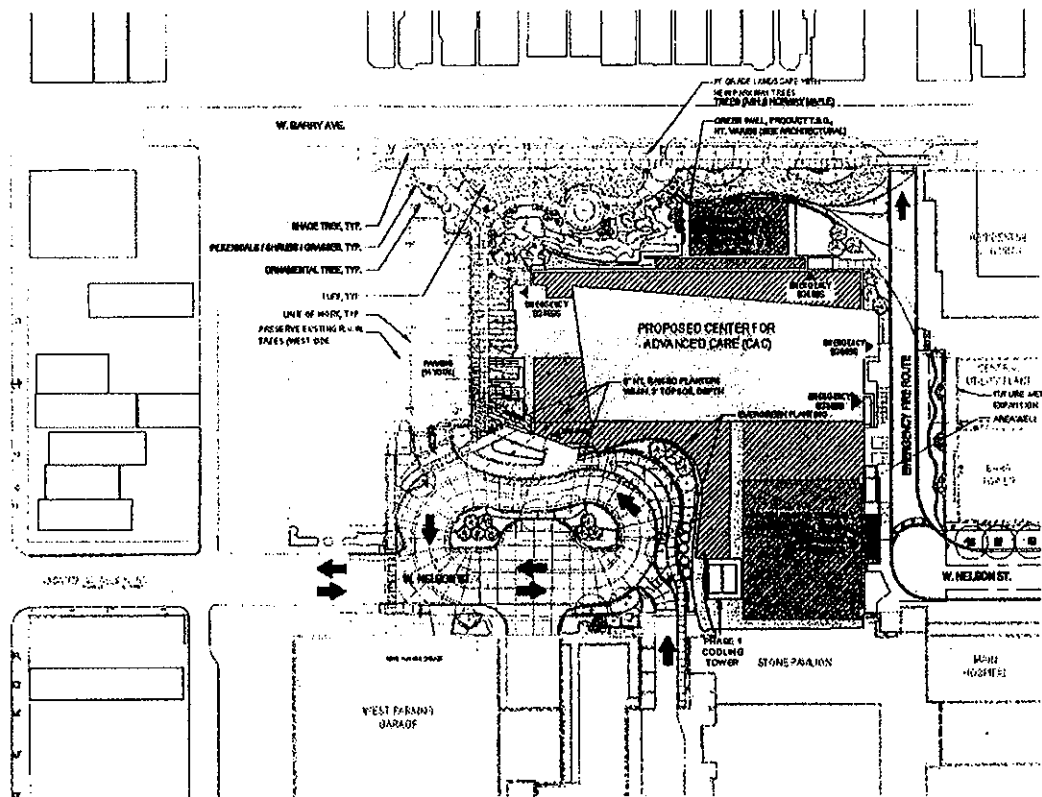
LEGEND

- PROPERTY LINE
 - - - - - PLANNED DEVELOPMENT LINE (PD-50)
 GREEN ROOF AREA
 ROOF AREA

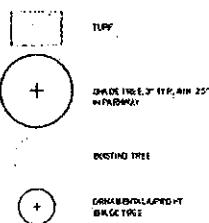
APPLICANT: ADVOCATE NORTHSIDE HEALTH NETWORK
ADDRESS: 657-937 W. BARRY AVENUE; 3000-20 N. HALSTED STREET; 3001-21 N. DAYTON STREET;
3000-24 N. DAYTON STREET; 800-938 WEST WELLINGTON AVENUE; 801-39 W. WELLINGTON
AVENUE; 2534-58 N. MILDRED AVENUE; 900-08 W. OAKDALE AVENUE; 3052-58 N. WILTON AVENUE;
3033-59 N. WILTON AVENUE, CHICAGO ILLINOIS
INTRO DATE: JUNE 20, 2012
CPC DATE: NOVEMBER 27, 2012

PHASE 1 LANDSCAPE/GREEN ROOF
PLAN

Final for Publication



LANDSCAPE LEGEND



City of Chicago Landscape Ordinance

GENERAL NOTES

- 1) One (1) tree per acre (20,000 sq ft) of site area on a public right-of-way.
- 2) Two (2) trees per acre (20,000 sq ft) of site area on a private right-of-way.
- 3) On streets, open planting areas on streets must be at least 10 feet wide.
- 4) Minimum trunk height 10 feet above the ground.

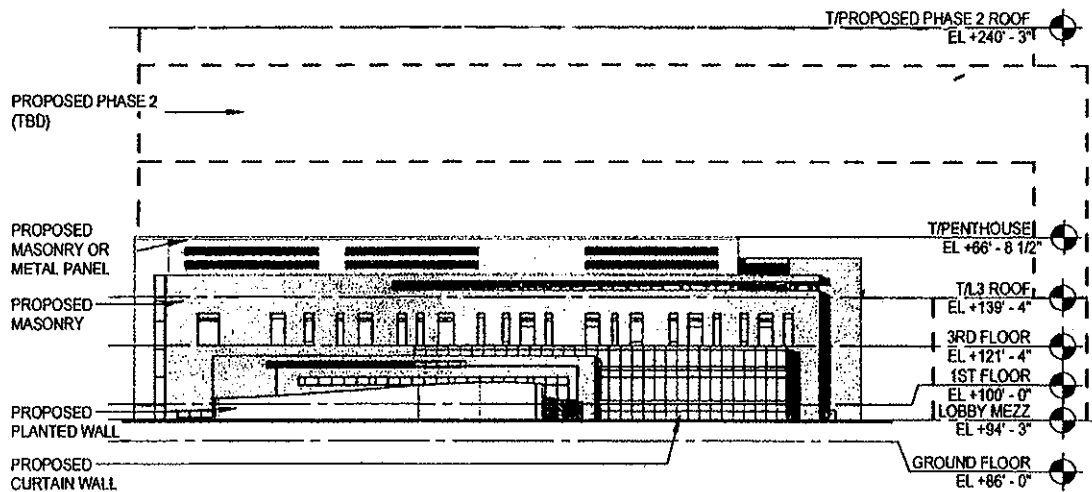
DISCREPANCIES

- A) Side trees must be at least 10 feet from the right-of-way.
- B) Side trees must be at least 10 feet from the side of the street to the curb.
- C) Side trees must be at least 10 feet from the side of the street to the curb.
- D) Side trees must be at least 10 feet from the side of the street to the curb.
- E) Side trees must be at least 10 feet from the side of the street to the curb.
- F) Side trees must be at least 10 feet from the side of the street to the curb.
- G) Side trees must be at least 10 feet from the side of the street to the curb.
- H) Side trees must be at least 10 feet from the side of the street to the curb.
- I) Side trees must be at least 10 feet from the side of the street to the curb.
- J) Side trees must be at least 10 feet from the side of the street to the curb.
- K) Side trees must be at least 10 feet from the side of the street to the curb.
- L) Side trees must be at least 10 feet from the side of the street to the curb.
- M) Side trees must be at least 10 feet from the side of the street to the curb.
- N) Side trees must be at least 10 feet from the side of the street to the curb.
- O) Side trees must be at least 10 feet from the side of the street to the curb.
- P) Side trees must be at least 10 feet from the side of the street to the curb.
- Q) Side trees must be at least 10 feet from the side of the street to the curb.
- R) Side trees must be at least 10 feet from the side of the street to the curb.
- S) Side trees must be at least 10 feet from the side of the street to the curb.
- T) Side trees must be at least 10 feet from the side of the street to the curb.
- U) Side trees must be at least 10 feet from the side of the street to the curb.
- V) Side trees must be at least 10 feet from the side of the street to the curb.
- W) Side trees must be at least 10 feet from the side of the street to the curb.
- X) Side trees must be at least 10 feet from the side of the street to the curb.
- Y) Side trees must be at least 10 feet from the side of the street to the curb.
- Z) Side trees must be at least 10 feet from the side of the street to the curb.

APPLICANT: ADVOCATE NORTHSIDE HEALTH NETWORK
 ADDRESS: 857-937 W. BARRY AVENUE; 3000-20 N. HALSTED STREET; 3001-21 N. DAYTON STREET;
 3000-24 N. DAYTON STREET; 800-938 WEST WELLINGTON AVENUE; 901-39 W. WELLINGTON
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 3033-59 N. WILTON AVENUE, CHICAGO ILLINOIS
 INTRO DATE: JUNE 20, 2012
 CPC DATE: NOVEMBER 27, 2012

PHASE 1 NORTH ELEVATION

Final for Publication



1

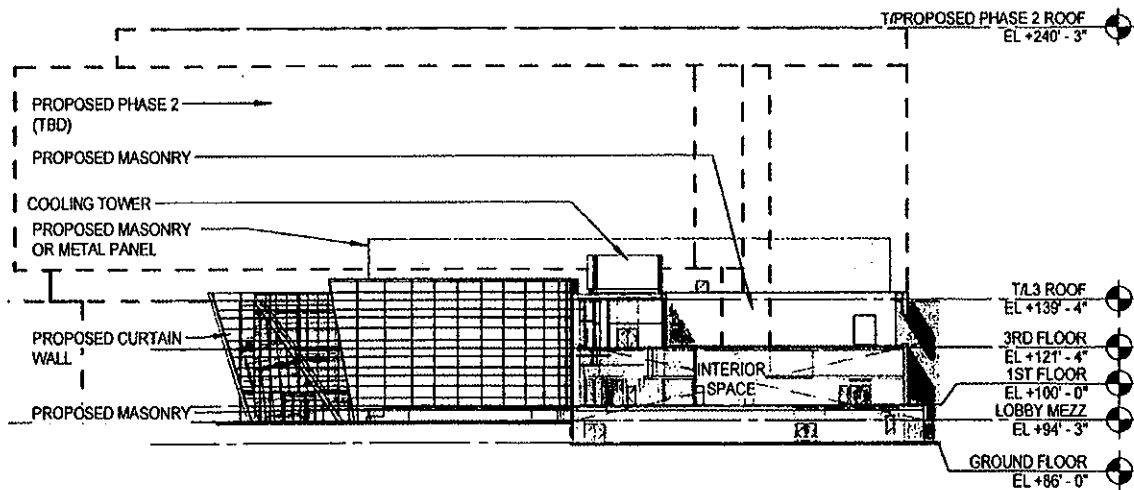
NORTH ELEVATION - Phase 1

SCALE: 1" = 50'-0"

APPLICANT: ADVOCATE NORTHSIDE HEALTH NETWORK
 ADDRESS: 857-937 W. BARRY AVENUE; 3000-20 N. HALSTED STREET; 3001-21 N. DAYTON STREET;
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 3033-59 N. WILTON AVENUE, CHICAGO ILLINOIS
 INTRO DATE: JUNE 20, 2012
 CPC DATE: NOVEMBER 27, 2012

PHASE 1 SOUTH ELEVATION

Final for Publication

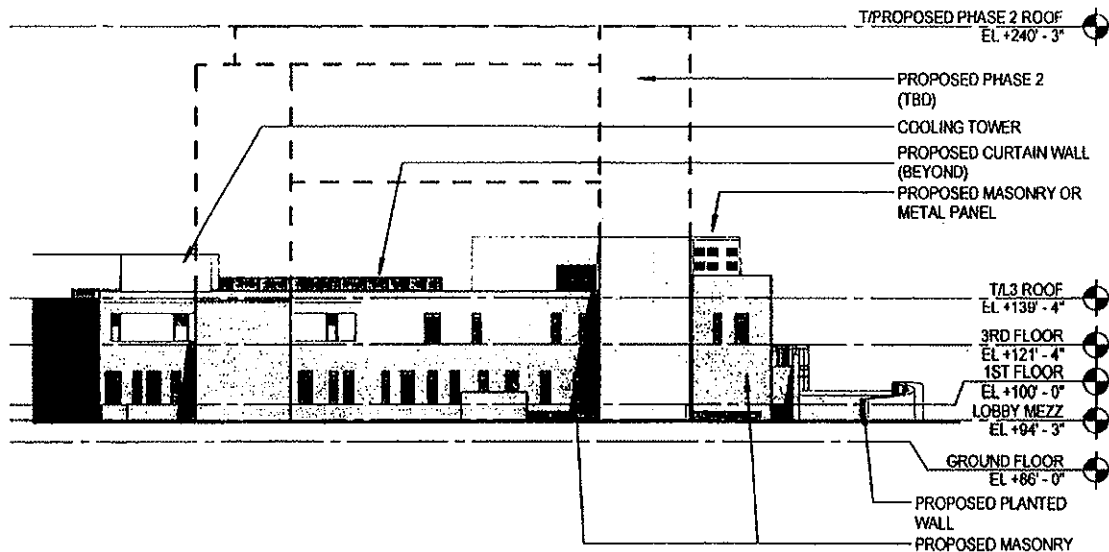


1 SOUTH ELEVATION - Phase 1
SCALE: 1" = 50'-0"

APPLICANT: ADVOCATE NORTHSIDE HEALTH NETWORK
 ADDRESS: 857-937 W. BARRY AVENUE; 3000-20 N. HALSTED STREET; 3001-21 N. DAYTON STREET;
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 3033-59 N. WILTON AVENUE, CHICAGO ILLINOIS
 INTRO DATE: JUNE 20, 2012
 CPC DATE: NOVEMBER 27, 2012

PHASE 1 EAST ELEVATION

Final for Publication

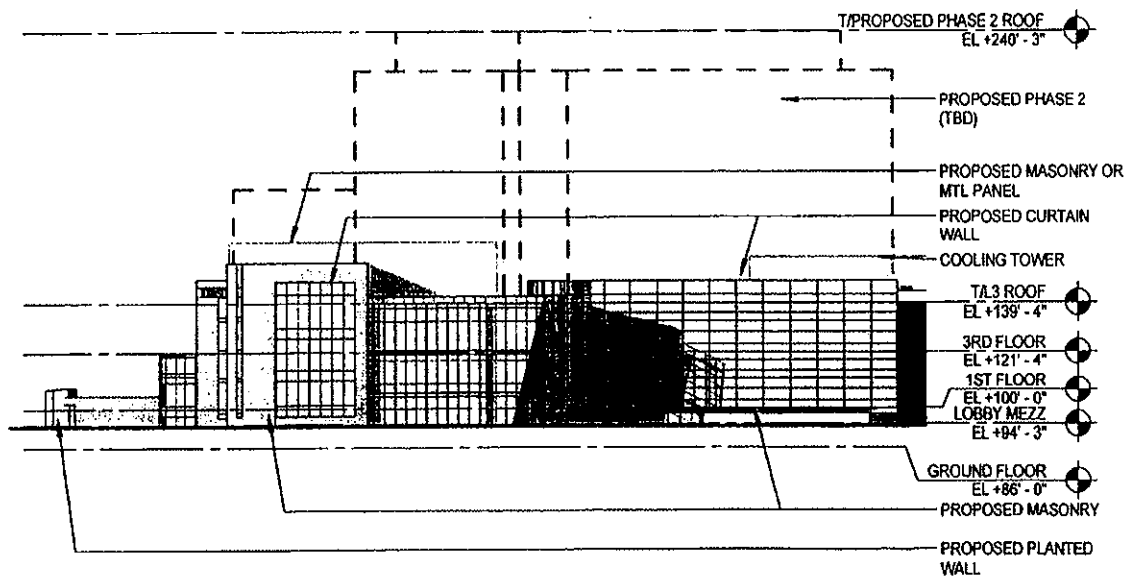


1 EAST ELEVATION - Phase 1
SCALE: 1" = 50'-0"

APPLICANT: ADVOCATE NORTHSIDE HEALTH NETWORK
 ADDRESS: 857-937 W. BARRY AVENUE; 3000-20 N. HALSTED STREET; 3001-21 N. DAYTON STREET;
 3000-24 N. DAYTON STREET; 800-938 WEST WELLINGTON AVENUE; 901-39 W. WELLINGTON
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 3033-59 N. WILTON AVENUE, CHICAGO ILLINOIS
 INTRO DATE: JUNE 20, 2012
 CPC DATE: NOVEMBER 27, 2012

PHASE 1 WEST ELEVATION

Final for Publication



1 WEST ELEVATION - Phase 1
SCALE: 1" = 50'-0"

APPLICANT: ADVOCATE NORTHSIDE HEALTH NETWORK
 ADDRESS: 857-937 W. BARRY AVENUE; 3000-20 N. HALSTED STREET; 3001-21 N. DAYTON STREET;
 3000-24 N. DAYTON STREET; 800-938 WEST WELLINGTON AVENUE; 901-39 W. WELLINGTON
 AVENUE; 2934-58 N. MILDRED AVENUE; 900-08 W. OAKDALE AVENUE; 3052-58 N. WILTON AVENUE;
 3033-59 N. WILTON AVENUE, CHICAGO ILLINOIS
 INTRO DATE: JUNE 20, 2012
 CPC DATE: NOVEMBER 27, 2012



**DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO**

December 4, 2019

Mr. John J. George
Akerman LLP
71 South Wacker Drive
Chicago, Illinois 60606

Re: Site Plan Approval for Planned Development No. 50, Advocate North Side Health Network d/b/a Advocate Illinois Masonic Medical Center

Dear Mr. George:

Please be advised that your request for site plan approval for Institutional Planned Development No. 50 ("PD 50") has been considered by the Department of Planning and Development pursuant to Section 17-13-0800 of the Chicago Zoning Ordinance.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for the construction of a new proposed medical building at the southwest corner of West Wellington Street and North Mildred Street in Sub-Area A in Planned Development No. 50. The Applicant is proposing to demolish an existing building containing 20,142 square feet, which has been vacant since the cancer treatment programs moved into the new Center for Advanced Care in 2015. In its place the Applicant is proposing to construct a new building containing 51,780 square feet which will be used by counseling and pediatric development programs plus will include future tenant space.

The net site area for the property is 14,353 square feet. The new building will be set back a minimum of 7'-0" from North Mildred Street and 3'-0" from West Wellington Avenue in accordance with the terms of Planned Development No. 50. The height of the new building will be 63' feet, which is less than the maximum height allowed in Subarea A of the Planned Development.

Based on the previous Part II files the project complies with the available FAR needed for this project. The approval includes the following attached documents prepared by SmithGroup dated 10/29/19:

- PD-01: Overall Plan Development Boundaries
- PD-02: Enlarged Site and Roof Plan
- PD-03: Landscape/Green Roof Plan
- PD-04: Wellington East Façade Elevation
- PD-05: Wellington North Façade Elevation
- PD-06: Wellington South Façade Elevation
- PD-07: Roof Plan

- PD-08: Wellington North Base
- PD-09: Wellington North Middle
- PD-10: Wellington North Top
- PD-11: Wellington South Base
- PD-12: Wellington South Middle
- PD-13: Wellington South Top
- PD-14: Wellington East Base
- PD-15: Wellington East Middle
- PD-16: Wellington East Top

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Institutional Planned Development No. 272. Accordingly, this site plan submittal is hereby approved as conforming to PD 50.

If you have any questions or need further clarification on these comments, please contact Emily Thrun at (312) 744-0756 or at emily.thrun@cityofchicago.org.

Sincerely,



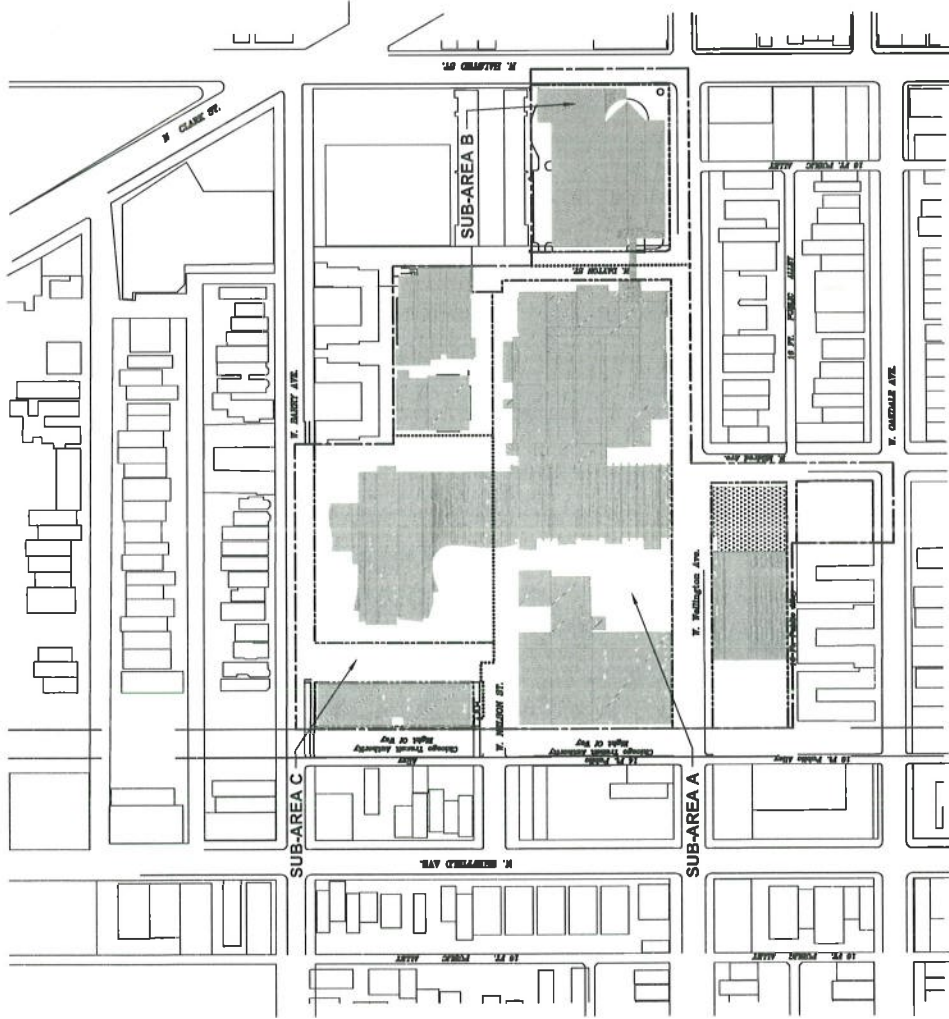
Patrick Murphey
Zoning Administrator

Originated by: Emily Thrun

cc: Kathleen Duncan, Akerman LLP
Janice Hill, DPD
Erik Glass, DPD
Mike Marmo, DPD
Planned Development files

LEGEND

- PROPERTY LINE
- EXISTING STRUCTURE TO REMAIN
- PROPOSED DEVELOPMENT
- SUB-AREA BOUNDARY LINE
- PLANNED DEVELOPMENT LINE (PD - 50)



PD-01

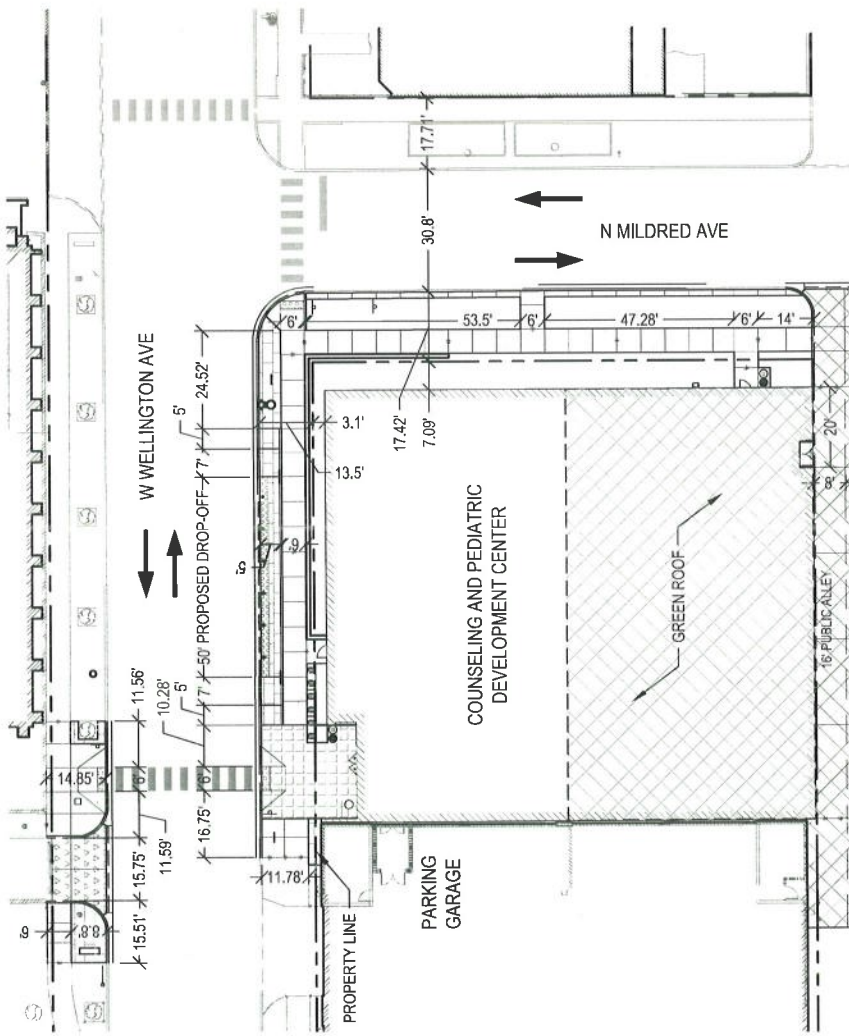
SMITHGROUP

OVERALL PLAN DEVELOPMENT BOUNDARIES

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE:



GRAPHIC SCALE: 1" = 200'-0"



LEGEND

- GREEN ROOF
- STANDARD CURB AND GUTTER
- DEPRESSED CURB AND GUTTER
- EXISTING CURB
- PROPERTY LINE
- PROPOSED BUILDING



PD-02

SMITHGROUP

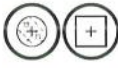
ENLARGED SITE AND ROOF PLAN

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE

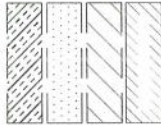


3

EXISTING SHADE TREE



NEW SHADE TREE IN MULCH RING



TYPE

GREEN ROOF

PROPOSED BUILDING

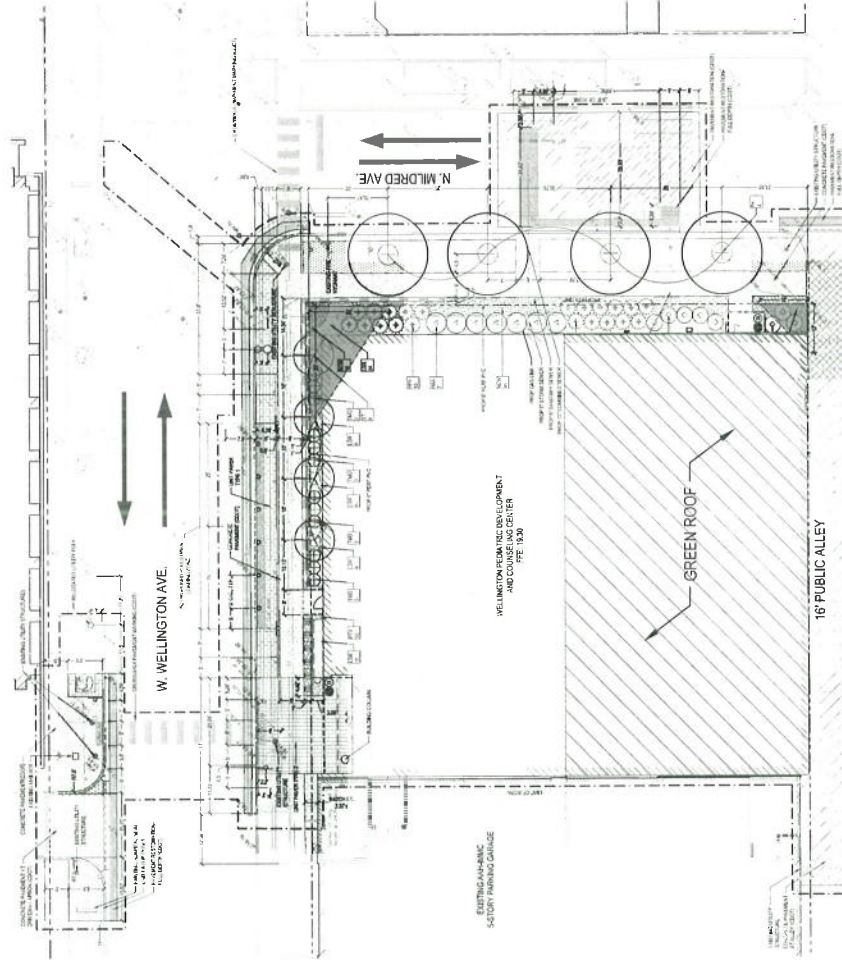
CITY OF CHICAGO LANDSCAPE ORDINANCE

GENERAL NOTES

- 1) ONE (1) TREE PER TWENTY-FIVE (25) LINEAR FEET (LF) OF FRONTAGE ON A PUBLIC RIGHT-OF-WAY.
- 2) TWO (2) TREES PER FIFTY (50) LINEAR FEET (LF) OF FRONTAGE ON A PUBLIC RIGHT-OF-WAY.
- 3) TREE GRATES ARE REQUIRED WHERE TREES ARE PLANTED IN SIDEWALK OPENINGS; USE OF GRATES MADE OF RECYCLED MATERIALS IS ENCOURAGED.
- 4) STRUCTURAL SOIL OR ROOT PATS ARE REQUIRED BELOW SIDEWALKS WHEN TREE GRATES ARE USED.
- 5) MINIMUM BRANCH HEIGHT: 6'-0" ABOVE THE ROOTBALL.

REQUIREMENTS

- A) STREET TREES MUST BE AT LEAST 30' FROM THE RIGHT-OF-WAY (R.O.W.) LINE OR PROPERTY LINE ON THE SIDE OF THE STREET INTERSECTION CLOSER TO AN AUTOMOBILE DRIVER ("NEAR SIDE").
- B) STREET TREES MUST BE AT LEAST 20' FROM THE RIGHT-OF-WAY (R.O.W.) LINE OR PROPERTY LINE ON THE SIDE OF THE STREET INTERSECTION FARTHER FROM AN AUTOMOBILE DRIVER ("FAR SIDE").
- C) STREET TREES MUST BE AT LEAST 20' FROM THE EDGE OF AN ALLEY OR COMMERCIAL DRIVE ON THE SIDE OF THE STREET INTERSECTION CLOSER TO AN AUTOMOBILE DRIVER ("NEAR SIDE").
- D) STREET TREES MUST BE AT LEAST 10' FROM THE EDGE OF AN ALLEY OR COMMERCIAL DRIVE ON THE SIDE OF THE STREET INTERSECTION FARTHER FROM AN AUTOMOBILE DRIVER ("FAR SIDE").
- E) STREET TREES MUST BE AT LEAST 10' FROM THE EDGE OF A RESIDENTIAL DRIVEWAY ON THE SIDE OF THE STREET INTERSECTION CLOSER TO AN AUTOMOBILE DRIVER ("NEAR SIDE").
- F) STREET TREES MUST BE AT LEAST 10' FROM THE EDGE OF A RESIDENTIAL DRIVEWAY ON THE SIDE OF THE STREET INTERSECTION FARTHER FROM AN AUTOMOBILE DRIVER ("FAR SIDE").
- G) ONE TREE PER 25 LINEAR FEET (L/F) OF FRONTAGE IS REQUIRED IN PARKWAYS.
- H) WHERE THE PARKWAY (THE DISTANCE FROM THE BACK OF CURB TO THE EDGE OF THE RIGHT-OF-WAY) IS LESS THAN OR EQUAL TO 9 FEET WIDE, NO STREET TREE IS REQUIRED.
- I) WHERE THE PARKWAY (THE DISTANCE FROM THE BACK OF CURB TO THE EDGE OF THE RIGHT-OF-WAY) IS BETWEEN 9 AND 12 FEET WIDE, STREET TREES MUST BE PLANTED USING A TREE GRATE TO PROVIDE ADEQUATE ROOM FOR PEDESTRIANS.
- J) STREET TREES PLANTED WITH TREE GRATES MUST BE PLANTED IN TOP-SOIL BACKFILL WITH STRUCTURAL SOIL PLACED OUTSIDE TREE PIT PARKWAY PLANTER UNDER PAVEMENT.
- K) WHERE THE PARKWAY (THE DISTANCE FROM THE BACK OF CURB TO THE EDGE OF THE RIGHT-OF-WAY) IS MORE THAN 12 FEET WIDE, STREET TREES MUST BE PLANTED IN A CONTINUOUS PARKWAY PLANTER.
- L) PLANTERS MUST BE AT LEAST 3'-5" WIDE (INSIDE-TO-INSIDE OF PERIMETER CURB).
- M) THE USE OF STRUCTURAL SOIL MAY BE REQUIRED UNDER SIDEWALKS OUTSIDE OF THE PARKWAY PLANTER.



LANDSCAPE/GREEN ROOF PLAN

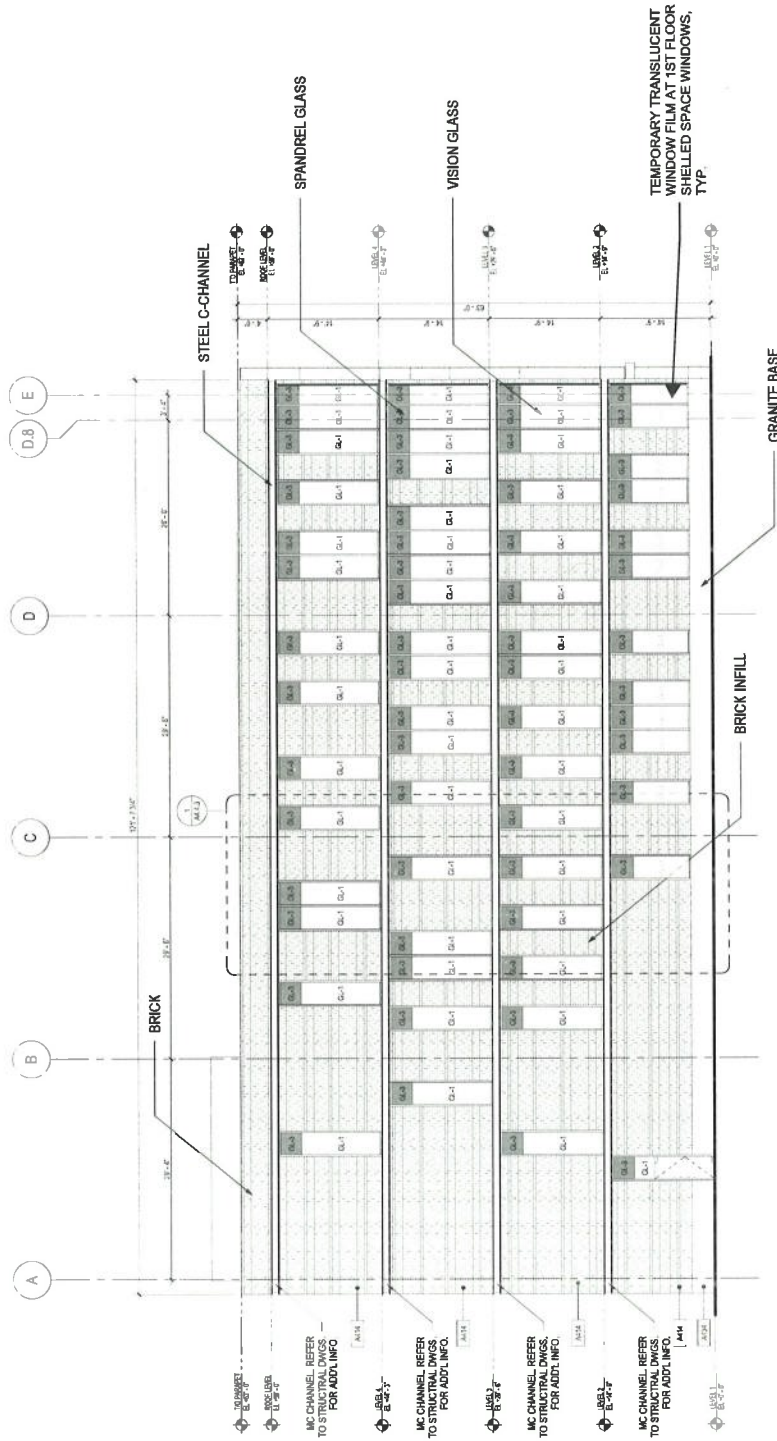
APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE:

GRAPHIC SCALE: 1" = 30'-0"

PD-03



SMITHGROUP



PD-04

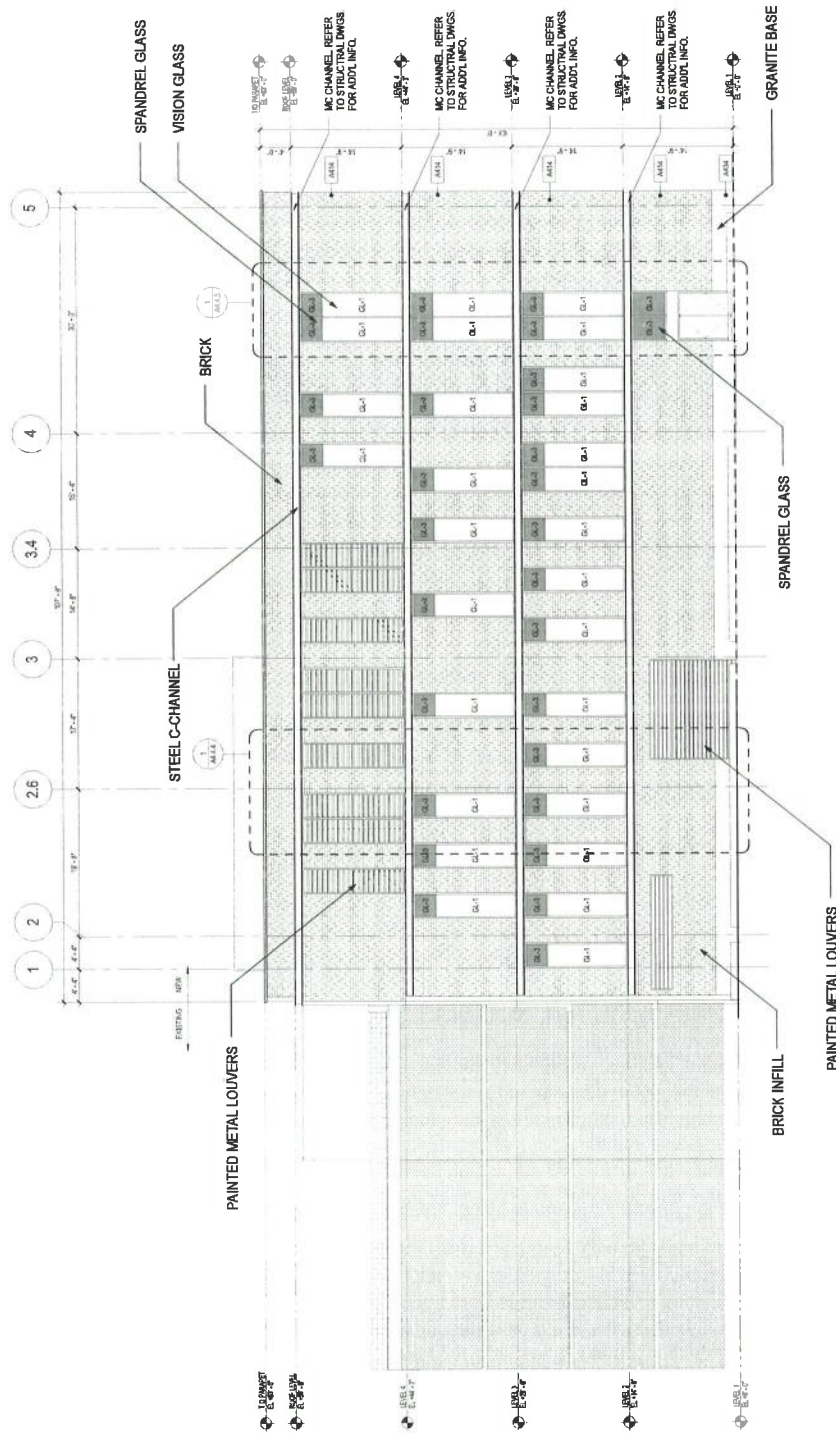
SMITHGROUP

WELLINGTON EAST FACADE ELEVATION

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE:

SCALE: 1/8" = 1'-0"





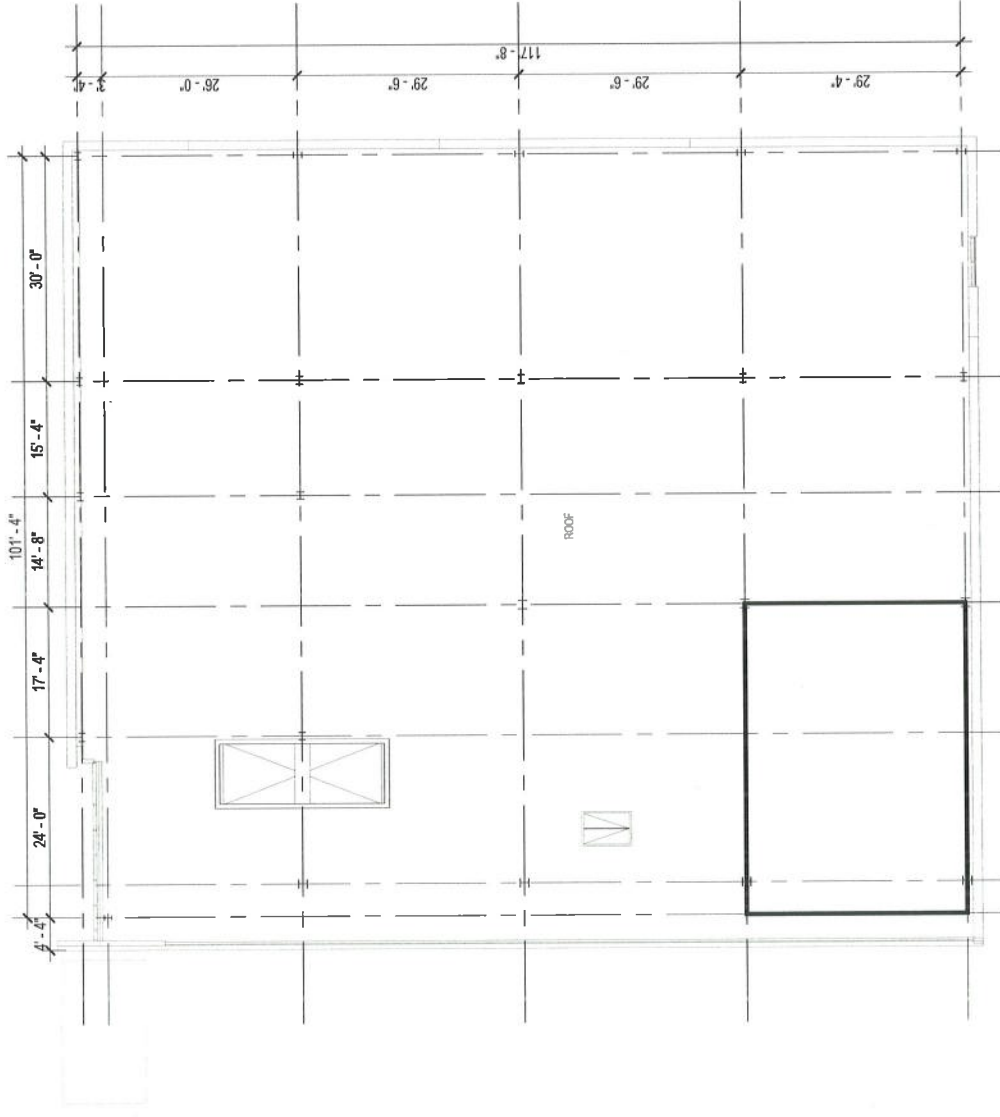
PD-06

WELLINGTON SOUTH FACADE ELEVATION

APPLICANT: ADVOCATE AURORA HEALTH
 ADDRESS: 913 W. WELLINGTON AVENUE
 DATE: OCTOBER 29, 2019
 CPC DATE:

SCALE: 1/8" = 1'-0"

SMITHGROUP



ROOF PLAN



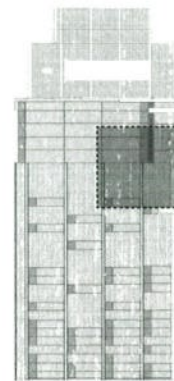
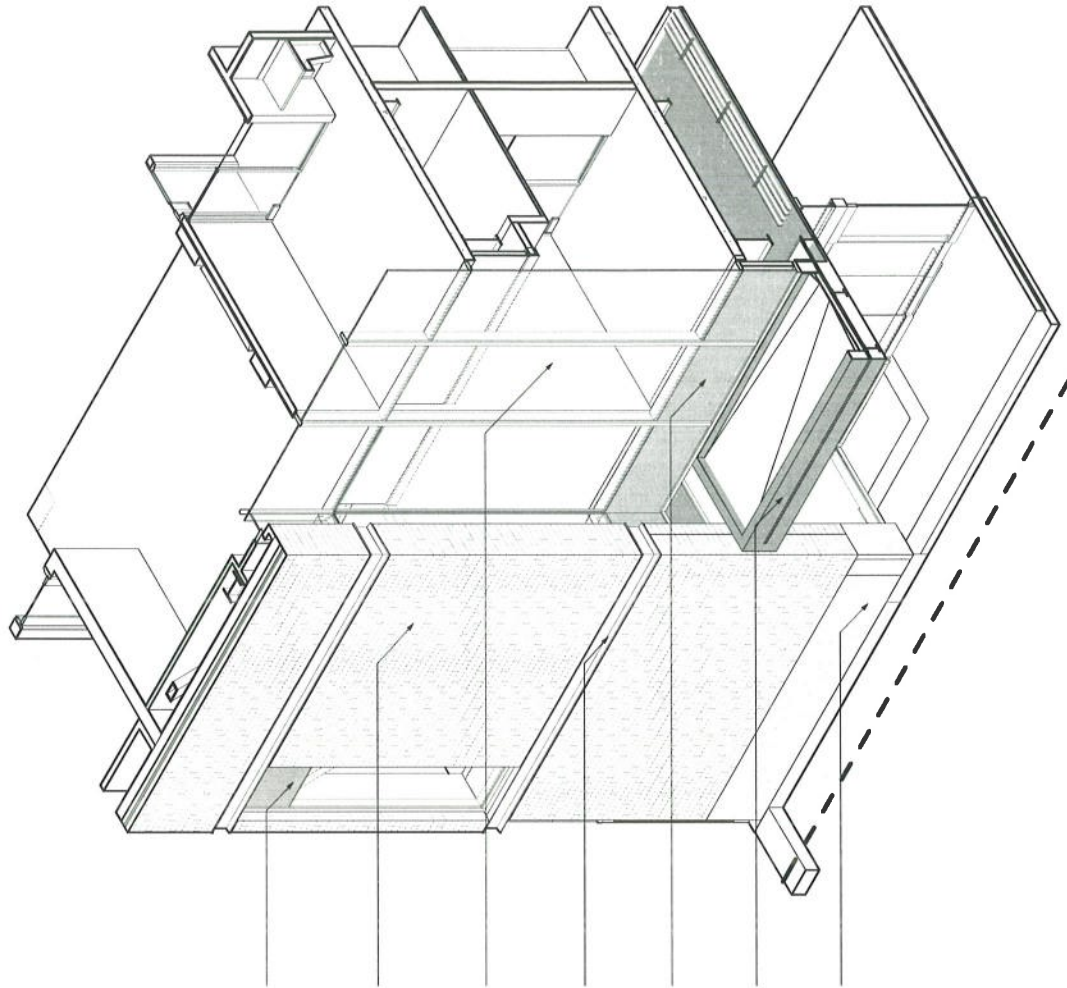
PD-07

SMITHGROUP

APPLICANT: ADVOCATE AURORA HEALTH
 ADDRESS: 913 W. WELLINGTON AVENUE
 DATE: OCTOBER 29, 2019
 CPC DATE:



GRAPHIC SCALE: 1/16" = 1'-0"



NORTH ELEVATION

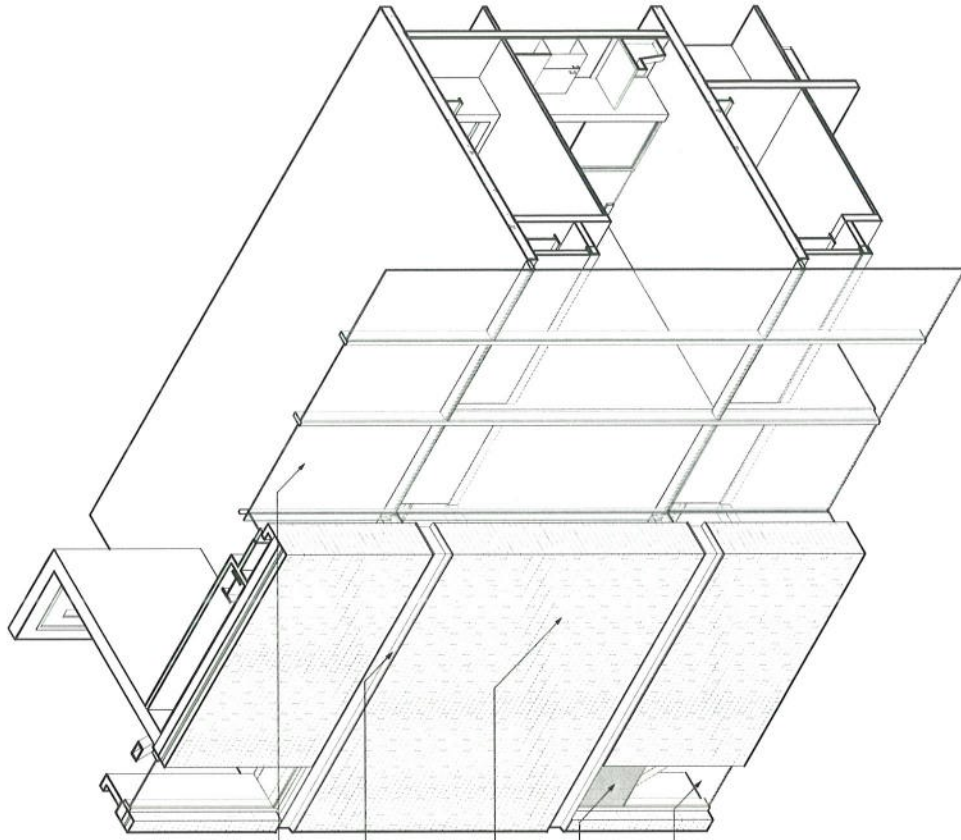
PD-08

WELLINGTON NORTH BASE

APPLICANT: ADVOCATE AURORA HEALTH
 ADDRESS: 913 W. WELLINGTON AVENUE
 DATE: OCTOBER 23, 2019
 CPC DATE:

NOT TO SCALE

SMITHGROUP



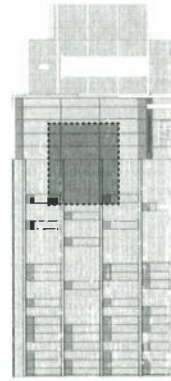
VISION GLASS IGU IN CURTAIN WALL SYSTEM

PAINTED GALVANIZED EXPOSED
STEEL SUPPORT C CHANNEL

BRICK ON COLD FORM FRAMING

SHADOW BOX IGU IN CURTAIN WALL SYSTEM

VISION GLASS IGU IN CURTAIN WALL SYSTEM



NORTH ELEVATION

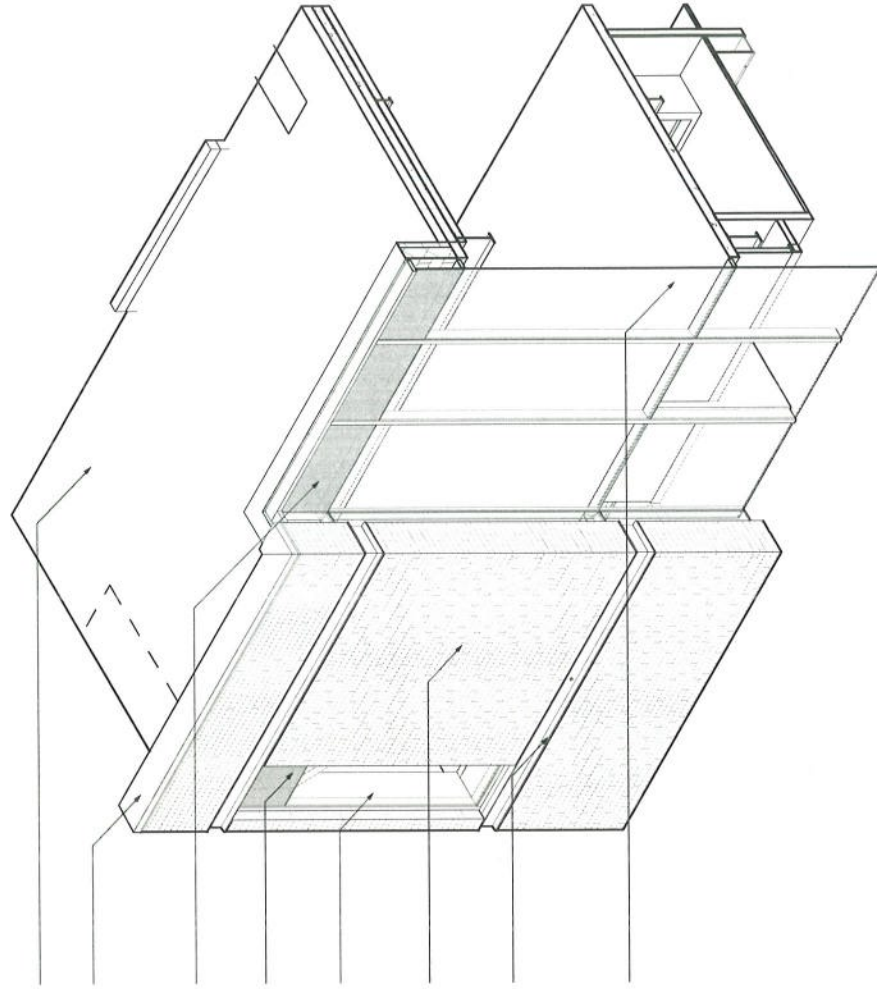
PD-09

WELLINGTON NORTH MIDDLE

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE:

NOT TO SCALE

SMITHGROUP



PVC ROOF W/ TAPERED INSULATION

ALUMINUM COPING (COLOR
TO MATCH CURTAIN WALL MULLIONS)

SHADOW BOX IGU IN CURTAIN WALL SYSTEM

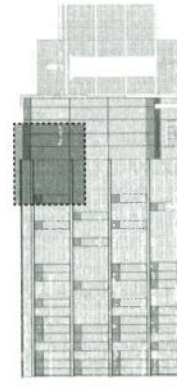
SHADOW BOX IGU IN CURTAIN WALL SYSTEM

VISION GLASS IGU IN CURTAIN WALL SYSTEM

BRICK ON COLD FORM FRAMING

PAINTED GALVANIZED EXPOSED
STEEL SUPPORT C CHANNEL

VISION GLASS IGU IN CURTAIN WALL SYSTEM



NORTH ELEVATION

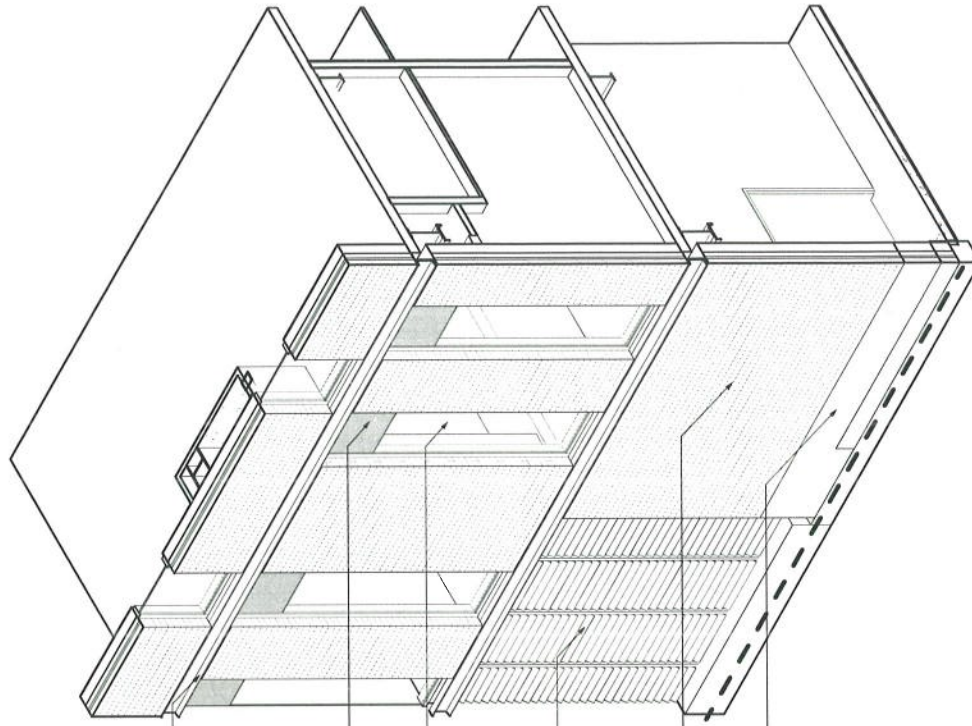
PD-10

WELLINGTON NORTH TOP

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 28, 2019
CPC DATE:

NOT TO SCALE

SMITHGROUP



PAINTED GALVANIZED EXPOSED
STEEL SUPPORT C CHANNEL

SHADOW BOX IGU IN CURTAIN WALL SYSTEM

VISION GLASS IGU IN CURTAIN WALL SYSTEM

ALUMINUM MECHANICAL LOUVERS
(COLOR TO MATCH CURTAIN WALL MULLIONS)

BRICK ON COLD FORM FRAMING

GRANITE BASE



SOUTH ELEVATION

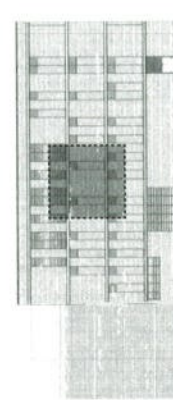
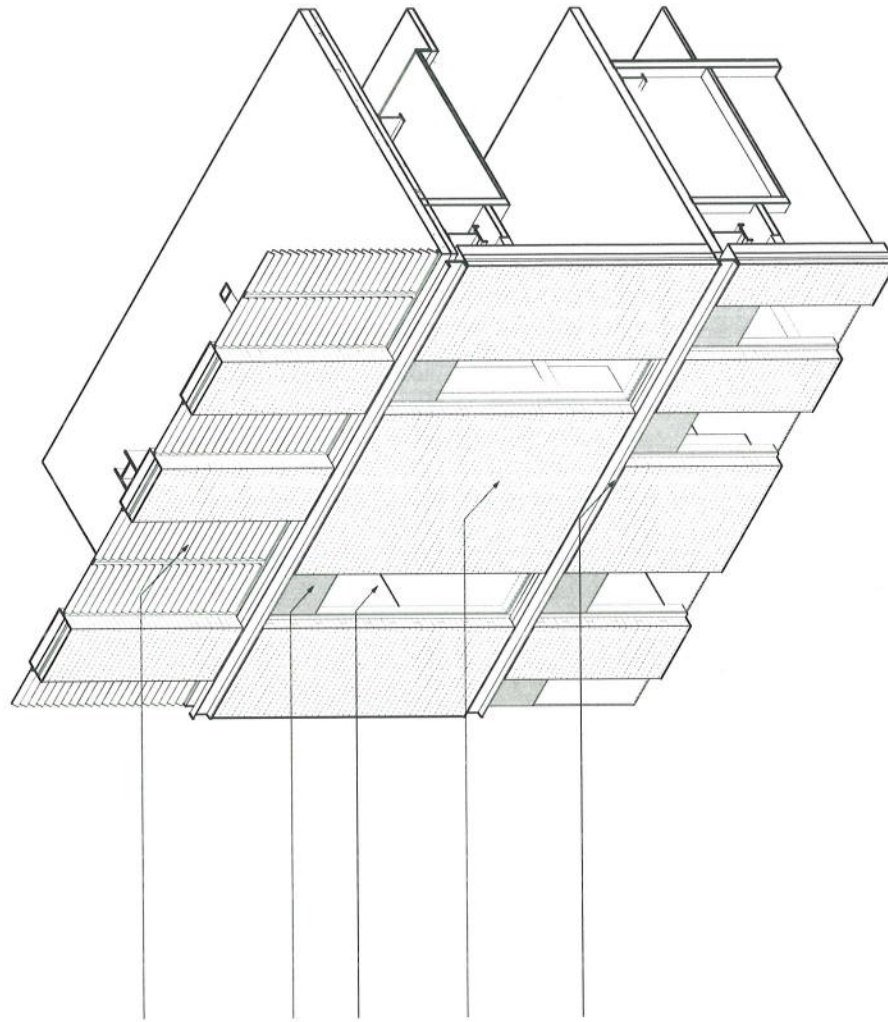
PD-11

WELLINGTON SOUTH BASE

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE:

NOT TO SCALE

SMITHGROUP



SOUTH ELEVATION

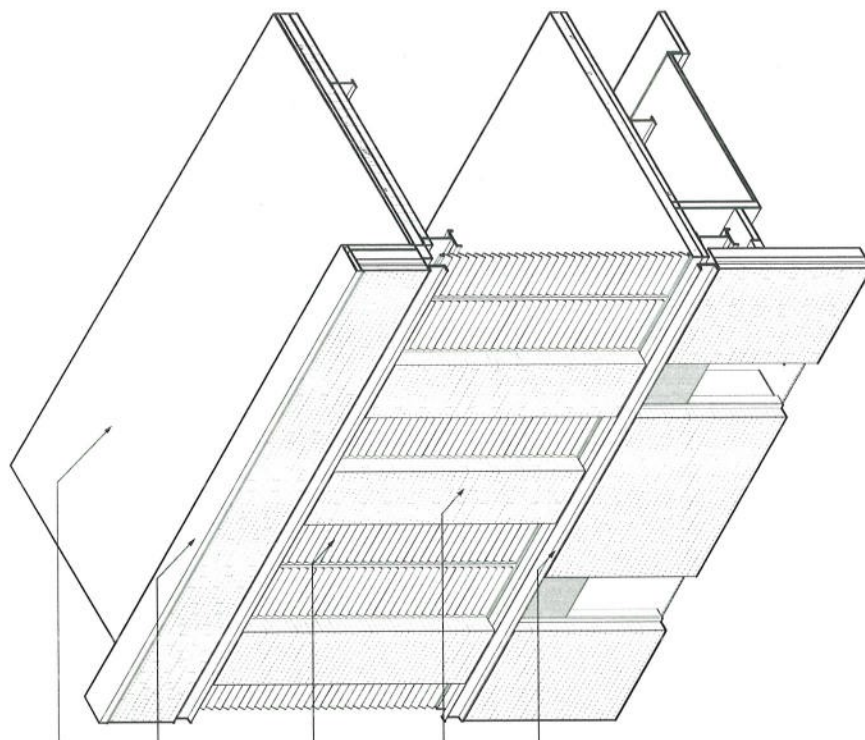
PD-12

WELLINGTON SOUTH MIDDLE

APPLICANT: ADVOCATE AURORA HEALTH
 ADDRESS: 913 W. WELLINGTON AVENUE
 DATE: OCTOBER 28, 2019
 CPC DATE:

NOT TO SCALE

SMITHGROUP



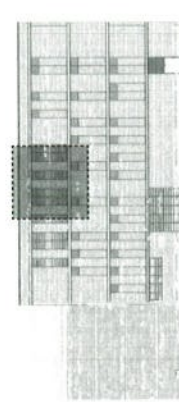
PVC ROOF W/ TAPERED INSULATION

ALUMINUM COPING (COLOR
TO MATCH CURTAIN WALL MULLIONS)

ALUMINUM MECHANICAL LOUVERS
(COLOR TO MATCH CURTAIN WALL MULLIONS)

BRICK ON COLD FORM FRAMING

PAINTED GALVANIZED EXPOSED
STEEL SUPPORT C CHANNEL



SOUTH ELEVATION

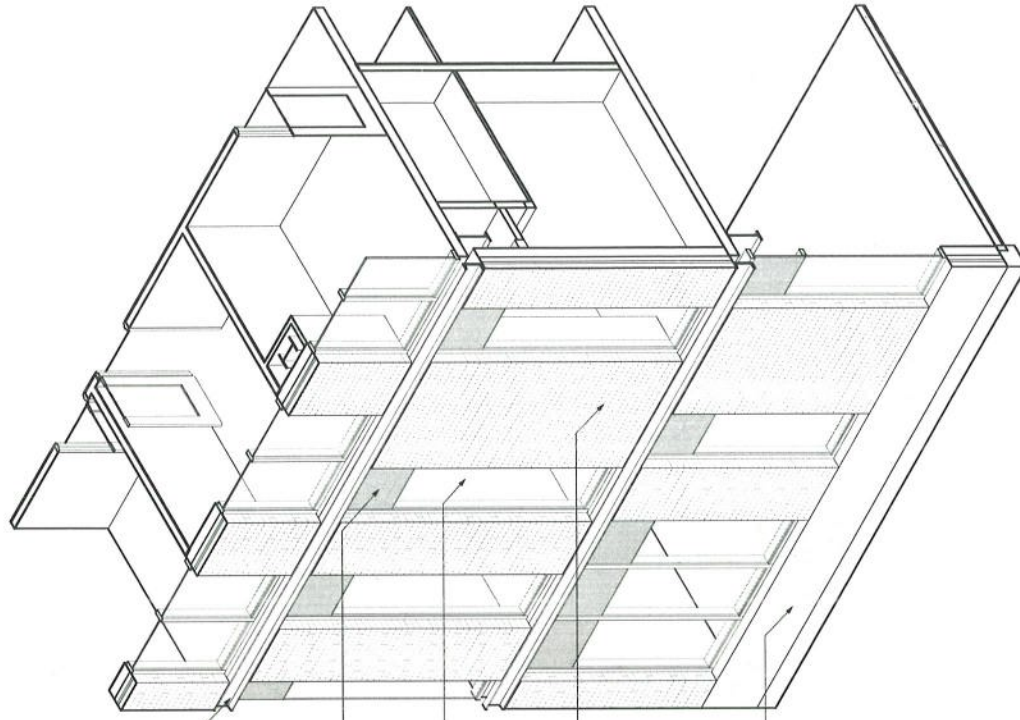
PD-13

WELLINGTON SOUTH TOP

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE:

NOT TO SCALE

SMITHGROUP



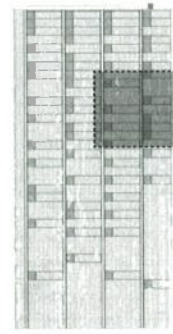
PAINTED GALVANIZED EXPOSED
STEEL SUPPORT C CHANNEL

SHADOW BOX IGU IN CURTAIN WALL SYSTEM

VISION GLASS IGU IN CURTAIN WALL SYSTEM

BRICK ON COLD FORM FRAMING

GRANITE BASE



EAST ELEVATION

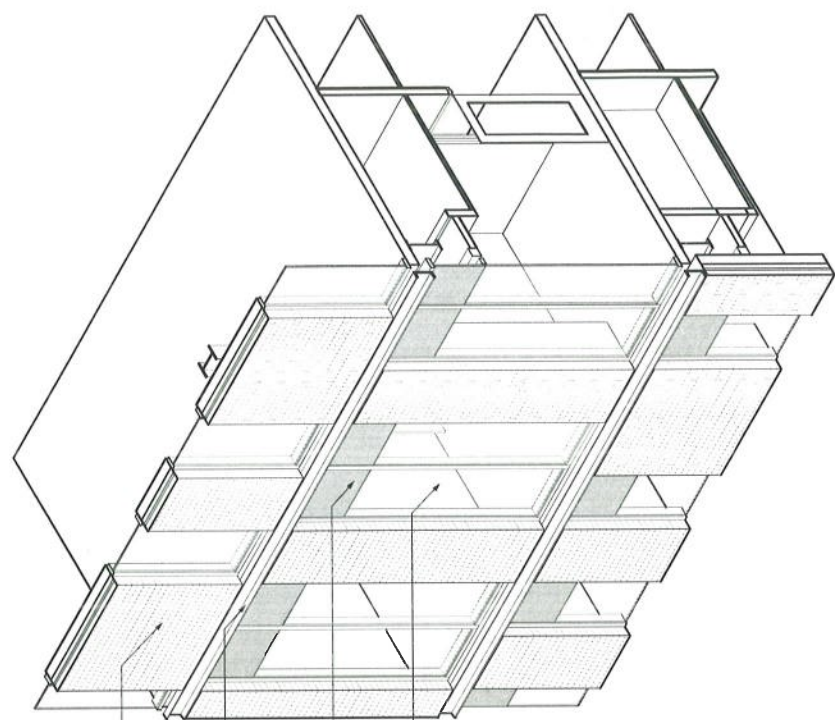
PD-14

WELLINGTON EAST BASE

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 29, 2019
CPC DATE:

NOT TO SCALE

SMITHGROUP

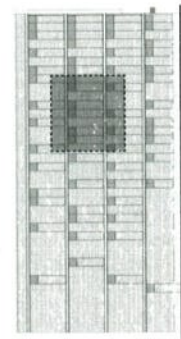


BRICK ON COLD FORM FRAMING

PAINTED GALVANIZED EXPOSED
STEEL SUPPORT C CHANNEL

SHADOW BOX IGU IN CURTAIN WALL SYSTEM

VISION GLASS IGU IN CURTAIN WALL SYSTEM



EAST ELEVATION

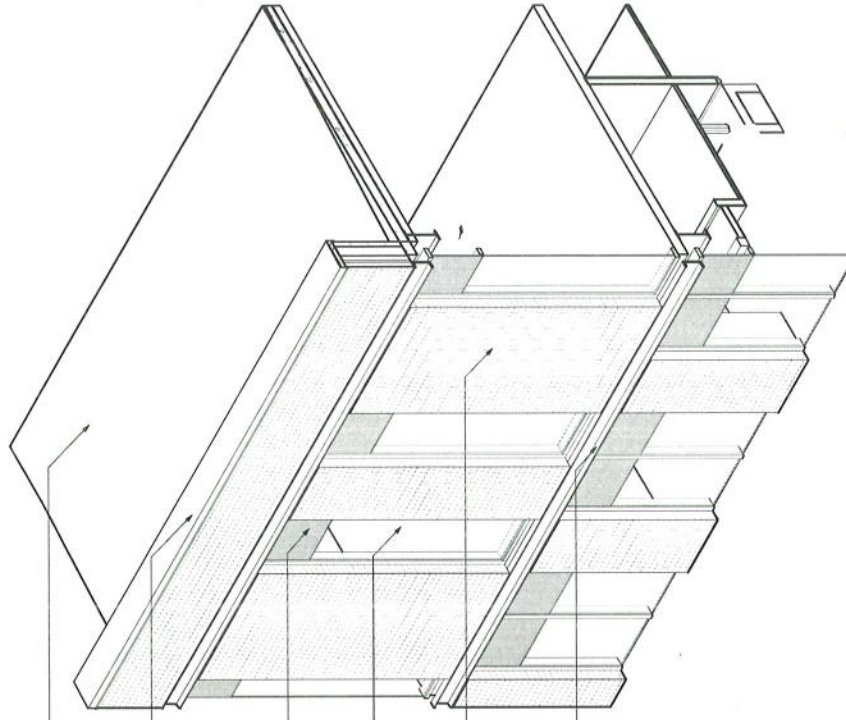
PD-15

WELLINGTON EAST MIDDLE

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 28, 2019
CPC DATE:

NOT TO SCALE

SMITHGROUP



PVC ROOF W/ TAPERED INSULATION

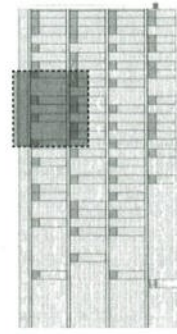
ALUMINUM COPING (COLOR
TO MATCH CURTAIN WALL MULLIONS)

SHADOW BOX IGU IN CURTAIN WALL SYSTEM

VISION GLASS IGU IN CURTAIN WALL SYSTEM

BRICK ON COLD FORM FRAMING

PAINTED GALVANIZED EXPOSED
STEEL SUPPORT C CHANNEL



EAST ELEVATION

PD-16

WELLINGTON EAST TOP

APPLICANT: ADVOCATE AURORA HEALTH
ADDRESS: 913 W. WELLINGTON AVENUE
DATE: OCTOBER 28, 2019
CPC DATE:

NOT TO SCALE

SMITHGROUP

17519

to those of a B2-3 Neighborhood Mixed-Use District.

SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map No. 5-J.
(Application No. 17594)
(Common Address: 1656 N. Kimball Ave.)

[O2012-7151]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single-Unit (Detached House) District symbols and indications as shown on Map Number 5-J in the area bounded by:

the alley next west and parallel to North Kimball Avenue; West Wabansia Avenue, North Kimball Avenue; and a line 25 feet south of and parallel to West Wabansia Avenue,

to those of an RM4.5 Residential Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and approval.

Reclassification Of Area Shown On Map No. 7-G. IPD 50,00
(Application No. 17519)

(Common Address: 857 -- 937 W. Barry Ave., 3000 -- 3020 N. Halsted St., 3001 --
3021 N. Dayton St., 3000 -- 3024 N. Dayton St., 800 -- 938 W. Wellington Ave.,
901 -- 939 W. Wellington Ave., 2934 -- 2958 N. Mildred Ave., 900 --
908 W. Oakdale Ave., 3032 -- 3058 N. Wilton Ave. And
3033 -- 3059 N. Wilton Ave.)

[SO2012-4410]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all Institutional Planned Development Number 50 symbols and designations as shown on Map Number 7-G in the area bounded by:

West Barry Avenue; a line 330.61 feet east of and parallel to North Wilton Avenue; a line 132.23 feet south of and parallel to West Barry Avenue; the centerline of vacated North Dayton Street and North Dayton Street; a line 230.33 feet north of and parallel to West Wellington Avenue; North Halsted Street; West Wellington Avenue; North Mildred Avenue; West Oakdale Avenue; a line 103 feet west of and parallel to North Mildred Avenue; the alley next north of and parallel to West Oakdale Avenue; and a line 189.6 feet east of and parallel to North Sheffield Avenue, also known as the east line of the Chicago Transit Authority right-of-way,

to those of Institutional Planned Development Number 50, as amended, and a corresponding use district is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development No. 50, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 50, as amended, consists of property commonly known as 857 -- 937 West Barry Avenue; 3000 -- 3020 North Halsted Street; 3001 -- 3021 North Dayton Street; 3000 -- 3024 North Dayton Street; 800 -- 938 West Wellington Avenue; 901 -- 939 West Wellington Avenue; 2934 -- 2958 North Mildred Avenue; 900 -- 908 West Oakdale Avenue; 3032 -- 3058 North Wilton Avenue; 3033 -- 3059 North Wilton Avenue, Chicago, Illinois (the "Property"). The Property consists of Subarea A of approximately 338,083 square feet, Subarea B of approximately 63,164 square feet and Subarea C of approximately 140,178 square feet for a total net site area of 541,425 square feet (12.429 acres). The Property is owned or controlled by the applicant, Advocate Northside Health Network.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees, or grantees and approval by the City Council. Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Departments of Housing and Economic Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different then to the owners of record title to all of the Property and to any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors. An agreement among property owners or a covenant binding property owners may designate the authorized party for any future amendment, modification or change.
4. This plan of development consists of 18 statements; Bulk Regulations and Data Table; Existing Land-Use Area and Zoning Map; Planned Development Boundary, Property Line, Subarea Map, Property Line and Right-of-Way Adjustment Map; Existing Vacated Street Map; Site Plan; Phase 1 Enlarged Site and Roof Plan; Phase 1 Enlarged Roof Plan; Phase 1 Landscape/Green Roof Plan; and Phase 1 Elevations prepared by SmithGroup JJR dated November 27, 2012. Full size sets of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Housing and Economic Development. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area herein delineated as Subarea A of the Institutional Planned Development: hospital, outpatient medical and surgical care, medical services, outpatient medical services, dental and related uses, laboratories (clinical and research) research and educational facilities, housing for nurses, interns and residents, doctors' offices and off-street parking.

The following uses shall be permitted within the area herein delineated as Subarea B of the Institutional Planned Development: accessory parking, professional offices, and accessory uses. The following uses shall be permitted within the area herein delineated as Subarea C of the Institutional Planned Development: hospital, outpatient medical and surgical care, medical services, outpatient medical services, dental and related uses, doctors' offices and accessory uses, and an accessory surface parking lot shall be permitted as an interim use prior to the construction of the new hospital building.
6. Skybridges shall be permitted at the following locations: (i) a skybridge shall be permitted across North Dayton Street to connect the medical office building development with the medical center complex, (ii) a skybridge shall be permitted across West Wellington Avenue to connect the proposed parking garage with the parking deck, and (iii) one skybridge shall be permitted across vacated West Nelson Street to connect the education building to the medical center complex.

7. On-premises business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Housing and Economic Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Housing and Economic Development. No off-premises signs shall be permitted.
8. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

Loading Dock Management: In an effort to increase pedestrian safety, the applicant will train, dedicate and designate traffic safety employees to manage and monitor the Wellington Loading Dock. Said employees will monitor pedestrian and vehicular traffic and activity on Mildred Avenue and the Wellington Loading Dock. Furthermore, applicant will not permit any deliveries by new vendors at the Wellington Loading Dock unless they use a truck, which completely fits, into the loading area.

9. For the purposes of measuring height, the definition in the Chicago Zoning Ordinance shall apply. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by the Department of Housing and Economic Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
12. New improvements to be located in Subareas A and C shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. The landscape improvements as depicted in the attached landscape plan shall govern all landscape requirements.

Prior to the Department of Housing and Economic Development issuing a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance (a "Part II Approval") for development of Phase II for Subareas A and C, a site plan for the proposed development of such shall be submitted to the Department of Housing and Economic Development for Site Plan Approval. Site Plan Approval is intended to assure that the specific development proposals substantially conform with this planned development and to assist the City in monitoring ongoing development. A Site Plan may be submitted for all or part of Phase II for Subareas A and C. Such Site Plan need only

include the area within the Property for which approval is being sought by the applicant. No Part II approval for such area shall be granted until an applicable Site Plan has been approved. Requests for Site Plan Approval shall be submitted to the Commissioner of the Department of Housing and Economic Development ("DHED") who shall then submit the plans to the Chicago Plan Commission for review and approval. Applicant shall also submit an updated Traffic Study at that time to the Department of Transportation and DHED. Notice of the hearing before the Chicago Plan Commission shall be posted by the applicant on the property in question (but no written notice pursuant to Section 17-13-0107-A of the Zoning Ordinance, by the applicant, shall be required). Following approval of a Site Plan by the Chicago Plan Commission, the Site Plan shall be kept on permanent file with the Department of Housing and Economic Development and shall be deemed to be an integral part of this planned development.

After approval of a Site Plan Approval by the Chicago Plan Commission or Part II Approval by DHED concerning the Property or a portion thereof, the same may be changed or modified pursuant to the provisions of Statement Number 13 of this planned development. In the event of any inconsistency between an approved Site Plan and the terms of this planned development (including any amendments hereto that may be in effect at the time of such approval), the terms of this planned development (as the same may be so amended) shall govern.

A Site Plan shall, at a minimum, provide the following information with respect to the proposed improvements within the boundaries of the area to be developed:

- (a) building elevations and sections;
- (b) footprint of the improvements;
- (c) preliminary landscaping plan;
- (d) pedestrian circulation; updated traffic study;
- (e) preliminary cross-sections of the improvements; and
- (f) statistical information applicable to the area, including floor area and floor area ratio, numbers of dwelling units, uses to be established, building heights and setbacks.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this planned development and any City ordinances or policies in effect at the time of submission of the Site Plan.

13. The terms, conditions and exhibits of this planned development ordinance may be modified administratively by the Commissioner of the Department of Housing and Economic Development, upon the application for such a modification by the applicant and after a determination by the Commissioner of the Department of Housing and Economic Development that such a modification is minor, appropriate and consistent

with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Housing and Economic Development shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.

14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The applicant shall achieve LEED Certification and maintain all new improvements and buildings located in Subarea C of the Property under the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System. The applicant shall provide a vegetated ("green") roof of at least fifty percent (50%) of the net roof area (25,100 square feet) of the new buildings in Subareas A and C. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures, and roof-mounted equipment.
15. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all new buildings and improvements on the property within Subareas A, B and C shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance until the Director of MOPD has approved detailed construction drawings for each building or improvement.
16. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this planned development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
17. The applicant will comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Streets and Sanitation, the Commissioner of the Fleet and Facility Management and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
18. Unless substantial construction of Phase I in Subareas A and C has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire. If this planned development expires under the provisions of this section, then the zoning of the property within Subareas A and B shall automatically revert to the Institutional planned development 50, as amended March 27, 2002, and the zoning of the Property within

Subarea C shall automatically revert to the underlying zoning of the property of the RM4.5 Residential Multi-Unit District, except for that portion of Subarea C bounded by West Barry Avenue; North Wilton Avenue; West Nelson Avenue; a line 189.6 feet east of and parallel to North Sheffield Avenue, also known as the east line of the Chicago Transit Authority Right-of-Way, shall revert back to the B1-3 Neighborhood Shopping District.

[Existing Land-Use Area and Zoning Map; Planned Development Boundary, Property Line and Subarea Map; Existing Vacated Map; Right-Of-Way Adjustment Map/Proposed Vacated; Site Plan; Phase 1 Enlarged Site and Roof Plan; Phase 1 Landscape/Green Roof Plan; Phase 1 North Elevation; Phase 1 South Elevation; Phase 1 East Elevation; Phase 1 West Elevation; and Phase 1 Roof Plan referred to in these Plan of Development Statements printed on pages 44443 through 44454 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*2012 Amendment
Institutional Planned Development No.50
Bulk Regulations And Data Table.*

Site Area:

Gross Site Area:	651,029 square feet (14.946 acres)
Net Site Area:	541,425 square feet (12.429 acres)
Public Right-of-Way:	109,604 square feet (2.516 acres)
Subarea A:	338,083 square feet (7.761 acres)
Subarea B:	63,164 square feet (1.450 acres)
Subarea C:	140,178 square feet (3.218 acres)

Maximum Height:

Subarea A:	171 feet, 4 inches
Subarea B:	135 feet, 2 inches
Subarea C:	146 feet

Floor Area Ratio And Buildable Area:

Overall Maximum FAR: 2.81

Subarea A:

Net Site Area: 338,083 square feet

Maximum FAR: 2.5

Total Buildable Square Footage: 845,208 square feet

Existing As-Built Square Feet: 701,239 square feet

Proposed Building Square Feet:

Phase 1: 8,443 square feet
(excludes Penthouse Mechanical)

Remaining Available Buildable Area: 135,526 square feet

Subarea B:

Net Site Area: 63,164 square feet

Maximum FAR: 2.65

Total Buildable Square Footage: 167,384.6

Existing As-Built Square Feet: 166,536 square feet

Subarea C:

Net Site Area: 140,178 square feet

Maximum FAR: 3.6

Total Buildable Square Footage: 504,605 square feet

Existing As-Built Square Feet: 55,847 square feet

Proposed Building Square Feet:

Phase 1: 129,412 square feet (excludes Penthouse
Mechanical space at 18,375 square feet)

Remaining Available Buildable Area: 319,346 square feet

Setbacks:

Subarea A:

Boundary and Front:	3 feet
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Boundary and Side:	7 feet
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Subarea B:

Boundary and Front:	2 feet
---------------------	--------

Boundary and Side:	0 feet
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Subarea C:

Front and Back Yard:	5 feet
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Side Yard:	5 feet
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Parking Spaces:

Spaces Provided:

Subarea A:	905
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Subarea B:	422
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Subarea C:	0
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Total:	1,327
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Loading Spaces:

Spaces Provided:

Subarea A:	5 (existing)
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Subarea B:	0
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Subarea C:	0
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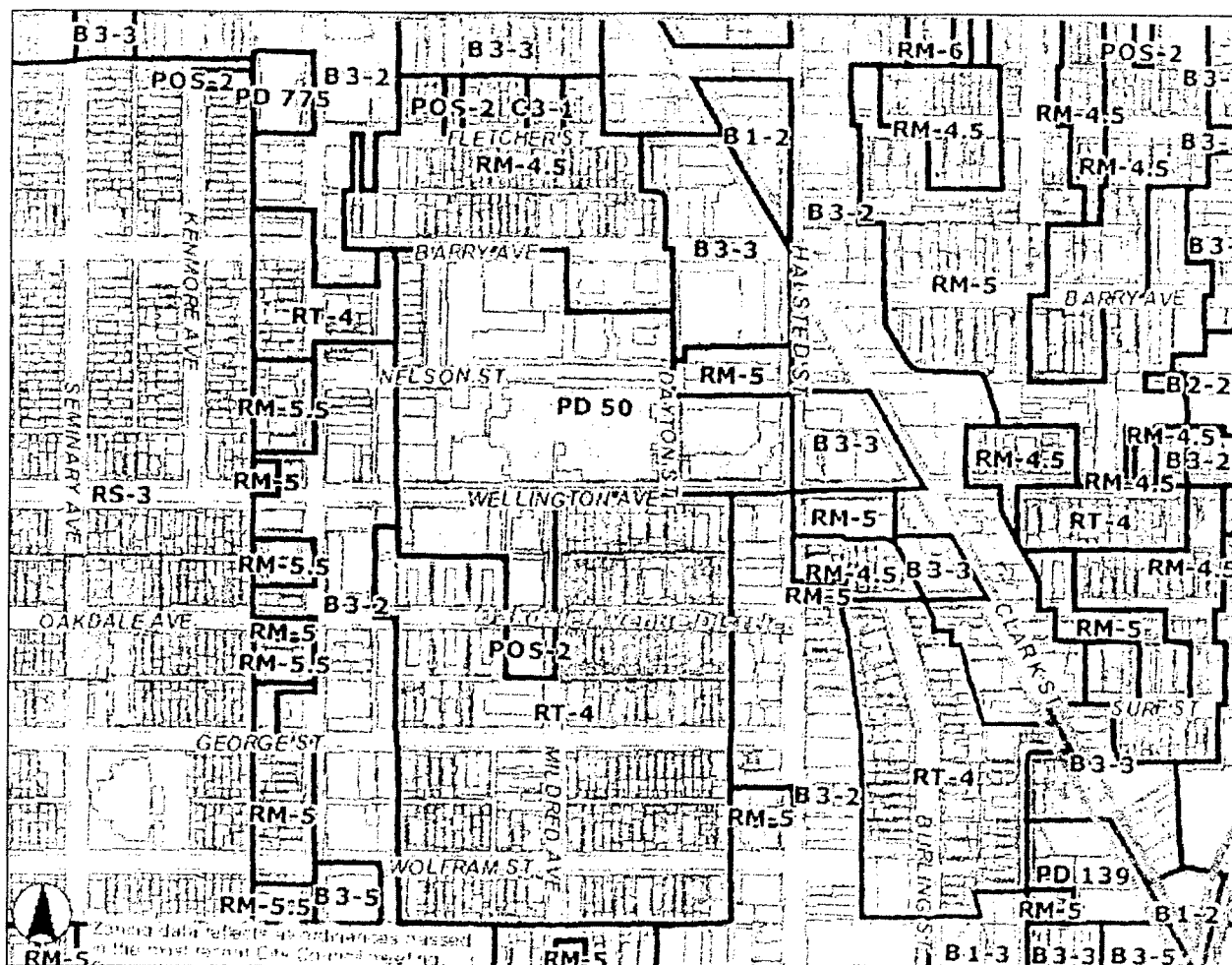
Total:	5
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Bicycle Parking Spaces:

Spaces Provided:

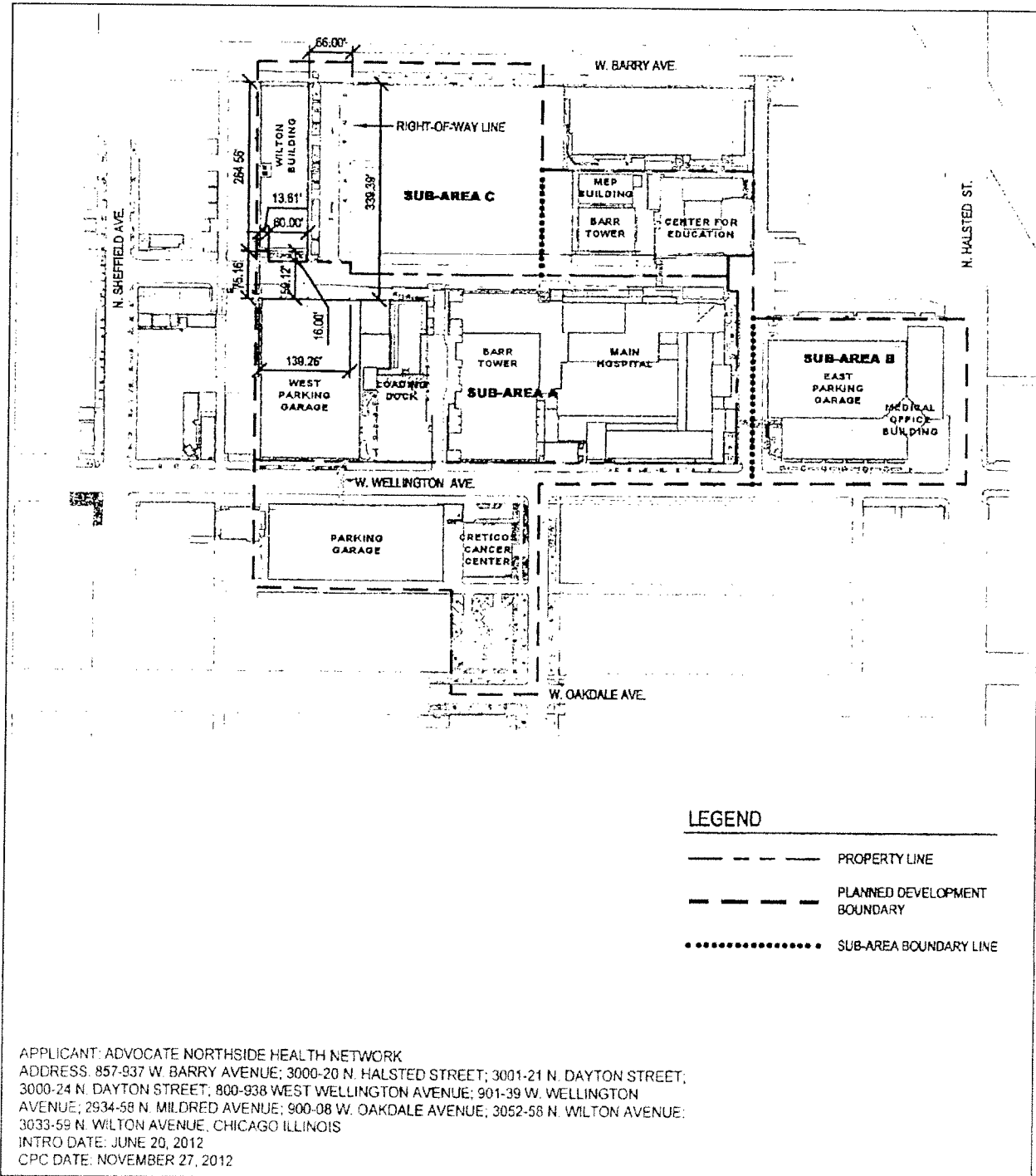
Subarea C:	50
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Existing Land-Use Area
And Zoning Map.

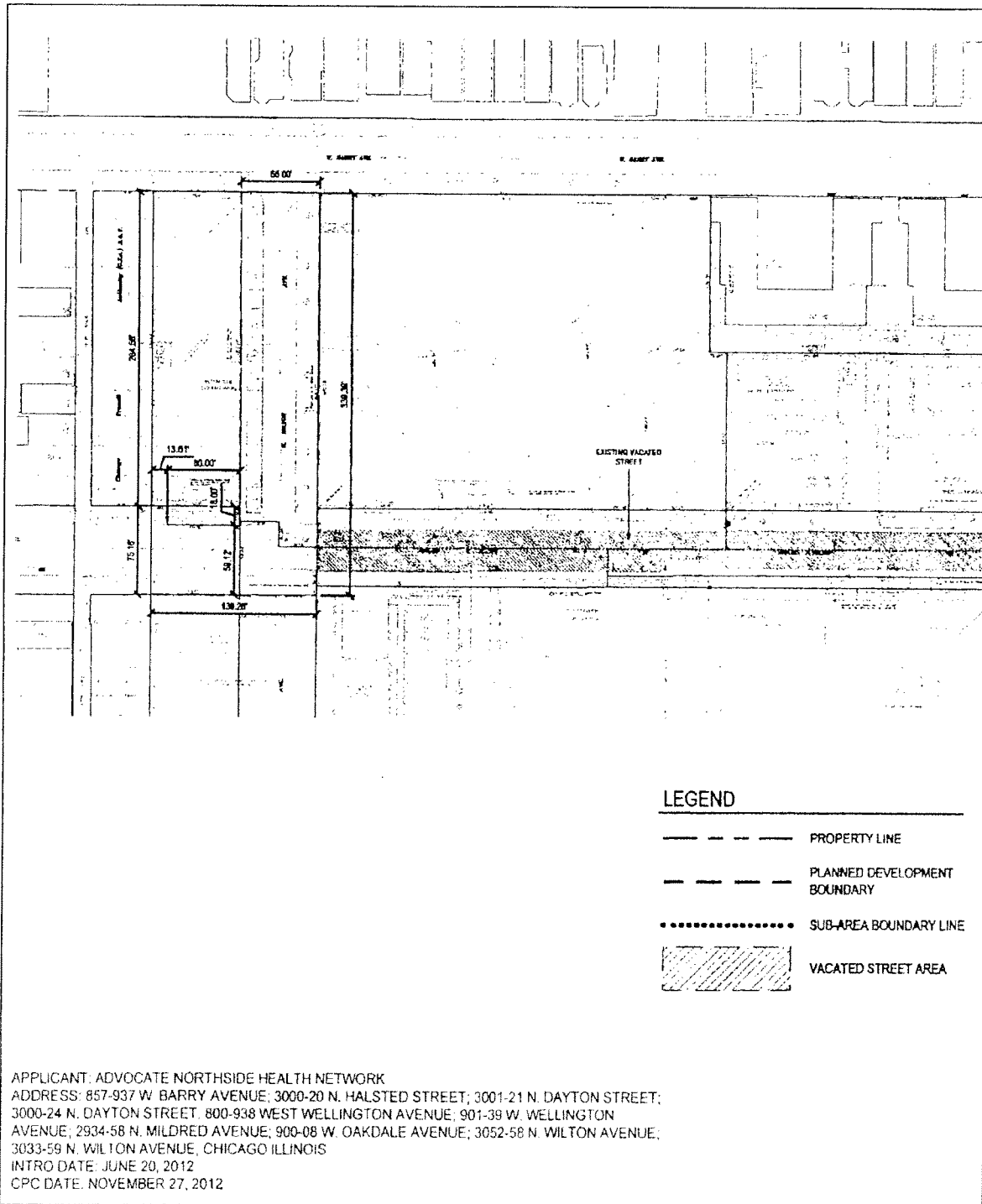


APPLICANT: ADVOCATE NORTHSIDE HEALTH NETWORK
ADDRESS: 857-937 W. BARRY AVENUE; 3000-20 N. HALSTED STREET; 3001-21 N. DAYTON STREET;
3000-24 N. DAYTON STREET; 800-938 WEST WELLINGTON AVENUE; 901-39 W. WELLINGTON
AVENUE; 2934-58 N. MILDRED AVENUE; 900-08 W. OAKDALE AVENUE; 3052-58 N. WILTON AVENUE;
3033-59 N. WILTON AVENUE, CHICAGO ILLINOIS
INTRO DATE: JUNE 20, 2012
CPC DATE: NOVEMBER 27, 2012

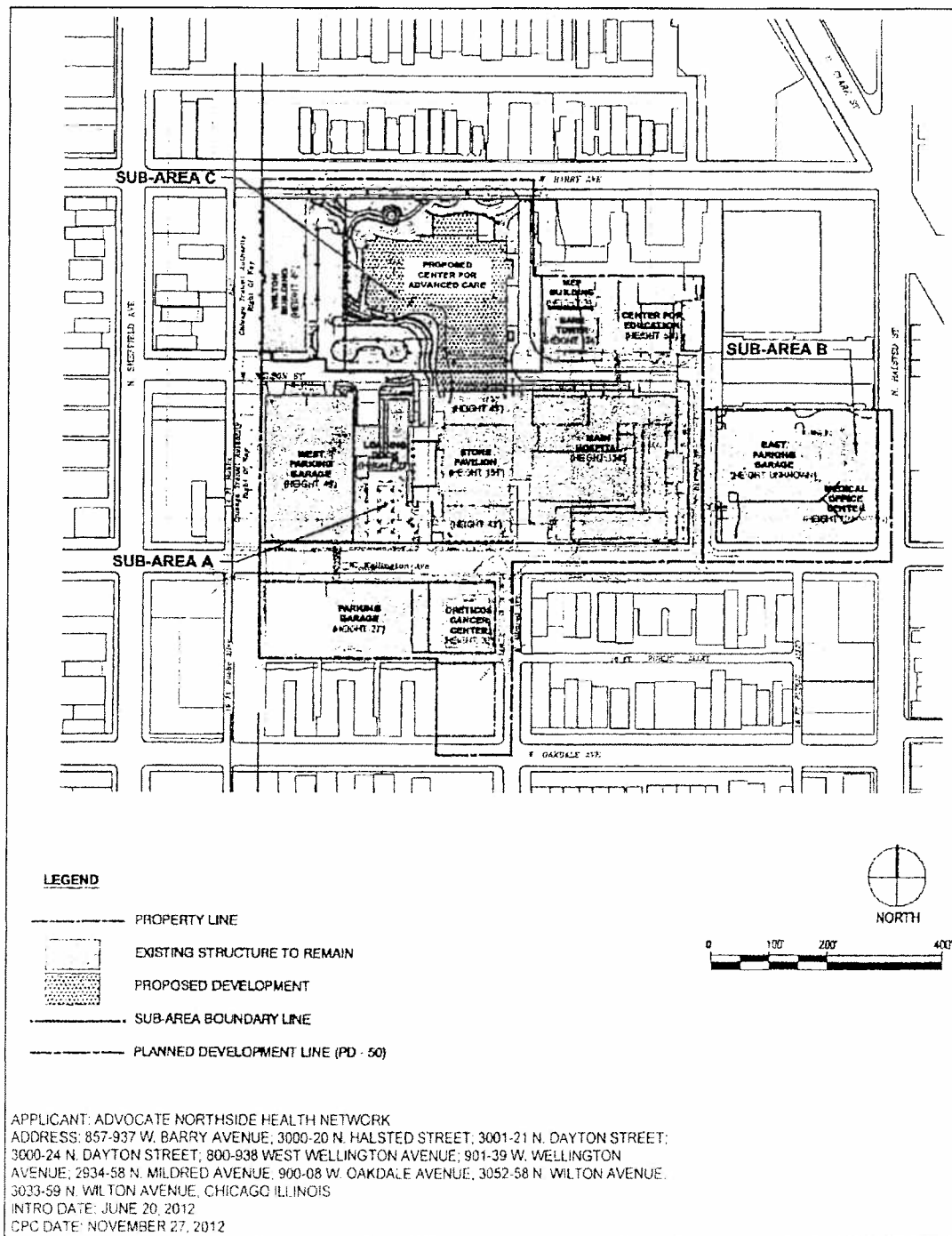
Planned Development Boundary,
Property Line And Subarea Map.



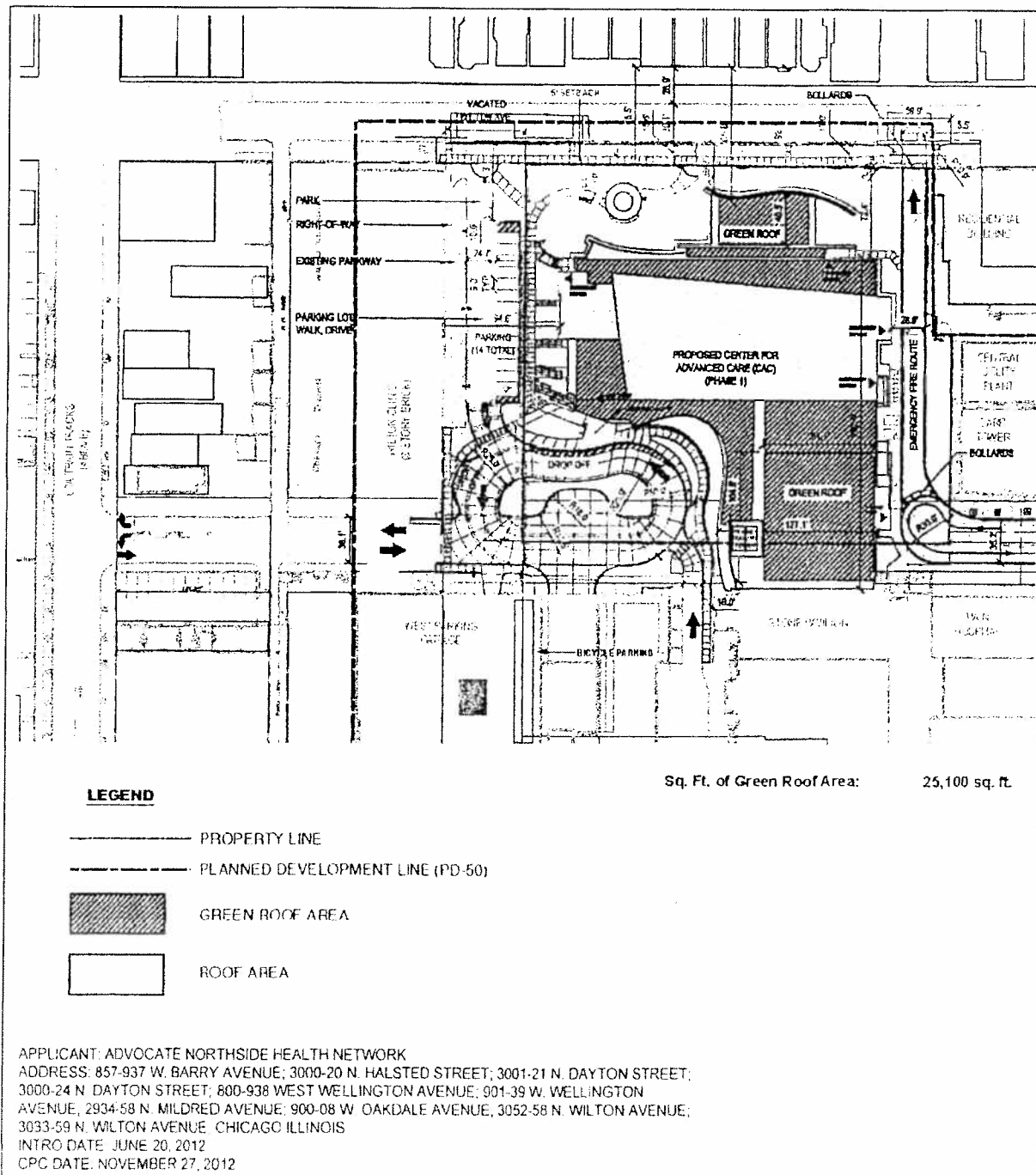
Existing Vacated Map.



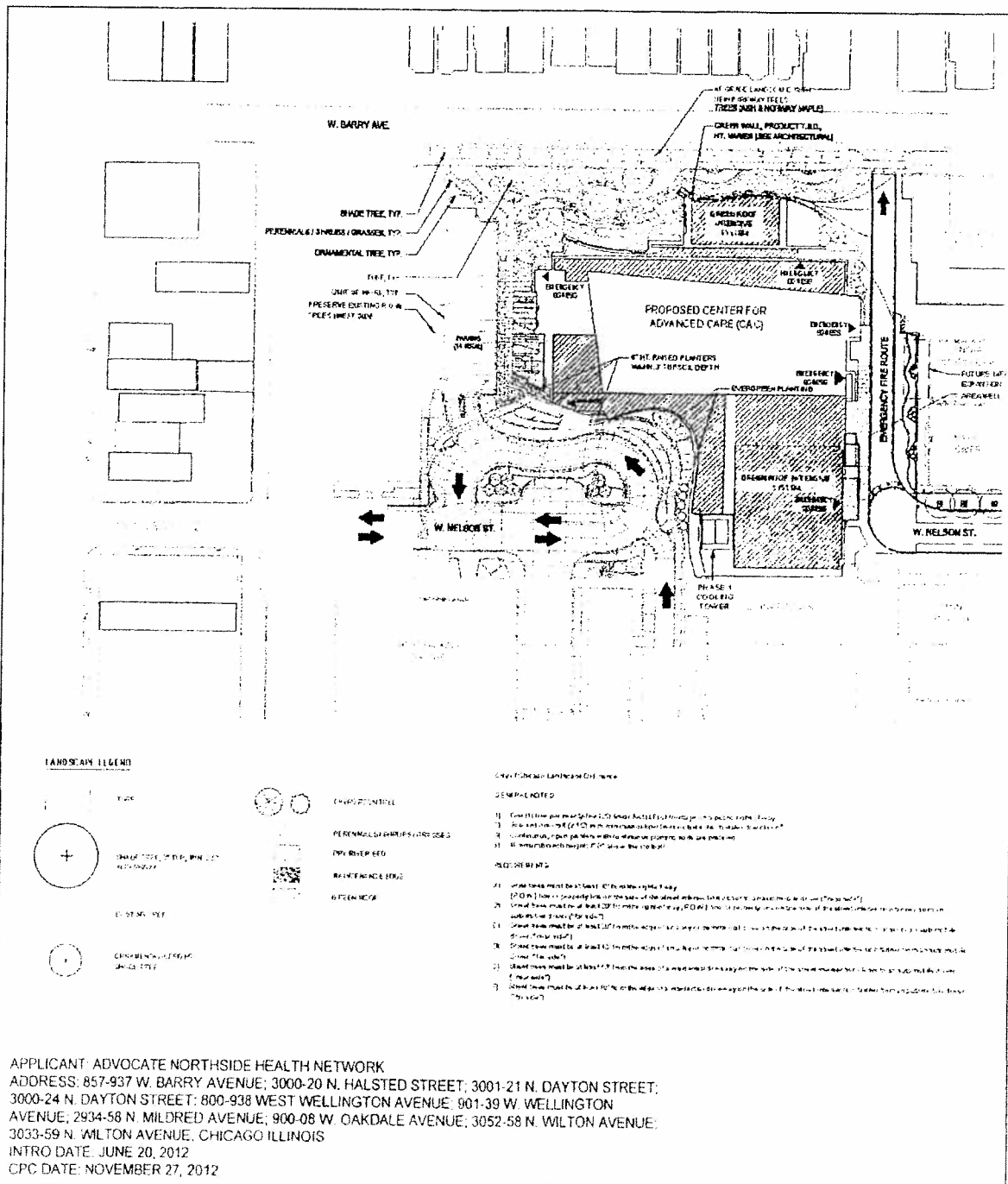
Site Plan.



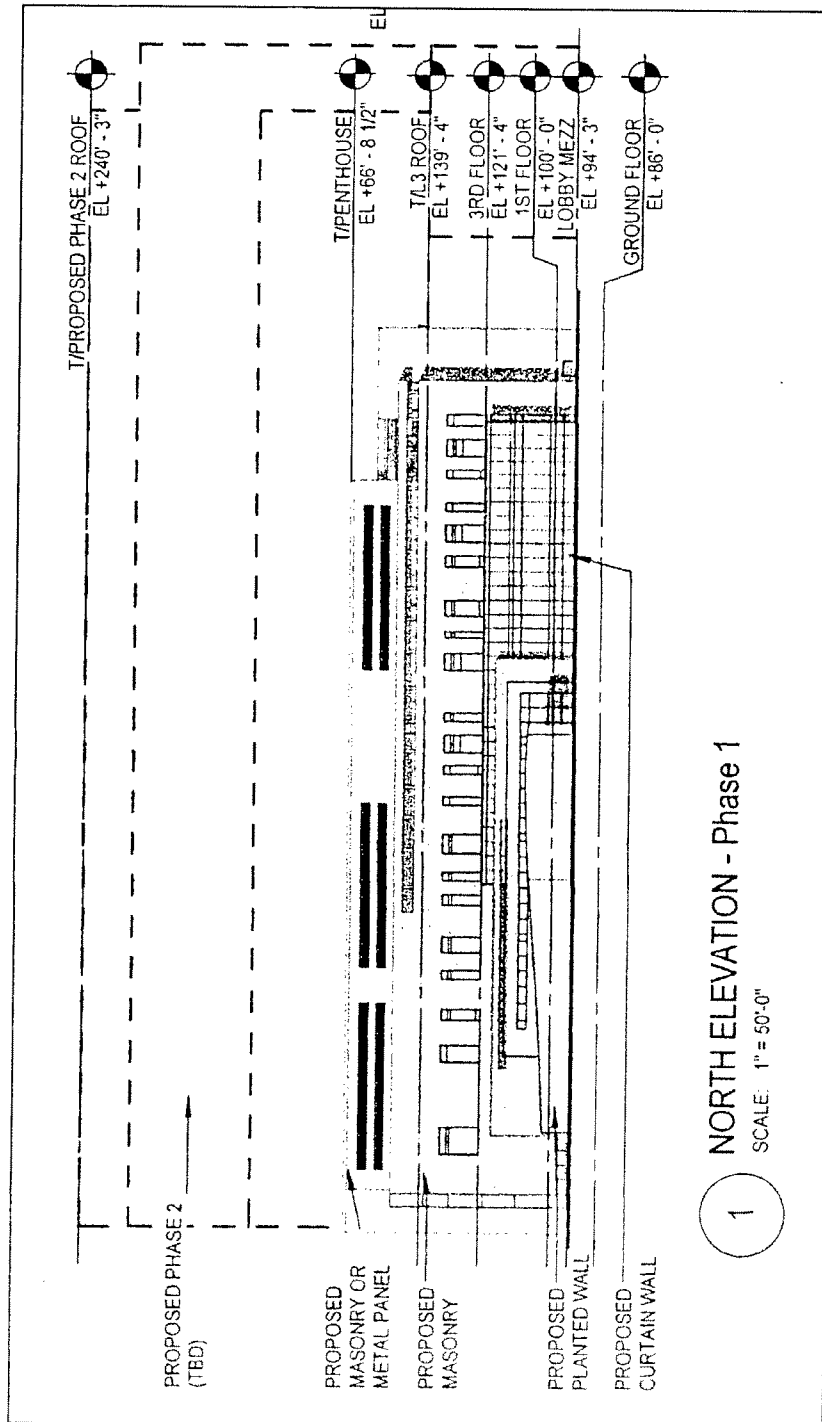
Phase 1 Enlarged Site
And Roof Plan.



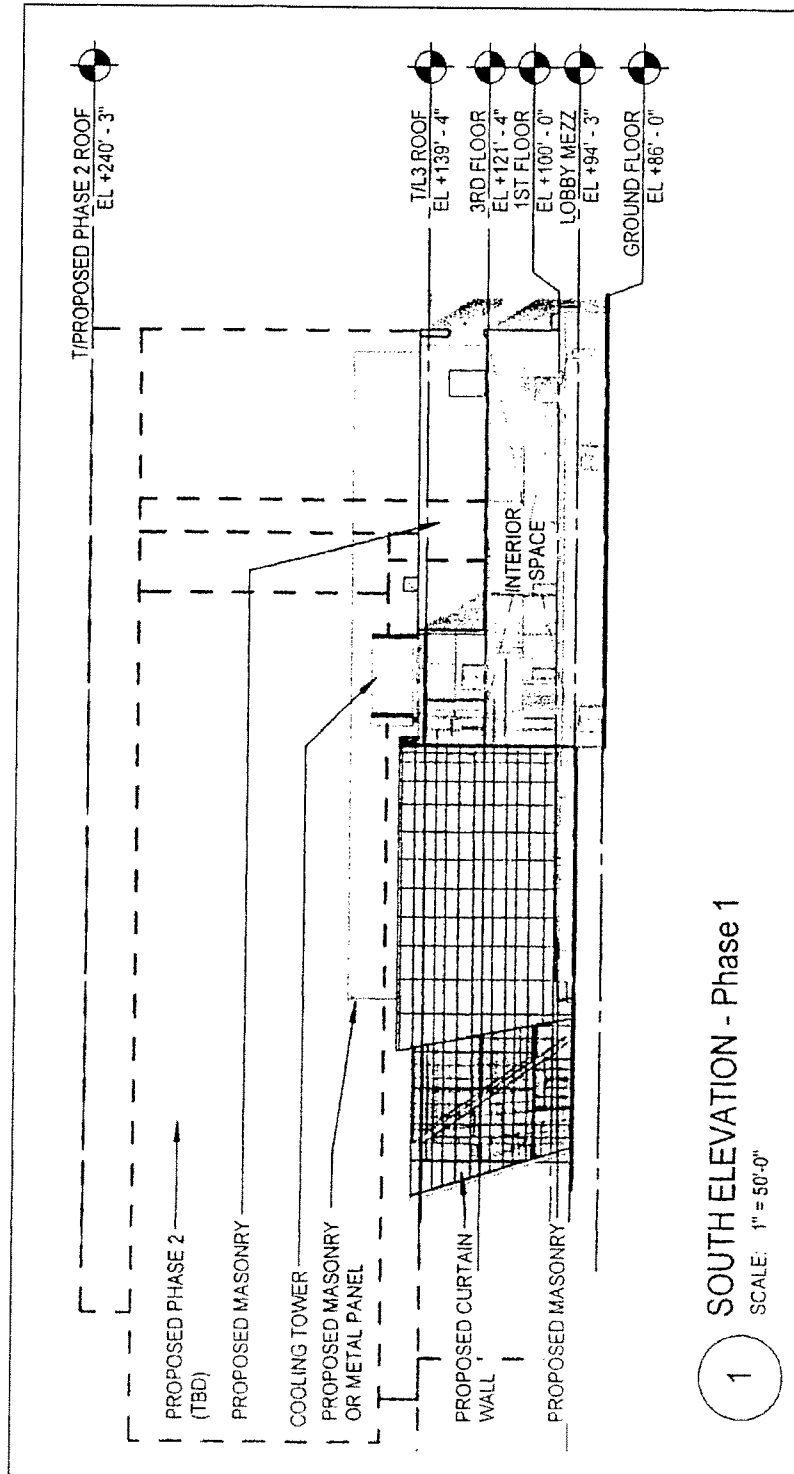
Phase 1 Landscape/
Green Roof Plan.



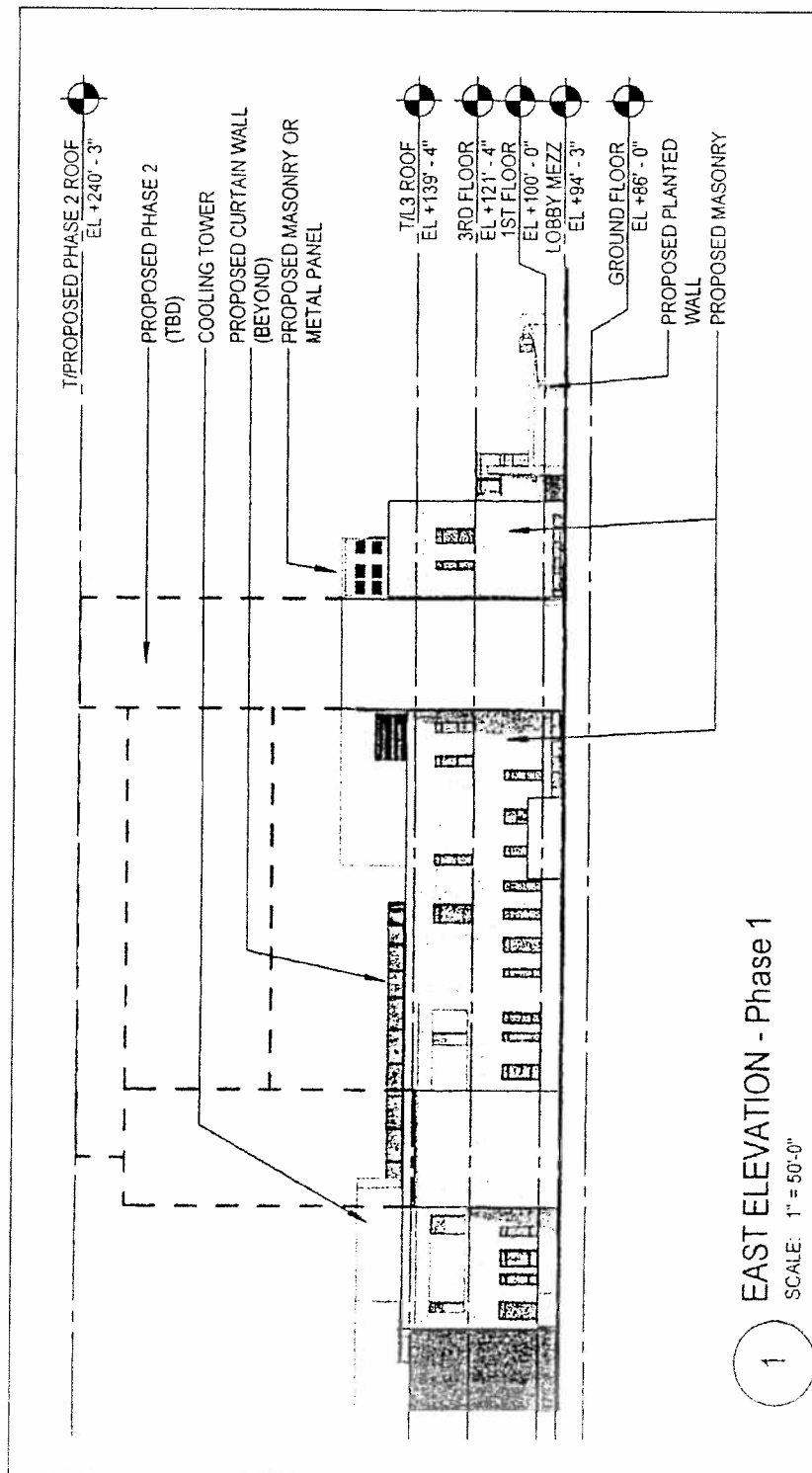
Phase 1 North Elevation.



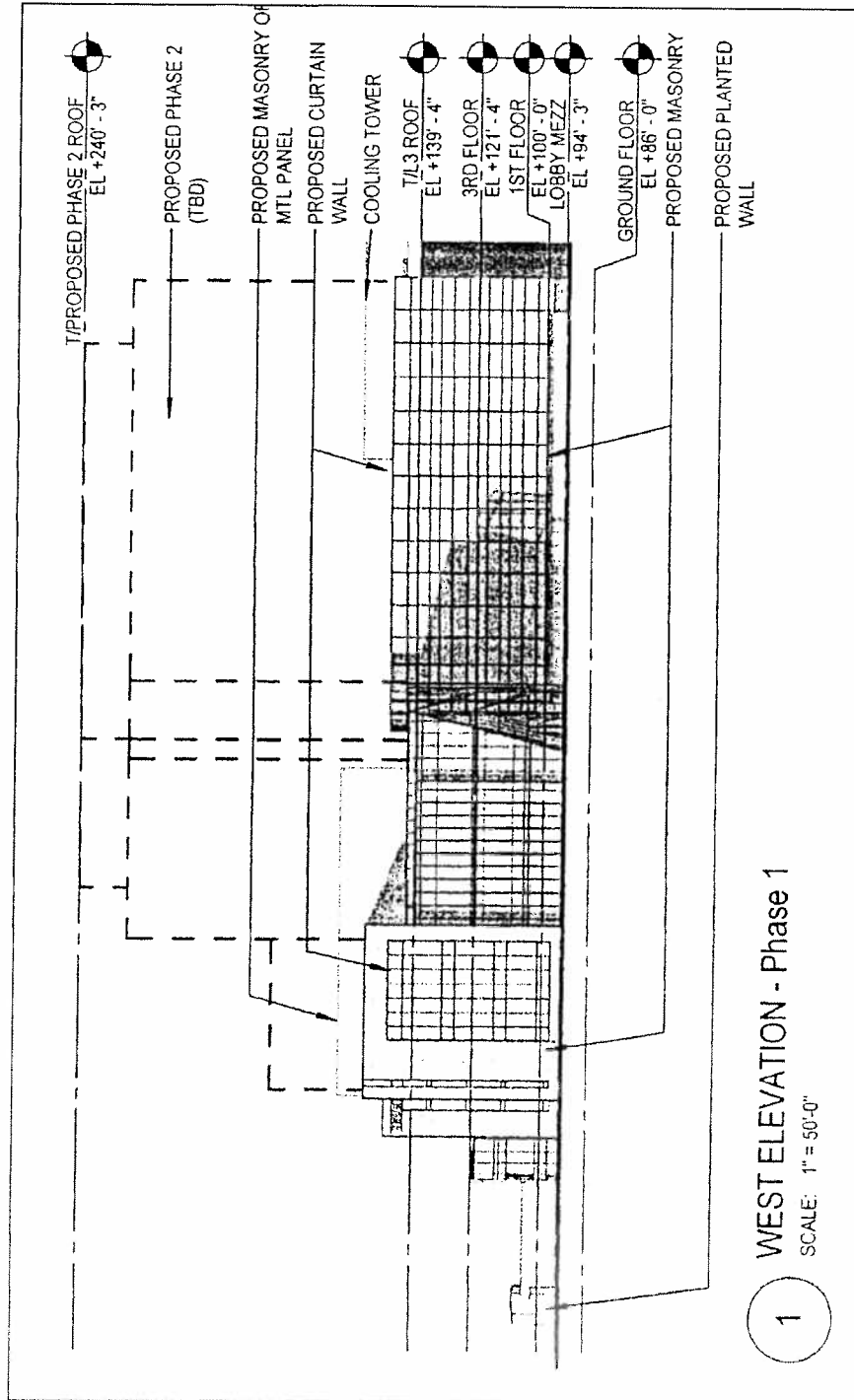
Phase 1 South Elevation.



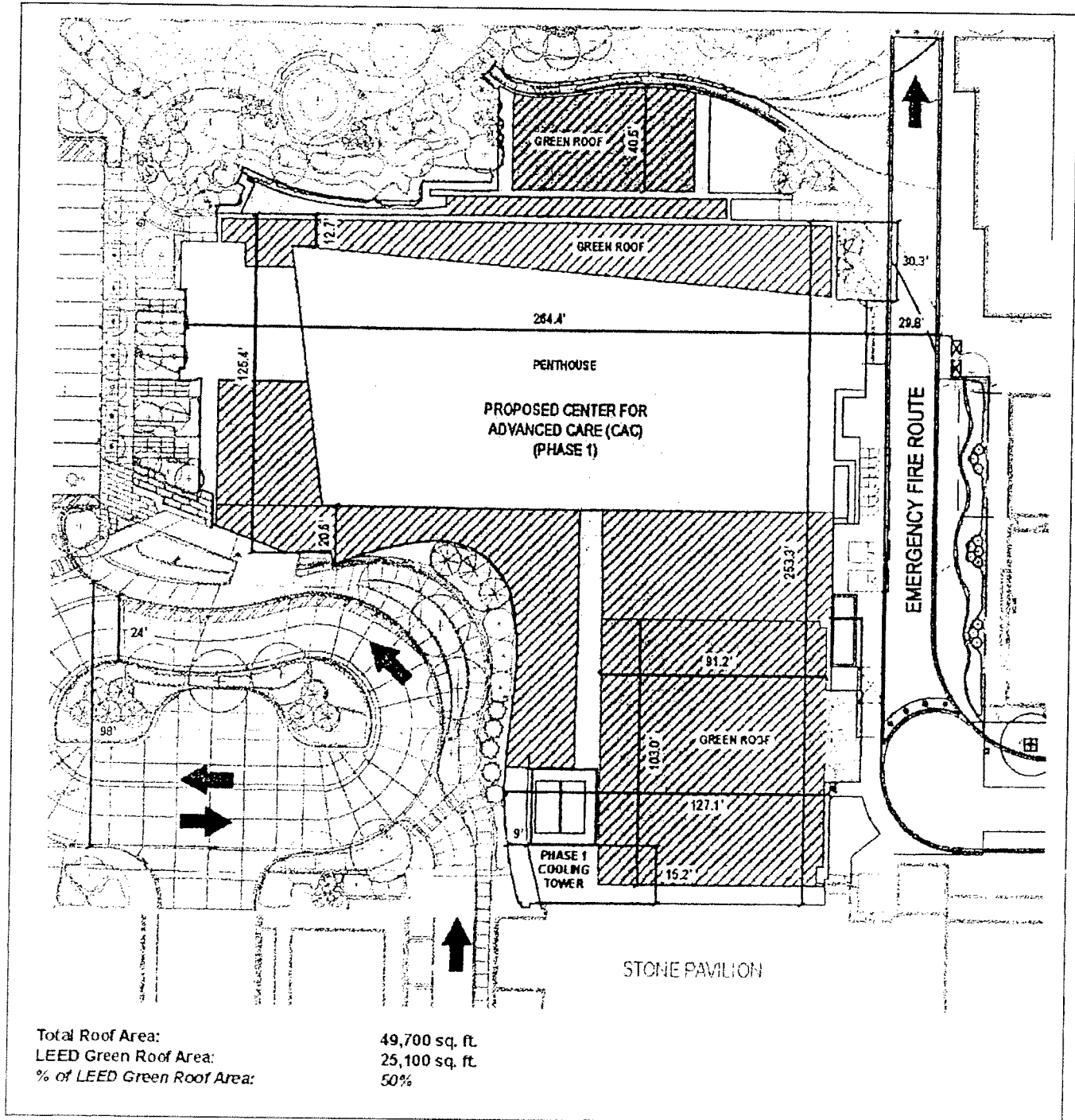
Phase 1 East Elevation.



Phase 1 West Elevation.



Phase 1 Roof Plan.



Reclassification Of Area Shown On Map No. 7-G.
(As Amended)

(Application No. 16810)

(Common Address: 857 -- 939 W. Barry Ave., 3032 -- 3058 N. Wilton Ave.
And 3033 -- 3059 N. Wilton Ave.)

[SO2009-4846]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the B1-3 Neighborhood Shopping District and all of the RM4.5 Residential Multi-Unit District symbols and designations as shown on Map Number 7-G in the area bounded by:

West Barry Avenue; a line 330.61 feet east of and parallel to North Wilton Avenue; a line 132.23 feet south of and parallel to West Barry Avenue; a line 344.88 feet east of and parallel to North Wilton Avenue; the centerline of vacated West Nelson Avenue and West Nelson Avenue; and a line 189.6 feet east of and parallel to North Sheffield Avenue, also known as the east line of the Chicago Transit Authority Right-of-Way,

to those of an RM6 Residential Multi-Unit District and a corresponding use district is hereby established in the area above described.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the RM6 Residential Multi-Unit District and Institutional Planned Development Number 50 symbols and designations as shown on Map Number 7-G in the area bounded by:

West Barry Avenue; a line 330.61 feet east of and parallel to North Wilton Avenue; a line 132.23 feet south of and parallel to West Barry Avenue; the centerline of vacated North Dayton Street and North Dayton Street; a line 230.33 feet north of and parallel to West Wellington Avenue; North Halsted Street; West Wellington Avenue; North Mildred Avenue; West Oakdale Avenue; a line 103 feet west of and parallel to North Mildred Avenue; the alley next north of and parallel to West Oakdale Avenue; and a line 189.6 feet east of and parallel to North Sheffield Avenue, also known as the east line of the Chicago Transit Authority Right-of-Way,

to the designation of Institutional Planned Development Number 50, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development No. 50, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 50, as amended, consists of property commonly known as 857 -- 939 West Barry Avenue; 30 West Nelson Street; 3000 -- 3022 North Halsted Street; 3001 -- 3021 North Dayton Street; 3000 -- 3024 North Dayton Street; 800 -- 938 West Wellington Avenue; 901 -- 939 West Wellington Avenue; 2934 -- 2958 North Mildred Avenue; 900 -- 908 West Oakdale Avenue; 3032 -- 3058 North Wilton Avenue; 3033 -- 3059 North Wilton Avenue, Chicago, Illinois ("the Property"). The Property consists of Subarea A of approximately three hundred twenty-five thousand five hundred thirty-three (325,533) square feet, Subarea B of approximately sixty-three thousand one hundred sixty-four (63,164) square feet, and Subarea C of approximately one hundred forty thousand one hundred seventy-eight (140,178) square feet for a total net site area of five hundred twenty-eight thousand eight hundred seventy-five (528,875) square feet (twelve and one hundred forty-one thousand (12.141) acres). The property is owned or controlled by the applicant, Advocate NorthSide Health Network.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees, or grantees. Any dedication or vacation of streets or alleys, or easements, or adjustments of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the applicant or its successors, assignees, or grantees and approval by the City Council.
3. The requirements, obligations and conditions contained within this planned development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different then to the owners of record title to all of the Property and to any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property and any ground lessors. An agreement among property

owners or a covenant binding property owners may designate the authorized party for any future amendment, modification or change.

4. This plan of development consists of eighteen (18) statements; a Bulk Regulations and Data Table; an Existing Land-Use and Zoning Map; a Planned Development Boundary and Property Line Map; a Subarea Map; a Site Plan, Landscape Plans and Building Elevations prepared by O'Donnell Wicklund Pigozzi and Peterson, Inc. dated May 21, 2009. Full size sets of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Zoning and Land Use Planning. The planned development is applicable to the area delineated hereto and these and no other zoning controls shall apply.
5. The following uses shall be permitted within the area herein delineated as Subarea A of the Institutional Planned Development: medical, dental and related uses, laboratories (clinical and research) research and educational facilities, housing for nurses, interns and residents, doctors' offices and off-street parking. The following uses shall be permitted within the area herein delineated as Subarea B of the Institutional Planned Development: accessory parking, professional offices and accessory uses. The following uses shall be permitted within the area herein delineated as Subarea C of the Institutional Planned Development: hospital, medical services, dental and related uses, doctors' offices and accessory uses, and an accessory surface parking lot shall be permitted as an interim use prior to the construction of the new hospital building.
6. Skybridges shall be permitted at the following locations: (i) a skybridge shall be permitted across North Dayton Street to connect the medical office building development with the medical center complex, (ii) a skybridge shall be permitted across West Wellington Avenue to connect the proposed parking garage with the parking deck, and (iii) two skybridges shall be permitted across vacated West Nelson Street to connect the new hospital building with the medical center complex and to connect the education building to the medical center complex.
7. On premise Business Identification signs shall be permitted within the planned development subject to the review and approval of the Department of Zoning and Land Use Planning. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Department of Zoning and Land Use Planning. No off premise signs shall be permitted.
8. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the Public Way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

9. For the purposes of measuring height, the definition in the Chicago Zoning Ordinance shall apply. In addition to the maximum height of the building and any appurtenance thereto prescribed in this planned development, the height of any improvement shall also be subject to height limitations approved by the Federal Aviation Administration.
10. For purposes of floor area ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply. However, as it pertains to previous buildings constructed or approved in Subareas A and B, in addition to the other exclusions from Floor Area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical equipment in excess of five thousand (5,000) square feet in a single location, regardless of placement in the building, shall be excluded.
11. The City of Chicago established a Part II Review Fee in the amount of Zero and 25/100 Dollars (\$0.25) per square feet for the total buildable square feet (floor area). The Part II Review Fee will be assessed by the Department of Zoning and Land Use during the actual Part II Review. The fee as determined by the Department of Zoning and Land Use staff at that time is final and binding on the applicant and must be paid to the Department of Zoning and Land Use prior to the issuance of any Part II approval.
12. The new improvements to be located in Subarea C shall be designed, installed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations and in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. The landscape improvements of Subareas A and B as depicted in the attached landscape plan shall govern the landscape requirements for Subareas A and B.
13. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department of Zoning and Land Use, upon the application for such a modification by the applicant and after a determination by the Commissioner of the Department of Zoning and Land Use that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in this planned development and the purposes underlying the provisions hereof. Any such modification of the requirements of this statement by the Commissioner of the Department of Zoning and Land Use shall be deemed to be a minor change in the Planned Development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. The applicant shall use best and reasonable efforts to design, construct and maintain all new improvements and buildings located in Subarea C of the Property under the Leadership in Energy and Environmental Design ("L.E.E.D.") Green Building Rating System. The applicant shall provide a vegetated ("green") roof of least

fifty percent (50%) of the net roof area of the new buildings in Subarea C. "Net roof area" is defined as total roof area minus any required perimeter setbacks, roof top structures, and roof-mounted equipment. The applicant commits to a green roof area on all new buildings being constructed in Subarea C measuring thirty-four thousand seven hundred fifty-five (34,755) square feet in Subarea C.

15. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the property. Plans for all new buildings and improvements on the property within Subareas A, B and C shall be reviewed and approved by the Mayor's Office for People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
16. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this planned development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
17. The applicant will comply with Rules and Regulations For the Maintenance of Stockpiles promulgated by the Commissioner of the Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings under Section 13-32-125 of the Municipal Code of Chicago or any other provision of that Code.
18. Unless substantial construction has commenced within six (6) years following adoption of this planned development, and unless completion is thereafter diligently pursued, then this planned development shall expire. If this planned development expires under the provisions of this section, then the zoning of the property within Subareas A and B shall automatically revert to the Institutional Planned Development Number 50, as amended March 27, 2002, and the zoning of the property within Subarea C shall automatically revert to the underlying zoning of the property of the RM4.5 Residential Multi-Unit District, except for that portion of Subarea C bounded by West Barry Avenue; North Wilton Avenue; West Nelson Avenue; a line 189.6 feet east of and parallel to North Sheffield Avenue, also known as the east line of the Chicago Transit Authority Right-of-Way, shall revert back to the B1-3 Neighborhood Shopping District.

[Existing Land-Use Area Map and Existing Zoning Map; Plan of Development Boundary, Property Line and Right-of-Way Adjustment Map; Subarea Map; Site Plans; Landscape Plans; and Building Elevations referred to in these Plan of Development Statements printed on pages 68946 through 68954 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Institutional Planned Development Number 50.

Bulk Regulation And Data Table.

Site Area:

Gross Site Area:	638,479 square feet (14.657 acres)
Net Site Area:	528,875 square feet (12.141 acres)
Public Right-of-Way:	109,604 square feet (2.516 acres)
Subarea A:	325,533 square feet (7.473 acres) (61.55% of Net Site Area)
Subarea B:	63,164 square feet (1.450 acres) (11.94% of Net Site Area)
Subarea C:	140,178 square feet (3.218 acres) (26.51% of Net Site Area)

Maximum Height:

Subarea A:	171 feet, 4 inches (as measured by Chicago Zoning Ordinance)
Subarea B:	135 feet, 2 inches (as measured by Chicago Zoning Ordinance)
Subarea C:	146 feet (as measured by Chicago Zoning Ordinance)

Floor Area Ratio And Buildable Area:

Overall Maximum Floor Area Ratio:	2.81
Overall Maximum Buildable Area:	1,486,138.75 square feet (528,875 Net Site Area x 2.81 F.A.R.)

Subarea A:

Net Site Area:	325,533 square feet
Maximum Floor Area Ratio:	2.5
Total Buildable Square Footage:	813,832.5
Existing As-Built Square Feet:	701,239 square feet
Remaining Available Buildable Area:	112,593.5 square feet

Subarea B:

Net Site Area:	63,164 square feet
Maximum Floor Area Ratio:	2.65
Total Buildable Square Footage:	167,384.6
Existing As-Built Square Feet:	166,536 square feet
Remaining Available Buildable Area:	848.6 square feet

Subarea C:

Net Site Area:	140,178 square feet
Maximum Floor Area Ratio:	3.6
Total Buildable Square Footage:	504,604.8
Existing As-Built Square Feet:	55,847 square feet
Proposed Building Square Feet:	393,839 square feet
Remaining Available Buildable Area:	54,954.8 square feet

Setbacks:

Subarea A:

Boundary and Front:	3 feet
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Boundary and Side:	7 feet
--------------------	--------

Subarea B:

Boundary and Front:	2 feet
---------------------	--------

Boundary and Side:	0 feet
--------------------	--------

Subarea C:

Front and Back Yard:	5 feet
----------------------	--------

Side Yard:	5 feet
------------	--------

Parking Spaces:

Spaces Provided:

Subarea A:	905
------------	-----

Subarea B:	422
------------	-----

Subarea C:	0
------------	---

Total:	1,327
--------	-------

Loading Spaces:

Spaces Provided:

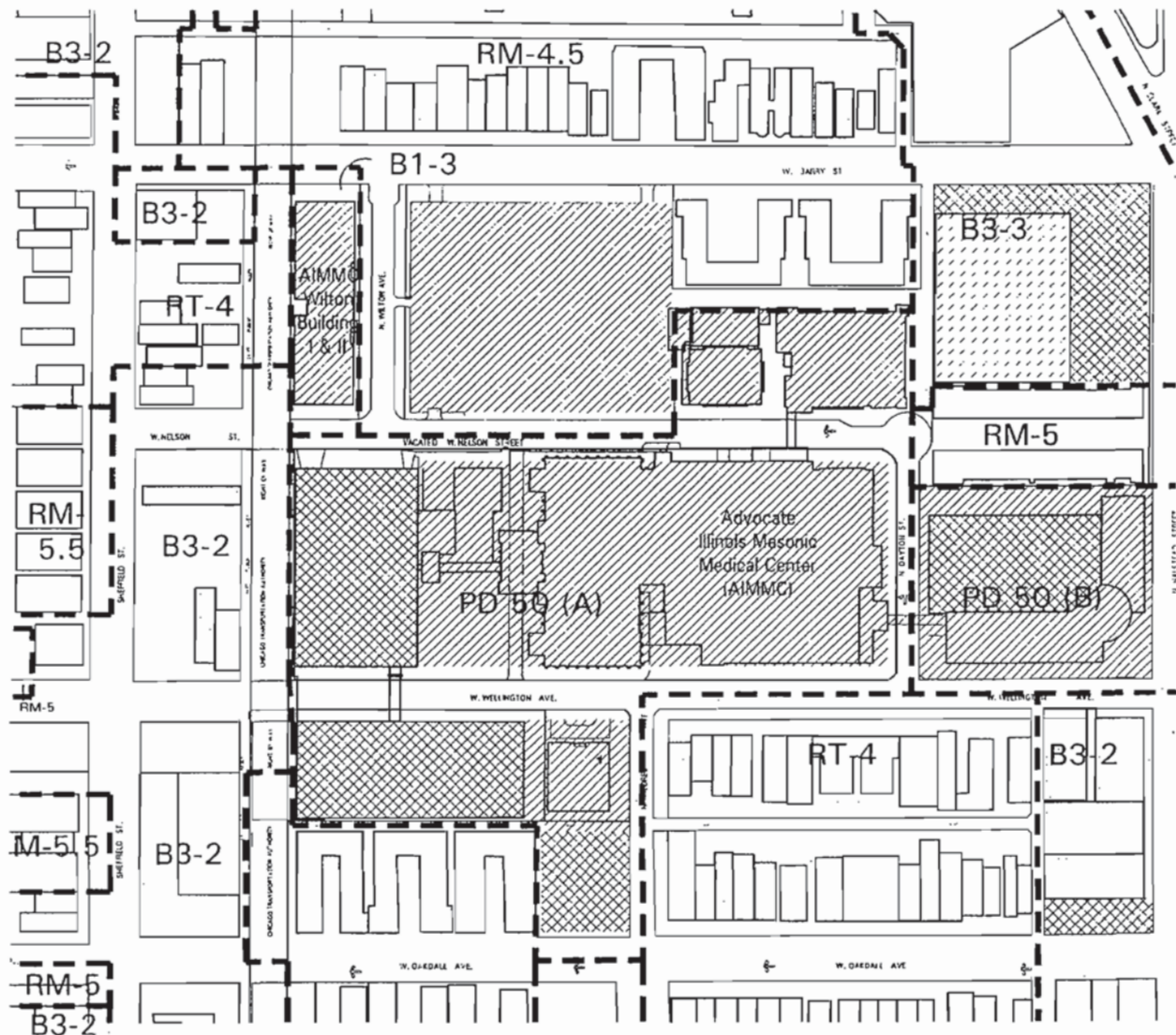
Subarea A:	5 (existing)
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Subarea B:	0
------------	---

Subarea C:	0
------------	---

Total:	5
--------	---

Existing Land-Use Area Map And Existing Zoning Map.

**LEGEND**

--- ZONING DISTRICT BOUNDARY



General, Residential, School



MIXED USE, RETAIL, OFFICE, RESIDENTIAL



RESIDENTIAL MULTI UNIT, BUSINESS ESTABLISHMENT



PARKING LOT



HOSPITAL, PROFESSIONAL OFFICE BUILDING, INSTITUTIONAL, DENTAL, MEDICAL ACCESSORY

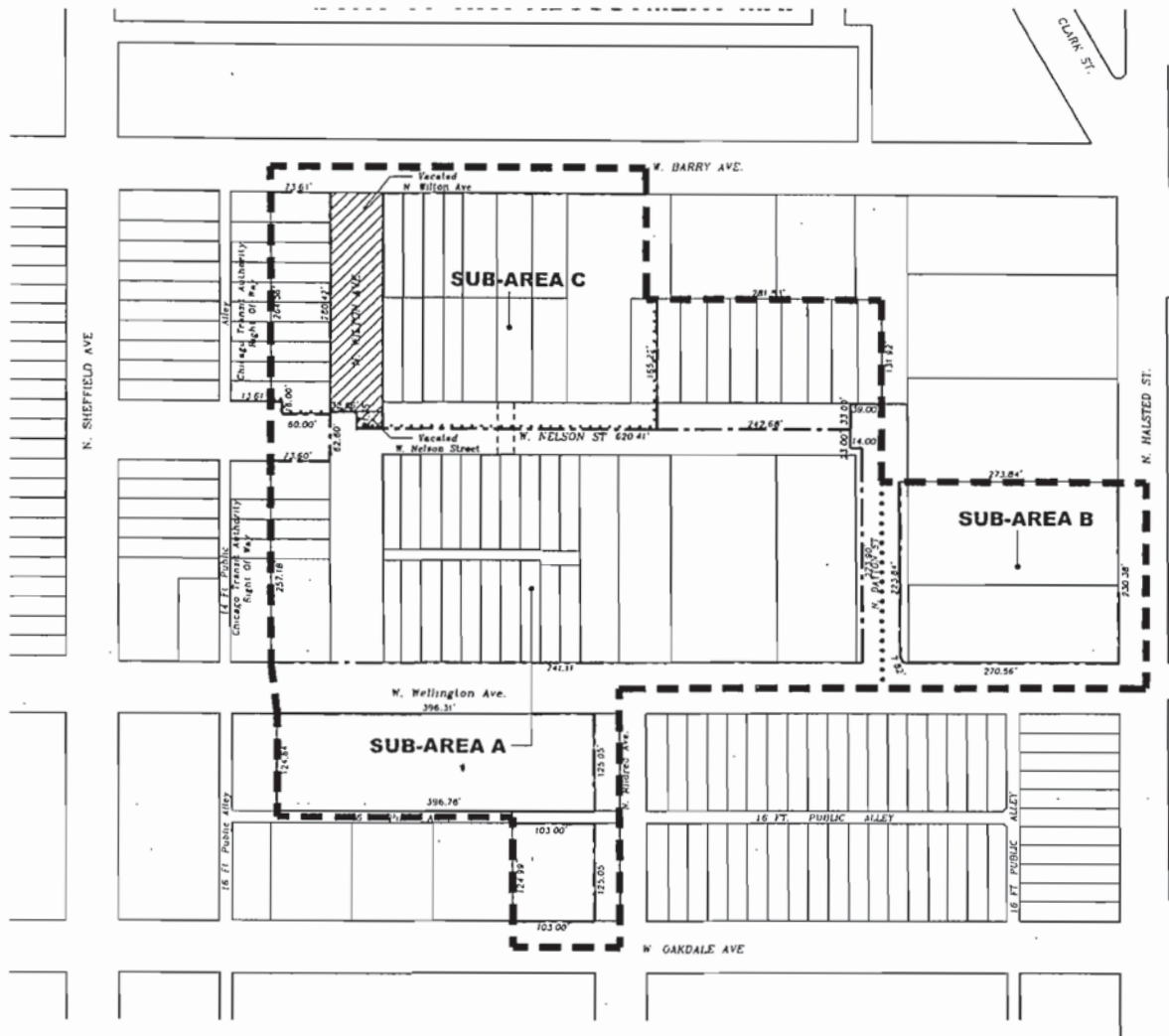


PARK / PLAYLOT

0 25' 100' 200'



Planned Development Boundary, Property Line
And Right-Of-Way Adjustment Map.



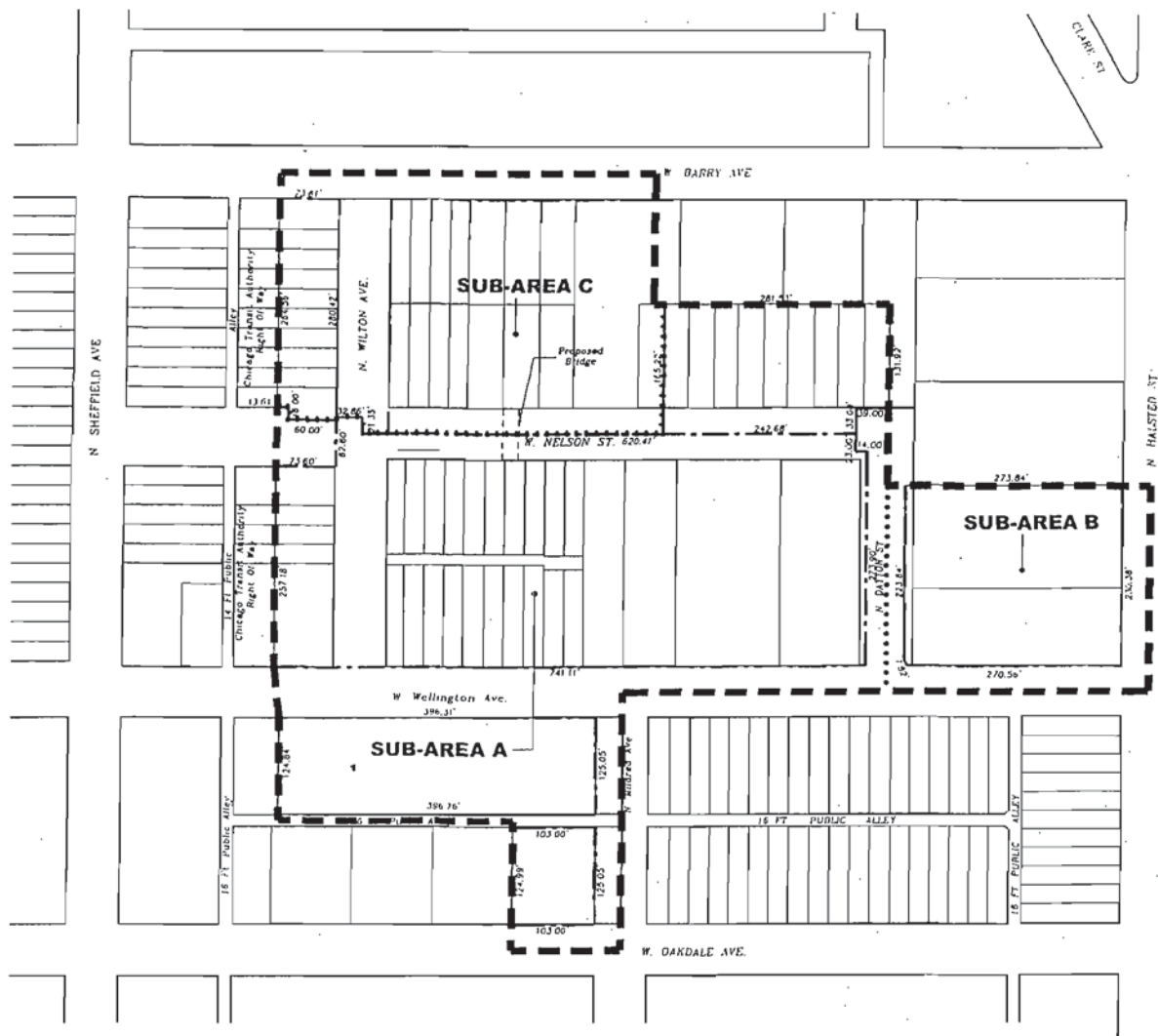
LEGEND

- PROPERTY LINE
- PLANNED DEVELOPMENT BOUNDARY
- SUB-AREA BOUNDARY LINE
- ▨ Vacated Street Area

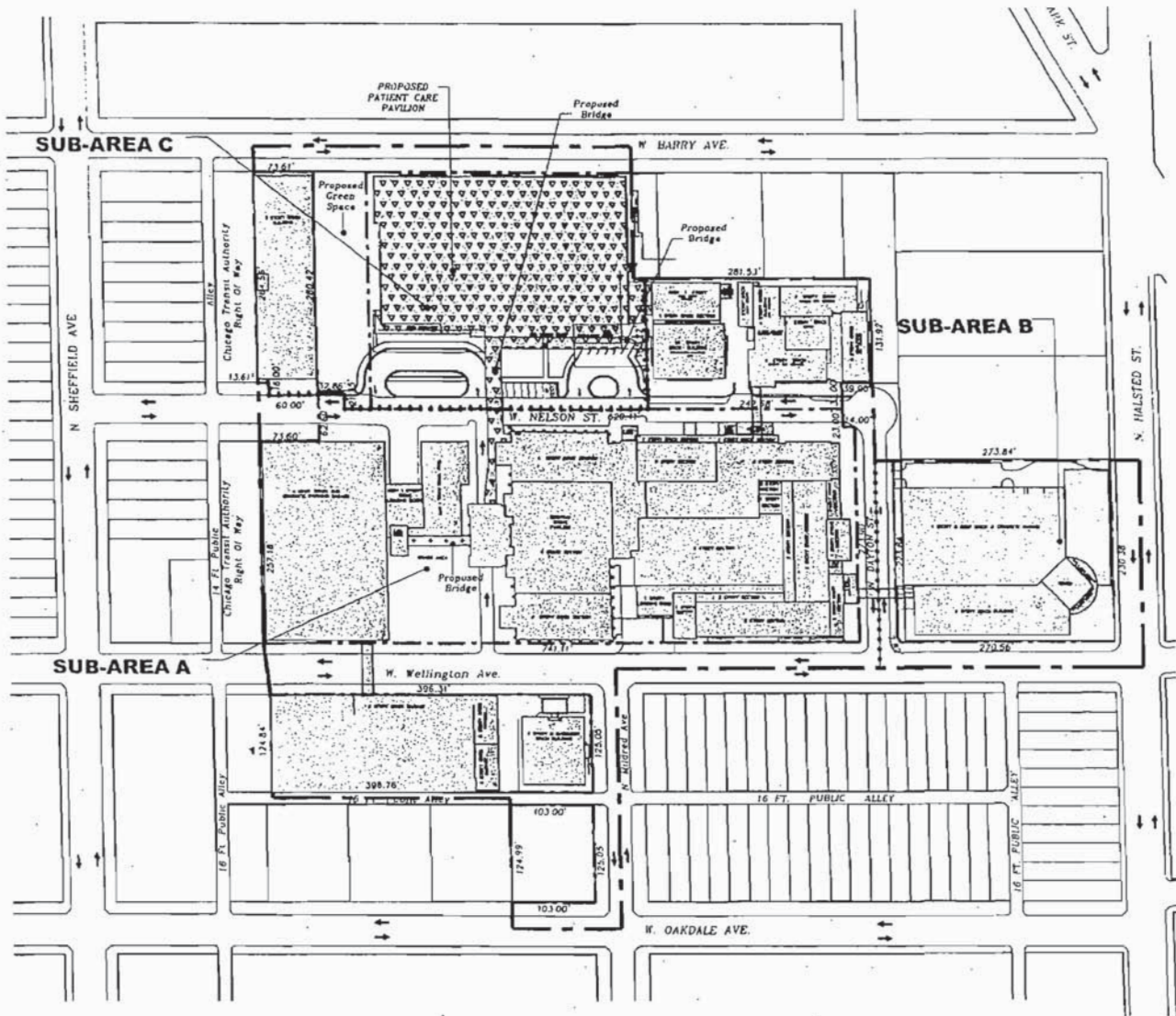
0 25' 100' 200'



Subarea Map.



Site Plan.

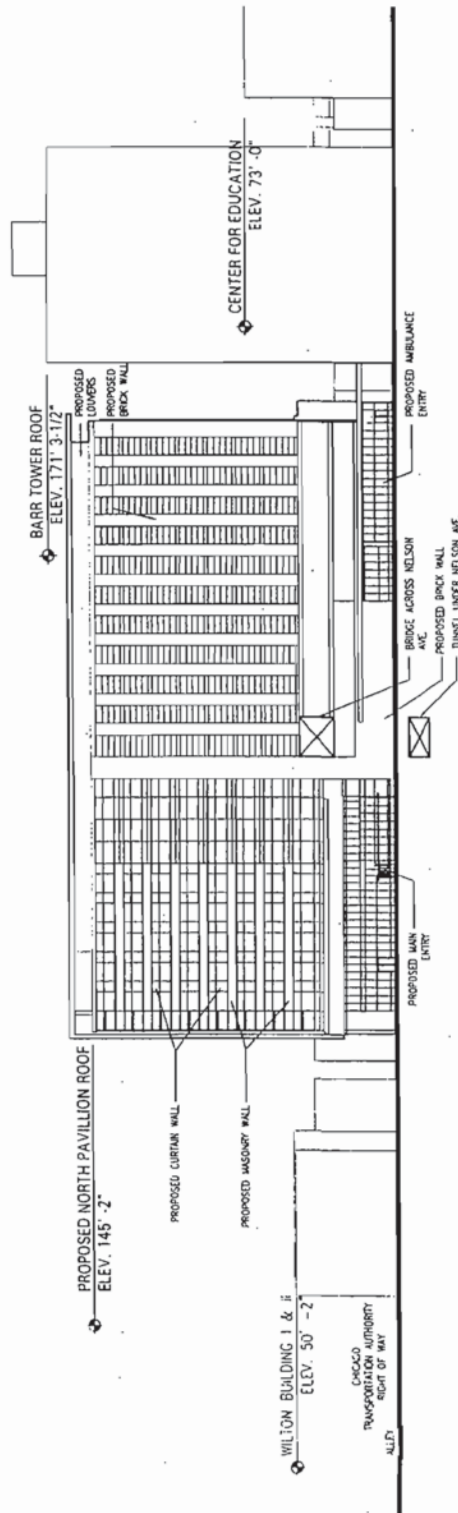
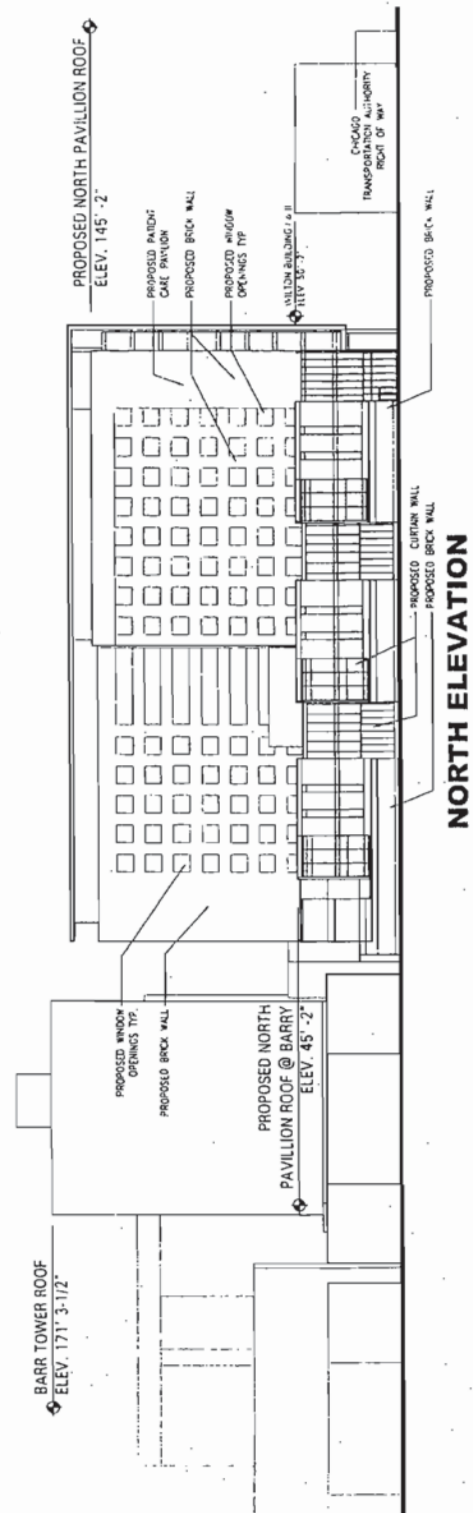
**LEGEND**

- — — — — PROPERTY LINE
- EXISTING STRUCTURES TO REMAIN
- PROPOSED DEVELOPMENT
- PROPOSED DEVELOPMENT ADDITION/EXPANSION OVER EXISTING
- SUB-AREA BOUNDARY LINE
- — — — — PROPOSED PLANNED FACILITY/ENTER BOUNDARY

0 25' 100' 25'



South/North Elevations.

**SOUTH ELEVATION****NORTH ELEVATION**

3/27/2002

REPORTS OF COMMITTEES

82615

West Wrightwood Avenue; a line 30 feet east of North Racine Avenue; the alley next south of and parallel to West Wrightwood Avenue or a line 124.5 feet south of West Wrightwood Avenue; and North Racine Avenue,

to those of an R4 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification Of Area Shown On Map Number 7-G.
(Application Number A-4849)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-2 Restricted Manufacturing District symbols and indications as shown on Map Number 7-G in the area bounded by:

a line 96 feet south of West Altgeld Street; North Greenview Avenue; a line 120 feet south of West Altgeld Street; and the alley next west of and parallel to North Greenview Avenue,

to those of an R4 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

*Reclassification Of Area Shown On Map Number 7-G.
(As Amended)*

(Application Number 13521)

IPD 50, as amended

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the current Institutional Planned Development Number 50, as amended, symbols and indications as shown on Map Number 7-G in the area bounded by:

West Nelson Street and the north side of vacated West Nelson Street; a line 281 feet west of North Dayton Street; a line 132 feet south of West Barry Avenue; the centerline of vacated North Dayton Street and North Dayton Street; a line 231 feet north of West Wellington Avenue; North Mildred Avenue; West Oakdale Avenue; a line 103 feet west of North Mildred Avenue; the alley south of West Wellington Avenue; and the Chicago Transit Authority right-of-way,

to those of Institutional Planned Development Number 50, as amended, which is hereby established in the area described above and subject to such use and bulk regulations as are set forth in the plan of development attached hereto and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Institutional Planned Development Number 50, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Institutional Planned Development Number 50, as amended (the "Planned Development") consists of approximately three hundred seventy-six thousand nine hundred eighteen (376,918) square feet (eight and sixty-five hundredths (8.65) acres) of property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property") and is owned or controlled by Advocate Northside Health Network (the "Applicant").
2. The Applicant shall obtain all necessary official reviews, approvals or permits. Any dedication or vacation of streets, alleys or easements or any adjustment of right-of-way shall require a separate submittal on behalf of the Applicant and approval by the City Council.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall

inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) is made or authorized by the Applicant or any similar property owner's association which is formed to succeed the Applicant.

4. This Plan of Development consists of seventeen (17) statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; a Generalized Land-Use Map all dated February 14, 2002; a Site Plan prepared by RTKL Associates Inc. and dated February 14, 2002; a Landscape Plan prepared by RTKL Associates Inc. and dated February 14, 2002, and Building Elevations prepared by RTKL Associates Inc. and dated February 14, 2002; Building Elevations and Site Plan prepared by Warman Olsen Warman Ltd. and dated May 13, 1993. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.
5. The property within the Planned Development is divided into two (2) Subareas (A and B) as indicated on the Planned Development Boundary and Property Line Map. Subject to the Bulk Regulations and Data Table, the following uses are permitted on the Property under this Planned Development:
 - Subarea A: Medical, dental and related uses, laboratories (clinical and research) research and educational facilities, housing for nurses, interns and residents, doctors' offices and off-street parking.
 - Subarea B: Accessory parking, professional offices and accessory uses.
6. Temporary signs such as construction and marketing signs shall be permitted subject to the review and approval of the Department of Planning and Development. Business identification signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development.

7. Off-street parking shall be provided in compliance with this Planned Development subject to the review and approval of the Departments of Transportation and Planning and Development.
8. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Departments of Transportation and Planning and Development.
9. In addition to the maximum heights of the buildings and any appurtenance attached thereto prescribed in this Planned Development, the height of any improvements shall also be subject to height limitations as approved by the Federal Aviation Administration.
10. The improvements on the Property, the landscaping along adjacent rights-of-way and all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site Plan, Landscape Plan and Building Elevations. A skybridge shall be permitted across North Dayton Street to connect the medical office building development with the existing medical center complex. In addition, a skybridge shall be permitted across West Wellington Avenue to connect the proposed parking garage with the existing parking deck.
11. For purposes of maximum Floor Area Ratio ("F.A.R.") calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from Floor Area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical equipment in excess of five thousand (5,000) square feet in a single location, regardless of placement in the building, shall be excluded.
12. Prior to issuance by the Department of a determination pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance ("Part II approval") for any development of Subarea A or Subarea B, for which Building Elevations and Site and Landscape Plans are not included in this Plan of Development. Plans for proposed development shall be submitted to the Department for Site/ Elevation Plan approval. Site Plan approval is intended to assure that specific development proposals conform with this Planned Development and to assist the City in monitoring ongoing development. Plans may be submitted for both or any part of the aforesaid subareas. No Part II approval for development within said subareas shall

be granted until an applicable Site Plan documents have been approved. If a Site Plan substantially conforms with the provisions of this Planned Development, the Department shall approve said Site Plan. Following approval of a Site Plan by the Department, the Site Plan shall be kept on permanent file with the Department and shall be deemed to be an integral part of this Planned Development. After approval of a Site Plan by the Department, the approved Site Plan may be changed or modified pursuant to the provisions of Statement Number 14 of this Planned Development. In the event of any inconsistency between an approved Site Plan and the terms of the Planned Development in effect at the time of approval of such Site Plan or of the modifications thereto, the terms of the Planned Development shall govern.

A Site Plan shall, at a minimum, provide the following information:

- (a) building elevations;
- (b) footprint of the improvements;
- (c) landscaping plan;
- (d) pedestrian and vehicular circulation;
- (e) preliminary cross-sections of the improvements; and
- (f) statistical information applicable to the applicable subarea including floor area and floor area ratio, uses to be established, building heights and setbacks.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of the Planned Development.

13. Within thirty (30) days of the issuance of a Certificate of Occupancy for the new garage located within Subarea A on the south side of West Wellington Avenue, the Applicant, its successors or assigns shall commence, and thereafter diligently pursue completion of, landscaping and fencing for the property located on the northwest corner of North Mildred Avenue and West Oakdale Avenue, currently used as a surface parking lot, subject to a Site Plan approved pursuant to Statement Number 12.
14. The terms, conditions and exhibits of this Planned Development ordinance may be modified administratively by the Commissioner of the Department of Planning and Development, upon the application for such a modification by the Applicant and after a determination by the

Commissioner of the Department of Planning and Development that such a modification is minor in nature, appropriate and consistent with the nature of the improvements contemplated in this Planned Development and the purposes underlying the provisions hereof. Any such modification of the requirements by the Commissioner of the Department of Planning and Development shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance.

15. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigeration and Air Conditioning Engineers and the Illuminating Engineering Society.
16. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvements on the property shall be reviewed and approved by the Mayor's Office of People with Disabilities ("M.O.P.D.") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility. No approvals shall be granted pursuant to Section 11.11-3(b) of the Chicago Zoning Ordinance until the Director of M.O.P.D. has approved detailed construction drawings for each building or improvement.
17. Unless substantial construction of the garage located within Subarea A on the south side of West Wellington Avenue contemplated by this Planned Development has commenced within six (6) years of the date of City Council approval of this Planned Development ordinance, then the zoning of the Property within Subarea A shall automatically revert to the former Institutional Planned Development Number 50, as amended.

[Existing Land-Use Map; Planned Development Boundary and Property Line Map; Existing Zoning Map; Generalized Land-Use Map; Proposed Parking Facility Site Plan; First Floor Plan and Landscape Plan; Proposed Parking Facility Elevation Drawings referred to in these Plan of Development Statements printed on pages 82622 through 82630 of this Journal.]

3/27/2002

REPORTS OF COMMITTEES

82621

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

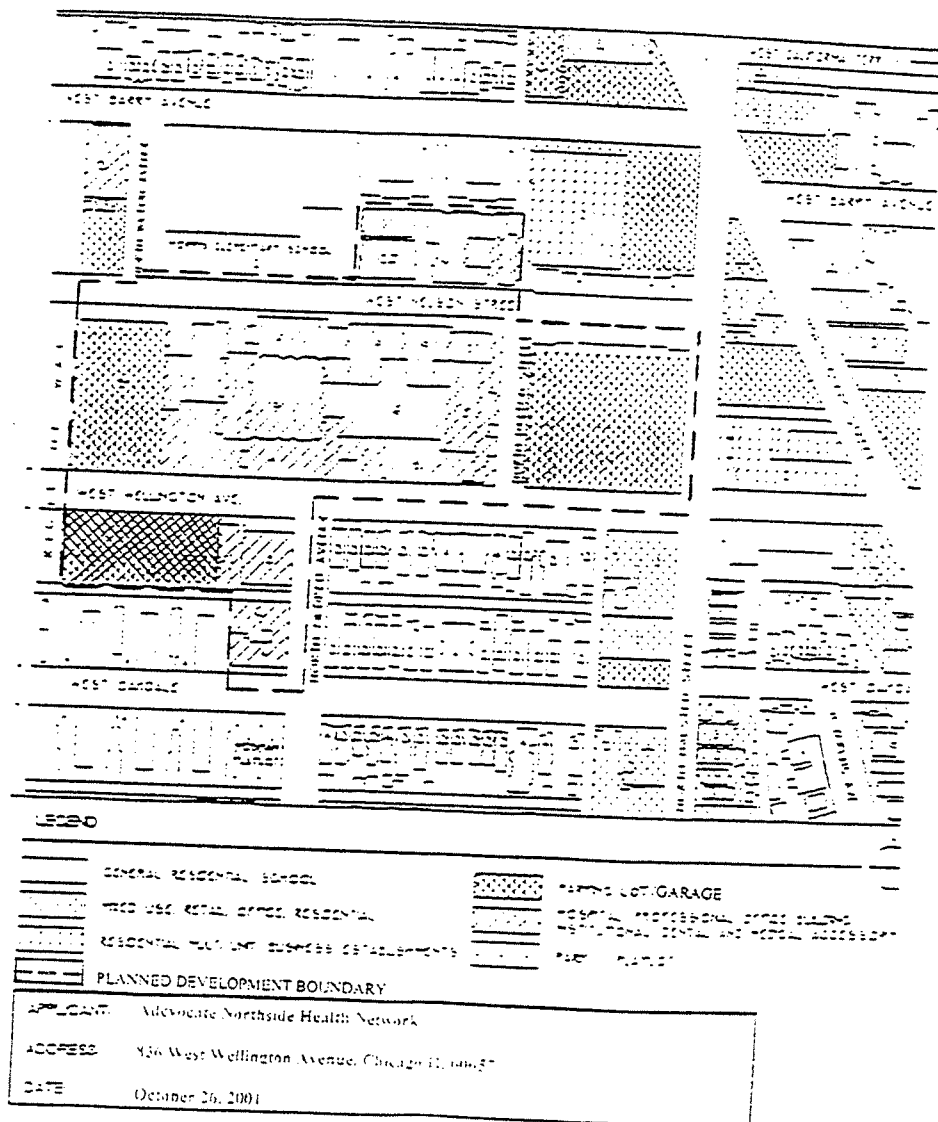
Institutional Planned Development Number 50, As Amended.

Plan Of Development

Bulk Regulations And Data Table.

	Subarea A	Subarea B	Total
Gross Site Area	413,384 square feet	89,196 square feet	502,580 square feet
Area in Right-of-Way	99,592 square feet	26,070 square feet	125,662 square feet
Net Site-Area	313,792 square feet	63,126 square feet	376,918 square feet
Maximum Floor Area Ratio	2.5	2.5	2.5
Maximum Site Coverage	55%	100%	--
Minimum Number of Off-Street Parking	618	Per Plans (420)	--
Maximum Number of Off-Street Parking	--	435	--
Minimum Periphery Setbacks	Boundary and Front: 3 feet	In accordance with attached plans	--
	Boundary and Side: 7 feet	In accordance attached plans	--

Existing Land-Use Map.



Revised: February 14, 2002

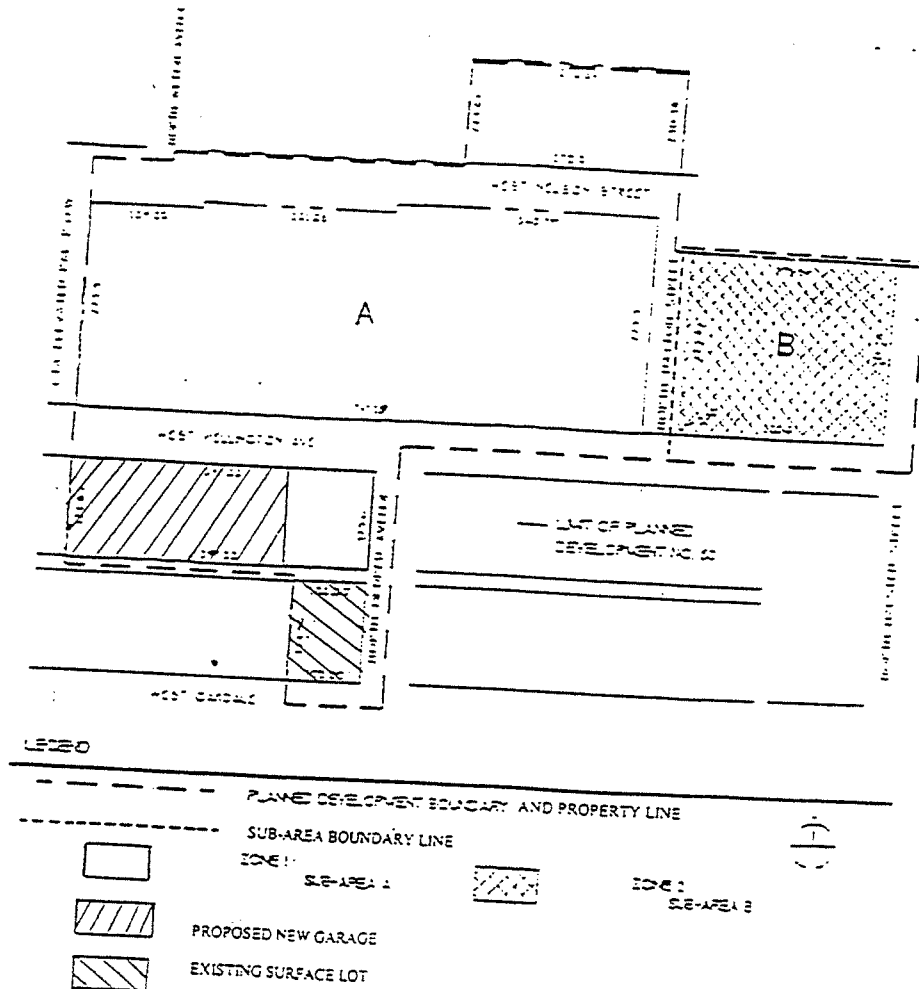
Institutional Planned Development No. 50, as amended

3/27/2002

REPORTS OF COMMITTEES

82623

Planned Development Boundary And Property Line Map.

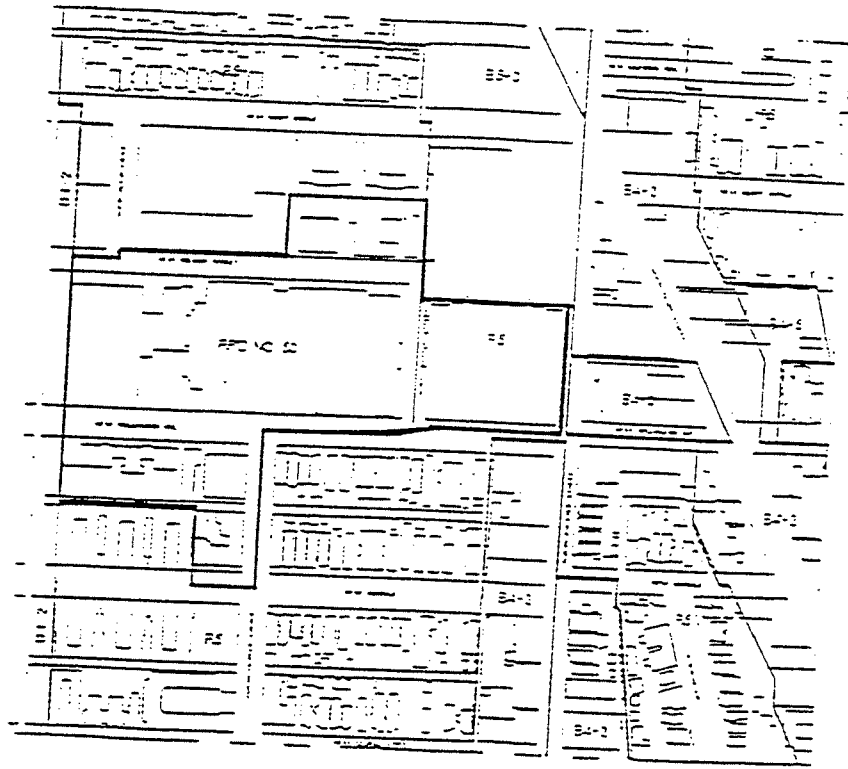


APPLICANT:	Advocate Northside Health Network
ADDRESS:	336 West Wellington Avenue, Chicago IL 60605
DATE:	October 26, 2001

Revised: February 14, 2002

Institutional Planned Development No. 50, as amended

Existing Zoning Map.



L5220

ZONING DISTRICT

INSTITUTIONAL PLANNED DEVELOPMENT
NO. 50, AS AMENDED

APPLICANT:	Advocate Northside Health Network
ADDRESS:	336 West Wellington Avenue, Chicago IL 60627
DATE:	October 26, 2001

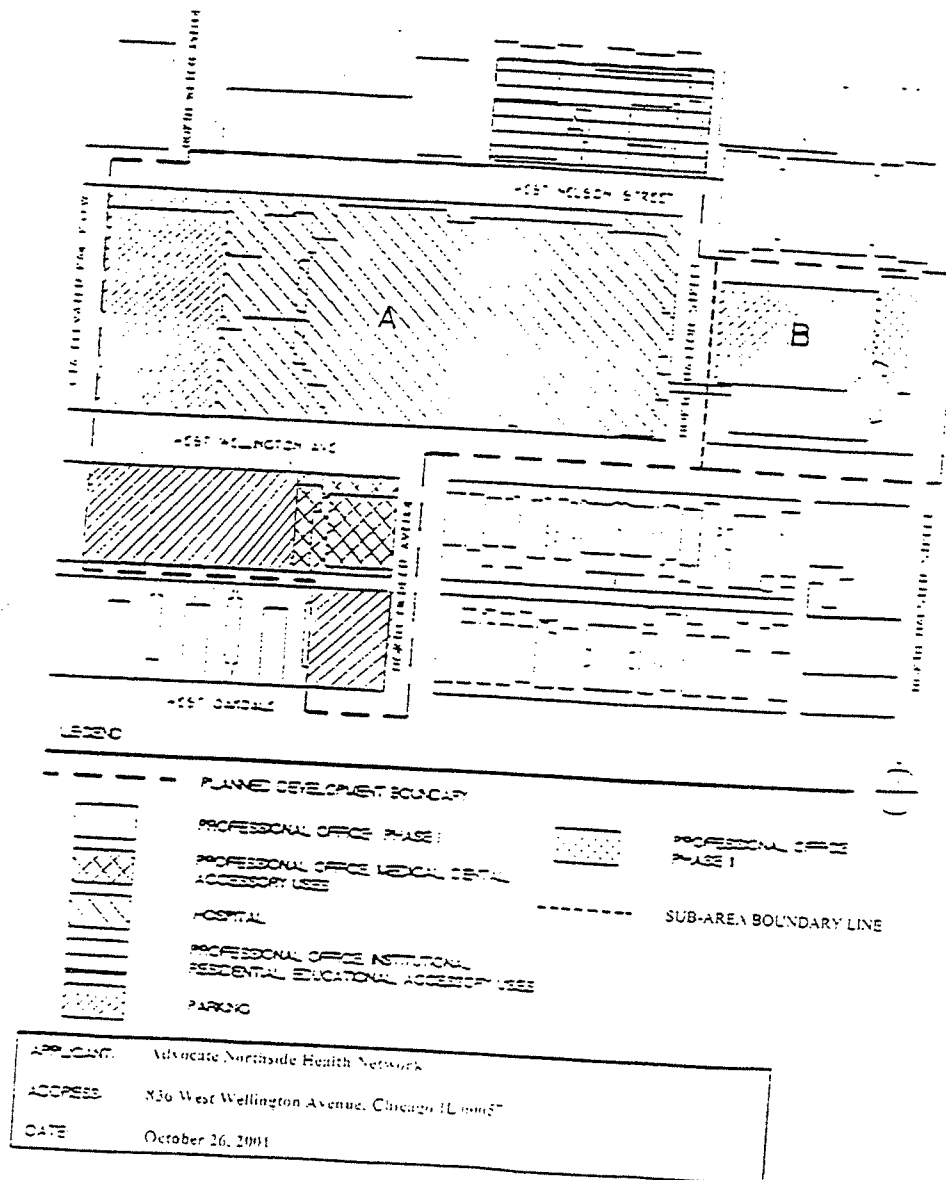
Revised: February 14, 2002
Institutional Planned Development No. 50, as amended

3/27/2002

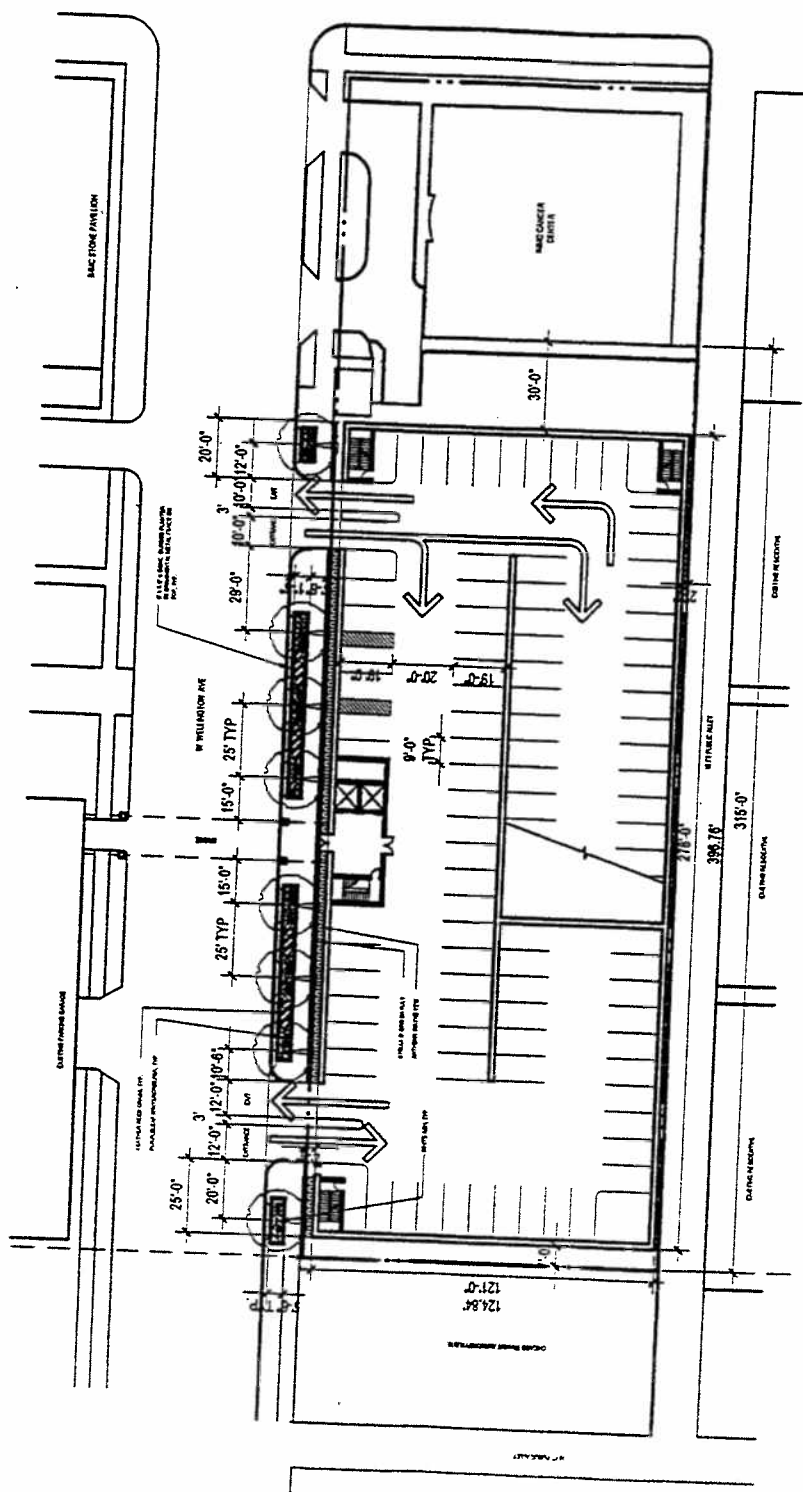
REPORTS OF COMMITTEES

82625

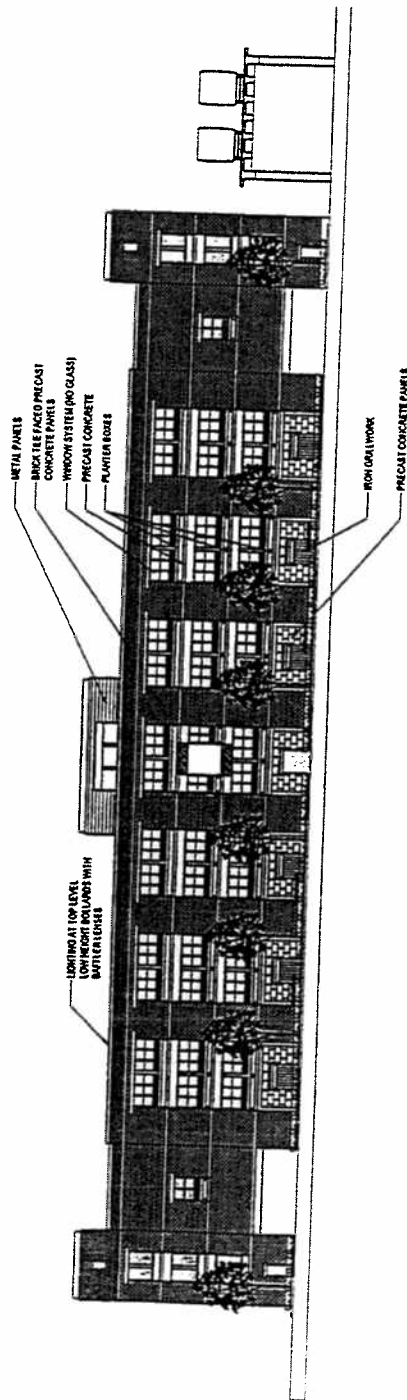
Generalized Land-Use Map.



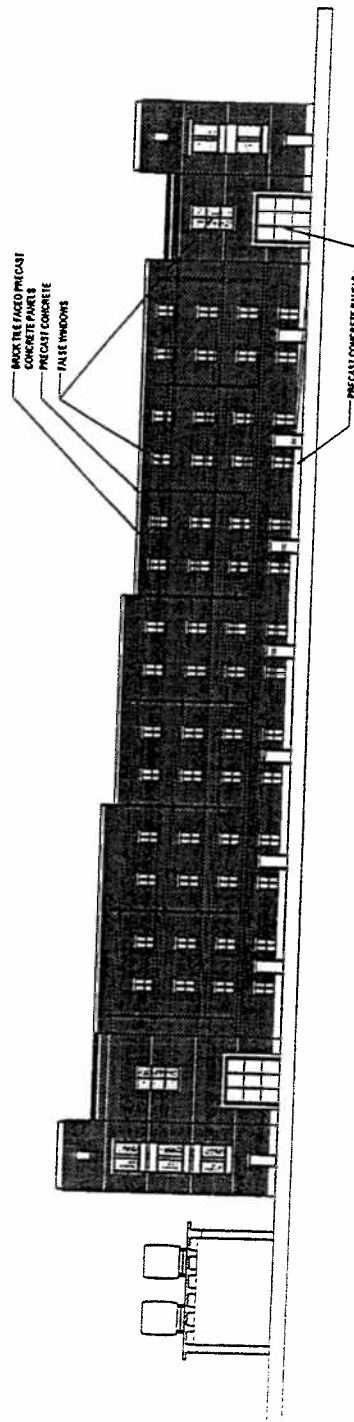
Proposed Parking Facility Site Plan, First
Floor Plan And Landscape Plan.



Proposed Parking Facility -- North
(Wellington) Elevation.



Proposed Parking Facility --
Alley Elevation.

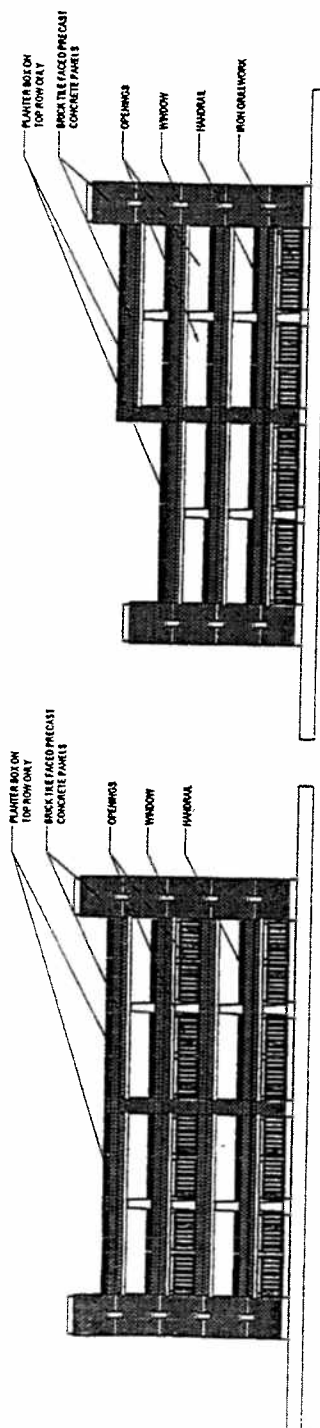


3/27/2002

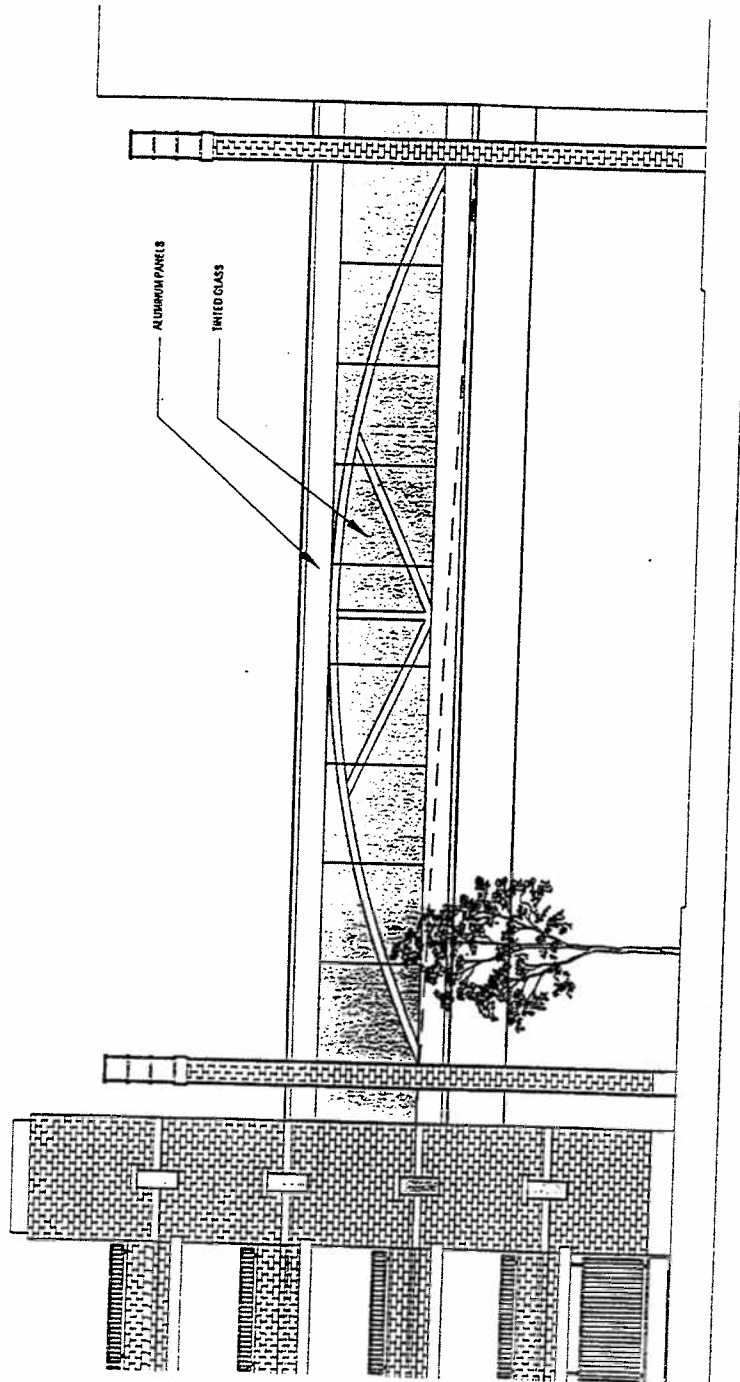
REPORTS OF COMMITTEES

82629

Proposed Parking Facility --
West And East Elevation.



Proposed Parking Facility --
East Elevation Skywalk.





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Christopher R. Hill
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4471 (Voice)
(312) 744-6550 (FAX)
(312) 744-2578 (TTY)

<http://www.ci.chi.il.us>

December 15, 1997

Mr. William E. Warman
Warman Olsen Warman Ltd.,
27 East Monroe Street
Chicago, Illinois 60603-5600

Re: Request for a minor change to Institutional
Planned Development No. 50; As Amended;
Subarea A (Illinois Masonic Medical Center)
Location: 814 West Nelson Street

Dear Mr. Warman:

The Department of Planning and Development has considered your request on behalf of the Applicant, for a minor change to Institutional Planned Development No. 50, as amended, Subarea A, and hereby approves your request pursuant to the authority granted by Section 11.11-3© of the Chicago Zoning Ordinance and Statement No. 12 of Institutional Planned Development No. 50, as amended.

Specifically, you requested a reduction in the minimum periphery setback requirement for the boundary and side yard along a portion of the Planned Development's eastern boundary that extends along the center of an existing concrete paved alley located north of vacated West Nelson Street. This modification will be necessary to allow for the construction of a four-story Education and Conference Center building addition on the east side of the existing four-story School of Nursing building. This proposed addition will be constructed upon the site of an existing four-story masonry building addition which will be demolished to allow for this new construction. This proposed addition will be located within Subarea A of the Planned Development area.

The Planned Development requires a minimum periphery building setback of eight (8) feet along the boundary and side yard. You requested a reduction in that requirement to permit a periphery side yard setback of two (2) feet at the southeast corner of the proposed addition for a distance of 13'-4," and a side yard setback of four (4) feet for the balance of the proposed addition which measures a distance of 74'-8".



The Department of Planning and Development has determined that since the proposed addition will be constructed essentially upon the same footprint as the existing building which is being demolished, that all of the building setbacks proposed for this new addition had been previously established. Thus, the Department of Planning and Development has determined that this modification will not alter the existing character of this development nor have any adverse impact on the surrounding area.

With regard to your request, the Department of Planning and Development has determined that the modification would constitute a minor change pursuant to Section 11.11-3 © of the Chicago Zoning Ordinance and Statement No. 12 of Institutional Planned Development No. 50, as amended.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Institutional Planned Development No. 50, as amended, I hereby approve the foregoing minor change, but no other changes to Institutional Planned Development No. 50, as amended.

Very truly yours,



Christopher R. Hill
Commissioner

Originated by:



Christine Slattery
Deputy Commissioner

cc: Christine Slattery
Philip Levin
Michael Marmo
Paul Woznicki

CHICAGO, June 23, 1993.

To the President and Members of the City Council:

Reporting for your Committee on Zoning, for which a meeting was held on June 22, 1993, I beg leave to recommend that Your Honorable Body pass various ordinances transmitted herewith to amend the Chicago Zoning Ordinance for the purpose of reclassifying the particular areas.

I beg leave to recommend the passage of two ordinances which were corrected and amended in their corrected form. They are Application Numbers TAD-066 and 11060.

At this time, I move that this entire report pass immediately because time is of the essence.

Respectfully submitted,

(Signed) WILLIAM J. P. BANKS,
Chairman.

On motion of Alderman Banks, the said proposed ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Mazola, Haithcock, Tillman, Preckwinkle, Bloom, Steele, Beavers, Dixon, Shaw, Buchanan, Huels, Fary, Burke, Jones, Coleman, Murphy, Rugai, Troutman, Evans, Munoz, Laski, Miller, Ocasio, Watson, E. Smith, Burrell, Bialczak, Gabinski, Mell, Austin, Wojcik, Banks, Giles, Allen, Laurino, O'Connor, Doherty, Natarus, Eisendrath, Hansen, Levar, Shiller, Schulter, M. Smith, Moore, Stone -- 46.

Nays -- None.

Alderman Beavers moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R5 General Residence District symbols and indications to those of a B4-3 Restricted Service District as shown on Map No. 7-G in the area bounded by:

PD
50

West Dayton Street; North Halsted Street; West Wellington Avenue;
and a line 231 feet north of West Wellington Avenue,

then all the B4-3 Restricted Service District and Residential Planned
Development No. 50, as amended, bounded by:

West Nelson Street and north side of vacated West Nelson Street; a line
281 feet west of North Dayton Street; a line 132 feet south of West Barry
Avenue; the center line of vacated North Dayton Street and North
Dayton Street; a line 231 feet north of West Wellington Avenue; North
Mildred Avenue; West Oakdale Avenue; a line 103 feet west of North
Mildred Avenue; the alley south of West Wellington Avenue; and the
Chicago Transit Authority right-of-way,

to the designation Institutional Planned Development No. 50, as amended,
which is hereby established in the area above described, subject to such use
and bulk regulations as are set forth in the Plan of Development herewith
attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its
passage and publication.

Plan of Development attached to this ordinance reads as follows:

11060

Institutional Planned Development Number 50, As Amended.

Plan Of Development Statements.

1. The area delineated herein as "Institutional Planned Development
No. 50, as amended" excluding public right-of-ways is owned or
controlled by Illinois Masonic Medical Center (I.M.M.C.) and its
subsidiaries.
2. I.M.M.C., its successors or assignees shall obtain all required official
reviews, approvals or permits in connection with this Planned
Development.
3. The requirements, obligations and conditions contained within this
Planned Development shall be binding upon the Applicant, its
successors and assigns and, if different than the Applicant, the legal
title holders and any ground lessors. All rights granted hereunder to

the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder of any ground lessors. Furthermore, pursuant to the requirements of Section 11.11-1 the Chicago Zoning Ordinance, the Property, at the time applications for amendments modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all owners of the Property and any ground lessors. Nothing herein shall be construed to mean that any individual owner, or any ground lessors, of the Property or any portion thereof is relieved of obligations imposed hereunder or rights granted herein or is not subject to City action pursuant to this Planned Development. In addition, nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interest or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights herein, except any assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness, and solely with respect to the portion of the Property so transferred, the term Applicant shall be deemed amended to apply to the transferee thereof (and its beneficiaries if such transferee is a land trust) and the seller or transferor thereof (and its beneficiaries if such seller or transferor is a land trust) shall thereafter be released from any and all obligations or liability hereunder.

4. This Plan of Development consists of fifteen (15) Statements, a Table of Use and Bulk Regulations and Data; an Existing Land Use Area Map; a Property Line and Right-of-way Adjustment Map; an Existing Zoning and Street System Map; a Generalized Land Use Plan; a Phase I and Phase II Site Plan; a Phase I and Phase II Landscape Plan; Subarea B Elevations for Phase I of Proposed Buildings and Parking Structures; Subarea B Elevations for Phase II of Proposed Buildings and Parking Structures as prepared by "Warman Olsen Warman Ltd." dated May 13, 1993. Landscape plans for Subarea A are per the Chicago Landscape Ordinance. Full size sets of plans are on file with the Department of Planning and Development. The Planned Development is applicable to the area delineated hereto and these and no other controls shall apply. The Institutional Planned Development No. 50, as amended, conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof, and satisfies the established criteria for approval as a planned development.

5. The following uses in Subarea A shall be permitted: as delineated herein; medical, dental and related uses, laboratories (clinical and research) research and educational facilities, housing for nurses, interns and residents (Subarea A only), doctors' offices and off-street parking.
6. Identification signs shall be permitted within the Institutional Planned Development No. 50, as amended, subject to the review and approval of the Commissioner of the Department of Planning and Development. Temporary signs, such as construction and marketing signs shall be permitted, subject to the review and approval of the Commissioner of the Department of Planning and Development.
7. Any dedication or vacation of streets or alleys, or easements, or adjustment of right-of-way, or consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the Applicant or its successors, assignees, or grantees.
8. Any service drives or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Streets and Sanitation in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago, to provide ingress and egress for motor vehicles including emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Department of Transportation, Bureau of Traffic Engineering and Operations and of the Commissioner of the Department of Planning and Development.
9. Height restriction of any building or any appurtenance thereto shall, in addition to the Table of Use and Bulk Regulations, be subject to:
 - a. Height limitations as certified on form FAA-117 or successor forms involved in the same subject matter and approved by the Federal Aviation Administration; and
 - b. Airport zoning regulations as established by the Department of Planning and Development, Department of Aviation, and Department of Law, and approved by the City Council; and
 - c. In addition, Subarea B height limitations are restricted by those indicated Elevations of Phase I and II Buildings and Parking Structure.
10. For purpose of maximum Floor Area Ratio (F.A.R.) calculations, the definitions in the Chicago Zoning Ordinance shall apply; provided, however, that in addition to the other exclusions from

Floor Area for purposes of determining F.A.R. permitted by the Chicago Zoning Ordinance, all floor area devoted to mechanical equipment rooms in excess of 5,000 square feet, in a single location, regardless of placement in the building, shall be excluded.

11. The improvements in the Property, including all entrances and exits to the parking areas, shall be designed and installed in general conformance with the Site/Landscape Plan and Elevation Plans, dated May 13, 1993, prepared by "Warman Olsen Warman Ltd.". In addition, landscaping (including street trees in the adjacent right-of-way) shall be installed and maintained in accordance with the parkway tree provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines. A single skybridge shall be permitted across Dayton Street to connect the proposed development with the existing medical center complex. The skybridge shall be constructed with minimum clearance in conformance with the Department of Transportation and the Department of Building regulations.
12. The terms, conditions and exhibits of this Planned Development Ordinance may be modified administratively by the Commissioner of the Department of Planning and Development upon the request of the Applicant and after a determination by the Commissioner that such a modification is minor, appropriate, consistent with the nature of the development of the Property contemplated in this Planned Development Ordinance and will not result in increasing the maximum floor area ratio for the total Property Net Site Area established by this Planned Development Ordinance.

Any such modification shall be deemed to be a minor change in the Planned Development Ordinance as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. Notwithstanding the provisions of subclauses (4) and (5) of Section 11.11-3(c) of the Chicago Zoning Ordinance, such minor changes may include a reduction in the minimum required distance between structures, a reduction in periphery setbacks or an increase of the maximum percent of land covered.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located with this Planned Development in an energy efficient manner, generally consistent with most current energy efficiency standards published by the American

Society of Heating, Refrigerating and Air-Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S."). Copies of these standards may be obtained from the Department of Planning and Development.

14. Construction is expected to be undertaken in two phases:

- A. Phase I: The eight-story office building along Wellington Street, the corner tower element, the five-story parking structure, the plaza at the Halsted-Wellington corner, the site improvements and landscaping, the connection skybridge and the vehicular turnaround off Halsted Street. The east facade of the parking structure will have finished materials in accordance with plans submitted by Warman Olsen Warman Ltd..
- B. Phase II: An eight-story structure along Halsted Street. The building will create a covered turnaround at grade level. The facade materials will be similar to that of Phase I.

15. Unless substantial construction of Phase I has commenced within five (5) years following adoption for this Planned Development, and unless completion is thereafter diligently pursued, then this Planned Development shall expire; provided, however, that if the City Council amends the Chicago Zoning Ordinance to provide for a shorter expiration period which is applicable to all Planned Developments, then this Planned Development shall expire upon the expiration of such shorter time period as provided by said Amendatory Ordinance (the first day of which as applied to this Institutional Planned Development No. 50, as amended, shall be the effective date of the Amendatory Ordinance). If this Institutional Planned Development No. 50, as amended, expires under the provisions of this section, then the zoning of Subarea B shall automatically revert to that of B4-3 Restricted Service Business District.

If substantial construction of Phase II has not commenced within ten (10) years following adoption of this Planned Development, then the Commissioner may recommend that the Planned Development provisions pertaining to Phase II be reviewed by the Chicago Plan Commission and the City Council in the manner prescribed for planned development amendments in Title 17 of the Municipal Code.

[Existing Land Use Area Map, Property Line and Right-of-Way Adjustment Map, Existing Zoning and Street System Map, Generalized Land Use Plan, Phase I and Phase II Site Plans, Phase I and Phase II Landscape Plans, Phase I Building Elevations and Parking Structures and Phase II Building Elevations attached to this Plan of Development printed on pages 34574 through 34587 of this Journal.]

Use and Bulk Regulations and Data attached to this Plan of Development reads as follows:

*Institutional Planned Development Number 50, As Amended
Use And Bulk Regulations And Data.*

	Subarea A	Subarea B	Total
Net Site Area	313,792 square feet	63,126 square feet	376,918
Generalized Description	See Statement 5	See Statement 5	----
Maximum Floor Area Ratio	2.5	2.5	2.5
Maximum Site Coverage	45%	Per Plans	----
Minimum Number of Off-Street Parking	618	Per Plans (420)	----
Maximum Number of Off-Street Parking		435	----
Minimum Periphery Setbacks	Boundary and Front: 15 feet	In accordance with approved plans	----
	Boundary and Side: 8 feet	In accordance with approved plans	----

	Subarea A	Subarea B	Total
Minimum Distance Between Buildings	Patient rooms: 24 Feet End and Face Walls: 24 feet	In accordance with approved plans	----
Maximum Permitted Building Height		Per Elevations	

CHICAGO ZONING ORDINANCE AMENDED TO RECLASSIFY PARTICULAR AREAS.

The Committee on Zoning submitted the following report:

CHICAGO, June 23, 1993.

To the President and Members of the City Council:

Reporting for your Committee on Zoning, for which a meeting was held on June 10, 1993, I beg leave to recommend that Your Honorable Body pass various ordinances transmitted herewith to amend the Chicago Zoning Ordinance for the purpose of reclassifying the particular areas.

I beg leave to recommend the passage of five ordinances which were corrected and amended in their corrected form. They are Application Numbers 11099, 11087, A3074, 11044 and 11035.

Application Number 11088 failed to meet the committee's approval and was voted "do not pass".

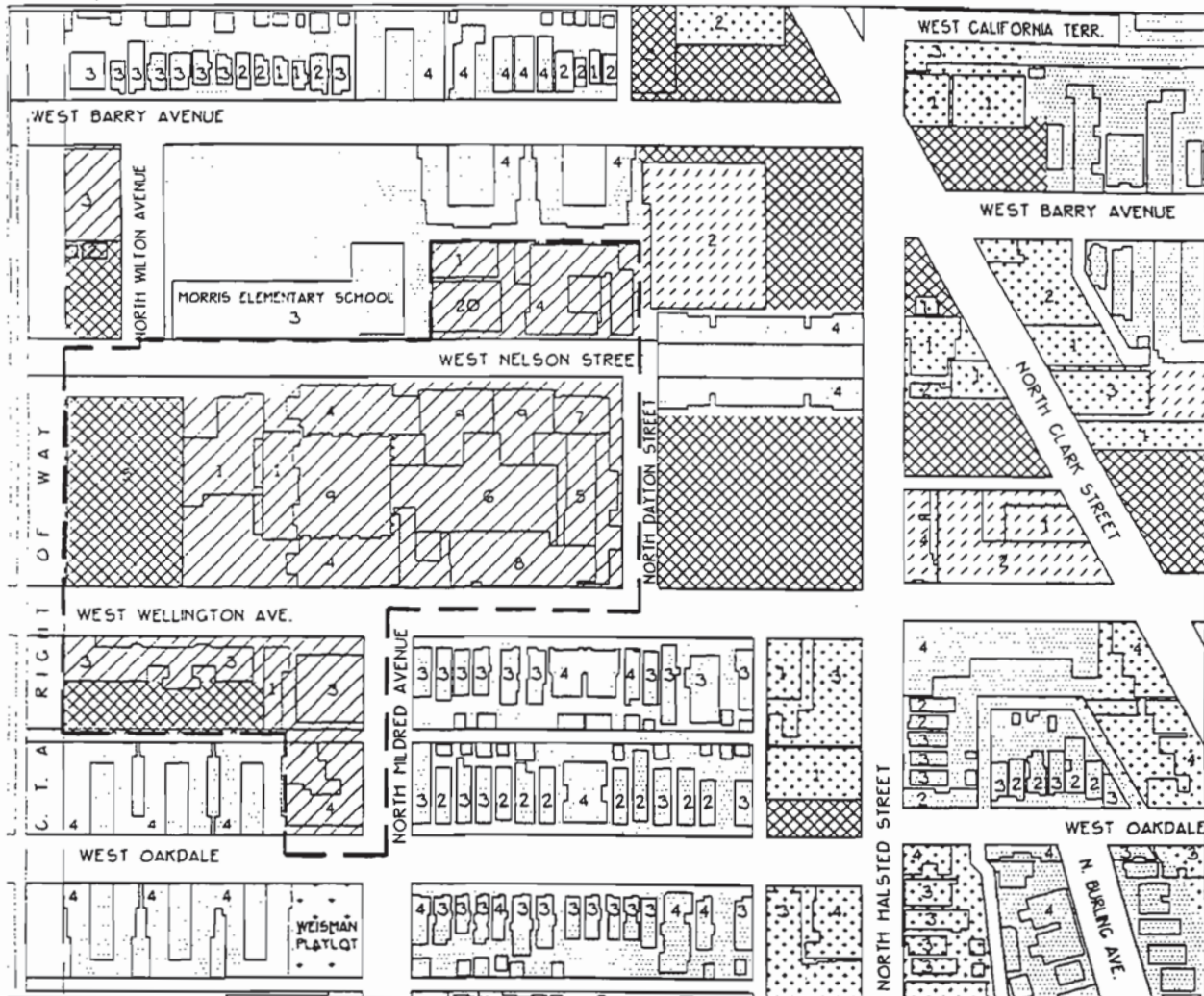
I also beg leave to recommend the passage of one exception for 2500 West 69th Street.

At this time, I, along with Alderman Ed Smith, move that this report and the mayoral reappointment of Leon Finney be deferred and published with

(Continued on page 34588)

Institutional Planned Development No. 50, As Amended.

Existing Land Use Area Map.



LEGEND

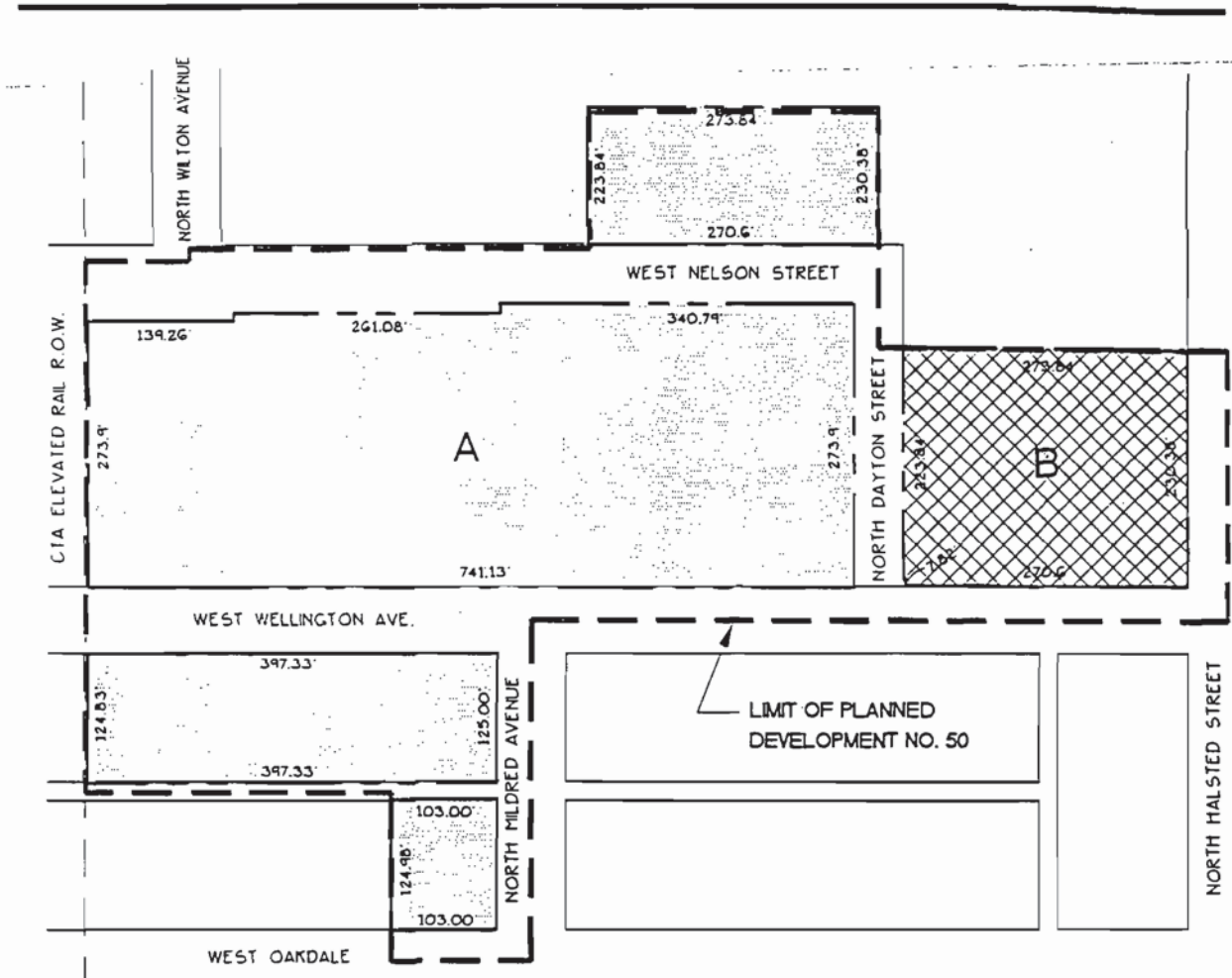
	GENERAL RESIDENTIAL. SCHOOL		PARKING LOT
	MIXED USE. RETAIL. OFFICE. RESIDENTIAL		HOSPITAL. PROFESSIONAL OFFICE BUILDING INSTITUTIONAL. DENTAL AND MEDICAL ACCESSORY
	RESIDENTIAL MULTI UNIT. BUSINESS ESTABLISHMENTS		PARK / PLAYLOT





APPLICANT: ILLINOIS MASONIC MEDICAL CENTER
 ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657
 DATE: 5/13/93

**WARMAN
OLSEN
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LTD**
 ARCHITECTURE
PLANNING
INTERIOR DESIGN

Institutional Planned Development No. 50, As Amended.
Property Line And Right-Of-Way Adjustment Map.



LEGEND

- PLANNED DEVELOPMENT BOUNDARY
- #--- PROPERTY LINES DIMENSIONED IN FEET
-  ZONE 1:
EXISTING SUB-AREA A
-  ZONE 2:
NEW SUB-AREA B

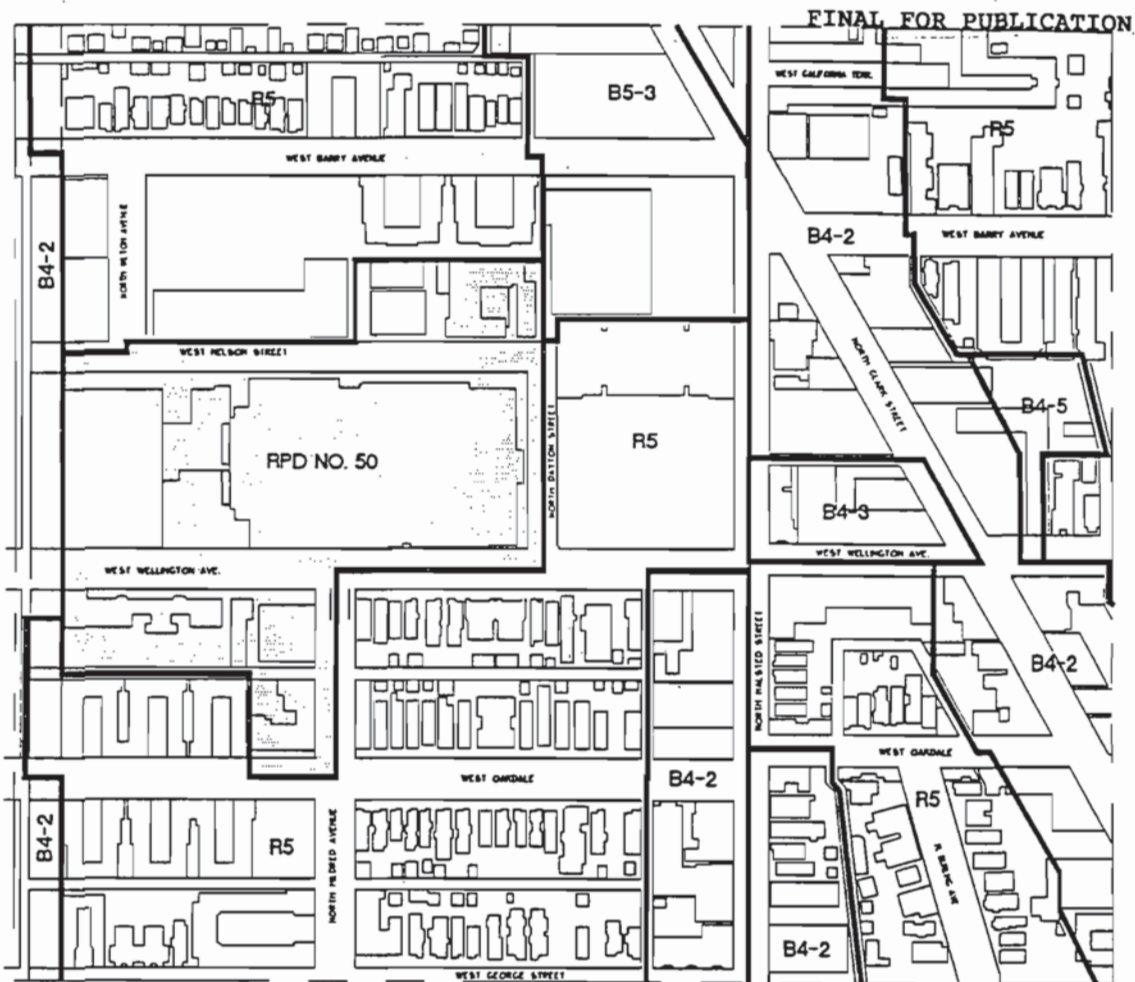


APPLICANT: ILLINOIS MASONIC MEDICAL CENTER
 ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657
 DATE: 5/13/93

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PLANNING
INTERIOR DESIGN

Institutional Planned Development No. 50, As Amended.

Existing Zoning And Street System Map.



LEGEND

ZONING DISTRICT

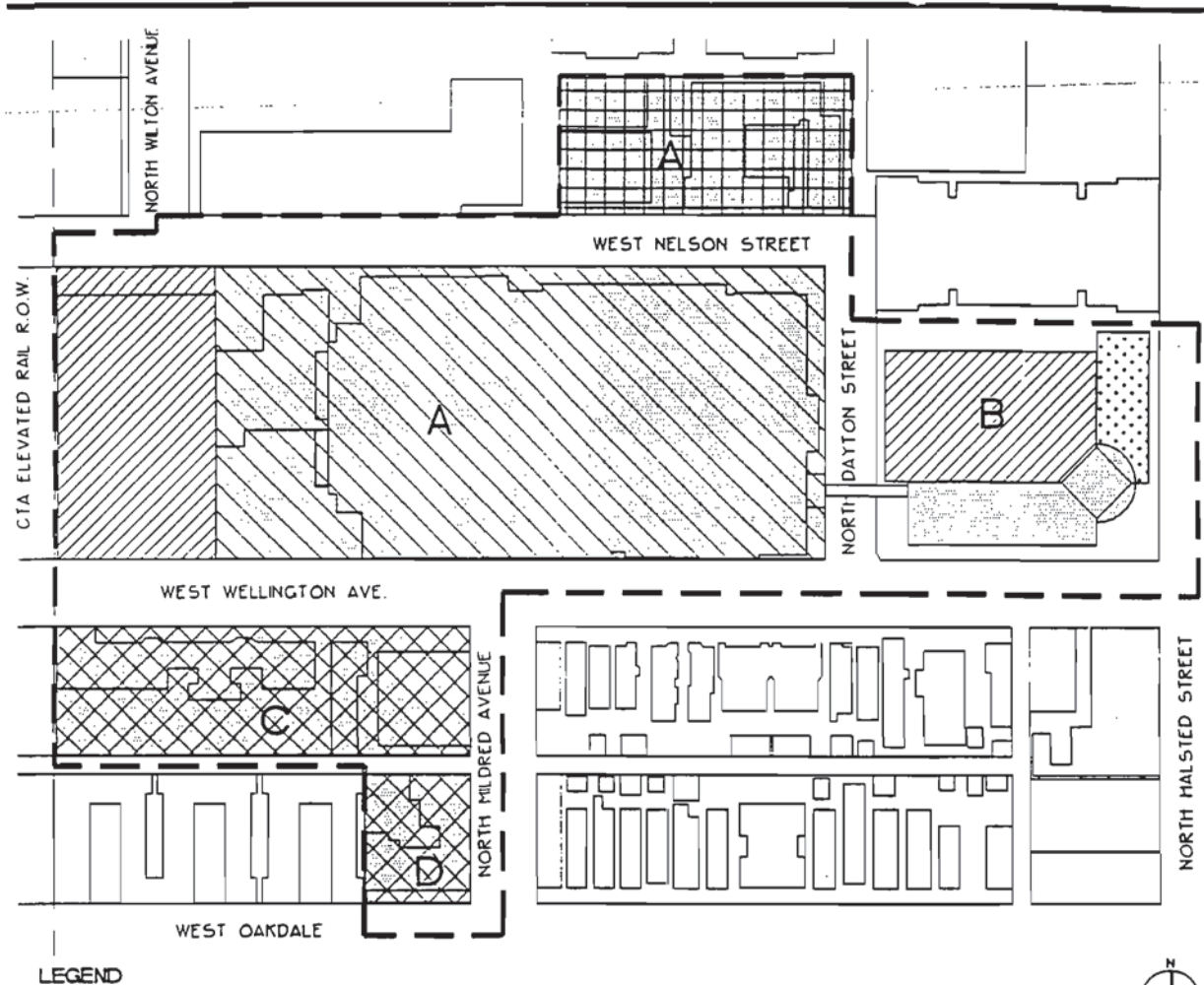
RESIDENTIAL PLANNED DEVELOPMENT
NO. 50, AS AMENDED

APPLICANT: ILLINOIS MASONIC MEDICAL CENTER
ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657
DATE: 5/13/93

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Institutional Planned Development No. 50, As Amended.

Generalized Land-Use Plan.



LEGEND

--- PLANNED DEVELOPMENT BOUNDARY



PROFESSIONAL OFFICE: PHASE I

PROFESSIONAL OFFICE
PHASE IIPROFESSIONAL OFFICE, MEDICAL, DENTAL,
ACCESSORY USES

HOSPITAL

PROFESSIONAL OFFICE, INSTITUTIONAL
RESIDENTIAL, EDUCATIONAL, ACCESSORY USES

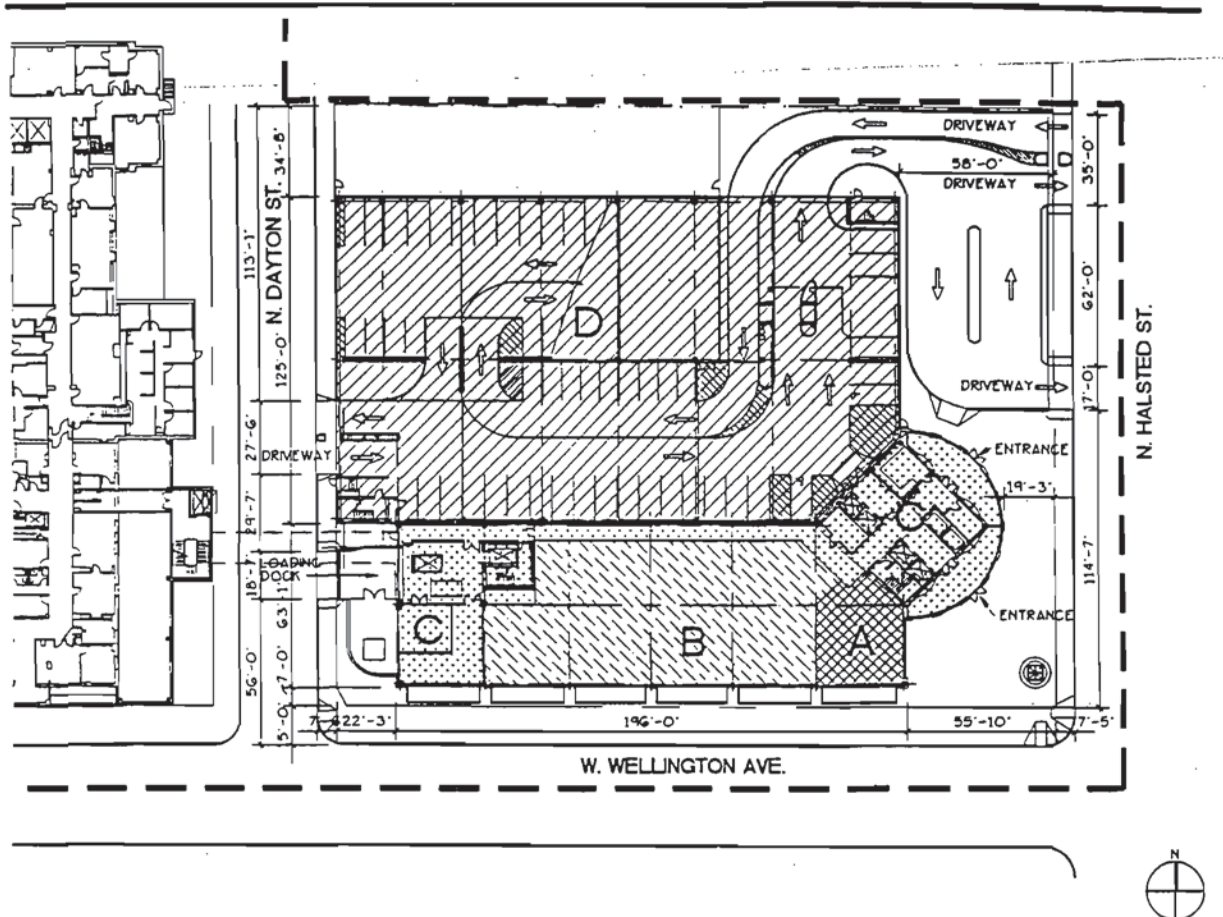
PARKING

APPLICANT: ILLINOIS MASONIC MEDICAL CENTER
 ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657
 DATE: 5/13/93

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 INTERIOR DESIGN

Institutional Planned Development No. 50, As Amended.

Site Plan -- Phase I.



LEGEND

--- PLANNED DEVELOPMENT BOUNDARY



PHARMACY



PROFESSIONAL OFFICE



BUILDING SUPPORT



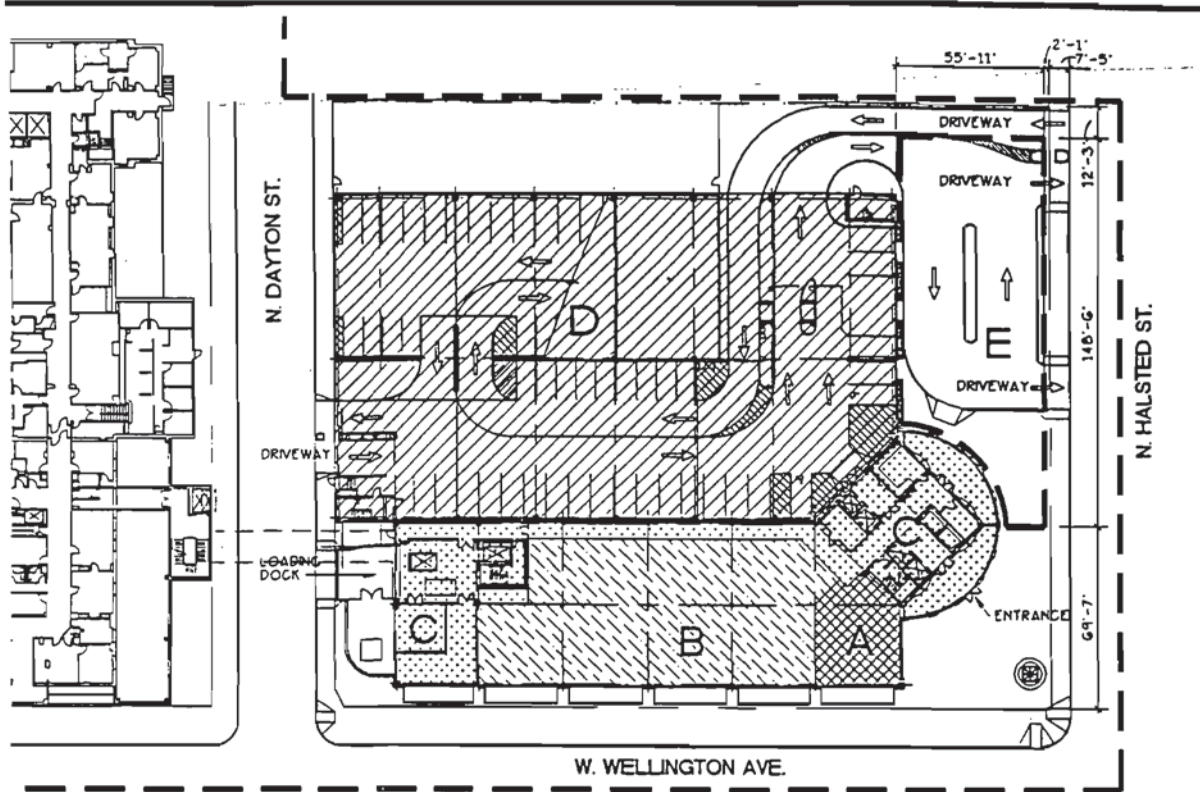
PARKING AREA

APPLICANT: ILLINOIS MASONIC MEDICAL CENTER
ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657
DATE: 5/13/93

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INTERIOR DESIGN

Institutional Planned Development No. 50, As Amended.

Site Plan -- Phase II.



LEGEND

--- PLANNED DEVELOPMENT BOUNDARY



PHARMACY



PHASE II SEVEN STORY BUILDING
(COMPATIBLE USAGE) ABOVE



PROFESSIONAL OFFICE



BUILDING SUPPORT



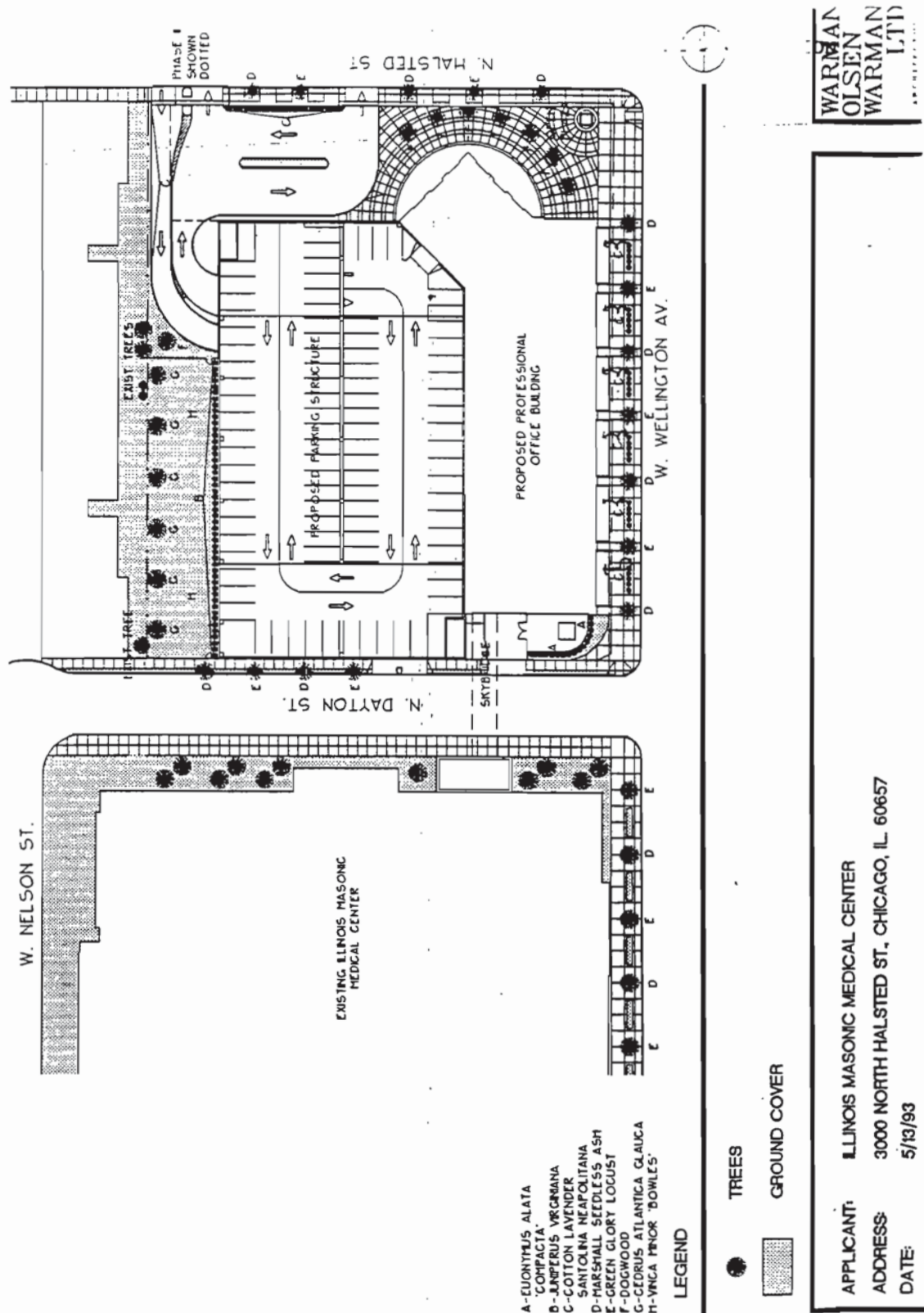
PARKING AREA

APPLICANT: ILLINOIS MASONIC MEDICAL CENTER
ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657
DATE: 5/13/93

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INTERIOR DESIGN

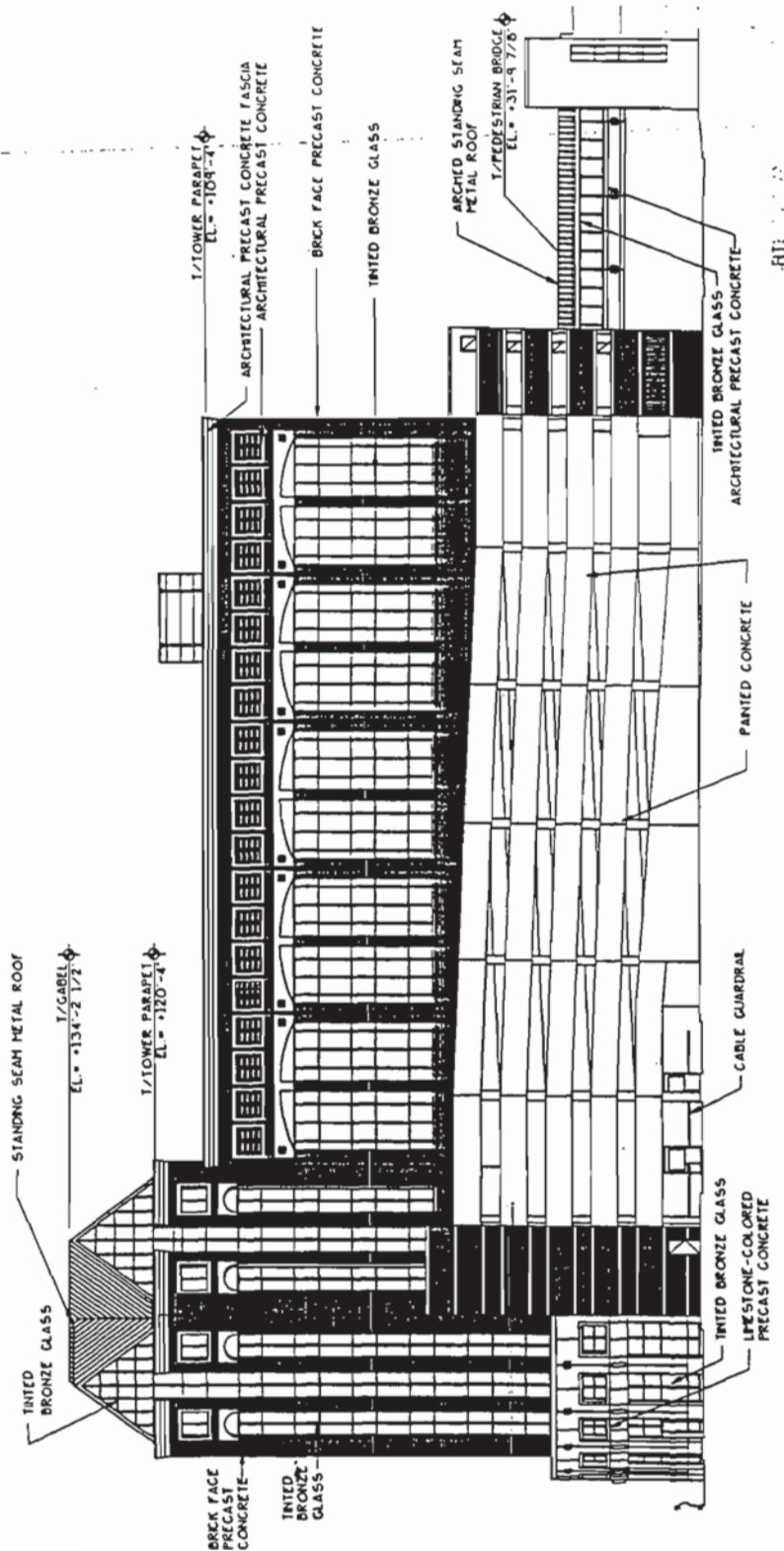
Institutional Planned Development No. 50, As Amended.

Landscape Plan -- Phase II.



Institutional Planned Development No. 50, As Amended.

North Elevation -- Phase I.



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ARCHITECTS
100 N. LAUREL ST.
CHICAGO, ILL. 60602

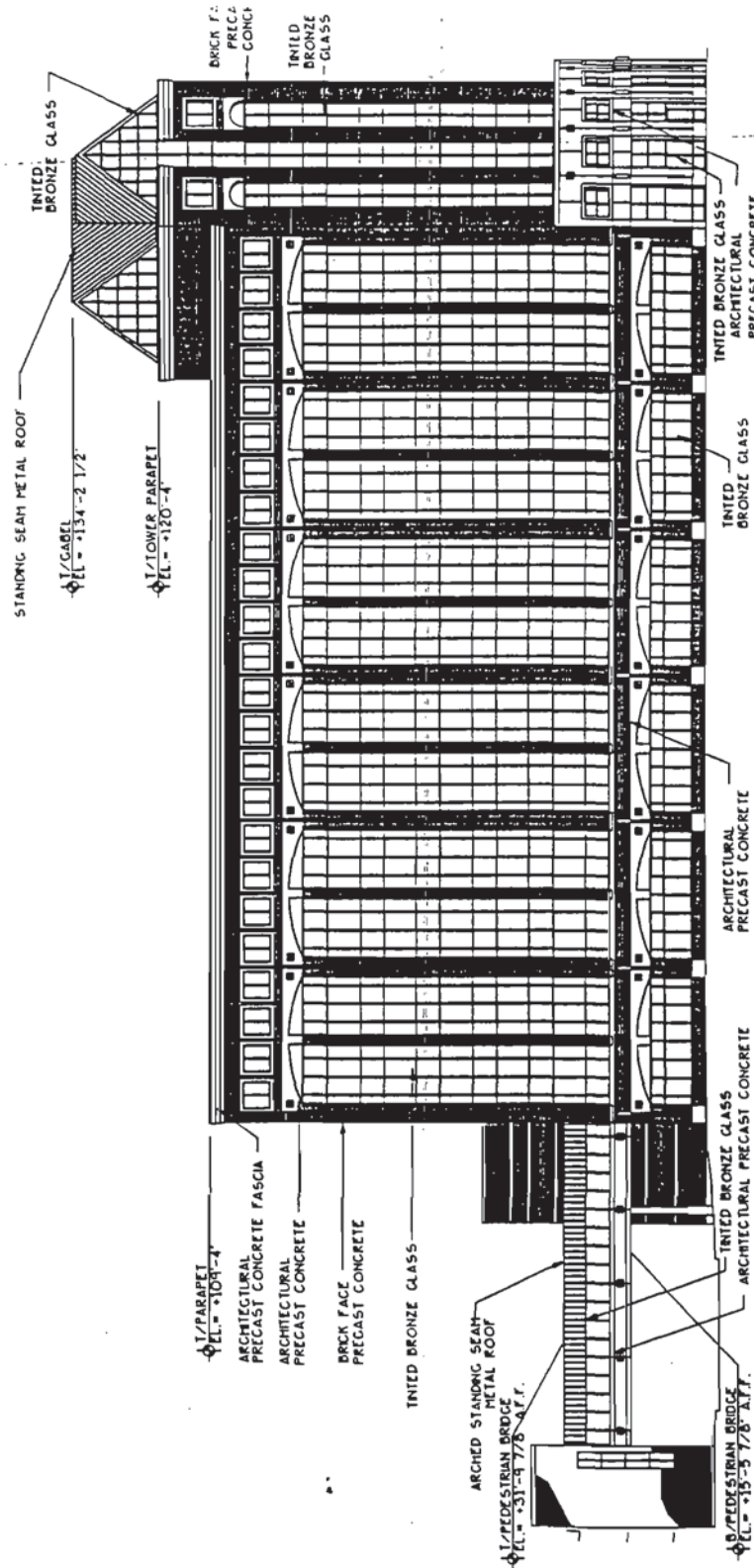
APPLICANT: ILLINOIS MASONIC MEDICAL CENTER

ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657

DATE: 5/13/93

Institutional Planned Development No. 50, As Amended.

South Elevation -- Phase I.



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PLANNING
INTERIOR DESIGN**

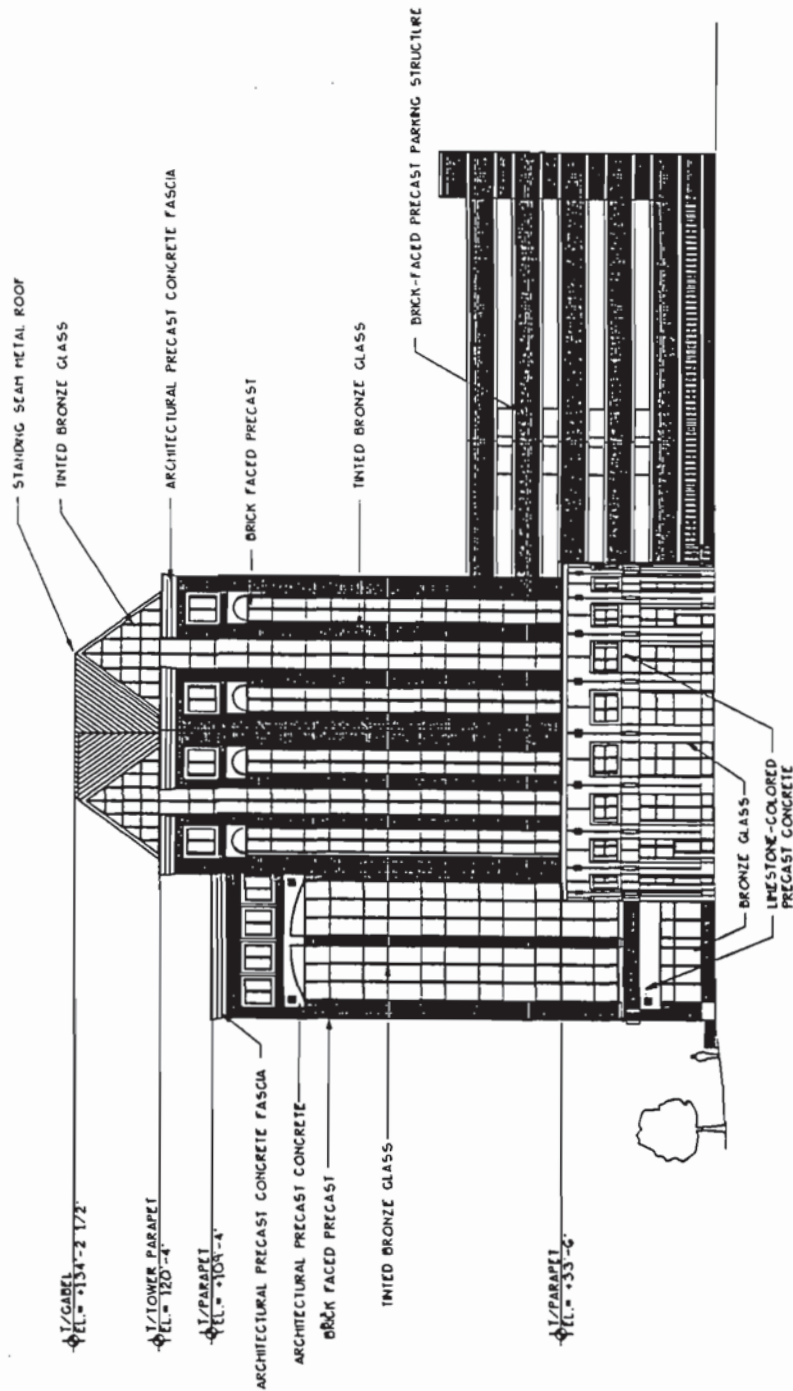
APPLICANT: ILLINOIS MASONIC MEDICAL CENTER

ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL. 60657

DATE: 5/13/93

Institutional Planned Development No. 50, As Amended.

East Elevation -- Phase I.



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1000 N. LAKE ST.
CHICAGO, ILL. 60611

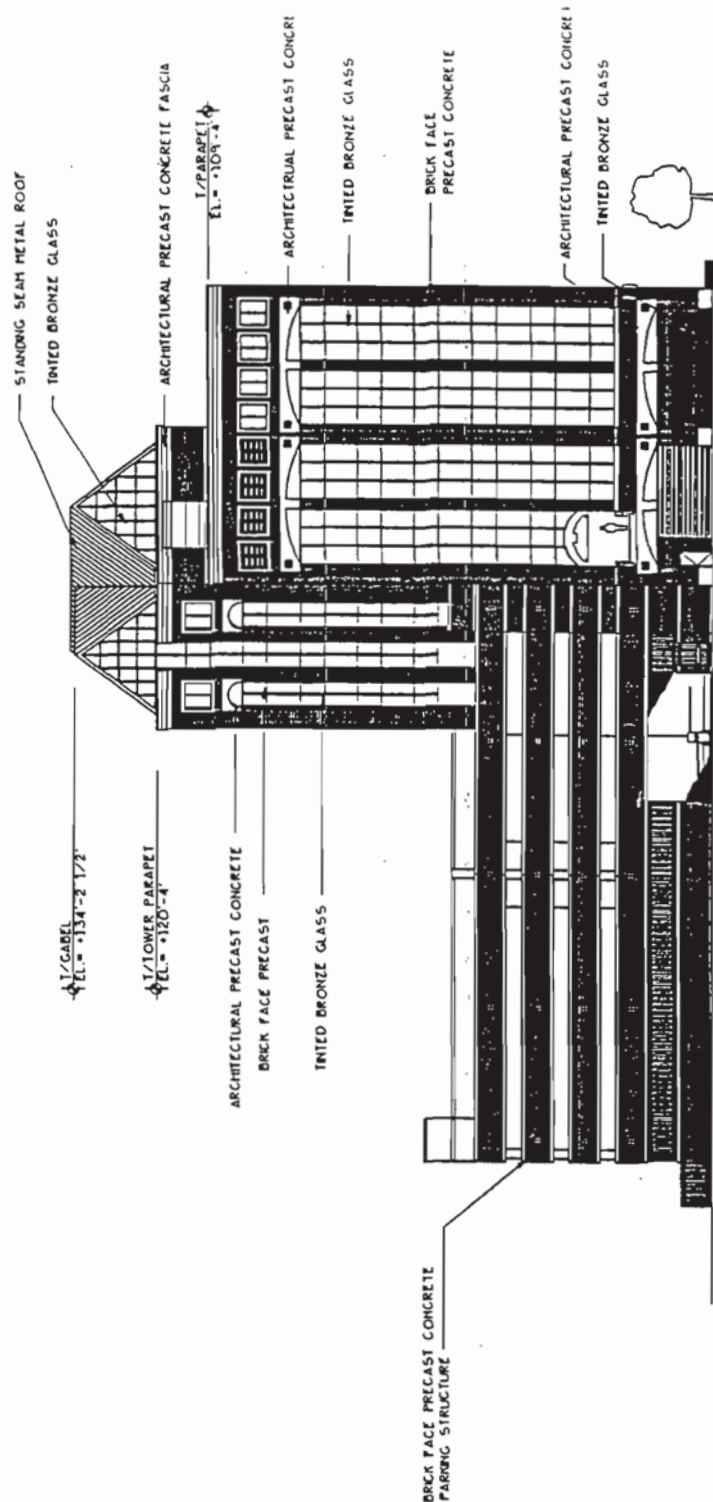
APPLICANT: ILLINOIS MASONIC MEDICAL CENTER

ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657

DATE: 5/13/93

Institutional Planned Development No. 50, As Amended.

West Elevation -- Phase I.



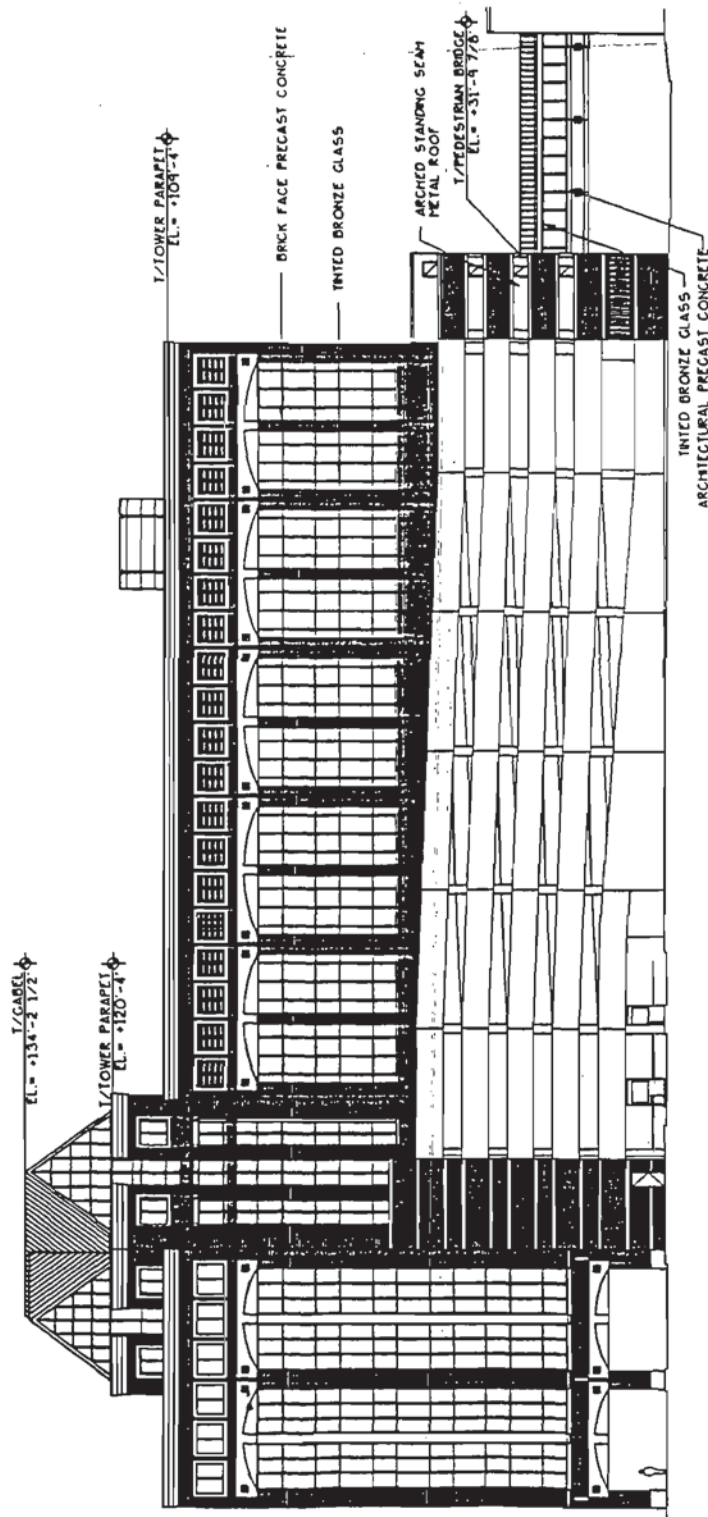
APPLICANT: ILLINOIS MASONIC MEDICAL CENTER

ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657

DATE: 5/13/93

Institutional Planned Development No. 50, As Amended.

North Elevation -- Phase II.



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1100 N. LA SALLE ST.
CHICAGO, ILL. 60610

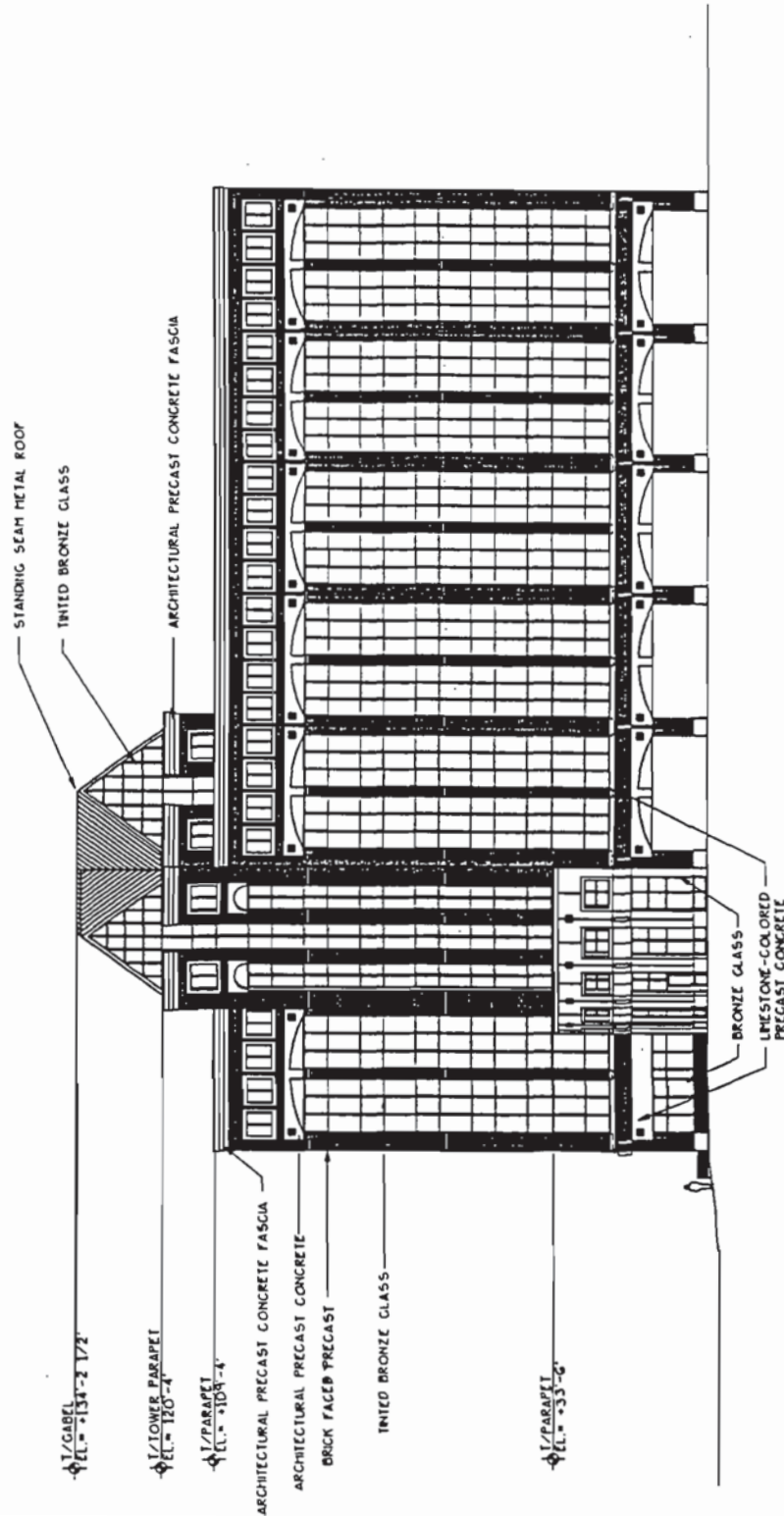
APPLICANT: ILLINOIS MASONIC MEDICAL CENTER

ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, ILL. 60657

DATE: 5/13/93

Institutional Planned Development No. 50, As Amended.

East Elevation -- Phase II.



WARMAN
OLSEN
WARMAN
LTD
ARCHITECTS
CHICAGO, ILLINOIS

APPLICANT: ILLINOIS MASONIC MEDICAL CENTER

ADDRESS: 3000 NORTH HALSTED ST., CHICAGO, IL 60657

DATE: 5/13/93



City of Chicago
Richard M. Daley, Mayor

Department of Planning

David R. Mosena
Commissioner

Charles Thurow
First Deputy Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4471

January 22, 1990

Mr. Graham C. Grady
Zoning Administrator
Department of Zoning
Room 800 - City Hall
Chicago, Illinois 60602

Dear Mr. Grady:

Re: Interim Stage Part II Submittal
Planned Development No. 50, As Amended
Illinois Masonic Hospital
Proposal: Proposed Substance Abuse
Center Addition
Location: 919 West Wellington Avenue

The attached Part II Submittal, reviewed by the Department of Planning in accordance with the "Rules, Regulations and Procedures in Relation to Planned Development Amendments", proposes the construction of an elevator and stairs to the north of the existing building for vertical and handicap accessibility, and also, a new stair tower to the south of the existing structure. Both additions are three stories in height.

The figures presented to this Department by the applicant state that the proposed additions will contain 540 square feet of ground area and contain a total of 1,620 square feet of total area. These figures have been verified by calculations made in this Department from the architectural drawings presented to us. When added to the 762,365 square feet of total area and 139,308 square feet of ground coverage existing, these figures become 763,567 square feet of total area contained in structures with 139,848 square feet of ground coverage. When translated they result in a 2.43 Floor Area Ratio with a 45% of ground coverage for the entire Planned Development. As approved the Plan of Development permits a Floor Area Ratio of 2.5 with a 45% of ground coverage. No additional parking is being provided over the existing 680 spaces which presently exists in accord with the Plan of Development.




Mr. Graham C. Grady
Page 2

A reduction in the required setback is requested on West Wellington Street from 15 feet to a 0 foot setback for the purpose of constructing a structure containing handicapped elevator and stairway. The Plan of Development permits setbacks to be adjusted when necessary for technical reasons. The necessity of handicapped access satisfies this standard and such structure would not be inconsistent with the purpose or intent of the Planned Development as originally approved. Accordingly, we find that to the extent necessary to accommodate the aforesaid structure, construction within the north 15 feet of the property (South of Wellington) would be in compliance with the Planned Development.

This Interim Stage Part II Submittal for Planned Development No. 50, as amended, for the erection of (2) two, 3-story additions containing stairs for vertical accessibility, as described herein, is hereby approved as conforming to the Plan of Development (Part I) as approved by the Chicago City Council on November 17, 1969.

It is recommended that this submittal be attached to your file for Institutional Planned Development No. 50, as amended (Amendment No. 8093).

Very truly yours,


David R. Mosena
Commissioner

to those of a C1-2 Restricted Commercial District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 3-F.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R4 General Residence District symbols and indications as shown on Map No. 3-F in the area bounded by

N. Clybourn Avenue; a line from a point 223.31 feet southeast of N. Ogden Avenue along the southwest line of N. Clybourn Avenue, to a point 117.12 feet southwest of N. Clybourn Avenue and 251.57 feet north of W. Evergreen Avenue; and a line from a point 117.12 feet southwest of N. Clybourn Avenue and 251.57 feet north of W. Evergreen Avenue, to a point 105.92 feet southeast of N. Ogden Avenue along the southwest line of N. Clybourn Avenue,

to those of a Residential Planned Development, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 3-F.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Residential Planned Development symbols and indications as shown on Map No. 3-F in the area bounded by

the south line of W. Schiller Street, or the line thereof if extended where no street exists; a line from a point 169.62 feet southeast of N. Ogden Avenue along the south line of W. Schiller Street, or the line thereof if extended where no street exists, to a point 117.12 feet southwest of N. Clybourn Avenue and 251.57 feet north of W. Evergreen Avenue; a line from a point 117.12 feet southwest of N. Clybourn Avenue and 251.57 feet north of W. Evergreen Avenue to a point 370 feet east of N. Ogden Avenue along the north line of W. Evergreen Avenue; W. Evergreen Avenue; and a line 142.52 feet southeast of N. Ogden Avenue,

to those of an R4 General Residence District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 7-G.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Planned Development and R5 General Residence District symbols and indications as shown on Map No. 7-G in the area bounded by

a line 132 feet north of W. Nelson Street, or the line thereof if extended where no street exists; the center line of N. Dayton Street, or the line thereof if extended where no street exists; W. Wellington Avenue; N. Mildred Avenue; W. Oakdale Avenue; a line 103 feet west of N. Mil-

dred Avenue; the alley next south of and parallel to W. Wellington Avenue; the east line of the right of way of the Chicago Transit Authority; a line 319.9 feet north of W. Wellington Avenue; N. Wilton Avenue; W. Nelson Street, or the line thereof if extended where no street exists; and a line 281 feet west of the center line of N. Dayton Street, or the line thereof if extended where no street exists,

to the designation of a Residential Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Plan of Development attached to this ordinance printed on pages 6427-6431 of this Journal]

Reclassification of Area Shown on Map No. 8-H.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R3 General Residence District symbols and indications as shown on Map No. 8-H in the area bounded by

the northwest line of the right of way of the Alton Railroad; S. Damen Avenue; and W. 34th Street,

to those of an M1-2 Restricted Manufacturing District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 12-K.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-1 Restricted Manufacturing District symbols and indications as shown on Map No. 12-K in the area bounded by

a line 150 feet south of W. 53rd Street; S. Kilbourn Avenue; the alley next south of and parallel to W. 53rd Street; and the alley next west of and parallel to S. Kilbourn Avenue,

to those of an R3 General Residence District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 13-M.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R3 General Residence District symbols and indications as shown on Map No. 13-M in the area bounded by

W. Ainslie Street; N. Central Avenue; W. Gunnison Street; and the alley next west of and parallel to N. Central Avenue,

to those of a B4-1 Restricted Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

PO 508

PLAN OF DEVELOPMENT
RESIDENTIAL PLANNED DEVELOPMENT, AS AMENDED
(INSTITUTIONAL)

STATEMENTS

1. The area delineated hereon as a "Residential Planned Development as Amended" is owned and controlled by Illinois Masonic Medical Center.
2. Off-Street parking and loading facilities will be provided in compliance with this Plan of Development as authorized by the R5 General Residence District of the Chicago Zoning Ordinance.
3. Any dedication of streets or alleys or adjustments of the rights of way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of Illinois Masonic Medical Center and approval by the City Council.
4. All applicable official reviews, approvals or permits are required to be obtained by the Illinois Masonic Medical Center.
5. Service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking permitted within such paved areas.

Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of Chicago to provide ingress and egress for emergency vehicles; there shall be no parking within such paved areas. The pavement width of fire lane located within the right-of-way of heretofore vacated Nelson Street shall be a minimum of 24 feet.

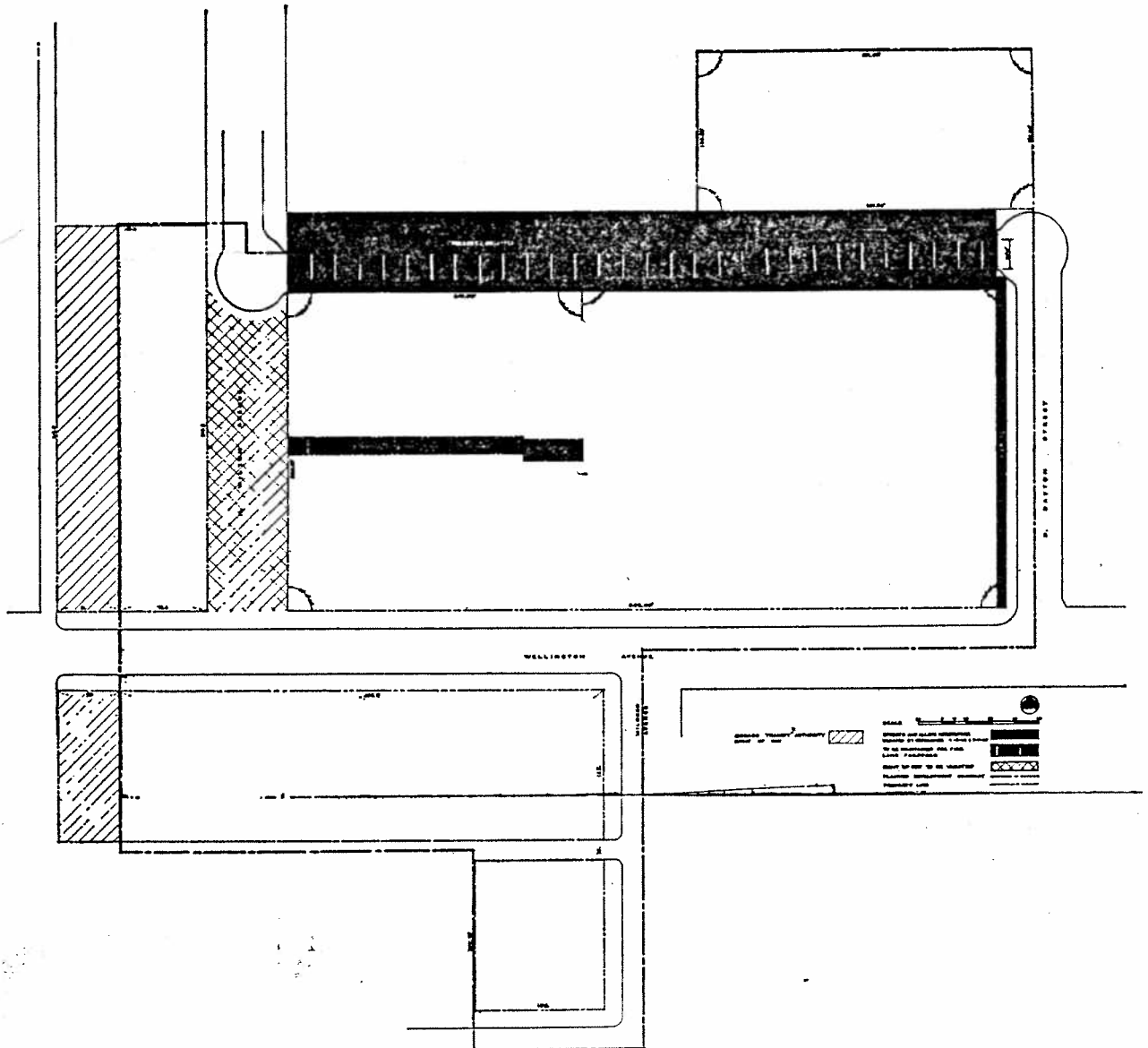
6. Use of land will consist of research, medical, housing, and related uses as authorized by the Chicago Zoning Ordinance.

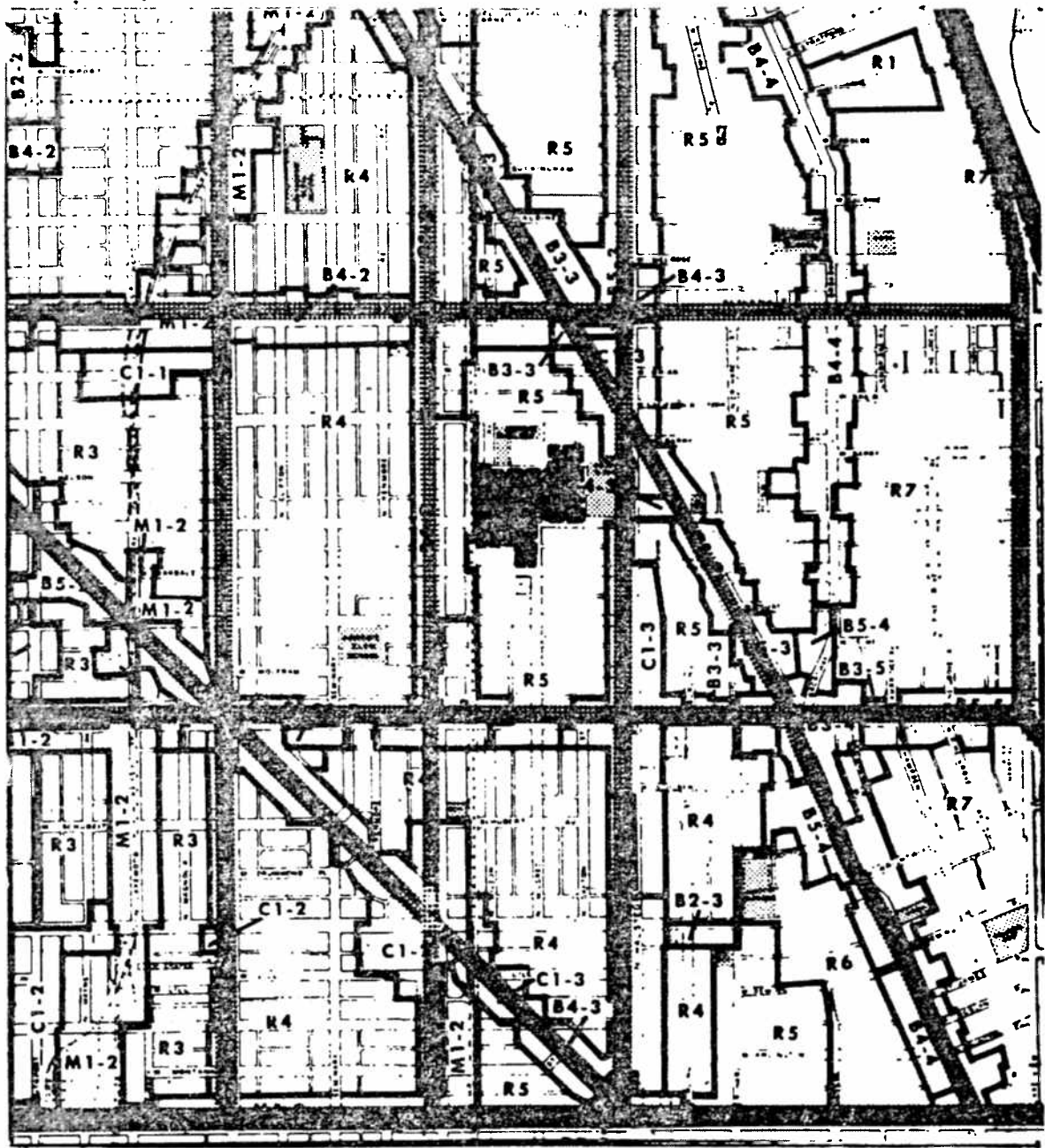
Laboratories or research facilities contained therein shall be governed by performance standards as authorized under the M1 zoning district of the Chicago Zoning Ordinance.

7. The following information sets forth data concerning the property included in said planned development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to a R5 General Residence District classification and with regulations hereby made applicable thereto.
8. The Plan or Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as adopted by the Commissioner of Development and Planning.

APPLICANT: Illinois Masonic Medical Center

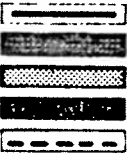
DATE: September 17, 1969





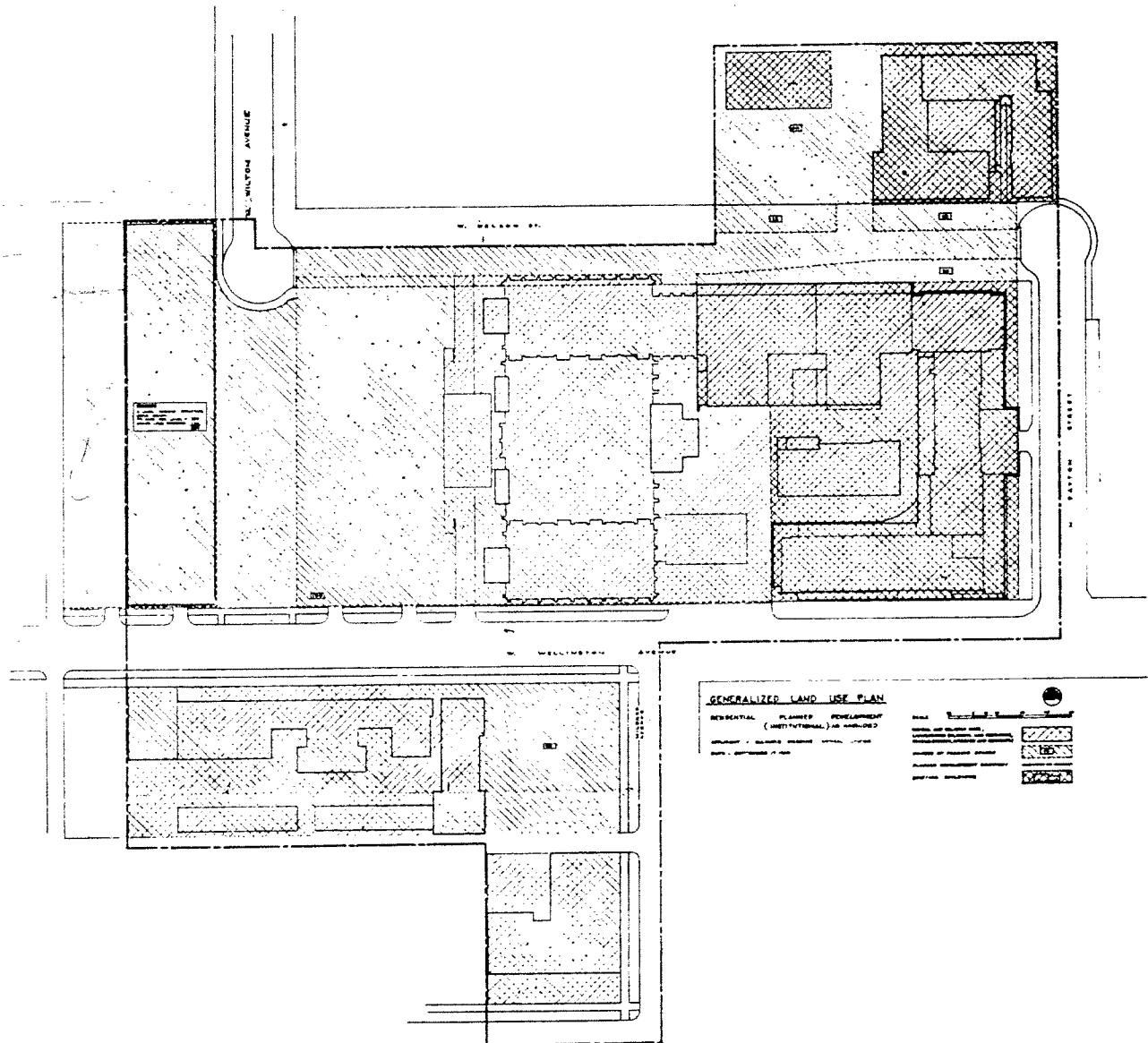
RESIDENTIAL PLANNED DEVELOPMENT AS AMENDED
(INSTITUTIONAL)

EXISTING ZONING & PREFERENTIAL STREET SYSTEM



- ZONING DISTRICTS
- PREFERENTIAL STREET SYSTEM
- PUBLIC & QUASI-PUBLIC FACILITIES
- PROPOSED RESIDENTIAL PLANNED DEVELOPMENT AS AMENDED
- PLANNED DEVELOPMENT BOUNDARY

APPLICANT : ILLINOIS MASONIC MEDICAL CENTER ; DATE: SEPT. 17, 1969



PLANNED DEVELOPMENT USE AND BULK REGULATIONS AND DATA
RESIDENTIAL PLANNED DEVELOPMENT, AS AMENDED
(INSTITUTIONAL)

Net Site Area Square Feet	Acres	General Description of Land Use	Max. F.A.R.	Max. % of Land Covered
313,792	7.19	Medical and Related Uses Laboratories (Clinical & Research), Housing (Nurses, Internes & Residents)	2.5	45%

THE ABOVE NOTED REGULATIONS RELATE TO THE ULTIMATE DEVELOPMENT WITHIN THE PLANNED DEVELOPMENT AREA. INTERIM STAGES OF DEVELOPMENT MAY EXCEED THESE PERMITTED STANDARDS SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Gross Site Area = Net Site Area 7.19 Acres plus Area of Right-of-Way
2.3 Acres = 9.49 Acres.

Maximum permitted F.A.R. for Total Net Site Area = 2.5

Present Population:

A. Medical and Related Uses

1. Number of Beds 600
2. Number of Attending Doctors 235
3. Number of Employees (Maximum in one shift) 550
(Includes 100 nurses, internes and residents).

B. Housing

1. Nurses and Student Nurses 150
2. Internes and Residents 70

Minimum number of off-street parking spaces for Medical and Related Uses; Laboratories (Clinical and Research); Housing (Nurses, Internes and Residents):
618 spaces. Actual number of PARKING SPACES 680.

Off-street parking and loading requirements for proposed Medical and Related Uses, Laboratories (Clinical and Research), Housing (Nurses, Internes and Residents) shall be provided as authorized by the RS General Residence District classification of the Chicago Zoning Ordinance.

Minimum Periphery Setbacks:

- A. Boundary and Front Yard Setbacks 15 FEET.
- B. Boundary and Side Yard Setbacks 8 FEET.

Minimum Distances between Buildings:

- A. Patient Room Facings 24 FEET.
- B. End and Face Walls 24 FEET.

SETBACK AND YARD REQUIREMENTS MAY BE ADJUSTED WHERE REQUIRED TO PERMIT CONFORMANCE TO THE PATTERN OF, OR ARCHITECTURAL ARRANGEMENT RELATED TO, EXISTING STRUCTURES, OR WHEN NECESSARY BECAUSE OF TECHNICAL REASONS, SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT AND PLANNING.

Maximum percent of land covered (for total Net Site Area) = 45%

APPLICANT: Illinois Masonic Medical Center

DATE: September 17, 1969

[Continued from page 2433]

Reclassification of Area Shown on Map No. 5-F.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B4-2 Restricted Service District and C1-3 Restricted Commercial District symbols and indications as shown on Map No. F-5 in the area bounded by:

a line 652.2 feet North of W. North Avenue; N. Larrabee Street; W. North Avenue; N. Vine Street; the alley next north of and parallel to W. Vine Street, or the line thereof if extended where no alley exists,

to those of a C1-2 Restricted Commercial District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 5-F.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B2-3 Restricted Retail District symbols and indications as shown on Map No. 5-F in the area bounded by:

the alley next north of and parallel to W. North Avenue; N. Cleveland Avenue; W. North Avenue; and N. Mohawk Street,

to those of an R5 General Residence District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 5-F.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B4-4 Restricted Service District symbols and indications as shown on Map No. 5-F in the area bounded by:

W. Webster Avenue; N. Clark Street; a line 429.4 feet south of W. Webster Avenue; the alley next west of and parallel to N. Clark Street; the alley next south of and parallel to W. Webster Avenue; and N. Sedgwick Street,

to those of an R5 General Residence District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 7-G.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R5 General Residence District symbols and indications as shown on Map No. 7G in the area bounded by

a line 132 feet north of W. Nelson Street, or the line thereof if extended where no street exists; N. Dayton Street; W. Wellington Avenue; N. Wilton Street; W. Nelson Street, or the line thereof if extended where no street exists;

and a line 281 feet west of the center line of N. Dayton Street, or the line thereof if extended where no street exists,

to the designation of a Residential Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[The Plan of Development attached to this ordinance is printed on pages 2440-2444 of this Journal.]

Reclassification of Area Shown on Map No. 11-L.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B3-2 General Retail District symbols and indications as shown on Map No. 11-L in the area bounded by

W. Lawrence Avenue; the alley next northeast of and parallel to N. Milwaukee Avenue; W. Giddings Street; the alley next southwest of and parallel to N. Milwaukee Avenue; a line 50 feet south of W. Lawrence Avenue; and N. London Avenue,

to those of a B4-2 Restricted Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 12-J.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C1-2 Restricted Commercial District symbols and indications as shown on Map No. 12-J in the area bounded by

S. Archer Avenue; S. Lawndale Avenue; the alley next southeast of and parallel to S. Archer Avenue; and S. Hamlin Avenue,

to those of an R4 General Residence District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 16-N.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-2 Restricted Manufacturing District symbols and indications as shown on Map No. 16-N in the area bounded by

W. 64th Street; the alley next east of and parallel to S. Harlem Avenue; W. 64th Place; and S. Harlem Avenue,

to those of an R2 Single Family Residence District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Continued on page 2445]

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PLAN OF DEVELOPMENT
RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)

STATEMENTS

1. The area delineated hereon as a "Residential Planned Development" is owned and controlled by Illinois Masonic Hospital Association.
2. Off-Street parking and loading facilities will be provided in compliance with this Plan of Development as authorized by the R5 General Residence District of the Chicago Zoning Ordinance.
3. Any dedication of streets or alleys or adjustments of the rights of way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of Illinois Masonic Hospital Association and approval by the City Council.
4. All applicable official reviews, approvals or permits are required to be obtained by the Illinois Masonic Hospital Association.
5. Service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking permitted within such paved areas.

Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of Chicago to provide ingress and egress for emergency vehicles; there shall be no parking within such paved areas. The pavement width of fire lane located within the right-of-way of heretofore vacated Nelson Street shall be a minimum of 24 feet.

6. Use of land will consist of research, medical, housing, and related uses as authorized by the Chicago Zoning Ordinance.

Laboratories or research facilities contained therein shall be governed by performance standards as authorized under the M1 zoning district of the Chicago Zoning Ordinance.

7. The following information sets forth data concerning the property included in said planned development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to a R5 General Residence District classification and with regulations hereby made applicable thereto.
8. The Plan or Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as adopted by the Commissioner of Development and Planning.

APPLICANT: Illinois Masonic Hospital Association

DATE: JAN. 5 , 1968

March 20, 1968

UNFINISHED BUSINESS

2441

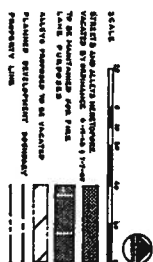
PROPERTY LINE MAP AND RIGHTS-OF-WAY ADJUSTMENTS
RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)
APPLICANT: HILBERT MARION HOSPITAL ASSOC.
DATE: JAN. 5, 1968

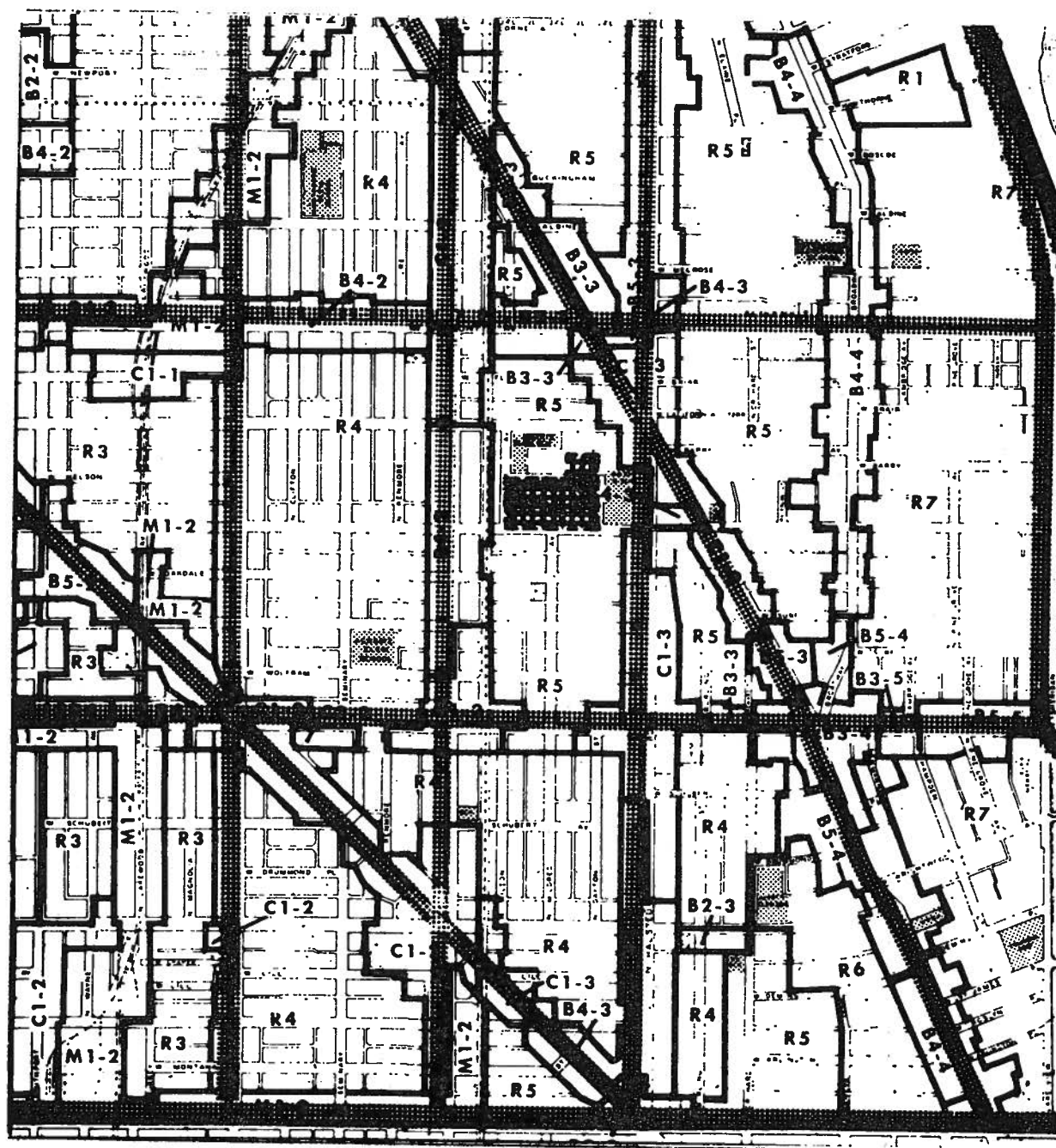
MILDRED AVENUE

WELLINGTON AVENUE

N. WILTON AVENUE

DAYTON STREET





RESIDENTIAL PLANNED DEVELOPMENT (INSTITUTIONAL)

EXISTING ZONING & PREFERENTIAL STREET SYSTEM



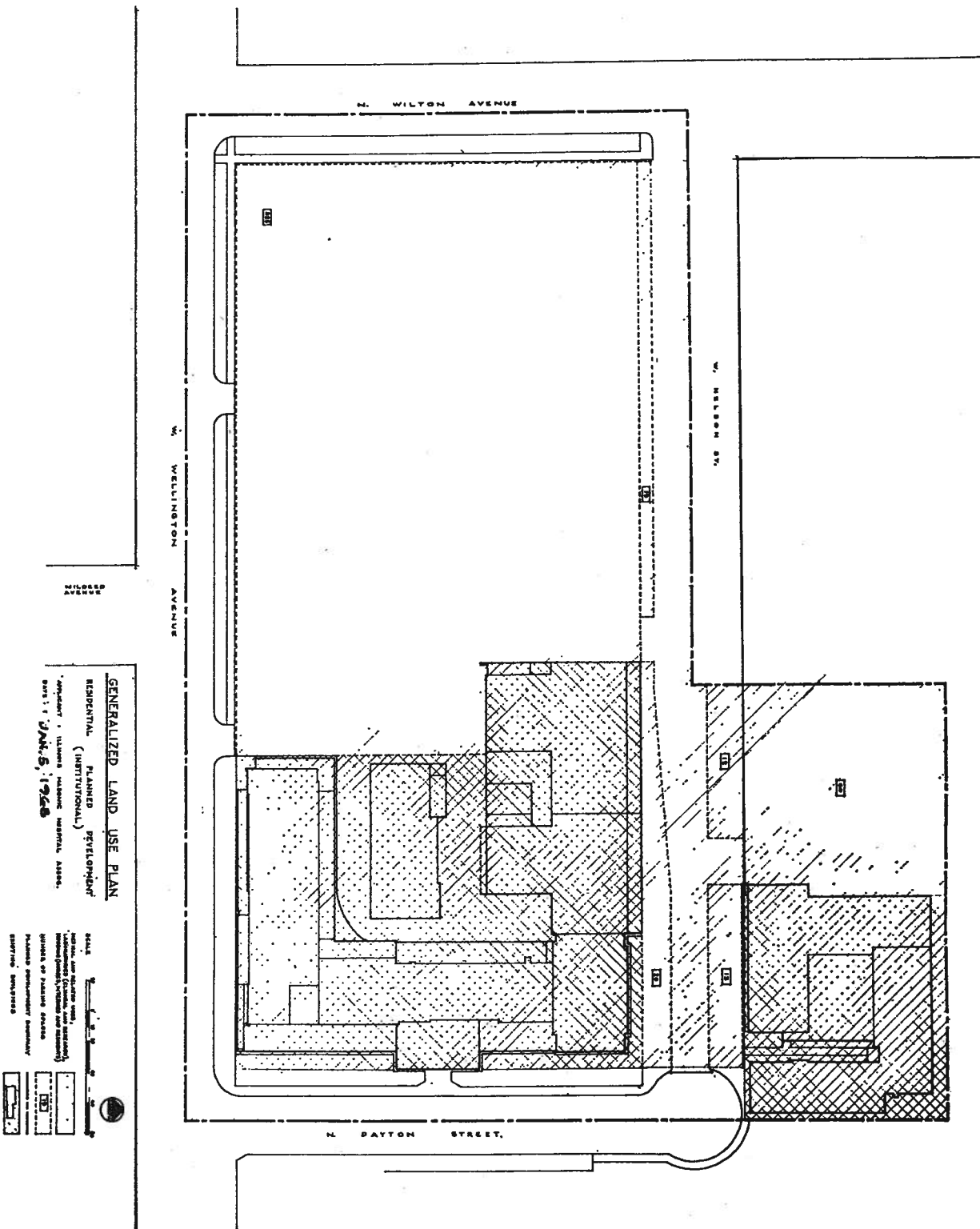
ZONING DISTRICTS
PREFERENTIAL STREET SYSTEM
PUBLIC & QUASI-PUBLIC FACILITIES
RESIDENTIAL PLANNED DEVELOPMENT
PLANNED DEVELOPMENT BOUNDARY

APPLICANT : ILLINOIS MASONIC HOSPITAL ASSOC.; DATE JAN. 5, 1968

March 20, 1968

UNFINISHED BUSINESS

2443



PLANNED DEVELOPMENT USE AND BULK REGULATIONS AND DATARESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)

Net Site Area Square Feet	Acres	General Description of Land Use	Max. F.A.R.	Max. % of Land Covered
222,938	5.1	Medical and Related Uses Laboratories (Clinical & Research Housing (Nurses, Internes & Residents)	2.5	45%

THE ABOVE NOTED REGULATIONS RELATE TO THE ULTIMATE DEVELOPMENT WITHIN THE PLANNED DEVELOPMENT AREA. INTERIM STAGES OF DEVELOPMENT MAY EXCEED THESE PERMITTED STANDARDS SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Gross Site Area = Net Site Area 5.1 Acres plus Area of Right-of-Way
1 Acres = 6.1 Acres.

Maximum permitted F.A.R. for Total Net Site Area = 2.5

Present Population:

A. Medical and Related Uses

1. Number of Beds 600
2. Number of Attending Doctors 115
3. Number of Employees (Maximum in one shift) 400
(Includes 100 nurses, internes and residents).

B. Housing

1. Nurses and Student Nurses 150
2. Internes and Residents 70

Minimum number of off-street parking spaces for Medical and Related Uses; Laboratories (Clinical and Research); Housing (Nurses, Internes and Residents):
448 spaces. Actual number of PARKING SPACES 449.

Off-street parking and loading requirements for proposed Medical and Related Uses, Laboratories (Clinical and Research), Housing (Nurses, Internes and Residents) shall be provided as authorized by the R5 General Residence District classification of the Chicago Zoning Ordinance.

Minimum Periphery Setbacks:

- A. Boundary and Front Yard Setbacks 15 FEET.
- B. Boundary and Side Yard Setbacks 8 FEET.

Minimum Distances between Buildings:

- A. Patient Room Facings 24 FEET.
- B. End and Face Walls 24 FEET.

SETBACK AND YARD REQUIREMENTS MAY BE ADJUSTED WHERE REQUIRED TO PERMIT CONFORMANCE TO THE PATTERN OF, OR ARCHITECTURAL ARRANGEMENT RELATED TO, EXISTING STRUCTURES, OR WHEN NECESSARY BECAUSE OF TECHNICAL REASONS, SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT AND PLANNING.

Maximum percent of land covered (for total Net Site Area) = 45%

APPLICANT: Illinois Masonic Hospital Association

DATE: JAN. 5, 1968

PLAN OF DEVELOPMENT
RESIDENTIAL PLANNED DEVELOPMENT #50
(INSTITUTIONAL)

STATEMENTS

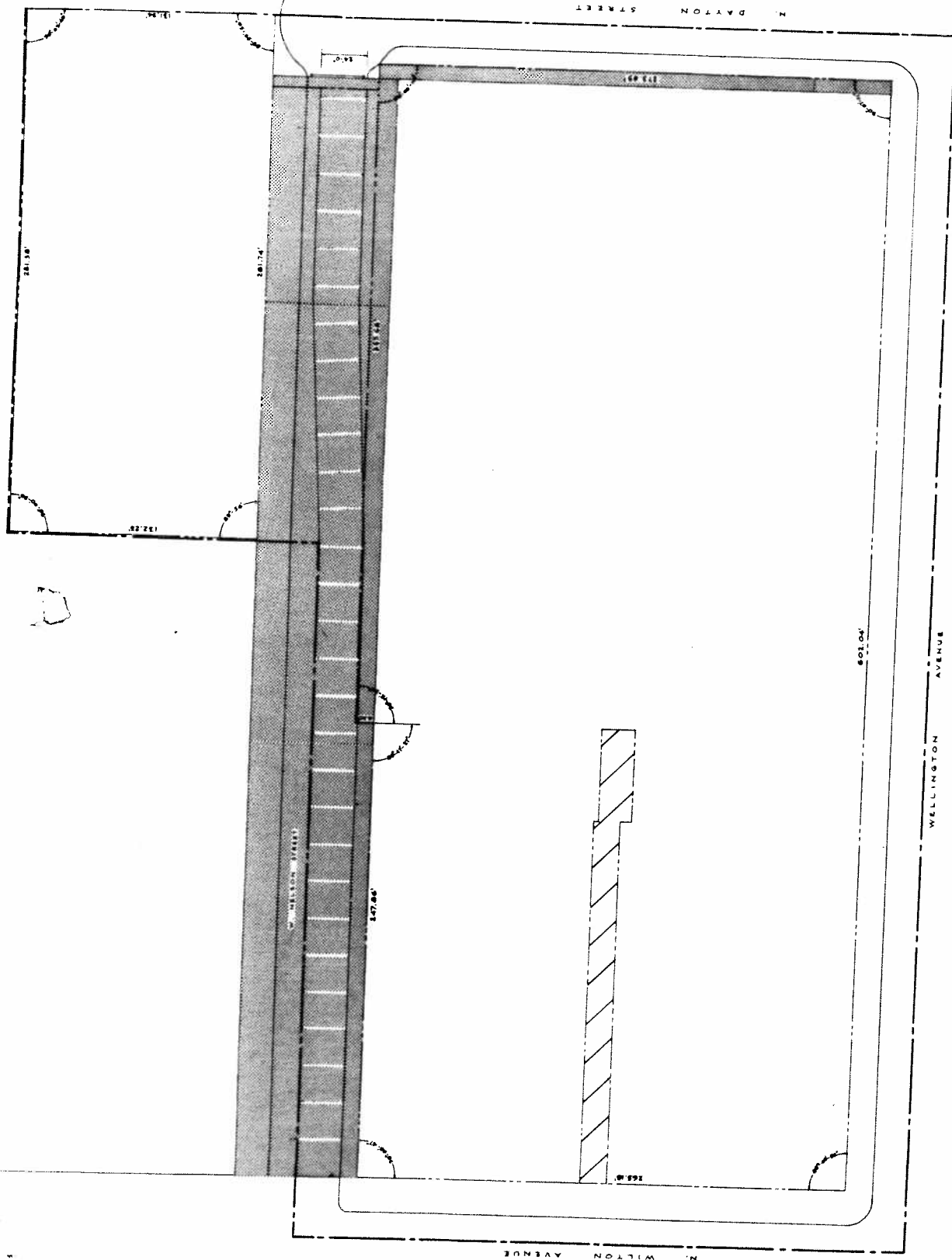
1. The area delineated hereon as a "Residential Planned Development" is owned and controlled by Illinois Masonic Hospital Association.
2. Off-Street parking and loading facilities will be provided in compliance with this Plan of Development as authorized by the R5 General Residence District of the Chicago Zoning Ordinance.
3. Any dedication of streets or alleys or adjustments of the rights of way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of Illinois Masonic Hospital Association and approval by the City Council.
4. All applicable official reviews, approvals or permits are required to be obtained by the Illinois Masonic Hospital Association.
5. Service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking permitted within such paved areas.

Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of Chicago to provide ingress and egress for emergency vehicles; there shall be no parking within such paved areas. The pavement width of fire lane located within the right-of-way of heretofore vacated Nelson Street shall be a minimum of 24 feet.
6. Use of land will consist of research, medical, housing, and related uses as authorized by the Chicago Zoning Ordinance.

Laboratories or research facilities contained therein shall be governed by performance standards as authorized under the M1 zoning district of the Chicago Zoning Ordinance.
7. The following information sets forth data concerning the property included in said planned development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to a R5 General Residence District classification and with regulations hereby made applicable thereto.
8. The Plan or Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as adopted by the Commissioner of Development and Planning.

ICANT: Illinois Masonic Hospital Association

DATE: December 20, 1967



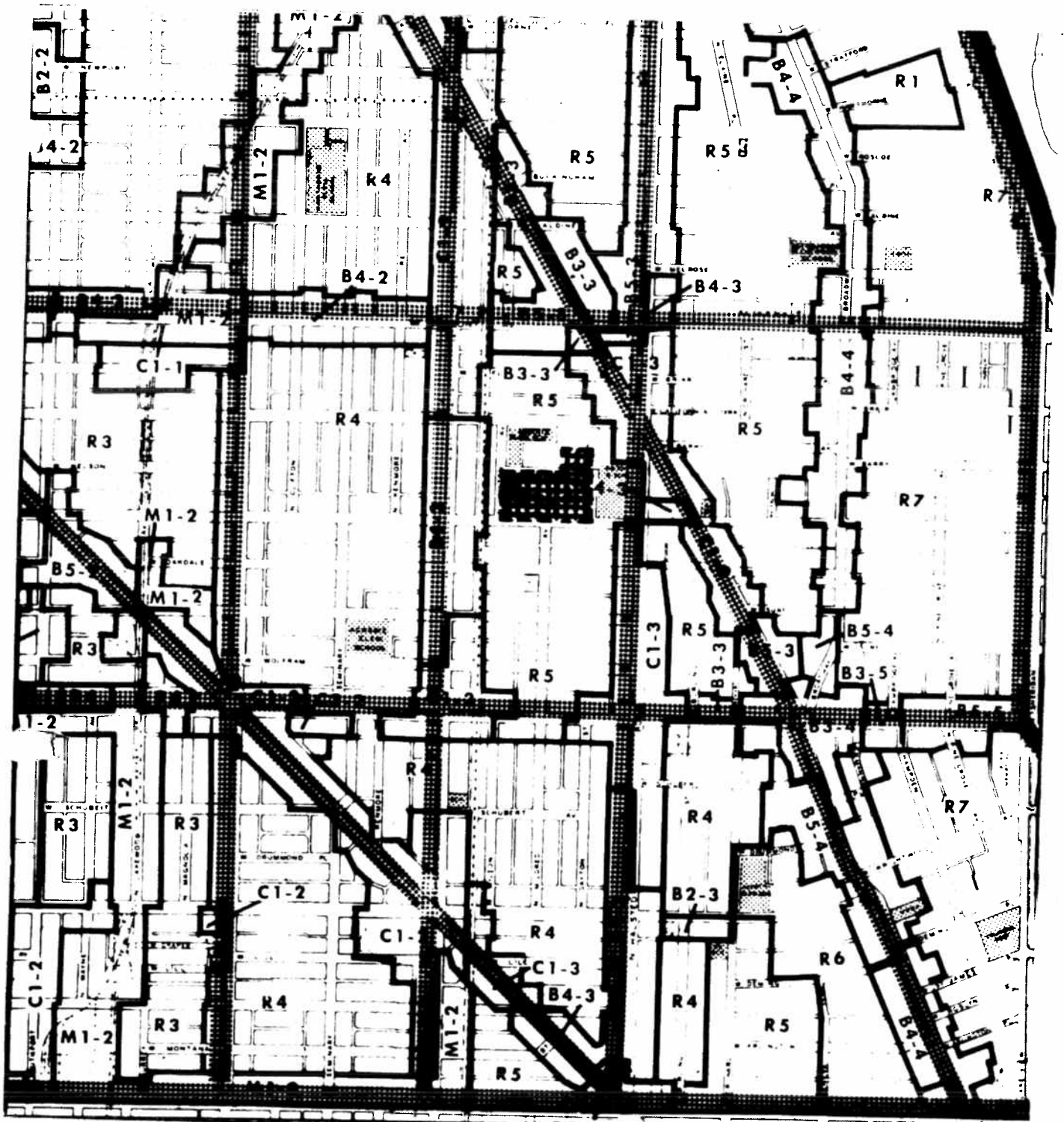
PROPERTY LINE MAP AND RIGHTS-OF-WAY ADJUSTMENTS
 RESIDENTIAL PLANNED DEVELOPMENT
 (INSTITUTIONAL)

APPLICANT: ILLINOIS MASONIC HOSPITAL ASSOC.
 DATE: DECEMBER 10, 1967

MILDRED AVENUE

WELLINGTON AVENUE

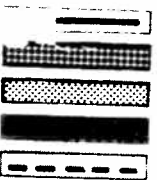




RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL) STREET SYSTEM

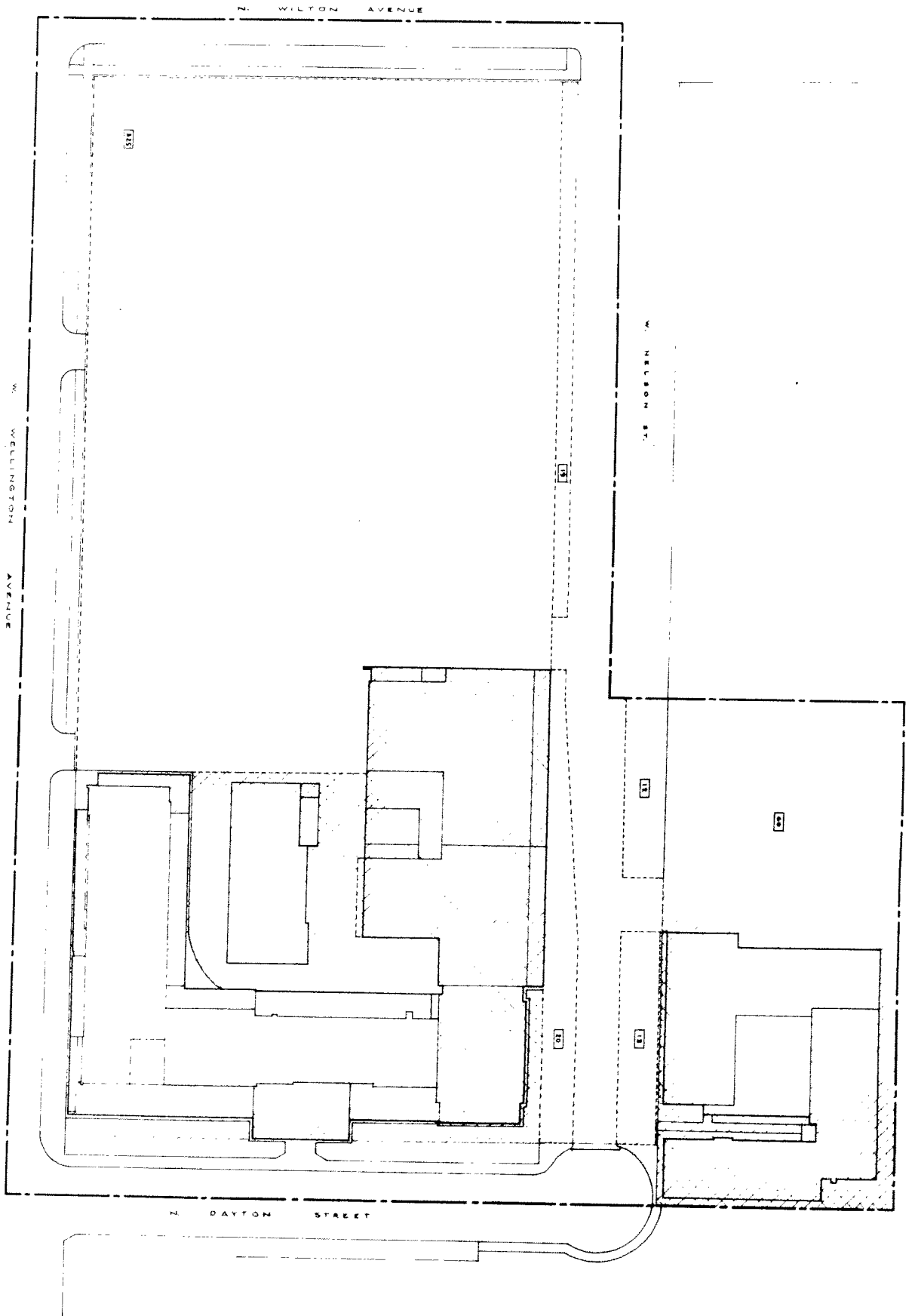


0' 1000' 2000' 3000' 4000'



ZONING DISTRICTS
PREFERRED STREET SYSTEM
PUBLIC & QUASI-PUBLIC FACILITIES
RESIDENTIAL PLANNED DEVELOPMENT
PLANNED DEVELOPMENT BOUNDARY

APPLICANT : ILLINOIS MASONIC HOSPITAL ASSOC.; DATE: DEC. 20, 1967



GENERALIZED LAND USE PLAN

RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)

APPLICANT: ILLINOIS HISTORIC HOSPITAL ASSOC.
DATE: DECEMBER 20, 1971

SCALE

1" = 100'

1" = 200'

1" = 400'

HISTORICAL AND RELATED USES:

HOSPITALS, CLINICAL, AND RELATED

INDUSTRIES, OFFICES, AND RELATED

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PLANNED DEVELOPMENT USE AND BULK REGULATIONS AND DATA

RESIDENTIAL PLANNED DEVELOPMENT
(INSTITUTIONAL)

Net Site Area Square Feet	Acres	General Description of Land Use	Max. F.A.R.	Max. % of Land Covered
222,938	5.1	Medical and Related Uses Laboratories (Clinical & Research Housing (Nurses, Internes & Residents)	2.5	45%

THE ABOVE NOTED REGULATIONS RELATE TO THE ULTIMATE DEVELOPMENT WITHIN THE PLANNED DEVELOPMENT AREA. INTERIM STAGES OF DEVELOPMENT MAY EXCEED THESE PERMITTED STANDARDS SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT & PLANNING.

Gross Site Area = Net Site Area 5.1 Acres plus Area of Right-of-Way
1 Acres = 6.1 Acres.

Maximum permitted F.A.R. for Total Net Site Area = 2.5

Present Population:

A. Medical and Related Uses

1. Number of Beds 600
2. Number of Attending Doctors 115
3. Number of Employees (Maximum in one shift) 400
(Includes 100 nurses, internes and residents).

B. Housing

1. Nurses and Student Nurses 150
2. Internes and Residents 70

Minimum number of off-street parking spaces for Medical and Related Uses; Laboratories (Clinical and Research); Housing (Nurses, Internes and Residents):
448 spaces. Actual number of PARKING SPACES 449.

Off-street parking and loading requirements for proposed Medical and Related Uses, Laboratories (Clinical and Research), Housing (Nurses, Internes and Residents) shall be provided as authorized by the R5 General Residence District classification of the Chicago Zoning Ordinance.

Minimum Periphery Setbacks:

- A. Boundary and Front Yard Setbacks 15 FEET.
- B. Boundary and Side Yard Setbacks 8 FEET.

Minimum Distances between Buildings:

- A. Patient Room Facings 24 FEET.
- B. End and Face Walls 24 FEET.

SETBACK AND YARD REQUIREMENTS MAY BE ADJUSTED WHERE REQUIRED TO PERMIT CONFORMANCE TO THE PATTERN OF, OR ARCHITECTURAL ARRANGEMENT RELATED TO, EXISTING STRUCTURES, OR WHEN NECESSARY BECAUSE OF TECHNICAL REASONS, SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT AND PLANNING.

Maximum percent of land covered (for total Net Site Area) = 45%

APPLICANT: Illinois Masonic Hospital Association

DATE: December 20

1967