



**DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO**

June 1, 2021

Donna J. Pugh  
Partner  
Foley & Lardner  
321 N. Clark Street, Suite 3000  
Chicago, IL 60654

**Re: Site Plan Approval for Commercial-Business Planned Development No. 485, generally located at 1701 E. 95<sup>th</sup> Street (Burger King)**

Dear Ms. Pugh:

Please be advised that your request for site plan approval for the Commercial-Business Planned Development No. 485 ("PD #485") has been considered by the Department of Planning and Development pursuant to Section 17-13-0800 of the Chicago Zoning Ordinance.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The project consists of cosmetic modifications to an existing one-story commercial building (Burger King restaurant) with accessory parking lot and landscape generally located at 1701 E. 95<sup>th</sup> Street within PD #485.

The development will increase landscaping area in the parking lot and add five internal trees and eight 95<sup>th</sup> Street parkway trees. The development will continue to operate as a restaurant with accessory parking as permitted under PD #485. The project's floor area ratio will not change.

This approval includes the following attached documents prepared by Terra Engineering, Ltd., and dated May 6, 2021:

- L0-0 Tree Preservation Plan
- L1.0 Landscape Plan
- L1.1 Landscape Schedule and Calculations
- L2.0 Landscape Details

This approval includes the following attached documents prepared by Anchor CM:

- SP-0.1 Demo Site Plan
- SP-1 Proposed Site Plan
- A-4.1 Proposed Elevations

**121 NORTH LASALLE STREET, ROOM 1000, CHICAGO ILLINOIS 60602**

- A-4 Proposed Elevations

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Commercial-Business Planned Development No. 485. Accordingly, this site plan submittal is hereby approved as conforming to PD #485. This site plan approval does not cover any signage, which requires the submission of a sign permit application.

If you have any questions or need further clarification on these comments, please contact Erika Sellke at [erika.sellke@cityofchicago.org](mailto:erika.sellke@cityofchicago.org).

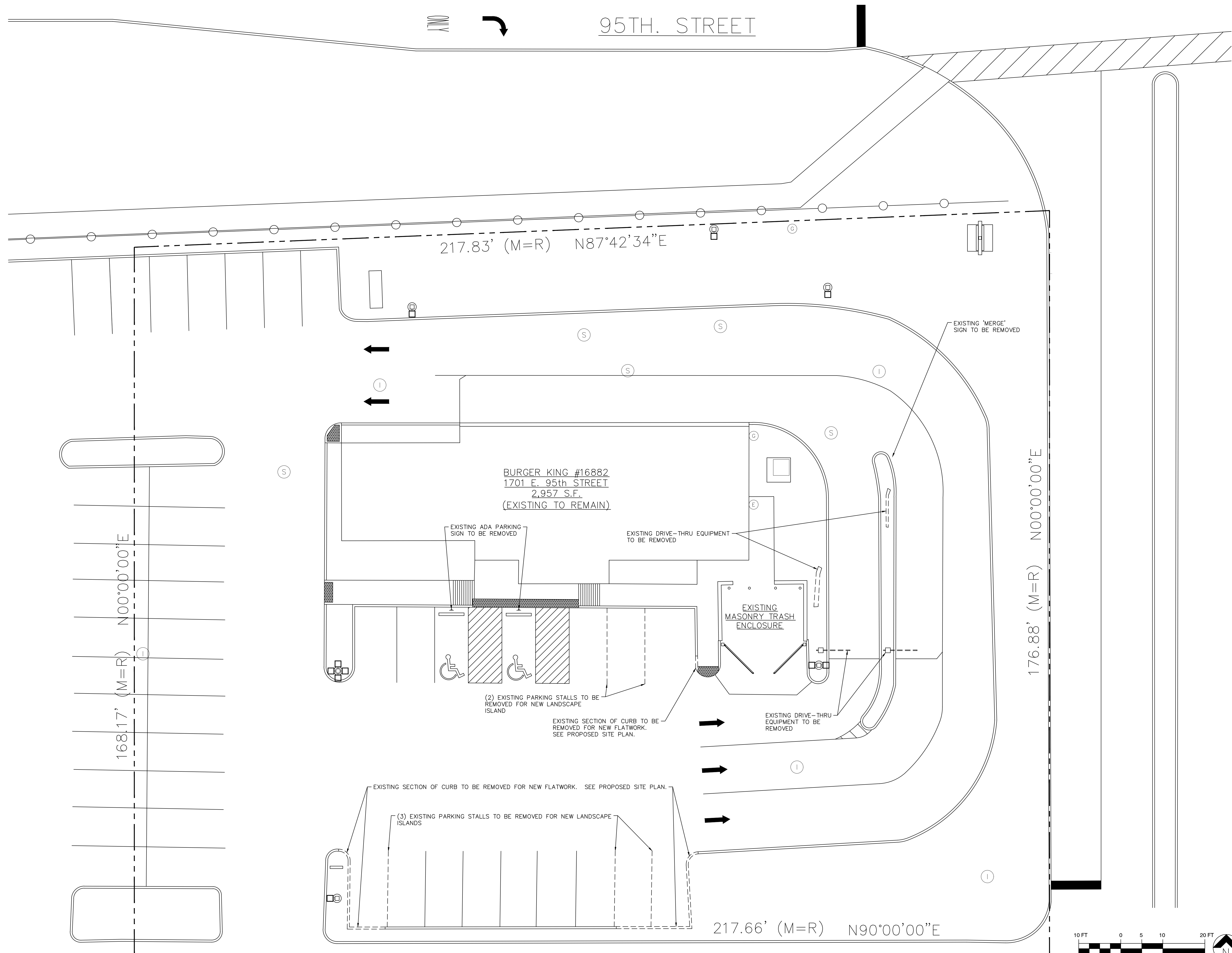
Sincerely,



Patrick Murphey  
Zoning Administrator

Originated by: Erika Sellke

cc: Erik Glass, DPD  
Janice Hill, DPD  
Mike Marmo, DPD  
Erika Sellke, DPD  
Planned Development files



ONLY

95TH. STREET

217.83' (M=R) N87°42'34"E

168.17' (M=R) N00°00'00"E

BURGER KING #16882  
1701 E. 95th STREET  
2,957 S.F.  
(EXISTING TO REMAIN)

EXISTING ADA PARKING SIGN TO BE REMOVED

EXISTING DRIVE-THRU EQUIPMENT TO BE REMOVED

EXISTING MASONRY TRASH ENCLOSURE

EXISTING 'MERGE' SIGN TO BE REMOVED

(2) EXISTING PARKING STALLS TO BE REMOVED FOR NEW LANDSCAPE ISLAND

EXISTING SECTION OF CURB TO BE REMOVED FOR NEW FLATWORK. SEE PROPOSED SITE PLAN.

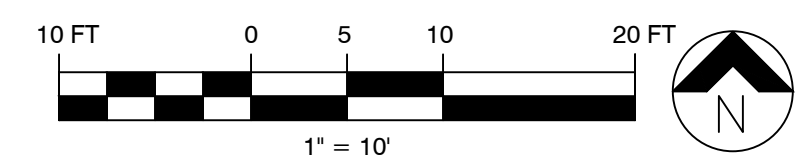
EXISTING DRIVE-THRU EQUIPMENT TO BE REMOVED

EXISTING SECTION OF CURB TO BE REMOVED FOR NEW FLATWORK. SEE PROPOSED SITE PLAN.

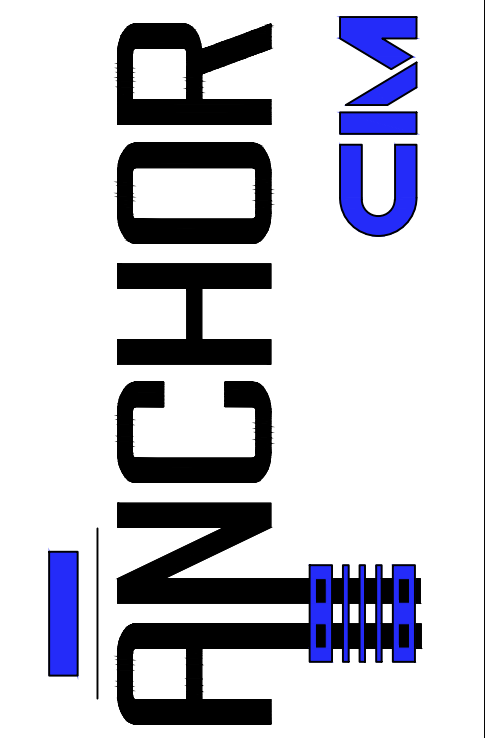
(3) EXISTING PARKING STALLS TO BE REMOVED FOR NEW LANDSCAPE ISLANDS

217.66' (M=R) N90°00'00"E

176.88' (M=R) N00°00'00"E



REV	DATE	DESCRIPTION



**BURGER KING**  
STORE #16882  
1701 E. 95TH STREET  
CHICAGO, ILLINOIS 60617  
(STONY ISLAND PLAZA)

SHEET NAME:  
DEMO  
SITE PLAN

SHEET #:  
**SP-0.1**  
SCALE: 1" = 10'

95TH. STREET



**SCOPE OF WORK**

- BUILDING IS EXISTING.
- NEW INTERIOR FINISHES IN CUSTOMER AREAS.
- EXTERIOR FACADE REMODEL TO INCLUDE NEW EXTERIOR FINISHES, AND PAINTING, DIRECTLY ONTO EXISTING EXTERIOR WALLS. REFER TO EXTERIOR ELEVATIONS FOR MORE DETAIL.
- INTERIOR CHANGES TO EXISTING RESTROOMS TO BRING TO ADA COMPLIANCE.
- MINOR SITE WORK, INCLUDING NEW DIGITAL DRIVE-THRU EQUIPMENT AND MINOR REPAIRS ONLY.

**PARKING CALCULATIONS**

REQUIRED PARKING: NONE FOR FIRST 4,000 S.F. THEN 1 SPACE PER 1,000 SQ. FT. = **0 SPACES REQUIRED**

PARKING PROVIDED: 27 SPACES (2 H.C.)

BICYCLE PARKING: 1 PER 5 AUTO SPACES = MINIMUM 6 SPACES

BICYCLE PARKING PROVIDED: 7 SPACES

OFF STREET LOADING: NOT REQUIRED < 9,999 S.F.

**GENERAL NOTES**

- RESEAL ENTIRE PARKING LOT, RESTRIPE LOT AS SHOWN ON SITE PLAN. STRIPING TO COMPLY WITH CODE REQUIREMENTS.
- PARKING LOT STRIPING TO BE WITH LEAD-FREE HEAVY YELLOW ZONE MARKING PAINT, SPRAY APPLIED AS SHOWN ON SITE PLAN.
- FILL ALL CRACKS OVER 1/8" WITH ELASTOMERIC FILL TYP.
- AT HANDICAPPED ACCESSIBLE STALLS ONLY, G.C. TO PROVIDE A MAX. 2% (1:50) SLOPE IN ANY DIRECTION FOR THE ENTIRE LENGTH OF STALL AND ACCESSIBLE AISLE.

**SITE LEGEND**

EXISTING CURB. REPAIR DAMAGED CURBS AS REQUIRED.

NEW CURB. SEE DETAIL ##/##.

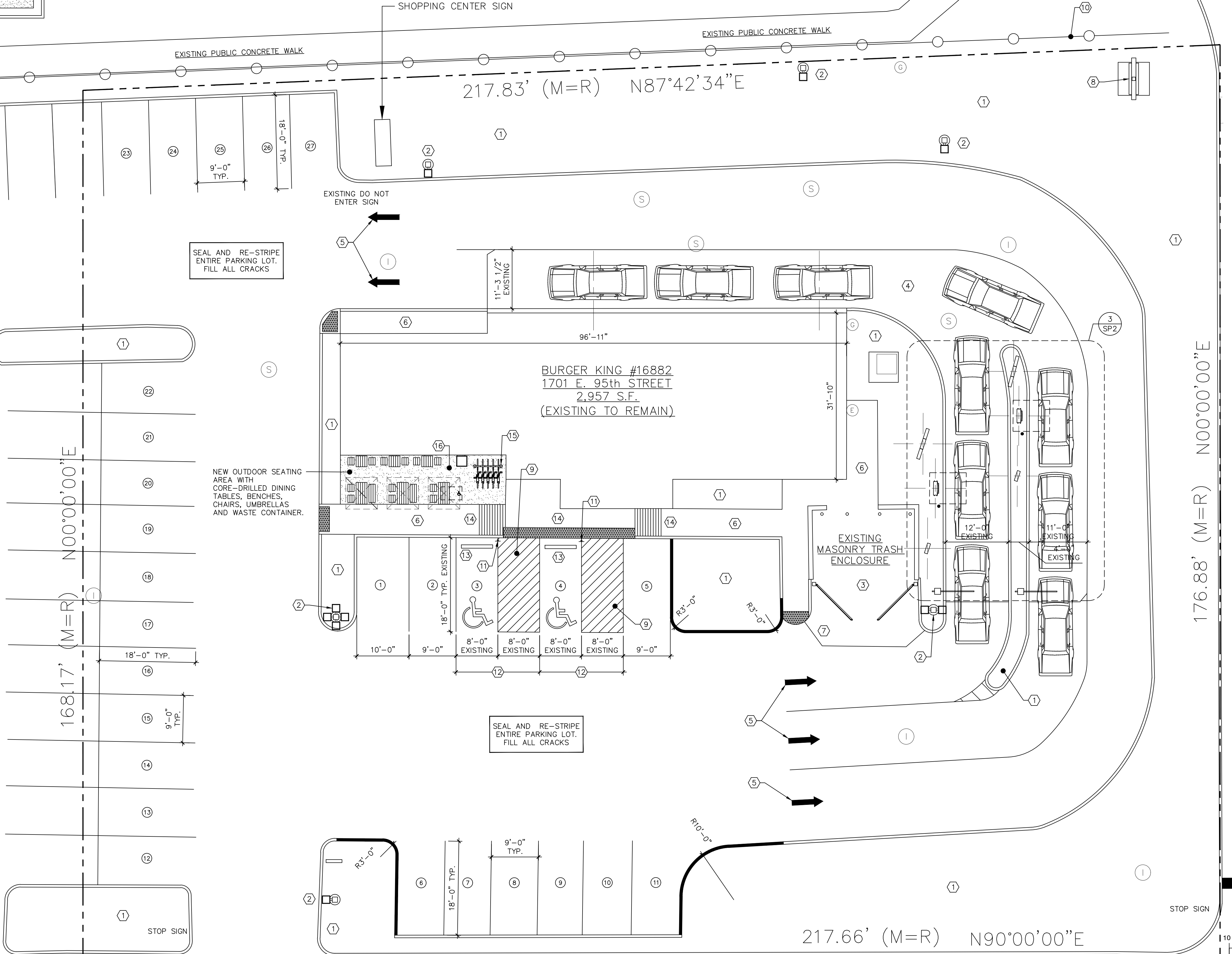
NEW CONCRETE SIDEWALK/PATIO. SEE DETAIL ##/##.

**GENERAL CONTRACTOR NOTES:**

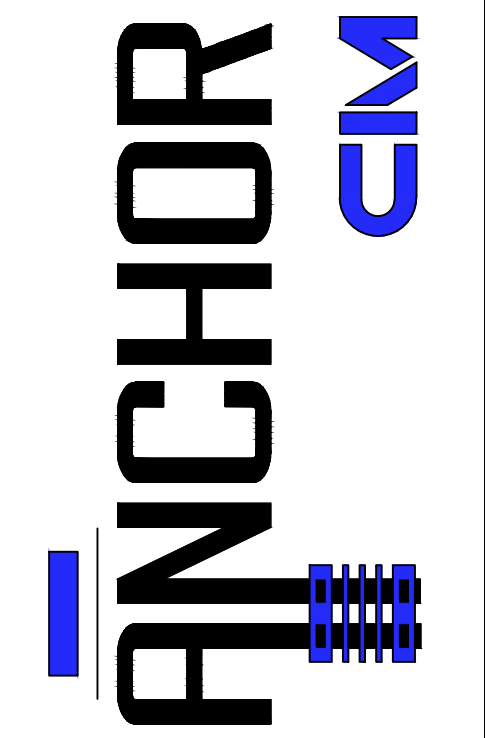
- G.C. TO INSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FIXTURE CIRCUITS OPERATIONAL.
- G.C. TO REPLACE BROKEN & DAMAGED WHEEL STOPS. ALL OTHERS TO BE RE-PINNED. SEE DETAIL.
- ALL FOOTINGS FROM ABANDONED SIGNAGE SHALL BE REMOVED 6" BELOW GRADE AND LANDSCAPED OVER.
- AT THE ADA PATH OF EGRESS SIDEWALKS, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING/NEW GRADES MEET ADA COMPLIANCE. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION.
- AT THE ADA PARKING STALLS AND ACCESSIBLE AISLES, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING/NEW GRADES MEET ADA COMPLIANCE OF LESS THAN 2% SLOPE IN ALL DIRECTIONS. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE ASPHALT GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION.
- G.C. TO SCRAPE, SAND, PAINT EXISTING BOLLARDS. (PAINT YELLOW).

**KEYED NOTES**

- LANDSCAPE/GRASS AREA. SEE LANDSCAPE DRAWINGS.
- SCRAPE, SAND, PAINT EXISTING LOT LIGHT POLE & BASE. REPAIR, PAINT OR REPLACE BOLT COVER. PAINT EXT-1G (BLACK).
- PAINT EXISTING MASONRY TRASH ENCLOSURE TO MATCH NEW BUILDING COLORS. SCRAPE, SAND, PAINT EXISTING TRASH ENCLOSURE GATES AND POSTS. PAINT COLOR: EP-4G. EXISTING MASONRY TRASH ENCLOSURE & TRASH ENCLOSURE GATES ARE CURRENTLY IN COMPLIANCE WITH SECTION 17-11-0303-B OF THE CITY OF CHICAGO ZONING ORDINANCE.
- EXISTING CONCRETE DRIVE-THRU LANE & REQUIRED DETECTOR LOOPS TO REMAIN. PATCH/REPAIR EXISTING CONCRETE, AS REQUIRED.
- NEW/RE-PAINTED PAVEMENT ARROWS/TEXT. SEE DETAIL 4/SP-3.
- EXISTING SIDEWALK TO REMAIN. PATCH AND REPAIR CONCRETE AS REQUIRED. SIDEWALK SECTIONS, SHOWN HATCHED, ARE FLUSH WITH ADJACENT ASPHALT PARKING SURFACE.
- EXISTING CONCRETE APRON AT TRASH ENCLOSURE TO REMAIN.
- SCRAPE, SAND, PAINT EXISTING ROAD SIGN CABINETS & POLE.
- EXISTING 4" PAINTED STRIPING, 18" O.C. AT 45°. REPAINT AS REQUIRED.
- EXISTING METAL FENCE. EXISTING ORNAMENTAL FENCE IS CURRENTLY IN COMPLIANCE WITH SECTION 17-11-0202-C OF THE CITY OF CHICAGO ZONING ORDINANCE.
- NEW ADA PARKING SIGN. SEE DETAIL ##/##.
- EXISTING ADA COMPLIANT PARKING STALL/ACCESS STALL. SEE DETAIL 3/SP-3.
- EXISTING WHEEL STOP.
- EXISTING ADA COMPLIANT, DETECTABLE WARNING SURFACE AND ADA RAMP TO REMAIN.
- NEW BICYCLE PARKING, SEE DETAIL 5/SP-3.
- NEW CONCRETE SIDEWALK/PATIO. SEE DETAIL ##/##.



REV	DATE	DESCRIPTION



**BURGER KING**  
STORE #16882

1701 E. 95TH STREET  
CHICAGO, ILLINOIS 60617  
(STONY ISLAND PLAZA)

SHEET NAME:  
**PROPOSED SITE PLAN**

SHEET #:  
**SP-1**

SCALE: 1" = 10'



*Keven Graham*

**SWORN STATEMENTS:**

The undersigned acknowledges the landscape planting shown on the landscape plan for the property at:

1701 E. 95th Street Chicago, Illinois 60617

to the best of the undersigned applicant's knowledge has been designed and will be installed, maintained, and replaced, as required, by current and subsequent owners in accordance with the requirements of Chapter 32 of the Chicago Municipal Code, the landscaping standard of the Chicago Zoning Ordinance, and the "Guide to the Chicago Landscape Ordinance."

Existing parkway and on-site interior trees are to be protected while project is under construction and will be replaced by current and subsequent owner if damaged.

Owner's Name and Signature

The undersigned LANDSCAPE ARCHITECT, registered in the State of Illinois, acknowledges that the landscape planting plan and construction details shown on the attached landscape plans for the property at:

1701 E. 95th Street Chicago, Illinois 60617

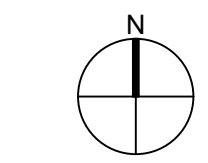
has been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance.

*Keven Graham*

#157-000150  
exp. 8/31/21

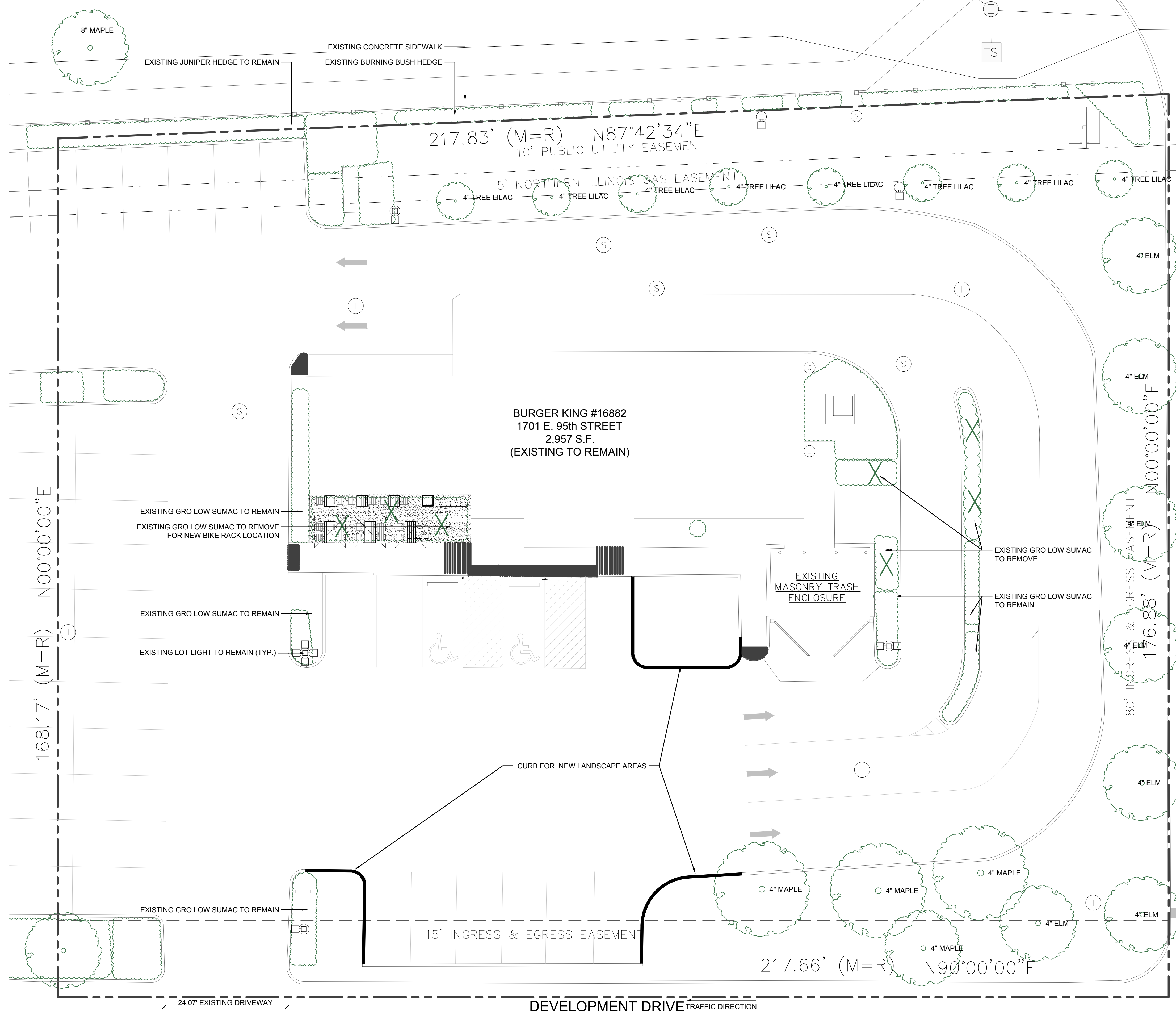
Keven Graham FASLA, PLA  
 TERRA Engineering Ltd.  
 225 W. Ohio Street, Fourth Floor  
 Chicago, Illinois 60610  
 ph: 312.467.0123

\*Estimated time of planting: June 15, 2021



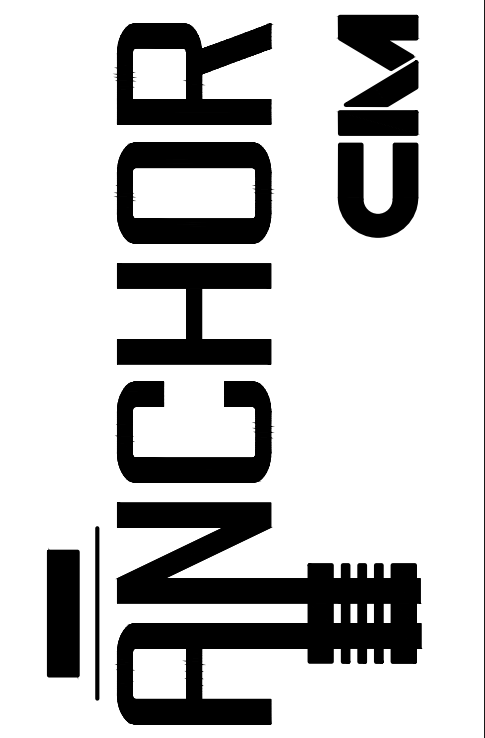
**LEGEND:**

- PROPERTY LINE
- EXISTING BUILDING
- EXISTING TREE TO REMAIN
- EXISTING CHAIN LINK FENCE
- EXISTING LANDSCAPE TO REMAIN
- EXISTING EVERGREEN SHRUBS TO REMAIN
- EXISTING LANDSCAPE TO REMOVE



**1 TREE PRESERVATION PLAN**  
 SCALE: 1" = 10'-0"

REV	DATE	DESCRIPTION
	4/26/2021	Site Plan Review Submittal
	5/6/2021	Site Plan Review Submittal

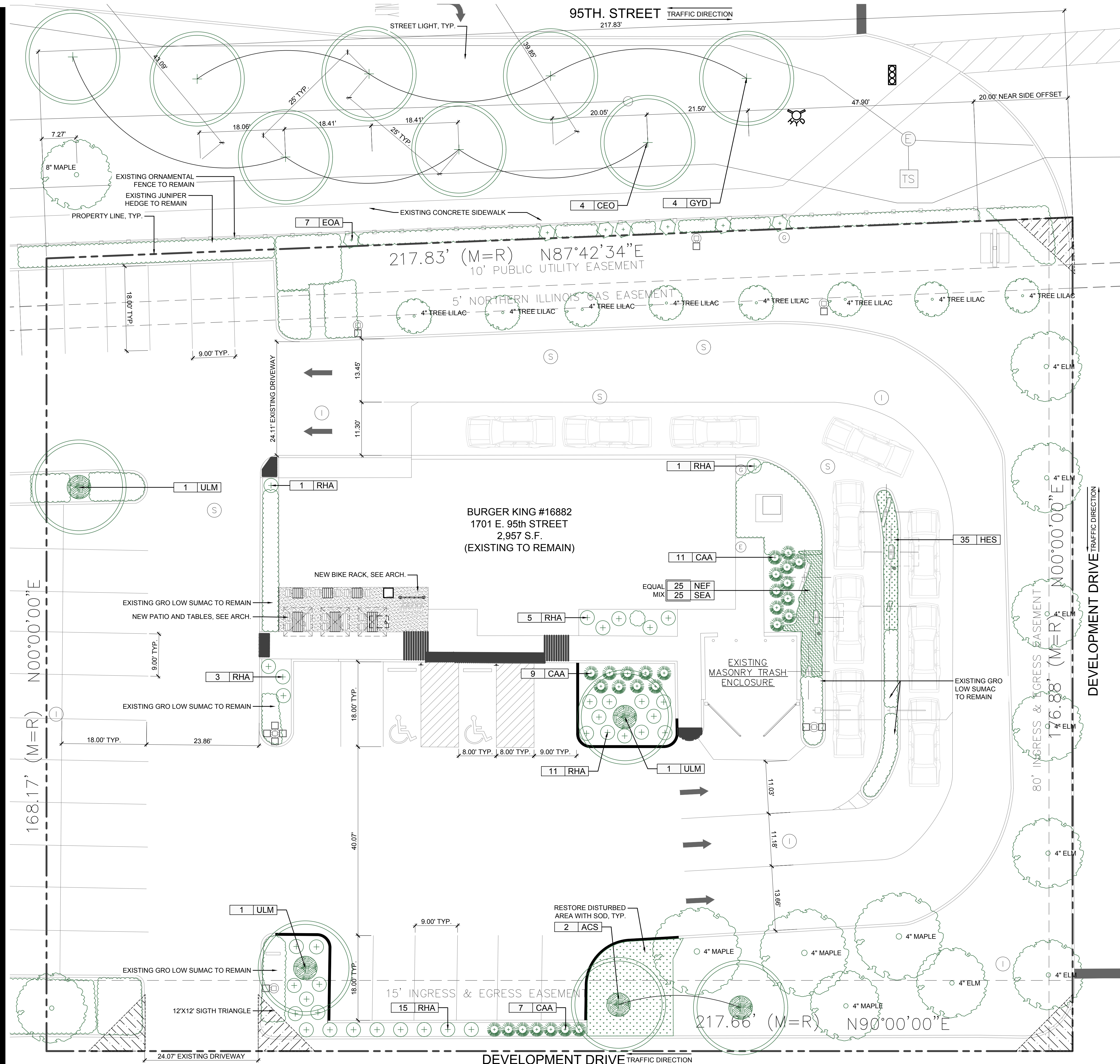


**BURGER KING**  
**STORE # 16882**  
 1701 E. 95TH STREET  
 CHICAGO, ILLINOIS 60617  
 (STONY ISLAND PLAZA)

SHEET NAME:  
 TREE PRESERVATION PLAN

SHEET #:  
**L0.0**

SCALE:



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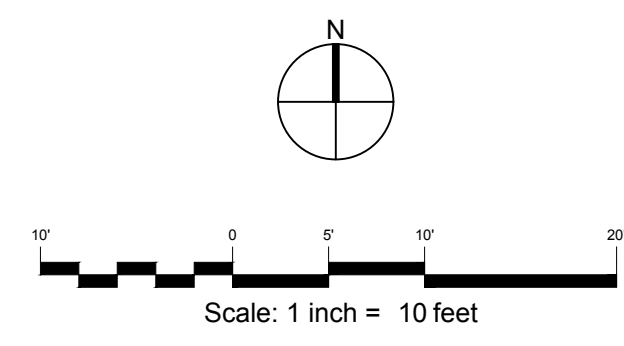
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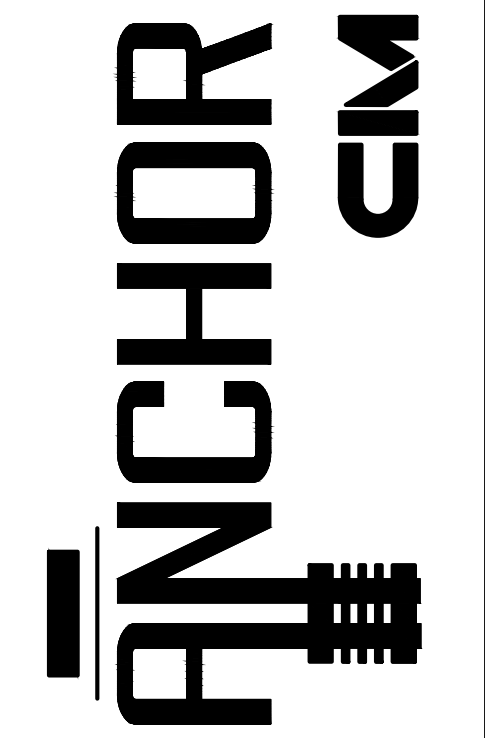
\*Estimated time of planting: June 15, 2021



**LEGEND:**

- PROPERTY LINE
- LIMITS OF WORK
- EXISTING BUILDING
- EXISTING TREE TO REMAIN
- EXISTING CHAIN LINK FENCE
- EXISTING LANDSCAPE TO REMAIN
- SHADE TREE
- DECIDUOUS SHRUBS
- ORNAMENTAL GRASSES
- LAWN SOD
- PERENNIAL / GROUND COVER AREAS
- MULCH, 3" DEPTH
- 12' X 12' SIGHT TRIANGLE

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**STORE #16882**  
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 CHICAGO, ILLINOIS 60617  
 (STONY ISLAND PLAZA)

SHEET NAME:  
 LANDSCAPE PLAN

SHEET #:  
**L1.0**



*Keven Graham*

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#157-000150  
 exp. 8/31/21

\*Estimated time of planting: June 15, 2021

Plant Schedule					
Burger King #16882 - Chicago, IL					
Qty.	Key	Botanical name	Common name	Size	Notes
<b>TREES</b>					
2	ACS	Acer Miyabei 'State Street'	State Street Maple	2.5" B&B	Central leader
4	CEO	Celtis occidentalis 'Chicagoland'	Chicagoland Common Hackberry	2.5" B&B	Central leader
4	GYD	Gymnocladus dioicus	Kentucky Coffee Tree	2.5" B&B	Central leader
3	ULM	Ulmus 'Morton Glossy'	Triumph Elm	2.5" B&B	Central leader
<b>SHRUBS</b>					
36	RHA	Rhus aromatica 'Gro-Low'	Gro-Low Sumac	#5 Cont.	5' o.c.
7	EOA	Euonymus alatus 'Compacta'	Dwarf Burning Bush	36" B&B	3' o.c.
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>					
27	CAA	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 Cont.	3' o.c.
35	HES	Hemerocallis 'Stella de Oro'	Yellow Daylily	#1 Cont.	18" o.c.
25	NEF	Nepeta racemosa 'Walker's Low'	Walkers Low Catmint	#1 Cont.	18" o.c.
25	SEA	Sesleria autumnalis	Autumn Moor Grass	#1 Cont.	18" o.c.

**Vehicular Use Area Calculation**

Proposed Vehicular Use Area:	22,035 SF
Internal Landscape Required (7.5%):	1,653 SF required
<b>TOTAL INTERNAL LANDSCAPE AREA PROVIDED:</b>	<b>8,942</b> SF provided
	<b>41%</b> % Provided
Trees required as part of internal landscape area (at 1 tree per 125 SF of req. internal landscape area)	13 Trees required
Existing Internal Trees:	12
Proposed Internal Trees:	5
<b>TOTAL INTERNAL TREES PROVIDED:</b>	<b>17</b> Trees provided

**Landscape Ordinance Analysis**

<b>95th Street Parkway Trees Required:</b> (at 1 tree per 25 LF of frontage)	218 LF	8.7 Trees required
Existing Parkway Trees:	1	
Proposed Parkway Trees:	8	
<b>TOTAL PARKWAY TREES PROVIDED:</b>	<b>9</b>	Trees provided

Note: The parkway width allows for trees to be planted at a 25' spacing staggered.

<b>95th Street Perimeter Trees required:</b> 218 LF of Frontage (at 1 tree per 25 LF of perimeter landscape area)	8.7 Trees required
Existing Perimeter Trees:	8
Proposed Perimeter Trees:	0
<b>TOTAL PERIMETER TREES PROVIDED:</b>	<b>8</b> Trees provided

Note: The number of perimeter trees provided may be less than the number of trees required due to locations of existing perimeter trees, site sign, interior lights and parking layout. Note the interior trees are located ~15' from property line due to existing public utility and gas easements.

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	5/6/2021	Site Plan Review Submittal



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 1701 E. 95TH STREET  
 CHICAGO, ILLINOIS 60617  
 (STONY ISLAND PLAZA)

SHEET NAME:  
 LANDSCAPE SCHEDULE  
 AND CALCULATIONS

SHEET #:  
**L1.1**

SCALE:



*Keven Graham*

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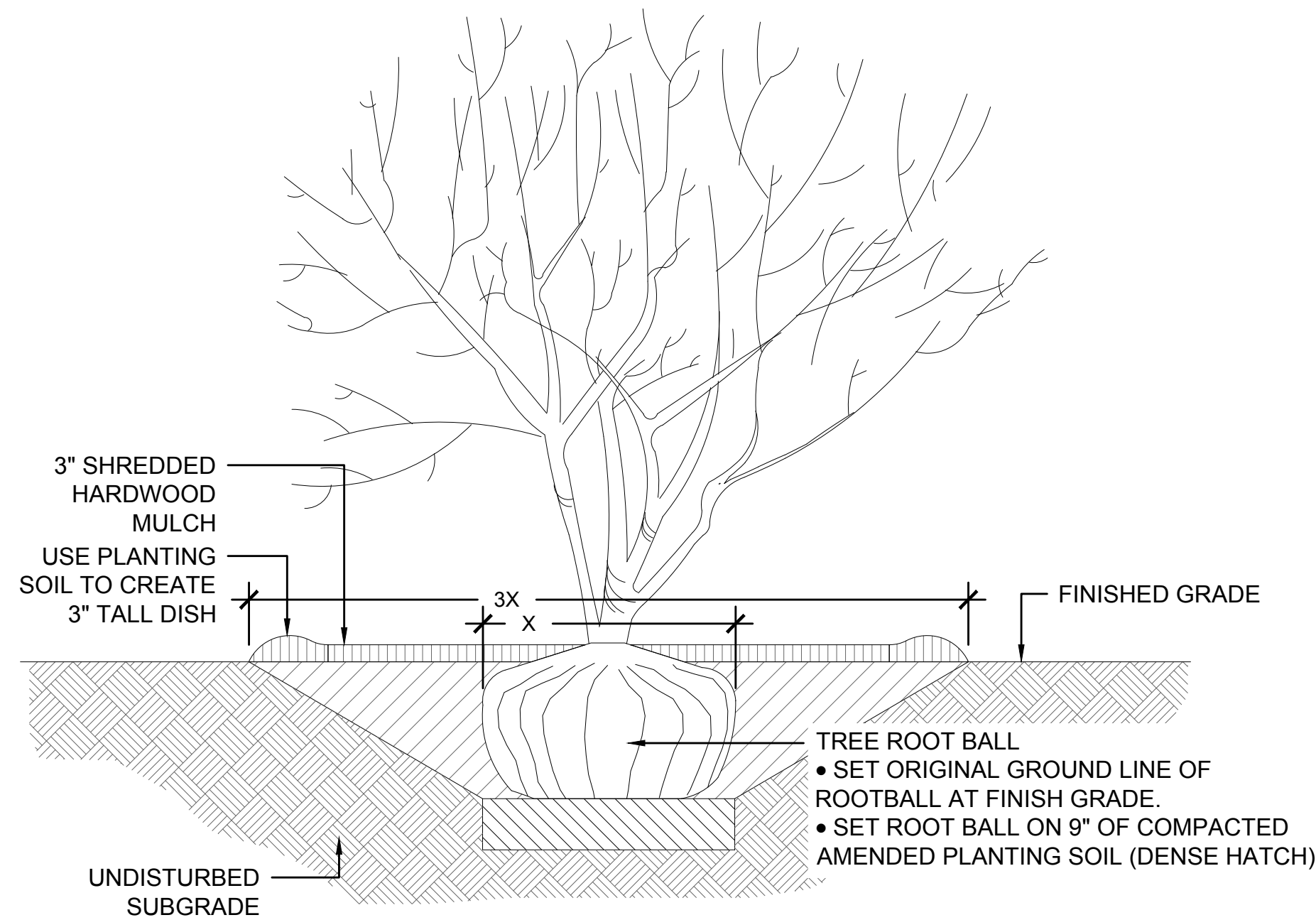
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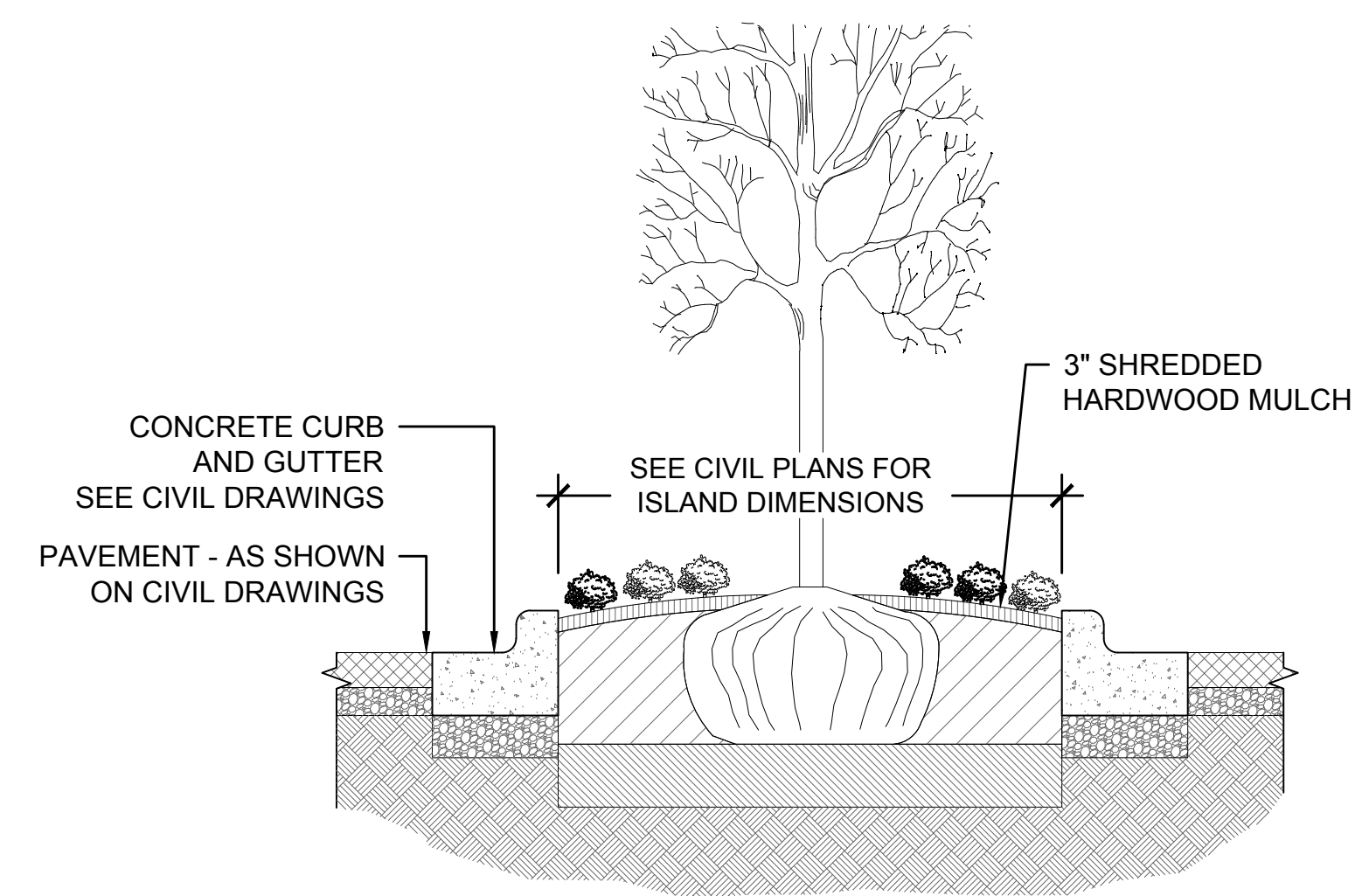
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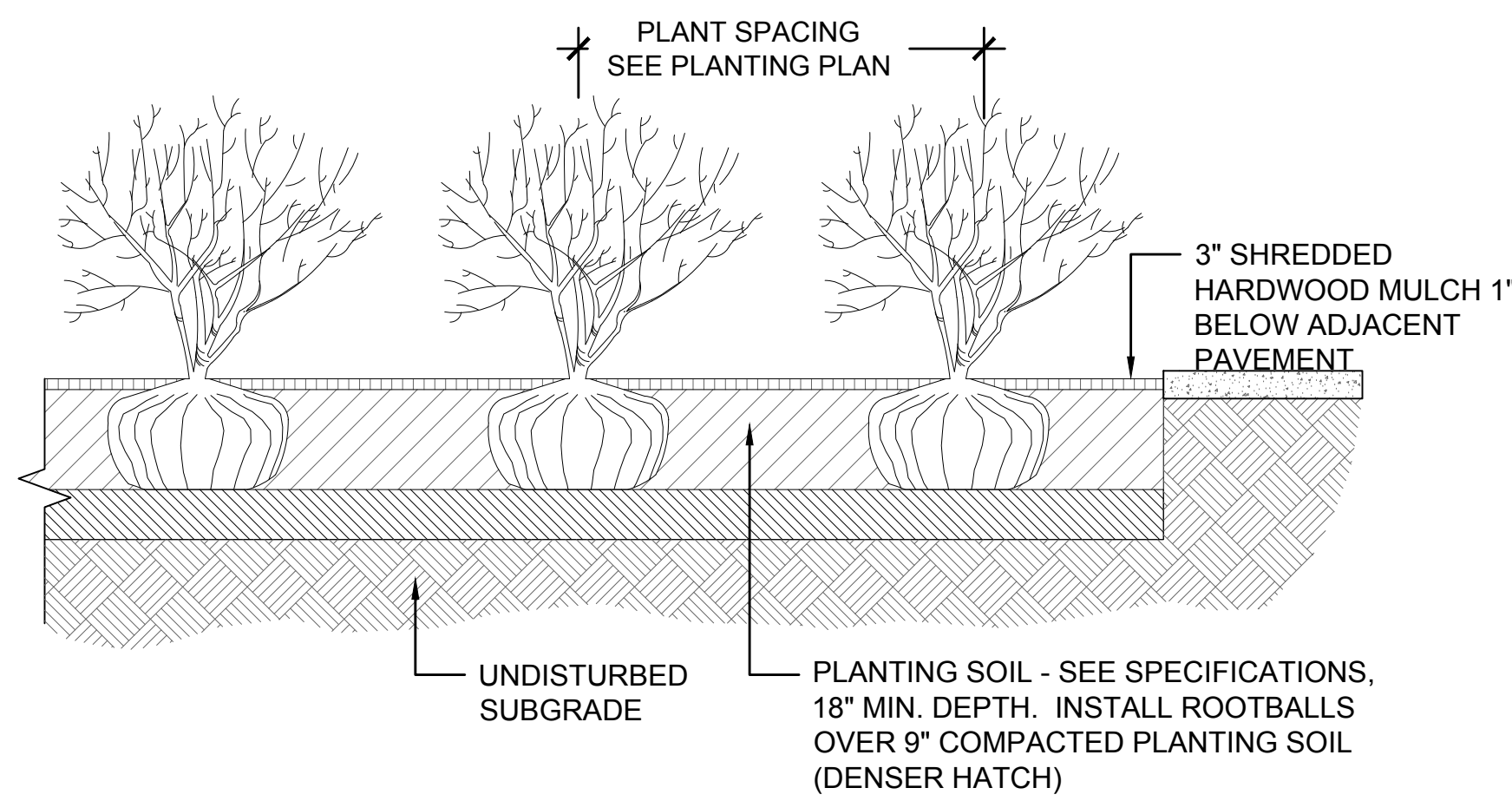
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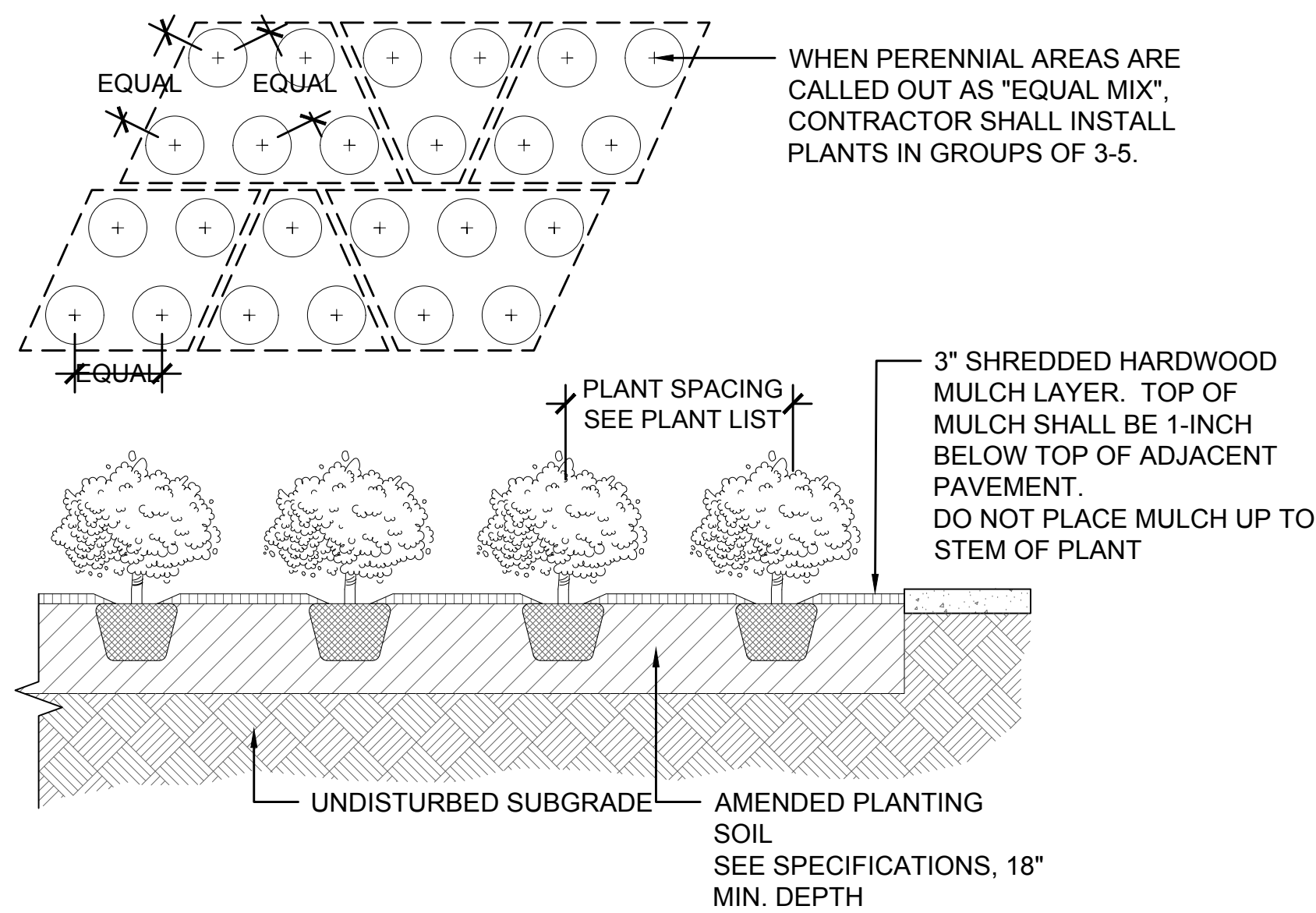
**1** SHADE/ORNAMENTAL TREE PLANTING DETAIL  
 SCALE: NTS



**2** SHADE TREE PLANTING - PARKING LOT ISLAND  
 SCALE: NTS



**3** SHRUB PLANTING DETAIL  
 SCALE: NTS

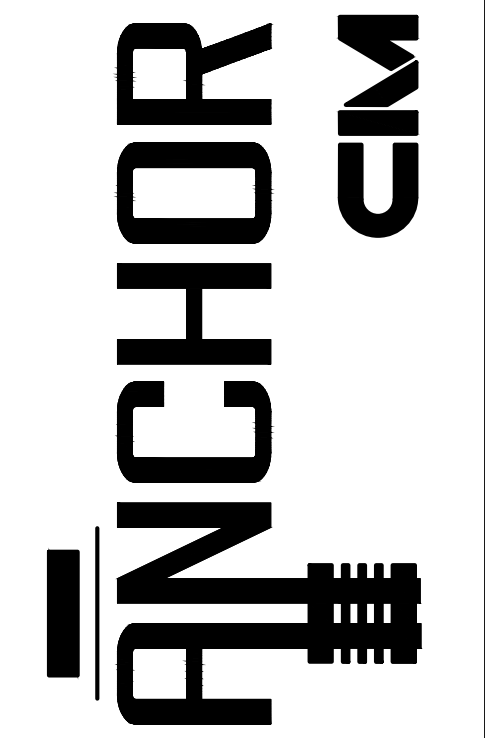


**4** GROUNDCOVER / PERENNIAL PLANTING DETAIL  
 SCALE: NTS



**5** PLANT IMAGES  
 SCALE: NTS

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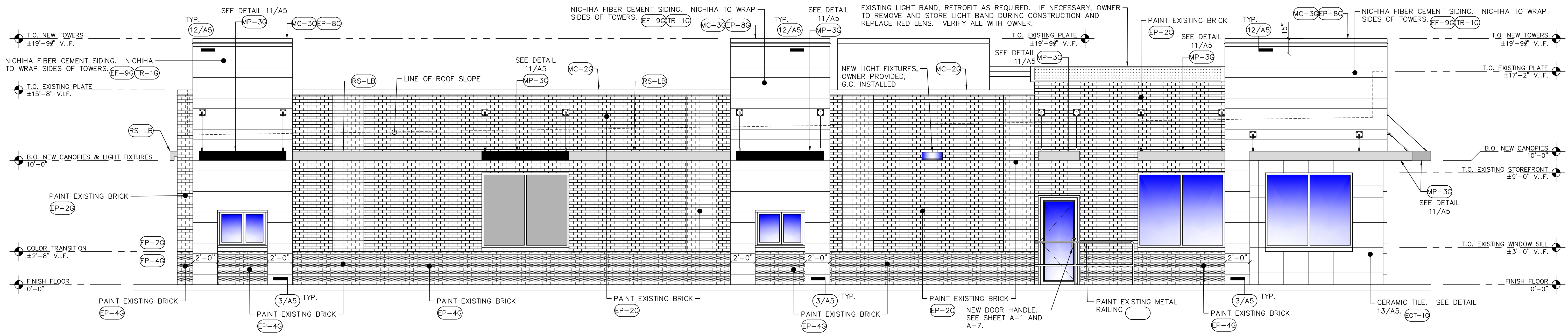


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 STORE #16882  
 1701 E. 95TH STREET  
 CHICAGO, ILLINOIS 60617  
 (STONY ISLAND PLAZA)

SHEET NAME:  
 LANDSCAPE DETAILS

SHEET #:  
**L2.0**

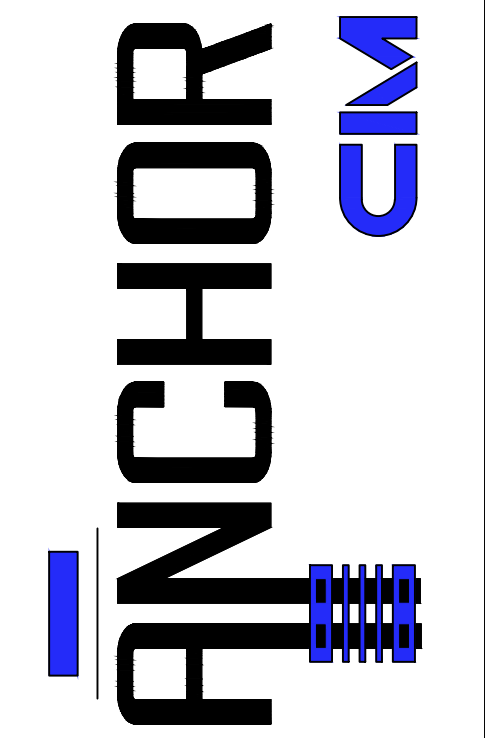
SCALE:



1  
A-4.1  
PROPOSED NORTH ELEVATION

BURGER KING - 20/20 GARDEN GRILL EXTERIOR									
EXTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project)									
02/05/21	CODE	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION	COLOR	DIMENSION	ADDITIONAL INFORMATION	
	EB-1G	EXTERIOR BRICK	GENERAL	EVOLUTION BRICK PINE HALL BRICK H.C. MUDDOX BRICK	MOD / QS TUMBLE (FULL BRICK) (THIN BRICK) FACE BRICK THIN BRICK	OLDE HILLSBORO SIERRA TUMBLE OLD IRVINGTON OVS BK WEST COAST BLEND		CONTACT: GABE POWERS (502) 558-4612 <b>NOTE: USE WITH EGR-3G</b> CONTACT: THERESA BEANE (800) 334-8689 - tbeane@pinehallbrick.com <b>NOTE: USE WITH EGR-3G</b> CONTACT: ERIN LYNCH (916) 206-7831 <b>NOTE: USE WITH EGR-3G</b> CONTACT: JOY DEFER AT EUROWEST (770) 805-9466 BK@NICHIA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS</b> <b>VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)</b>	
	EB-1AG (ALTERNATE FOR EB-1G)	EXTERIOR FINISH FIBER CEMENT BRICK PANELS	GENERAL	NICHIA FIBER CEMENT	NICHIA CANYON BRICK PANELS	"SHALE BROWN" - STAGGERED JOINTS - UNPAINTED IF NO OTHER BRICK IS PRESENT. (ON REMODELS, IF THERE IS ANY EXISTING BRICK ON THE BUILDING, THE EXISTING BRICK AND THE NICHIA BRICK MUST BE PAINTED TO MATCH EP-4G)	18" X 6"	CONTACT: JOY DEFER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com <b>NOTE: USE WITH EGR-4G</b> CONTACT: JOY DEFER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com <b>NOTE: USE WITH EGR-4G</b> CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
	ECT-1G	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	GRANITI GIANDRE / EUROWEST	SENSIBLE STONE ED5052	"RED NATURAL" STACKED BOND PATTERN	12" X 24"	CONTACT: JOY DEFER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com <b>NOTE: USE WITH EGR-4G</b> CONTACT: JOY DEFER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com <b>NOTE: USE WITH EGR-4G</b> CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
	ECT-1BG	EXTERIOR CERAMIC TILE	INLINE RESTAURANTS ONLY	GRANITI GIANDRE / EUROWEST	ROVERE ANTICO LEGNI HIGH TECH	PAR 15334 "ROVERE" STACKED BOND PATTERN	6" X 36"	CONTACT: JOY DEFER AT EUROWEST (714) 309-9551 OR JOY KLEIN (813) 334-3302 jklein@transamerica.com <b>NOTE: USE WITH EGR-4G</b> CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
	EP-1G	EXTERIOR FINISH - STUCCO, STO, FIBER CEMENT SIDING PANELS	GENERAL	STO OR APPROVED EQUAL	STO POWERSWALL STUCCO SYSTEM TEXTURE: FINE SAND OR STO THERM CI EPS SYSTEM	COLOR TO MATCH EP-2G PRG "DESERT DUNE"		CONTACT: NICHIA CUSTOMER SERVICE (770) 805-9466 BK@NICHIA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS</b> <b>VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)</b> CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
	EP-4G (ALTERNATE FOR EP-9G)	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STO POWERSWALL STUCCO SYSTEM	COLOR TO MATCH EP-4G PRG "GRANITE"		CONTACT: 800-255-1727 Susan King Susan.King@boral.com colorandstone@boral.com CONTACT: NICHIA CUSTOMER SERVICE (770) 805-9466 BK@NICHIA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS</b> <b>VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)</b> CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
	EP-9G	EXTERIOR FINISH FIBER CEMENT	EXTERIOR SIGN ARCHONS	BORAL STONE PRODUCTS	COUNTRY LEDGESTONE	"ASPEN"		CONTACT: 800-255-1727 Susan King Susan.King@boral.com colorandstone@boral.com CONTACT: NICHIA CUSTOMER SERVICE (770) 805-9466 BK@NICHIA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS</b> <b>VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)</b> CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
	TR-1G	ALUMINUM TRIMS	EXTERIOR SIGN ARCHONS	NICHIA FIBER CEMENT	VINTAGE WOOD EP762	"CEDAR"	18" X 10"	CONTACT: NICHIA CUSTOMER SERVICE (770) 805-9466 BK@NICHIA.COM <b>INSTALL PER MANUFACTURER'S SPECIFICATIONS</b> <b>VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)</b> CONTACT: TIM SALERNO AT STO CORP (407) 466-5371	
	EC-1G	EXTERIOR CAULK		ADSEAL PRODUCTS	ADSEAL 458-63	"VINTAGE WOOD CEDAR"		CONTACT: MATT KLINGE AT ADFAST (314) 753-0964 matt.klinge@adfastcorp.com <b>NOTE: USE WITH EP-9G</b> CONTACT: KEVIN LASTACY @ PPG Corporate National Accounts Manager 655 335-3259 kevinl@ppg.com <b>NOTE: FOR REMODELS ONLY</b> <b>NOT FOR USE ON ROOFS.</b> SEE EP-6AG & EP-6BG <b>NOTE: BY EXCEPTION FOR REMODELS ONLY</b>	
	EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL		PRIMER: 17-921 PAINT: 6-2045X1 PRIMER: 17-921 PAINT: 6-2045X1 PRIMER: 6-212 PAINT: 6-230	"DESERT DUNE" 1023-4, former "TANNERS TAUPÉ" PPG1023-4 "GRANITE" 1022-6, former "MONTREY CLIFFS" 1071-14280 "STEPPING STONE" 1010-4, former "BURGER KING SILVER" Custom Formula		CONTACT: KEVIN LASTACY @ PPG Corporate National Accounts Manager 655 335-3259 kevinl@ppg.com <b>NOTE: FOR REMODELS ONLY</b> <b>NOT FOR USE ON ROOFS.</b> SEE EP-6AG & EP-6BG <b>NOTE: BY EXCEPTION FOR REMODELS ONLY</b>	
	EP-6G	EXTERIOR PAINT	LOGO SIGN CABINETS & BURGER KING CHANNEL LETTER CABINETS	PPG	PRIMER: 17-921 PAINT: 90-1110 PRIMER: 90-712 PAINT: 90-1110 PRIMER: 17-921 PAINT: 6-2045X1 PRIMER: 90-712 PAINT: 90-353 PRIMER: 90-712 PAINT: 90-375	"DOVER GRAY" 1061-1, former "GRYMMYS GREY" 60NH 20,000 "GRAY STONE" 1009-4, former "MARCH WIND" Custom Formula "CARAVEL BROWN" 1079-6, former "CEDAR" Custom Formula "BLACK"		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-6AG	EXTERIOR PAINT	EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE	PPG	PRIMER: 17-921 PAINT: 90-1110 PRIMER: 90-712 PAINT: 90-1110 PRIMER: 17-921 PAINT: 6-2045X1 PRIMER: 90-712 PAINT: 90-353 PRIMER: 90-712 PAINT: 90-375	"DOVER GRAY" 1061-1, former "GRYMMYS GREY" 60NH 20,000 "GRAY STONE" 1009-4, former "MARCH WIND" Custom Formula "CARAVEL BROWN" 1079-6, former "CEDAR" Custom Formula "BLACK"		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-6BG	EXTERIOR PAINT	EXISTING STANDING SEAM METAL ROOF	PPG	PRIMER: 17-921 PAINT: 90-1110 PRIMER: 90-712 PAINT: 90-1110 PRIMER: 17-921 PAINT: 6-2045X1 PRIMER: 90-712 PAINT: 90-353 PRIMER: 90-712 PAINT: 90-375	"DOVER GRAY" 1061-1, former "GRYMMYS GREY" 60NH 20,000 "GRAY STONE" 1009-4, former "MARCH WIND" Custom Formula "CARAVEL BROWN" 1079-6, former "CEDAR" Custom Formula "BLACK"		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-8G	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS	SHERWIN-WILLIAMS	PRIMER: 17-921 PAINT: 6-2045X1 PRIMER: 90-712 PAINT: 90-353 PRIMER: 90-712 PAINT: 90-375	"HOMESTEAD BROWN" SW 7515 FACTORY FINISH SILVER "WESTCHESTER GRAY" SW 2849 "MARCH WIND" Custom Formula "CEDAR" Custom Formula		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-8G	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS	SHERWIN-WILLIAMS	PRIMER: 17-921 PAINT: 6-2045X1 PRIMER: 90-712 PAINT: 90-353 PRIMER: 90-712 PAINT: 90-375	"HOMESTEAD BROWN" SW 7515 FACTORY FINISH SILVER "WESTCHESTER GRAY" SW 2849 "MARCH WIND" Custom Formula "CEDAR" Custom Formula		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EXT-1G	EXTERIOR PAINT	POLES & POLE SIGN		PRIMER: 17-921 PAINT: 6-2045X1 PRIMER: 90-712 PAINT: 90-353 PRIMER: 90-712 PAINT: 90-375	"HOMESTEAD BROWN" SW 7515 FACTORY FINISH SILVER "WESTCHESTER GRAY" SW 2849 "MARCH WIND" Custom Formula "CEDAR" Custom Formula		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EXT-2G	EXTERIOR PAINT	SIGNS		PRIMER: 17-921 PAINT: 6-2045X1 PRIMER: 90-712 PAINT: 90-353 PRIMER: 90-712 PAINT: 90-375	"HOMESTEAD BROWN" SW 7515 FACTORY FINISH SILVER "WESTCHESTER GRAY" SW 2849 "MARCH WIND" Custom Formula "CEDAR" Custom Formula		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL	Loxon Concrete & Masonry A24W300	PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin	"HOMESTEAD BROWN" SW 7515		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT	Loxon Concrete & Masonry A24W300	PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin	"HOMESTEAD BROWN" SW 7515		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-5G	EXTERIOR PAINT	LOGO SIGN CABINETS & BURGER KING CHANNEL LETTER CABINETS	Loxon Concrete & Masonry A24W300	PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin	"HOMESTEAD BROWN" SW 7515		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-6AG	EXTERIOR PAINT	EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE	Loxon Concrete & Masonry A24W300	PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin	"HOMESTEAD BROWN" SW 7515		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-6BG	EXTERIOR PAINT	EXISTING STANDING SEAM METAL ROOF	Loxon Concrete & Masonry A24W300	PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin	"HOMESTEAD BROWN" SW 7515		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EP-8G	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS	Loxon Concrete & Masonry A24W300	PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin	"HOMESTEAD BROWN" SW 7515		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EXT-1G	EXTERIOR PAINT	POLES & POLE SIGN	Loxon Concrete & Masonry A24W300	PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin	"HOMESTEAD BROWN" SW 7515		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EXT-2G	EXTERIOR PAINT	SIGNS	Loxon Concrete & Masonry A24W300	PRIMER: Loxon Concrete & Masonry A24W300 PAINT: Superpaint Ext Satin A89 Series Satin	"HOMESTEAD BROWN" SW 7515		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EGR-3G	GROUT	BRICK	MAPEI		#5 "CHAMOLIS"		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EGR-4G	GROUT	CERAMIC TILE	CUSTOM BUILDING PRODUCTS		#335 "WINTER GRAY"		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	EGR-9G	GROUT	INLINE RESTAURANTS ONLY CERAMIC TILE	LATICRETE		#66 "CHESTNUT BROWN"		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	MC-1G	METAL COPING	TOP OF LIGHT BAND WALL CAP		PERMA SNAP PLUS	A-30 "SILVERSMITH"		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	MC-2G	METAL COPING	BELOW LIGHT BAND	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	FACTORY FINISH TO MATCH EP-2G PRG "TANNERS TAUPÉ"		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	MC-3G	METAL COPING	TOP OF ARCHON		PERMA SNAP PLUS	TO BE PAINTED TO MATCH EP-8G PRG "CEDAR"		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	MP-1G	PARAPET LIGHT BAND		LEKTRON	LED LIGHT BAND			CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	
	MP-3G	METAL CANOPY	ABOVE DOORS AND WINDOWS	"SEE APPROVED SIGN SUPPLIERS"	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED		CONTACT: GLENN REMLER, ARCHITECTURAL ACCOUNT EXECUTIVE phone: (954) 547-1217 email: Glenn.J.Remler@Sherwin.com	

REV	DATE	DESCRIPTION

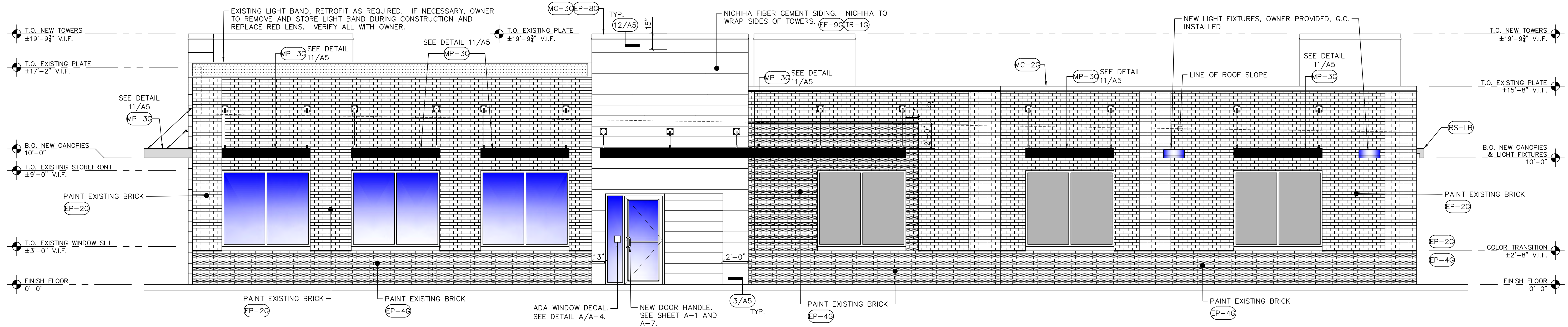


BURGER KING  
STORE #16882  
1701 E. 95TH STREET  
CHICAGO, ILLINOIS 60617  
(STONY ISLAND PLAZA)

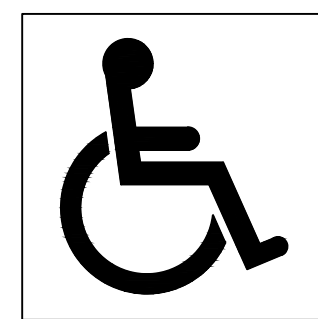
SHEET NAME:  
PROPOSED ELEVATIONS

SHEET #:  
**A-4.1**

SCALE: 1/4" = 1'-0"

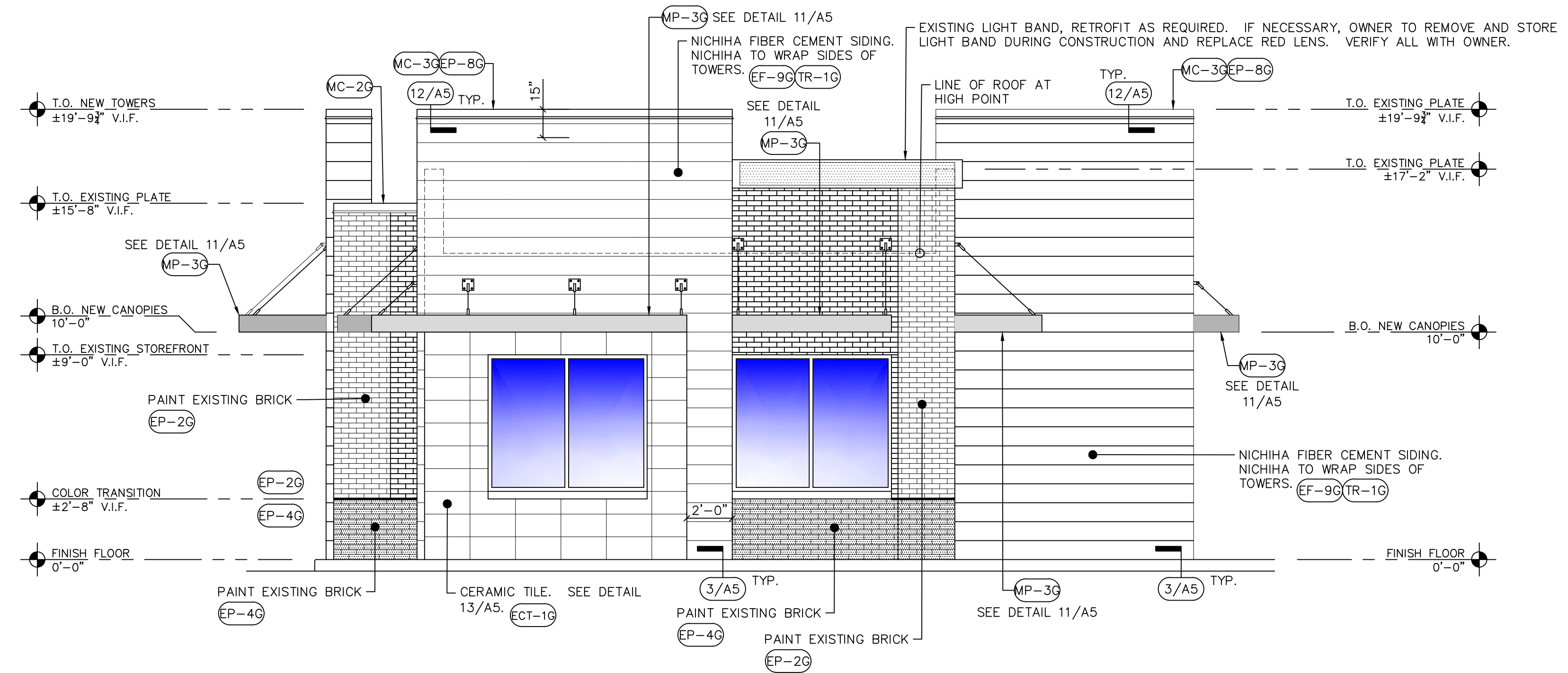


1 PROPOSED SOUTH ELEVATION  
A-4

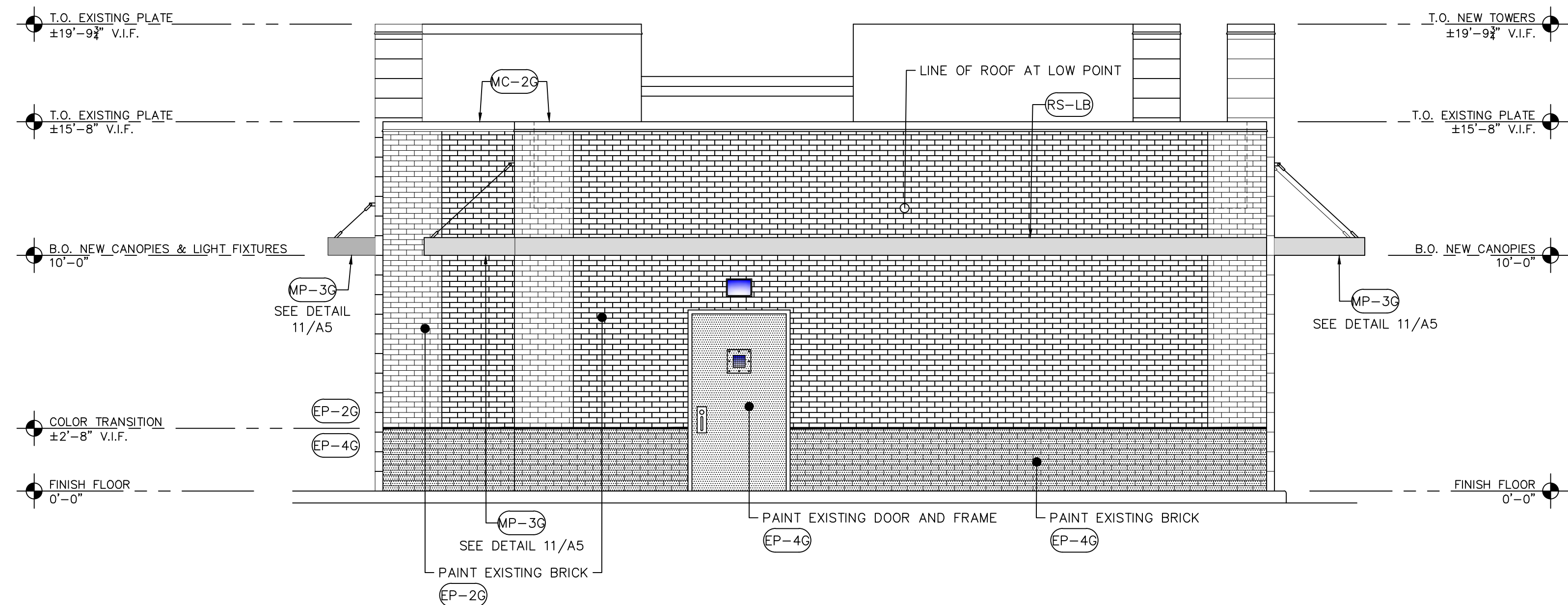


±40" A.F.F.  
NOT TO SCALE  
ADA SYMBOL OF ACCESSIBILITY (ISA)  
DECAL TO BE LOCATED ON STOREFRONT  
GLASS ADJACENT TO ALL ACCESSIBLE DOORS.

A ISA SIGN DECAL DETAIL  
A-4

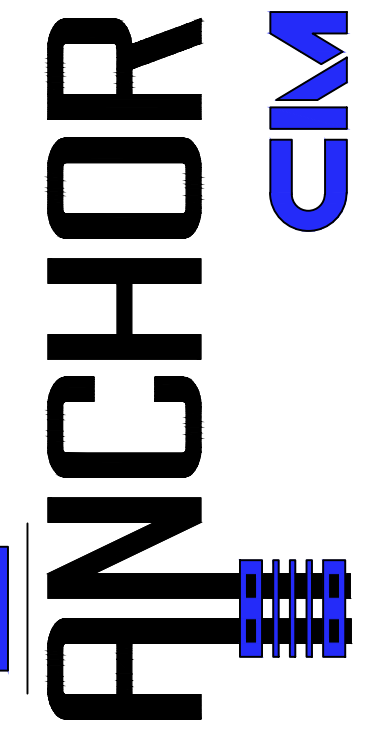


2 PROPOSED WEST ELEVATION  
A-4



3 PROPOSED EAST ELEVATION  
A-4

REV	DATE	DESCRIPTION



**BURGER KING**  
STORE #16882  
1701 E. 95TH STREET  
CHICAGO, ILLINOIS 60617  
(STONY ISLAND PLAZA)

SHEET NAME:  
PROPOSED  
ELEVATIONS

SHEET #:  
**A-4**

SCALE: 1/4" = 1'-0"

August 19, 2008

Ms Katriina S. McGuire  
Schain, Burney, Ross & Citron, Ltd  
222 North LaSalle Street #1910  
Chicago, IL 60601-1102

Re: **Site Plan Approval for Commercial-Business Planned Development # 485**

**Proposal:** Burger King Restaurant with drive-thru

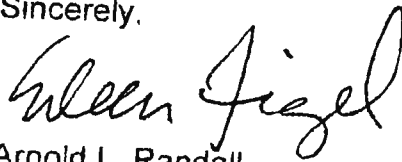
**Location:** 1701 East 95<sup>th</sup> Street

Dear Ms. McGuire:

We have reviewed the Landscape Plans dated July 1, 2008 and prepared by Wolf Landscape Architecture; the elevations, dated June 2, 2008 prepared by Warren Johnson Architects, Inc; the Dimensional Control and Paving Plan dated April 16, 2008 and the Site Plan dated August 13<sup>th</sup> both of which were prepared by Jacob & Hefner Associates Inc; and the land survey dated November 15, 2007 prepared by W-T Land Surveying Inc; all submitted by you for the construction of a single story fast food restaurant of 2,912 square feet with a drive thru and 27 parking spaces (of which 2 are ADA compliant) on a 37,554 square foot parcel of land. These plans are submitted under the regulations of Commercial-Business Planned Development No. 485.

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Accordingly, this Site Plan submittal for a parcel within Commercial-Business Planned Development #485, is hereby approved as conforming to the Plan of Development and passed by the Chicago City Council on June 14, 1989.

Sincerely,



Arnold L. Randall,  
Commissioner

Originated by: Benet Haller  
cc. Judy Minor-Jackson, Mike Marmo, Wendy Walker



City of Chicago  
Richard M. Daley, Mayor

Department of Planning and  
Development

Arnold L. Randall  
Commissioner

City Hall, Room 1000  
121 North LaSalle Street  
Chicago, Illinois 60602  
312 744-4190  
312 744-2271 (FAX)  
312 744-2578 (TTY)

<http://www.cityofchicago.org>





City of Chicago  
Richard M. Daley, Mayor

Department of Planning  
and Development

Christopher R. Hill  
Commissioner

121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-4190  
(312) 744-2271 (FAX)  
<http://www.ci.chi.il.us>

October 4, 2000

Mr. David Ariola  
U.S. Equities Development, LLC  
20 N. Michigan Ave.  
Chicago, Illinois 60602

**Re: Administrative Relief - Stony Island Plaza Shopping  
Center (BPD #485)**

Dear Mr. Ariola:

Please be advised that your request for a minor change to Business Planned Development No. 485 has been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance.

Specifically, you requested that a fuel center, in conjunction with the existing supermarket, be allowed within the shopping center development. Stony Island Plaza is an auto-oriented retail center with minimal pedestrian traffic. Given its location, the proposed fuel center would be appropriately located on an outlot parcel. Please be advised, however that the specific location of this use must be presented to the Department for approval prior to submittal of a Part II request.

With regard to your request, the Department of Planning and Development has determined that this revision to the Planned Development would constitute a minor change pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance. The proposed use would be accessory to the main supermarket store and will maintain the same design scheme, both architecturally and with respect to landscaping, as the existing center. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Business Planned Development No. 485, I hereby approve the foregoing minor change, but no other changes to Business Planned Development No. 485.

Very Truly Yours,

Christopher R. Hill  
Commissioner

cc: Philip Levin, Mike Marmo, Paul Woznicki





City of Chicago  
Richard M. Daley, Mayor

Department of Planning  
and Development

Christopher R. Hill  
Commissioner

121 North LaSalle Street  
Chicago, Illinois 60602  
(312) 744-4190  
(312) 744-2271 (FAX)

<http://www.ci.chi.il.us>

June 23, 1998

Mr. Rolando R. Acosta  
Alzheimer & Gray  
10 South Wacker Drive  
Suite 4000  
Chicago, Illinois 60606

**RE:** Request for minor changes to Commercial-Business Planned  
Development No. 485  
East 95th Street and South Stony Island Avenue

Dear Mr. Acosta:

The Department of Planning and Development has considered your request for minor changes to Commercial-Business Planned Development No. 485 pursuant to the authority granted by Section 11.11-3(c) of the Chicago Zoning Ordinance.

Specifically, you requested that the minimum setback requirement established in the 1989 Planned Development Ordinance for the northern portion of the eastern property line be reduced from 40 feet to 12 feet (as depicted on the Site Plan dated June 23, 1998). The two small buildings (C and D) proposed for the northeastern portion of the site would not require a rear service drive as originally proposed. Instead, loading for these buildings could effectively occur between the buildings or at the southern end of Building D. Also attached to your request are letters of support from Alderman Beavers and the adjacent property owner, Christ Universal Temple.

In addition, you requested that the Landscaped Plan associated with the original proposal as referenced in Statement No. 14 of the Planned Development be modified to reflect the current proposal depicted on the Landscape Plan dated June 23, 1998 as well as the requirements of the Chicago Landscape Ordinance.

With regard to your request, the Department of Planning and Development has determined that these modifications would constitute minor changes pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance provided that the proposed improvements are constructed in accordance with the attached plans.



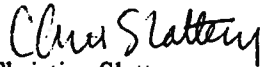
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, I hereby approve the foregoing minor changes, but no other changes to Commercial-Business Planned Development No. 485.

Very truly yours,



Christopher R. Hill  
Commissioner

Originated by:



Christine Slattery  
Deputy Commissioner

cc: Philip Levin  
Michael Marmo  
Paul Woznicki

to the designation of a C3-1 Commercial-Manufacturing District and a corresponding use district is hereby established in the area described above.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the C3-1 Commercial-Manufacturing District symbols and indications as shown on Map No. 24-C in the area bounded by the above described lineal boundaries to the designation of a Commercial-Business Planned Development which is hereby established in the area above, subject to such use and bulk regulations as are set forth on the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development attached to this ordinance reads as follows:

Commercial-Business Planned Development No. 485

*Plan Of Development*

*Statements.*

1. The area delineated herein as Business Planned Development is controlled pursuant to options to purchase said property. The actual developer of the Planned Development shall be First National Realty and Development Company, Inc.
2. The applicant or its successors, or grantees shall obtain all official reviews, approvals, licenses and/or permits.
3. The following uses shall be permitted within the area delineated herein as Business Planned Development: grocery stores, home improvement stores, various hard and soft goods retail and service type business uses, restaurant parking and related other uses.
4. The information in the tables and maps attached hereto sets forth data concerning the generalized land use plan of the area delineated as Business Planned Development. Such data indicates that the development shall be in general

compliance with the C3-1 Commercial Manufacturing District classification, as well as the intent and purpose of the Chicago Zoning Ordinance.

5. Accessory and/or outlet buildings or structures may be constructed in the Business Planned Development either prior to, subsequent to or concurrently with any one or more principal buildings.
6. Off-street parking and loading facilities shall be provided in compliance with this Plan of Development reflected in the submitted site plan.
7. Any dedication or vacation of streets and alleys or easements or grants of privilege or any adjustments of rights-of-way shall require a separate submittal on behalf of the applicant or its successors, assignees, or grantees.
8. Any service drives or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Public Works in compliance with the Municipal Code of Chicago to provide ingress and egress lanes, if required shall be adequately designed and paved in compliance with the City of Chicago Municipal Code. There shall be no parking within such emergency lanes.
9. A private benefit traffic signal on 95th Street will be provided by the applicant subsequent to review and approval by the Department of Public Works.
10. Subject to Illinois Department of Transportation approval, applicant will provide all necessary widening of 95th Street to allow for left turn channelization associated with this project.
11. Business and business identification signs may be permitted within the area delineated herein as Business Planned Development. Temporary signs such as construction and marketing signs may be utilized as reasonably required.
12. This Plan of Development is applicable to the area delineated herein and these and no other controls shall apply to the delineated area.
13. All applicable permits required by the Army Corps of Engineers, I.E.P.A., Illinois Department of Transportation and other relevant state and federal agencies regarding state roads, wetlands and related environmental issues shall be in place prior to Part II approval by the Commissioner of the Department of Planning.
14. All landscaping, fencing and other pedestrian improvements shall be in substantial compliance with the submitted landscape plan dated April 13, 1989.
15. This Plan of Development shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Development Amendments" as promulgated by the Commissioner of the Department of Planning and in force on the date of this application.

[Generalized Land Use Plan, Existing Zoning and Preferential Street System Map and Property Line Map and Right-of-Way Adjustments attached to the Plan of Development printed on pages 2289 through 2291 of this Journal.]

Table of Use and Bulk Regulations and Data and Statement of Permitted Uses attached to this Plan of Development reads as follows:

*Commercial-Business Planned Development No. \_\_\_\_\_*

*Table Of Use And Bulk Regulations And Data.*

Area	Net Site Area <u>Sq. Ft.</u> Acres	Net Building Area Sq. Ft.	Generalized Description Of Permitted Uses	Actual F.A.R.	Percent Of Coverage
	<u>928,220</u> 21.31	244,250	Food stores, drug stores, banks, retail establishments, restaurants, retail liquor stores, offices, business and professional uses, wholesale establishments, drive-in establishments, parking and related uses.	0.2631	26.31%

Gross Site Area = Net Site Area: 21.31 acres plus Existing Rights-of-Way: 5.63 acres = 26.94 acres.

Maximum Permitted F.A.R. for Total Net Site Area: 26.31% of coverage.

**Off-Street Parking:**

Minimum required: Estimated at 521 required spaces.

Estimated provided: 1,013 spaces, including two percent handicapped.

**Off-Street Loading:** Per C3-1 requirements.

**Peripheral Setback:**     95th Street -- 25 feet  
                              Stony Island -- 15 feet  
                              East property line -- 40 feet  
                              South property line -- 125 feet

*Commercial-Business Planned Development No.* \_\_\_\_\_

*Statement Of All Permitted Uses.*

**General Description Of Permitted Uses:**

- A) All retail or service establishments dealing directly with consumers.
- B) All business, commercial and manufacturing establishments, with no restriction of maximum gross floor area.
- C) All activities involving the production, processing, cleaning, servicing, testing or repair of materials, goods or products, in conformance with manufacturing district performance standards.
- D) All establishments of the "drive-in" or "drive-thru" type, offering goods or services directly to the customers.
- E) Specific list of all permitted uses:

- 1) Accessory uses.
- 2) Amusement establishments.
- 3) Antique stores.
- 4) Appliance stores.
- 5) Arcades.
- 6) Art and school supply stores.
- 7) Art galleries.
- 8) Auction rooms.
- 9) Auto accessory stores.
- 10) Auto service stations.
- 11) Bakeries.
- 12) Banks and financial institutions.
- 13) Barber shops.
- 14) Beauty parlors.
- 15) Bicycle sales, rental and repair stores.
- 16) Blueprinting/photostatic establishments.
- 17) Books and stationery stores.
- 18) Camera and photographic supply stores.
- 19) Candy and ice cream stores.
- 20) Carpet and rug stores.

- 21) Caskets and casket supplies.
- 22) Catering establishments.
- 23) China and glassware stores.
- 24) Clothes pressing establishments.
- 25) Clothing and costume rentals.
  
- 26) Clubs and lodges.
- 27) Coin and philatelic stores.
- 28) Colleges and universities.
- 29) Crematories and mausoleums.
- 30) Currency exchanges.
  
- 31) Custom dressmaking.
- 32) Day care centers.
- 33) Delicatessens.
- 34) Department stores.
- 35) Drive-in or drive-thru establishments.
  
- 36) Drug stores.
- 37) Dry cleaning establishments.
- 38) Dry goods stores.
- 39) Dwelling units or lodging rooms.
- 40) Employment agencies.

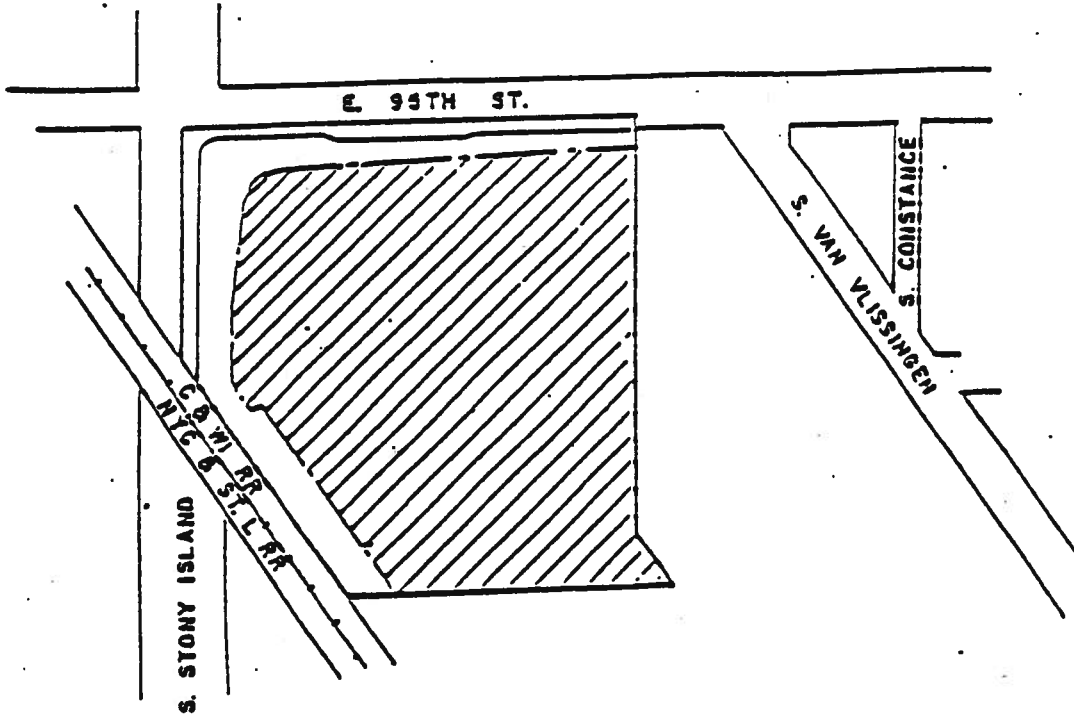
- 41) Feed stores.
- 42) Fire stations.
- 43) Florist shops and conservatories.
- 44) Food stores and grocery stores.
- 45) Frozen food stores and lockers.
- 46) Funeral parlors, undertaking establishments.
- 47) Furrier shops and storage.
- 48) Furniture stores, including upholstering.
- 49) Garages for storage, repair and servicing of motor vehicles, including body work.
- 50) Garden supply and feed stores.
- 51) Gift shops.
- 52) Greenhouses -- retail and wholesale.
- 53) Haberdasheries.
- 54) Hardware stores.
- 55) Hat shops.
- 56) Hobby shops.
- 57) Home improvement stores.
- 58) Ice sales, including vending machines.
- 59) Interior decorating shops.
- 60) Jewelry stores.

- 61) Laboratories -- medical and dental.
- 62) Launderettes -- automatic, self service.
- 63) Laundries, with no limitation of employees.
- 64) Leather goods and luggage stores.
- 65) Liquor stores, packaged goods.
  
- 66) Loan offices.
- 67) Locksmith shops.
- 68) Meat and poultry markets.
- 69) Medical and dental clinics.
- 70) Medical and orthopedic appliance stores.
  
- 71) Meeting halls.
- 72) Millinery shops.
- 73) Motor-driven bicycle sales and motor vehicle rental and repair stores.
- 74) Musical instruments, sales and repairs.
- 75) Newspaper distributing and retail sales.
  
- 76) Offices -- business and professional.
- 77) Office supply stores.
- 78) Off-track betting parlors.
- 79) Optometrists.
- 80) Parking lots, auto.




- 81) Pawn shops.
- 82) Paint and wallpaper stores.
- 83) Pet shops.
- 84) Photography studios.
- 85) Physical culture and health services.
  
- 86) Picture framing establishments.
- 87) Police stations.
- 88) Post offices.
- 89) Plumbing showrooms and shops.
- 90) Printing establishments.
  
- 91) Public libraries.
- 92) Radio and TV broadcasting stations.
- 93) Radio and TV computer repair, service and sales shops.
- 94) Recording studios.
- 95) Recreation buildings and community centers.
  
- 96) Repair and production, consumer goods.
- 97) Restaurants with liquor, including live entertainment and dancing.
- 98) Retail sales for goods produced or displayed on premises.
- 99) Rummage shops and second-hand stores.
- 100) Schools -- commercial or trade.

- 101) Schools -- music, dance or business.
- 102) Sewing machine sales and service.
- 103) Shoe stores, sales and repair.
- 104) Sporting goods stores.
- 105) Storage and warehousing establishments.
  
- 106) Tailor shops.
- 107) Taxidermists.
- 108) Telegraph offices.
- 109) Telephone exchanges.
- 110) Temporary buildings during construction.
  
- 111) Theaters.
- 112) Ticket agencies.
- 113) Tire, muffler, oil change, rental and car sales.
- 114) Tobacco shops.
- 115) Toy shops.
  
- 116) Travel bureaus and ticket offices.
- 117) Typewriter and adding machine sales and service.
- 118) Variety stores.
- 119) Umbrella repair shops.
- 120) Wearing apparel shops.
  
- 121) Wholesale establishments.

COMMERCIAL - BUSINESS PLANNED DEVELOPMENT NO. \_\_\_\_\_  
GENERALIZED LAND USE PLAN



LEGEND

-  PLANNED DEVELOPMENT BOUNDARY
-  PROPERTY LINE
-  SEE STATEMENT FOR LIST OF ALL PERMITTED USES

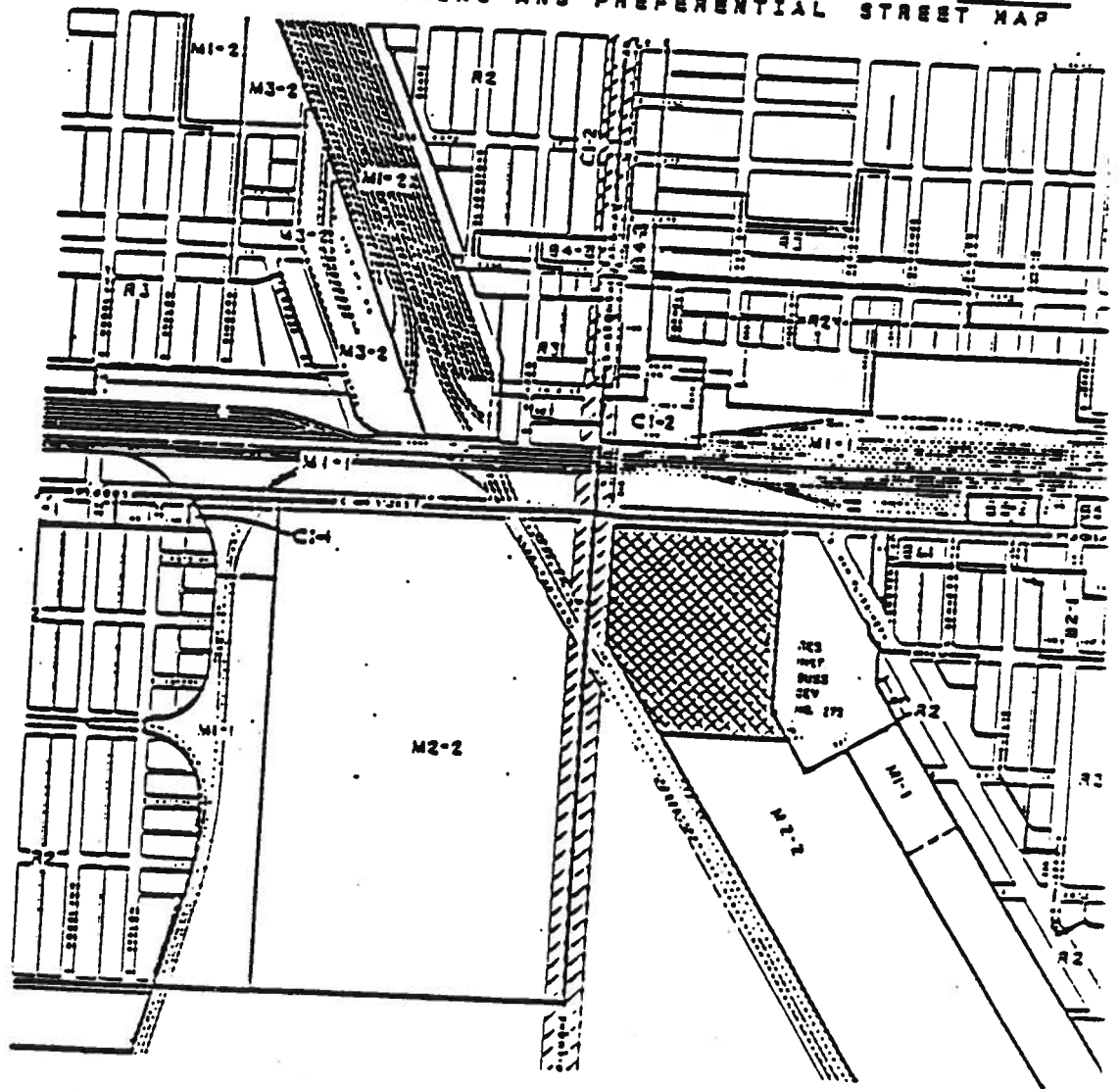
THE FOLLOWING USES SHALL BE PERMITTED WITHIN AREA DELINEATED HEREIN AS BUSINESS PLANNED DEVELOPMENT:  
Grocery Store, Home Improvement Store, various hard and soft goods Retail, and Service Type business uses,  
Restaurants, Parking and related other uses.

APPLICANT: J & M Limited Partnership, an Illinois Limited Partnership



ADDRESS: 45 North LaSalle Street, Suite 700, Chicago, IL 60610

DATE: February 21, 1989 (Revised - April 13, 1991)

COMMERCIAL-BUSINESS PLANNED DEVELOPMENT NO. \_\_\_\_\_  
EXISTING ZONING AND PREFERENTIAL STREET MAP

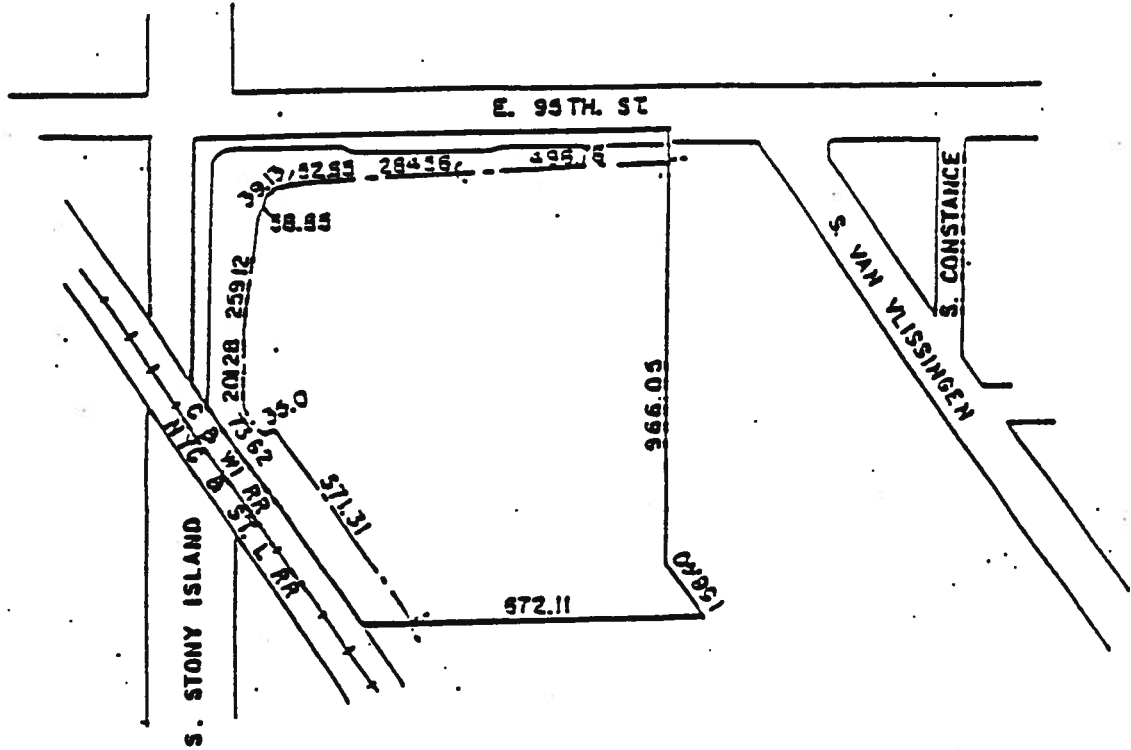


LEGEND

-  PREFERENTIAL STREET
-  PLANNED DEVELOPMENT

APPLICANT: J & N Limited Partnership, an Illinois Limited Partnership  
 ADDRESS: 415 North LaSalle Street, Suite 700, Chicago, IL 60610  
 DATE: February 21, 1989 (Revised - April 13, 1989)

COMMERCIAL - BUSINESS PLANNED DEVELOPMENT NO. \_\_\_\_\_  
PROPERTY LINE MAP AND RIGHT OF WAY ADJUSTMENTS



LEGEND

- PLANNED DEVELOPMENT BOUNDARY
- - - - - PROPERTY LINE
- 732.00' DIMENSIONS IN FEET

APPLICANT: J & N Limited Partnership, an Illinois Limited Partnership  
 ADDRESS: 215 North LaSalle Street, Suite 700, Chicago, IL 60610  
 DATE: February 21, 1989 (Revised - April 13, 1989)