



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

February 22, 2019

Joshua A. Salzman
Blueprint Healthcare Real Estate Advisors
191 N. Wacker Drive
Suite 1680
Chicago, IL 60606

Re: Advisory Opinion for PD 486, 191 N. Wacker Dr.

Dear Mr. Salzman:

In response to your recent request, please be advised that the property located at 191 N. Wacker Dr. is zoned Business Planned Development No. 486 ("PD 486"). PD 486 was approved by the Chicago City Council on July 19, 1989, and Statement No. 2 of the PD Ordinance states: business and professional offices, retail uses and all other uses described as permitted and special uses by the C3-7 zoning district provisions of the current Chicago Zoning Ordinance (Sections 9.3(B), 9.4-3 and associated sections referred to therein) shall be permitted upon the property. Without limiting any use heretofore described as permitted, the following shall also be permitted upon the property: the operation of radio and television towers and earth station receiving dishes.

The Chicago Zoning Ordinance was updated in 2004 and the C3-7 zoning district provisions within PD 486 were converted to a DC-16 Downtown Core District, pursuant to Section 17-1-1406-B. An office is a permitted use in the DC District, pursuant to the Use Table and Standards of Section 17-4-0207 KK, and therefore, it is also permitted in PD 486.

Sincerely,

Patrick Murphey
Zoning Administrator

PM:tm

C: Terry Robinson



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Christopher R. Hill
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4471 (Voice)
(312) 744-6550 (FAX)
(312) 744-2578 (TTY)

<http://www.ci.chi.il.us>

May 28, 1997

Mr. James M. Kane
Schiff Hardin and Waite
7200 Sears Tower
Chicago, Illinois 60606-6473

Re: Request for a minor change to Business
Planned Development No. 486
(Southeast corner of Wacker Drive and
Lake Street)

Dear Mr. Kane:

Please be advised that your request for a minor change to Business Planned Development No. 486, has been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance and is hereby approved.

Specifically, you requested that the requirement for the construction of riveredge improvements between West Lake Street and North Orleans Street be extended to the time construction occurs within the Planned Development other than the proposed use of the property as an interim surface parking lot. Statement No. 11 of the approved Planned Development states that the Applicant shall commence construction of the riveredge improvements no later than concurrently with the commencement of construction of the development proposed for the property.

With regard to your request, the Department of Planning and Development has determined that this revision to the Planned Development would constitute a minor change pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance. Although the riveredge improvements as detailed in Statement No. 11 would not be required at this time as a result of the construction of the proposed surface parking lot, the conditions of this statement would remain in effect for any future development on this site.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, I hereby approve the foregoing minor change, but no other changes to Business Planned Development No. 486.



Please
Recycle!



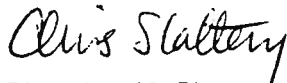
Related to this request, you submitted a Site Plan (dated May 9, 1997) for the surface parking lot which would contain a maximum of 101 valet parking spaces. The Site Plan specifies that a decorative metal fence would be provided along both street frontages as well as landscaped setback areas a minimum of 5 feet (along Lake Street) and a minimum of 13 feet (along Wacker Drive). This Site Plan shall be maintained in the project file. Plans for Part II approval for the surface parking lot shall be in substantial conformance with this submitted Site Plan.

Sincerely,

A handwritten signature in black ink, appearing to read "CHRISTOPHER HILL", written in a cursive style.

Christopher R. Hill
Commissioner

Originated:

A handwritten signature in black ink, appearing to read "Christine K. Slattery", written in a cursive style.

Christine K. Slattery
Deputy Commissioner

cc: Philip Levin
Michael A. Marmo
Paul Woznicki

Business Planned Development No. _____

Plan Of Development

Use And Bulk Regulations And Data.

Net Site Area Square Feet/Acres	General Description Of Land Use	Maximum Floor Area Ratio	Maximum Percentage Of Site Coverage
16,507.40/.38	Any use permitted in the B6-7 Restricted Central Business District and earth station receiving dishes.	21.50	100

Gross Site Area = Net Site Area: 16,507.40 square feet
 (.38 acres) plus area to remain in the public way:
 14,643.21 square feet (.34 acres) =
 31,150.61 square feet (.72 acres)

Off-Street Parking and Loading Controls:

Minimum number of off-street parking spaces: 53
 Minimum number of off-street loading berths: 1

Reclassification Of Area Shown On Map No. 1-F.

PD 486

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C3-7 Commercial-Manufacturing District symbols and indications as shown on Map No. 1-F in the area bounded by

West Lake Street; a line 140.83 feet east of and parallel with North Wacker Drive; the alley next south of and parallel with West Lake Street; and North Wacker Drive,

to reflect the establishment of a Business Planned Development, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development attached to this ordinance reads as follows:

Business Planned Development.

PD 486

*Plan Of Development
As Amended.*

1. Legal title to that certain real property (the "Property") which is delineated herein as Business Planned Development and is subject to the use and bulk restrictions of this Business Planned Development is held by American National Bank and Trust Company of Chicago, not personally, but as Trustee under Trust No. 100822-04, dated December 1, 1986.

All required disclosures are contained within the Economic Disclosure Statement filed with the City of Chicago in accordance with applicable requirements. The Property will be held under single ownership or control or under single designated control by the Applicant, said Trust or by the beneficiaries, affiliates, successors or assigns of either of them.

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(Continued from page 3944)

2. Business and professional offices, retail uses and all other uses described as permitted and special uses by the C3-7 zoning district provisions of the current Chicago Zoning Ordinance (Sections 9.3-3(B), 9.4-3 and associated sections referred to therein) shall be permitted upon the Property. Without limiting any use heretofore described as permitted, the following shall also be permitted upon the Property: The operation of radio and television towers and earth station receiving dishes.
3. The Applicant, its affiliates, successors, assigns or grantees shall obtain all official reviews, approval and permits necessary to implement the development of Property.
4. Any dedication or vacation of streets or alleys or easement for any adjustment of rights-of-way necessary to implement development of the Property shall require separate submittal on behalf of the Applicant, its successors, assigns or grantees, and approval by the City Council.
5. The use and development of the Property shall be in accordance with this Plan of Development, which consists of the statements made herein, an existing zoning and preferential street map, a property line map, a generalized land use map and the bulk regulations table. These and no other controls shall apply to the Property.
6. Off-street parking and off-street loading shall be provided upon the Property in accordance with the Bulk Regulations Table attached hereto and made a part of this Plan of Development.
7. Any service drive or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas.
8. The height of each building located upon the Property and any appurtenances attached thereto shall be subject to:
 - (a) Height limitations as certified on Form FAA-177 (or on successor forms involving the same subject matter) and approved by the Federal Aviation Administration pursuant to Part 77 of the Regulations of the Administrator, Federal Aviation Administration; and
 - (b) Airport Zoning Regulations as established by the Department of Development and Planning, Department of Aviation, and Department of Law and approved by the City Council.

9. Business and business identification signs may be permitted upon the Property subject to the review and approval of the Department of Planning and of the Department of Inspectional Services. Temporary signs, such as construction and marketing signs, may be permitted subject to the aforesaid approvals. Signs advertising products or services which products or services are not located upon the Property, shall not be permitted. Signs described by Chapter 86.1, Section 86.1-11 of the Chicago Municipal Code shall require City Council approval in the manner described therein.
10. For purposes of maximum Floor Area Ratio calculations, the definition contained in the current Chicago Zoning Ordinance shall apply; provided, however, that (i) floor area devoted to mechanical equipment which exceeds 5,000 square feet in any single location shall not be included, and (ii) floor area devoted to non-accessory off-street parking at levels below Upper Wacker Drive shall not be included.
11. The River Edge Park located between West Lake Street and North Orleans Street is the predominate open space which forms the link between the Property and the Chicago River, creating its "front yard". Given this direct link between the Property and the River, Applicant shall undertake the improvement of this riverfront area in substantial conformance with the guidelines set out below.
 - A. Construction Schedule. The Applicant shall commence construction of the riverfront improvements no later than concurrently with the commencement of construction of the development proposed for the Property (so long as all necessary governmental approvals have been granted as set forth below). Such improvements shall be completed within six (6) months or one tree-planting season, subject to delays due to inclement weather, work stoppages and other similar unforeseeable occurrences.
 - B. Scope of Improvements. The riverfront improvements shall be in substantial conformance with the following standards and with the plan dated April 26, 1989, revised May 8, 1989, prepared by the Brickman Group Limited (as such plan may from time to time be modified subject to the reasonable approval of the Department of Planning and the Department of Public Works):
 - (i) all excavation and debris removal shall be accomplished by the Applicant;
 - (ii) by-product paver quality granite pavers (1-foot x 1-foot) shall be installed, set in cement mortar;
 - (iii) 5-inch caliper street trees (i.e., Linden, Green Ash, Hackberry, etc.) shall be installed, with 6-foot tree grates, at approximately 30 feet on center;

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- (iv) 10 benches shall be installed at appropriate locations along the riverfront;
 - (v) the dock wall shall be capped with a concrete curb and steel railings with 2 gates to facilitate boat mooring shall be installed (Applicant shall not be required to undertake any structural modifications in conjunction with such dock wall improvements);
 - (vi) replacement of the Lake Street stairway and renovation of the Orleans Street stair treads;
 - (vii) existing lighting standards along the ramp wall shall be renovated;
 - (viii) flush mounted lighting shall be installed in or adjacent to the tree wells; and
 - (ix) curbs and bollards shall be installed at the north edge of the existing ramp.
- C. **Quality of Materials.** All materials used in conjunction with the proposed riverfront improvements shall be of substantially the same quality as those that are utilized in the existing riverfront park between North Wells and North LaSalle Streets. All materials shall be subject to the reasonable review and approval of the Department of Public Works.
- D. **Warranty of Improvements.** All improvements shall be warranted for a period of one year following completion.
- E. **City Review and Approval.** Design and construction documents shall be submitted by the Applicant to the Department of Planning for review and circulation to all other City departments with jurisdiction over the project. The Department of Planning shall coordinate review and approval of the plans by such other City departments and obtain all necessary permits and approvals within a reasonable period following the submission of plans acceptable to the Department of Public Works and the Department of Planning. If completion of such improvements is delayed by any City department, such delay shall not affect the issuance of building or occupancy permits for the development proposed for the Property. Further, if commencement or completion of the improvements is delayed at the request of the City and such delay results in a significant increase in the costs of the proposed improvements, the Department of Planning agrees to negotiate in good faith modifications in the scope of work as might be necessary to avoid any undue financial burden on the Applicant as a result of such delay.

12. The Applicant and the City acknowledge that substantial public benefits may be derived from assuring that major downtown developments are designed and constructed in a manner which reflects a sensitivity to the existing developments on other properties in the vicinity. Accordingly, the Applicant agrees that the proposed development of the Property will be undertaken in a manner and utilizing materials of a quality that will compliment the existing buildings in the vicinity of the Property.
13. The Applicant agrees that it will make available to the property adjacent immediately to the east, through the Property, reasonable vehicular access from Lower Wacker Drive.
14. The Applicant agrees that, prior to the Part II submission to the Department of Planning, it will consult with the Department of Planning staff concerning the final design of the Lake Street arcade, including the location of street trees along Lake Street.
15. The Applicant agrees that it will provide at least six thousand (6,000) square feet of retail (including restaurant, financial institutions and similar public-oriented businesses) floor area on the ground floor of the development.
16. This Plan of Development and the development of the Property is and shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments" promulgated by the Commissioner of the Department of Development and Planning; provided that the same are published, in effect and generally available at the time of approval of this Business Planned Development.

[Boundary and Property Line Map, Existing Zoning Map and Generalized Land Use Plan printed on pages 3954 through 3956 of this Journal.]

Bulk Regulations Data attached to this Plan of Development reads as follows:

Planned Business Development

Bulk Regulations Data.

For that certain property located generally between North Wacker Drive, West Lake Street and West Couch Place in Chicago, Illinois:

Net Site Area:

25,431 square feet (.5838 acres)

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Permitted Uses:

Office uses, retail uses and such uses as are currently permitted or special uses within the C3-7 Zoning District (including the operation of radio or television towers and/or earth station receiving dishes)

*Maximum Floor Area Ratio:

29.1

Maximum Percentage of Site Coverage:

100%

Number of Off-Street Parking Spaces Required (all spaces to be provided in underground facilities):

34

Number of Loading Berths Required:

4

Minimum Setbacks:

Zero feet

Gross Site Area Calculations:

Net Site Area:

25,431 square feet

Approximate area to remain in public right-of-way (North Wacker Drive, West Lake Street and West Couch Place):

19,632 square feet

Approximate Gross Site Area:

45,063 square feet

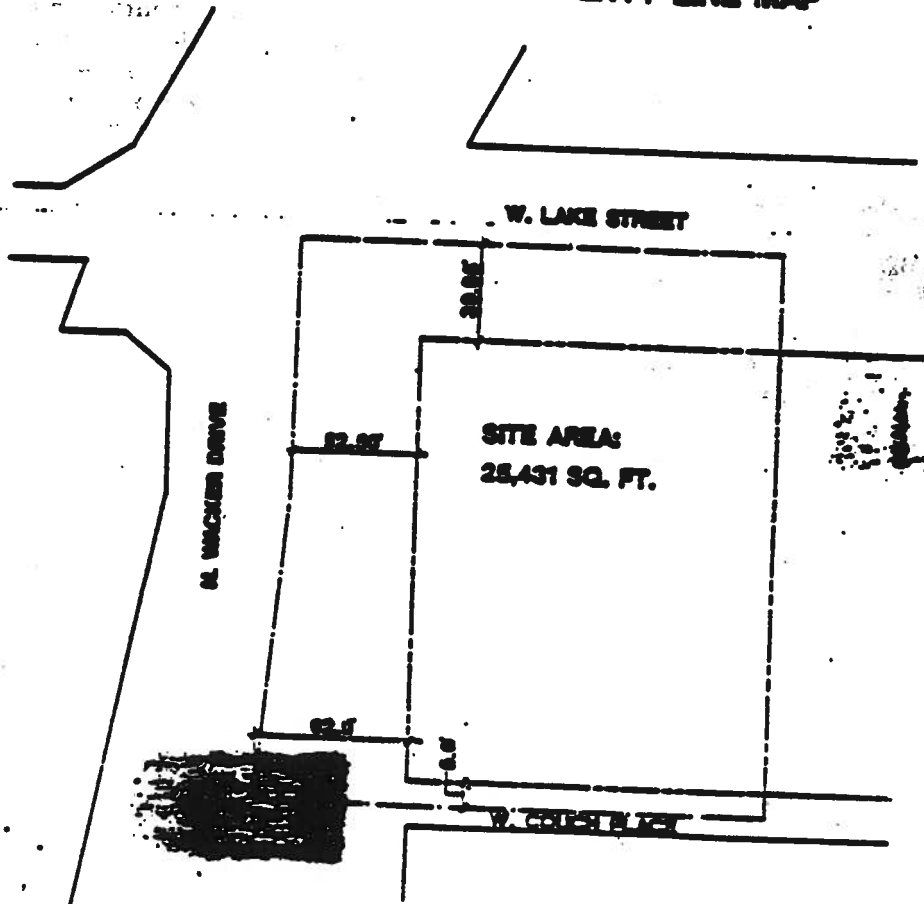
- * For purposes of maximum floor area ratio calculations, mechanical equipment floor space in the building shall not be counted as floor area.

~~Reclassification Of Area Shown On Map No. 1-F.~~

~~Be It Ordained by the City Council of the City of Chicago:~~

~~(Continued on page 3957)~~

BOUNDARY AND PROPERTY LINE MAP



LEGEND

- PROPERTY LINE
- - - - - PLANNED DEVELOPMENT BOUNDARY

APPLICANT: 227 WEST LAKE STREET BUILDING ASSOCIATES
 112 South Clason Street, Chicago, Illinois 60601

DATE: October 24, 1988

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EXISTING ZONING MAP



LEGEND

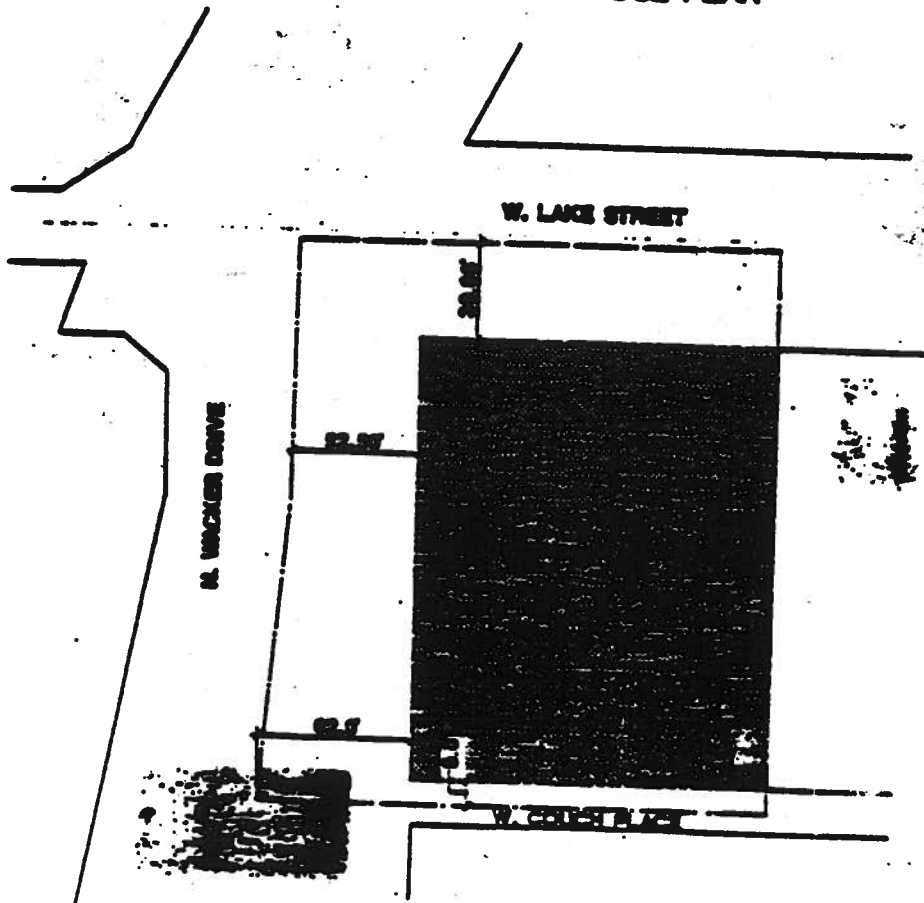
-  PREFERENTIAL STREETS
-  PLANNED DEVELOPMENT
-  ZONING BOUNDARIES



APPLICANT: 333 WEST LAKE STREET BUILDING ASSOCIATES
118 South Clinton Street, Chicago, Illinois 60604

DATE: October 24, 1988

GENERALIZED LAND USE PLAN



LEGEND

- PROPERTY LINE
- PLANNED DEVELOPMENT BOUNDARY
- BUSINESS, OFFICE, RETAIL USES AND OFF-STREET PARKING

APPLICANT: 333 WEST LAKE STREET BUILDING ASSOCIATES
 118 South Clinton Street, Chicago, Illinois 60606

DATE: October 24, 1988