

PD 44

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 22, 2026

Peter M. Friedman
Elrod Friedman LLP
325 N LaSalle St., Suite 450
Chicago, IL 60654

Re: Request for minor change to PD No. 44, Subarea B-1, 8535 W. Higgins Road

Dear Mr. Friedman:

Please be advised that your request for a minor change to Residential Business Planned Development No. 44 ("PD 44"), Subarea B-1, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD No. 44.

On July 21, 2022, and Aug. 3, 2023, your client and the sole owner of Subarea B-1, Glenstar O'Hare, LLC, was granted a minor change for design revisions to the proposed 8-story, 297-unit building at 8535 W. Higgins Rd. Action to implement these minor changes never occurred, both have since expired, and you are seeking an identical minor change.

The proposed modifications include: a reconfiguration of the ground floor vehicular drop-off area by replacing 6 diagonal parking spaces with 4 parallel parking spaces; an extension of the parking area to include the northernmost extent of the first floor and the elimination of the below grade and third level of parking; the relocation of the pool deck; a reconfigured first floor to enhance connection and continuity of the lobbies and tenant amenity spaces; a reconfiguration of the second floor parking to extend north and adjust the residential units to the north and east exterior walls; adjustments to the residential units on the third through eighth floors.

Additionally, the modifications to the parking within the building result in the elimination of the north solid brick wall facing Higgins Rd. and the replacement of residential units that sit above the landscaped berm, as shown in exhibit PD-09. The exterior tenant amenity deck was raised above the first floor to allow both tenant roof decks to be at the same level above grade and enhance access and security. Along the Higgins Rd. frontage, the height of the northernmost wing of the building has been reduced from 88'-0" to 77'-0". The residential units on the uppermost floors of the center and southern towers have been setback to create useable outdoor spaces for residents. The green roof has been increased by 5,391 SF, for a total of 35,044 SF as indicated on exhibit PD-07. Adjustments to the residential unit mix were made to accommodate the demand for larger units. The previously approved unit mix of 86 studios, 121 one-bedroom apartments, and 90 two-bedroom apartments has been changed to 57 studios, 157 one-bedroom apartments, and 83 two-bedroom apartments.

Lastly, the minor change request is accompanied by confirmation and agreement from the applicant to exceed the Affordable Requirements Ordinance obligations as set forth in the attached, revised Statement 16.

The following, revised drawings prepared by Fitzgerald Associates Architects, and dated May 11, 2022, shall be inserted into the main file and are attached:

- Existing Zoning Map PD-01
- Existing Land Use Map PD-02
- Planned Development Property Line, Boundary and Sub-Area Map PD-03
- Site Plan PD-04
- Pedestrian Circulation PD-05
- Site Plan Sub-Area B-1 PD-06
- Roof and Landscape Plan PD-07
- Landscape Plantings PD-08A
- Landscape Plantings PD-08B
- Landscape Plantings PD-08C
- Sub-Area B-1 North Building Elevation PD-09
- Sub-Area B-1 West Building Elevation PD-10
- Sub-Area B-1 South Building Elevation PD-11
- Sub-Area B-1 East Building Elevation PD-12
- Sub-Area B-1 Building Section PD-13
- First Floor Plan
- Second Floor Plan
- Third Floor Plan
- Fourth-Seventh Floor Plans
- Eighth Floor Plan
- Revised Statement 16

Regarding your request, the Department of Planning and Development has determined that allowing the proposed design changes and parking structure adjustments will not result in an increase in the bulk or density, will not have an adverse impact on the surrounding neighborhood, and will not change the character of the development. The site plan modifications are a result of further building design and refinement. There is no reduction in the amount of landscaping, unit count, or parking spaces proposed and the request is consistent with all the bulk, density, and use standards of PD 44. Additionally, the Dept. of Transportation, the Mayor's Office for People with Disabilities, the Fire Prevention Bureau and Stormwater Review have no objection to these changes.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 44, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter and unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

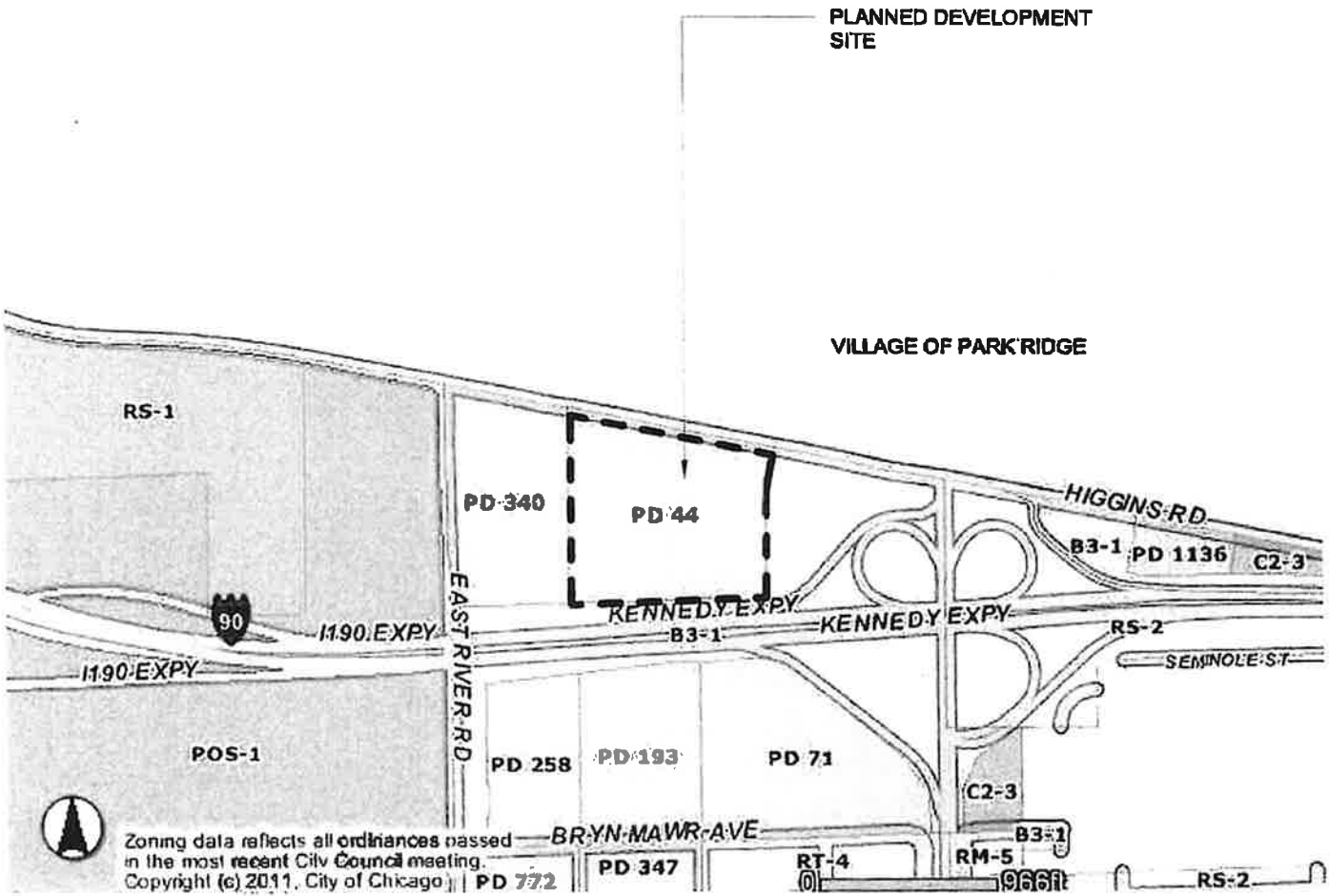
Sincerely,



Noah Szafraniec
Assistant Commissioner

C: Noah Szafraniec, Mike Marmo, Caitlyn Culbertson, Main file

Planned Development No. 44 EXISTING ZONING MAP

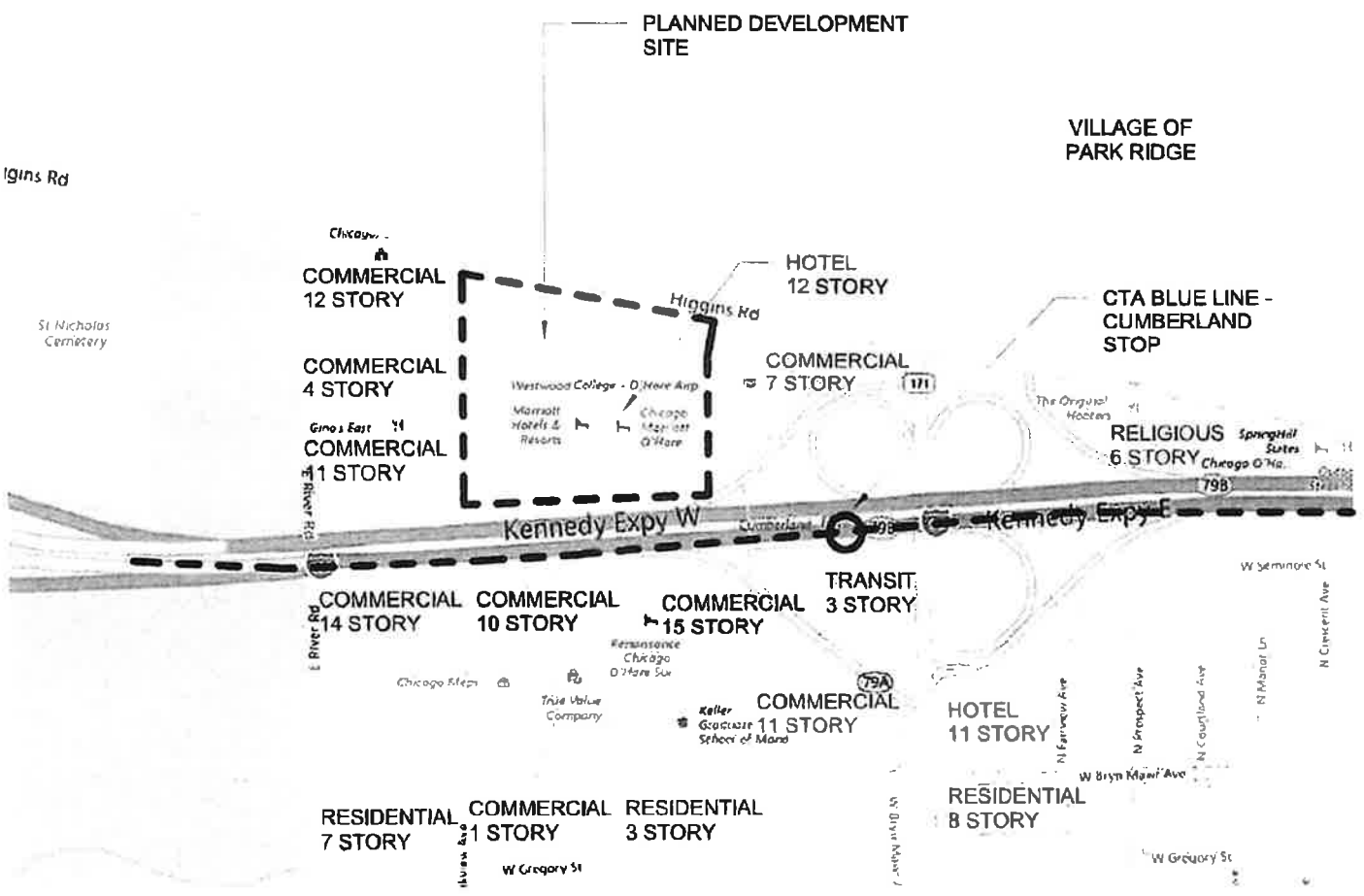


Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



PD-01

Planned Development No. 44 EXISTING LAND USE MAP



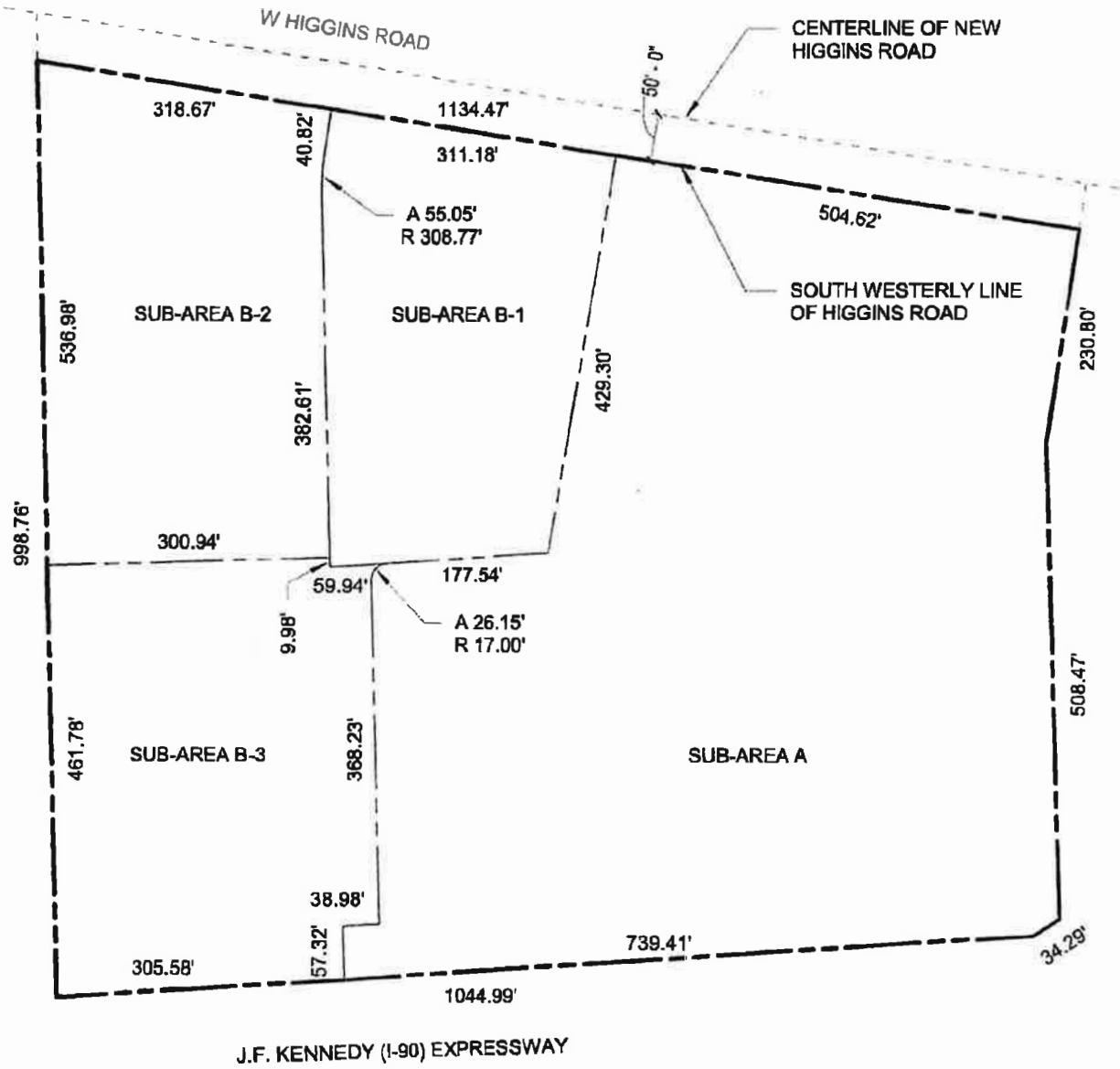
Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-02



Planned Development No. 44

PLANNED DEVELOPMENT PROPERTY LINE, BOUNDARY AND SUB-AREA MAP

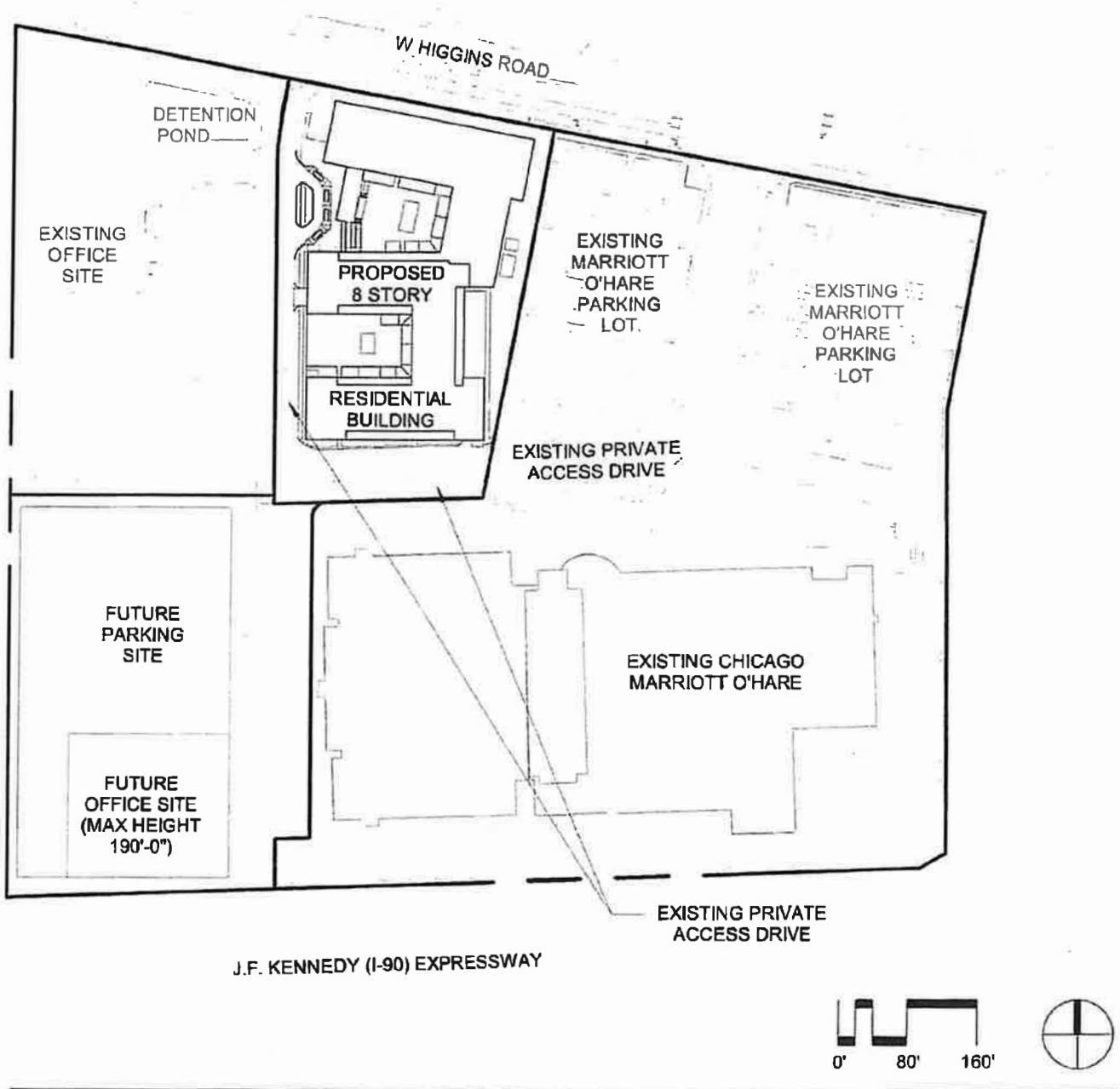


Applicant: Glenstar O'Hare, LLC
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 Minor Change: May 11, 2022

PD-03

Planned Development No. 44

SITE PLAN

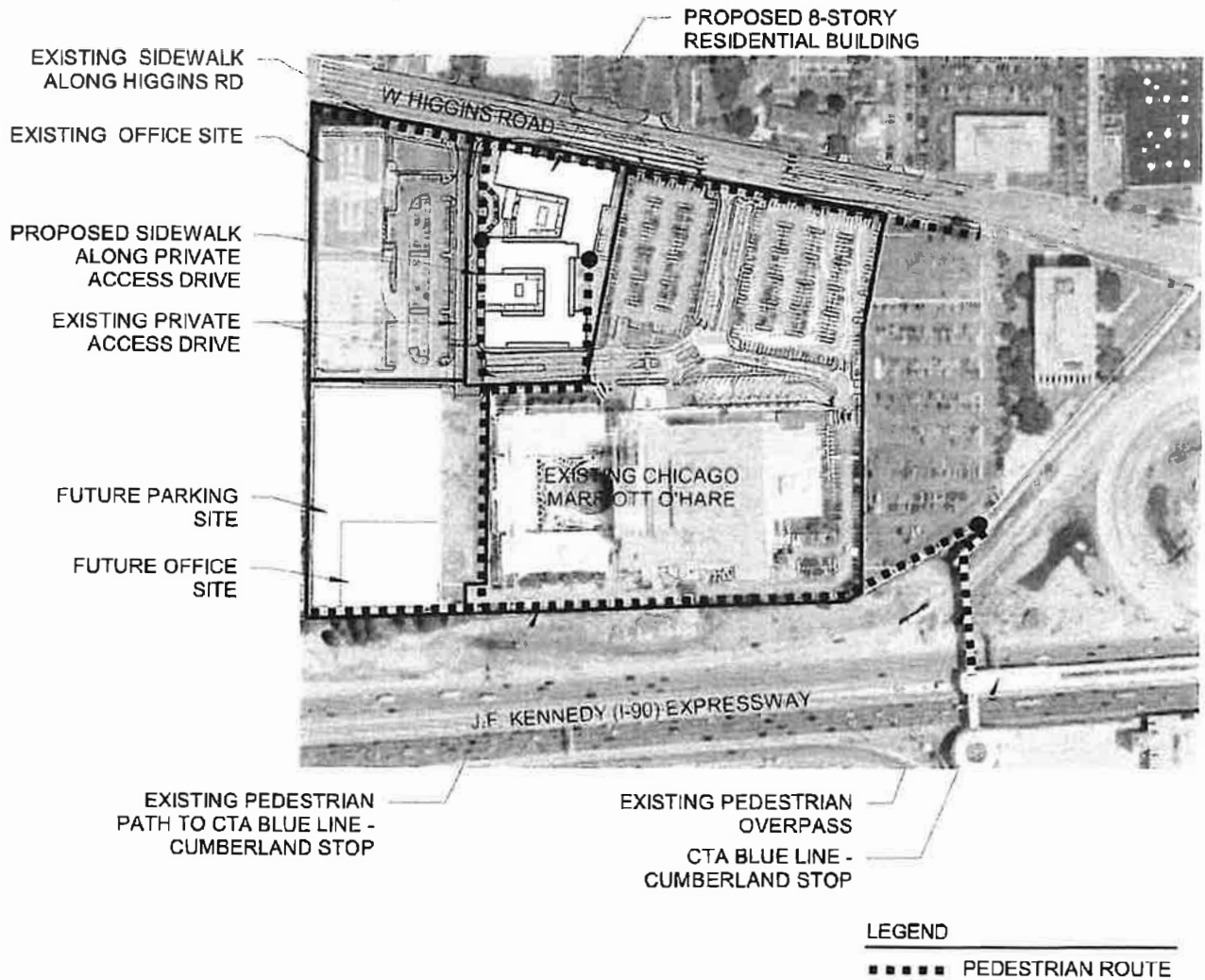


Applicant: Glenstar O'Hare, LLC
Address: 8535 W. Higgins Road
Minor Change: May 11, 2022

PD-04

Planned Development No. 44

PEDESTRIAN CIRCULATION



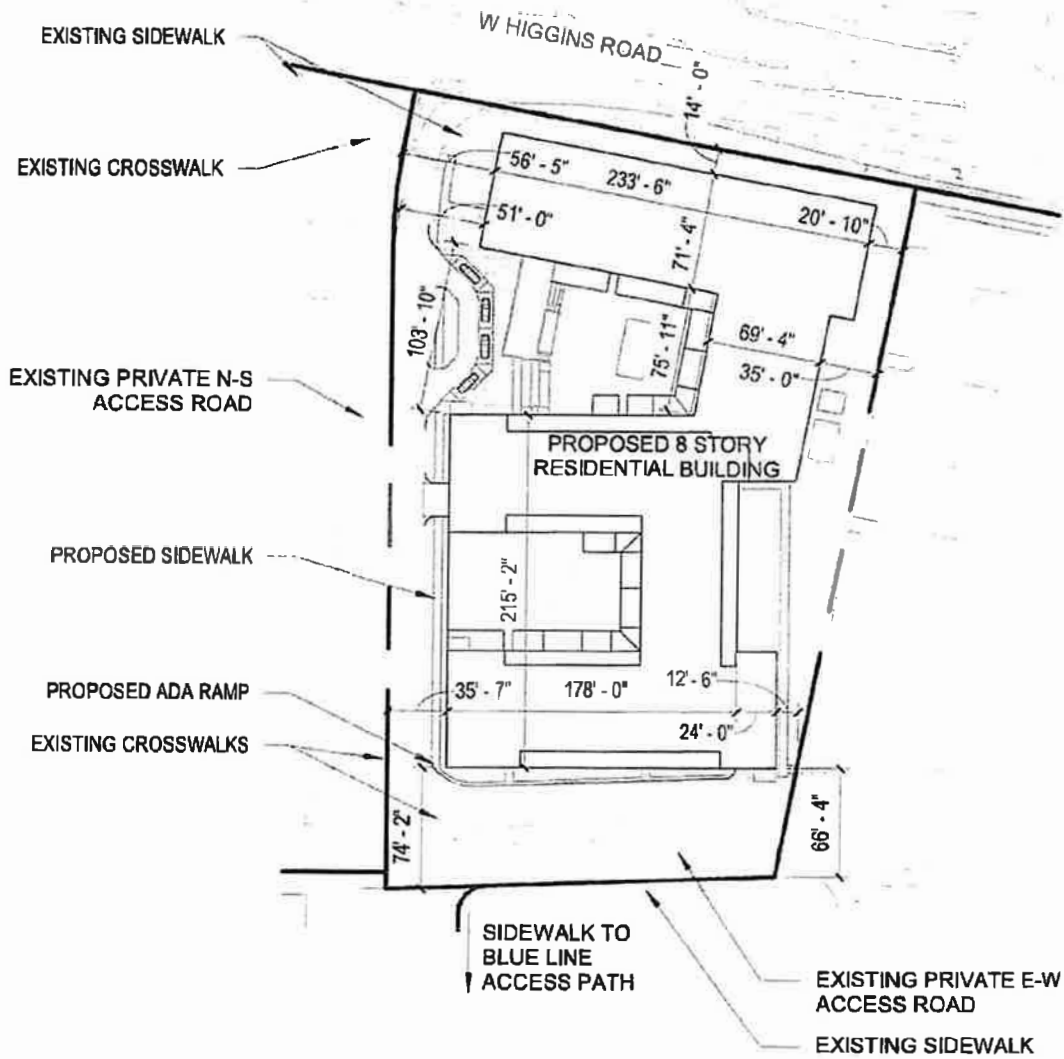
Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



PD-05

Planned Development No. 44

SITE PLAN SUB-AREA B-1



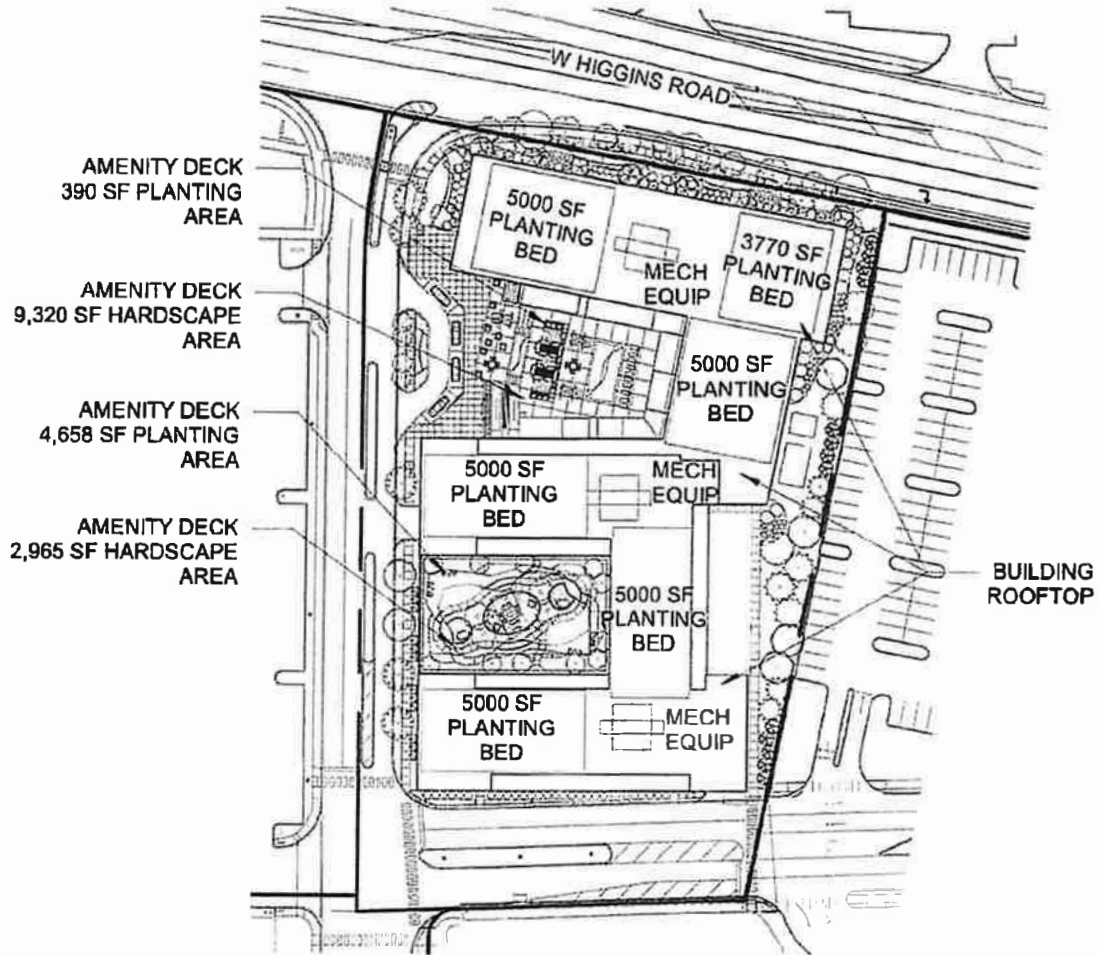
Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



PD-06

Planned Development No. 44

ROOF AND LANDSCAPE PLAN



GROSS ROOF AREA:	73,487 SF
- LESS MECHANICAL AREA:	3,400 SF
NET ROOF AREA:	70,087 SF

TOTAL REQUIRED GREEN ROOF AREA (50% GREEN ROOF TO GROSS ROOF RATIO):	35,044 SF
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PROVIDED GREEN ROOF BREAKDOWN	
- ROOF TOP GREEN ROOF AREA:	28,770 SF
- AMENITY DECK GREEN ROOF AREA:	5,048 SF
- 10% OF TOTAL HARDSCAPE DECK AREA (TOWARDS GREEN ROOF CALCULATION):	1,229 SF
	35,047 SF

Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022






























PD-07

Planned Development No. 44

LANDSCAPE PLANTINGS

FOUNDATION LANDSCAPE PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	2	ACER X FREEMANII 'ARMSTRONG' / ARMSTRONG FREEMAN MAPLE	3" CAL.	B&B/CG
	2	BETULA POPULIFOLIA 'WHITESPIRE' / WHITESPIRE GRAY BIRCH	6' HT. MULTI-STEM	B&B/CG
	6	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND COMMON HACKBERRY	3" CAL.	B&B/CG
	12	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE	3" CAL.	B&B/CG
	2	PLATANUS X ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANE TREE	3" CAL.	B&B/CG
	3	QUERCUS BICOLOR / SWAMP WHITE OAK	3" CAL.	B&B/CG
	3	ULMUS X 'NEW HORIZON' / NEW HORIZON ELM	3" CAL.	B&B/CG
	5	ULMUS X 'PATRIOT' / PATRIOT ELM	3" CAL.	B&B/CG
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	13	JUNIPERUS CHINENSIS 'MOUNTBATTEN' / MOUNTBATTEN JUNIPER	5' HT.	B&B/CG
	4	PICEA OMORIKA / SERBIAN SPRUCE	6' HT.	B&B/CG
	4	PINUS FLEXILIS / LIMBER PINE	6' HT.	B&B/CG
ORNAMENTAL TREE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	12	AMELANCHIER ALNIFOLIA 'OBELISK' TM / STANDING OVATION SERVICEBERRY	6' HT. MULTI-STEM	B&B/CG
	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	6' HT. MULTI-STEM	B&B/CG
	4	CERCIS CANADENSIS 'JN7' TM / SUMMER'S TOWER EASTERN REDBUD	6' HT. MULTI-STEM	B&B/CG
	4	CRATAEGUS CRUS-GALLI 'CRUZAM' TM / CRUSADER COCKSPUR HAWTHORN	6' HT.	B&B/CG
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	20	CEANOTHUS AMERICANUS / NEW JERSEY TEA	18" HT.	B&B/CG
	18	CORNUS STOLONIFERA 'FARROW' TM / ARCTIC FIRE RED TWIG DOGWOOD	24" HT.	B&B/CG
	9	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA	24" HT.	B&B/CG
	21	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE' / LITTLE QUICK FIRE PANICLE HYDRANGEA	24" HT.	B&B/CG
	12	HYDRANGEA SERRATA 'MAK20' TM / TUFF STUFF HYDRANGEA	24" HT.	B&B/CG
	5	ILEX GLABRA 'SMNIGAB17' TM / GEM BOX INKBERRY HOLLY	18" HT.	B&B/CG
	5	MYRICA PENNSYLVANICA 'MORTON MALE' TM / SILVER SPRITE MALE BAYBERRY	30" HT.	B&B/CG
	10	MYRICA PENNSYLVANICA 'MORTON' TM / SILVER SPRITE BAYBERRY	30" HT.	B&B/CG
	3	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	18" HT.	B&B/CG
	30	SYRINGA X 'PENDA' TM / BLODMERANG PURPLE LILAC	24" HT.	B&B/CG
	31	TAXUS X MEDIA 'TAUNTONII' / TAUNTON'S YEW	35" WD.	B&B/CG
	10	VIBURNUM DENTATUM / ARROWWOOD VIBURNUM	36" HT.	B&B/CG










Applicant: **Gienstar O'Hare, LLC**
 Address: **8535 W. Higgins Road**
 Minor Change: **May 11, 2022**

PD-08A

Planned Development No. 44

LANDSCAPE PLANTINGS

FOUNDATION LANDSCAPE PLANT SCHEDULE CONTINUED

<u>GROUND COVERS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	169	GERANIUM X CANTABRIGIENSE 'BIOKOVO' / BIOKOVO CRANESBILL	1 GAL.	CG	12" o.c.
	41	HAKONECHLOA MACRA / JAPANESE FOREST GRASS	1 GAL.	CG	24" o.c.
	245	VINCA MINOR 'DART'S BLUE' / DART'S BLUE PERIWINKLE	1 GAL.	CG	18" o.c.
<u>PERENNIALS & ORNAMENTAL GRASSES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	149	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL.	CG	24" o.c.
	107	HEMEROCALLIS X 'APRICOT SPARKLES' / APRICOT SPARKLES DAYLILY	1 GAL.	CG	24" o.c.
	25	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / LITTLE SPIRE RUSSIAN SAGE	1 GAL.	CG	24" o.c.
	105	SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS	1 GAL.	CG	24" o.c.
<u>SEED/LAWN</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>		
	2 707 SF	SEED IDOT SALT TOLERANT TURF MIX	SEED		
	9 234 SF	SEED TURF MIX / SEEDED TURF	SEED		

COURTYARD DECK PLANT SCHEDULE

<u>ORNAMENTAL TREE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	11	CORNUS MAS 'GOLDEN GLORY' / GOLDEN GLORY CORNELIAN CHERRY	5' HT.	BBB/CG
	4	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	6' HT. MULTI-STEM	BBB/CG
<u>LIVEROOF PLANT MIXES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	
	1 729 SF	LIVEROOF GIAN'S MIX		TRAY SYSTEM (TBD) Green Roof System Information https://liveroof.com/products/
	969 SF	LIVEROOF SCHOL PRIDE MIX		TRAY SYSTEM (TBD) Green Roof System Information https://liveroof.com/products/










Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-08B

Planned Development No. 44

LANDSCAPE PLANTINGS

AMENITY POOL DECK PLANT SCHEDULE

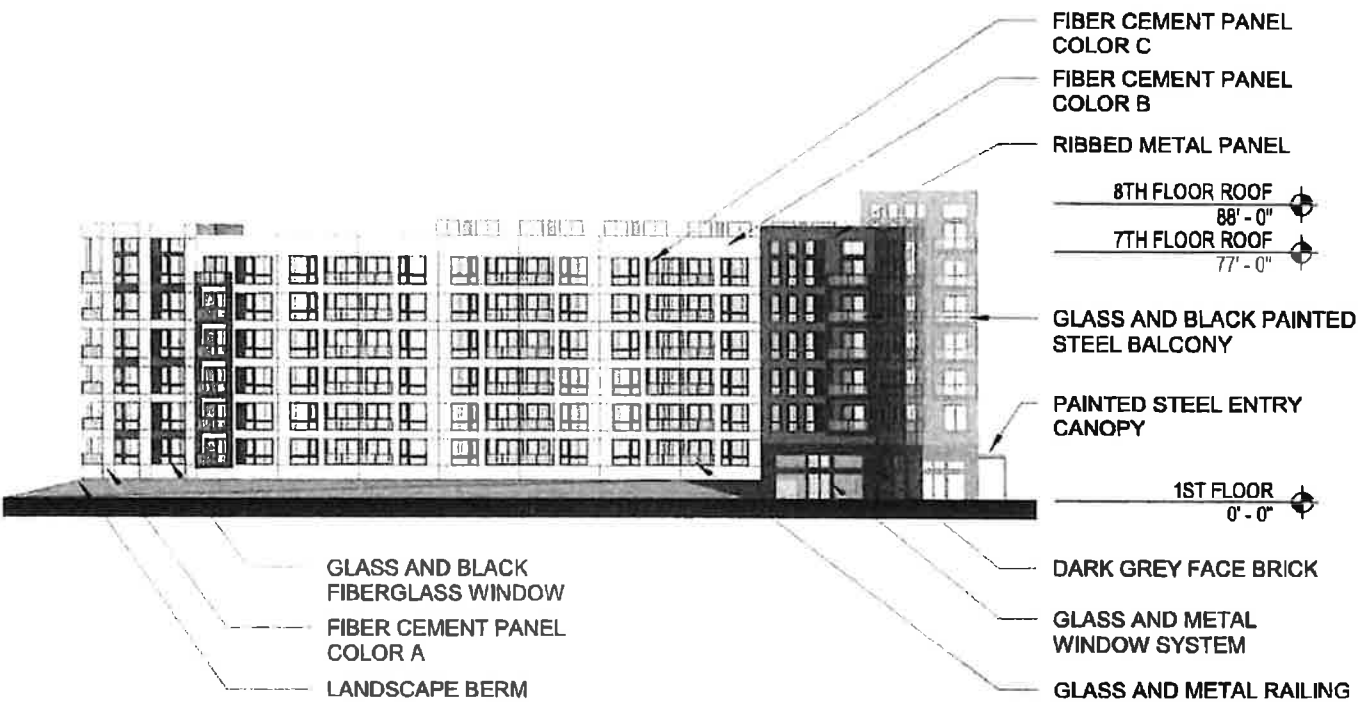
<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	4	CARPINUS BETULUS 'FRANS FONTAINE' / FRANS FONTAINE HORNBEAM	3" CAL.	B&B/CG	
	12	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	5' HT.	B&B/CG	
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	10	BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD	36" WD.	B&B/CG	
	5	HYDRANGEA ARBORESCENS 'SMHAMWM' TM / SEASIDE SERENADE HYDRANGEA	24" HT.	B&B/CG	
<u>PERENNIALS & ORNAMENTAL GRASSES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	11	FESTUCA X 'COOL AS ICE' / COOL AS ICE BLUE FESCUE	1 GAL.	CG	18" o.c.
	143	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	1 GAL.	CG	12" o.c.
	6	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / LITTLE SPIRE RUSSIAN SAGE	1 GAL.	CG	24" o.c.
	64	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' / STANDING OVATION LITTLE BLUESTEM	1 GAL.	CG	12" o.c.
	11	SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS	1 GAL.	CG	24" o.c.

Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-08C

Planned Development No. 44

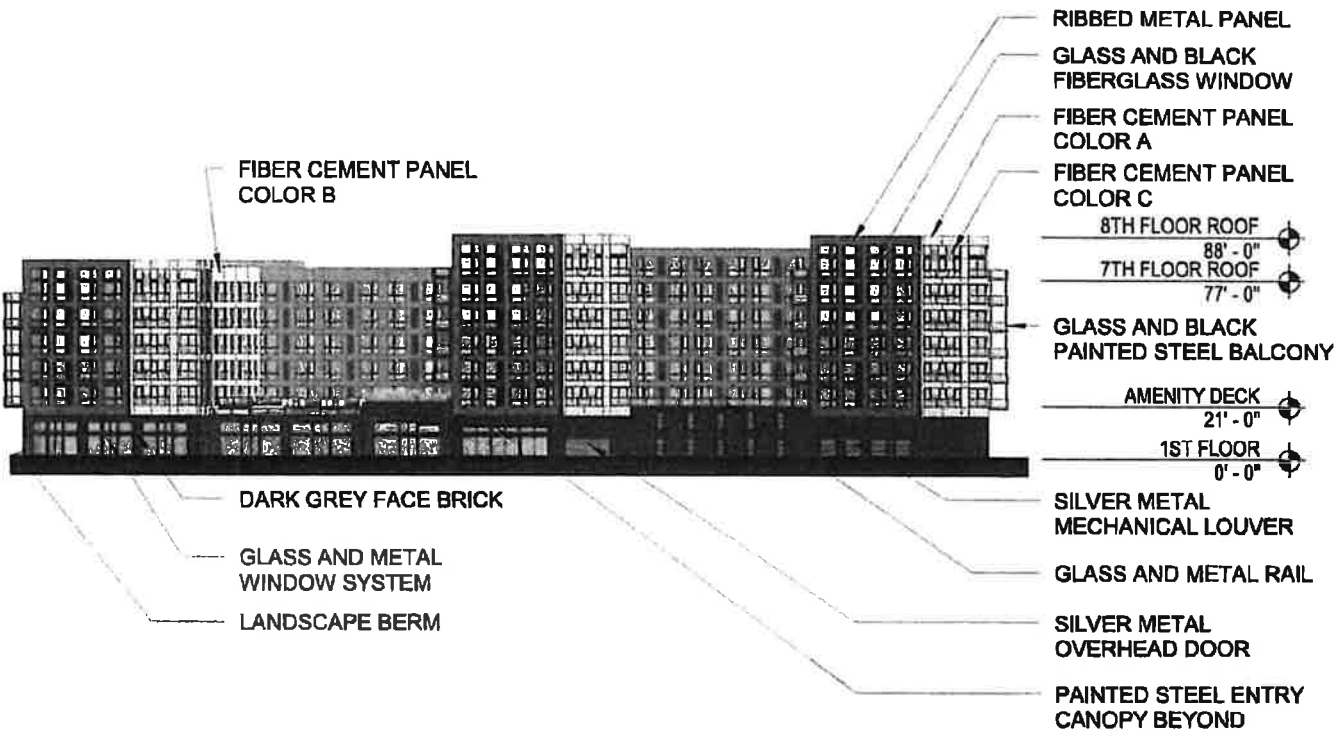
SUB-AREA B-1 NORTH BUILDING ELEVATION



Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

Planned Development No. 44

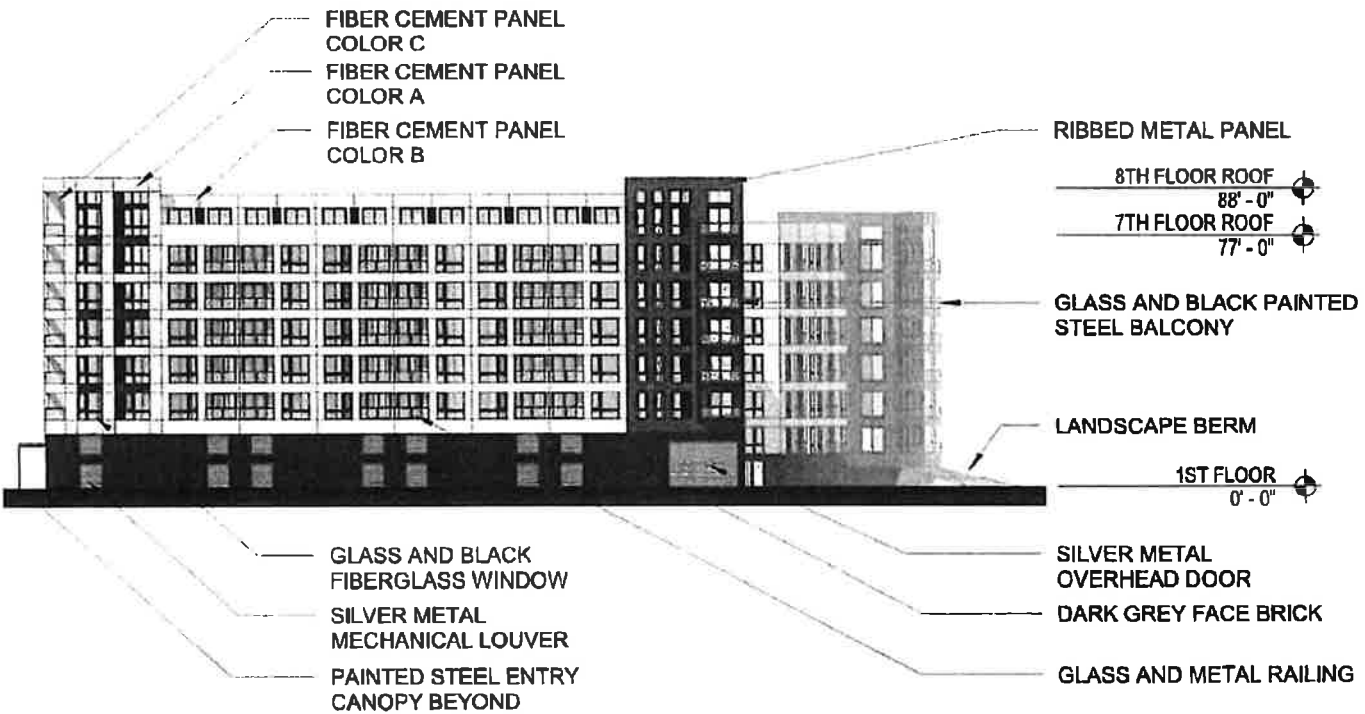
SUB-AREA B-1 WEST BUILDING ELEVATION



Applicant: Glenstar O'Hara, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

Planned Development No. 44

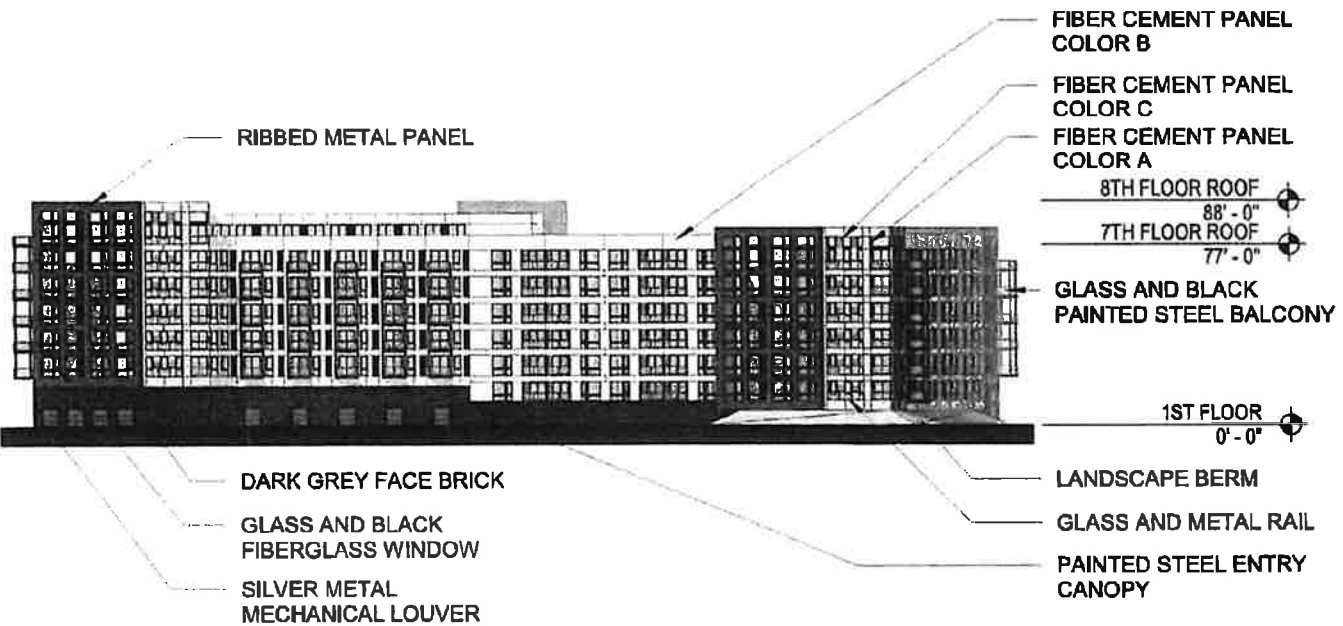
SUB-AREA B-1 SOUTH BUILDING ELEVATION



Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

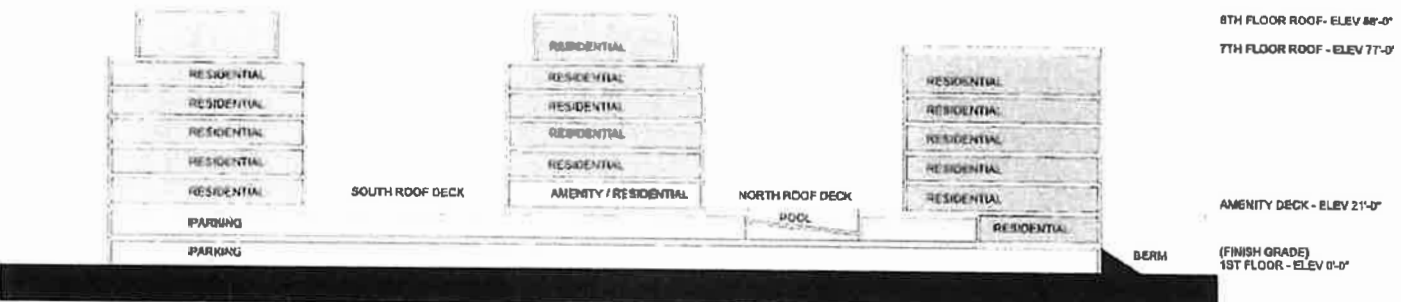
Planned Development No. 44

SUB-AREA B-1 EAST BUILDING ELEVATION

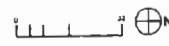
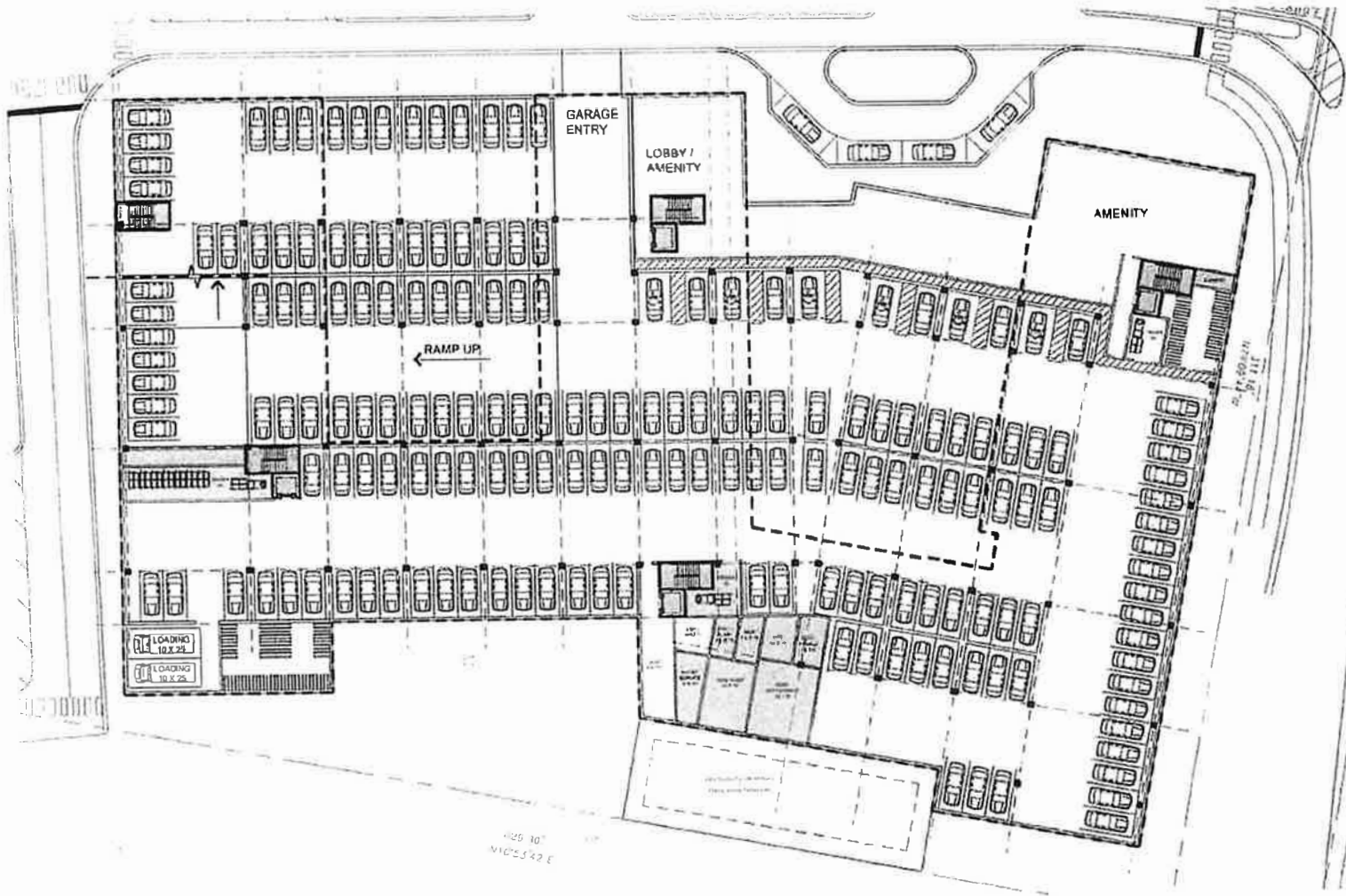


Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

Planned Development No. 44 SUB-AREA B-1 BUILDING SECTION



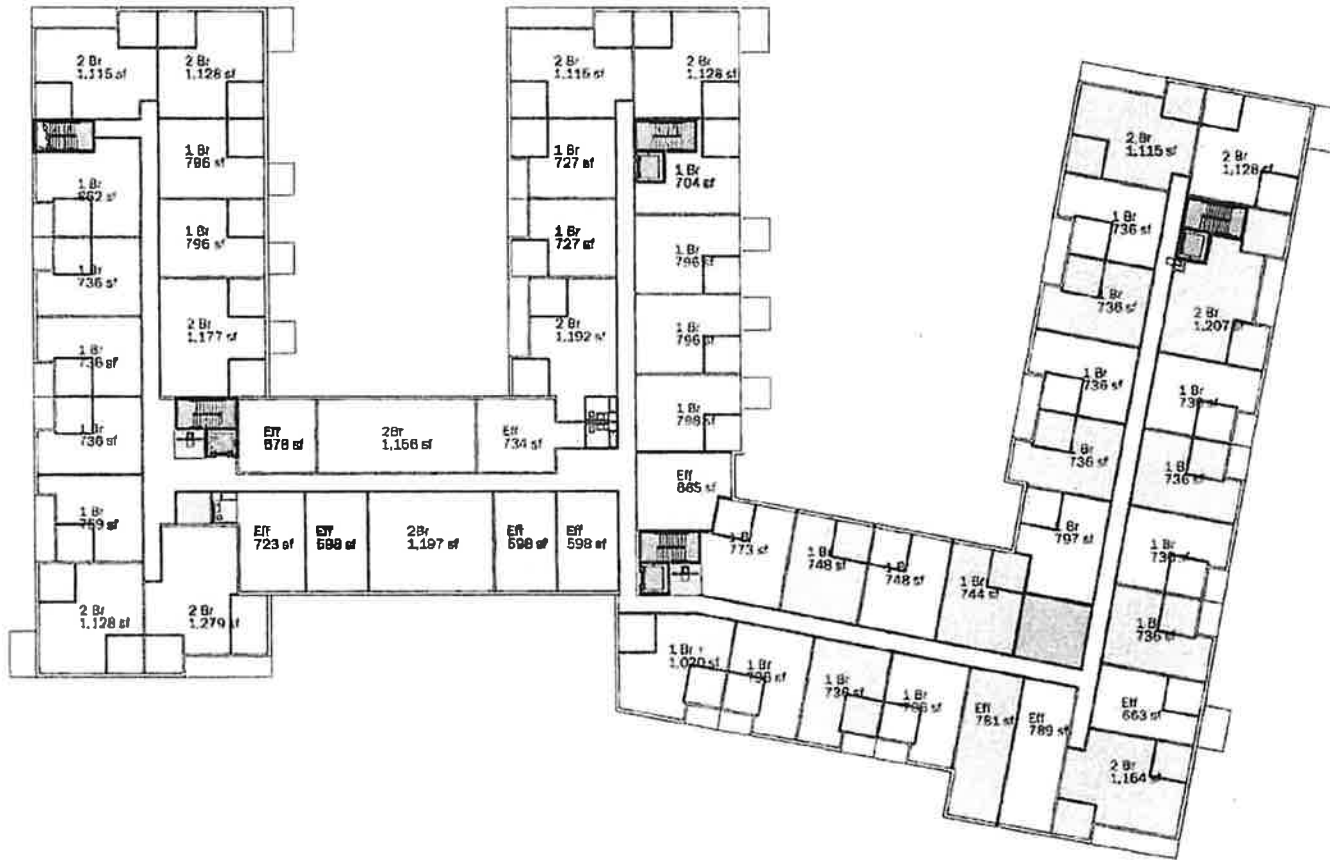
Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



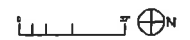
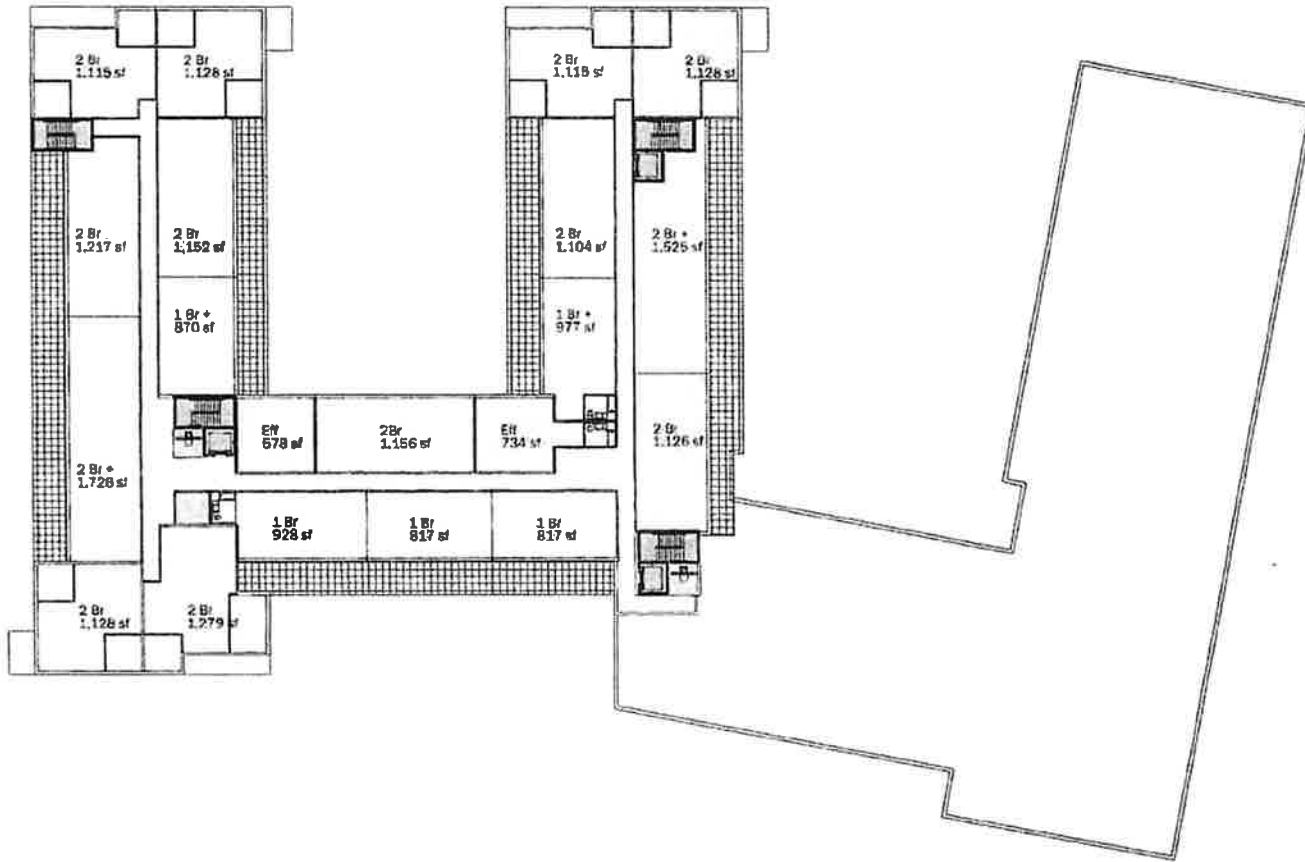
First Floor Plan

FitzGerald

8535 West Higgins E04
 May 11, 2024



Fourth-Seventh Floor Plans



Eighth Floor Plan

FitzGerald

8535 West Higgins E08
 (City of Illinois) May 11, 2022

Substitute ARO Statement

(Attached)

16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development Number 44, to the B3-2 Community Shopping District, and then to this Amended Planned Development No. 44 is an "entitlement" that triggers the requirements of Section 2-44-085 of the Municipal Code of Chicago (the "ARO"). The PD is located in an "inclusionary housing area" within the meaning of the ARO and permits the construction of 297 dwelling units in Subarea B-1. The Applicant intends to construct a 297-unit rental building (the "Project").

Developers of rental projects in inclusionary housing areas with 30 or more units must provide between 10% and 20% of the units in the residential development as affordable units, depending on the average depth of affordability provided, as described in subsection (F)(2) of the ARO. Regardless of the applicable percentage of affordable units in the rental project, developers must construct at least 25% of the affordable units on-site and another 25% on-site or off-site (collectively, the "Required Units"), and may satisfy the balance of their affordable housing obligation through: (a) the establishment of additional on-site or off-site affordable units; (b) payment of a fee in lieu of the establishment of on-site or off-site affordable units; or (c) any combination thereof. All on-site affordable units must be accessible dwelling units, as required under subsection (W)(10) of the ARO, and developers must give preference in leasing accessible units to people with disabilities, as specified in the ARO rules. All off-site affordable units must have at least two bedrooms and must be located in a downtown district, inclusionary housing area, or community preservation area. Whether on-site or off-site, developers must give preference in leasing affordable units of two bedrooms or more to multi-person households, as specified in the ARO rules. If a residential project is located in a transit-served location, off-site units must be located in a substantially comparable transit-served location.

The Applicant has elected the 20% option as set forth in the chart in subsection (F)(2) of the ARO. As a result, the Applicant's affordable housing obligation is 59.4 affordable units (20% of 297) and half of those affordable units are Required Units. Pursuant to subsection (T) of the ARO, the Applicant must either pay a fractional in lieu fee or provide an additional unit on-site or off-site to satisfy the fractional obligation. The Applicant has agreed to satisfy its affordable housing obligation by providing 60 affordable units in the rental building in the PD, as set forth in the Affordable Housing Profile (AHP) attached hereto. The Applicant agrees that the affordable rental units must be affordable to households with a range of incomes averaging 60% of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that (x) the maximum income level for any affordable unit may not exceed 80% of the AMI, (y) at least one-third (or 20 units) must be affordable to households at or below 50% of the AMI, of which one-sixth (or 3 of the 20 units) must be affordable to households at or below 40% of the AMI, and (z) all income levels must be multiples of 10% of the AMI.

If the Applicant requests any material change to its method of compliance with the ARO, such as locating affordable units off-site instead of on-site or changing the target affordability level after the passage of this PD, DOH may adjust the AHP as requested, in accordance with the ARO, without amending the PD, provided however, the Applicant must update and resubmit the revised AHP to DOH for review and approval and, at DOH's

request, provide an informational presentation to Plan Commission on such change. Prior to the issuance of any building permits for any residential building in the PD, including, without limitation, excavation or foundation permits, the Applicant must execute and record an Affordable Housing Agreement (“AHA”) in accordance with subsection (N) of the ARO. The terms of the AHA and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the AHA will be recorded against Subarea B-1 of the PD, and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any AHA, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the PD.

This statement does not include all ARO requirements and options. It is intended to provide an overview of the application of the ARO to this PD. In the event of any conflict between this statement and the terms and conditions of the ARO, the ARO shall govern.



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 3, 2023

Peter M. Friedman
Elrod Friedman LLP
325 N LaSalle St., Suite 450
Chicago, IL 60654

Re: Request for minor change to PD No. 44, Subarea B-1, 8535 W. Higgins Road

Dear Mr. Friedman:

Please be advised that your request for a minor change to Residential Business Planned Development No. 44 ("PD 44"), Subarea B-1, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD No. 44.

On July 21, 2022, your client and the sole owner of Subarea B-1, Glenstar O'Hare, LLC, was granted a minor change for design revisions to the proposed 8-story, 297-unit building at 8535 W. Higgins Rd. Since action to implement the minor change did not commence within the past year, that minor change expired on July 21, 2023, and you are now seeking another similar minor change.

The proposed modifications include: a reconfiguration of the ground floor vehicular drop-off area by replacing 6 diagonal parking spaces with 4 parallel parking spaces; an extension of the parking area to include the northernmost extent of the first floor and the elimination of the below grade and third level of parking; the relocation of the pool deck; a reconfigured first floor to enhance connection and continuity of the lobbies and tenant amenity spaces; a reconfiguration of the second floor parking to extend north and adjust the residential units to the north and east exterior walls; adjustments to the residential units on the third through eighth floors.

Additionally, the modifications to the parking within the building result in the elimination of the north solid brick wall facing Higgins Rd. and the replacement of residential units that sit above the landscaped berm, as shown in exhibit PD-09. The exterior tenant amenity deck was raised above the first floor to allow both tenant roof decks to be at the same level above grade and enhance access and security. Along the Higgins Rd. frontage, the height of the northernmost wing of the building has been reduced from 88'-0" to 77'-0". The residential units on the uppermost floors of the center and southern towers have been setback to create useable outdoor spaces for residents. The green roof has been increased by 5,391 SF, for a total of 35,044 SF as indicated on exhibit PD-07. Adjustments to the residential unit mix were made to accommodate the demand for larger units. The previously approved unit mix of 86 studios, 121 one-bedroom apartments, and 90 two-bedroom apartments has been changed to 57 studios, 157 one-bedroom apartments, and 83 two-bedroom apartments.

Lastly, the minor change request is accompanied by confirmation and agreement from the applicant to exceed the Affordable Requirements Ordinance obligations as set forth in the attached, revised Statement 16.

The following, revised drawings prepared by Fitzgerald Associates Architects, and dated May 11, 2022, shall be inserted into the main file and are attached:

- Existing Zoning Map PD-01
- Existing Land Use Map PD-02
- Planned Development Property Line, Boundary and Sub-Area Map PD-03
- Site Plan PD-04
- Pedestrian Circulation PD-05
- Site Plan Sub-Area B-1 PD-06
- Roof and Landscape Plan PD-07
- Landscape Plantings PD-08A
- Landscape Plantings PD-08B
- Landscape Plantings PD-08C
- Sub-Area B-1 North Building Elevation PD-09
- Sub-Area B-1 West Building Elevation PD-10
- Sub-Area B-1 South Building Elevation PD-11
- Sub-Area B-1 East Building Elevation PD-12
- Sub-Area B-1 Building Section PD-13
- First Floor Plan
- Second Floor Plan
- Third Floor Plan
- Fourth-Seventh Floor Plans
- Eighth Floor Plan
- Revised Statement 16

Regarding your request, the Department of Planning and Development has determined that allowing the proposed design changes and parking structure adjustments will not result in an increase in the bulk or density, will not have an adverse impact on the surrounding neighborhood, and will not change the character of the development. The site plan modifications are a result of further building design and refinement. There is no reduction in the amount of landscaping, unit count, or parking spaces proposed and the request is consistent with all the bulk, density, and use standards of PD 44.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 44, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter and unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

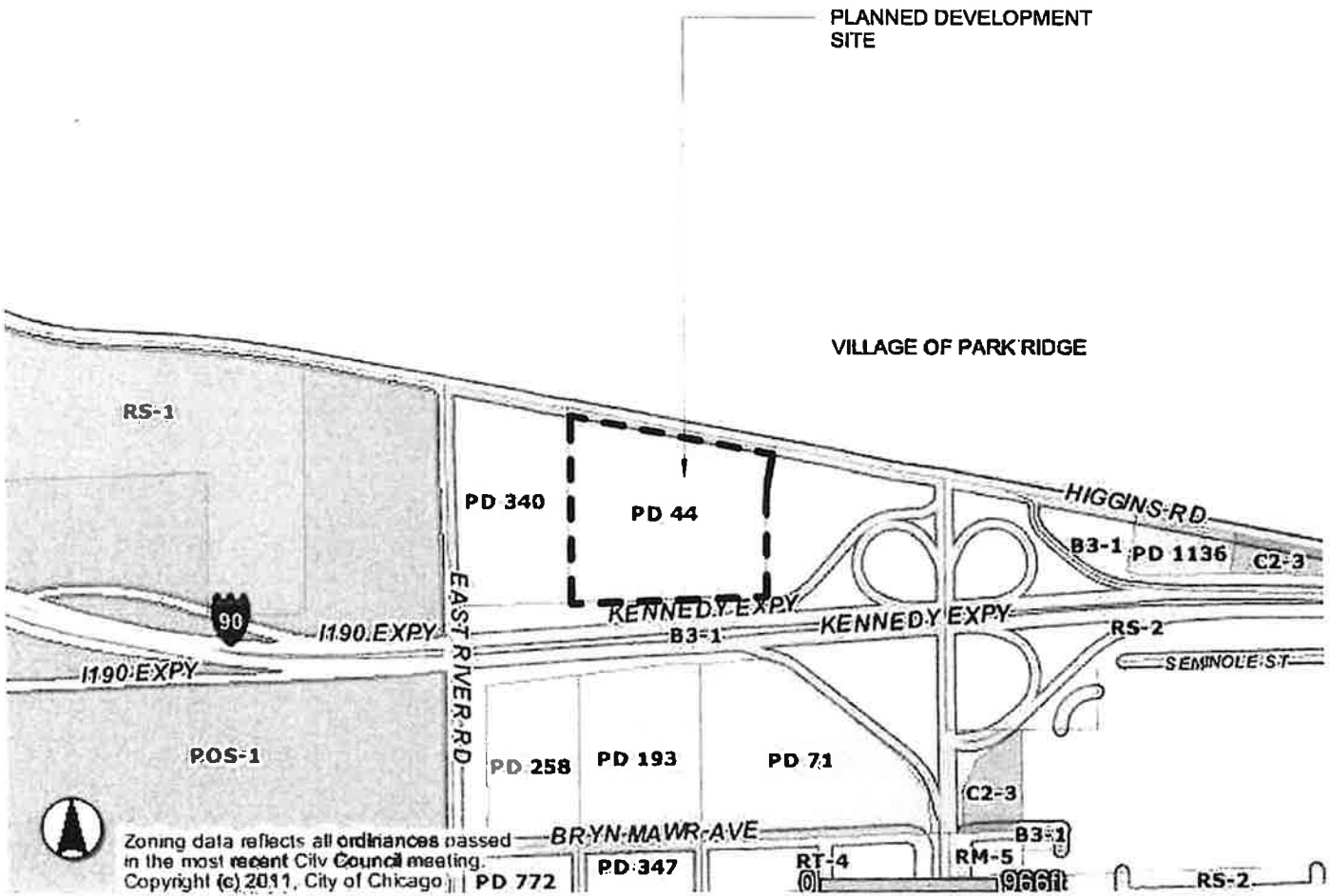
Sincerely,



Noah Szafraniec
Assistant Commissioner

C: Mike Marmo, Erik Glass, Janice Hill, Teresa McLaughlin, Main file

Planned Development No. 44 EXISTING ZONING MAP

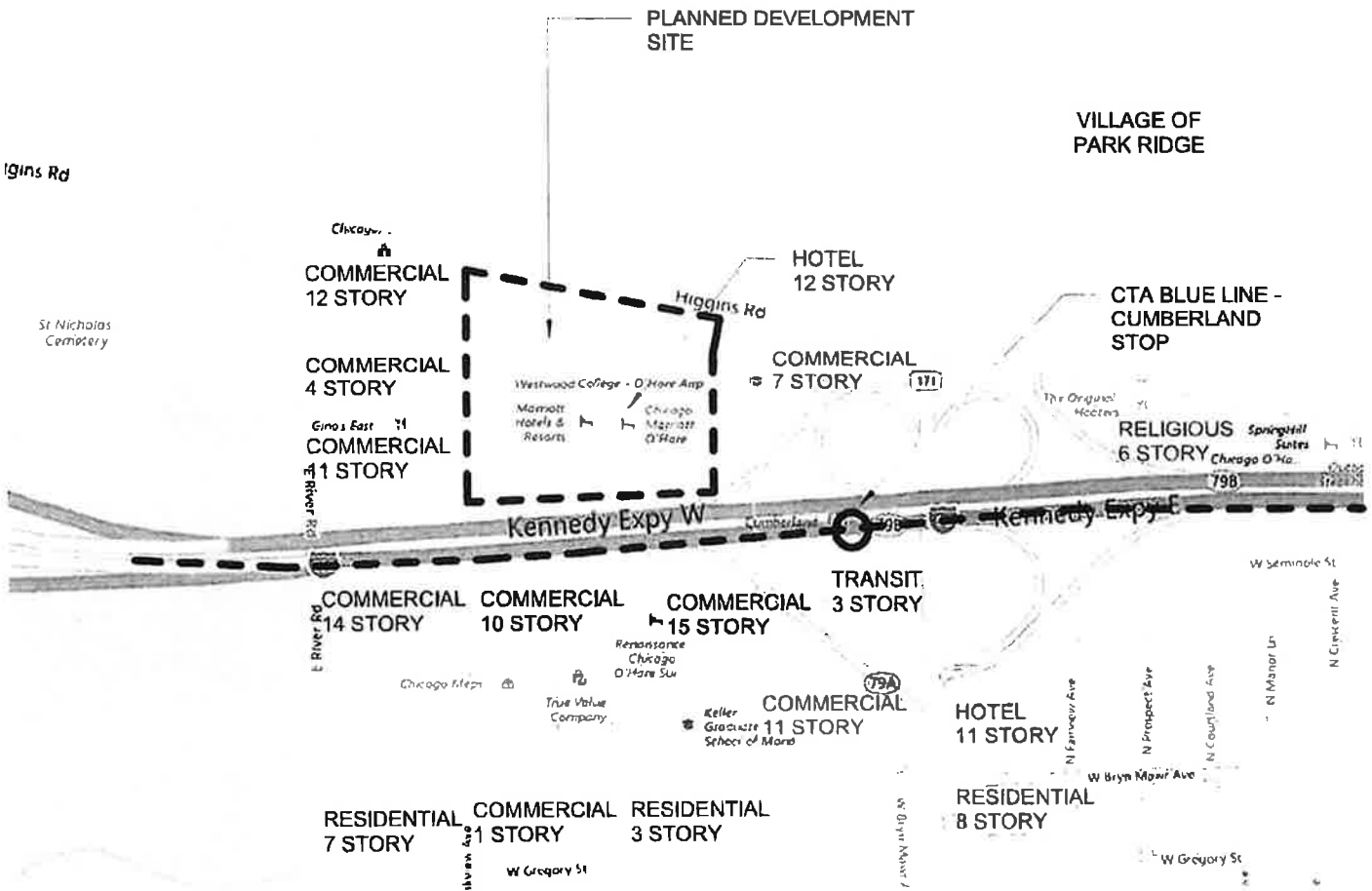


Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-01



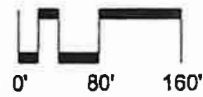
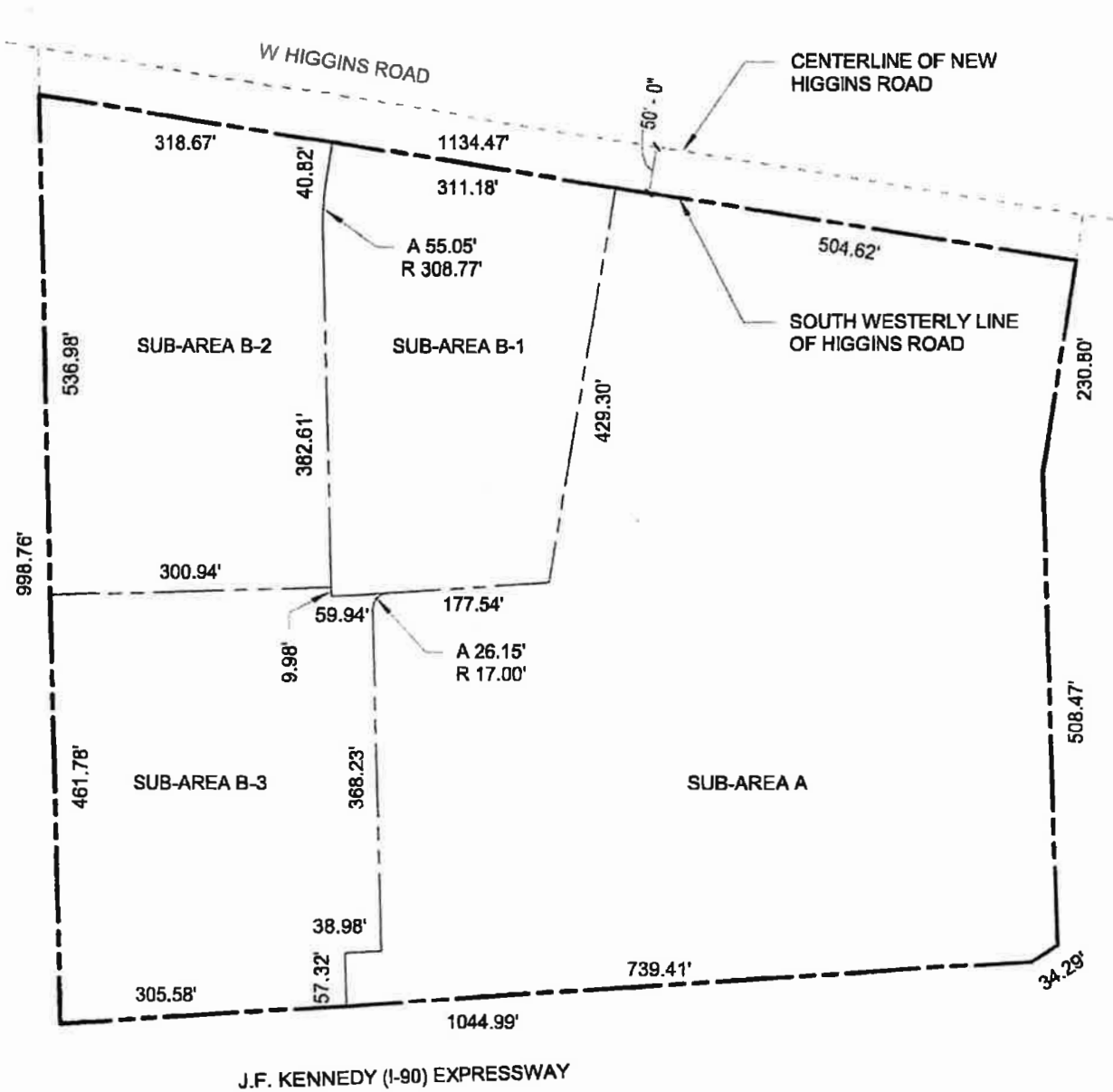
Planned Development No. 44 EXISTING LAND USE MAP



Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-02

Planned Development No. 44 PLANNED DEVELOPMENT PROPERTY LINE, BOUNDARY AND SUB-AREA MAP

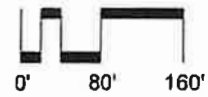
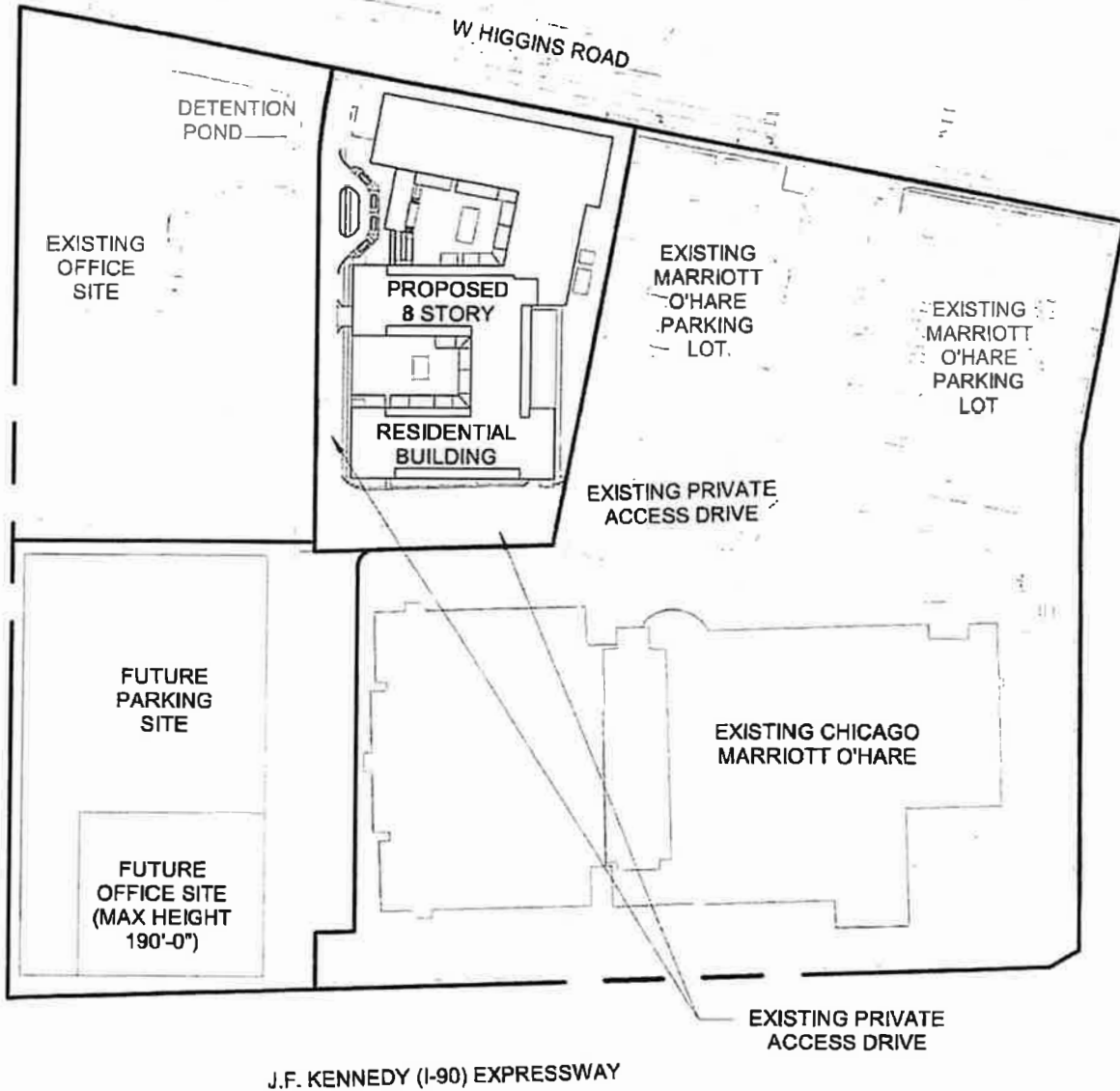


Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-03

Planned Development No. 44

SITE PLAN

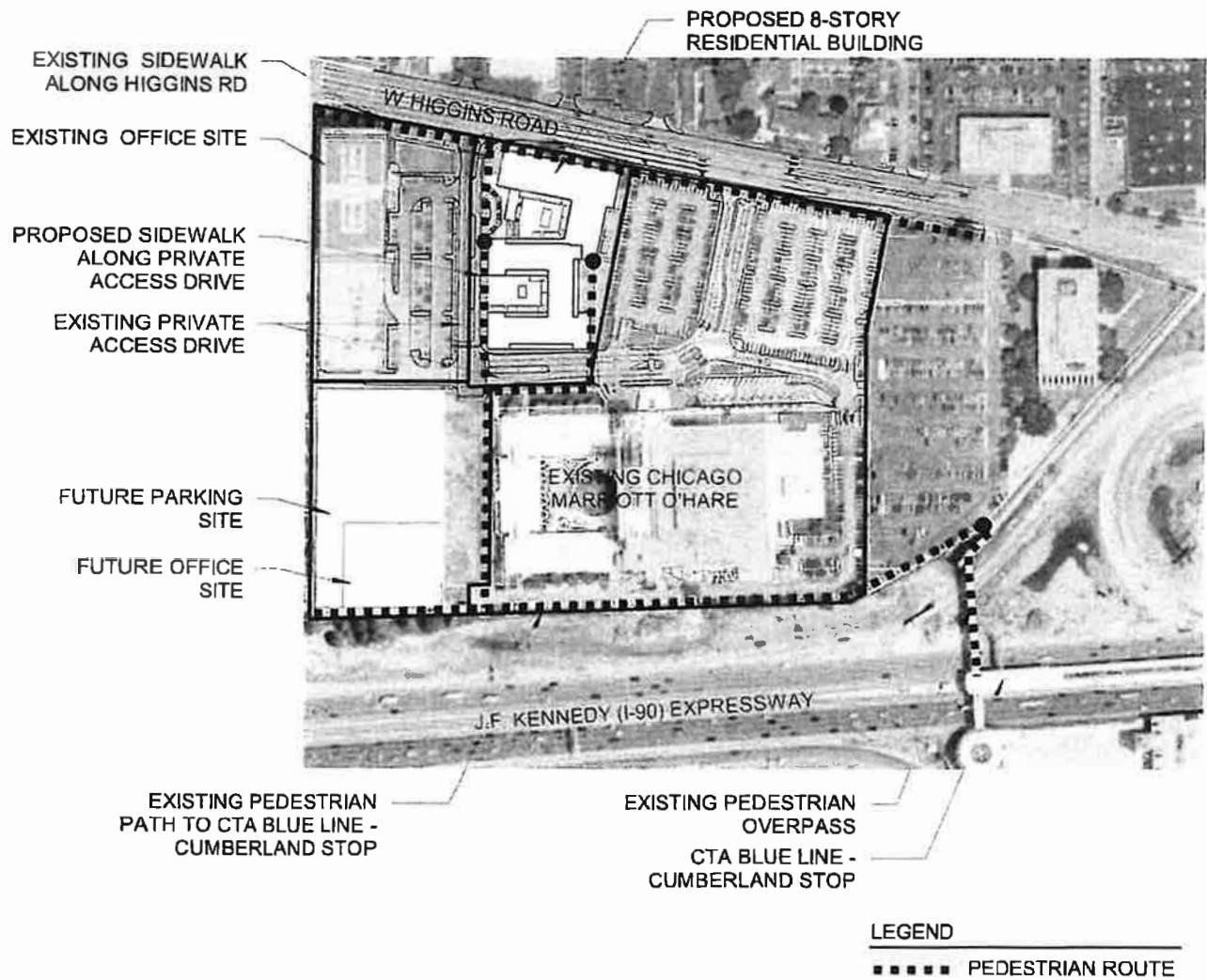


Applicant: Glenstar O'Hare, LLC
Address: 8535 W. Higgins Road
Minor Change: May 11, 2022

PD-04

Planned Development No. 44

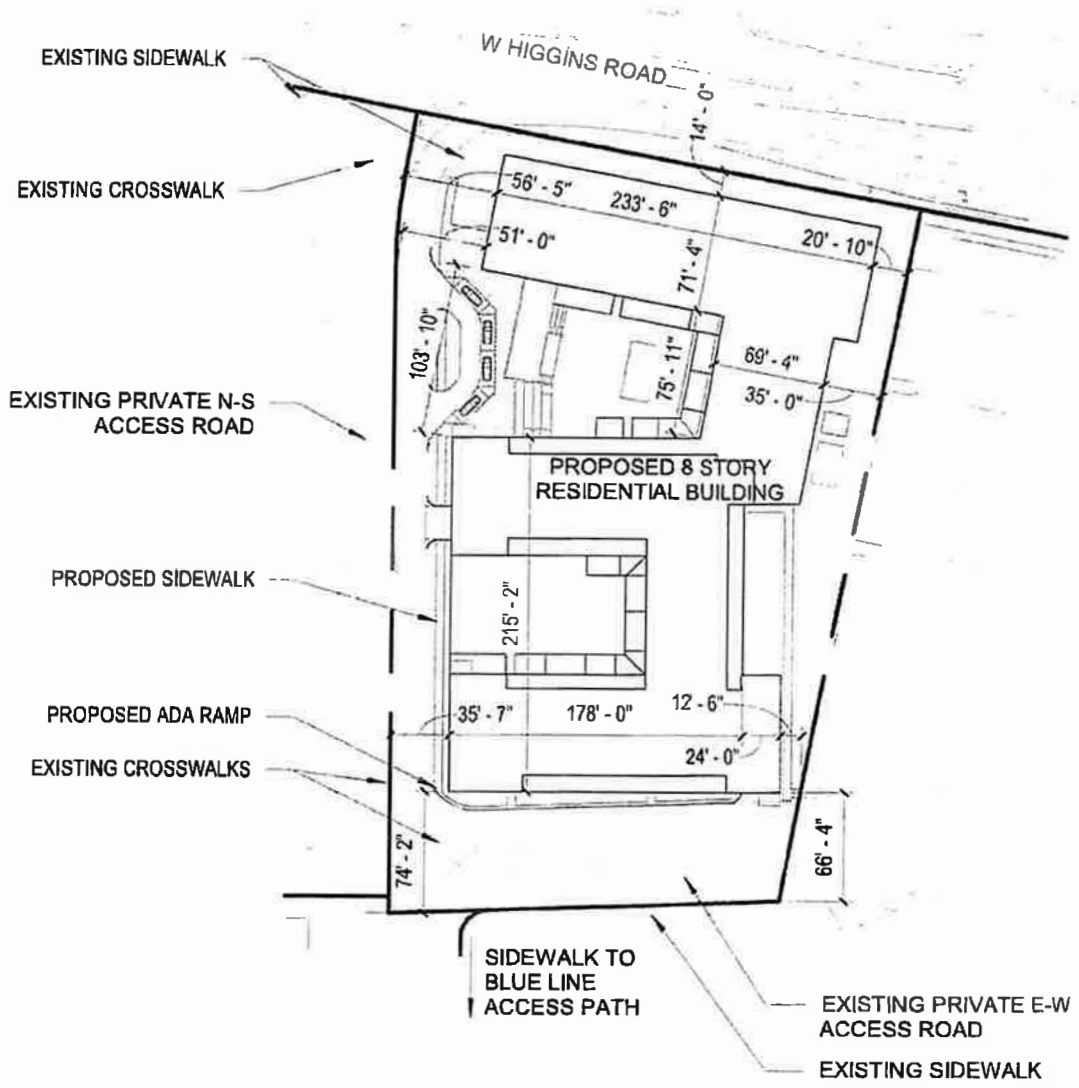
PEDESTRIAN CIRCULATION



Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

Planned Development No. 44

SITE PLAN SUB-AREA B-1



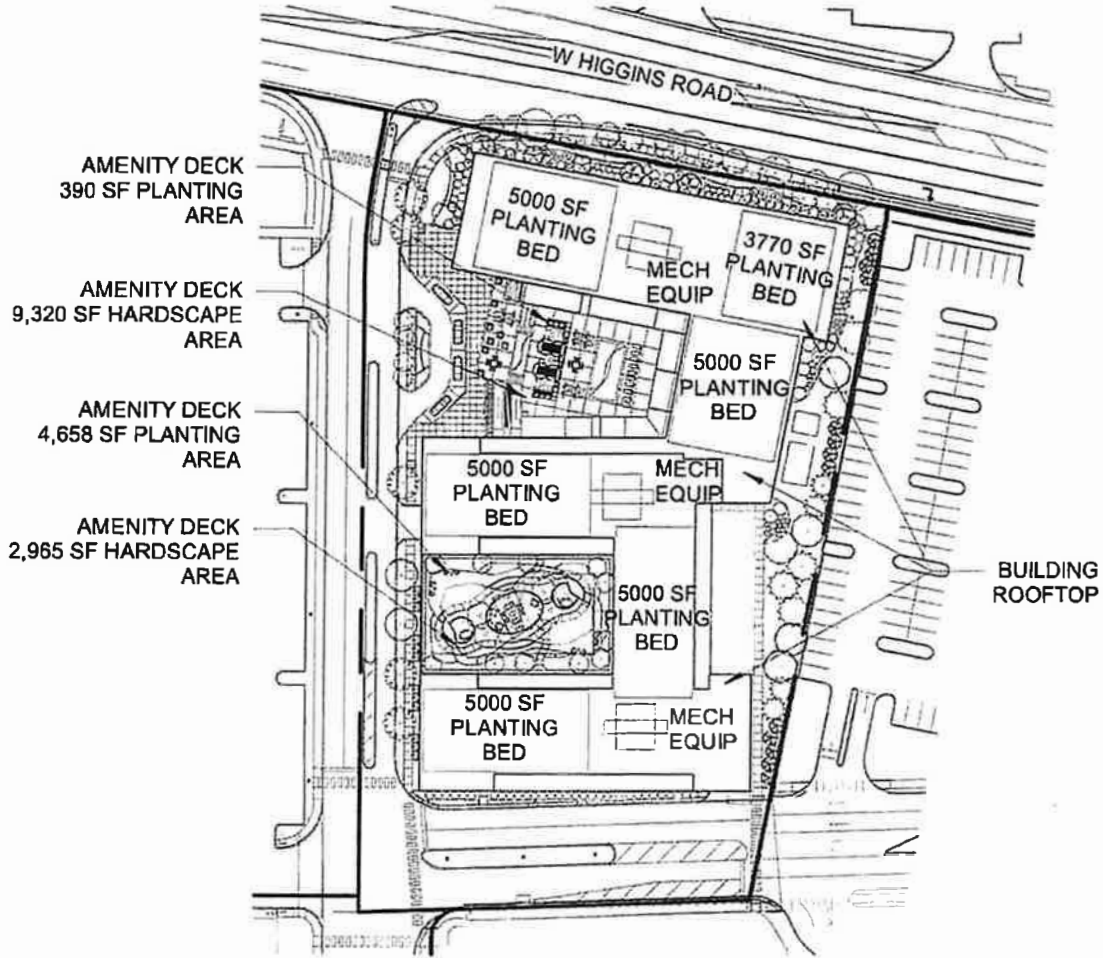
Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



PD-06

Planned Development No. 44

ROOF AND LANDSCAPE PLAN



GROSS ROOF AREA:	73,487 SF
- LESS MECHANICAL AREA:	3,400 SF
NET ROOF AREA:	70,087 SF

TOTAL REQUIRED GREEN ROOF AREA (50% GREEN ROOF TO GROSS ROOF RATIO):	35,044 SF
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PROVIDED GREEN ROOF BREAKDOWN	
- ROOF TOP GREEN ROOF AREA:	28,770 SF
- AMENITY DECK GREEN ROOF AREA:	5,048 SF
- 10% OF TOTAL HARDSCAPE DECK AREA (TOWARDS GREEN ROOF CALCULATION):	1,229 SF
	35,047 SF

Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



















PD-07

Planned Development No. 44

LANDSCAPE PLANTINGS

FOUNDATION LANDSCAPE PLANT SCHEDULE

<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	2	ACER X FREEMANII 'ARMSTRONG' / ARMSTRONG FREEMAN MAPLE	3" CAL.	B&B/CG
	2	BETULA POPULIFOLIA 'WHITESPIRE' / WHITESPIRE GRAY BIRCH	6' HT. MULTI-STEM	B&B/CG
	6	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND COMMON HACKBERRY	3" CAL.	B&B/CG
	12	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE	3" CAL.	B&B/CG
	2	PLATANUS X ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANE TREE	3" CAL.	B&B/CG
	3	QUERCUS BICOLOR / SWAMP WHITE OAK	3" CAL.	B&B/CG
	3	ULMUS X 'NEW HORIZON' / NEW HORIZON ELM	3" CAL.	B&B/CG
	5	ULMUS X 'PATRIOT' / PATRIOT ELM	3" CAL.	B&B/CG
<u>EVERGREEN TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	13	JUNIPERUS CHINENSIS 'MOUNTBATTEN' / MOUNTBATTEN JUNIPER	5' HT.	B&B/CG
	4	PICEA OMORIKA / SERBIAN SPRUCE	6' HT.	B&B/CG
	4	PINUS FLEXILIS / LIMBER PINE	6' HT.	B&B/CG
<u>ORNAMENTAL TREE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	12	AMELANCHIER ALNIFOLIA 'OBELISK' TM / STANDING OVATION SERVICEBERRY	6' HT. MULTI-STEM	B&B/CG
	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	6' HT. MULTI-STEM	B&B/CG
	4	CERCIS CANADENSIS 'JN7' TM / SUMMER'S TOWER EASTERN REDBUD	6' HT. MULTI-STEM	B&B/CG
	4	CRATAEGUS CRUS-GALLI 'CRUZAM' TM / CRUSADER COCKSPUR HAWTHORN	6' HT.	B&B/CG
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	20	CEANOTHUS AMERICANUS / NEW JERSEY TEA	18" HT.	B&B/CG
	18	CORNUS STOLONIFERA 'FARROW' TM / ARCTIC FIRE RED TWIG DOGWOOD	24" HT.	B&B/CG
	9	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA	24" HT.	B&B/CG
	21	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE' / LITTLE QUICK FIRE PANICLE HYDRANGEA	24" HT.	B&B/CG
	12	HYDRANGEA SERRATA 'MAK2B' TM / TUFF STUFF HYDRANGEA	24" HT.	B&B/CG
	5	ILEX GLABRA 'SMNIGAB17' TM / GEM BOX INKBERRY HOLLY	18" HT.	B&B/CG
	6	MYRICA PENNSYLVANICA 'MORTON MALE' TM / SILVER SPRITE MALE BAYBERRY	30" HT.	B&B/CG
	10	MYRICA PENNSYLVANICA 'MORTON' TM / SILVER SPRITE BAYBERRY	30" HT.	B&B/CG
	3	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	18" HT.	B&B/CG
	30	SYRINGA X 'PENDA' TM / BLOOMERANG PURPLE LILAC	24" HT.	B&B/CG
	31	TAXUS X MEDIA 'TAUNTONIF' / TAUNTON'S YEW	36" WD.	B&B/CG
	10	VIBURNUM DENTATUM / ARROWWOOD VIBURNUM	36" HT.	B&B/CG





Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-08A

Planned Development No. 44

LANDSCAPE PLANTINGS

FOUNDATION LANDSCAPE PLANT SCHEDULE CONTINUED

<u>GROUND COVERS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	169	GERANIUM X CANTABRIGIENSE 'BIOKOVO' / BIOKOVO CRANESBILL	1 GAL.	CG	12" o.c.
	41	HAKONECHLOA MACRA / JAPANESE FOREST GRASS	1 GAL.	CG	24" o.c.
	245	VINCA MINOR 'DART'S BLUE' / DART'S BLUE PERIWINKLE	1 GAL.	CG	18" o.c.
<u>PERENNIALS & ORNAMENTAL GRASSES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	149	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL.	CG	24" o.c.
	107	HENEROCALLIS X 'APRICOT SPARKLES' / APRICOT SPARKLES DAYLILY	1 GAL.	CG	24" o.c.
	25	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / LITTLE SPIRE RUSSIAN SAGE	1 GAL.	CG	24" o.c.
	105	SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS	1 GAL.	CG	24" o.c.
<u>SEED/LAWN</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>		
	2 707 SF	SEED IDOT SALT TOLERANT TURF MIX	SEED		
	9 234 SF	SEED TURF MIX / SEEDED TURF	SEED		

COURTYARD DECK PLANT SCHEDULE

<u>ORNAMENTAL TREE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	11	CORNUS MAS 'GOLDEN GLORY' / GOLDEN GLORY CORNELIAN CHERRY	5' HT.	B&B/CG
	4	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	6' HT. MULTI-STEM	B&B/CG
<u>LIVEROOF PLANT MIXES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	
	1 729 SF	LIVEROOF GIANTS MIX		TRAY SYSTEM (TBD) Green Roof System Information https://liveroof.com/products/
	969 SF	LIVEROOF SCHOOL PRIDE MIX		TRAY SYSTEM (TBD) Green Roof System Information https://liveroof.com/products/










Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-08B

Planned Development No. 44

LANDSCAPE PLANTINGS

AMENITY POOL DECK PLANT SCHEDULE

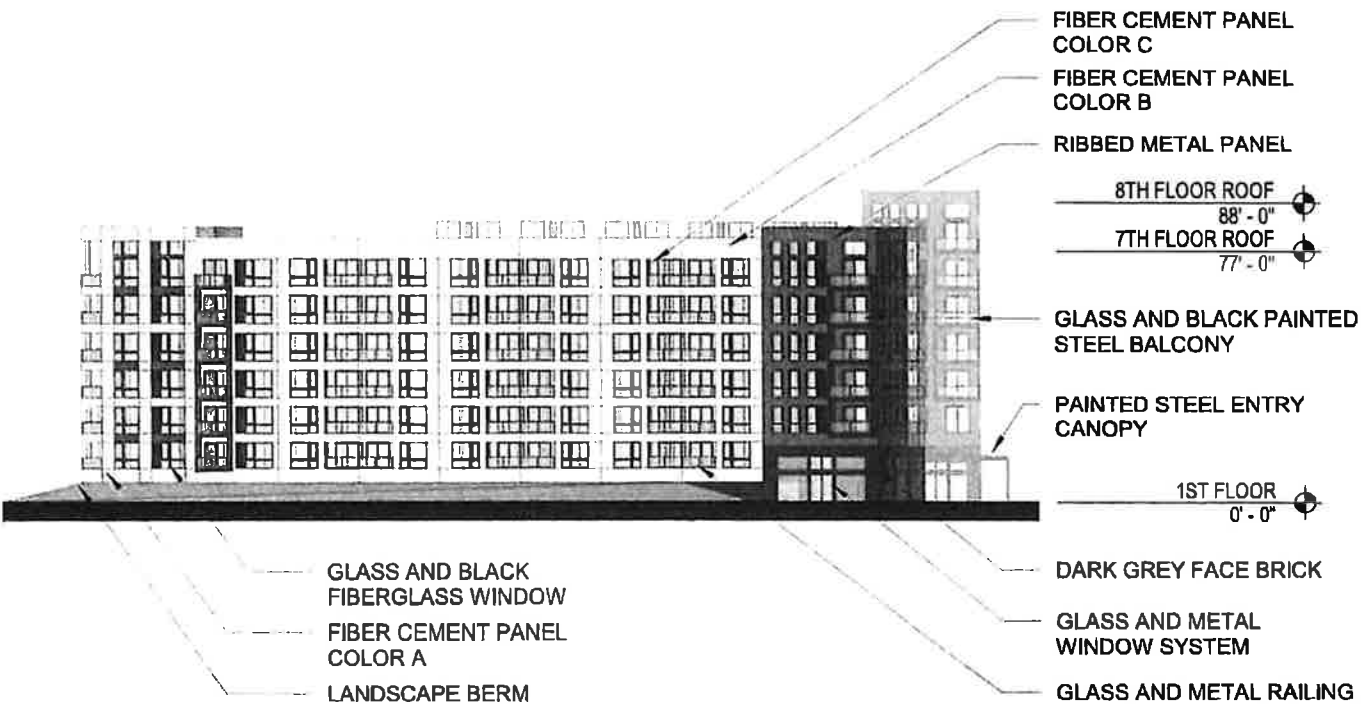
<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	4	CARPINUS BETULUS 'FRANS FONTAINE' / FRANS FONTAINE HORNBEAM	3" CAL.	B&B/CG	
	12	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	5' HT	B&B/CG	
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	10	BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD	36" WD.	B&B/CG	
	5	HYDRANGEA ARBORESCENS 'SMHAMWM' TM / SEASIDE SERENADE HYDRANGEA	24" HT.	B&B/CG	
<u>PERENNIALS & ORNAMENTAL GRASSES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	11	FESTUCA X 'COOL AS ICE' / COOL AS ICE BLUE FESCUE	1 GAL.	CG	18" o.c.
	143	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	1 GAL.	CG	12" o.c.
	6	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / LITTLE SPIRE RUSSIAN SAGE	1 GAL.	CG	24" o.c.
	64	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' / STANDING OVATION LITTLE BLUESTEM	1 GAL.	CG	12" o.c.
	11	SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS	1 GAL.	CG	24" o.c.

Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-08C

Planned Development No. 44

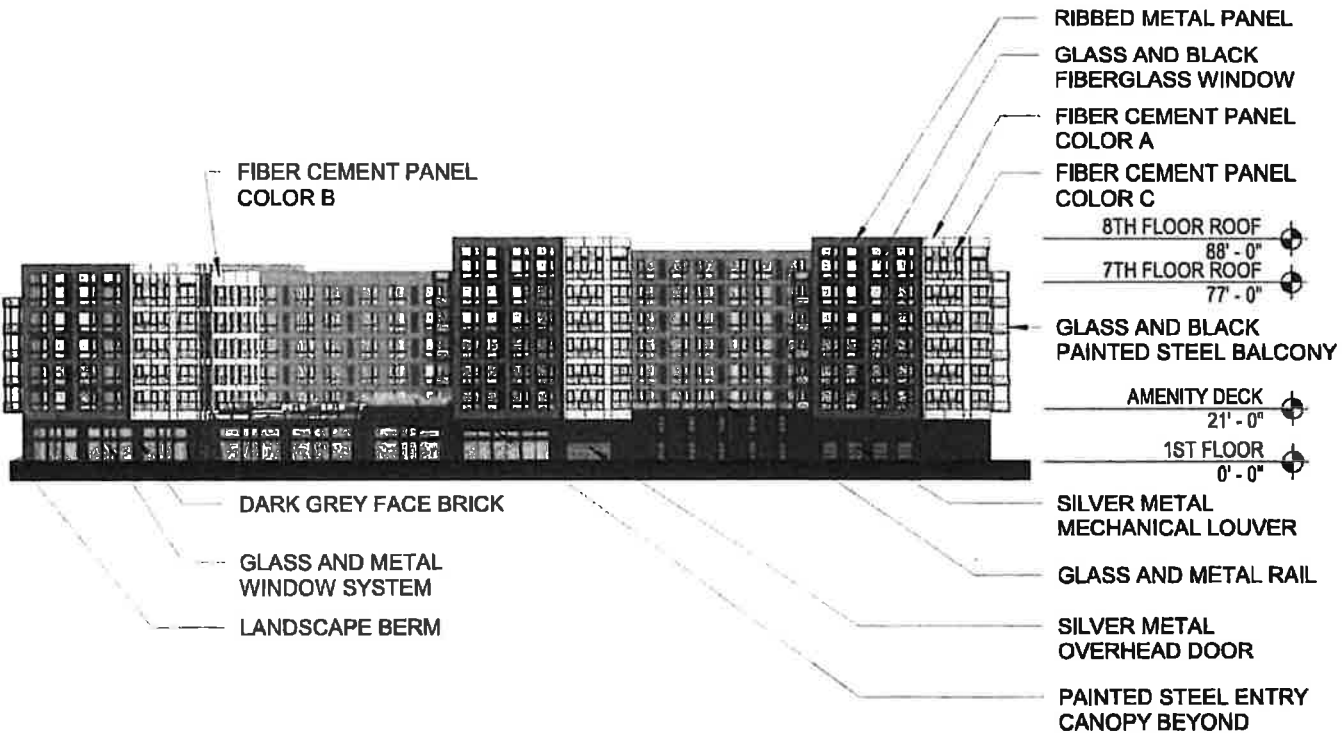
SUB-AREA B-1 NORTH BUILDING ELEVATION



Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

Planned Development No. 44

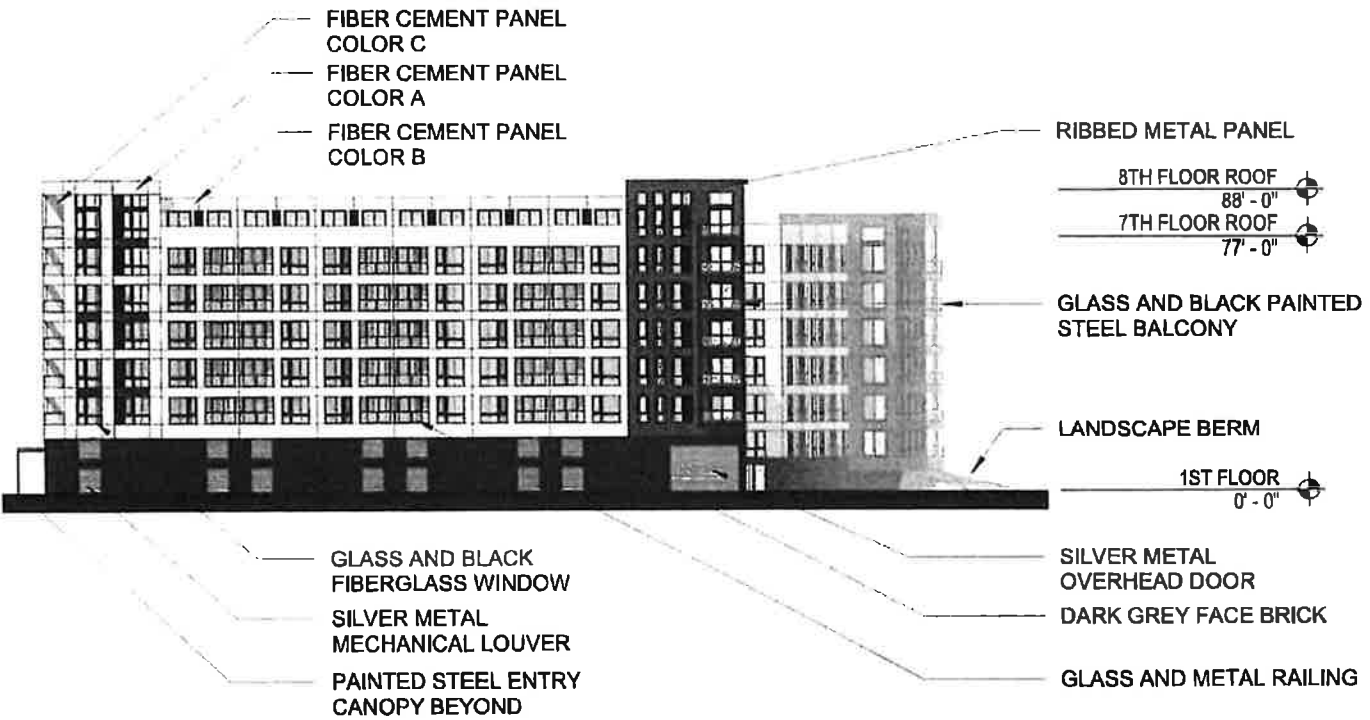
SUB-AREA B-1 WEST BUILDING ELEVATION



Applicant: **Glanstar O'Hare, LLC**
 Address: **8535 W. Higgins Road**
 Minor Change: **May 11, 2022**

Planned Development No. 44

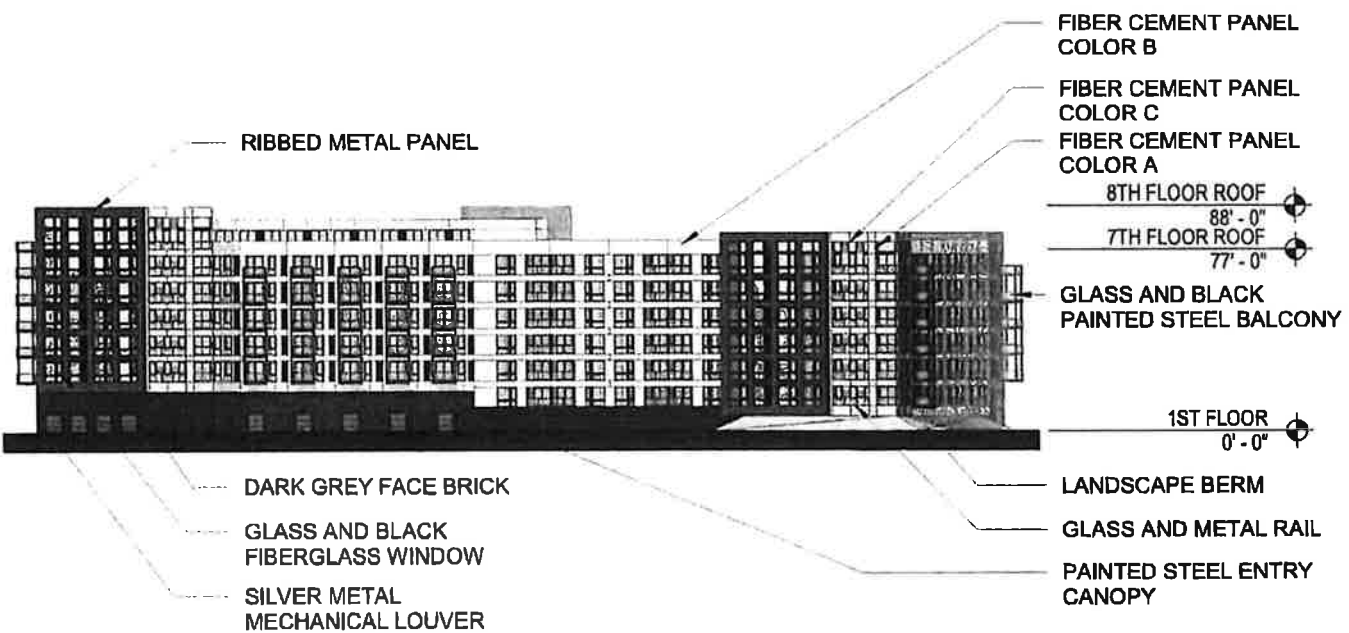
SUB-AREA B-1 SOUTH BUILDING ELEVATION



Applicant: **Glenstar O'Hare, LLC**
 Address: **8535 W. Higgins Road**
 Minor Change: **May 11, 2022**

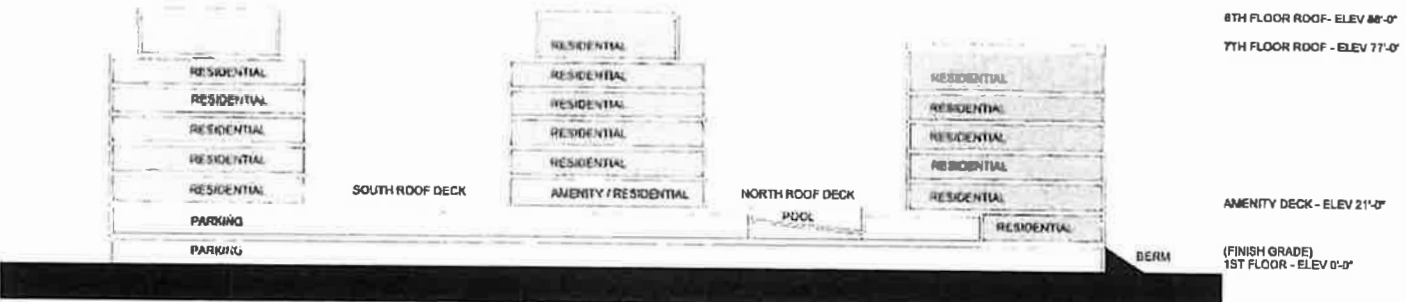
Planned Development No. 44

SUB-AREA B-1 EAST BUILDING ELEVATION

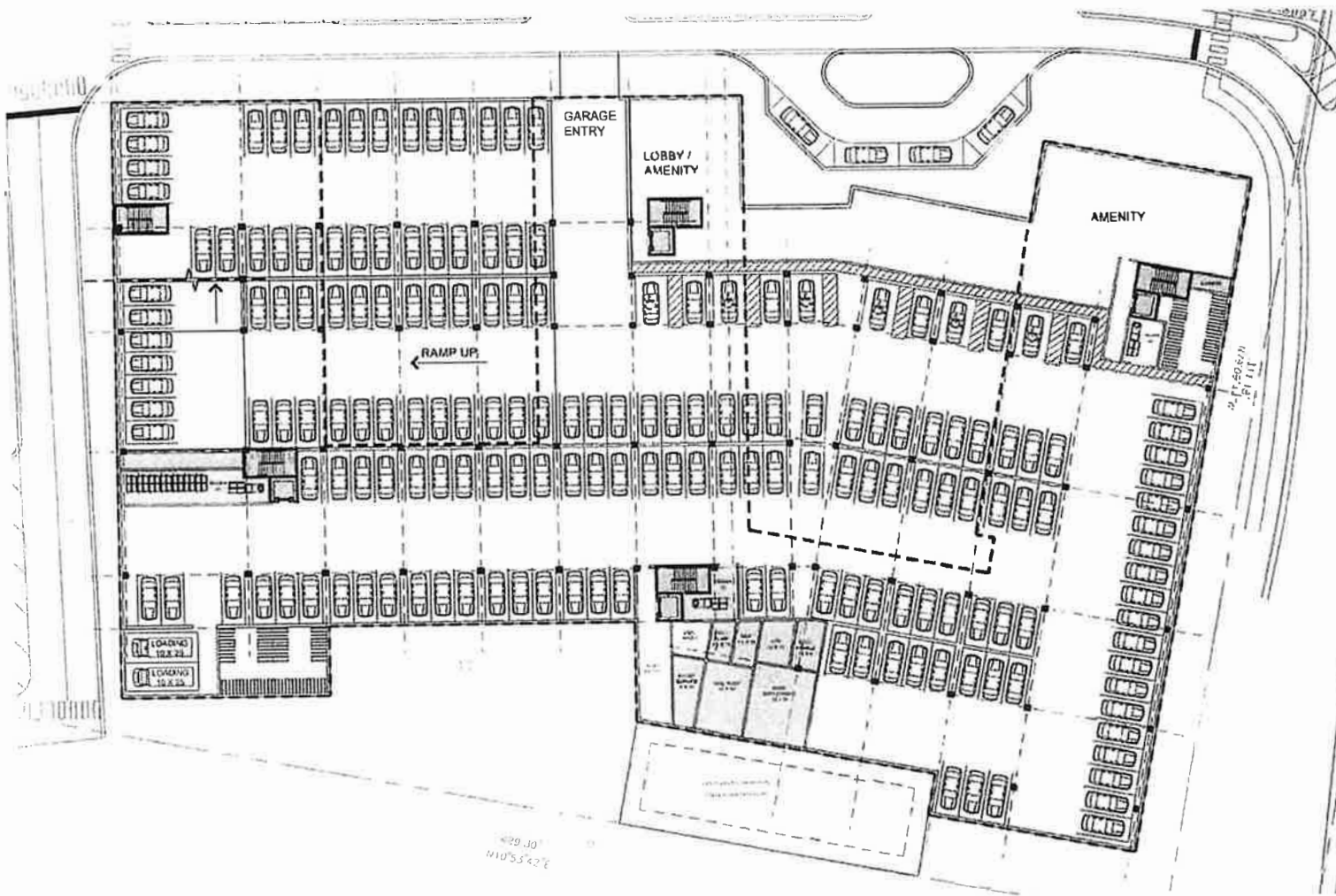


Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

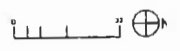
Planned Development No. 44 SUB-AREA B-1 BUILDING SECTION



Applicant: Glenstar O'Hare, LLC
Address: 8535 W. Higgins Road
Minor Change: May 11, 2022



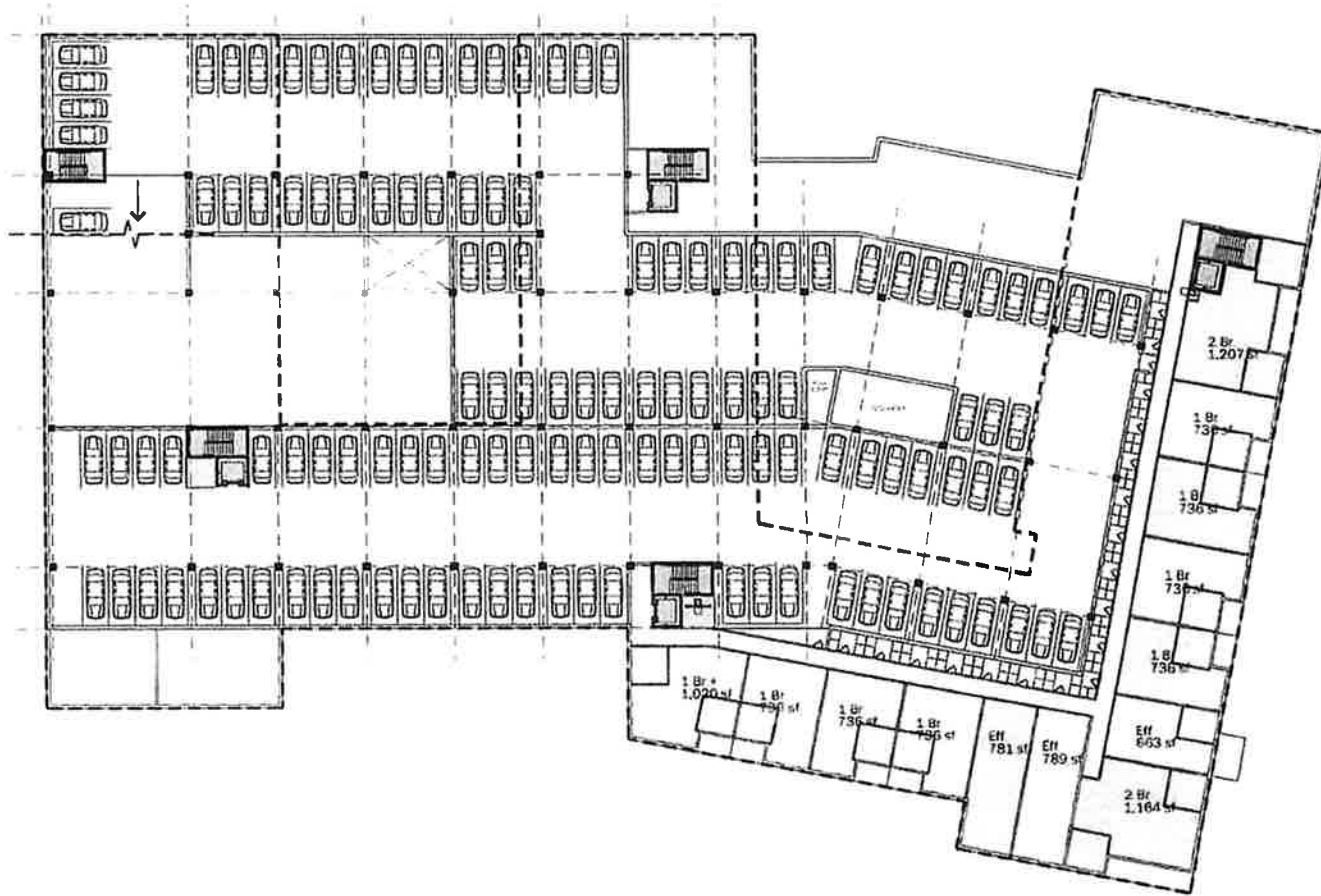
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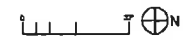
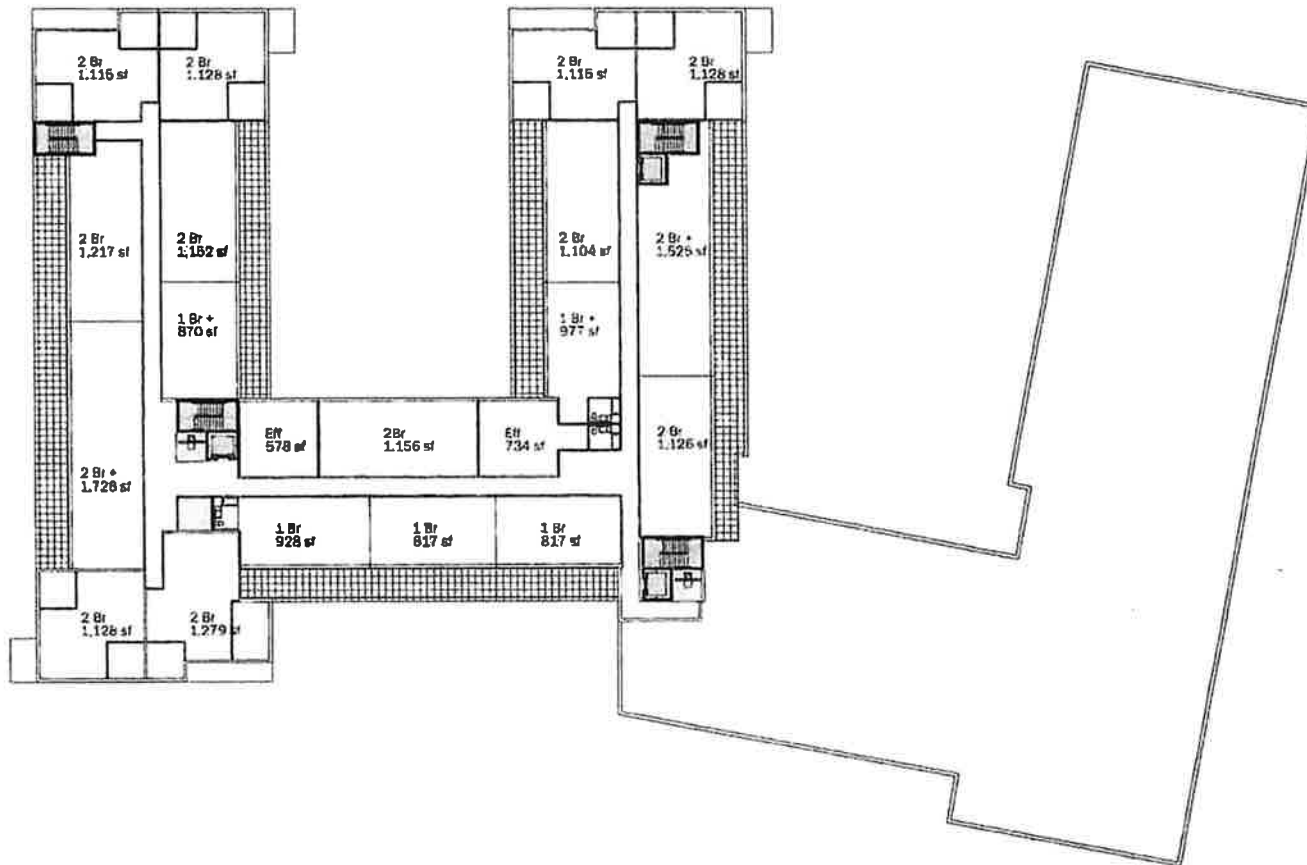
First Floor Plan

FitzGerald

8535 West Higgins E04
Mar 11, 2012



Second Floor Plan



Eighth Floor Plan

FitzGerald

8535 West Higgins E08
 City of Denver | May 11, 2022

Substitute ARO Statement

(Attached)

16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development Number 44, to the B3-2 Community Shopping District, and then to this Amended Planned Development No. 44 is an “entitlement” that triggers the requirements of Section 2-44-085 of the Municipal Code of Chicago (the “ARO”). The PD is located in an “inclusionary housing area” within the meaning of the ARO and permits the construction of 297 dwelling units in Subarea B-1. The Applicant intends to construct a 297-unit rental building (the “Project”).

Developers of rental projects in inclusionary housing areas with 30 or more units must provide between 10% and 20% of the units in the residential development as affordable units, depending on the average depth of affordability provided, as described in subsection (F)(2) of the ARO. Regardless of the applicable percentage of affordable units in the rental project, developers must construct at least 25% of the affordable units on-site and another 25% on-site or off-site (collectively, the “Required Units”), and may satisfy the balance of their affordable housing obligation through: (a) the establishment of additional on-site or off-site affordable units; (b) payment of a fee in lieu of the establishment of on-site or off-site affordable units; or (c) any combination thereof. All on-site affordable units must be accessible dwelling units, as required under subsection (W)(10) of the ARO, and developers must give preference in leasing accessible units to people with disabilities, as specified in the ARO rules. All off-site affordable units must have at least two bedrooms and must be located in a downtown district, inclusionary housing area, or community preservation area. Whether on-site or off-site, developers must give preference in leasing affordable units of two bedrooms or more to multi-person households, as specified in the ARO rules. If a residential project is located in a transit-served location, off-site units must be located in a substantially comparable transit-served location.

The Applicant has elected the 20% option as set forth in the chart in subsection (F)(2) of the ARO. As a result, the Applicant’s affordable housing obligation is 59.4 affordable units (20% of 297) and half of those affordable units are Required Units. Pursuant to subsection (T) of the ARO, the Applicant must either pay a fractional in lieu fee or provide an additional unit on-site or off-site to satisfy the fractional obligation. The Applicant has agreed to satisfy its affordable housing obligation by providing 60 affordable units in the rental building in the PD, as set forth in the Affordable Housing Profile (AHP) attached hereto. The Applicant agrees that the affordable rental units must be affordable to households with a range of incomes averaging 60% of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that (x) the maximum income level for any affordable unit may not exceed 80% of the AMI, (y) at least one-third (or 20 units) must be affordable to households at or below 50% of the AMI, of which one-sixth (or 3 of the 20 units) must be affordable to households at or below 40% of the AMI, and (z) all income levels must be multiples of 10% of the AMI.

If the Applicant requests any material change to its method of compliance with the ARO, such as locating affordable units off-site instead of on-site or changing the target affordability level after the passage of this PD, DOH may adjust the AHP as requested, in accordance with the ARO, without amending the PD, provided however, the Applicant must update and resubmit the revised AHP to DOH for review and approval and, at DOH’s

request, provide an informational presentation to Plan Commission on such change. Prior to the issuance of any building permits for any residential building in the PD, including, without limitation, excavation or foundation permits, the Applicant must execute and record an Affordable Housing Agreement (“AHA”) in accordance with subsection (N) of the ARO. The terms of the AHA and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the AHA will be recorded against Subarea B-1 of the PD, and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any AHA, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the PD.

This statement does not include all ARO requirements and options. It is intended to provide an overview of the application of the ARO to this PD. In the event of any conflict between this statement and the terms and conditions of the ARO, the ARO shall govern.



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

July 21, 2022

Liz Butler
Elrod Friedman LLP
325 N LaSalle Street
Chicago, IL 60654

Re: Request for minor change to Planned Development No. 44, 8535 W. Higgins Road

Dear Miss. Butler:

Please be advised that your request for a minor change to Residential Business Planned Development No. 44 ("PD 44"), Subarea B-1, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD No. 44.

Your client and owner of the PD 44, Glenstar O'Hare, LLC, is seeking a minor change to modify the exhibits included in PD No. 44 approved and published on December 15, 2021. The new exhibits reflect a refinement to the floor plans, this includes the following: extension of the parking area to include the northernmost extent of the first floor therefore eliminating below grade and third level of parking and relocation of pool deck, a reconfiguration of the first floor to enhance connection and continuity of the lobbies and tenant amenity spaces, a reconfiguration of the first floor vehicular drop-off area by replacing 6 diagonal parking spaces with 4 parallel parking spaces to enhance traffic safety and flow, a reconfiguration of the second floor parking to extend north and adjust residential units to the north and east exterior walls, and adjustments to the residential units from the third through the eighth floors.

In addition, the adjustments to the location of the parking within the building has eliminated the north solid brick wall facing Higgins Road and has been replaced by residential units that sit above the landscaped berm per exhibit PD-09. The exterior tenant amenity deck was raised above first floor to allow both tenant roof decks to be at the same level above grade and enhance security to access. The minor change proposes the height of the northernmost wing of the building, along the Higgins Road frontage, to be reduced from 88'-0" to 77'-0", residential units on the uppermost floors of the center and southern tower to be setback, creating useable outdoor spaces for residents. The adjustments have increased the green roof area with additional planting bed square footages on both residential buildings by 5,391SF for a total of 35,044SF as indicated on exhibit PD-07. The requested change includes adjustment to the residential unit mix to accommodate the demand for larger residential units. The unit mix is proposed to go from 86 studios, 121 one-bedroom apartments, and 90 two-bedroom apartments under the currently approved planned development, to 57 studios, 157 one-bedroom apartments, and 83 two-bedroom apartments as proposed in this minor change request.

The minor change request is accompanied by confirmation and agreement from the applicant their desire to exceed the Affordable Requirements Ordinance obligations as set forth in statement 16 of the currently approved PD No. 44, a new revised statement 16 is included as an exhibit with this letter.

The minor change request also confirms that the Developer will coordinate with the Department of Aviation to ensure that the Proposed Development meets the applicable noise abatement standards and technical specifications of the Residential Sound Insulation Program for projects that are impacted by O'Hare Airport operations. Specifically, the project will incorporate appropriate materials and specifications for doors, windows, and insulation, among others.

There is no reduction in the amount of landscaping, unit count, or parking spaces proposed. The requested minor change does not result in an increase in height, dwelling units, floor area and the request is consistent with all the bulk, density, and use standards of the PD. The site plan modifications are a result of further building design and refinement.

The following, revised drawings prepared by Fitzgerald Associates Architects, and dated May 11, 2022, shall be inserted into the main file and are attached:

- Existing Zoning Map PD-01
- Existing Land Use Map PD-02
- Planned Development Property Line, Boundary and Sub-Area Map PD-03
- Site Plan PD-04
- Pedestrian Circulation PD-05
- Site Plan Sub-Area B-1 PD-06
- Roof and Landscape Plan PD-07
- Landscape Plantings PD-08A
- Landscape Plantings PD-08B
- Landscape Plantings PD-08C
- Sub-Area B-1 North Building Elevation PD-09
- Sub-Area B-1 West Building Elevation PD-10
- Sub-Area B-1 South Building Elevation PD-11
- Sub-Area B-1 East Building Elevation PD-12
- Sub-Area B-1 Building Section PD-13
- First Floor Plan
- Second Floor Plan
- Third Floor Plan
- Fourth-Seventh Floor Plans
- Eighth Floor Plan
- Revised Statement 16

Regarding your request, the Department of Planning and Development has determined that allowing the proposed design changes and parking structure adjustments to the Planned Development will not result in an increase in the bulk or density, will not have an adverse impact on the surrounding neighborhood, and will not change the character of the development.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD No.44, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter and unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

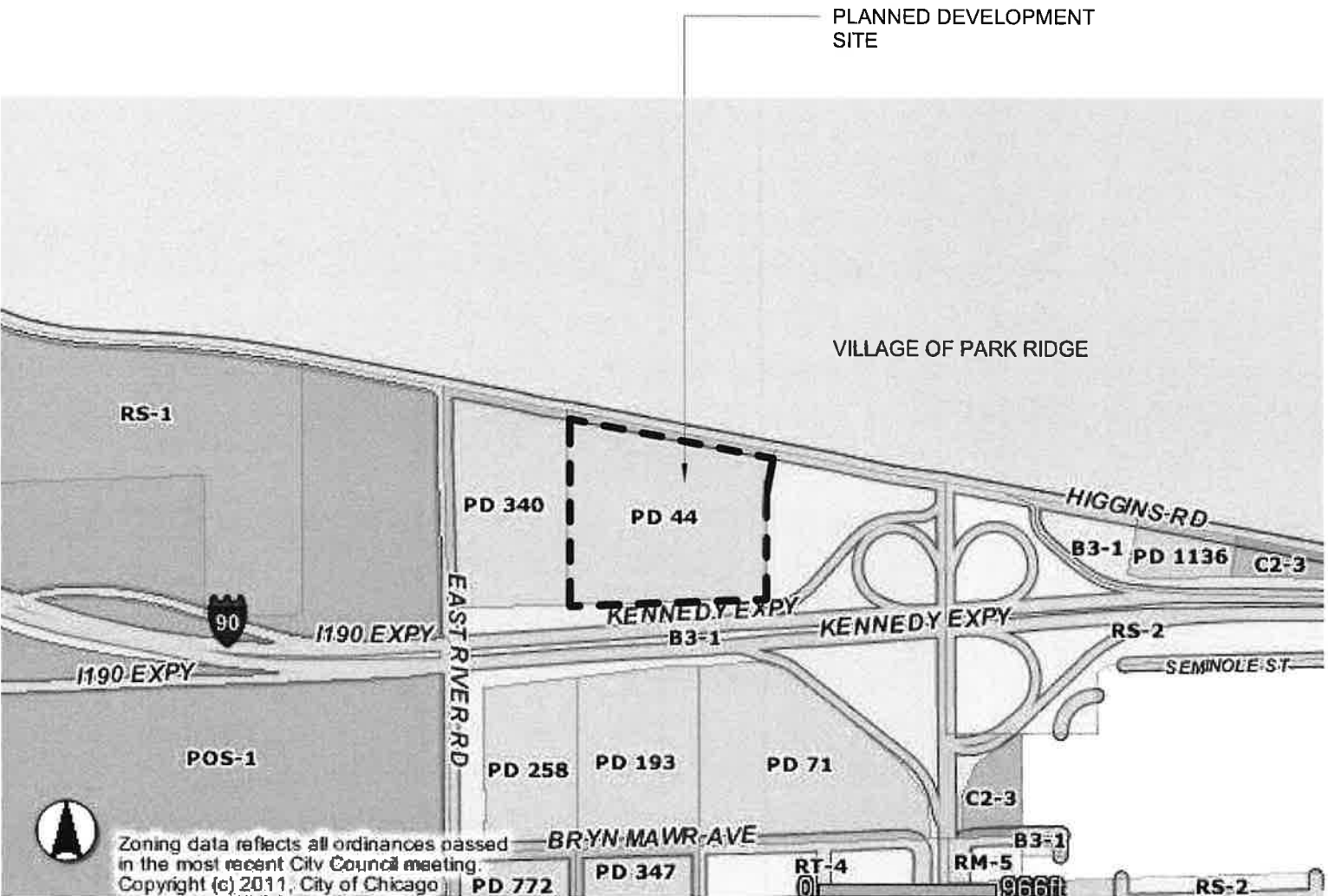
Sincerely,



Noah Szafraniec
Assistant Commissioner

C: Mike Marmo, Erik Glass, Janice Hill, Teresa McLaughlin, Main file

Planned Development No. 44 EXISTING ZONING MAP



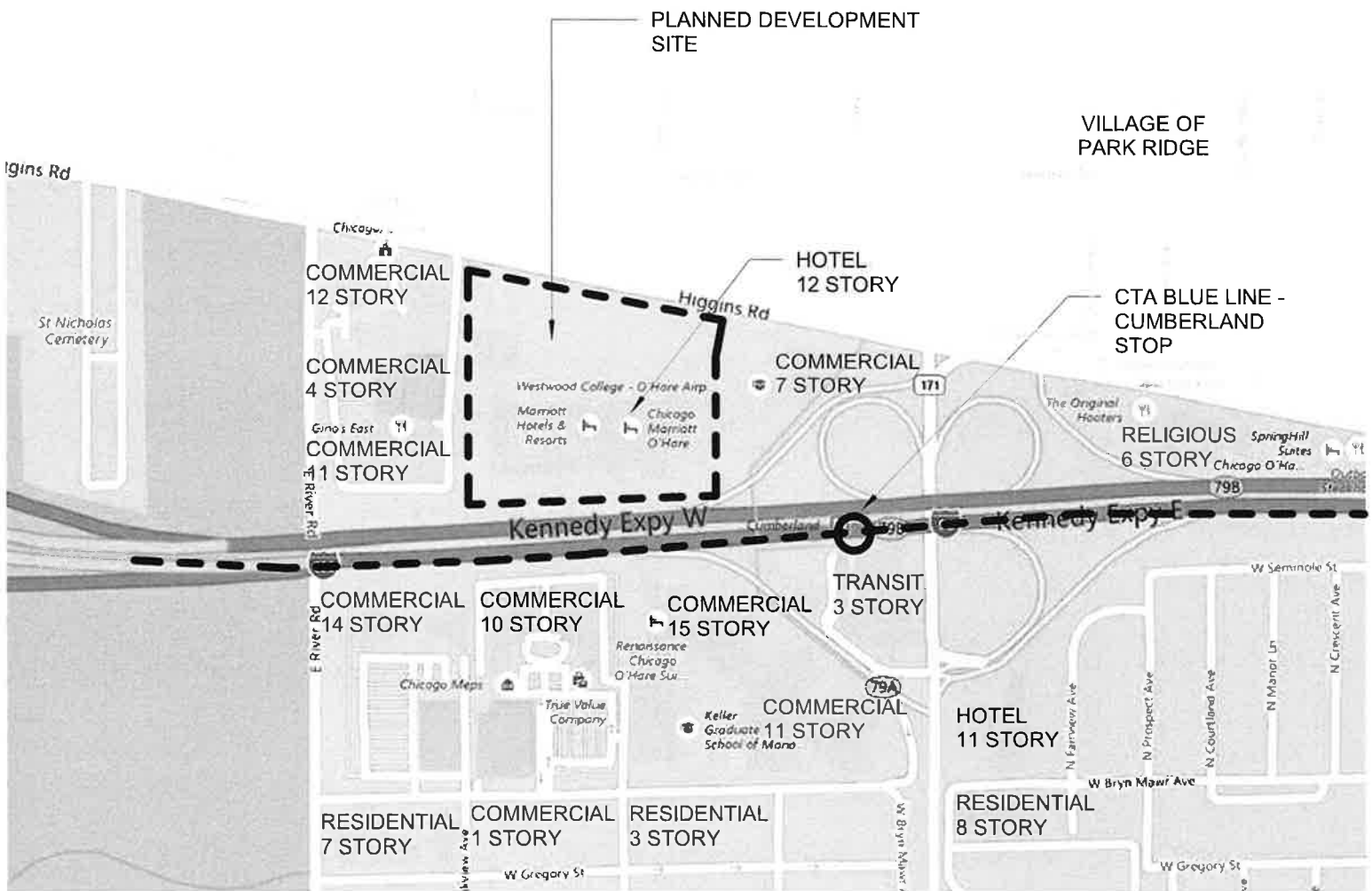
Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



PD-01

Planned Development No. 44

EXISTING LAND USE MAP



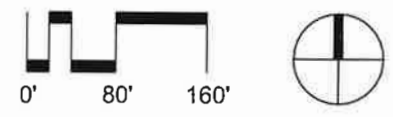
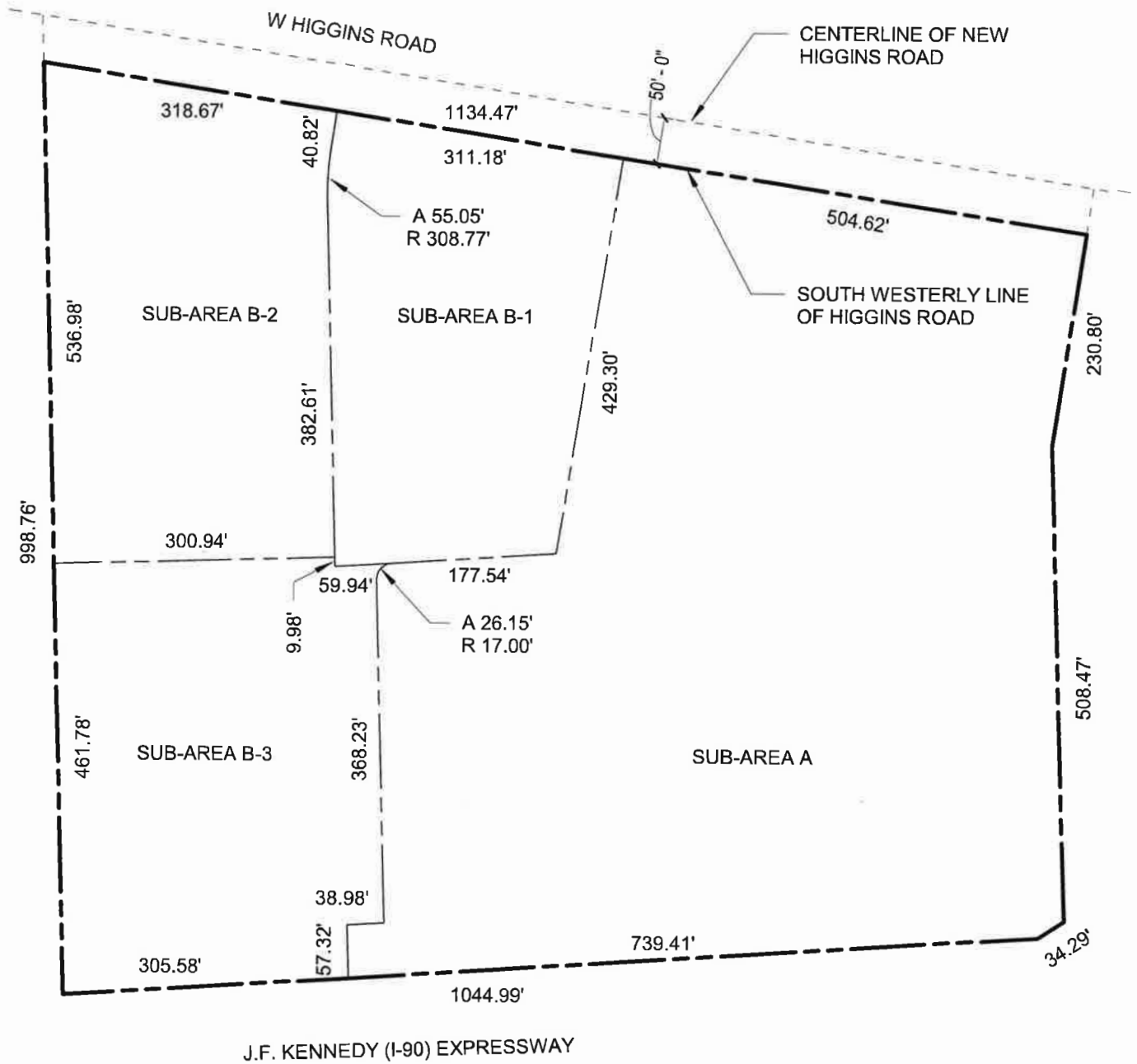
Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



PD-02

Planned Development No. 44

PLANNED DEVELOPMENT PROPERTY LINE, BOUNDARY AND SUB-AREA MAP

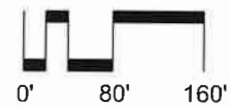
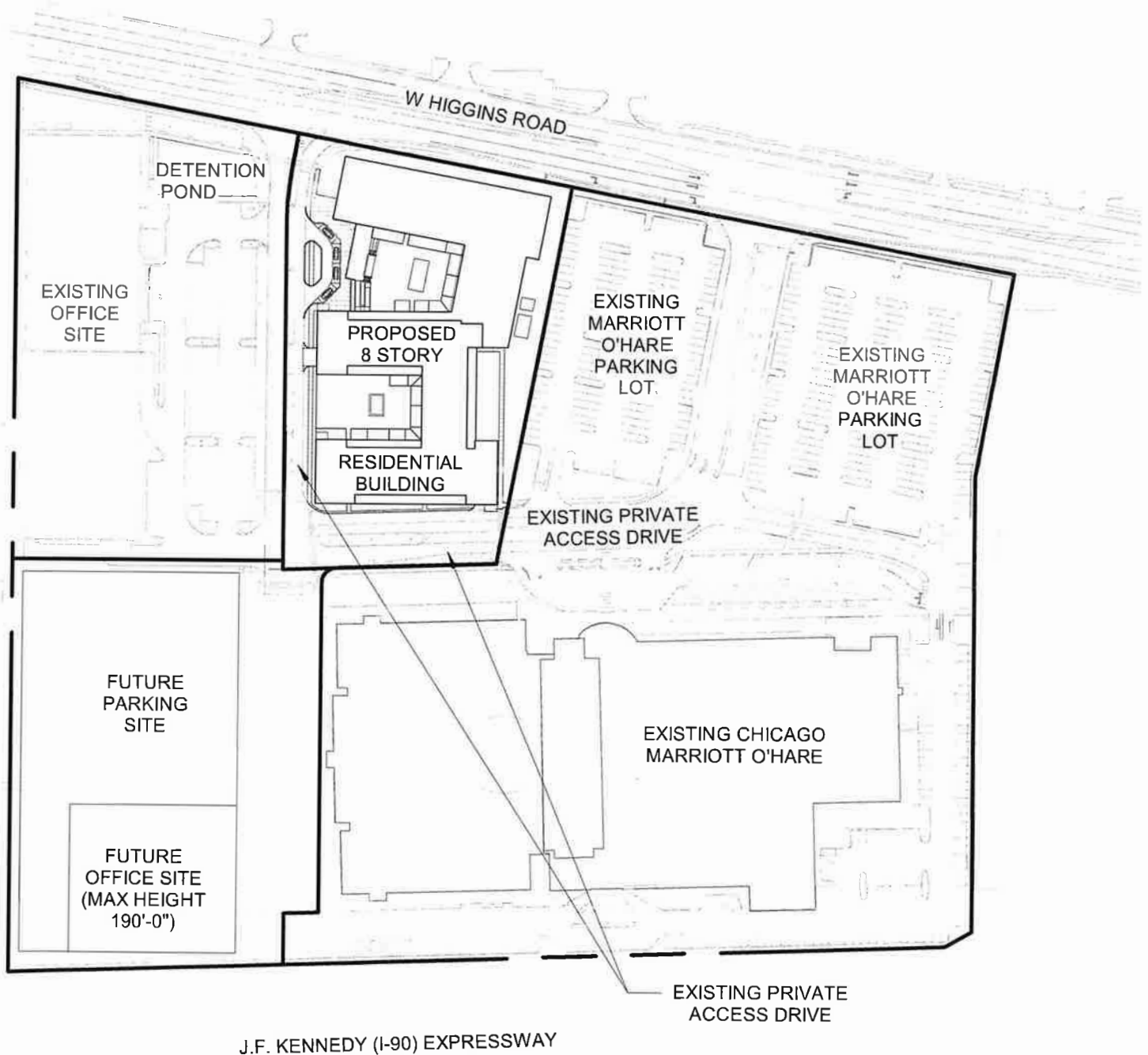


Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-03

Planned Development No. 44

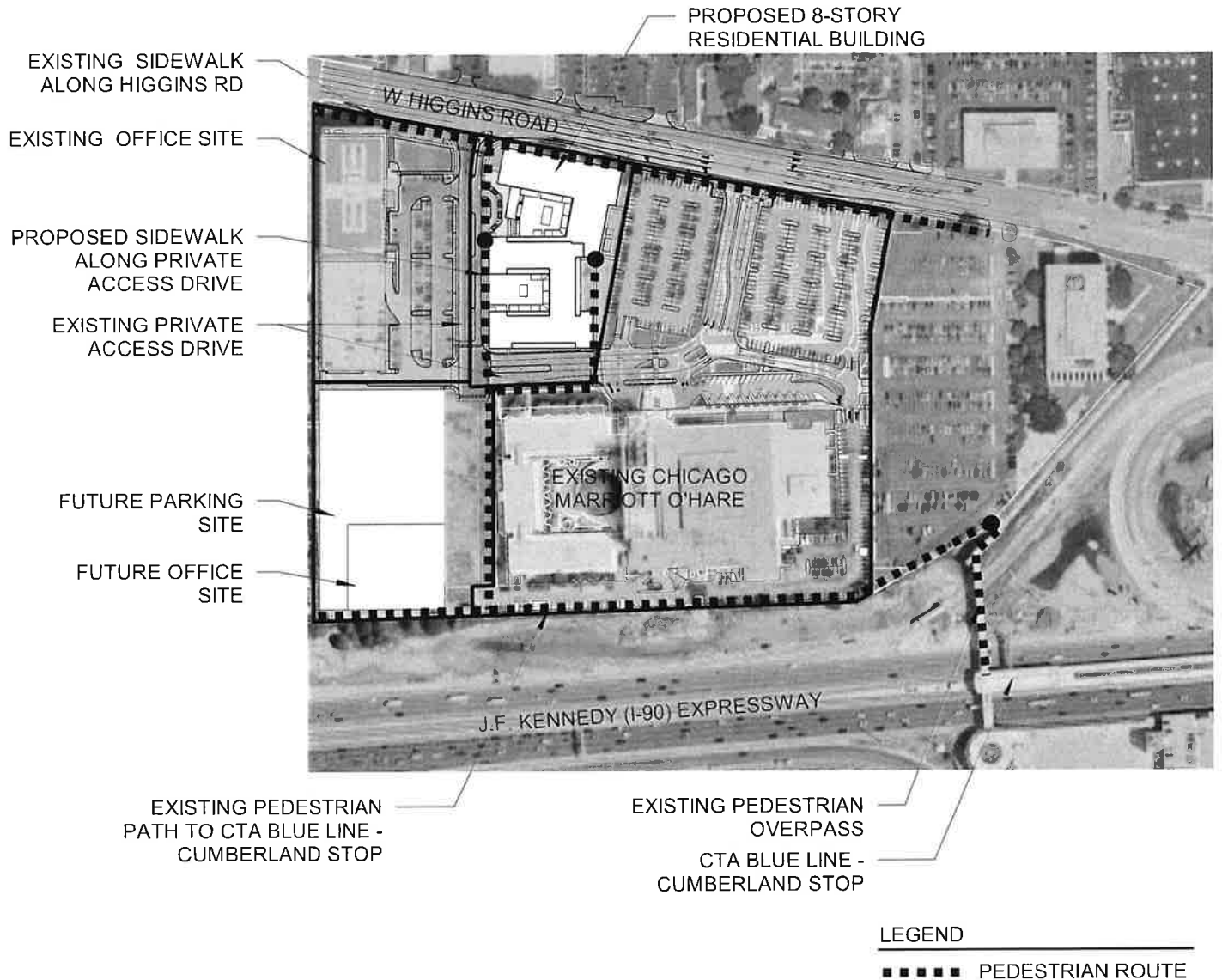
SITE PLAN



Applicant: Glenstar O'Hare, LLC
Address: 8535 W. Higgins Road
Minor Change: May 11, 2022

Planned Development No. 44

PEDESTRIAN CIRCULATION

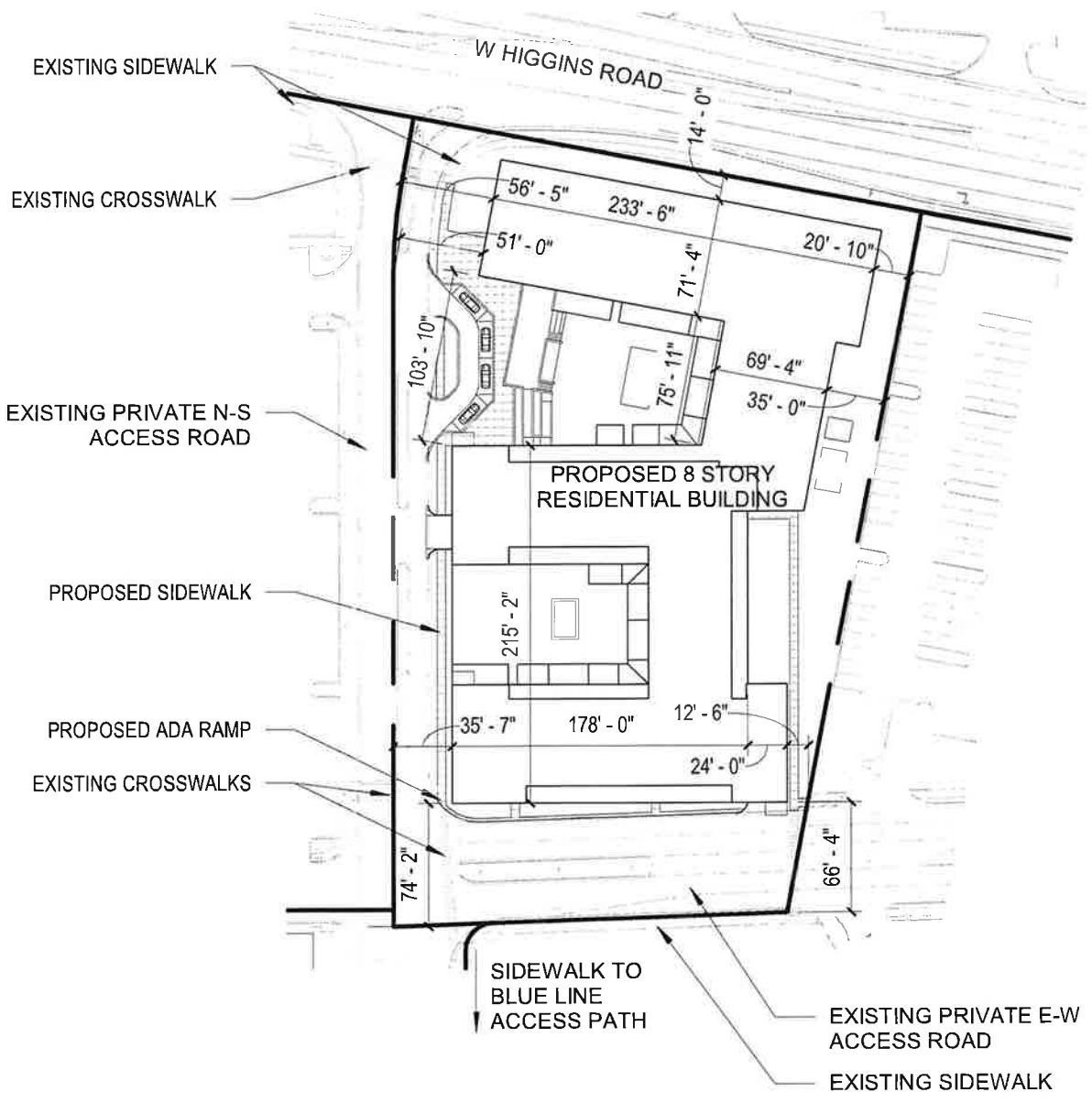


Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



Planned Development No. 44

SITE PLAN SUB-AREA B-1



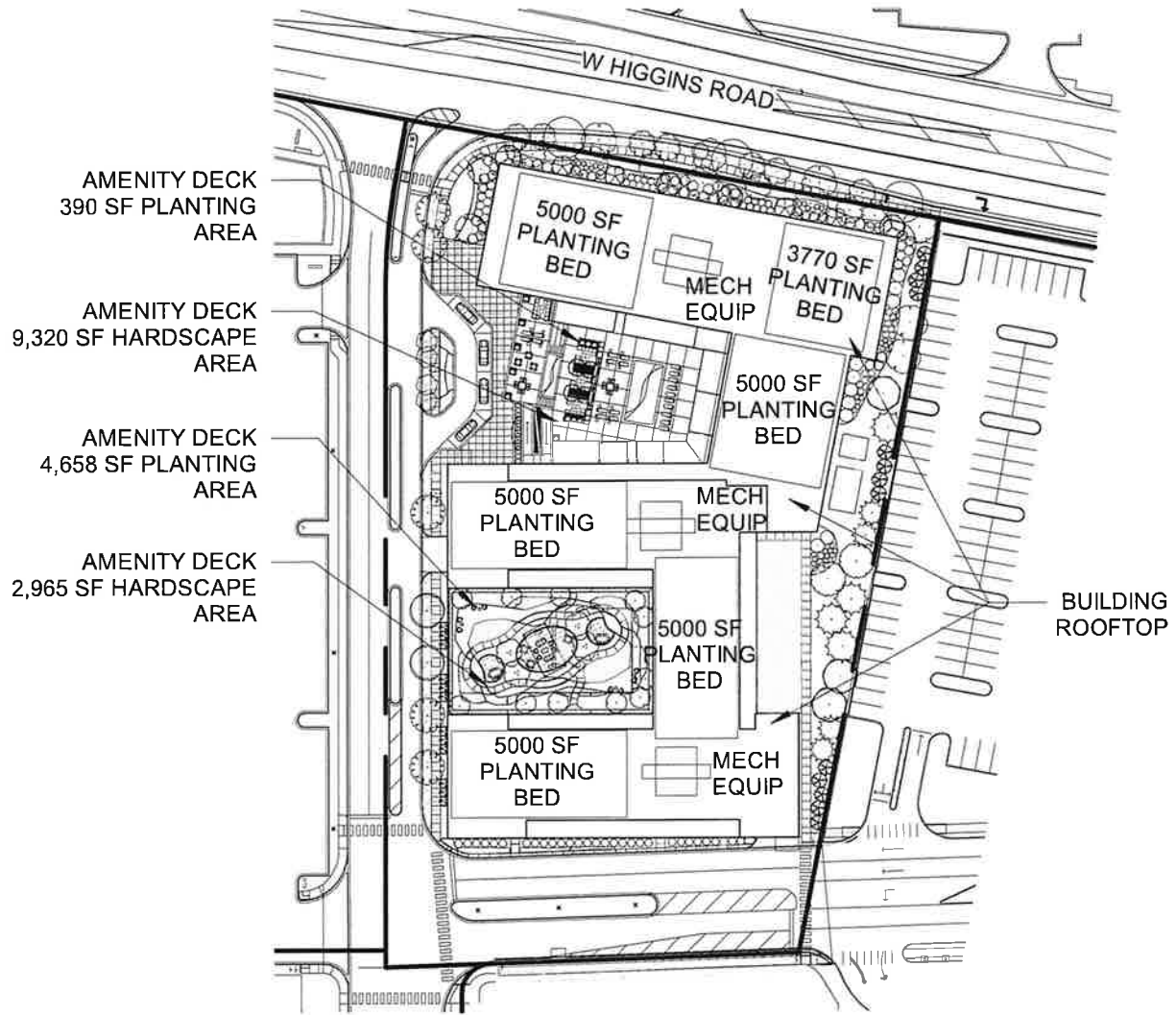
Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022



PD-06

Planned Development No. 44

ROOF AND LANDSCAPE PLAN



GROSS ROOF AREA:	73,487 SF
- LESS MECHANICAL AREA:	3,400 SF
<u>NET ROOF AREA:</u>	<u>70,087 SF</u>

TOTAL REQUIRED GREEN ROOF AREA (50% GREEN ROOF TO GROSS ROOF RATIO):	35,044 SF
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<u>PROVIDED GREEN ROOF BREAKDOWN</u>	
- ROOF TOP GREEN ROOF AREA:	28,770 SF
- AMENITY DECK GREEN ROOF AREA:	5,048 SF
- 10% OF TOTAL HARDSCAPE DECK AREA (TOWARDS GREEN ROOF CALCULATION):	1,229 SF
	<u>35,047 SF</u>

Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022






























PD-07

Planned Development No. 44

LANDSCAPE PLANTINGS

FOUNDATION LANDSCAPE PLANT SCHEDULE

<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	2	ACER X FREEMANII 'ARMSTRONG' / ARMSTRONG FREEMAN MAPLE	3" CAL.	B&B/CG
	2	BETULA POPULIFOLIA 'WHITESPIRE' / WHITESPIRE GRAY BIRCH	6' HT. MULTI-STEM	B&B/CG
	6	CELTIS OCCIDENTALIS 'CHICAGOLAND' / CHICAGOLAND COMMON HACKBERRY	3" CAL.	B&B/CG
	12	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE	3" CAL.	B&B/CG
	2	PLATANUS X ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANE TREE	3" CAL.	B&B/CG
	3	QUERCUS BICOLOR / SWAMP WHITE OAK	3" CAL.	B&B/CG
	3	ULMUS X 'NEW HORIZON' / NEW HORIZON ELM	3" CAL.	B&B/CG
	5	ULMUS X 'PATRIOT' / PATRIOT ELM	3" CAL.	B&B/CG
<u>EVERGREEN TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	13	JUNIPERUS CHINENSIS 'MOUNTBATTEN' / MOUNTBATTEN JUNIPER	5' HT.	B&B/CG
	4	PICEA OMORIKA / SERBIAN SPRUCE	6' HT.	B&B/CG
	4	PINUS FLEXILIS / LIMBER PINE	6' HT.	B&B/CG
<u>ORNAMENTAL TREE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	12	AMELANCHIER ALNIFOLIA 'OBELISK' TM / STANDING OVATION SERVICEBERRY	6' HT. MULTI-STEM	B&B/CG
	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	6' HT. MULTI-STEM	B&B/CG
	4	CERCIS CANADENSIS 'JN7' TM / SUMMER'S TOWER EASTERN REDBUD	6' HT. MULTI-STEM	B&B/CG
	4	CRATAEGUS CRUS-GALLI 'CRUZAM' TM / CRUSADER COCKSPUR HAWTHORN	6' HT.	B&B/CG
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	20	CEANOTHUS AMERICANUS / NEW JERSEY TEA	18" HT.	B&B/CG
	18	CORNUS STOLONIFERA 'FARROW' TM / ARCTIC FIRE RED TWIG DOGWOOD	24" HT.	B&B/CG
	9	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE HYDRANGEA	24" HT.	B&B/CG
	21	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE' / LITTLE QUICK FIRE PANICLE HYDRANGEA	24" HT.	B&B/CG
	12	HYDRANGEA SERRATA 'MAK20' TM / TUFF STUFF HYDRANGEA	24" HT.	B&B/CG
	5	ILEX GLABRA 'SMNIGAB17' TM / GEM BOX INKBERRY HOLLY	18" HT.	B&B/CG
	6	MYRICA PENNSYLVANICA 'MORTON MALE' TM / SILVER SPRITE MALE BAYBERRY	30" HT.	B&B/CG
	10	MYRICA PENNSYLVANICA 'MORTON' TM / SILVER SPRITE BAYBERRY	30" HT.	B&B/CG
	3	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	18" HT.	B&B/CG
	30	SYRINGA X 'PENDA' TM / BLOOMERANG PURPLE LILAC	24" HT.	B&B/CG
	31	TAXUS X MEDIA 'TAUNTONII' / TAUNTON'S YEW	36" WD.	B&B/CG
	10	VIBURNUM DENTATUM / ARROWWOOD VIBURNUM	36" HT.	B&B/CG










Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-08A

Planned Development No. 44

LANDSCAPE PLANTINGS

FOUNDATION LANDSCAPE PLANT SCHEDULE CONTINUED

<u>GROUND COVERS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	169	GERANIUM X CANTABRIGIENSE 'BIOKOVO' / BIOKOVO CRANESBILL	1 GAL.	CG	12" o.c.
	41	HAKONECHLOA MACRA / JAPANESE FOREST GRASS	1 GAL.	CG	24" o.c.
	245	VINCA MINOR 'DART'S BLUE' / DART'S BLUE PERIWINKLE	1 GAL.	CG	18" o.c.
<u>PERENNIALS & ORNAMENTAL GRASSES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	149	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	1 GAL.	CG	24" o.c.
	107	HEMEROCALLIS X 'APRICOT SPARKLES' / APRICOT SPARKLES DAYLILY	1 GAL.	CG	24" o.c.
	25	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / LITTLE SPIRE RUSSIAN SAGE	1 GAL.	CG	24" o.c.
	105	SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS	1 GAL.	CG	24" o.c.
<u>SEED/LAWN</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>		
	2 707 SF	SEED IDOT SALT TOLERANT TURF MIX	SEED		
	9 234 SF	SEED TURF MIX / SEEDED TURF	SEED		

COURTYARD DECK PLANT SCHEDULE

<u>ORNAMENTAL TREE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>
	11	CORNUS MAS 'GOLDEN GLORY' / GOLDEN GLORY CORNELIAN CHERRY	5' HT.	B&B/CG
	4	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	6' HT, MULTI-STEM	B&B/CG
<u>LIVEROOF PLANT MIXES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	
	1 729 SF	LIVEROOF GIANTS MIX	TRAY SYSTEM (TBD) Green Roof System Information https://liveroof.com/products/	
	969 SF	LIVEROOF SCHOOL PRIDE MIX	TRAY SYSTEM (TBD) Green Roof System Information https://liveroof.com/products/	









Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-08B

Planned Development No. 44

LANDSCAPE PLANTINGS

AMENITY POOL DECK PLANT SCHEDULE

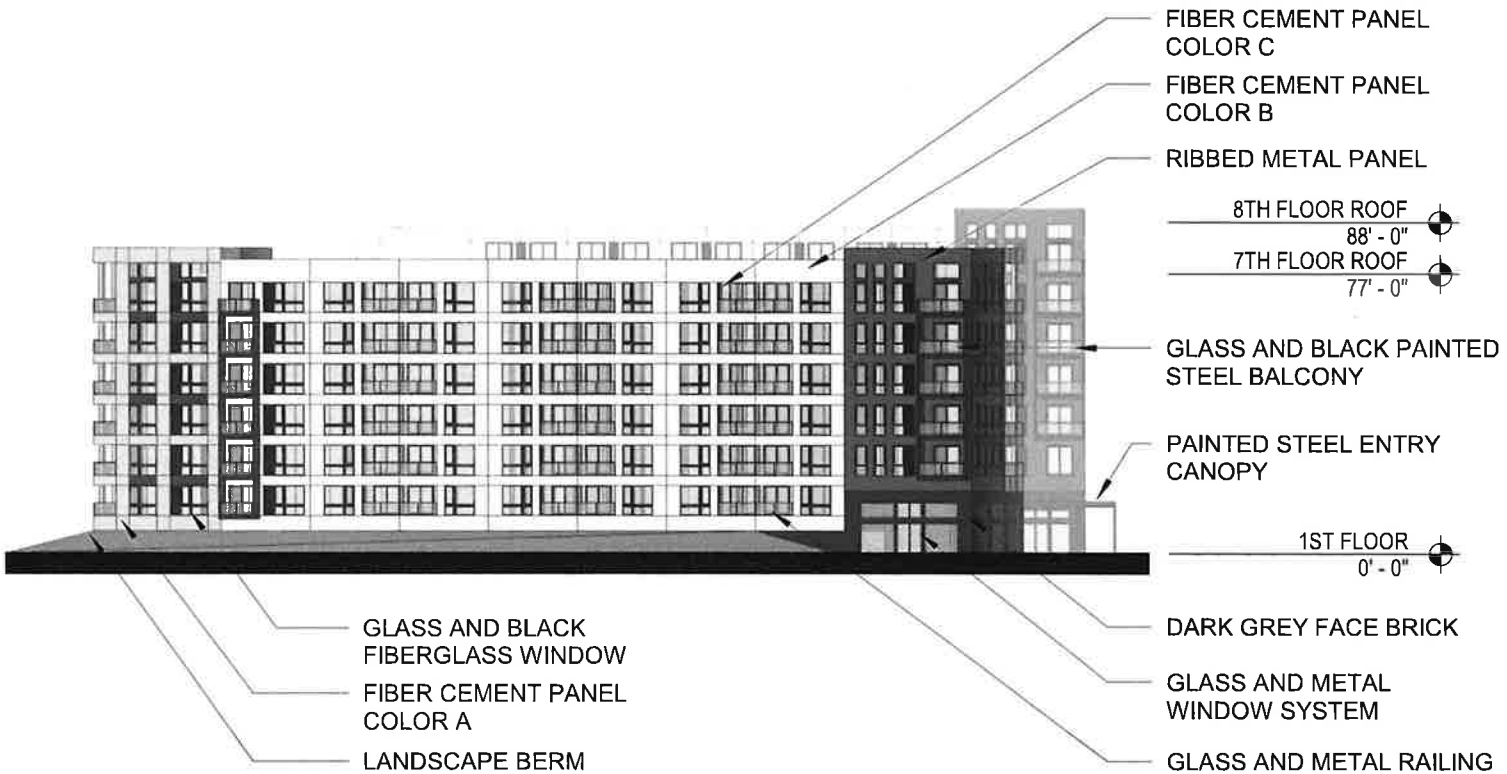
<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	4	CARPINUS BETULUS 'FRANS FONTAINE' / FRANS FONTAINE HORNBEAM	3" CAL.	B&B/CG	
	12	THUJA OCCIDENTALIS 'SMARAGD' / EMERALD GREEN ARBORVITAE	5' HT.	B&B/CG	
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	10	BUXUS X 'GREEN MOUNTAIN' / GREEN MOUNTAIN BOXWOOD	36" WD.	B&B/CG	
	5	HYDRANGEA ARBORESCENS 'SMHAMWM' TM / SEASIDE SERENADE HYDRANGEA	24" HT.	B&B/CG	
<u>PERENNIALS & ORNAMENTAL GRASSES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	11	FESTUCA X 'COOL AS ICE' / COOL AS ICE BLUE FESCUE	1 GAL.	CG	18" o.c.
	143	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' / LITTLE BUNNY FOUNTAIN GRASS	1 GAL.	CG	12" o.c.
	6	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' / LITTLE SPIRE RUSSIAN SAGE	1 GAL.	CG	24" o.c.
	64	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' / STANDING OVATION LITTLE BLUESTEM	1 GAL.	CG	12" o.c.
	11	SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS	1 GAL.	CG	24" o.c.

Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

PD-08C

Planned Development No. 44

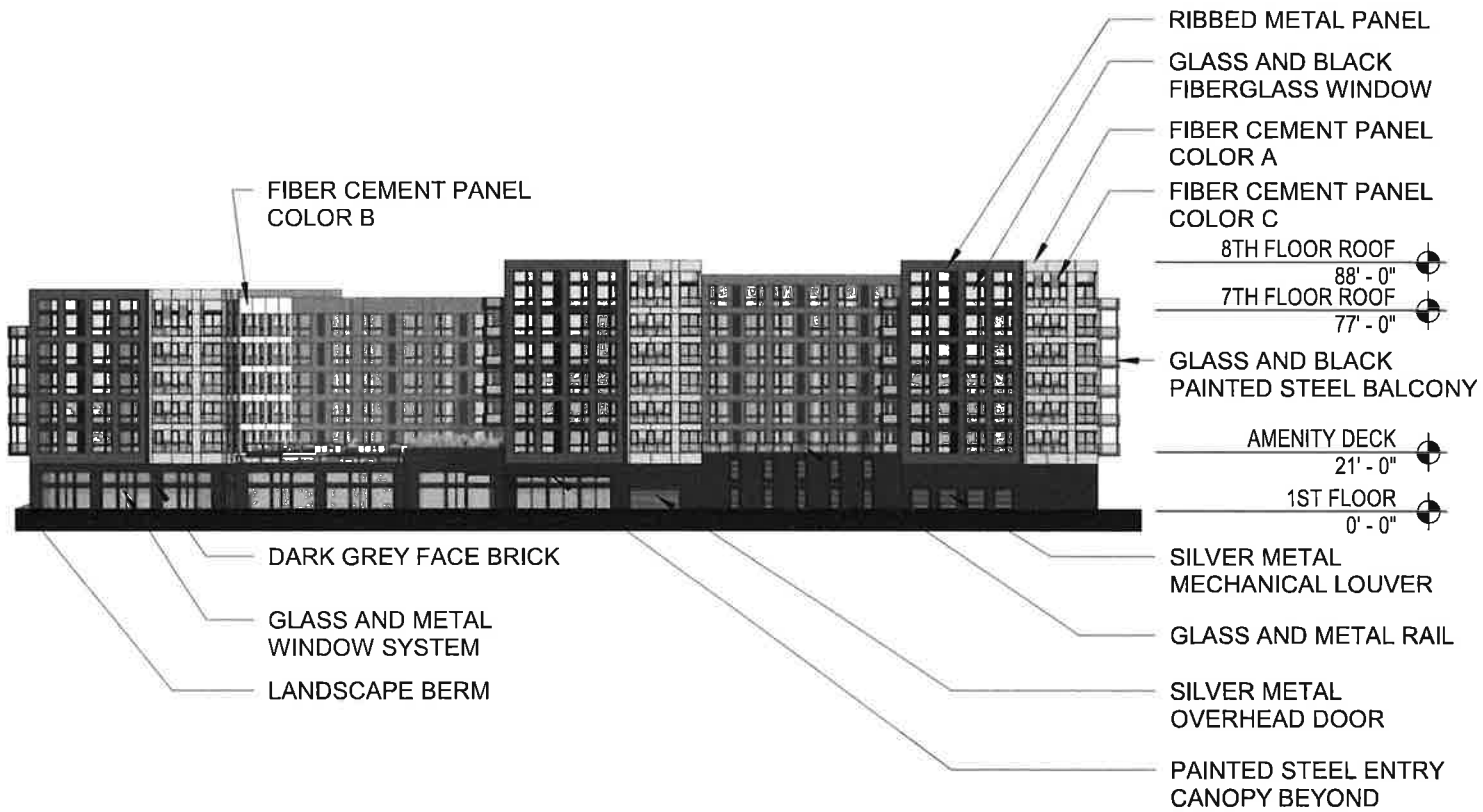
SUB-AREA B-1 NORTH BUILDING ELEVATION



Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

Planned Development No. 44

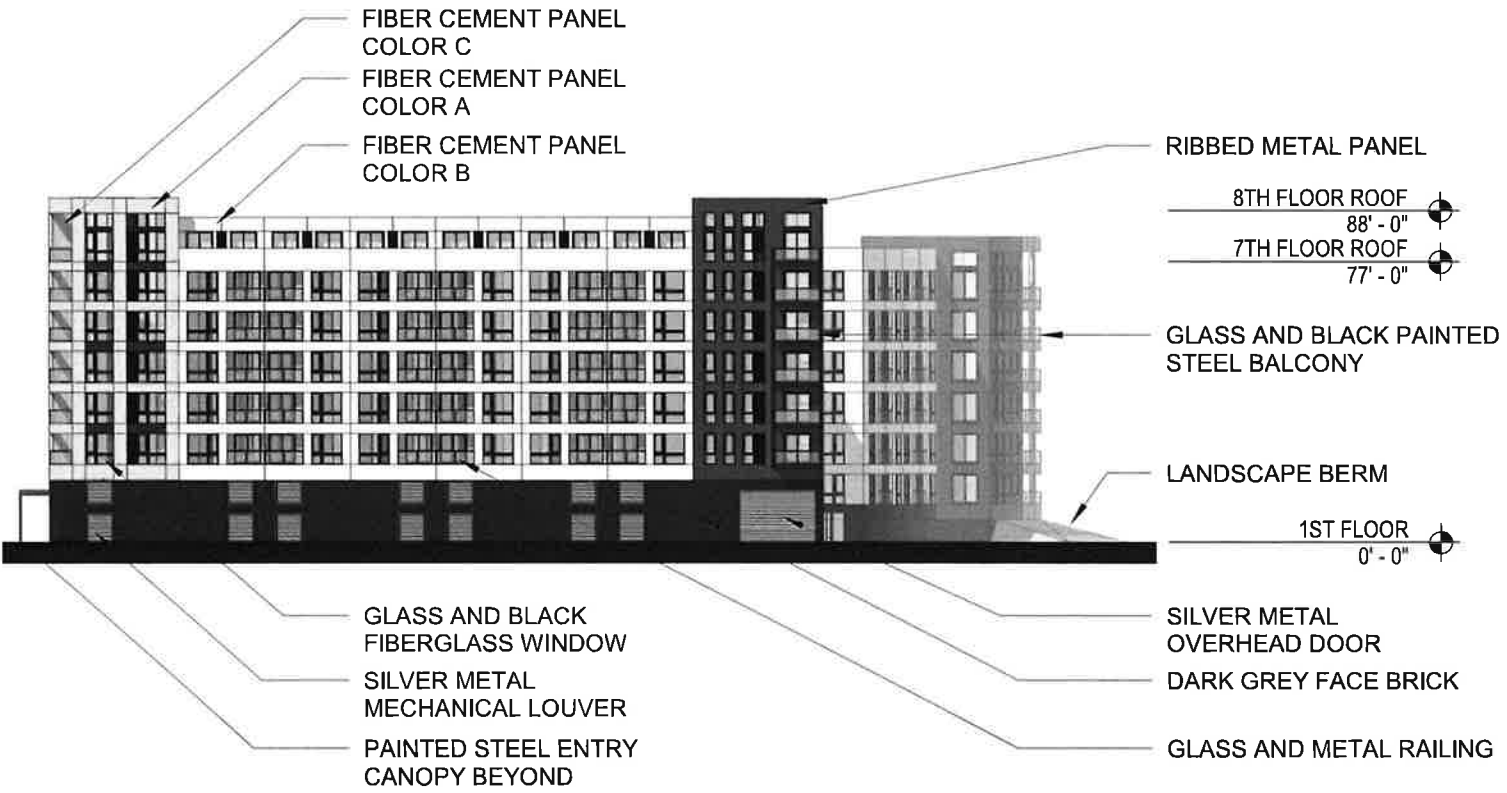
SUB-AREA B-1 WEST BUILDING ELEVATION



Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

Planned Development No. 44

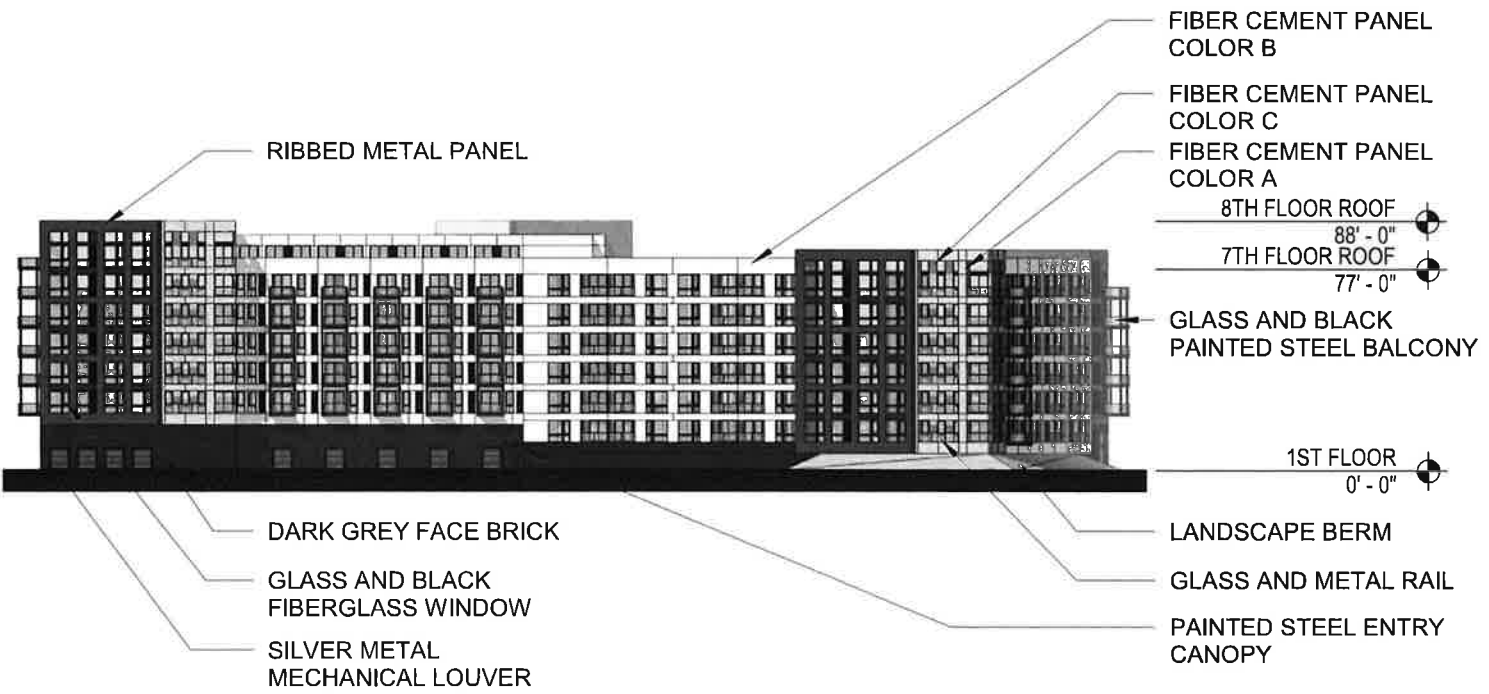
SUB-AREA B-1 SOUTH BUILDING ELEVATION



Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

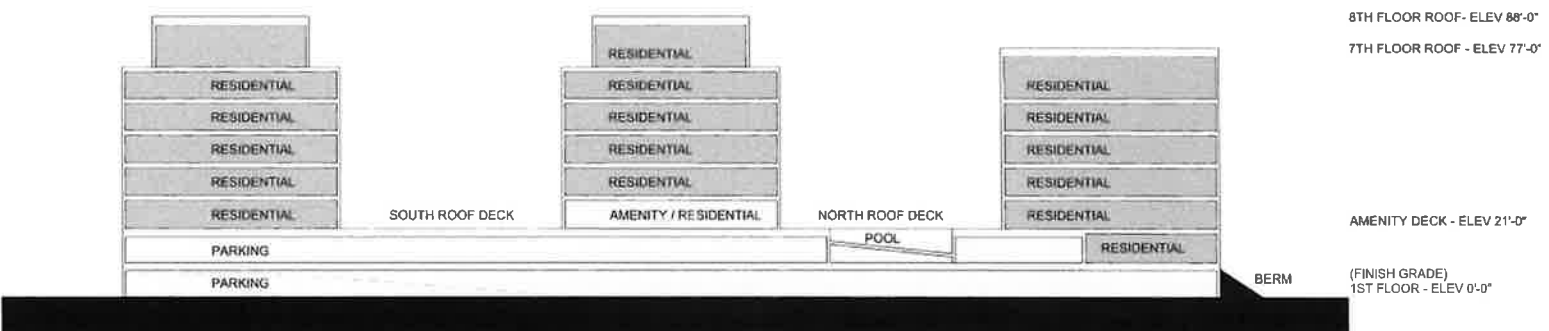
Planned Development No. 44

SUB-AREA B-1 EAST BUILDING ELEVATION



Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Minor Change: May 11, 2022

Planned Development No. 44 SUB-AREA B-1 BUILDING SECTION



Applicant: Glenstar O'Hare, LLC
Address: 8535 W. Higgins Road
Minor Change: May 11, 2022

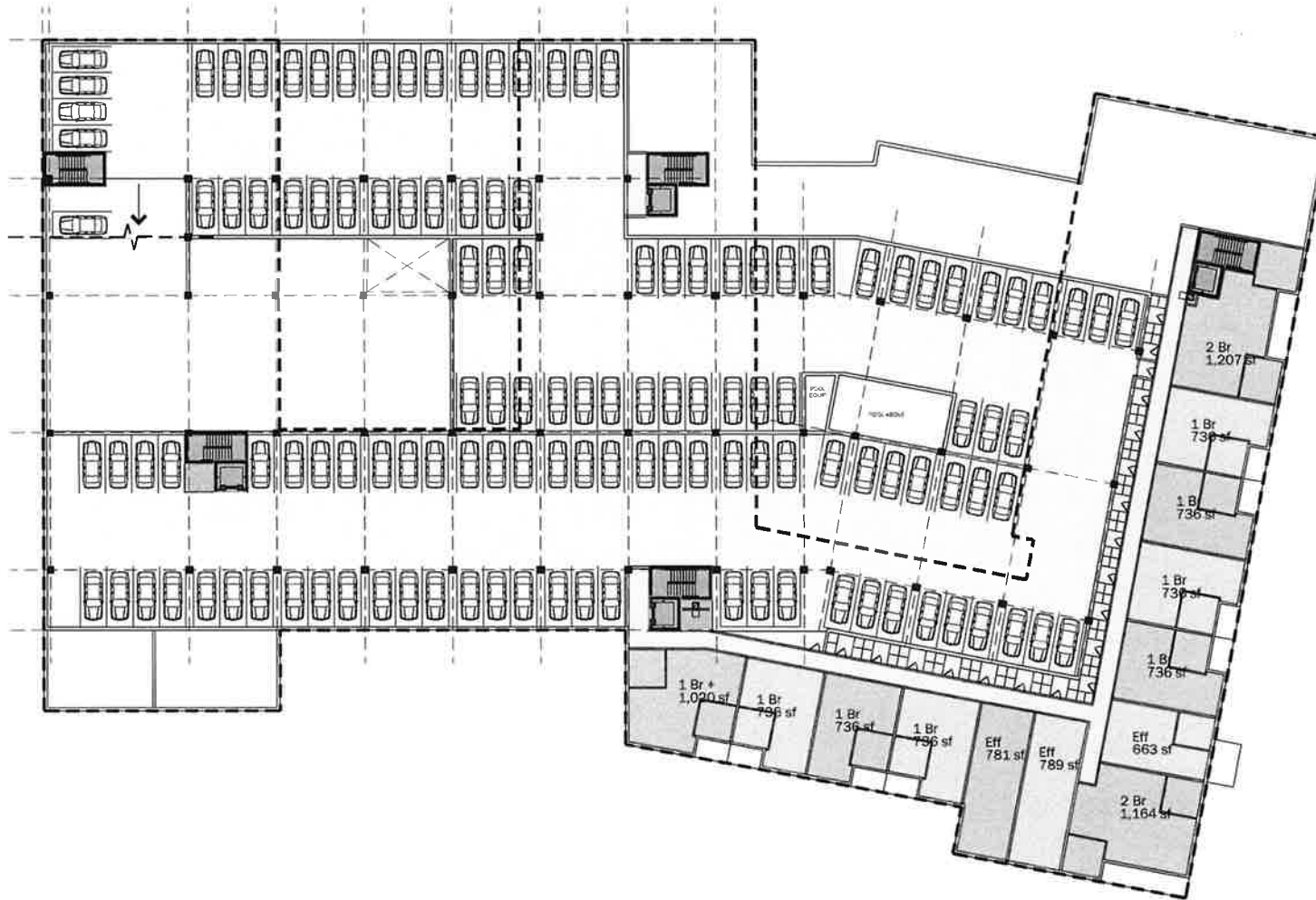


First Floor Plan

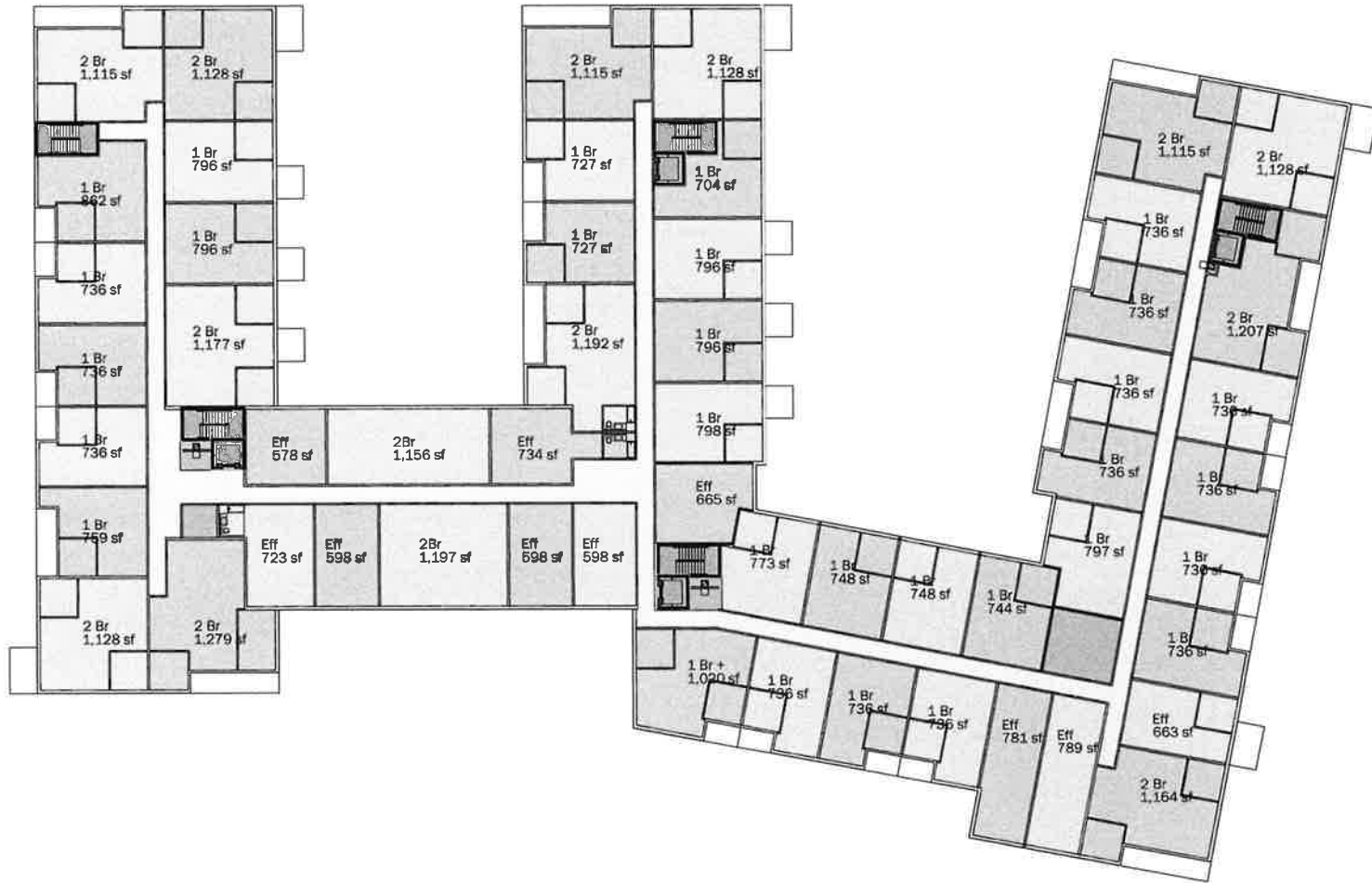
FitzGerald

8535 West Higgins E04

May 11, 2022



Second Floor Plan



Fourth-Seventh Floor Plans



Eighth Floor Plan

16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development Number 44, to the B3-2 Community Shopping District, and then to this Amended Planned Development No. 44 is an “entitlement” that triggers the requirements of Section 2-44-085 of the Municipal Code of Chicago (the “ARO”). The PD is located in an “inclusionary housing area” within the meaning of the ARO and permits the construction of 297 dwelling units in Subarea B-1. The Applicant intends to construct a 297-unit rental building (the “Project”).

Developers of rental projects in inclusionary housing areas with 30 or more units must provide between 10% and 20% of the units in the residential development as affordable units, depending on the average depth of affordability provided, as described in subsection (F)(2) of the ARO. Regardless of the applicable percentage of affordable units in the rental project, developers must construct at least 25% of the affordable units on-site and another 25% on-site or off-site (collectively, the “Required Units”), and may satisfy the balance of their affordable housing obligation through: (a) the establishment of additional on-site or off-site affordable units; (b) payment of a fee in lieu of the establishment of on-site or off-site affordable units; or (c) any combination thereof. All on-site affordable units must be accessible dwelling units, as required under subsection (W)(10) of the ARO, and developers must give preference in leasing accessible units to people with disabilities, as specified in the ARO rules. All off-site affordable units must have at least two bedrooms and must be located in a downtown district, inclusionary housing area, or community preservation area. Whether on-site or off-site, developers must give preference in leasing affordable units of two bedrooms or more to multi-person households, as specified in the ARO rules. If a residential project is located in a transit-served location, off-site units must be located in a substantially comparable transit-served location.

The Applicant has elected the 20% option as set forth in the chart in subsection (F)(2) of the ARO. As a result, the Applicant’s affordable housing obligation is 59.4 affordable units (20% of 297) and half of those affordable units are Required Units. Pursuant to subsection (T) of the ARO, the Applicant must either pay a fractional in lieu fee or provide an additional unit on-site or off-site to satisfy the fractional obligation. The Applicant has agreed to satisfy its affordable housing obligation by providing 60 affordable units in the rental building in the PD, as set forth in the Affordable Housing Profile (AHP) attached hereto. The Applicant agrees that the affordable rental units must be affordable to households with a range of incomes averaging 60% of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that (x) the maximum income level for any affordable unit may not exceed 80% of the AMI, (y) at least one-third (or 20 units) must be affordable to households at or below 50% of the AMI, of which one-sixth (or 3 of the 20 units) must be affordable to households at or below 40% of the AMI, and (z) all income levels must be multiples of 10% of the AMI.

If the Applicant requests any material change to its method of compliance with the ARO, such as locating affordable units off-site instead of on-site or changing the target affordability level after the passage of this PD, DOH may adjust the AHP as requested, in accordance with the ARO, without amending the PD, provided however, the Applicant must update and resubmit the revised AHP to DOH for review and approval and, at DOH’s

request, provide an informational presentation to Plan Commission on such change. Prior to the issuance of any building permits for any residential building in the PD, including, without limitation, excavation or foundation permits, the Applicant must execute and record an Affordable Housing Agreement (“AHA”) in accordance with subsection (N) of the ARO. The terms of the AHA and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the AHA will be recorded against Subarea B-1 of the PD, and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any AHA, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the PD.

This statement does not include all ARO requirements and options. It is intended to provide an overview of the application of the ARO to this PD. In the event of any conflict between this statement and the terms and conditions of the ARO, the ARO shall govern.

20699

17-4-0503-D The following downtown street segments are classified as pedestrian streets:

Street	Segment	
	From	To
(Omitted text is unaffected by this ordinance.)		
East/West Streets		
(Omitted text is unaffected by this ordinance.)		
Erie	Rush	St. Clair
<u>Fulton Market</u>	<u>Elizabeth</u>	<u>Halsted</u>
<u>Fulton Street</u>	<u>Ogden</u>	<u>Elizabeth</u>
Grand	Wabash	St. Clair
(Omitted text is unaffected by this ordinance.)		
Ontario	Dearborn	St. Clair
<u>Randolph</u>	<u>Ada</u>	<u>Halsted</u>
Superior	Wabash	St. Clair
(Omitted text is unaffected by this ordinance.)		

SECTION 3. This ordinance shall be in full force and effect upon due passage and publication.

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF AREA SHOWN ON MAP NO. 15-P.

(As Amended)
 (Application No. 20699)
 (Common Address: 8535 W. Higgins Rd.)

RBPD 44,00

[SO2021-1953]

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, December 15, 2021.

To the President and Members of the City Council:

Presenting a report for your Committee on Zoning, Landmarks and Building Standards which held a meeting on December 14, 2021, the following items were passed by a majority of the members present:

Page 1 contains the reappointment of the Honorable Mayor Lori E. Lightfoot as a member of the Public Building Commission.

Page 1 also contains Document Number SO2021-4892 for the amendment of Municipal Code Chapters 4-232, 10, 14A-4, 17-9, 17-10, 17-11, 17-13, 17-14 and 17-16 regarding certificate of occupancy and zoning certification.

Pages 1 through 6 contain various map amendments in the 1st, 2nd, 5th, 10th, 15th, 17th, 21st, 25th, 26th, 27th, 28th, 29th, 31st and 33rd Wards.

Page 6 contains Document Number O2021-1953 concerning a map amendment for the address commonly known as 8535 West Higgins Road, noting that Aldermen Hopkins, Beale, Lopez, Moore and Reilly were recorded as voting "No" on this item.

Pages 6 through 8 contain various map amendments in the 41st, 44th and 47th Wards.

Page 9 contains various large signs over 100 square feet in area and 24 feet above grade in the 14th, 21st, 27th, 34th, 44th, 47th and 50th Wards.

Lastly, page 9 also contains a *Journal* correction (Document Number SO2020-2375) for the property commonly known as 3501 -- 3519 North Halsted Street.

I hereby move for passage of the proposed substitute ordinance transmitted herewith.

Respectfully submitted,

(Signed) THOMAS TUNNEY,
Chairman.

On motion of Alderman Tunney, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Aldermen La Spata, Dowell, King, Hairston, Sawyer, Mitchell, Harris, Sadlowski Garza, Cárdenas, Coleman, Curtis, O'Shea, Taylor, Brookins, Rodriguez, Scott, Sigcho-Lopez, Maldonado, Burnett, Ervin, Reboyras, Waguespack, Ramirez-Rosa, Villegas, Mitts, Vasquez, Smith, Tunney, Cappleman, Martin, Osterman, Hadden, Silverstein -- 33.

Nays -- Aldermen Hopkins, Beale, Thompson, Quinn, Burke, Lopez, Moore, Tabares, Taliaferro, Nugent, Napolitano, Reilly, Gardiner -- 13.

Alderman Mitchell moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Business Planned Development Number 44 District symbols as shown on Map Number 15-P in the area generally bounded by:

West Higgins Road; a line 1,610.18 feet east of the centerline of North East River Road along the south line of West Higgins Road to a point 276.21 feet south of West Higgins Road and 1,730.82 feet east of the centerline of North East River Road; a line 1,730.82 feet east of the centerline of North East River Road; the north line of the right-of-way of the John Fitzgerald Kennedy Expressway; and a line 655 feet east of the centerline of North East River Road,

to those of a B3-2 Community Shopping District.

SECTION 2. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the B3-2 Community Shopping District symbols as shown on Map Number 15-P in the area generally bounded by:

West Higgins Road; a line 1,610.18 feet east of the centerline of North East River Road along the south line of West Higgins Road to a point 276.21 feet south of West Higgins Road and 1,730.82 feet east of the centerline of North East River Road; a line 1,730.82 feet east of the centerline of North East River Road; the north line of the right-of-way of the John Fitzgerald Kennedy Expressway; and a line 655 feet east of the centerline of North East River Road,

to those of Business-Residential Planned Development Number 44, as amended, which is hereby established in the area above described subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall take effect and be in force from and after its passage.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 44.

Planned Development Statements.

1. The area delineated herein as Residential-Business Planned Development Number 44, as amended ("Planned Development") consists of approximately 948,393 square feet of property which is depicted on the attached Planned Development Property Line, Boundary and Subarea Map ("Property"). No changes are being made to Subarea A in connection with this amendment. Glenstar O'Hare LLC is the "Applicant" for this planned development amendment with due authorization from the property owners.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This plan of development consists of 19 Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Property Line, Boundary and Subarea Map; a Site Plan; a Site Plan Subarea B-1; a Site Plan Subarea B-2; a Site Plan Subarea B-3; a Roof and Landscape Plan; a Landscape Plantings Plan; the Subarea B-1 Building Elevations (North, West, South, East); the Subareas B-2 and B-3 Elevations; and the Subarea B-1 Building Section prepared by Fitzgerald Associates Architects dated August 19, 2021, submitted herein (collectively, the "Plans"). Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.
5. The following uses are permitted in the area delineated herein as a Residential-Business Planned Development:

- Subarea A: hotel; retail sales; eating and drinking establishments; drive-through facility, subject to site plan review pursuant to Statement 15; accessory parking; and accessory and incidental uses.
 - Subarea B-1: office; financial services, excluding payday/title secured loan stores, pawn shops and valuable objects dealer; retail sales; eating and drinking establishments; drive-through facility, subject to site plan review; multi-unit residential (on and above the ground floor); assisted living (elderly custodial care); elderly housing; medical service; daycare; dry cleaning drop-off or pick-up (no on-premises plant); accessory parking; and accessory uses as authorized by the Chicago Zoning Ordinance.
 - Subarea B-2: office; financial services, excluding payday/title secured loan stores, pawn shops and valuable objects dealer; retail sales; eating and drinking establishments; drive-through facility, subject to site plan review; accessory parking; and accessory uses as authorized by the Chicago Zoning Ordinance.
 - Subarea B-3: office; financial services, excluding payday/title secured loan stores, pawn shops and valuable objects dealer; retail sales; eating and drinking establishments; drive-through facility, subject to site plan review; medical service; daycare, dry cleaning drop-off or pick-up (no on-premises plant); accessory parking; and accessory uses as authorized by the Chicago Zoning Ordinance.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
 7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
 8. The maximum permitted floor area ratio ("FAR") for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 948,399 square feet and a maximum permitted FAR of 1.26.
 9. Pursuant to Section 17-13-0610, a Part II review fee shall be assessed by the Department of Planning and Development and paid by the Applicant as follows: The review fee is \$0.50 per square foot of buildable floor area. One-half of the Part II review fee is due at the time of filing the planned development application (the "First Installment"), and one-half of the review fee is due at the time of the Part II review (the "Second Installment"). The Part II review fee for this Planned Development may be paid in phases corresponding to the phased construction of the

subareas. The First Installment made in connection with this planned development amendment has been determined using a buildable floor area for Subarea B-1 of 305,000 square feet. For subsequent phases of development, the First Installment of the Part II fee for each such phase or subarea is due when a planned development application or site plan application submission for each phase or subarea is made and the Second Installment is due at the time of Part II review. If the buildable floor area square footage changes between Plan Commission review and permit review, the total review fee will be prorated accordingly, at the time of Part II review.

The Plans are hereby approved in their entirety and no further approvals shall be required under this Planned Development or the Zoning Ordinance for the improvements undertaken in accordance with the Plans, other than Site Plan Approval in accordance with this Statement 15 below and Part II approval (per Section 17-13-0610 of the Zoning Ordinance).

10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.

15. Prior to the Part II Approval (Section 17-13-0610 of the Chicago Zoning Ordinance) for any new construction (other than the building to be constructed in Subarea B-1 for which Site Plan Approval is hereby granted), the Applicant shall submit a site plan, landscape plan and building elevations for the specific subarea(s) or portion of specific subarea(s) for review and approval by DPD. Review and approval by DPD is intended to assure that specific development components substantially conform with the Planned Development (P.D.) and to assist the City in monitoring ongoing development. Subarea Site Plan Approval Submittals (Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant. If the Applicant is seeking approval for development of a portion of the Property that represents less than an entire subarea, the Applicant shall also include a site plan for that area of the Property which is bounded on all sides by either public rights-of-way or the boundary of the nearest subarea. The site plan provided shall include all dimensioned and planned street rights-of-way.

No Part II approval for any portion of the Property shall be granted until Site Plan approval has been granted. Following approval by DPD, the approved Subarea Site Plan Approval Submittals, supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the P.D.

After approval of the Subarea Site Plan, changes or modifications may be made pursuant to the provisions of Statement (to be determined). In the event of any inconsistency between approved plans and the terms of the P.D., the terms of the P.D. shall govern. Any Subarea Site Plan Approval Submittals shall, at a minimum, provide the following information:

- fully-dimensioned site plan (including a footprint of the proposed improvements);
- fully-dimensioned building elevations;
- fully-dimensioned landscape plan(s); and
- statistical information applicable to the subject subarea, including floor area, the applicable floor area ratio, uses to be established, building heights and setbacks.

Subarea Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the P.D.

16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development Number 44, as amended, to the B3-2 Community Shopping District, and then to Planned Development Number 44, as amended, triggers the requirements of Section 2-45-115 of the Municipal Code of Chicago (Affordable Requirements Ordinance or ARO). Any developer of a residential housing project within the meaning of the ARO must: (i) set aside 10 percent of the housing units in the residential housing project (the Required Units) as affordable units, or with the

Commissioner of the Department of Planning and Development's approval, provide the Required Units in an approved off-site location; (ii) pay a fee in lieu of the development of the Required Units; or, (iii) any combination of (i) and (ii); provided, however, that residential housing projects with 20 or more units must provide at least 25 percent of the Required Units on-site or off-site. If the developer elects to provide affordable units off-site, the off-site affordable units must be located within a two-mile radius from the residential housing project and in the same or a different higher income area or downtown district. The Property is located in a higher income area, within the meaning of the ARO, and the Subarea B-1 project has a total of 297 units. As a result, the Applicant's affordable housing obligation is 30 affordable units (10 percent of 297 rounded up), 7 of which are Required Units (25 percent of 30, rounded down). Applicant has agreed to satisfy its affordable housing obligation by providing 30 affordable units in the rental building to be constructed in the P.D., as set forth in the Affordable Housing Profile Form attached hereto as Exhibit A. Additionally, the Applicant will voluntarily provide an additional 29 affordable units in the rental building such that 20 percent of the total units are affordable. The Applicant agrees that the ARO Units must be affordable to households earning no more than 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually by the City of Chicago. If the Applicant subsequently reduces (or increases) the number of ARO Units in the Planned Development, the Applicant shall update and resubmit the Affordable Housing Profile Form to the Department of Housing for review and approval, and DOH may adjust the number of required ARO Units without amending the Planned Development. Prior to the issuance of any building permits for any residential building in the Planned Development, including, without limitation, excavation or foundation permits, the Applicant must execute and record an affordable housing agreement in accordance with Section 2-44-080(L). The terms of the affordable housing agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the affordable housing agreement will be recorded against Subarea B-2 of the Planned Development and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any affordable housing agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development.

17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the city approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction

work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

18. The Applicant acknowledges the importance of the CTA Blue Line Station located near the Property and acknowledges the City's goal of encouraging convenient access to public transportation. Accordingly, the Applicant agrees to cooperate with adjacent landowners to permit pedestrian access from the CTA Station to the Property. Additionally, the Applicant agrees to improve the current path located within the IDOT rights-of-way to increase pedestrian safety and comfort. To that end, the Applicant, in cooperation with adjacent landowners, has established a pedestrian access easement from the CTA Blue Line Station, which provides pedestrian access across the southern perimeter of the Property, as depicted on the Pedestrian Access Path Exhibit. The Applicant has constructed and installed a pedestrian path within the access easement ("Pedestrian Path"). The Applicant agrees (1) to maintain the condition of the Pedestrian Path in order to promote pedestrian safety and comfort, and (2) to use reasonable efforts to cooperate in good faith with adjacent landowners to implement measures to enhance the condition of the Pedestrian Path, to the extent practicable.
19. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse as to Subarea B, the Commissioner of DPD shall initiate a zoning map amendment to rezone the Property to the pre-existing Planned Development Number 44, as approved by the City Council on December 10, 2014, and as later amended administratively by the Subarea B Site Plan Approval issued August 9, 2017.

[1st, 2nd, 3rd (Amenity Deck), 4th, 5th, 6th and 7th Floor Plans; Existing Zoning Map; Existing Land-Use Map; Boundary and Subarea Map; Site Plan; Pedestrian Circulation; Subarea B-1 -- Site Plan; Roof and Landscape Plan; Landscape Plantings; Subarea B-1 -- North, South, East and West Building Elevations; and Subarea B-1 -- Building Section referred to in these Plan of Development Statements printed on pages 42702 through 42723 of this *Journal*.]

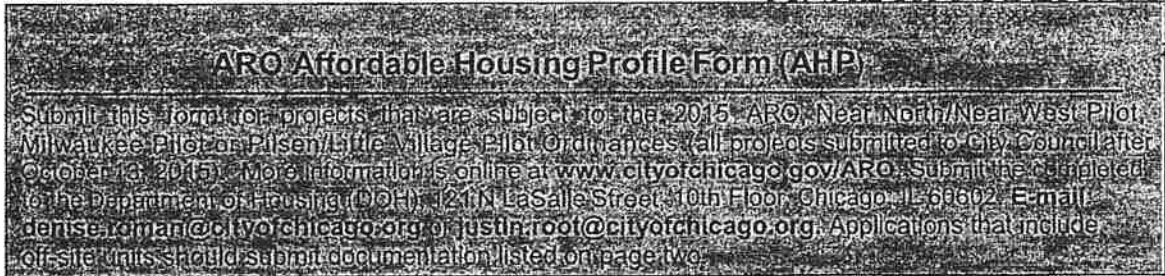
Bulk Regulations and Data Table, ARO Affordable Housing Profile Form (AHP) and ARO Web Form referred to in these Plan of Development Statements read as follows:

Residential-Business Planned Development No. 44.

Bulk Regulations And Data Table.

Net Site Area (square feet):	948,393
Subarea A (square feet):	513,326
Subarea B (square feet):	435,067
Subarea B-1 (square feet):	127,258
Subarea B-2 (square feet):	153,317
Subarea B-3 (square feet):	154,492
Maximum Floor Area Ratio:	1.26
Subarea A:	0.71
Subarea B-1:	2.46
Subarea B-2:	1.11
Subarea B-3:	2.25
Maximum Dwelling Units:	
Subarea A:	0

Subarea B-1:	297
Subarea B-2:	0
Subarea B-3:	0
Maximum Building Height:	
Subarea A (feet):	190
Subarea B-1 (feet)	90
Subarea B-2 (feet)	190
Subarea B-3 (feet)	190
Minimum Accessory Off-Street Parking:	
Subarea A:	500
Subarea B-1:	270
Subarea B-2:	631
Subarea B-3	599
Minimum Bicycle Parking Spaces:	
Subarea A:	41
Subarea B-1:	176
Minimum Off-Street Loading Spaces:	
Subarea A:	4
Subarea B-1:	2
Subarea B-2:	2
Subarea B-3:	2
Minimum Setbacks:	In conformance with the plans



ZLB
30

Date: June 26, 2021

DEVELOPMENT INFORMATION

Development Name: Glenstar O'Hare Multi-family Residential

Development Address: 8535 West Higgins Road

Zoning Application Number, if applicable: 20699

Ward: 41st Ward

If you are working with a Planner at the City, what is his/her name? James Harris

- Type of City Involvement** City Land Planned Development (PD)
check all that apply Financial Assistance Transit Served Location (TSL) projec
 Zoning increase

REQUIRED ATTACHMENTS: the AHP will not be reviewed until all required docs are received

- ARO Web Form completed and attached - or submitted online on
- ARO "Affordable Unit Details and Square Footage" worksheet completed and attached (*Excel*)
- If ARO units proposed, Dimensioned Floor Plans with affordable units highlighted are attached (*pdf*)
- If ARO units proposed are off-site, required attachments are included (see next page)
- If ARO units are CHA/Authorized Agency units, signed acceptance letter is attached (*pdf*)

DEVELOPER INFORMATION

Developer Name Glenstar O'Hare, LLC

Developer Contact Jim Robinson

Developer Address 55 East Monroe Street, Ste. 3950

Email jrobinson@glenstar.com

Developer Phone 312-424-3996

Attorney Name Elrod Friedman LLP - Peter Friedman / Liz Butler
peter.friedman@ / liz.butler@elrodfriedman.com

Attorney Phone 312-528-5192

TIMING


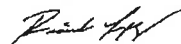
Estimated date marketing will begin Third quarter of 2023

Estimated date of building permit* First quarter of 2022

Estimated date ARO units will be complete Third or fourth quarter of 2023

*the in-lieu fee, recorded covenant and \$5,000 per unit administration fee (for off-site units) are required prior to the issuance of any building permits, including the foundation permit.

PROPOSED UNITS MEET REQUIREMENTS (to be executed by Developer & ARO Project Manager)

 Developer or their agent	06/26/2021 Date
 ARO Project Manager, DOH	8/11/2021 Date



FINAL for PUBLICATION

ARO Web Form

Applicant Contact Information

Name: Liz Butler

Email: liz.butler@elrodfriedman.com

Development Information**Address**

Printed Date: 06/14/2021

Number From: 8535 Number To: N/A Direction: W

Street Name: Higgins Postal Code: 60631

Development Name

Glenstar O'Hare

Are you rezoning to downtown?: No

Is your project subject to the ARO Pilots?: PILOTS APPLY

Information

Ward: 41

ARO Zone: Higher Income

Details

ARO Trigger: ZP

Total Units 297

Development Type: Rent

TSL Project: TSL-or FAR doesn't exceed 3.5

Date Submitted: 06/14/2021

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Requirements

Affordable Units: 59 *On-site aff. Units: "

How do you intend to meet your required obligation

On-Site: 59 Off-Site: 0

On-Site to CHA or Authorized Agency: 0 Off-Site to CHA or Authorized agency: 0

Total Units: 0 In-Lieu Fee Owed: 0

Reference PD 44 Statement 16 for ARO requirements

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12/15/2021

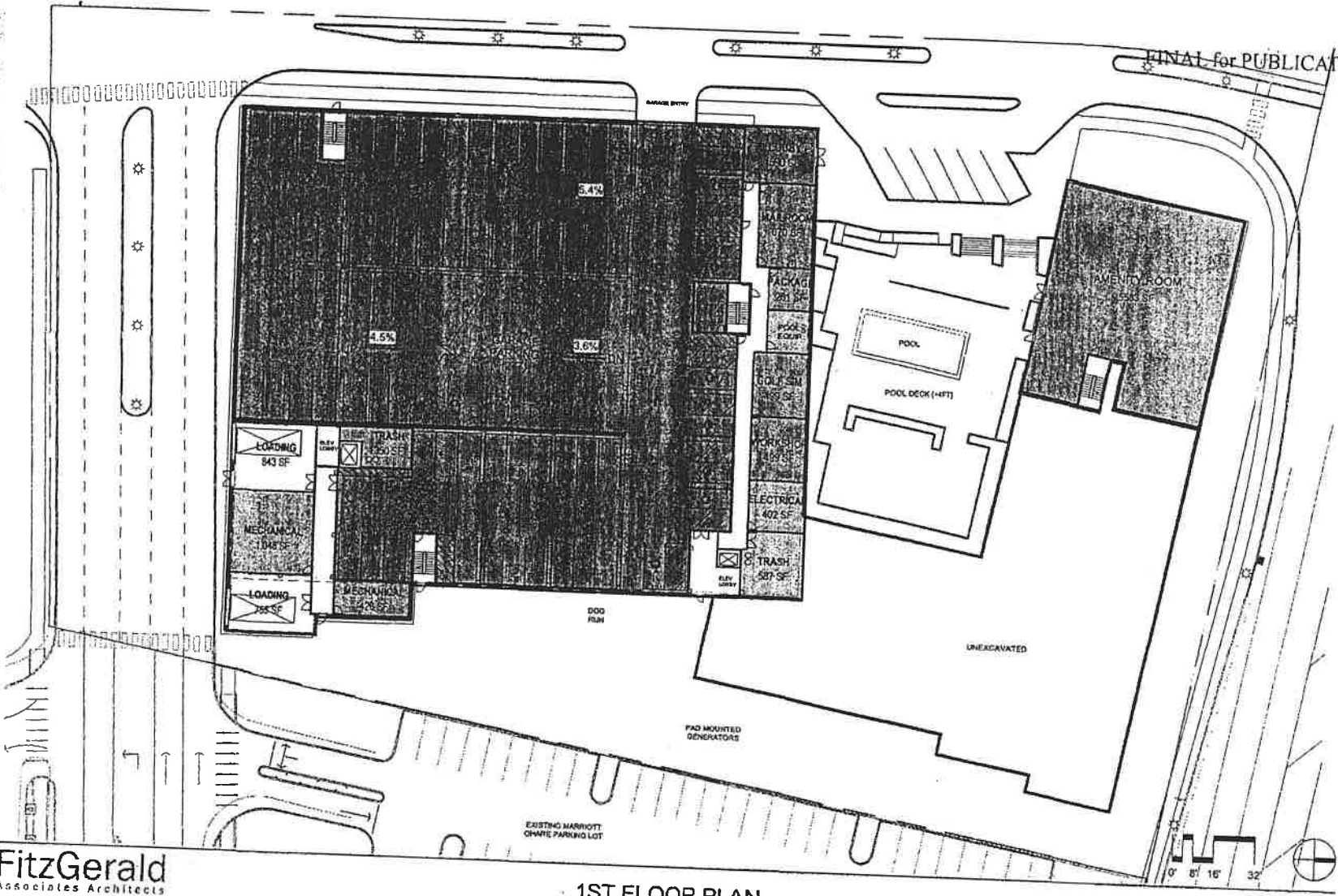
REPORTS OF COMMITTEES

42701

Parking	
Laundry	
Appliances	
Refrigerator age/EnergyStar/make/model/color	
Dishwasher age/EnergyStar/make/model/color	
Stove/Oven age/EnergyStar/make/model/color	
Microwave age/EnergyStar/make/model/color	
Bathroom(s) how many? Half bath? Full bath?	
Kitchen countertops material	
Flooring material	
HVAC	
Other	

Project Name	Glenstar O'Hare Multi-Family Residential
Zoning Application number, if applicable	20699
Address	8535 West Higgins Road
Is this a For Sale or Rental Project?	Rental
Anticipated average psf rent/price*	\$2.65/mo
Total Units in Project	297
Total Affordable units	59

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1ST FLOOR PLAN

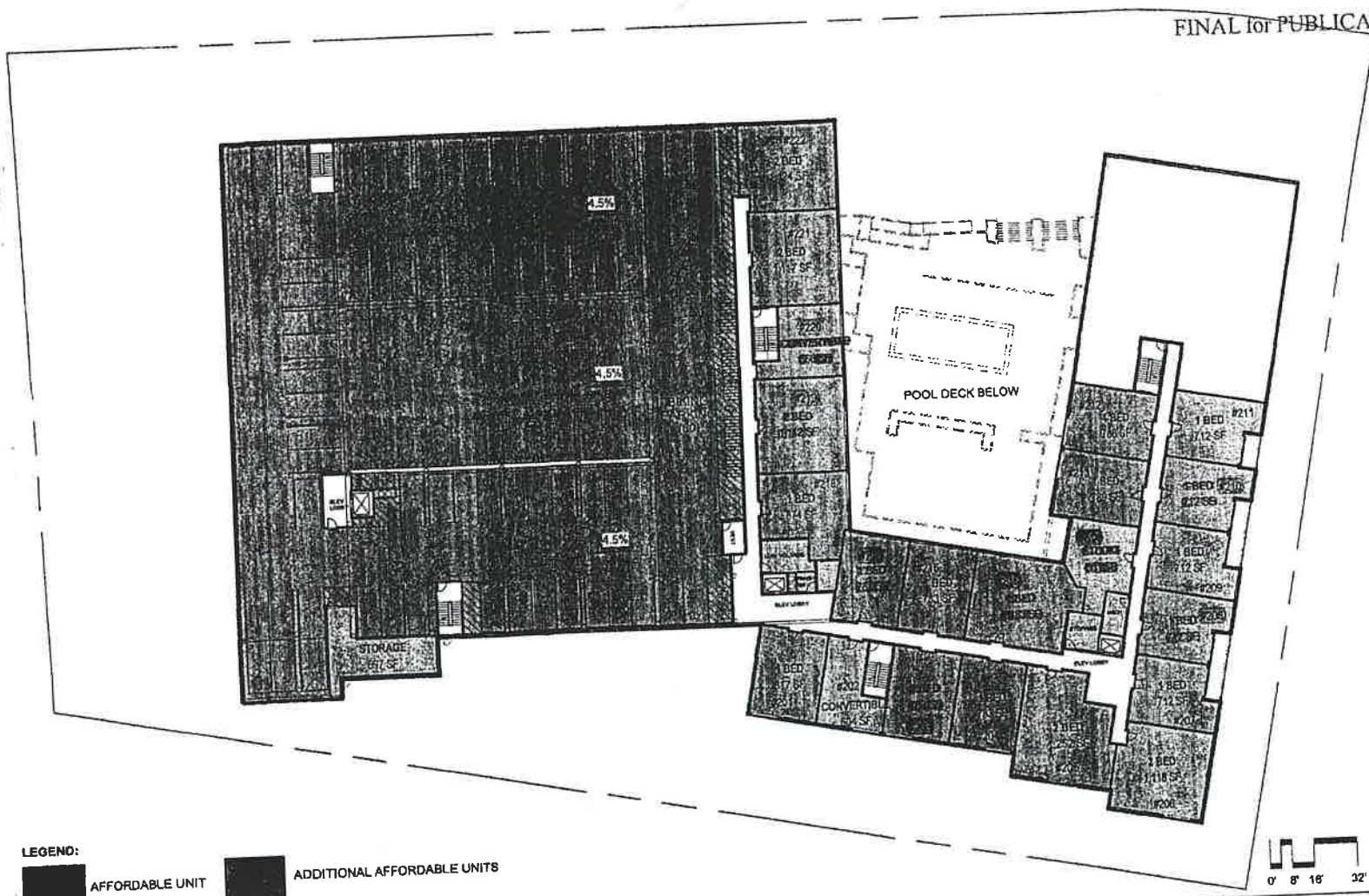
8535 W. HIGGINS ROAD
16033
06/07/17 SD-1-01

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LEGEND:

AFFORDABLE UNIT

ADDITIONAL AFFORDABLE UNITS

2ND FLOOR PLAN

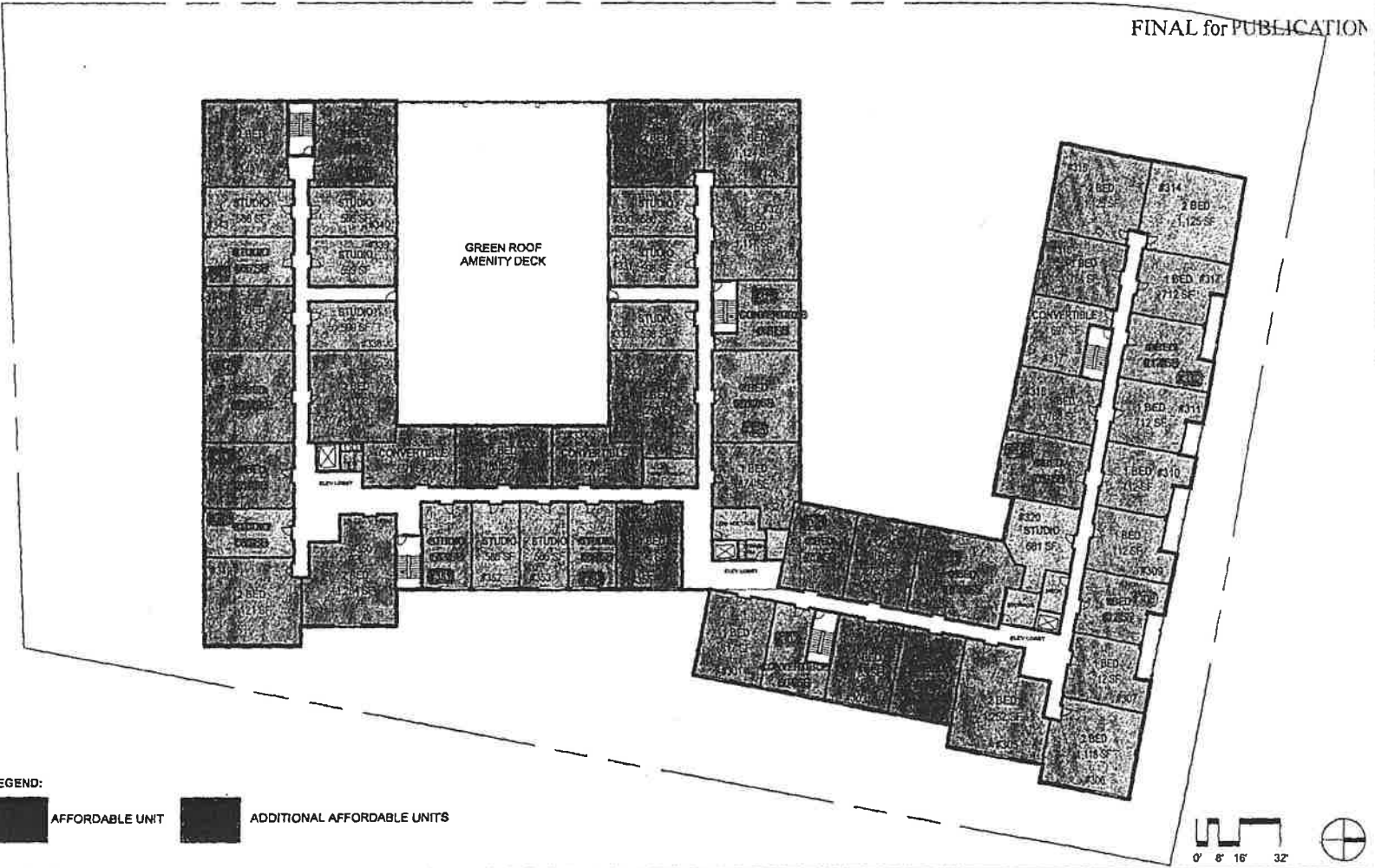
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LEGEND:



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3RD FLOOR (AMENITY DECK) PLAN

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06/07/17 SD-1-03



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4TH FLOOR PLAN

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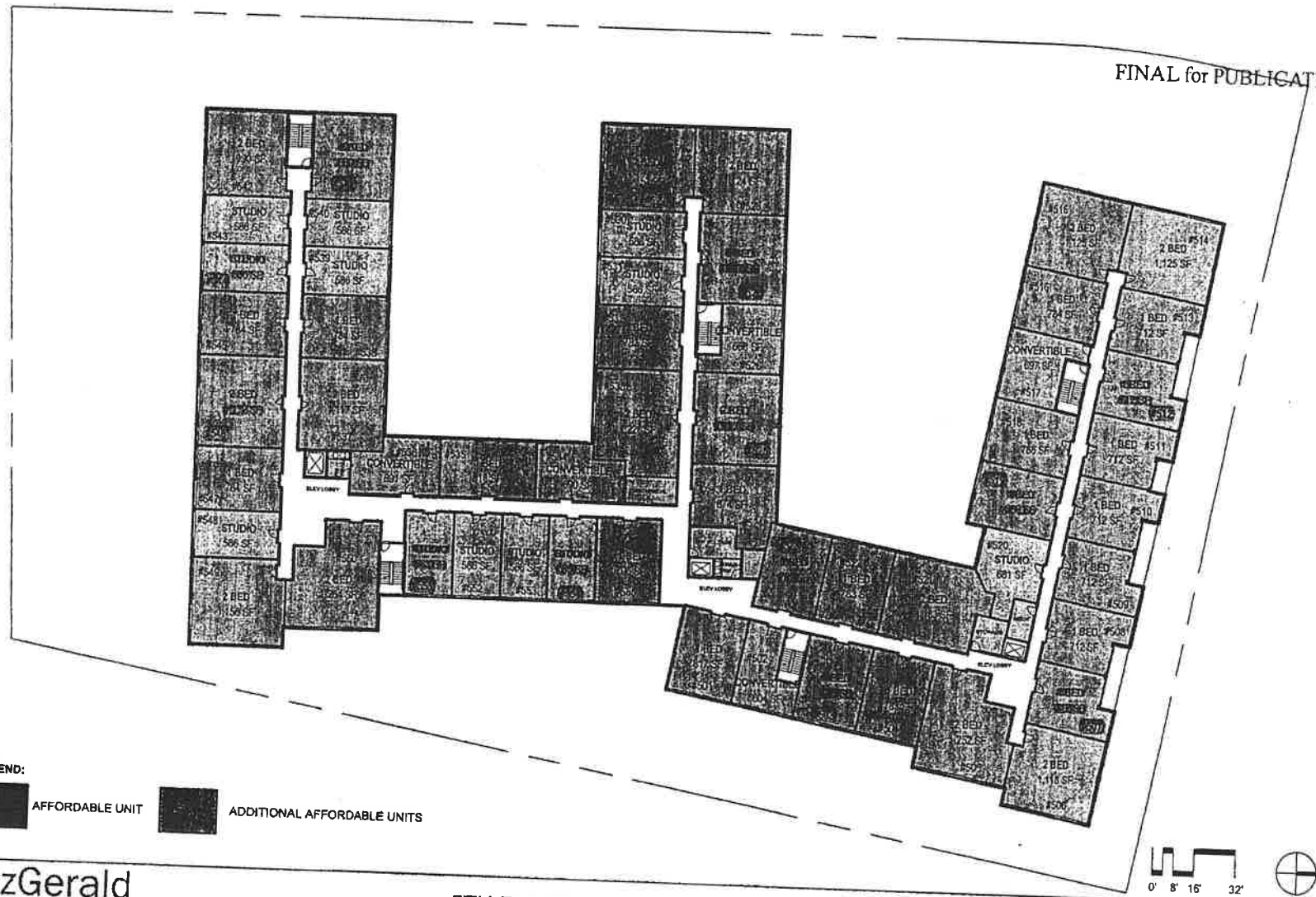
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06/07/17 SD-1-05

12/15/2021

REPORTS OF COMMITTEES

42705

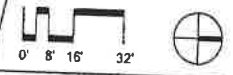
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LEGEND:

AFFORDABLE UNIT

ADDITIONAL AFFORDABLE UNITS



8535 W. HIGGINS ROAD
18033
08/07/17 SD-1-05

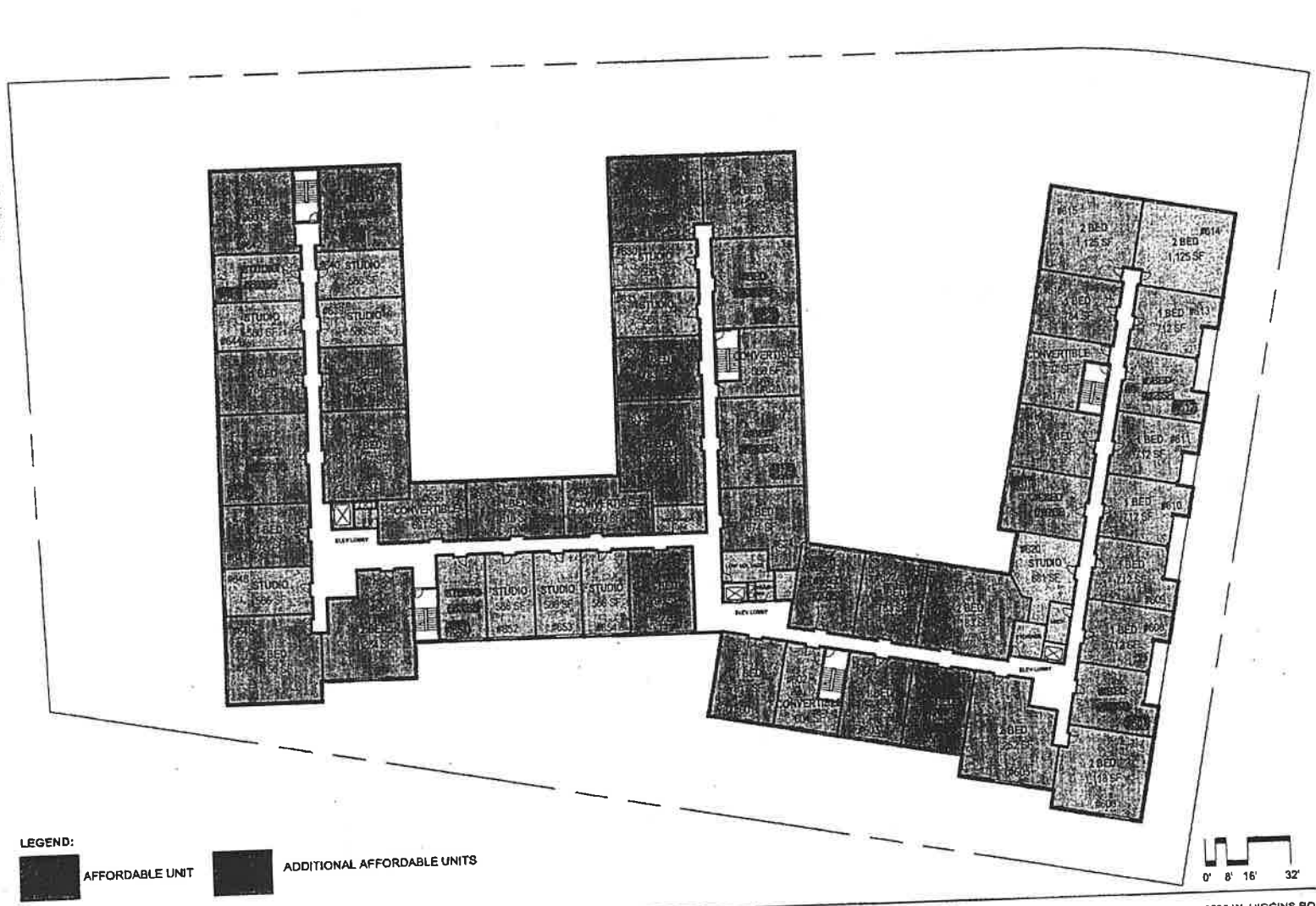
5TH FLOOR PLAN

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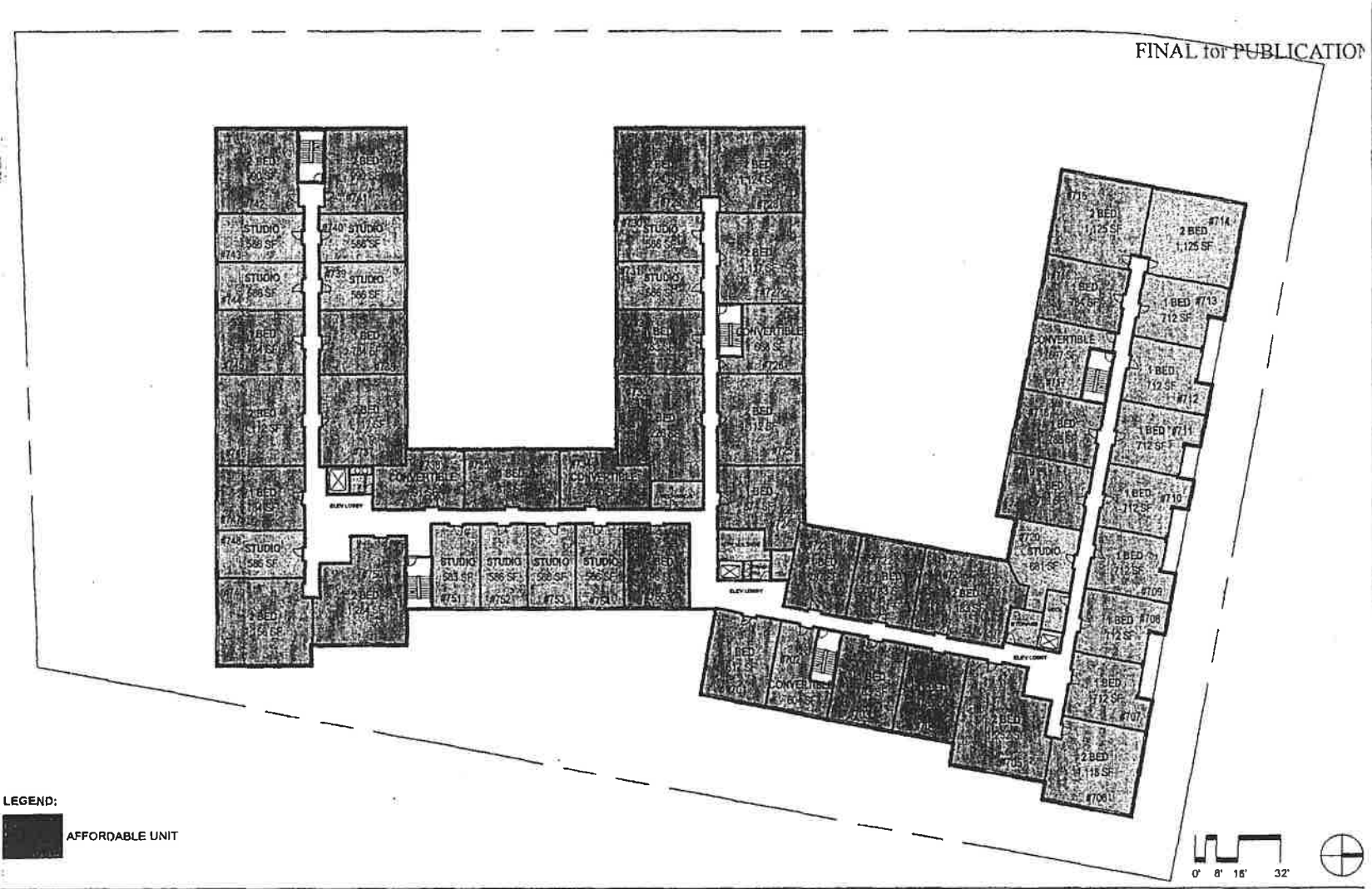
6TH FLOOR PLAN

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42707



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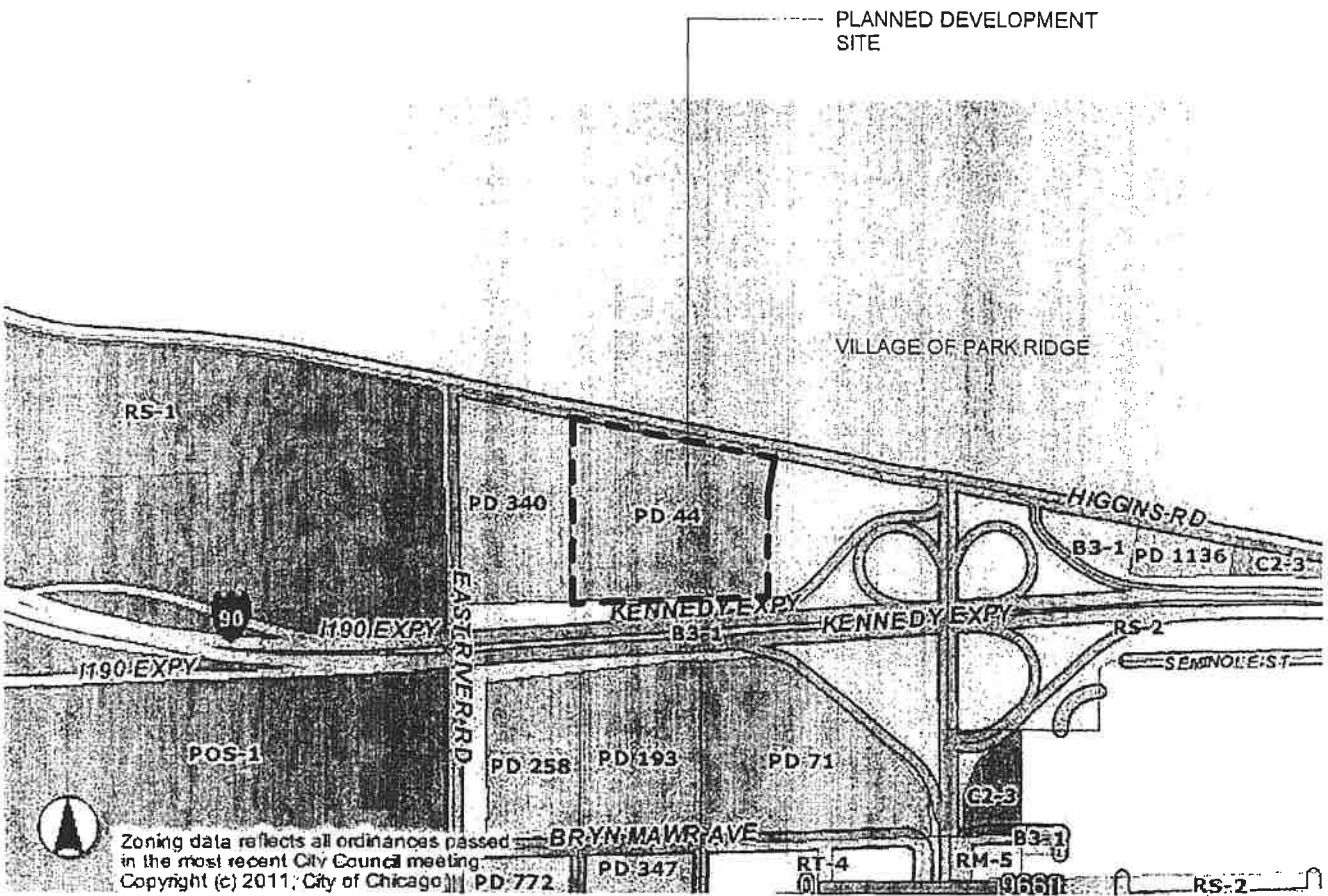
LEGEND:
 AFFORDABLE UNIT

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7TH FLOOR PLAN

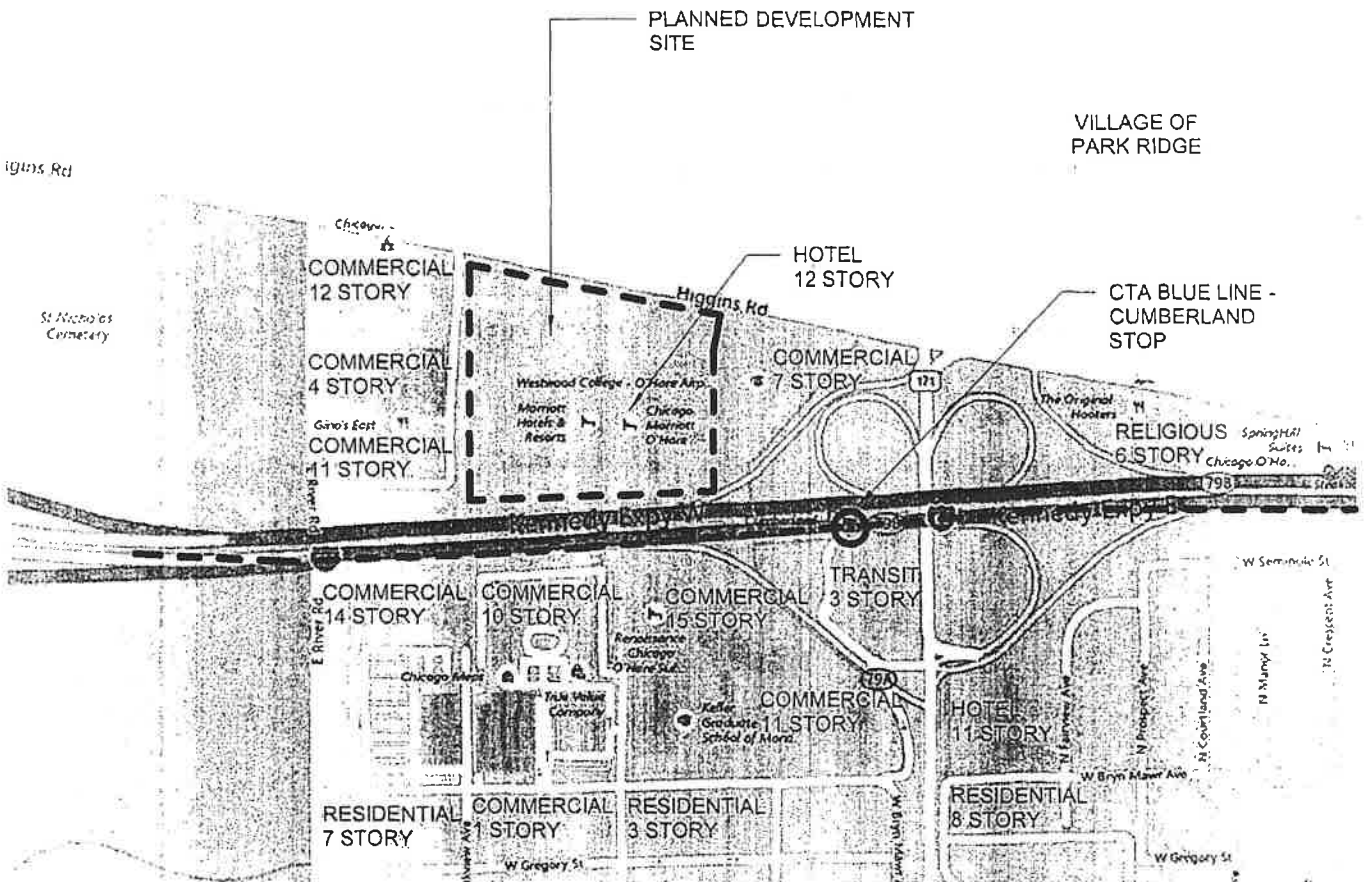
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 16033
 08/07/17 SD-1-05

Planned Development No. 44 EXISTING ZONING MAP



Zoning data reflects all ordinances passed
in the most recent City Council meeting.
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Planned Development No. 44
EXISTING LAND USE MAP



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 Plan Commission: August 19, 2021



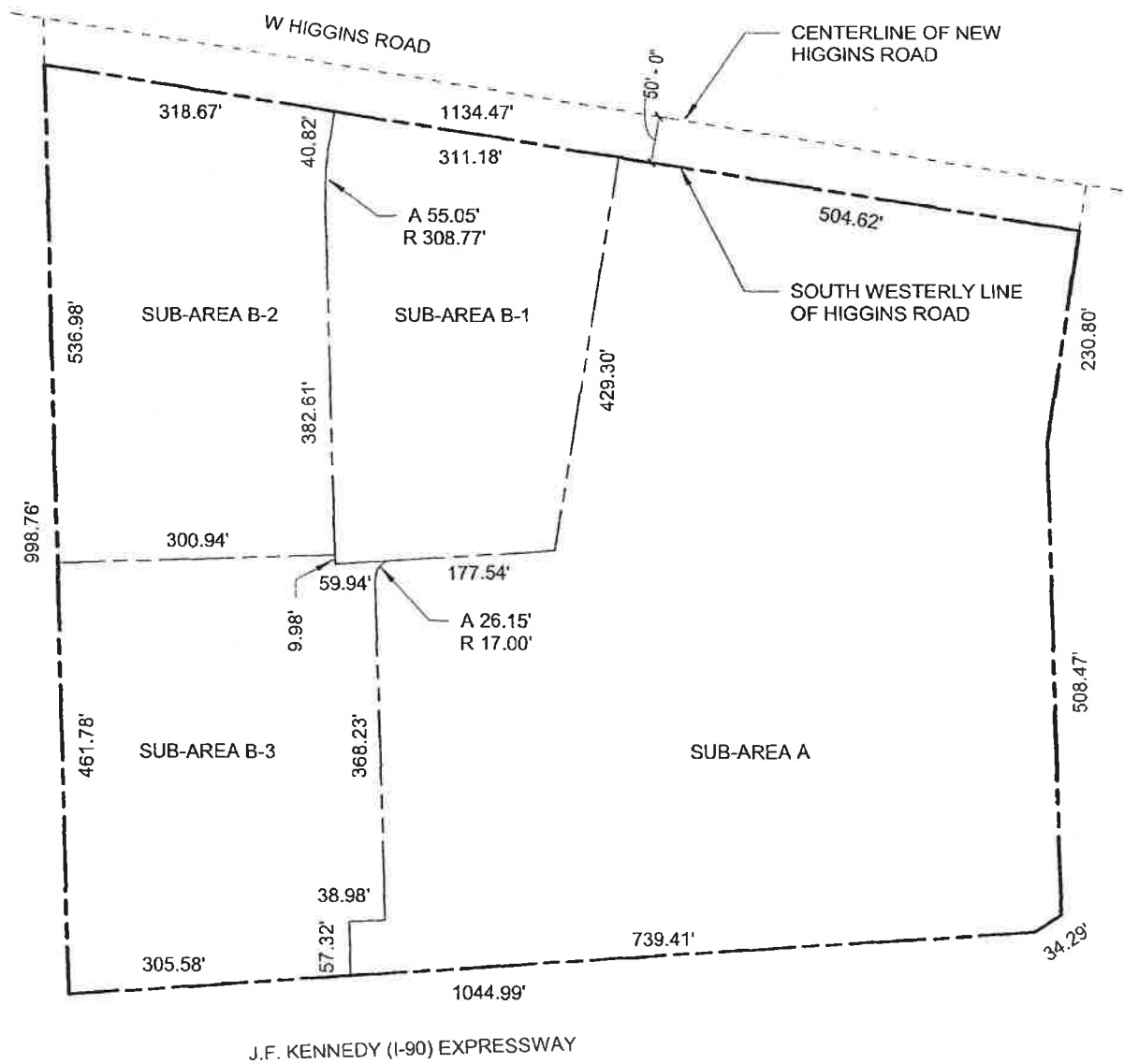
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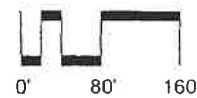
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PLANNED DEVELOPMENT PROPERTY LINE, BOUNDARY AND SUB-AREA MAP

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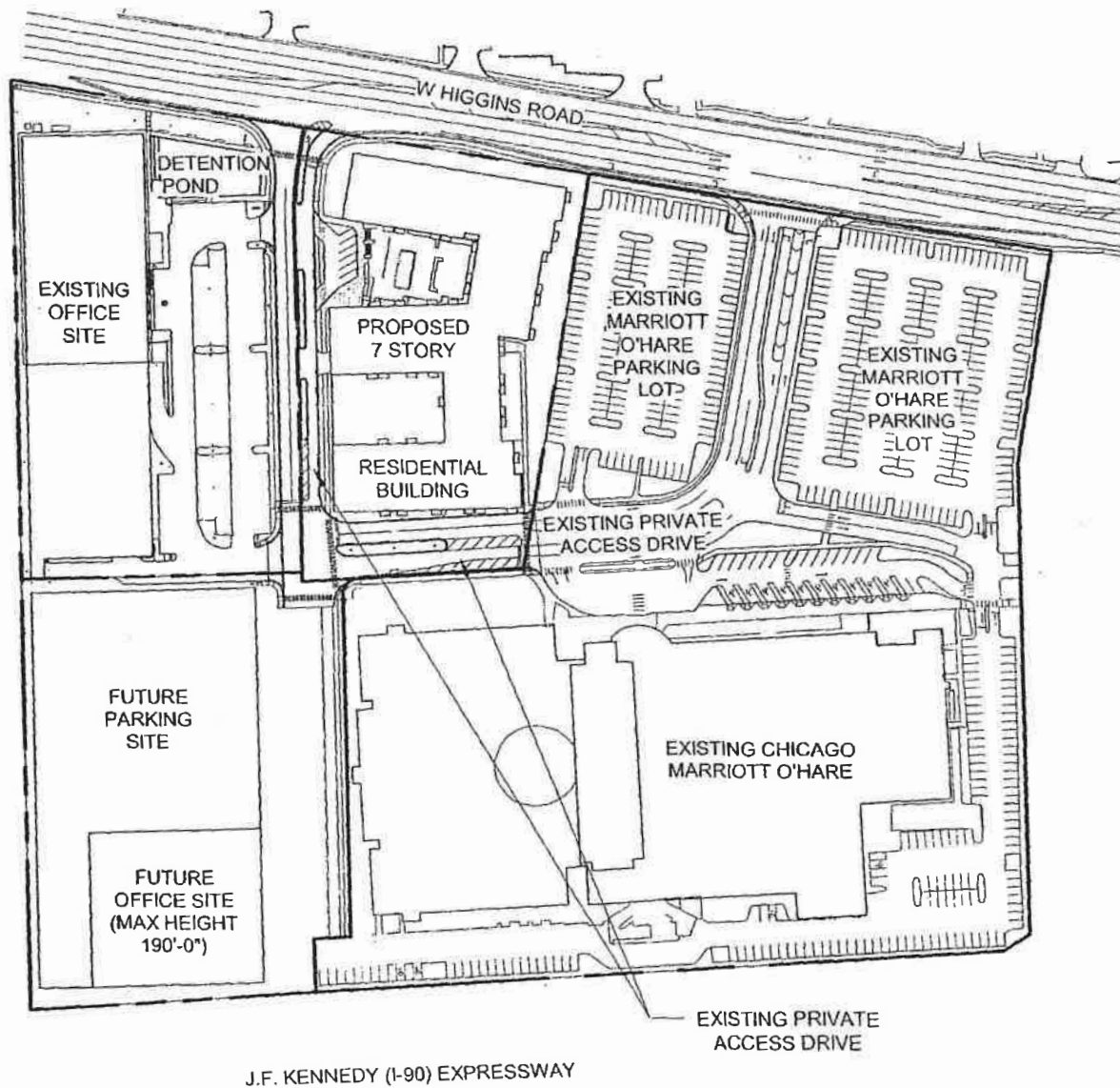
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SITE PLAN



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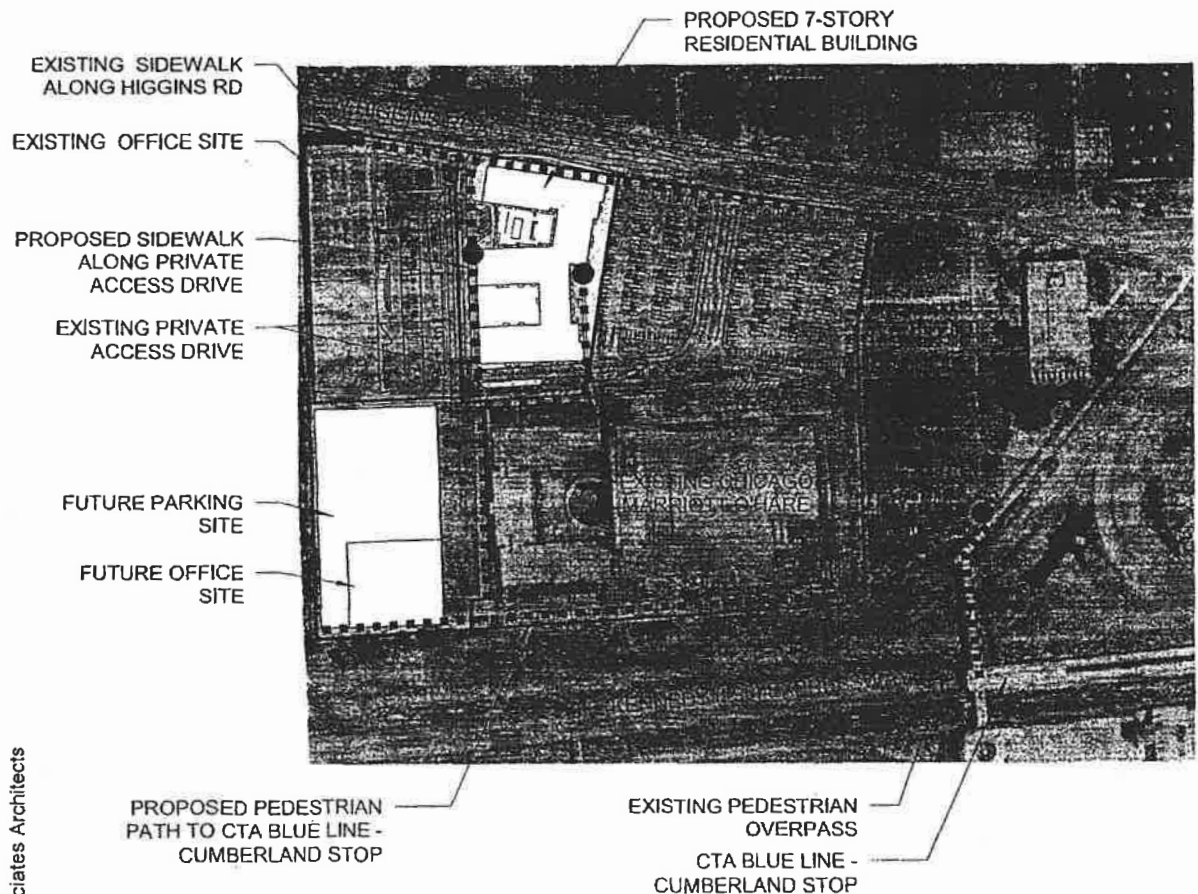
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PEDESTRIAN CIRCULATION



LEGEND

■■■■■ PEDESTRIAN ROUTE



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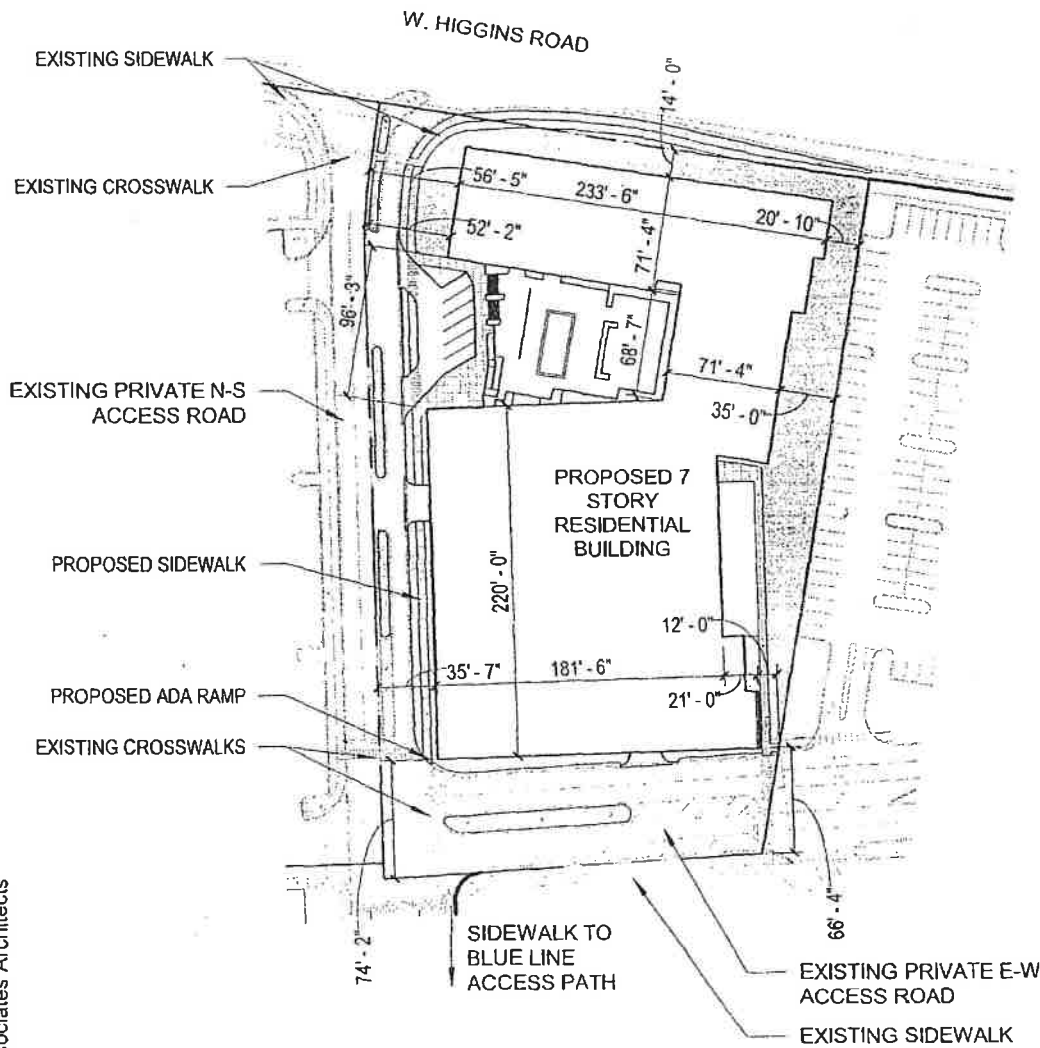
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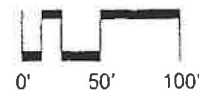
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SITE PLAN SUB-AREA B-1



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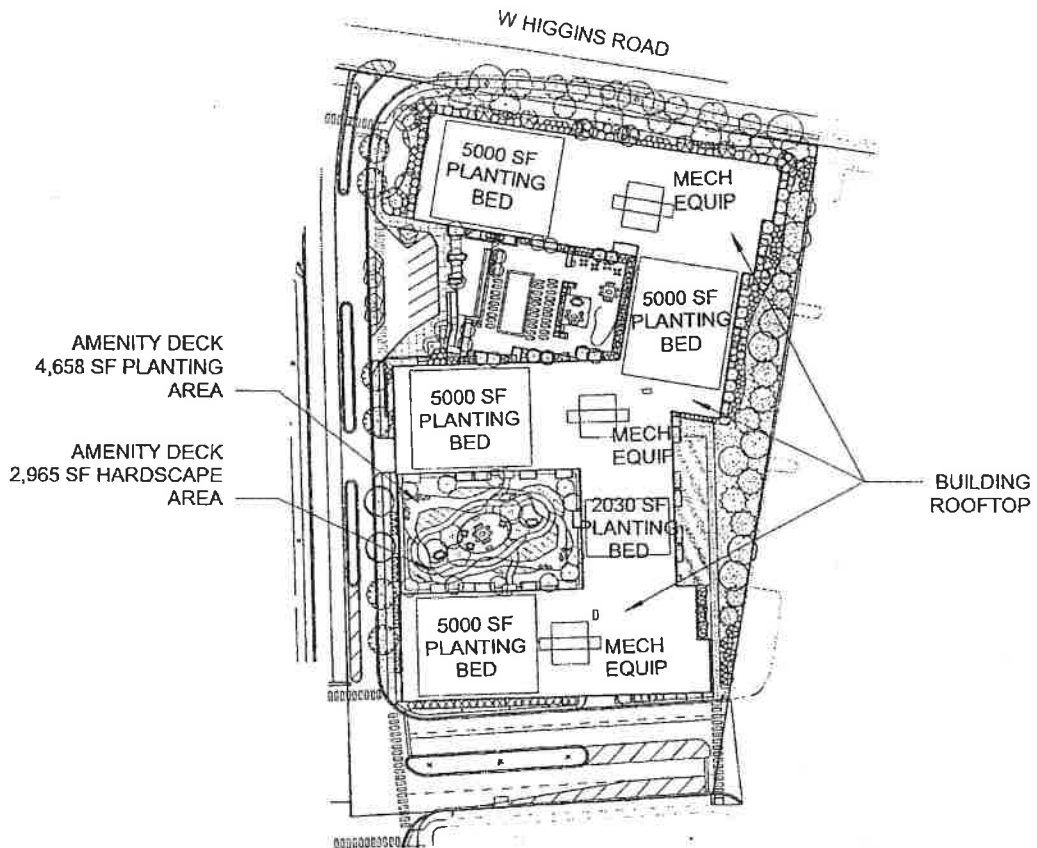
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47

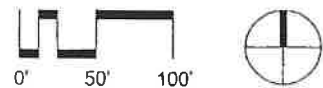
ROOF AND LANDSCAPE PLAN



GROSS ROOF AREA:	62,706 SF
- LESS MECHANICAL AREA:	3,400 SF
NET ROOF AREA:	59,306 SF

TOTAL REQUIRED GREEN ROOF AREA
(50% GREEN ROOF TO GROSS ROOF RATIO): 29,653 SF

PROVIDED GREEN ROOF BREAKDOWN	
- ROOF TOP GREEN ROOF AREA:	22,030 SF
- AMENITY DECK GREEN ROOF AREA:	4,658 SF
- 10% OF TOTAL HARDSCAPE DECK AREA (TOWARDS GREEN ROOF CALCULATION):	2,965 SF
	29,653 SF



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
















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LANDSCAPE PLANTINGS

FOUNDATION LANDSCAPE PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	2	<i>Acer x freemanii</i> 'Armstrong' / Armstrong Freeman Maple	3" Cal.	B&B/CG
	4	<i>Betula populifolia</i> 'Whitespire' / Whitespire Gray Birch	6" ht. multi-stem	B&B/CG
	6	<i>Celtis occidentalis</i> 'Chicagoland' / Chicagoland Common Hackberry	3" Cal.	B&B/CG
	12	<i>Ginkgo biloba</i> 'Princeton Sentry' / Princeton Sentry Maidenhair Tree	3" Cal.	B&B/CG
	2	<i>Platanus x acerifolia</i> 'Bloodgood' / Bloodgood London Plane Tree	3" Cal.	B&B/CG
	4	<i>Quercus bicolor</i> / Swamp White Oak	3" Cal.	B&B/CG
	3	<i>Ulmus x 'New Horizon'</i> / New Horizon Elm	3" Cal.	B&B/CG
	6	<i>Ulmus x 'Patriot'</i> / Patriot Elm	3" Cal.	B&B/CG
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	8	<i>Juniperus chinensis</i> 'Mountbatten' / Mountbatten Juniper	5" ht.	B&B/CG
	5	<i>Picea omorika</i> / Serbian Spruce	6" ht.	B&B/CG
	6	<i>Pinus flexilis</i> / Limber Pine	6" ht.	B&B/CG
ORNAMENTAL TREE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	12	<i>Amelanchier alnifolia</i> 'Obelisk' TM / Standing Ovalon Serviceberry	6" ht. multi-stem	B&B/CG
	5	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	6" ht. multi-stem	B&B/CG
	4	<i>Cercis canadensis</i> 'JN7' TM / Summer's Tower Eastern Redbud	6" ht. multi-stem	B&B/CG
	4	<i>Crataegus crus-galli</i> 'Cruzam' TM / Crusader Cockspur Hawthorn	6" ht.	B&B/CG
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	23	<i>Ceanothus americanus</i> / New Jersey Tea	18" ht.	B&B/CG
	22	<i>Cornus stolonifera</i> 'Farrow' TM / Arctic Fire Red Twig Dogwood	24" ht.	B&B/CG
	19	<i>Hydrangea arborescens</i> 'Annabelle' / Annabelle Hydrangea	24" ht.	B&B/CG
	20	<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Panicle Hydrangea	24" ht.	B&B/CG
	12	<i>Hydrangea serrata</i> 'MAK20' TM / Tuff Stuff Hydrangea	24" ht.	B&B/CG
	10	<i>Ilex glabra</i> 'SMNIGAB17' TM / Gem Box Inkberry Holly	18" ht.	B&B/CG
	5	<i>Myrica pensylvanica</i> 'Morton Male' TM / Silver Spine Male Bayberry	30" ht.	B&B/CG
	12	<i>Myrica pensylvanica</i> 'Morton' TM / Silver Spine Bayberry	30" ht.	B&B/CG
	11	<i>Physocarpus opulifolius</i> 'Seward' TM / Summer Wine Ninebark	24" ht.	B&B/CG

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LANDSCAPE PLANTINGS

FOUNDATION LANDSCAPE PLANT SCHEDULE CONTINUED

	9	<i>Rhus aromatica</i> 'Gro-Low' / Gro-Low Fragrant Sumac	18" ht.	B&B/CG	
	26	<i>Syringa</i> x 'Penda' TM / Bloomerang Purple Lilac	24" ht.	B&B/CG	
	33	<i>Taxus</i> x media 'Tauntonii' / Taunton's Yew	36" wd.	B&B/CG	
	6	<i>Viburnum carlesii</i> / Koreanspice Viburnum	36" ht.	B&B/CG	
	16	<i>Viburnum dentatum</i> / Arrowwood Viburnum	36" ht.	B&B/CG	
GROUND COVERS					
	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	102	<i>Carex pensylvanica</i> / Pennsylvania Sedge	1 gal.	CG	12" o.c.
	295	<i>Geranium</i> x cantabrigiense 'Blokovo' / Blokovo Cranesbill	1 gal.	CG	12" o.c.
	49	<i>Hakonechloa macroa</i> / Japanese Forest Grass	1 gal.	CG	24" o.c.
	318	<i>Vinca minor</i> 'Dart's Blue' / Dart's Blue Periwinkle	1 gal.	CG	18" o.c.
PERENNIALS & ORNAMENTAL GRASSES					
	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	114	<i>Calamagrostis</i> x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 gal.	CG	24" o.c.
	113	<i>Hemerocallis</i> x 'Apricot Sparkles' / Apricot Sparkles Daylily	1 gal.	CG	24" o.c.
	120	<i>Sesleria autumnalis</i> / Autumn Moor Grass	1 gal.	CG	24" o.c.
SEEDLAWN					
	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	2 703 sf	Seed IDOT Salt Tolerant Turf Mix	seed		
	10 524 sf	Seed Turf Mix / Seeded Turf	seed		

COURTYARD DECK PLANT SCHEDULE

ORNAMENTAL TREE					
	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	11	<i>Cornus mas</i> 'Golden Glory' / Golden Glory Cornelian Chery	5' ht.	B&B/CG	
	4	<i>Syringa reticulata</i> 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	6' ht. multi-stem	B&B/CG	
LIVEROOF PLANT MIXES					
	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONTAINER</u>		
	1 974 sf	LiveRoof Giants Mix		TRAY SYSTEM (TBD) Green Roof System Information https://www.liveroof.com/products/	
	969 sf	LiveRoof School Pride Mix		TRAY SYSTEM (TBD) Green Roof System Information https://www.liveroof.com/products/	

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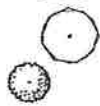
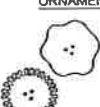
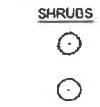
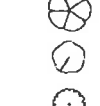
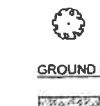

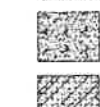





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LANDSCAPE PLANTINGS

AMENITY POOL DECK PLANT SCHEDULE

<u>TREES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	10	Carpinus betulus 'Frans Fontaine' / Frans Fontaine Hornbeam	3" Cal.	B&B/CG	
	17	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	5' ht.	B&B/CG	
<u>ORNAMENTAL TREE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	5	Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry	6' ht. multi-stem	B&B/CG	
	4	Hamamelis virginiana 'Harvest Moon' / Harvest Moon Witch Hazel	6' ht. multi-stem	B&B/CG	
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	
	11	Buxus x 'Green Gem' / Green Gem Boxwood	24" wd.	B&B/CG	
	34	Buxus x 'Green Mountain' / Green Mountain Boxwood	36" wd.	B&B/CG	
	6	Hibiscus syriacus 'Notwoodtree' TM / Blue Chiffon Rose of Sharon	48" ht.	B&R/CG	
	11	Hydrangea arborescens 'SMHAMWM' TM / Seaside Serenade Hydrangea	24" ht.	B&B/CG	
	5	Ilex verticillata 'NCIV1' TM / Little Goblin Red Winterberry	24" ht.	B&B/CG	
	2	Ilex verticillata 'NCIV3' TM / Little Goblin Guy Winterberry	24" ht.	B&B/CG	
<u>GROUND COVERS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	354	Euonymus fortunei 'Coloratus' / Coloratus Purple Wintercreeper	1 gal.	CG	12" o.c.
<u>PERENNIALS & ORNAMENTAL GRASSES</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>
	29	Festuca x 'Cool as Ice' / Cool as Ice Blue Fescue	1 gal.	CG	18" o.c.
	290	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	1 gal.	CG	12" o.c.
	60	Perovskia atriplicifolia 'Little Spire' / Little Spire Russian Sage	1 gal.	CG	24" o.c.
	90	Schizachyrium scoparium 'Standing Ovation' / Standing Ovation Little Bluestem	1 gal.	CG	12" o.c.
<u>SEASONAL ANNUALS</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>			
	110 sf	Annuals By Owner / Annuals By Owner			

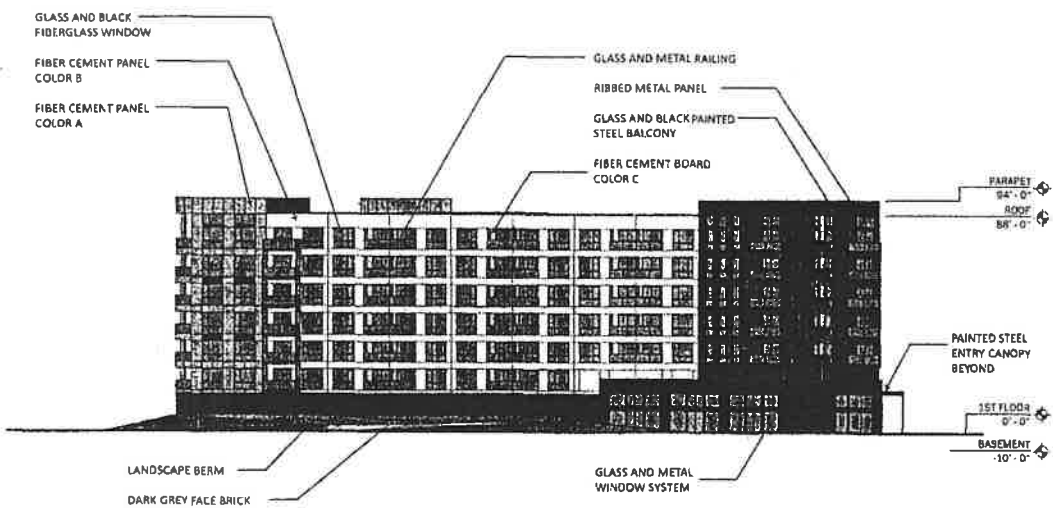
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 Planned Development No. 44
 SUB-AREA B-1 NORTH BUILDING ELEVATION

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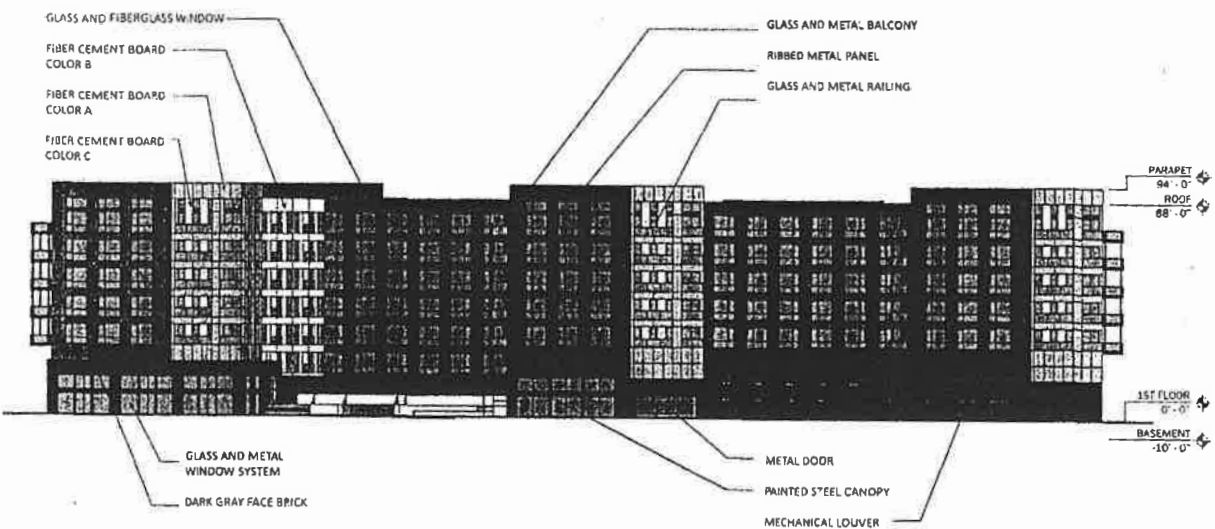
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 SUB-AREA B-1 WEST BUILDING ELEVATION

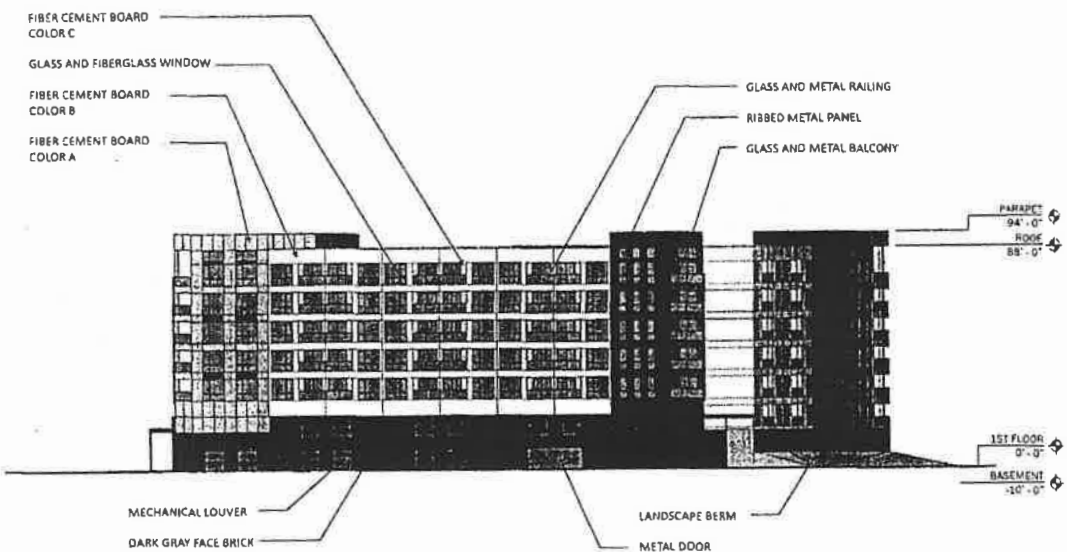
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 SUB-AREA B-1 SOUTH BUILDING ELEVATION

ZLB
53

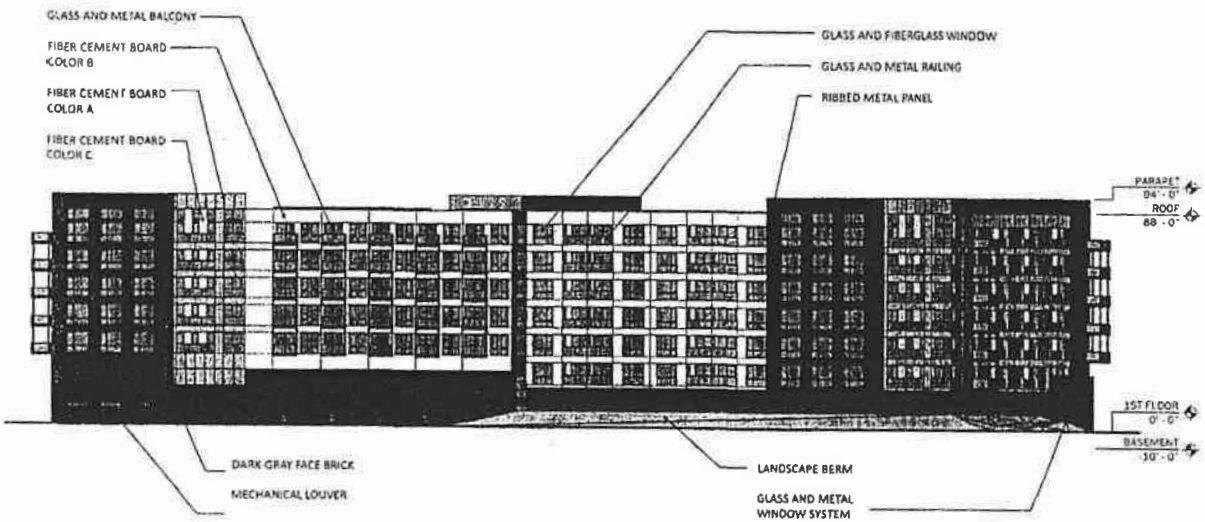


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Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Introduced: May 26, 2021
 Plan Commission: August 19, 2021

PD-11

FINAL FOR PUBLICATION
 Planned Development No. 44
 ZLB
 54
 SUB-AREA B-1 EAST BUILDING ELEVATION



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Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Introduced: May 26, 2021
 Plan Commission: August 19, 2021

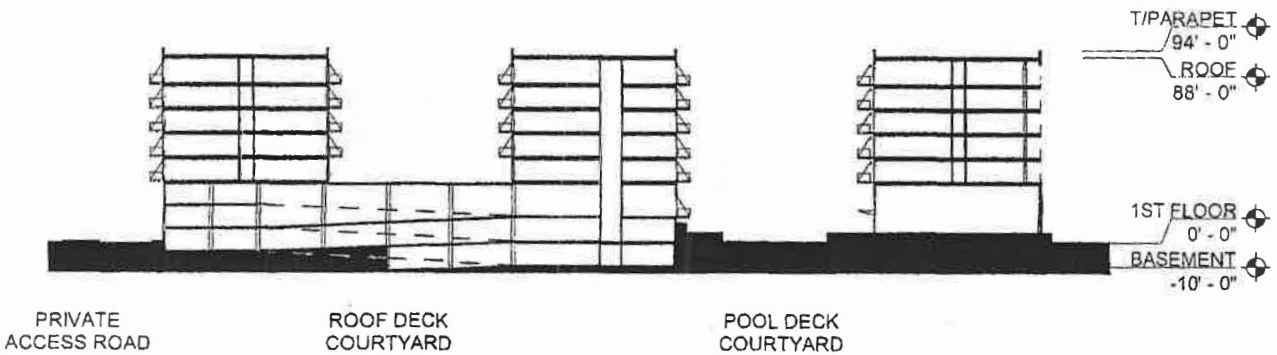
PD-12

FINAL FOR PUBLICATION

Planned Development No. 44

ZB
55

SUB-AREA B-1 BUILDING SECTION



T/PARAPET 94' - 0"
 ROOF 88' - 0"

1ST FLOOR 0' - 0"
 BASEMENT -10' - 0"

PRIVATE ACCESS ROAD

ROOF DECK COURTYARD

POOL DECK COURTYARD

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Applicant: Glenstar O'Hare, LLC
 Address: 8535 W. Higgins Road
 Introduced: May 26, 2021
 Plan Commission: August 19, 2021

PD-13



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 9, 2017

John J. George
Akerman LLP
71 S. Wacker Dr., 46th Floor
Chicago, Illinois 60606

Re: **Site Plan Approval for 8535 W. Higgins Road - Planned Development No. 44, Subarea B**

Dear Mr. George:

Please be advised that your request for site plan approval to Business Planned Development No. 44 ("PD 44"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 15 of the Planned Development Ordinance.

The project consists of the construction of an 8-story office building of approximately 113 feet in height and consisting of five floors of office space and three levels of parking in addition to a surface parking lot cumulatively providing a total of 631 parking spaces and two loading docks. The proposed office building will be located at 8535 W. Higgins Road in PD 44, Subarea B (as identified on the attached Land Use Map as Sub-Area B-2). The net site area is 150,200 SF and the FAR is 1.021 which is below the maximum allowable FAR of 1.222.

The request for approval includes the following attached documents prepared by Wright Heerema Architects:

- A0.02 – Land Use Map (7.14.17)
- A0.30-1 – Site Plan (7.18.17)
- A0.30-3 – Site Plan/First Floor Plan (7.28.17)
- L1.01 – Landscape Plan and Details (7.28.17)
- L2.0 – Tree Removal Plan (7.28.17)
- A2.01 – Color Building Elevations (7.10.17)
- A600 – Core and Shell Details
- Color Conceptual Rendering (7.10.17)

Upon review of the materials submitted, DPD has determined that the site plan is consistent with, and satisfies, the requirements of the Planned Development. Accordingly, this site plan submittal

for PD #44, as amended, is hereby approved as conforming to the Planned Development as passed by the Chicago City Council (12.10.14).

Sincerely,


Patricia A. Scudiero,
Zoning Administrator



Originated by: Heidi Sperry

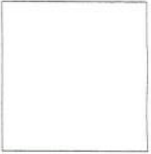
cc: Chris Leach, Akerman (via email)
Erik Glass, DPD
Mike Marmo, DPD
Heidi Sperry, DPD
Planned Development files



LAND USE MAP
SCALE: 1" = 50'



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WRIGHT HEEREMA ARCHITECTS

DESIGN TEAM
 LEAD ARCHITECT
 CHAIRMAN
 ARCHITECT
 ARCHITECT
 ARCHITECT

OWNER / DEVELOPER
GlenStar

OFFICE
 26 East Huron Street, Room 1200
 Chicago, IL 60601
 312.766.1800, fax 312.434.8208

GLENSTAR
 8647 W. Higgins Road
 Chicago, IL
 O'Hare Office Development

CONSTRUCTION MANAGER / CONTRACTOR

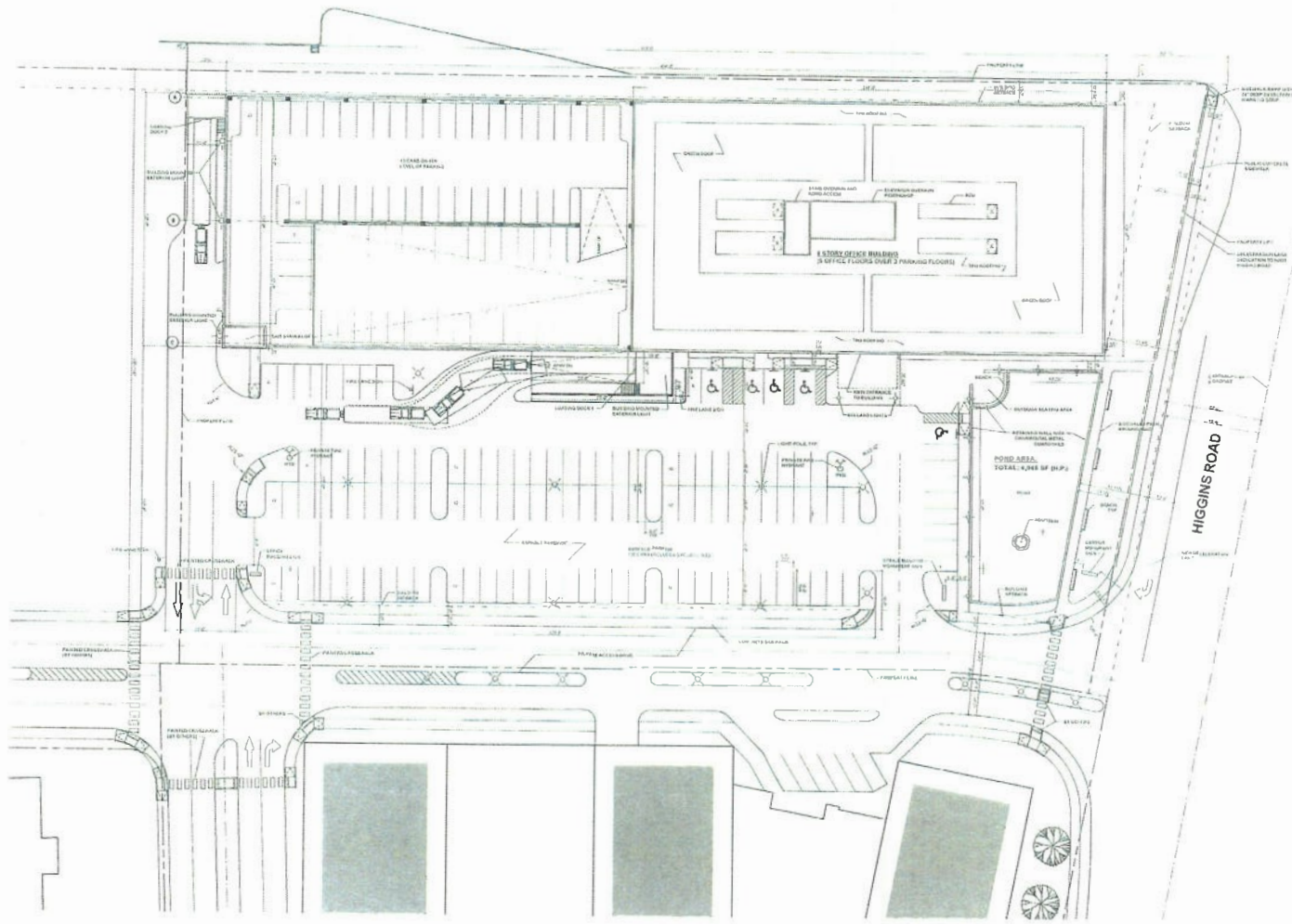
CONSTRUCTION COMPANY NAME
 STREET ADDRESS, SUITE #
 CITY, STATE ZIP
 TEL: (630) 420-0200, FAX: (630) 420-0200

ARCHITECT'S PROJECT NUMBER: 20161206
 ISSUE DATE:
 ISSUED FOR DESIGN REVIEW: 06.24.2017
 ISSUED FOR SITE PLAN APPROVAL: 09.28.2017
 ISSUED FOR SITE PLAN APPROVAL - REVISION: 01.10.2017

Sheet Title
LAND USE MAP

Sheet Number
A0.02

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SITE PLAN

PARKING TOTALS: 820 CARS
 SURFACE: 130 CARS (INCLUDES 11 LC)
 PARKING DECK (3 LEVELS + HALF 4TH LEVEL) 510 (INCLUDES 11 LC)



- ALLIANCE
 Alliance Engineering Associates Ltd
 222 N. Dearborn Street, 210
 Chicago, IL 60610
 312.467.1000
- ARCHITECT
 J. J. McShane Construction
 445 S. Dearborn Street, 210
 Chicago, IL 60610
 312.467.1000
- ENGINEER
 J. J. McShane Construction
 445 S. Dearborn Street, 210
 Chicago, IL 60610
 312.467.1000
- LANDSCAPE ARCHITECT
 J. J. McShane Construction
 445 S. Dearborn Street, 210
 Chicago, IL 60610
 312.467.1000
- PLANNING
 J. J. McShane Construction
 445 S. Dearborn Street, 210
 Chicago, IL 60610
 312.467.1000
- CONTRACTOR
 J. J. McShane Construction
 445 S. Dearborn Street, 210
 Chicago, IL 60610
 312.467.1000

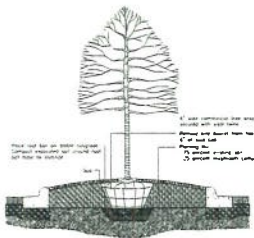
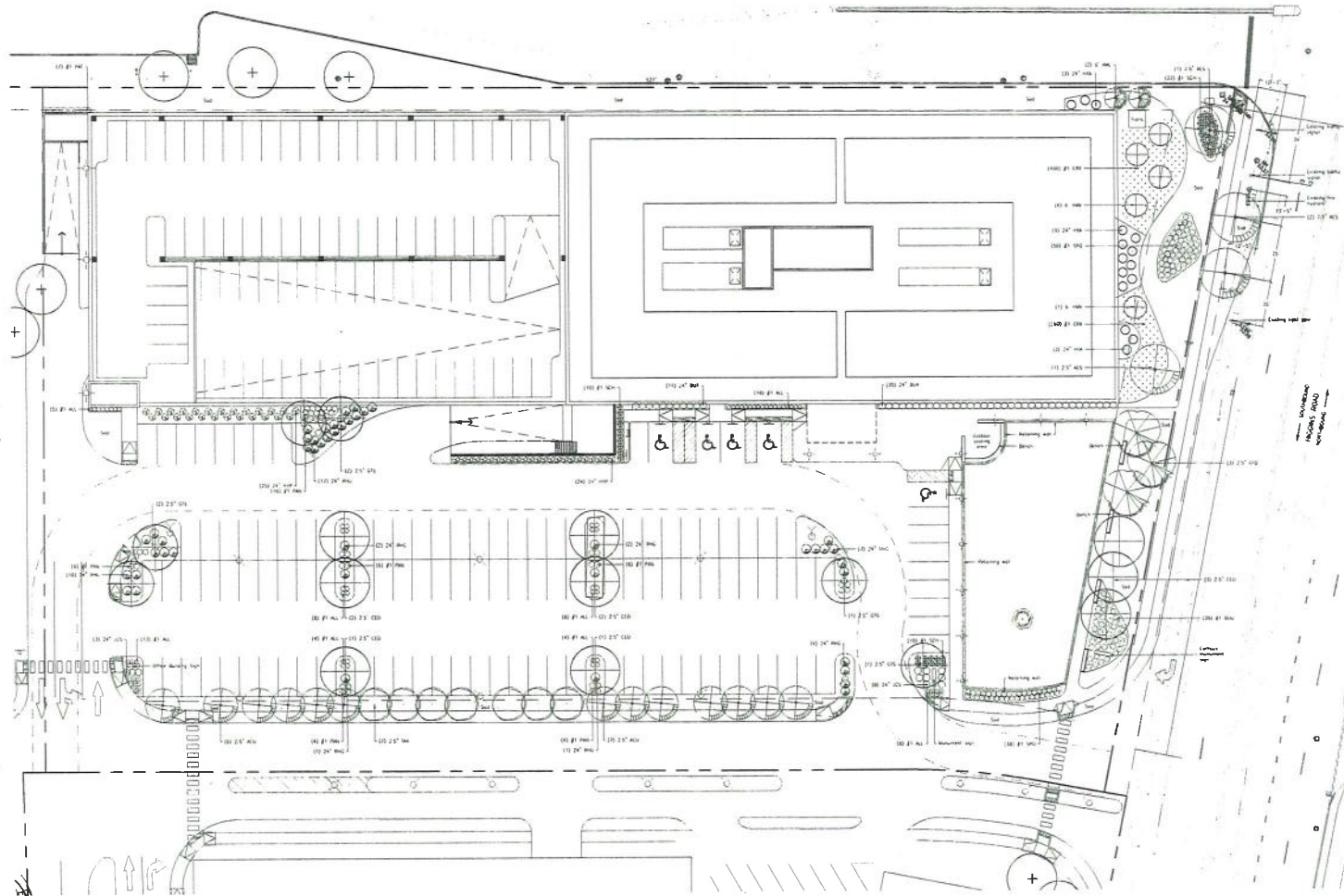
GlenStar
 8647 W. Higgins Road
 Chicago, IL 60631

GLENSTAR - OFFICE BTS
8647 W. HIGGINS ROAD
CHICAGO, IL 60631
SHELL & CORE

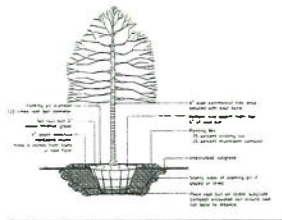
CONTRACTOR
MC SHANE
 CONSTRUCTION
 445 S. Dearborn Street, 210
 Chicago, IL 60610
 312.467.1000

CITY OF CHICAGO
Department of Transportation
Plan Review Committee
 Approved By: [Signature]
 Date: 8/18/17
 Project Title: GlenStar
 *Subject to acceptable construction drawings also required CDOT permits.

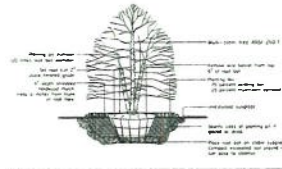
Sheet No.
SITE PLAN
 Project No.
A030-1



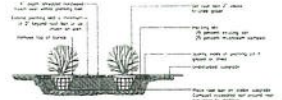
Deciduous Tree Planting at Parking Lot Island



Deciduous Tree Planting



Deciduous Ornamental Tree Planting



Shrub Planting



Groundcover/Perennial Planting

Certified Statements

I, the undersigned, certify that the information provided in this plan is true and correct to the best of my knowledge and belief.

I, the undersigned, certify that the information provided in this plan is true and correct to the best of my knowledge and belief.

I, the undersigned, certify that the information provided in this plan is true and correct to the best of my knowledge and belief.

Notes

1. All planting and construction to be completed and ready for use by the date of the final construction permit.

2. All planting and construction to be completed and ready for use by the date of the final construction permit.

3. All planting and construction to be completed and ready for use by the date of the final construction permit.

General Notes

1. All planting and construction to be completed and ready for use by the date of the final construction permit.

2. All planting and construction to be completed and ready for use by the date of the final construction permit.

3. All planting and construction to be completed and ready for use by the date of the final construction permit.

Plant List

Plant	Qty	Notes	Plant	Qty	Notes
1. 12\"/>					

WRIGHT HERBERIA ARCHITECTS

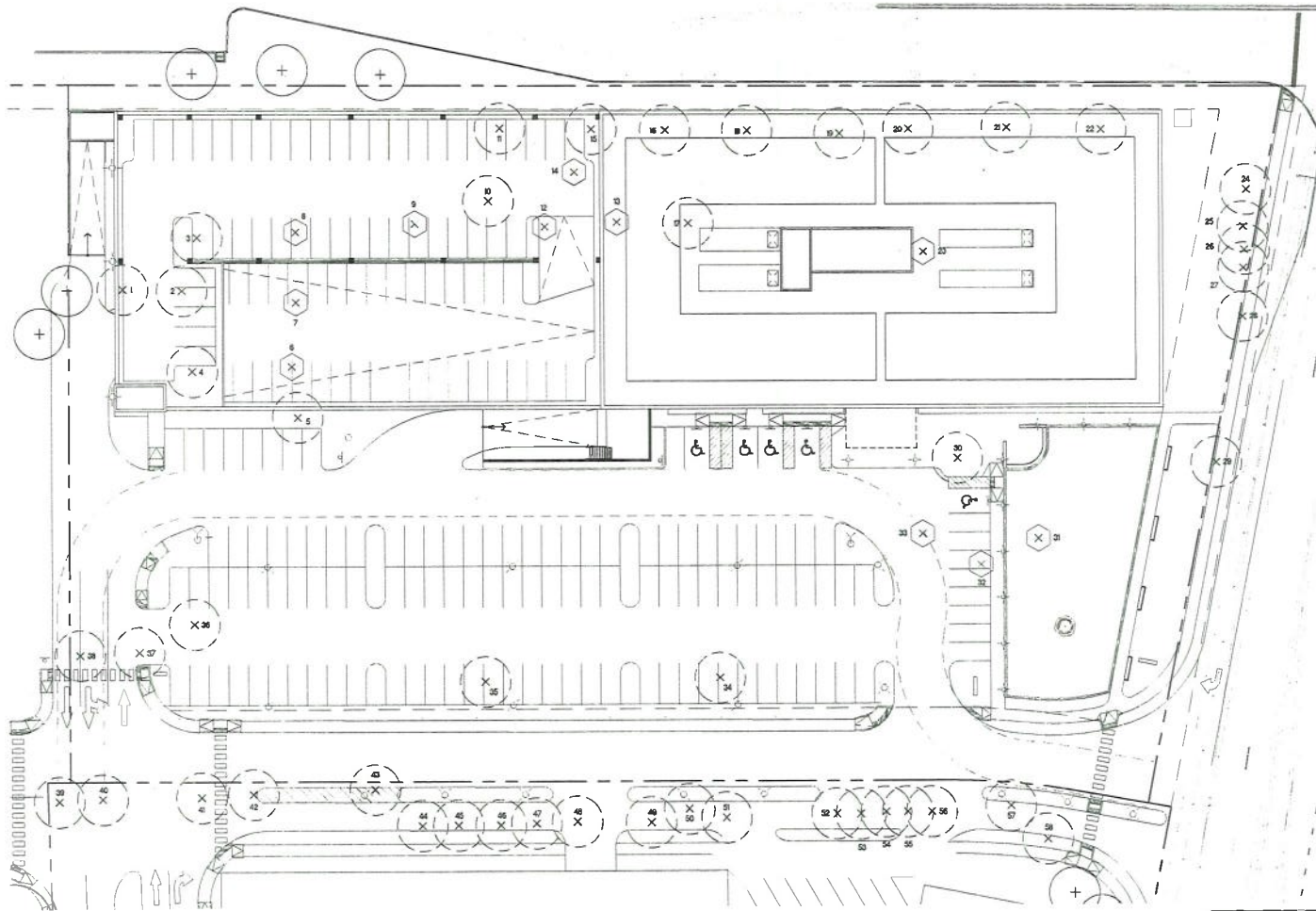
Client:
McShane Construction Company
300 W. Erie Street, Suite 200
Chicago, IL 60618
917-383-0300

Contractor:
McShane Construction Company
300 W. Erie Street, Suite 200
Chicago, IL 60618
917-383-0300

GlenStar
8647 W. Higgins Road
Chicago, IL 60631

McShane Construction
300 W. Erie Street, Suite 200
Chicago, IL 60618
917-383-0300

LANDSCAPE PLAN AND DETAILS
Scale: 1" = 10'
L1.0



McShane
McShane
McShane

WRIGHT HEEREMA ARCHITECTS

Architect:
Wright Heerema Architects, Ltd.
130 S. Jefferson Blvd., Suite 130
Chicago, IL 60601
312-463-0361

Structural Engineer - Tree Retention:
Bentley Engineering, Inc.
333 W. Lake Street, 5th
Floor, Chicago, IL 60601
312-467-2020

Professional Engineer - Structural Engineer:
Preston Engineering Company
1638 North LaSalle Street, Suite A
Chicago, IL 60610
312-777-8888

Professional Engineer - Mechanical and Electrical:
AT&T Project
800 Progress Avenue
Aurora, IL 60401
630-998-4679

MECHANICAL ENGINEER:
Caldwell Reed
800 Progress Avenue, Suite #
200, Aurora, IL 60401
630-998-2020

Electrical:
WSP International Systems Group
818 S. Michigan Ave
Chicago, IL 60605
312-467-0115

OWNER / DEVELOPER:
GlenStar
14 East Hanna Street, Suite 250
Chicago, IL 60601
312-766-1800; fax 312-434-8360

GLENSTAR - OFFICE BTS
8647 W. HIGGINS ROAD
CHICAGO, IL 60631

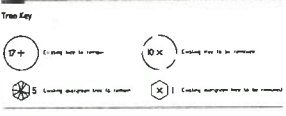
SHELL & CORE

Existing Tree Inventory

ID	Species	DBH (in)	Height (ft)	Condition	Notes
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38

Tree Condition Rating

Rating	Description	Criteria
1	Excellent	Tree is in full health and shows no signs of stress. DBH measured at 4.5 ft above ground level. All major limbs are well developed and show no signs of decay or damage.
2	Good to Fair	Tree shows signs of stress but is still healthy. DBH measured at 4.5 ft above ground level. Some minor decay or damage is present but not extensive.
3	Fair	Tree shows significant signs of stress. DBH measured at 4.5 ft above ground level. Moderate decay or damage is present.
4	Poor to Fair	Tree shows severe signs of stress. DBH measured at 4.5 ft above ground level. Extensive decay or damage is present.
5	Poor	Tree shows critical signs of stress. DBH measured at 4.5 ft above ground level. Severe decay or damage is present.
6	Dead	Tree is dead or dying. DBH measured at 4.5 ft above ground level. No living tissue is present.



CONTRACTOR:
McSHANE CONSTRUCTION
McShane Construction Company
9540 W. Bryn Mawr Ave., Suite 200
Skokie, IL 60076
847-383-4326

Architect's Project Number: 20181280
Issue Date: _____
Issue For Design Review: 04/24/2017
Issue For Site Plan Approval: 06/08/2017
Issue For Site Plan Approval - Revisions: 07/28/2017

Sheet Title: _____
TREE REMOVAL PLAN

Sheet Number: **L2.0**

Scale: 1" = 32'

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CONCEPTUAL RENDERING

JULY 10, 2017

GlenStar

O'Hare Office Development
8647 West Higgins RD., Chicago, Illinois 60068

WRIGHT HEEREMA | ARCHITECTS
166 S. Dearborn St., Suite 200
Chicago, Illinois 60601
(312) 424-1174 | www.wrightheerema.com

18039

12/10/2014

REPORTS OF COMMITTEES

100991

Reclassification Of Area Shown On Map No. 15-P.
(As Amended)
(Application No. 18039)
(Common Address: 8535 W. Higgins Rd.)

BPD 44,00

[SO2014-4170]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Business Planned Development Number 44, as amended September 9, 1984, District symbols shown on Map Number 15-P in the area generally bounded by:

West Higgins Road; a line 1,610.18 feet east of the centerline of North East River Road along the south line of West Higgins Road to a point 276.21 feet south of West Higgins Road and 1,730.82 feet east of the centerline of North East River Road; a line 1,730.82 feet east of the centerline of North East River Road; the north line of the right-of-way of the John Fitzgerald Kennedy Expressway; and a line 655 feet east of the centerline of North East River Road,

to the designation of Business Planned Development Number 44, as amended, subject to the use and bulk regulations set forth in the Plan of Development attached hereto and made a part hereof.

SECTION 2. This ordinance takes effect after its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows.

Business Planned Development No. 44, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Business Planned Development Number 44, as amended ("Planned Development"), consists of approximately 948,393 square feet (21.77 acres) of property located at 8535 West Higgins Road (the "Property"), as more fully depicted on the attached Planned Development Boundary and Property Line Map. The Property is under the single designated control of the applicant, Host Hotels & Resorts, Inc.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns and, if

different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for an amendment, modification or change (administrative, legislative or otherwise) to this Planned Development is made, shall be under single ownership or single designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.

3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of 17 Statements; a Bulk Regulations and Data Table; an Existing Zoning/Land-Use Map; Aerial Map; a Planned Development Boundary and Property Line Map; a Right-of-Way Adjustment Map; Site Plan with Subarea Site Plans; Existing and Proposed Subarea Maps; Landscape Plans; Building Section Plans; Building Elevations; and Typical Green Roof Plan prepared by Epstein dated October 16, 2014.
5. The following uses are permitted in the area delineated herein as a Business Planned Development:

Subarea A:

hotel; retail sales; eating and drinking establishments; drive-through facility, subject to site plan review pursuant to Statement 15; accessory parking; and accessory uses as authorized by the Chicago Zoning Ordinance.

Subarea B:

office; financial services, excluding payday/title secured loan stores, pawn shops and valuable objects dealer; retail sales; eating and drinking establishments; drive-through facility, subject to site plan review pursuant to Statement 15; accessory parking not to exceed 3,000 spaces; and accessory uses as authorized by the Chicago Zoning Ordinance.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the Property shall be 1.20 in accordance with the attached Bulk Regulations Table. For purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 513,326 square feet in Subarea A with a FAR of 0.71; and a Net Site Area of 435,067 square feet in Subarea B with a FAR of 1.78. The Zoning Administrator shall have the administrative authority to transfer floor area up to a maximum of 10,000 square feet and adjust the FAR between subareas.
9. Upon review and determination ("Part II Review"), and pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim review associated with the site plan review or Part II Reviews are conditional until final Part II Approval.
11. The applicant shall comply with the Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation and Fleet and Facility Management and Buildings, pursuant to Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development Ordinance may be modified administratively by the Zoning Administrator, pursuant to

Section 17-13-0611-A of the Zoning Ordinance, upon written application by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors.

13. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. At the time of a hearing before the Chicago Plan Commission, all developments must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Department of Planning and Development. Applicant shall achieve basic LEED Certification under the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System for all new construction in Subarea B. All new buildings in Subarea B will have a green roof of approximately 13,000 square feet, which covers and is equivalent to a minimum of 50 percent of the building's net roof area.
15. It is contemplated that certain improvements within this Planned Development may differ from the design reviewed and approved at the time of the Planned Development's passage and approval. Such differences may include a proposal for a single-story or multi-story grade separated building connection over private property. Accordingly, prior to the Part II Approval for any new construction, the applicant shall submit a site plan, landscape plan and building elevations for review and approval by the Department of Planning and Development. Review and approval by the Department of Planning and Development is intended to ensure that specific development components substantially conform to the Planned Development and to assist the City in monitoring ongoing development. The Site Plan approval submittals shall, at a minimum, include the following information:
 - fully-dimensioned site plan (including a footprint of the proposed improvements)
 - fully-dimensioned building elevations
 - fully-dimensioned landscape plan
 - building materials
 - statistical information applicable to the subject subarea including floor area; the FAR; uses to be established; building heights and setbacks.

No Part II Approval for any portion of the Property shall be granted until Site Plan approval has been granted. Following approval by the Department of Planning and Development, the approved Site Plan and supporting data and materials shall be deemed to be an integral part of the Planned Development. After approval of the Site Plan, changes or modifications may be made pursuant to the provisions of Statement 12. In the event of any inconsistency between approved plans and the terms of the Planned Development, the terms of the Planned Development shall govern.

Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the Planned Development.

- 16. The applicant acknowledges the importance of the CTA Blue Line Station located near the Property and also acknowledges the City's goals of encouraging convenient access to public transportation. Accordingly, the applicant agrees to cooperate with the City and adjacent land owners to permit pedestrian access from the CTA Station to the Property.
- 17. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Zoning Administrator shall initiate a Zoning Map Amendment to rezone the Property to Planned Development Number 44, as approved by the City Council on September 6, 1984.

[Existing Land-Use Map; Aerial Map; Right-of-Way Adjustment Map; Boundary Map; Existing Subarea Map; Proposed Subarea Map; Site Plan (Subareas A and B); Landscape Plans (Subareas A and B); and Building Elevations referred to in these Plan of Development Statements printed on pages 100997 through 101028 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

Business Planned Development No. 44, As Amended.

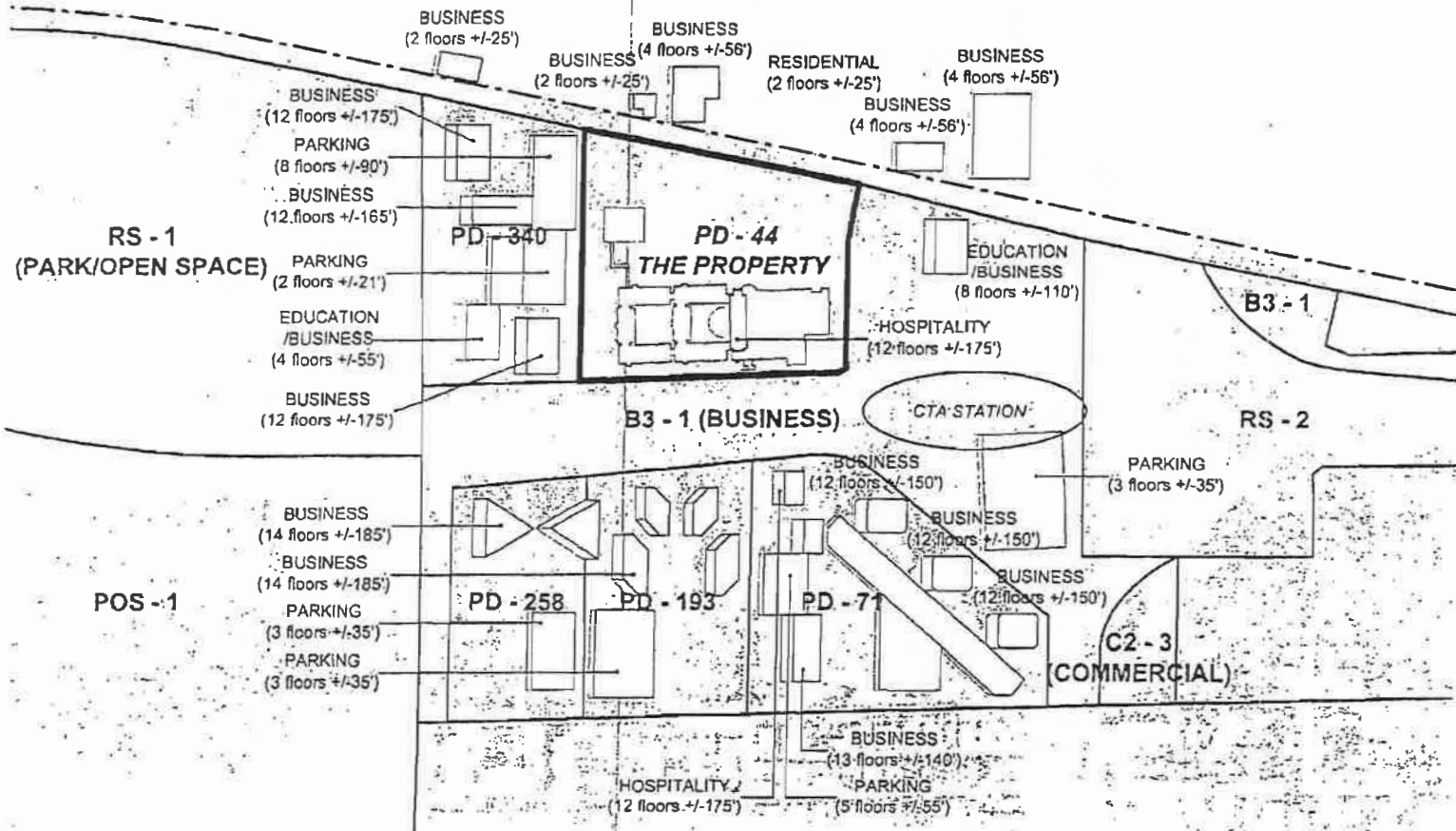
Bulk Regulations And Data Table.

Net Site Area:	948,393 square feet
Subarea A:	513,326 square feet
Subarea B:	435, 067 square feet

Maximum Floor Area Ratio:	1.20*
Subarea A:	0.71
Subarea B:	1.78
Maximum Building Height:	190 feet
Subarea A:	190 feet
Subarea B:	190 feet
Minimum Off-Street Parking Spaces:	2,000
Subarea A:	500
Subarea B:	1,500
Minimum Bicycle Parking Spaces:	91
Subarea A:	41
Subarea B:	50
Maximum Off-Street Loading Spaces:	8
Subarea A:	4
Subarea B:	4
Minimum Setbacks:	As per plans

* Pursuant to Statement Number 8 of this Planned Development, the applicant is allowed to transfer no more than 10,000 square feet areas subject to the administrative authority of the Zoning Administrator.

PARK RIDGE TOWNSHIP



EXISTING LAND-USE MAP

CHICAGO MARRIOTT O'HARE

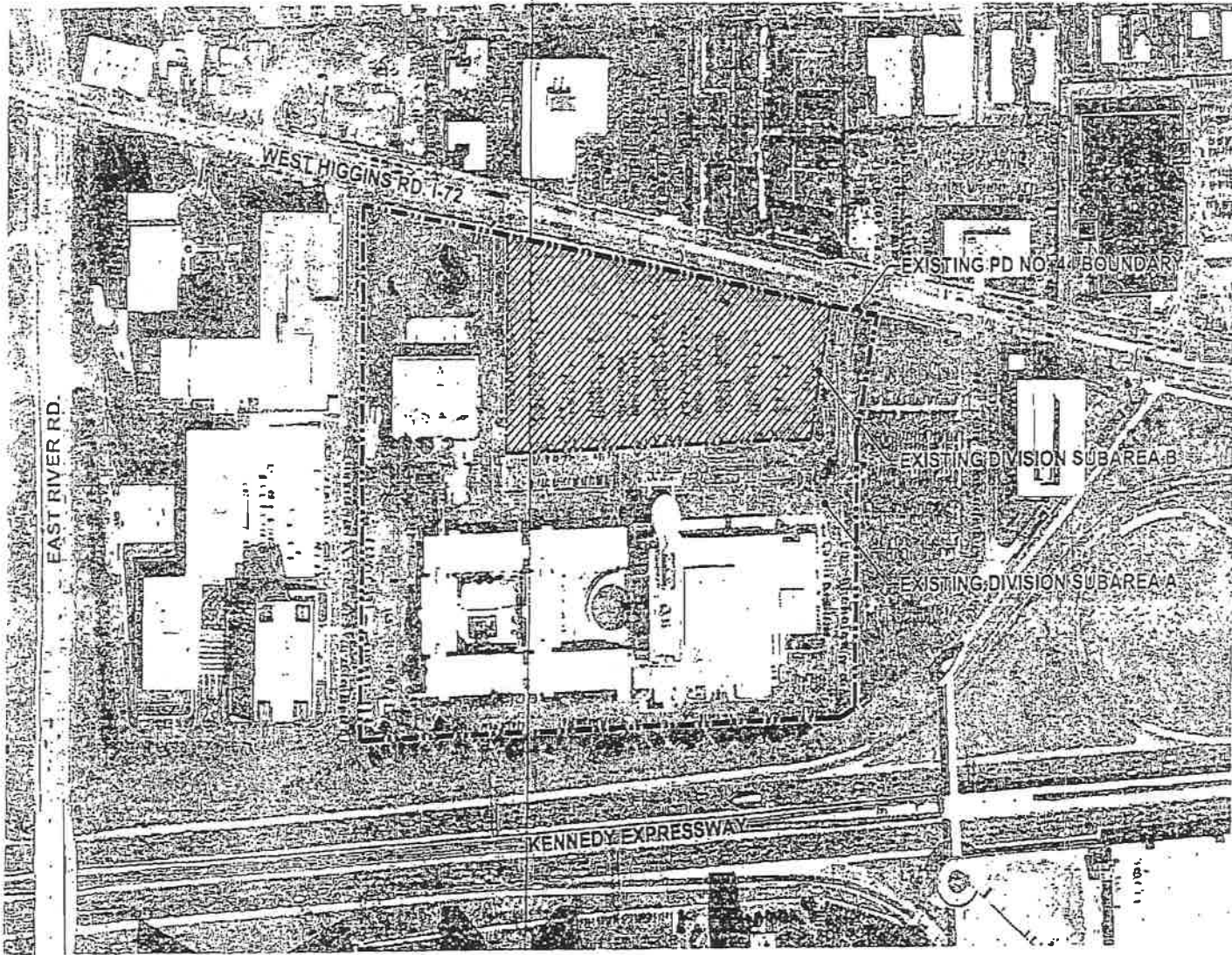
AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd., Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014



EPSTEIN



AERIAL MAP

CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



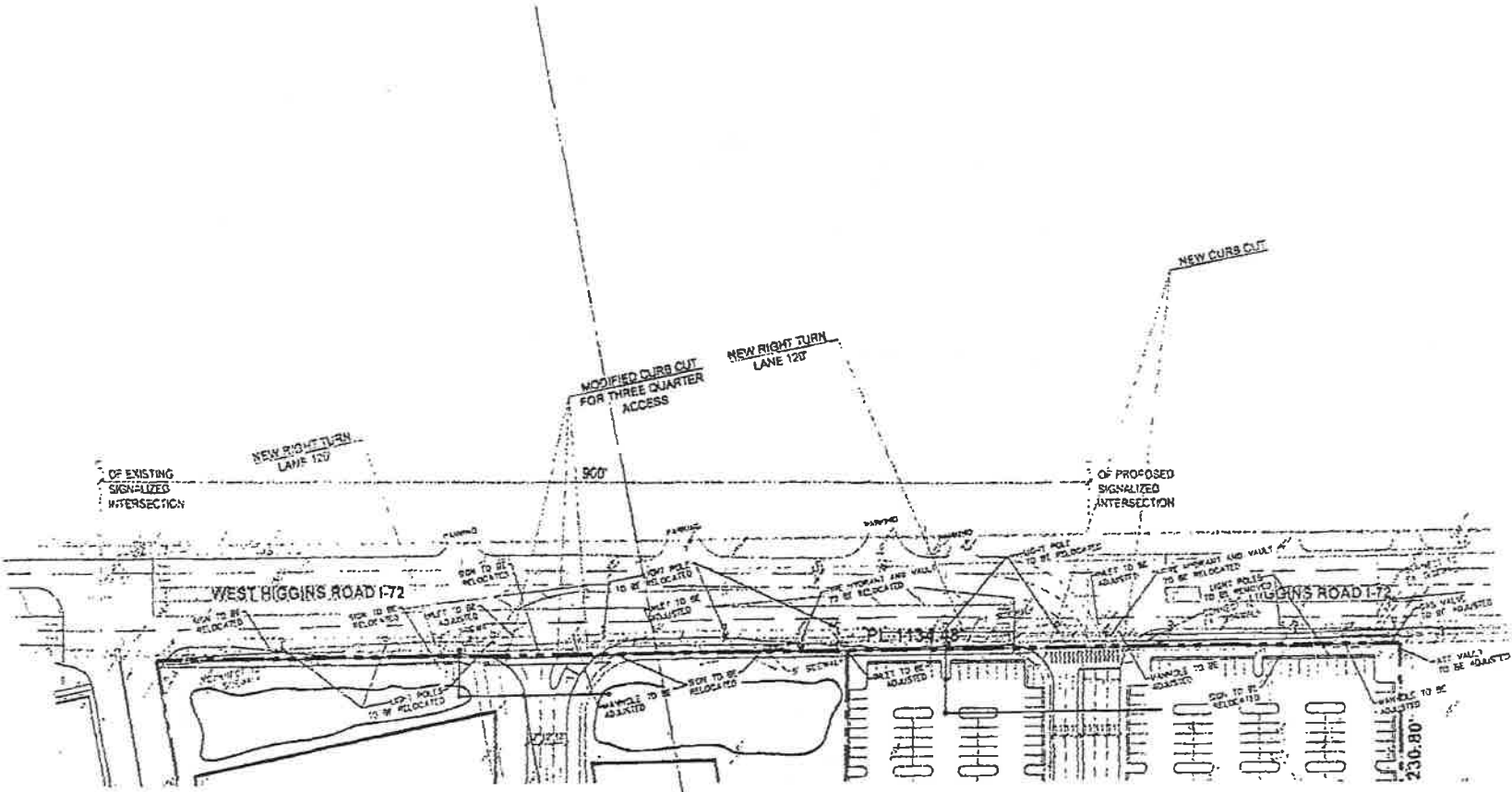
EPSTEIN
 Strategic Experience



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd., Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014

12/10/2014

REPORTS OF COMMITTEES

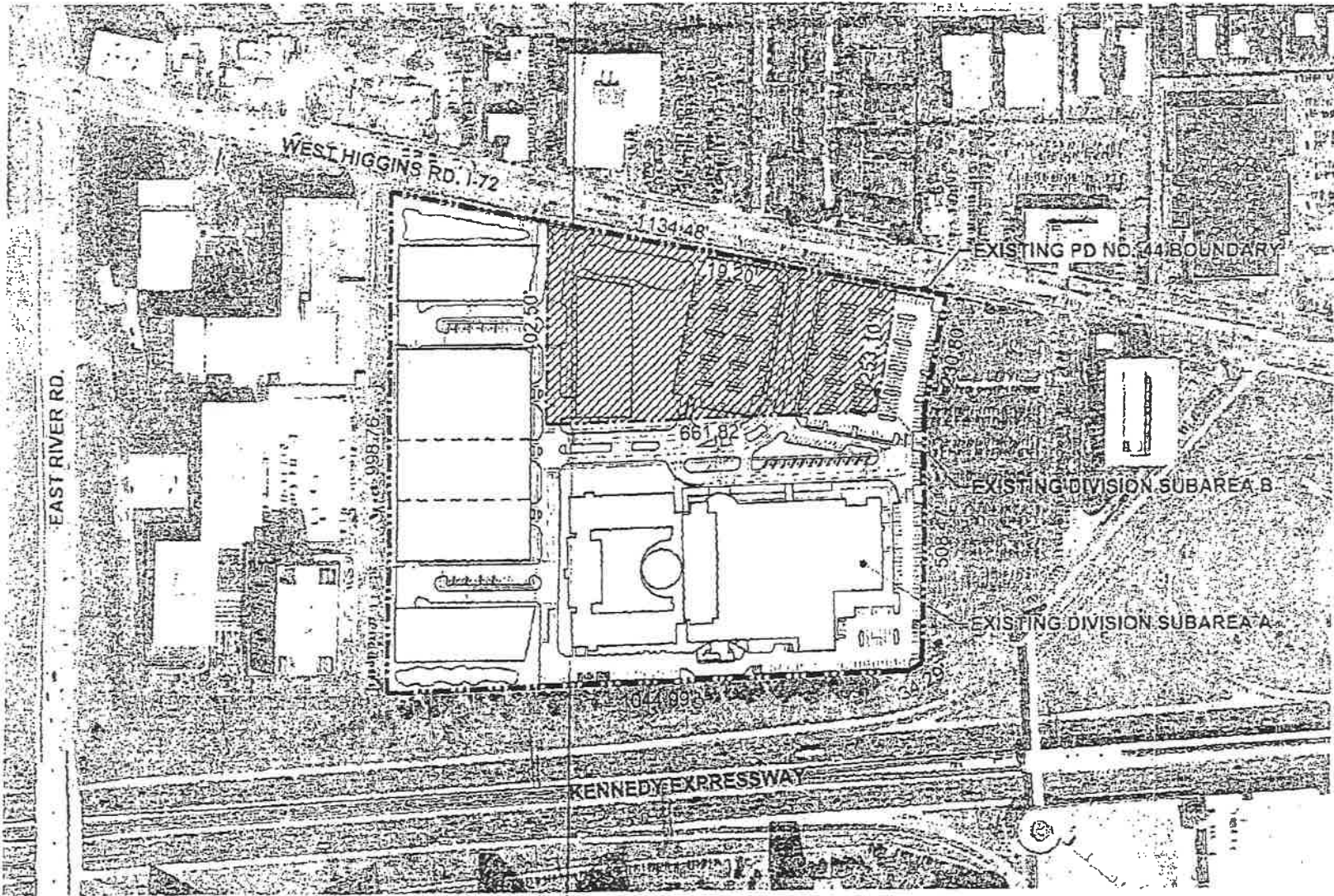


EPSTEIN
 PARTNER OF FORTY STREET

100999

**RIGHT-OF-WAY ADJUST
 CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44**

Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Introduced: May 28, 2014
 November 20, 2014



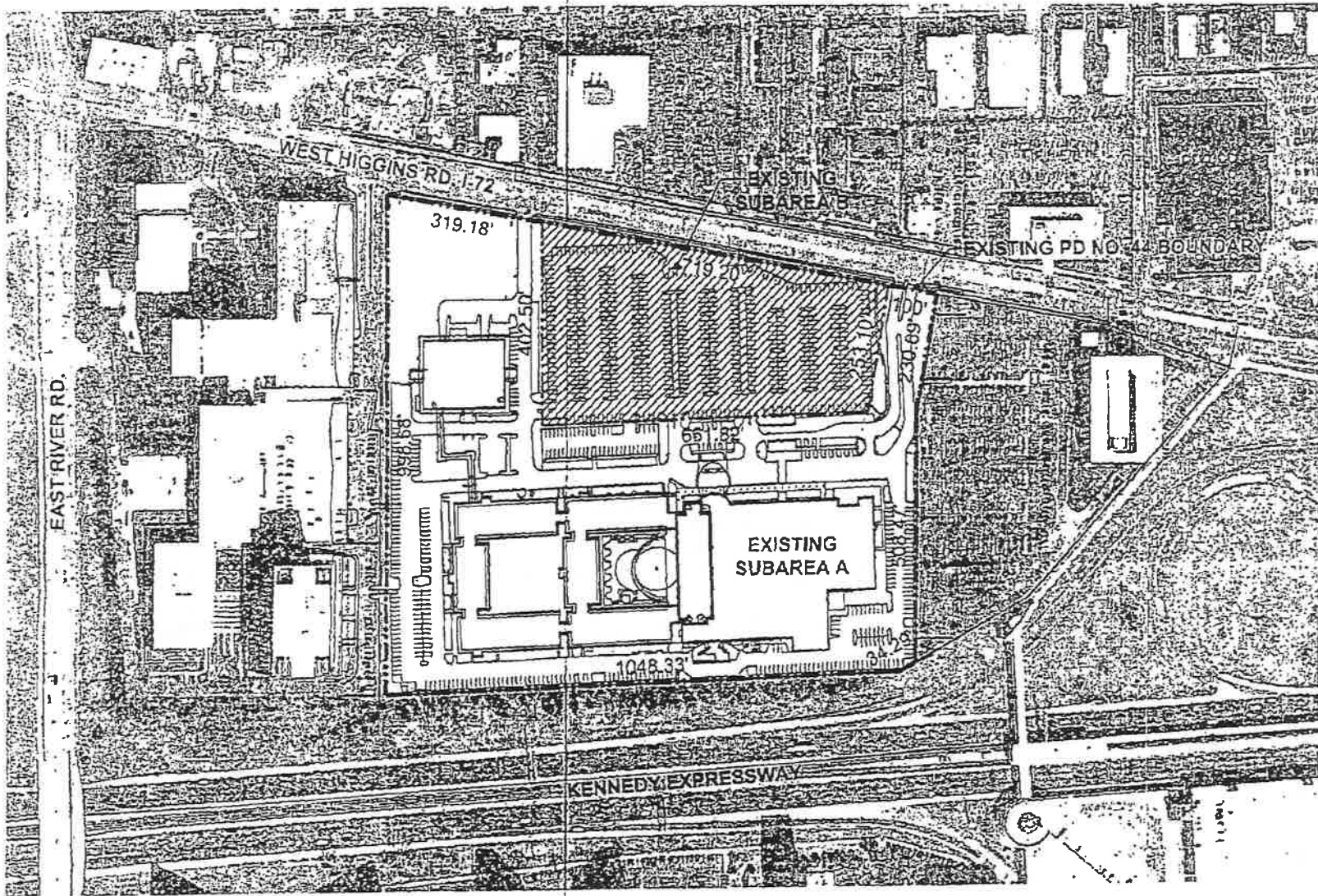
PLANNED DEVELOPMENT BOUNDARY MAP
 CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: East Hotel & Resorts, Inc.
 Address: 4335 West Higgins Rd., Chicago, IL
 Date introduced: May 23, 2014
 Plan Commission: November 20, 2014



EPSTEIN



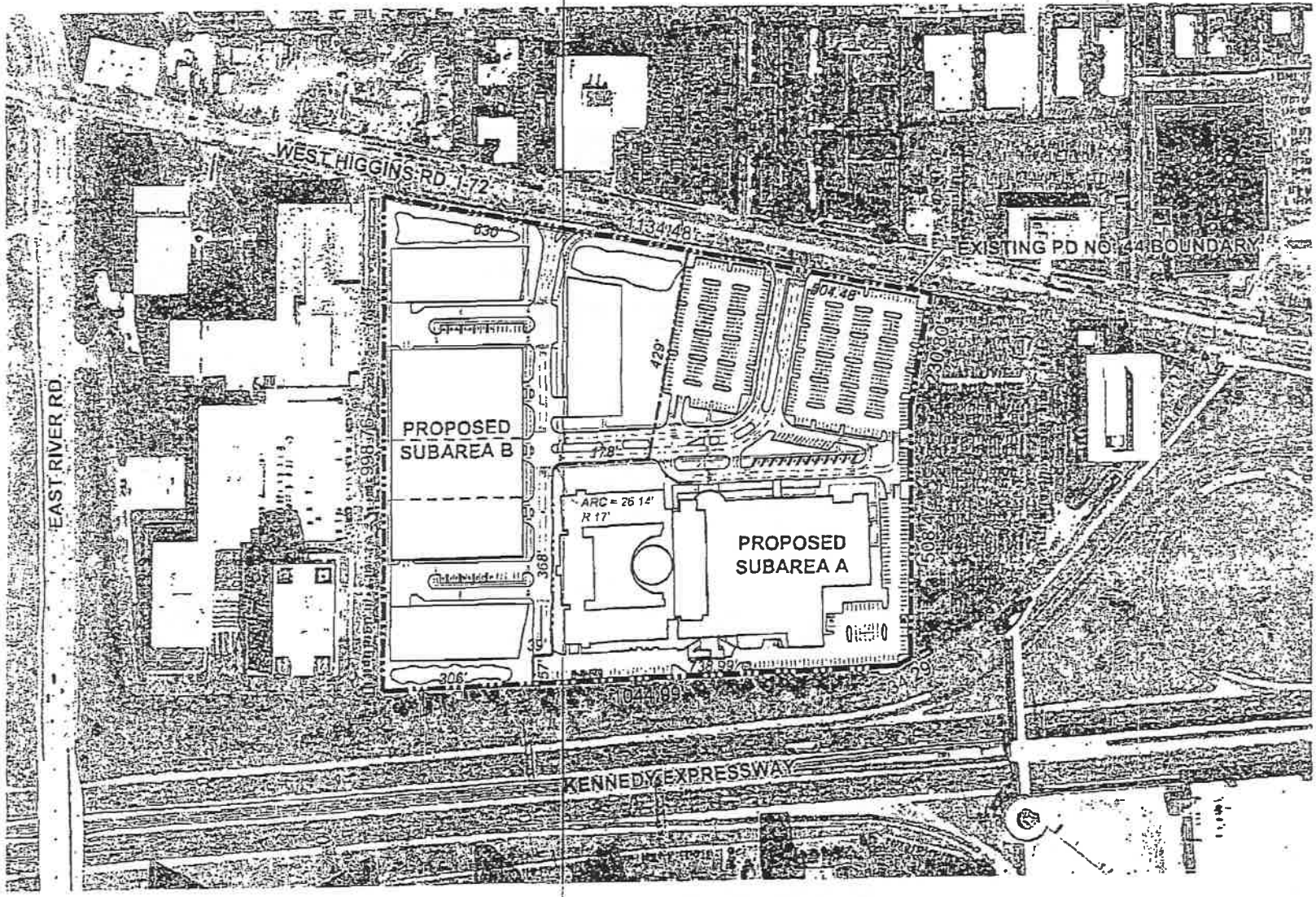
EXISTING SUBAREA MAP

CHICAGO MARRIOTT O'HARE
AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
Address: 8535 West Higgins Pk. Chicago, IL
Date Introduced: May 28, 2014
Plan Commission: November 20, 2014





PROPOSED SUBAREA MAP

CHICAGO MARRIOTT O'HARE
AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



EPSTEIN
ENGINEERS & ARCHITECTS

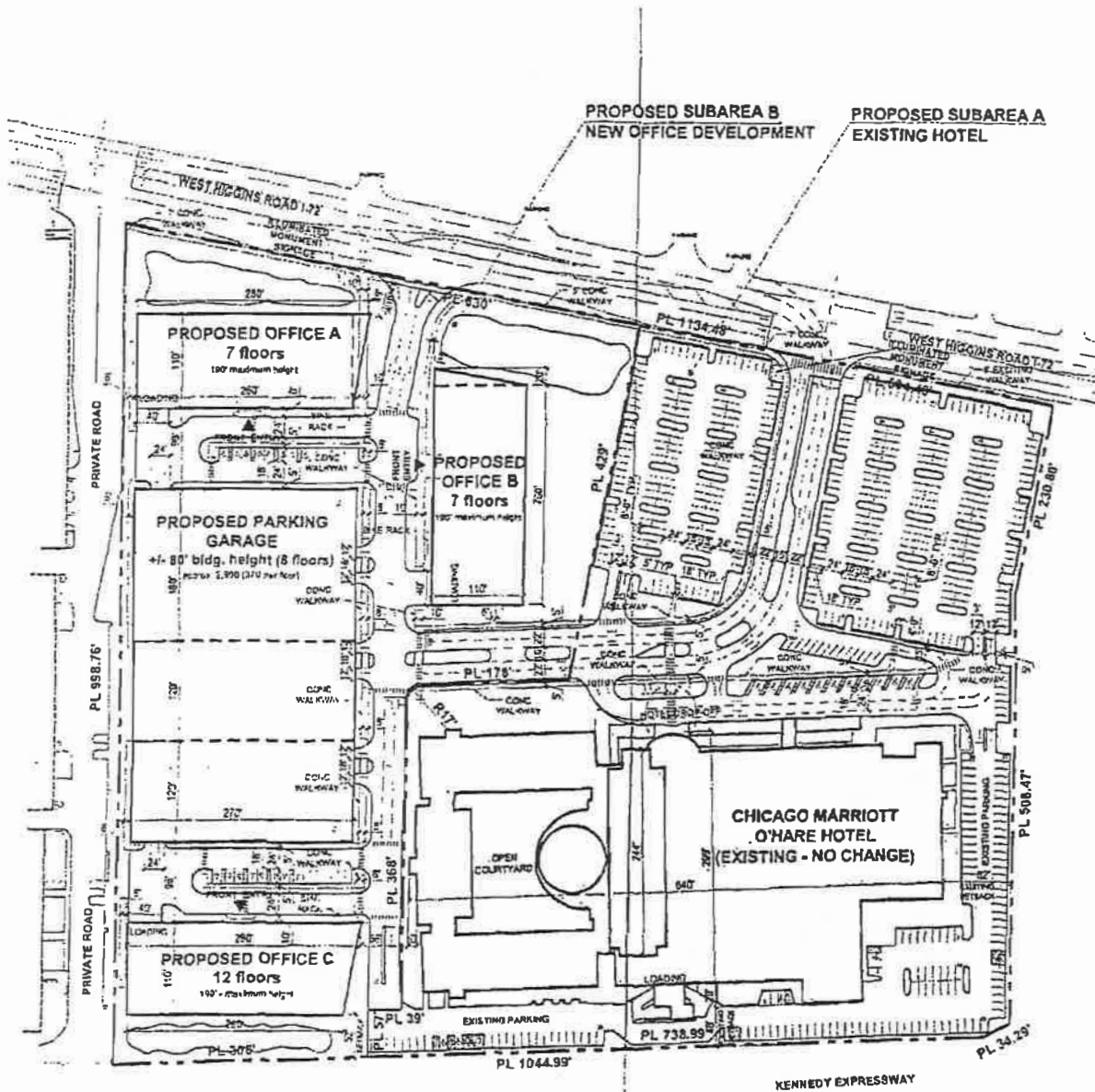


Applicant: Host Hotels & Resorts, Inc.
Address: 8535 West Higgins Rd, Chicago, IL
Date Introduced: May 28, 2014
Plan Commission: November 20, 2014

12/10/2014

REPORTS OF COMMITTEES

101003



BUSINESS PLAN DEV. NO. 44

TOTAL SITE AREA PD NO. 44
=948,393 SF (21.77 acres)

TOTAL BUILDABLE AREA
=1,138,071.6 gsf (1.2 FAR)

PROPOSED SUBAREA A

SUBAREA TOTAL SITE AREA
=513,328 SF (11.78 acres)

TOTAL EXISTING FLOOR AREA
=365,000 gsf

TOTAL CAR SPACES
= a minimum of 500 spaces
(10 accessible)

TOTAL BICYCLE STALLS
= a minimum of 41 stalls

PROPOSED SUBAREA B

SUBAREA TOTAL SITE AREA
=435,067 SF (9.99 acres)

BUILDABLE FLOOR AREA
=773,071.6 gsf

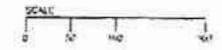
PROPOSED NEW OFFICE
FLOOR AREA
=773,071.6 gsf

TOTAL CAR SPACES
= a minimum of 1500 spaces
(30 accessible)

TOTAL BICYCLE STALLS
= a minimum of 50 stalls

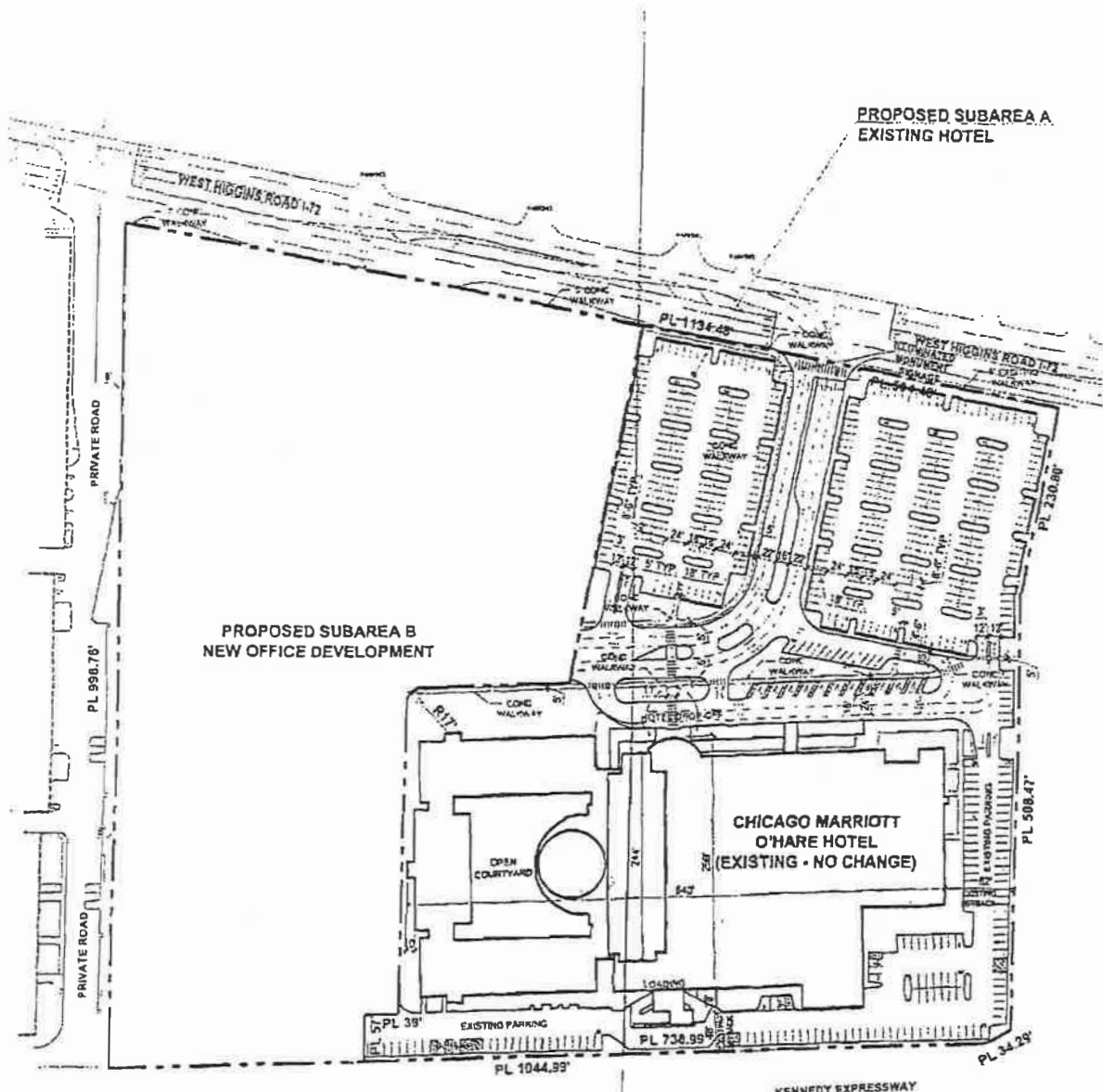
LEGEND:

□ LIMIT OF EXISTING AREA
TO REMAIN - NO CHANGE



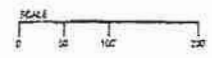
Applicant: Host Hotels & Resorts, Inc
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014

SITE PLAN (SUBAREA A & SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



BUSINESS PLAN DEV. NO. 44
 TOTAL SITE AREA PD NO. 44
 =948,393 SF (21.77 acres)
 TOTAL BUILDABLE AREA
 =1,138,071.6 gsf (1.2 FAR)
PROPOSED SUBAREA A
 SUBAREA TOTAL SITE AREA
 =513,326 SF (11.78 acres)
 TOTAL EXISTING FLOOR AREA
 =365,000 gsf
 TOTAL CAR SPACES
 = a minimum of 500 spaces
 (10 accessible)
 TOTAL BICYCLE STALLS
 = a minimum of 41 stalls

LEGEND:
 [Symbol: Dashed line] LIMIT OF EXISTING AREA
 TO REMAIN - NO CHANGE

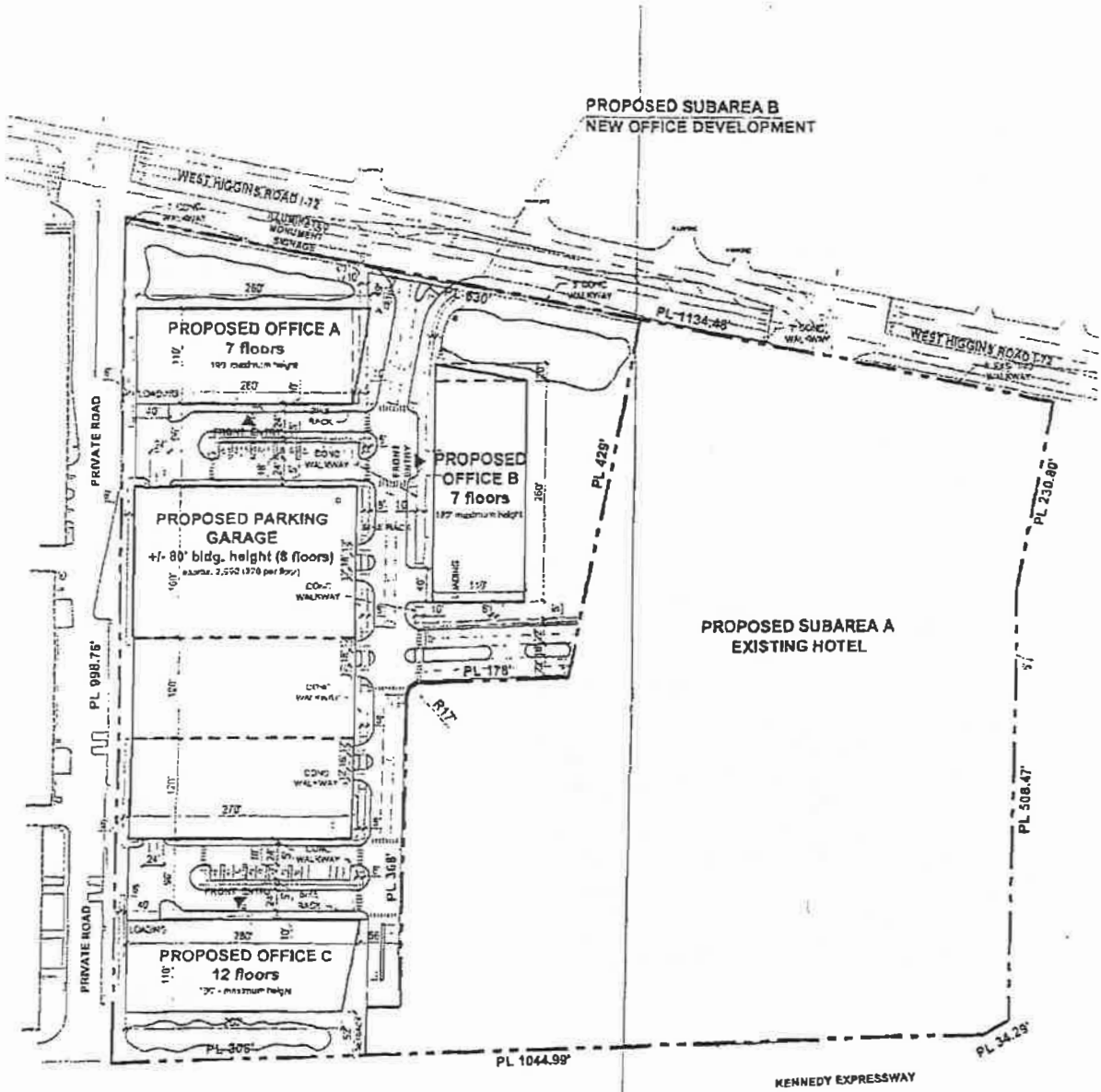


EPSTEIN
 Surveyors & Engineers



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd. Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014

SITE PLAN (SUBAREA A)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



PROPOSED SUBAREA B
NEW OFFICE DEVELOPMENT

PROPOSED SUBAREA A
EXISTING HOTEL

BUSINESS PLAN DEV. NO. 44

TOTAL SITE AREA PD NO. 44
=948,393 SF (21.77 acres)

TOTAL BUILDABLE AREA
=1,138,071.6 gsf (1.2 FAR)

PROPOSED SUBAREA B

SUBAREA TOTAL SITE AREA
=435,067 SF (9.99 acres)

BUILDABLE FLOOR AREA
=773,071.6 gsf

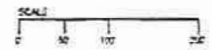
PROPOSED NEW OFFICE
FLOOR AREA
=773,071.6 gsf

TOTAL CAR SPACES
= a minimum of 1500 spaces
(30 accessible)

TOTAL BICYCLE STALLS
= a minimum of 50 stalls

LEGEND:

— LIMIT OF EXISTING AREA
- - - TO REMAIN - NO CHANGE

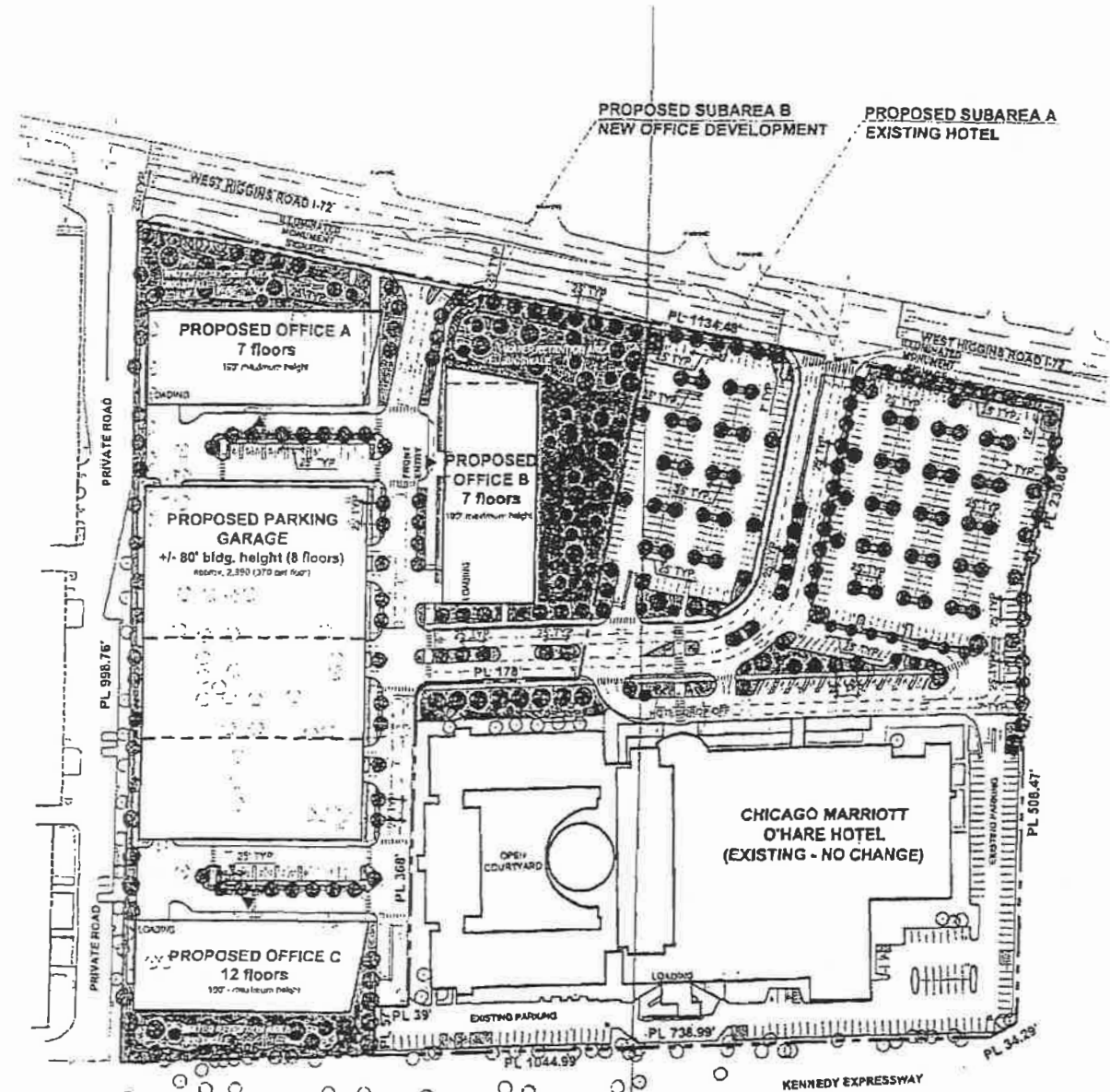


Applicant: Host Hotels & Resorts, Inc.
Address: 8535 West Higgins Rd, Chicago, IL
Date Introduced: May 28, 2014
Plan Commission: November 20, 2014

SITE PLAN (SUBAREA B)
CHICAGO MARRIOTT O'HARE
AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44

NOTE:

- 1. FOR GREEN ROOF PLANS REFER TO ENLARGED PLANS.



LEGEND:

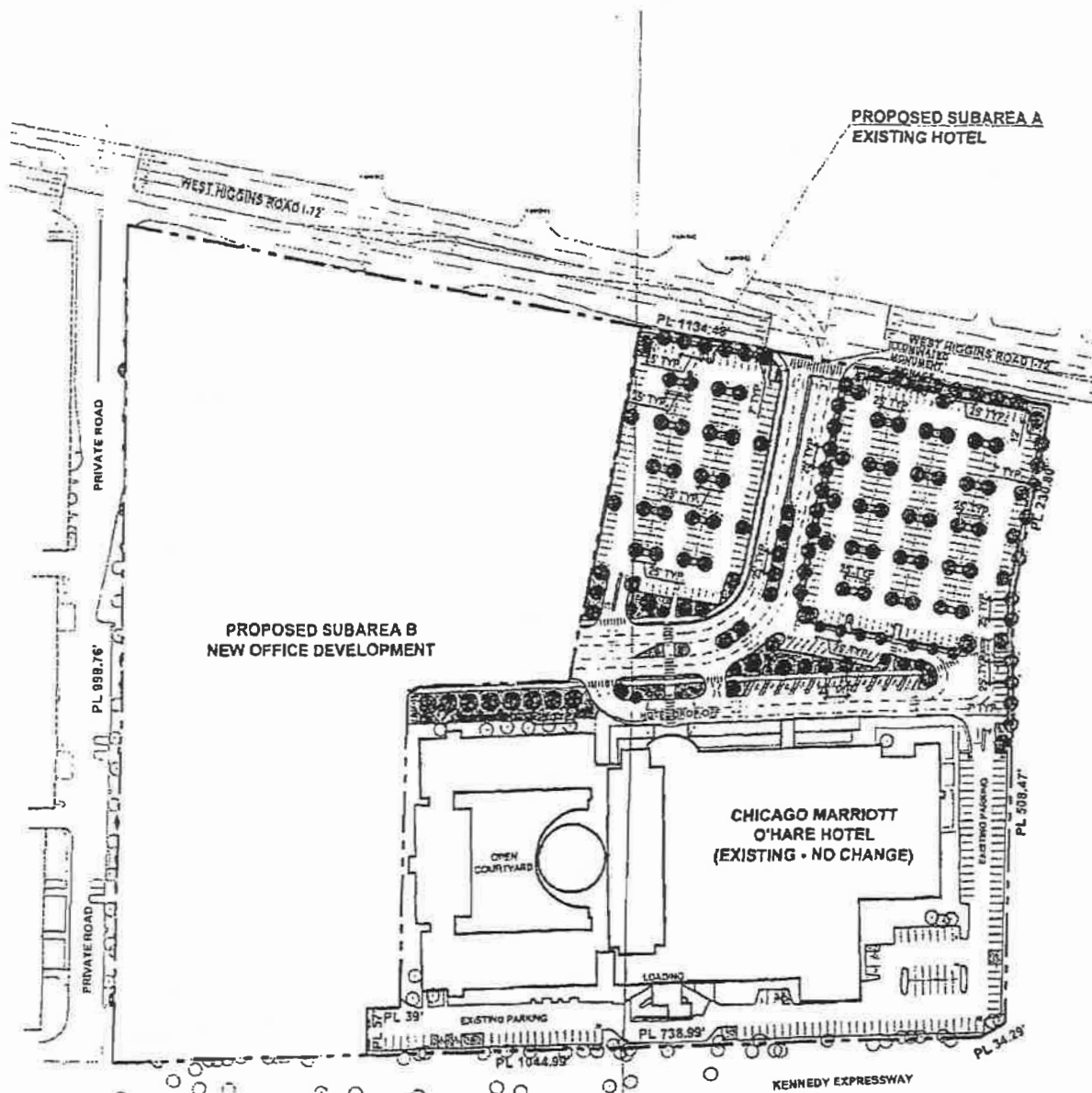
- PROPOSED NEW TREE
- EXISTING TREE TO REMAIN
- ⊙ EXISTING TREE TO BE REMOVED
- ▭ LIMIT OF EXISTING AREA TO REMAIN - NO CHANGE



LANDSCAPE PLAN (SUBAREA A & SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014



NOTE:

- 1. FOR GREEN ROOF PLANS REFER TO ENLARGED PLANS.

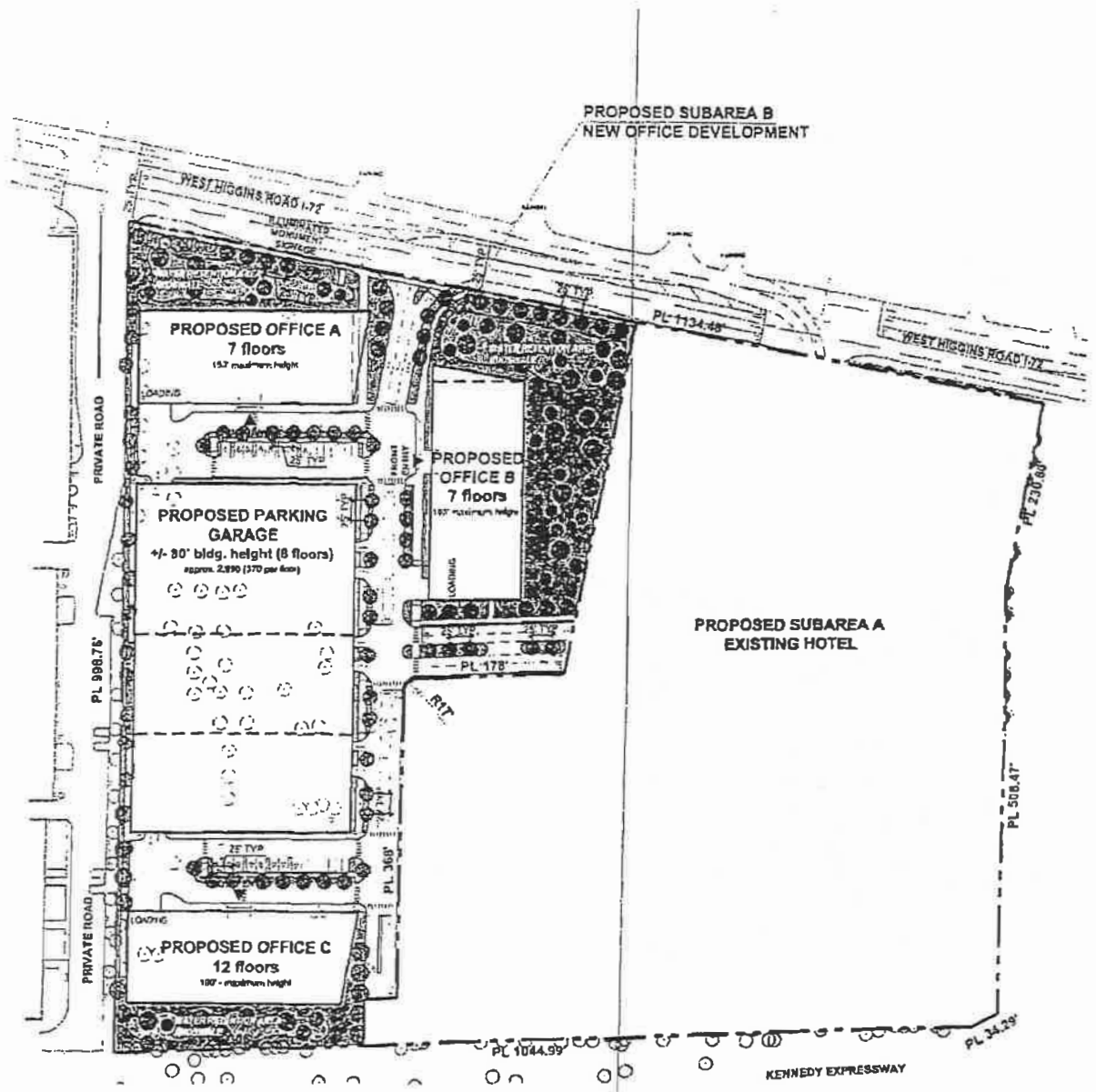
LEGEND:

- PROPOSED NEW TREE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- LIMIT OF EXISTING AREA TO REMAIN - NO CHANGE



Applicant: Host Hotels & Resorts, Inc
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 23, 2014
 Plan Commission: November 20, 2014

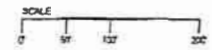
LANDSCAPE PLAN (SUBAREA A)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



NOTE:
 1. FOR GREEN ROOF PLANS REFER TO ENLARGED PLANS.

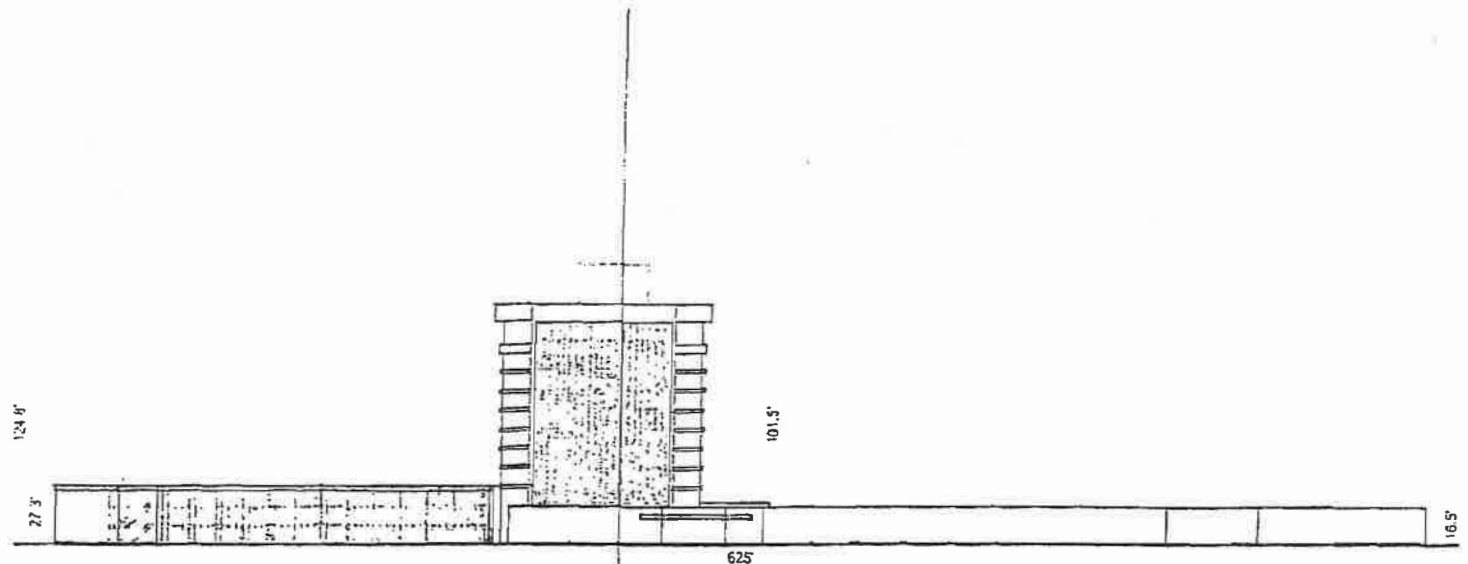
LEGEND:

- PROPOSED NEW TREE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- LIMIT OF EXISTING AREA TO REMAIN - NO CHANGE

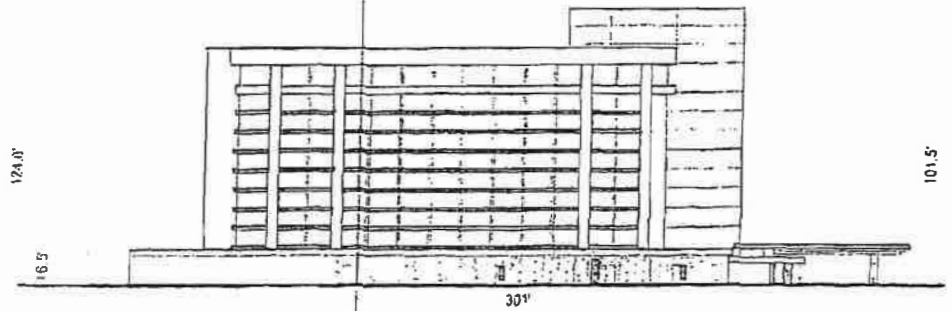


Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd. Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014

LANDSCAPE PLAN (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



SOUTH ELEVATION



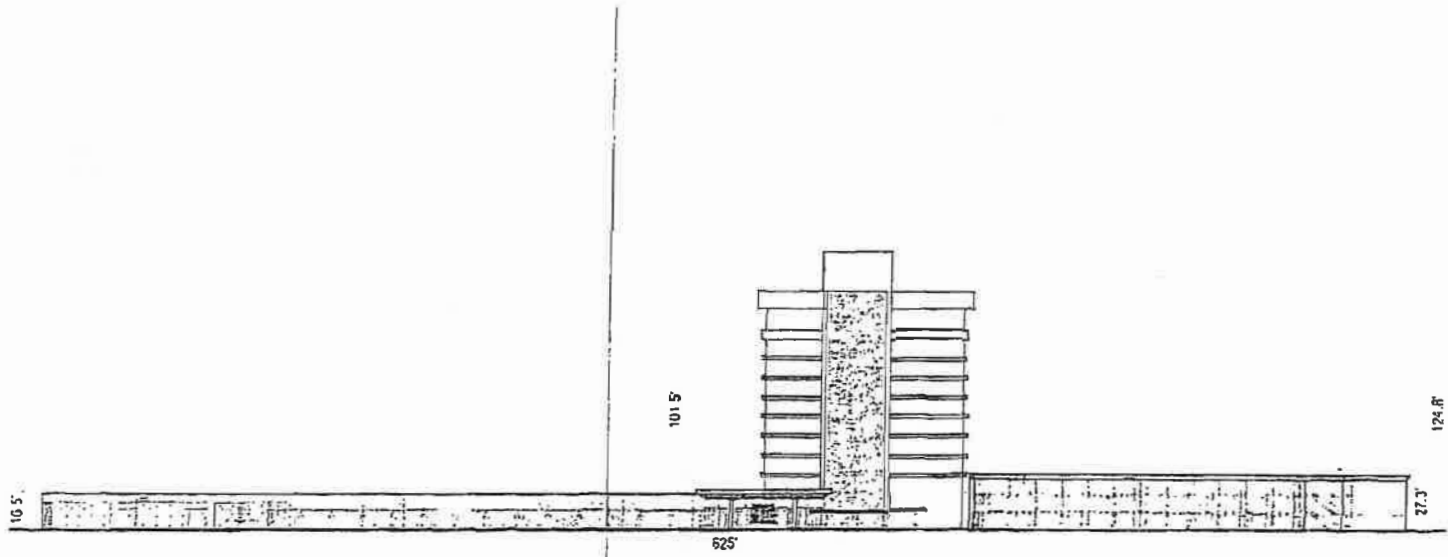
EAST ELEVATION



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014

EXISTING CHICAGO MARRIOTT O'HARE HOTEL (SUBAREA A)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44

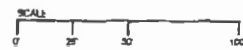




NORTH ELEVATION



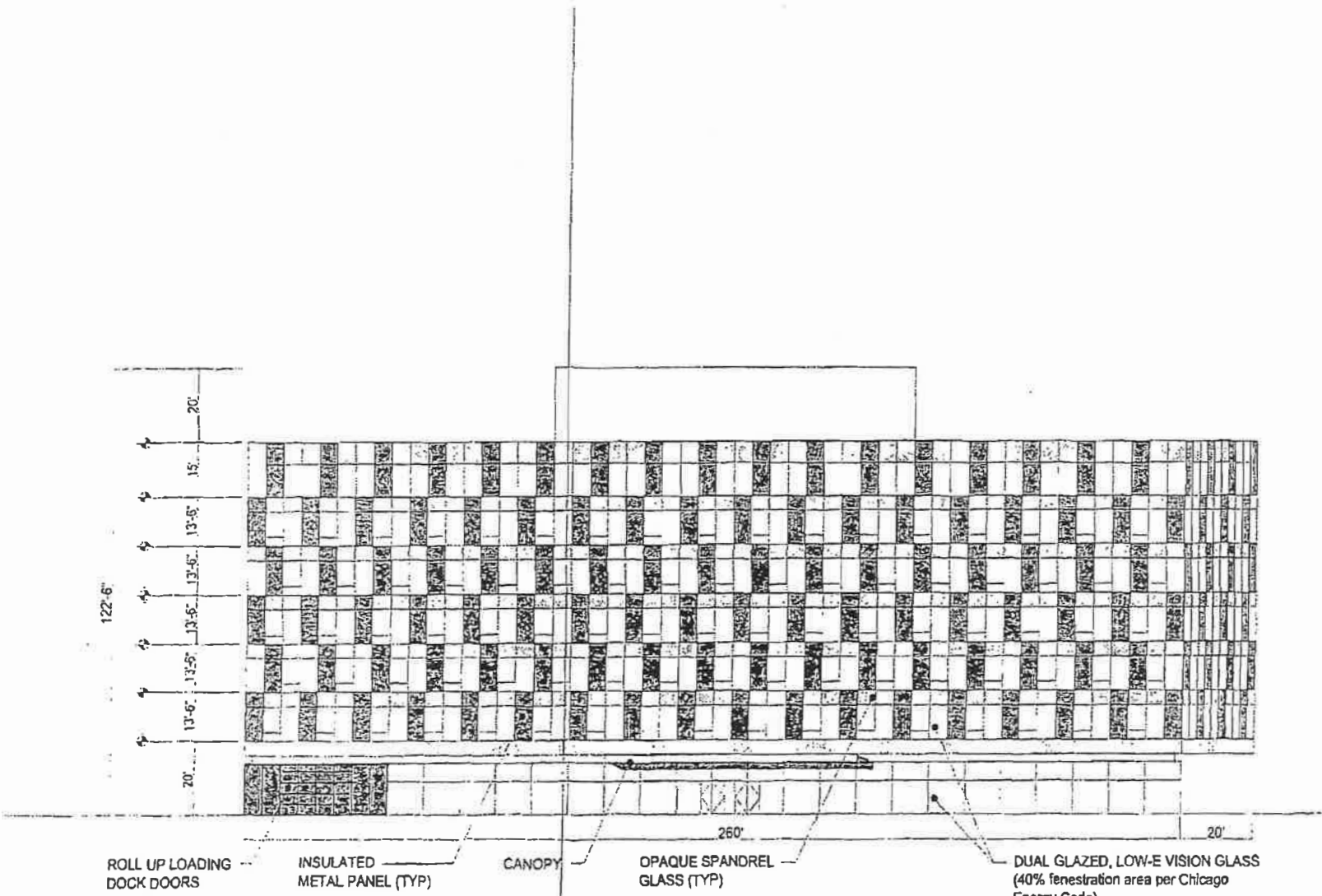
WEST ELEVATION



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014

EXISTING CHICAGO MARRIOTT O'HARE HOTEL (SUBAREA A)
CHICAGO MARRIOTT O'HARE
AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



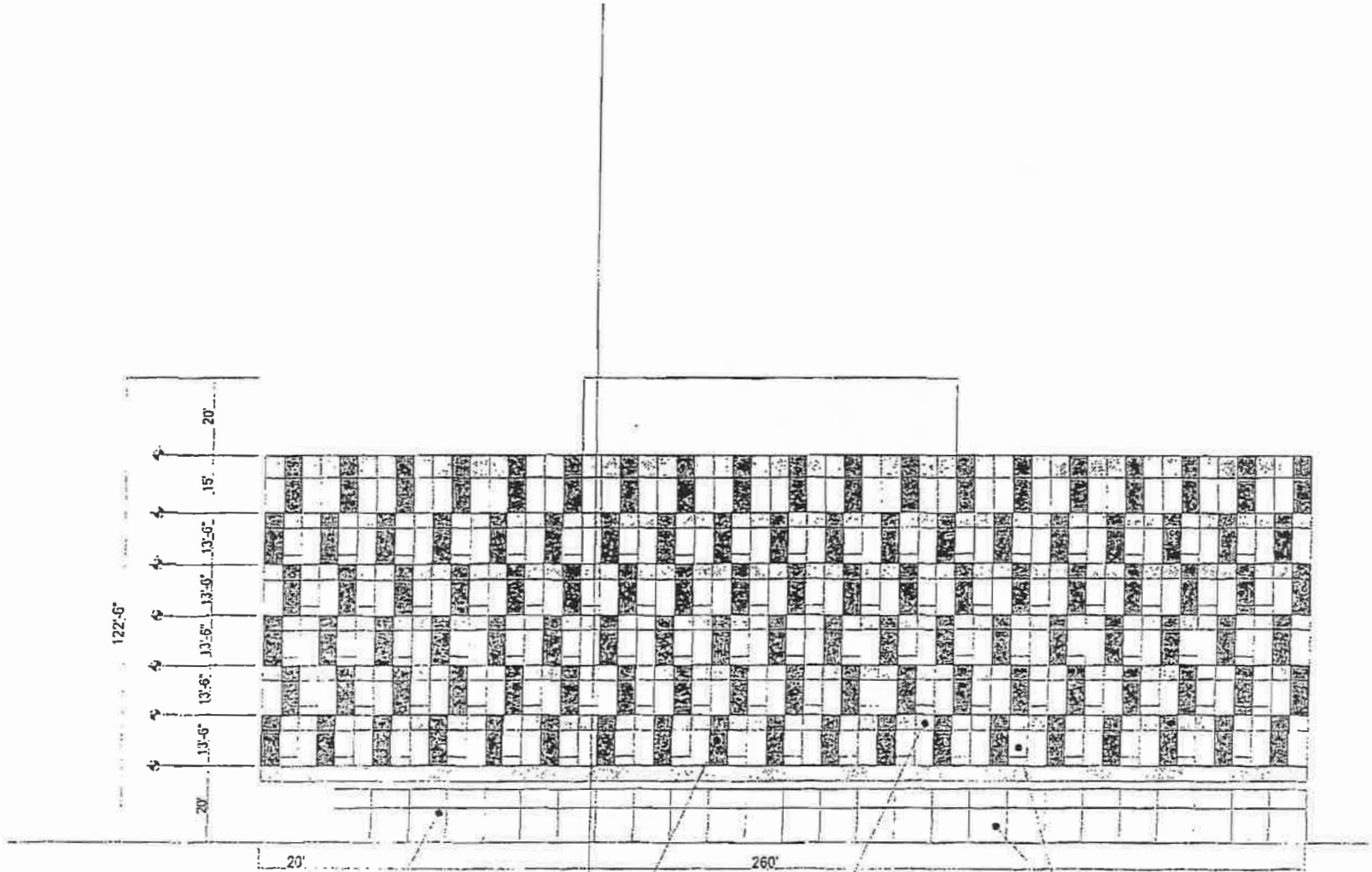


PROPOSED OFFICE A - SOUTH ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014



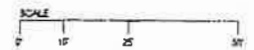


DUAL GLAZED, LOW-E VISION GLASS
 (40% fenestration area per Chicago
 Energy Code)

INSULATED
 METAL PANEL (TYP)

OPAQUE SPANDREL
 GLASS (TYP)

DUAL GLAZED, LOW-E VISION GLASS
 (40% fenestration area per Chicago
 Energy Code)

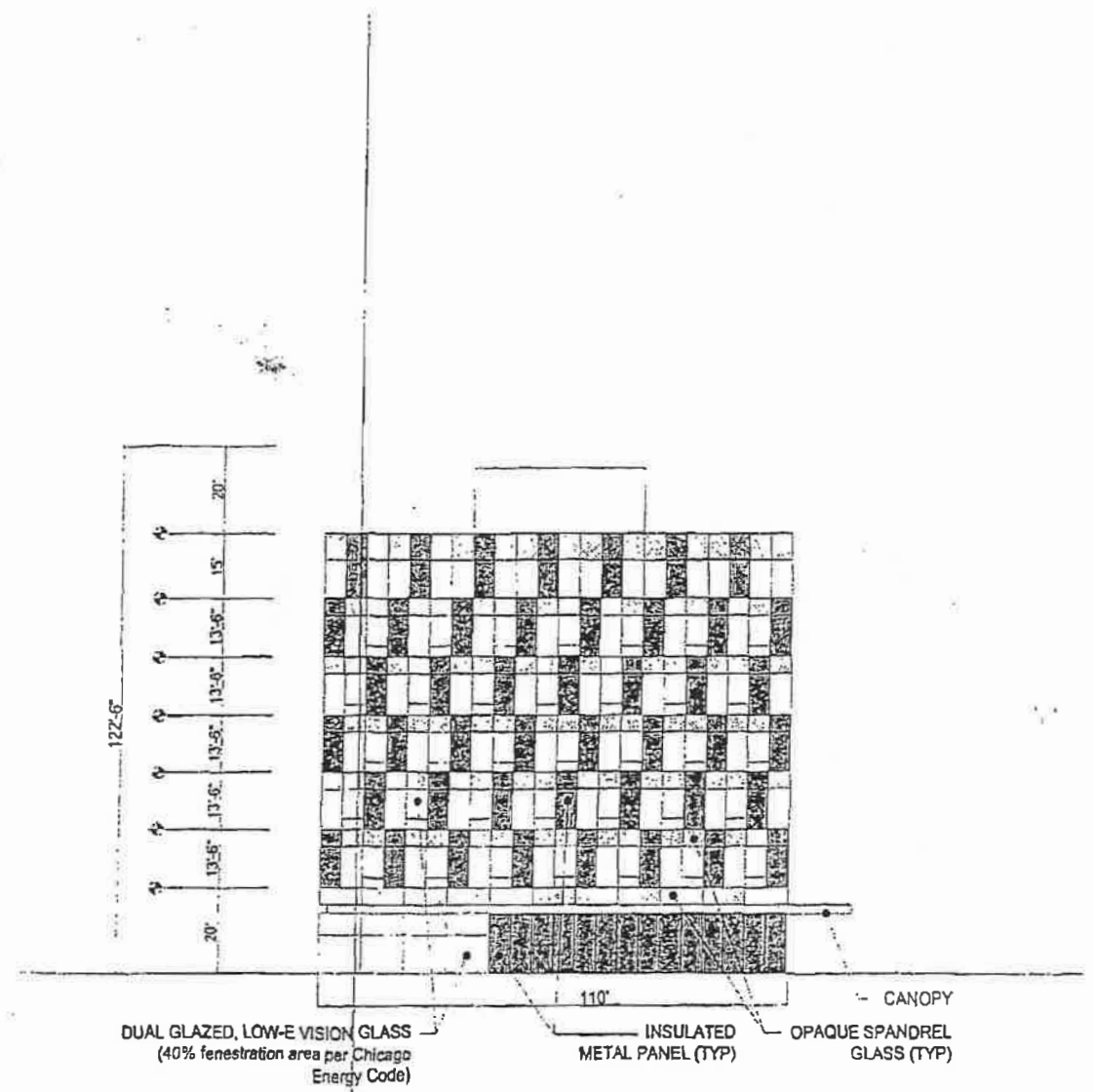


PROPOSED OFFICE A - NORTH ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd. Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014





DUAL GLAZED, LOW-E VISION GLASS
 (40% fenestration area per Chicago Energy Code)

INSULATED METAL PANEL (TYP)

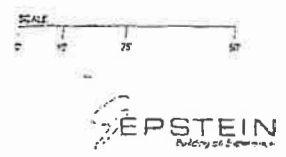
CANOPY

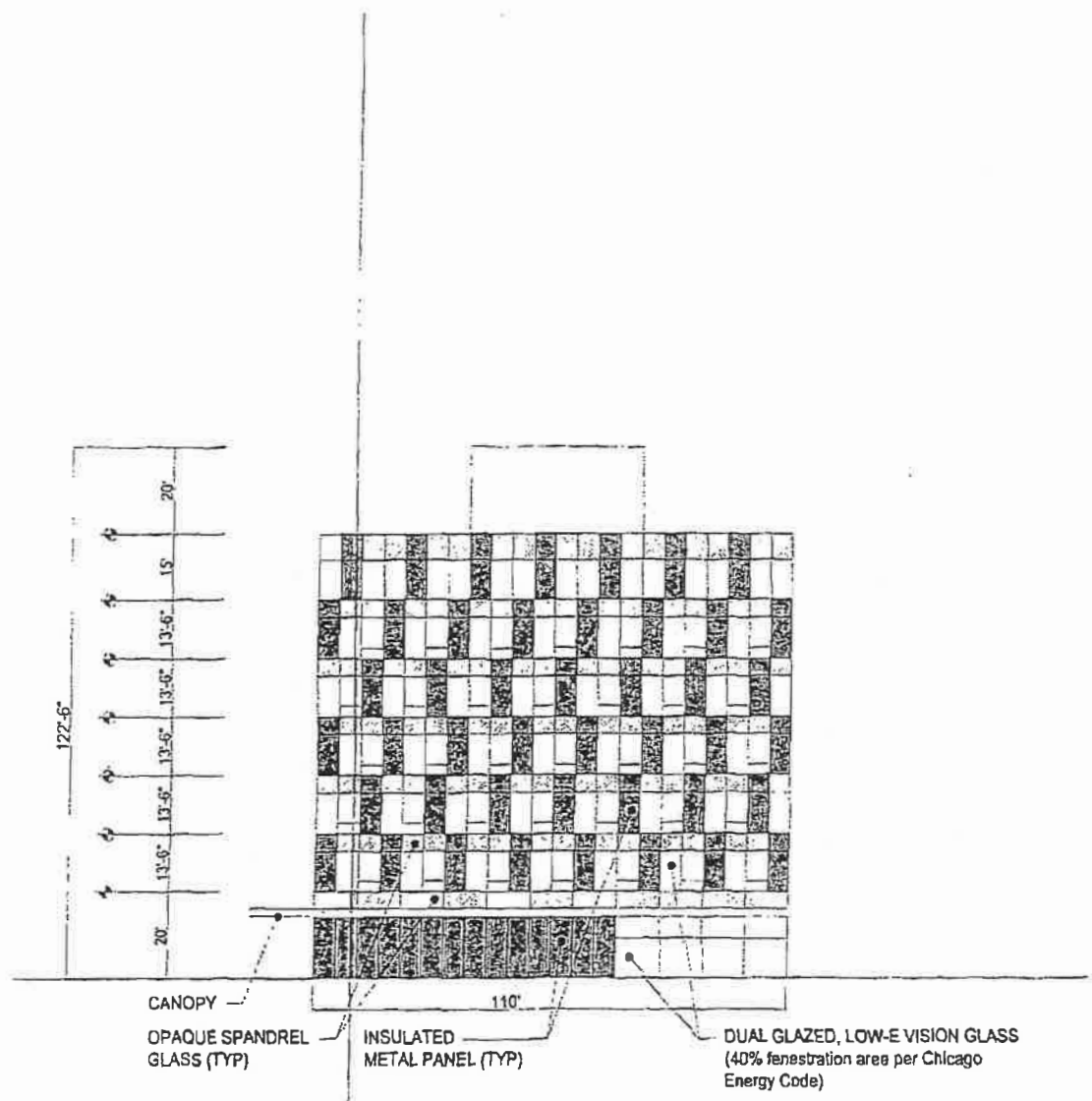
OPAQUE SPANDREL GLASS (TYP)

PROPOSED OFFICE A - WEST ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014



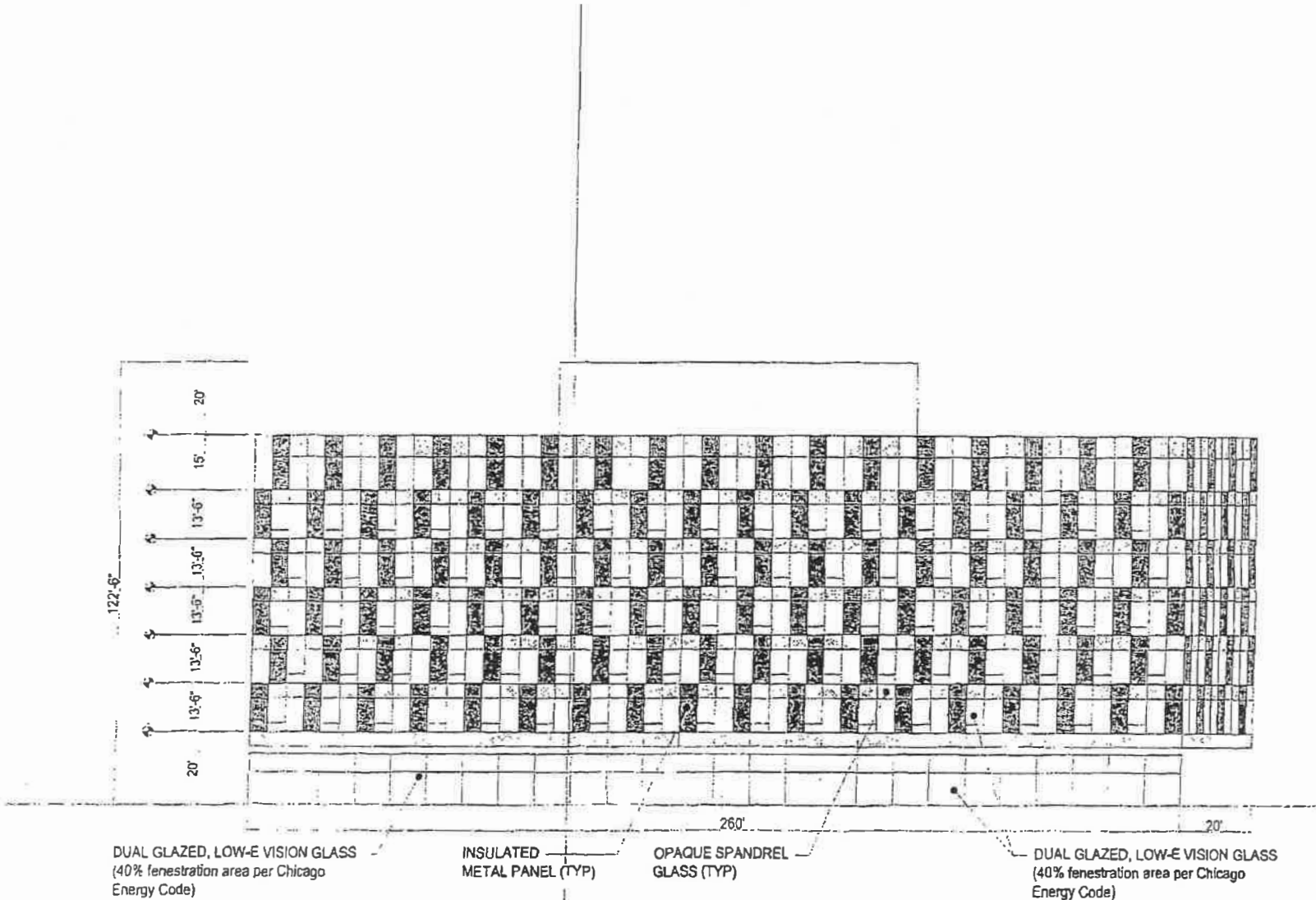


PROPOSED OFFICE B - SOUTH ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014



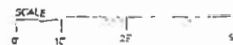
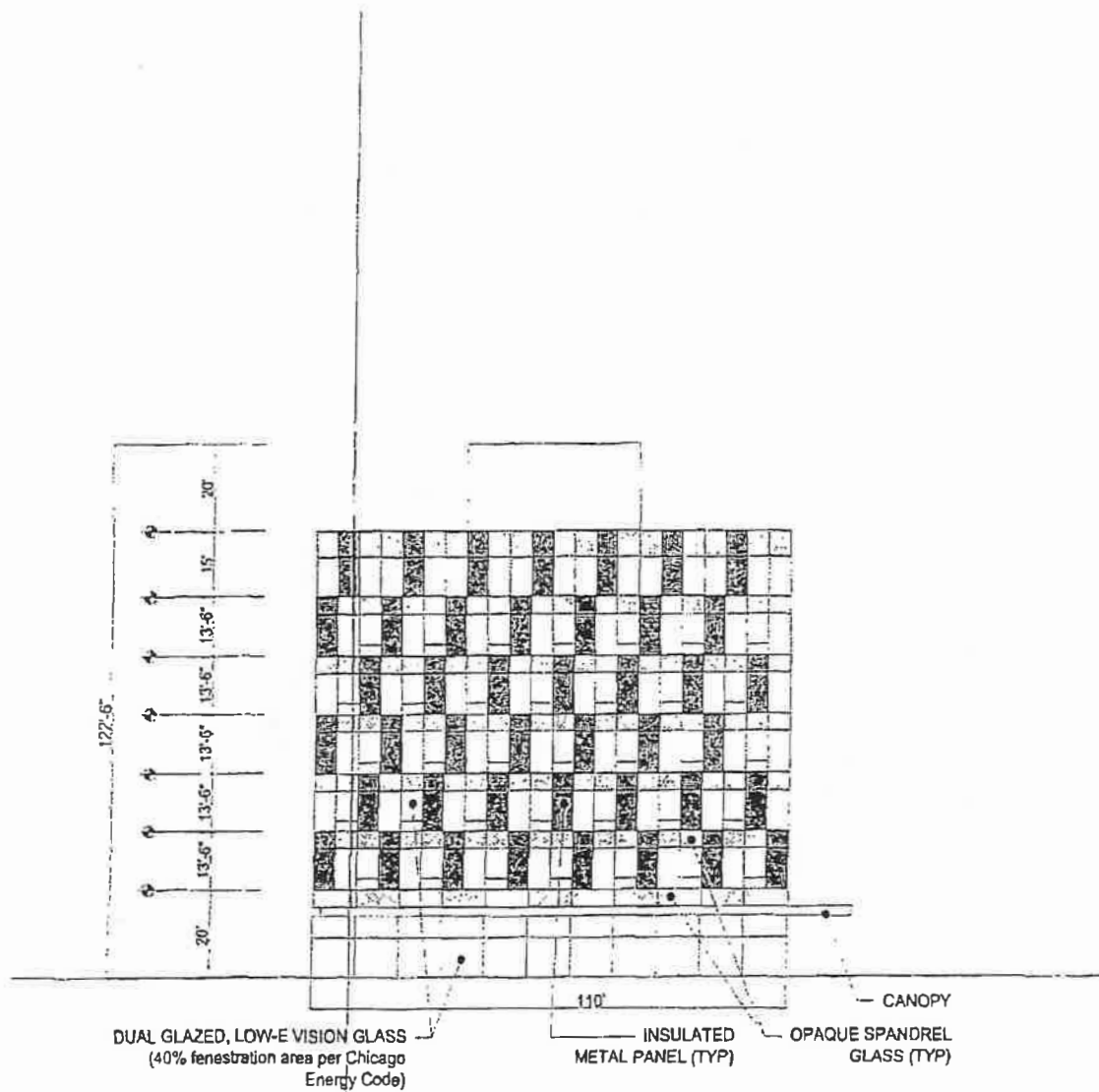


PROPOSED OFFICE B - EAST ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014



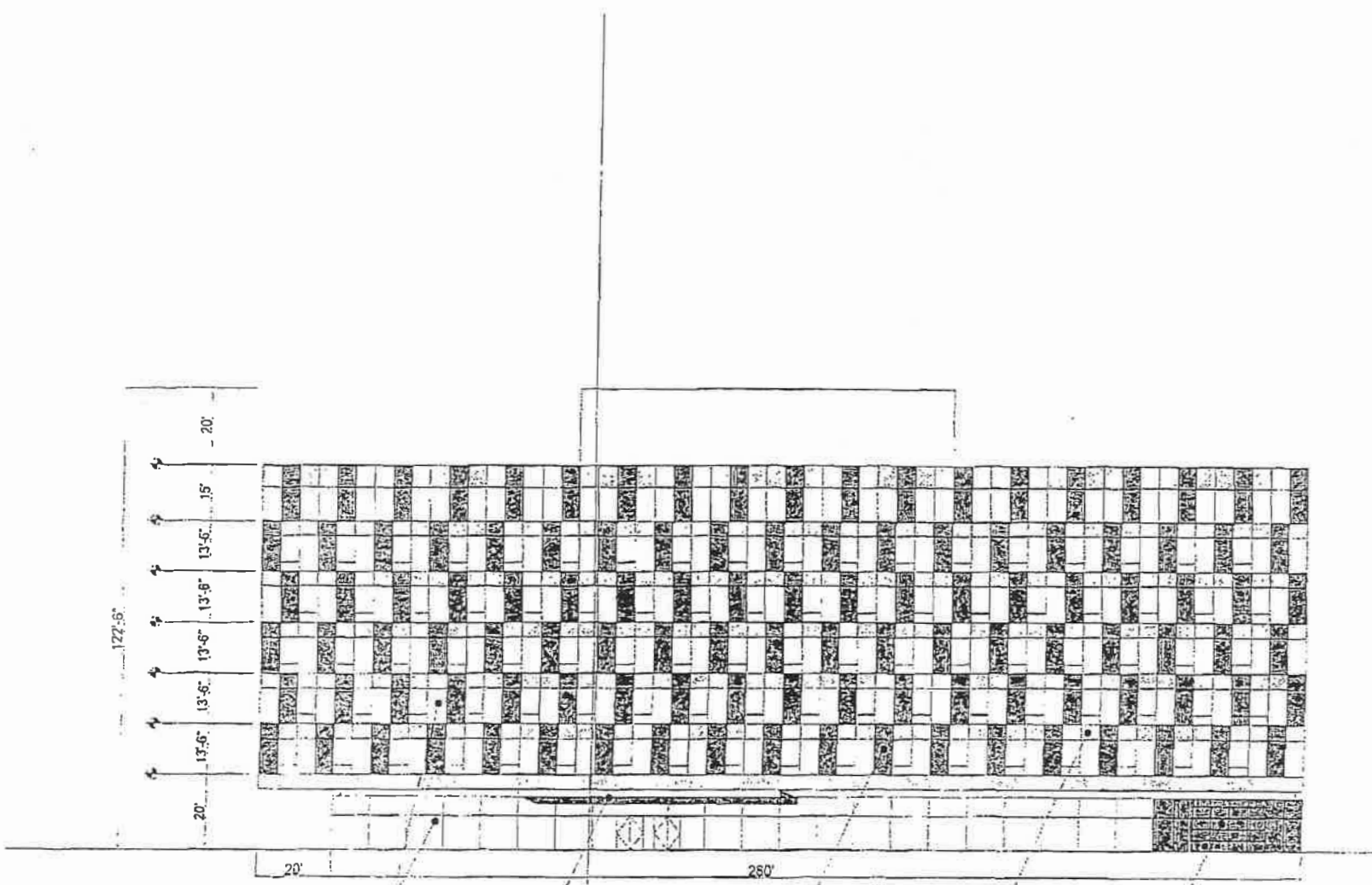


PROPOSED OFFICE B - NORTH ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd., Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014





DUAL GLAZED, LOW-E VISION GLASS
 (40% fenestration area per Chicago
 Energy Code)

CANOPY

INSULATED
 METAL PANEL (TYP)

OPAQUE SPANDREL
 GLASS (TYP)

ROLL UP LOADING
 DOCK DOORS



PROPOSED OFFICE B - WEST ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014

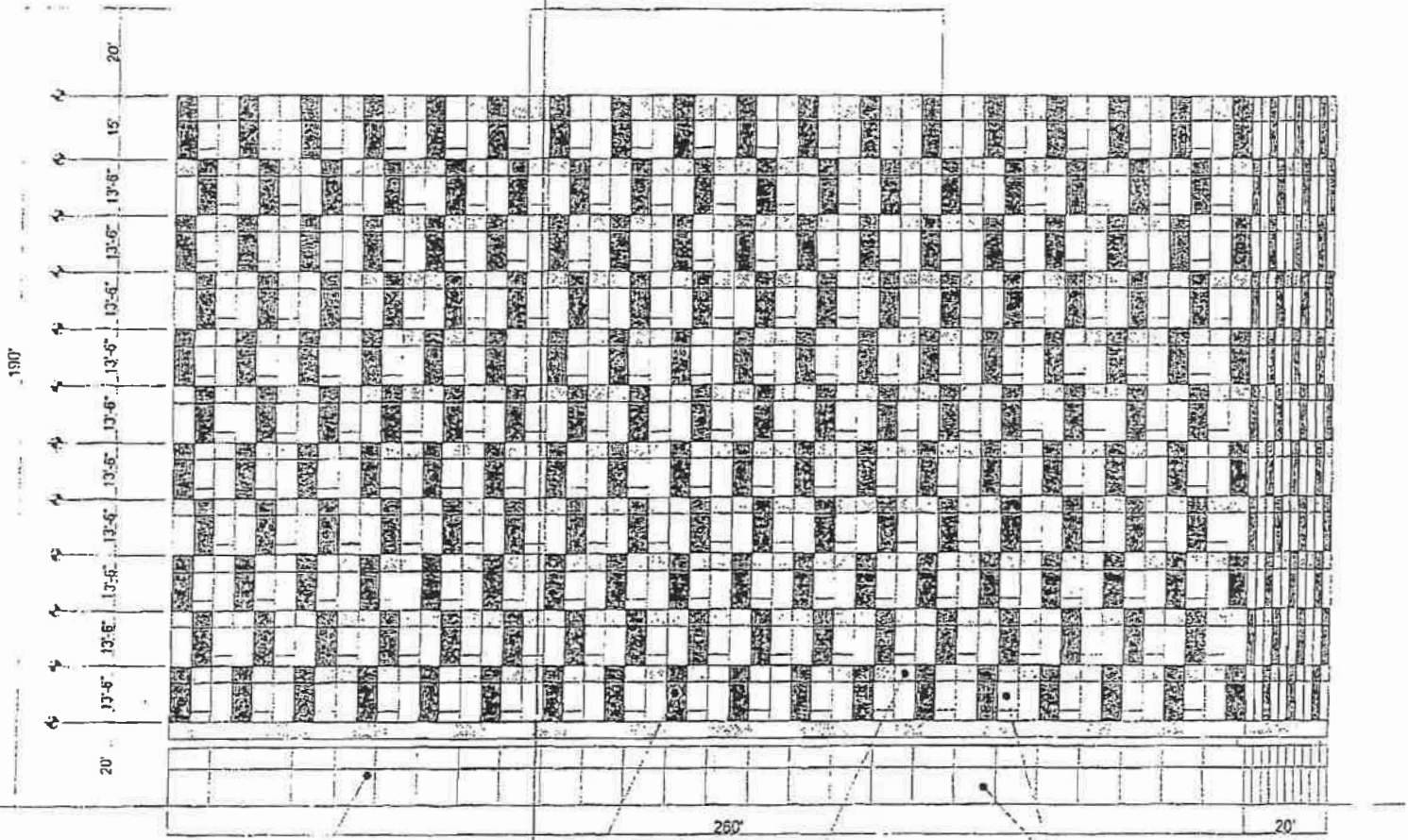


FINAL FOR SUBMISSION

12/10/2014

REPORTS OF COMMITTEES

101019



DUAL GLAZED, LOW-E VISION GLASS
 (40% fenestration area per Chicago
 Energy Code)

INSULATED
 METAL PANEL (TYP)

OPAQUE SPANDREL
 GLASS (TYP)

DUAL GLAZED, LOW-E VISION GLASS
 (40% fenestration area per Chicago
 Energy Code)

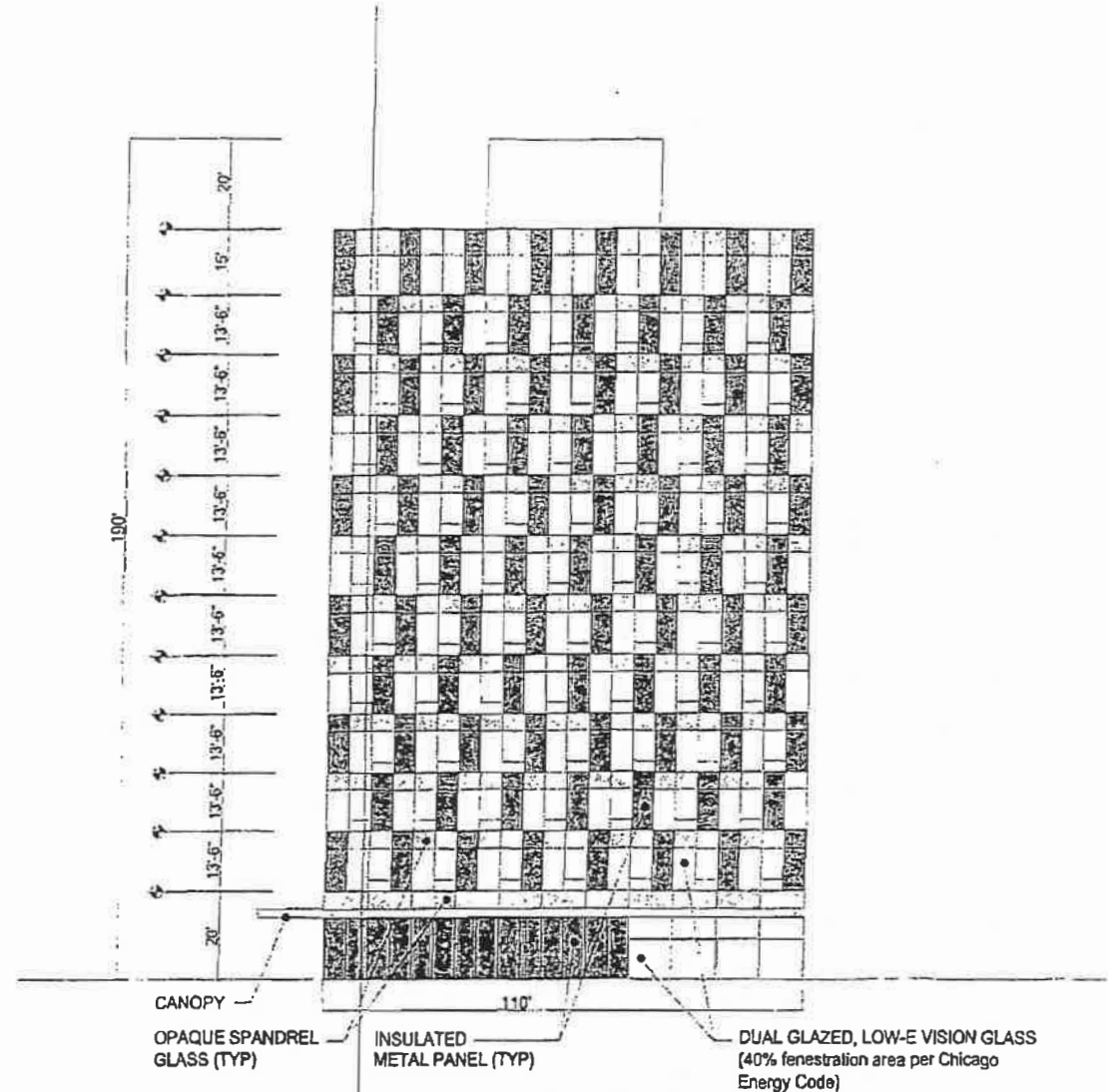


PROPOSED OFFICE C - SOUTH ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014

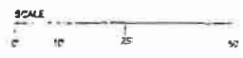


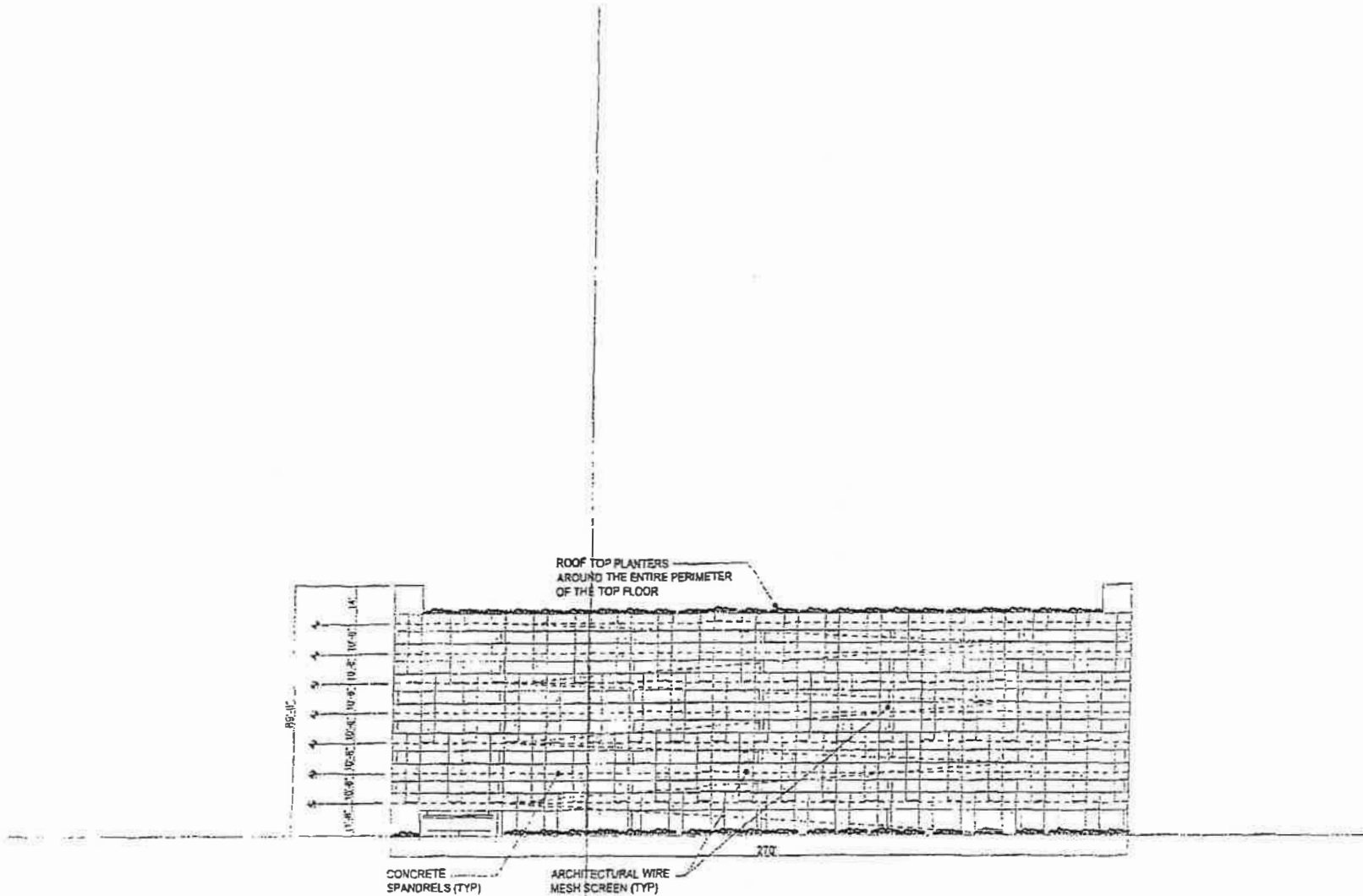


PROPOSED OFFICE C - WEST ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014



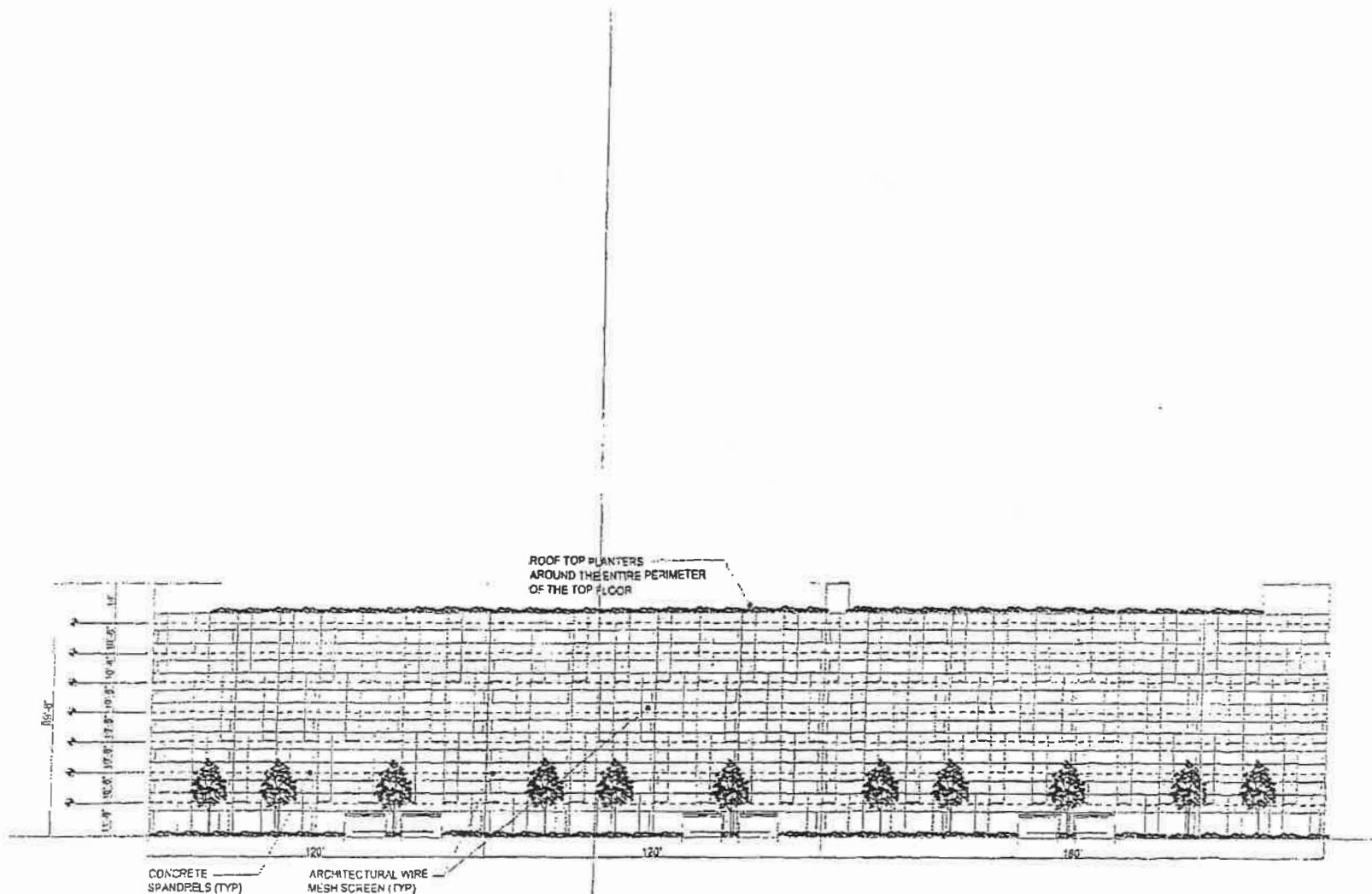


PROPOSED GARAGE - SOUTH ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014



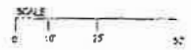
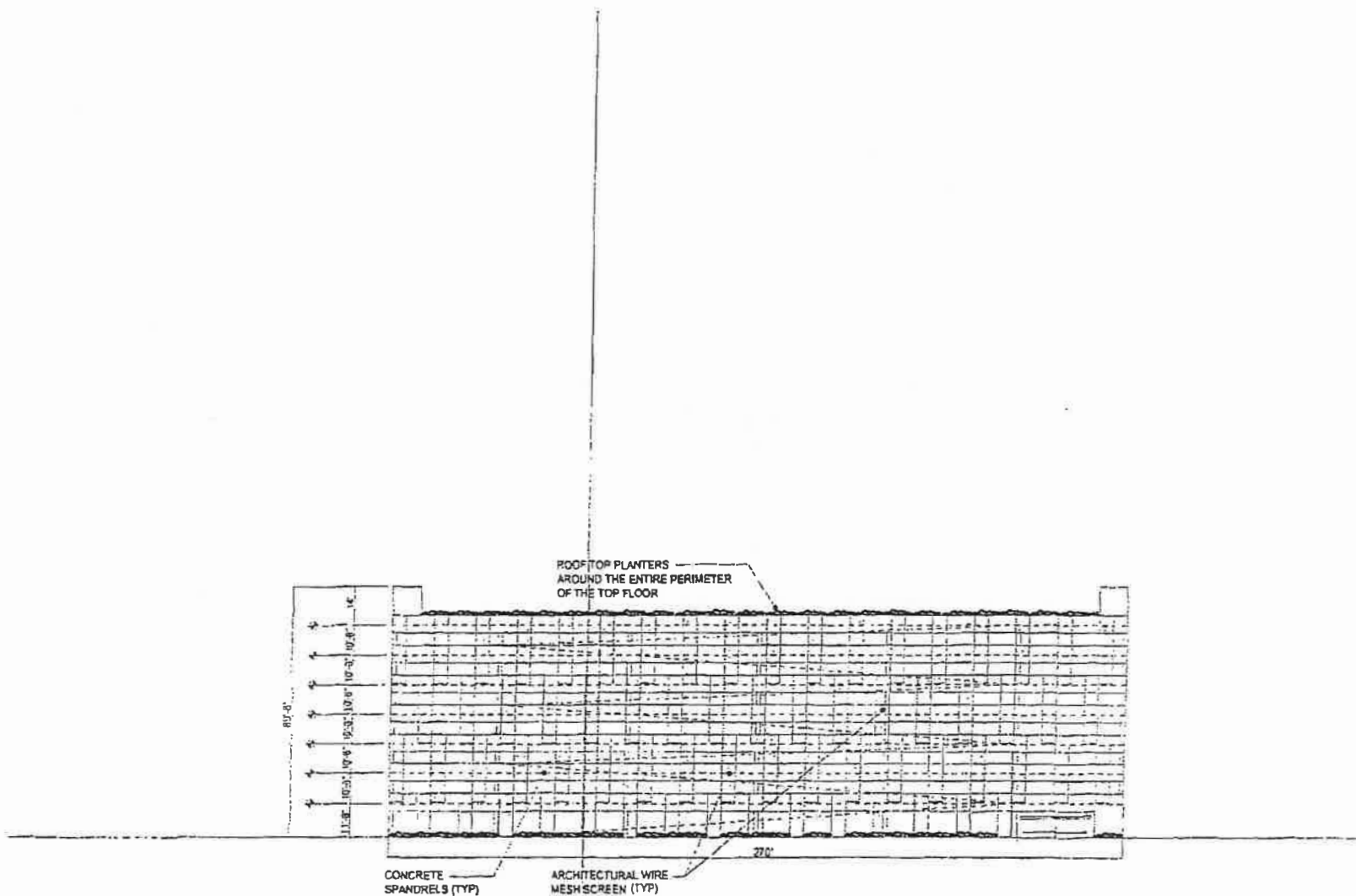


PROPOSED GARAGE - EAST ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 5535 West Higgins Rd., Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014



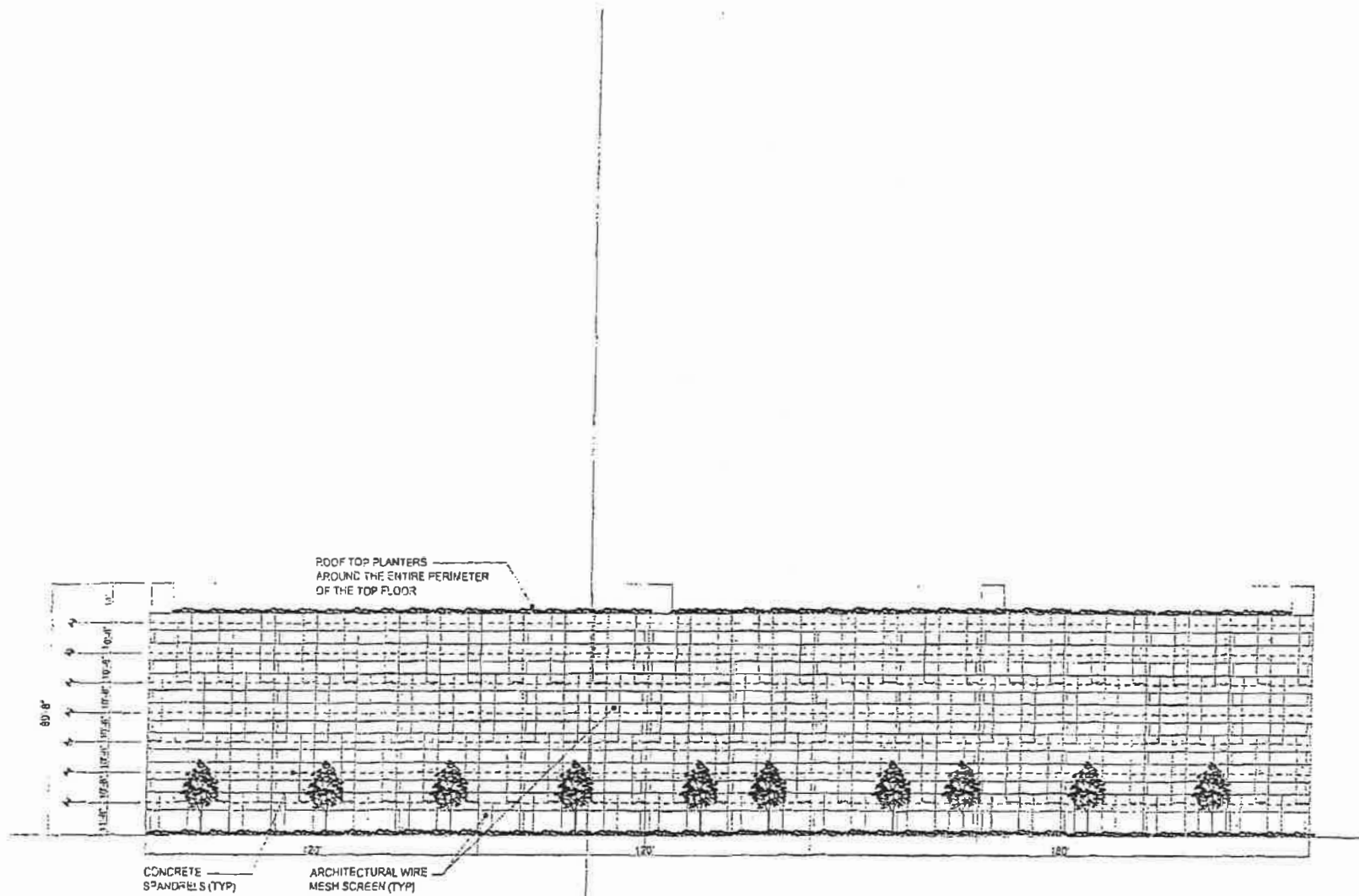


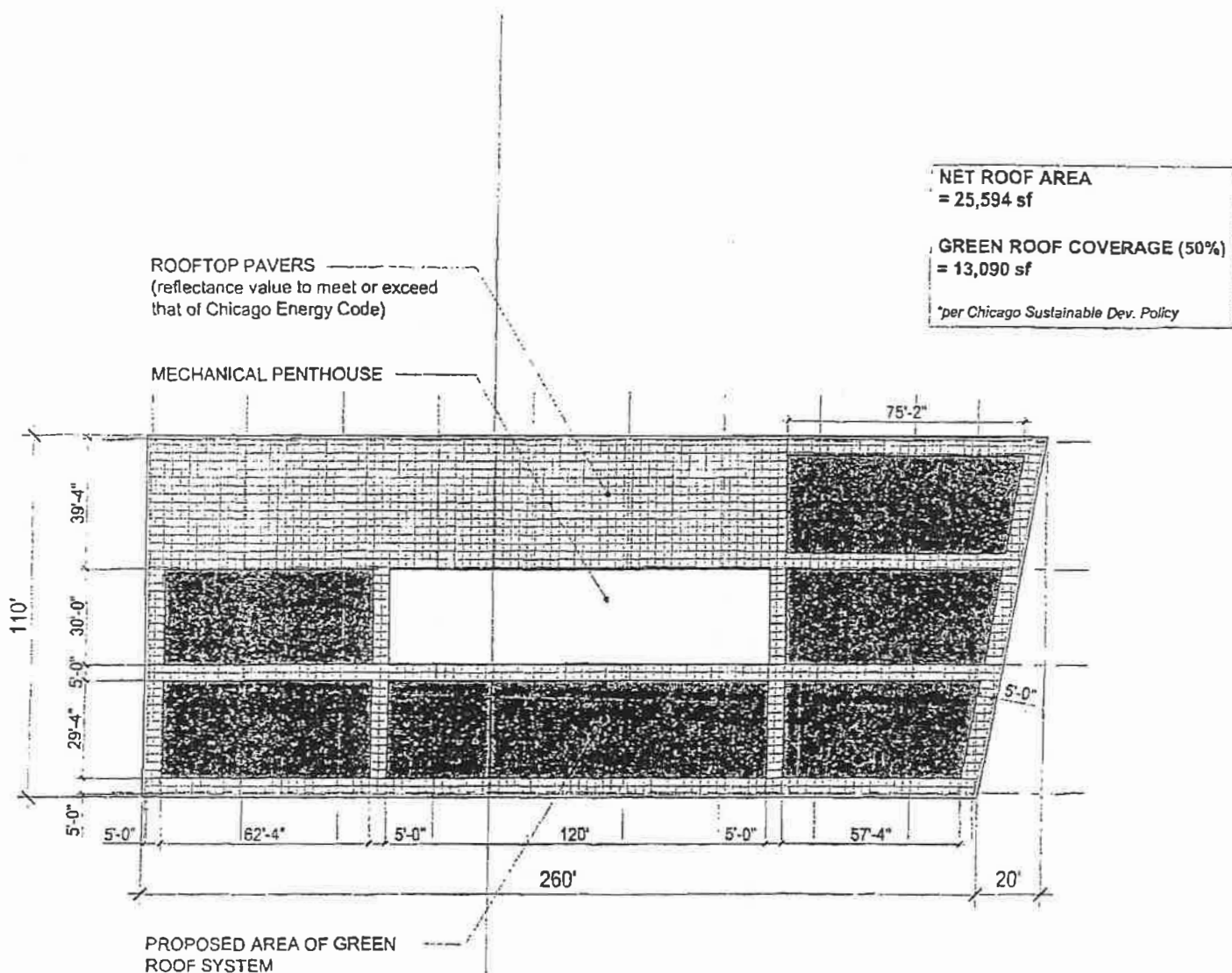
PROPOSED GARAGE - NORTH ELEVATION (SUBAREA B)
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



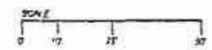
Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014





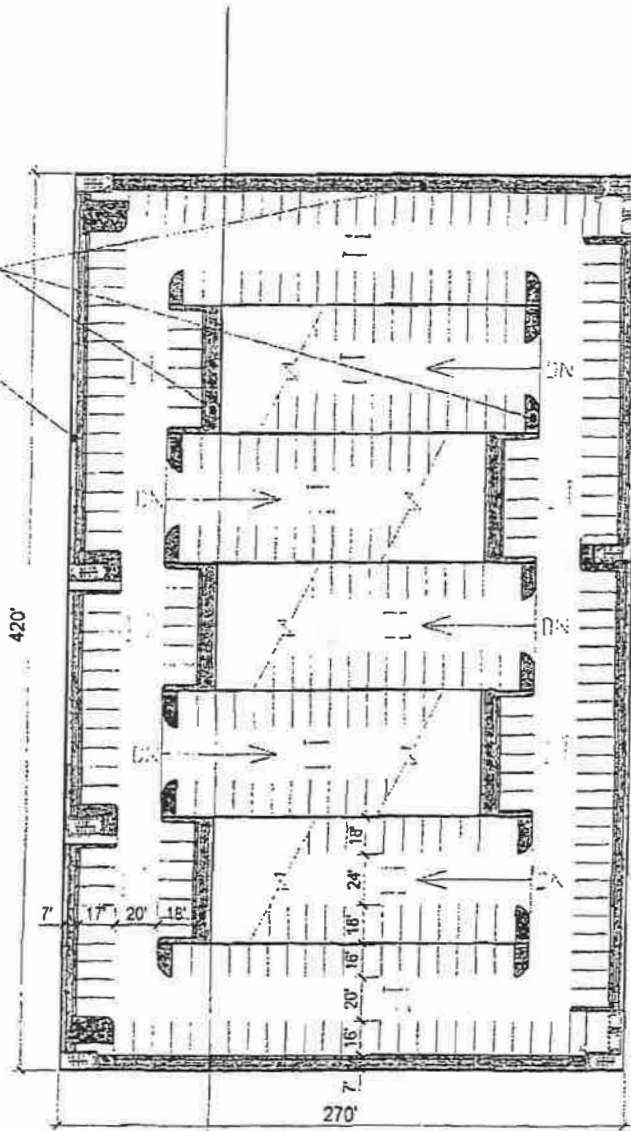


GREEN ROOF PLAN - TYP. FOR ALL PROPOSED OFFICE BLDGS
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address: 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014

GREEN ROOF (TYP.)
ROOF TOP PLANTERS
AROUND THE ENTIRE
PERIMETER OF THE TOP
FLOOR

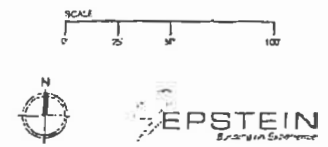


NET ROOF AREA
= 113,400 sf

GREEN ROOF COVERAGE (10%)
= 11,340 sf

**per Chicago Landscape Ordinance*

GREEN ROOF PLAN - PROPOSED GARAGE
CHICAGO MARRIOTT O'HARE
 AMENDMENT TO BUSINESS PLANNED DEVELOPMENT NO. 44



Applicant: Host Hotels & Resorts, Inc.
 Address 8535 West Higgins Rd, Chicago, IL
 Date Introduced: May 28, 2014
 Plan Commission: November 20, 2014





City of Chicago
Richard M. Daley, Mayor

Department of Housing
and Economic Development

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190 (Voice)
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

February 25, 2011

Ted Wolff
Principal
Wolff Landscape Architecture
307 North Michigan Avenue
Suite 601
Chicago, Illinois 60601

**Re: Administrative Relief request for Business Planned Development
No. 44, Marriott O'Hare Hotel, West Higgins Road**

Dear Mr. Wolff:

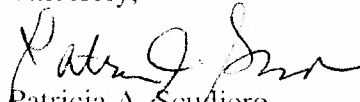
Please be advised that your request for a minor change to Business Planned Development No. 44 has been considered by the Department of Housing and Economic Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance.

You are requesting to replace the required ornamental metal fence with shrubs and flowers along the north side of the property, between the existing surface parking lot and West Higgins Road.

With regard to your request, the Department of Housing and Economic Development has determined that allowing this substitution would create an adverse impact on the Planned Development and surrounding neighborhood and therefore, would not constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Planned Development No. 44, I hereby deny the foregoing substitution.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS: HG: tm

C: Mike Marmo, Erik Glass, Ron Daye, Main file



6/84

9/6/84

REPORTS OF COMMITTEES

8841

W. Devon Avenue; N. Milwaukee Avenue; N. Nagle Avenue; W. Palatine Avenue; and the alley next east of and parallel to N. Neenah Avenue or the line thereof, if extended, where no alley exists,

B2-2 area

61st

reby

and

C1-1 area

mark the l to N.

it is

and

R2 s as

to the designation of a Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

[Business Planned Development printed on pages 8842 thru 8849 of this Journal.]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 15-P.

PD 44

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business Planned Development No. 44 symbols and indications as shown on Map No. 15-P in the area bounded by

W. Higgins Road; a line from a point 1810.18 feet east of the center line of N. East River Road along the south line of W. Higgins Road to a point 276.21 feet south of W. Higgins Road and 1730.82 feet east of the center line of N. East River Road; a line 1730.82 feet east of the center line of N. East River Road; the north line of the right-of-way of the John Fitzgerald Kennedy Expressway; and a line 655 feet east of the center line of N. East River Road,

to the designation of Business Planned Development No. 44, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

[Business Planned Development printed on pages 8850 thru 8855 of this Journal.]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 16-N.

Be It Ordained by the City Council of the City of Chicago:

(Continued on page 8856)

PLAN OF DEVELOPMENTBUSINESS PLANNED DEVELOPMENTNO. 44, AS AMENDEDSTATEMENT

1. The area delineated hereon as "Business Planned Development" is owned or controlled by:
MARRIOTT CORPORATION
2. The height restriction of any building or any appurtenance attached hereto shall be subject to:
 - a. height limitations as certified on Form FAA-117, or successor forms involving the same subject matter, and approved by the Federal Aviation Administration: and
 - b. airport zoning regulations as established by the Department of Planning, City and Community Development, Department of Aviation, and Department of Law, as approved by the City Council.
3. Off-street parking and loading facilities shall be provided in compliance with this Plan of Development as authorized by the B5 General Service District classification of the Chicago Zoning Ordinance.
4. Any service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles; there shall be no parking within such paved areas. Fire lanes, if required, shall be adequately designed and paved in compliance with the Municipal Code of Chicago and shall have a minimum width of 18 feet to provide ingress and egress for emergency vehicles; there shall be no parking within such paved areas.
5. All applicant official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees.
6. Use of land will consist of hotel, Earth station receiving dish, Restaurants, and related auxiliary uses and Parking in Sub-Area A, and business office occupancy and related uses in Sub-Area B.
7. Identification signs may be permitted within the area delineated herein as Business Planned Development, subject to the review and approval of the Department of Buildings and the Department of Planning.
8. The following information sets forth data concerning the property included in said Planned Development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to a B5 General Service District classification and with the regulations hereby made applicable thereto.

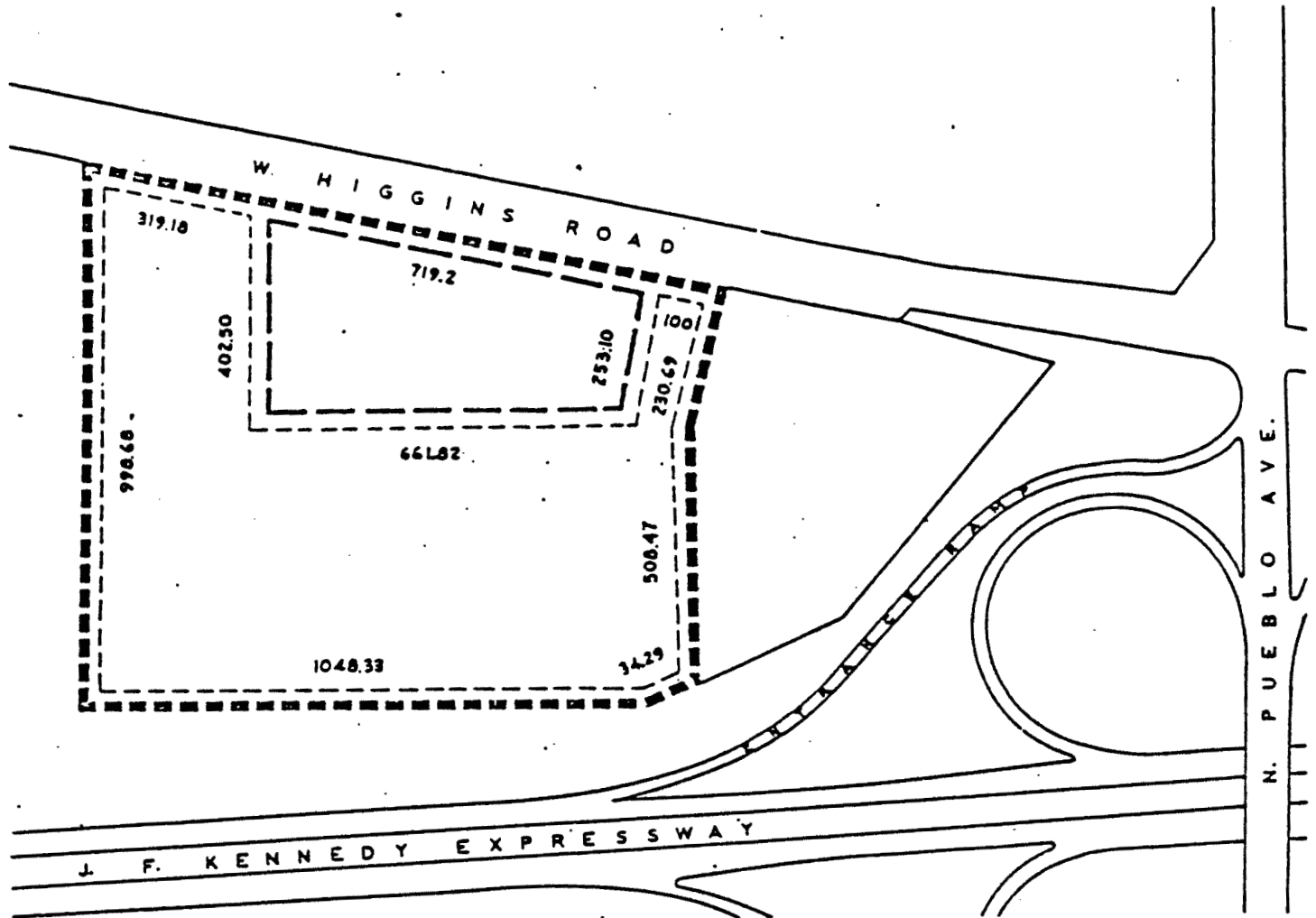
-2-

9. The Plan of Development hereby attached shall be subject to the "Rules, Regulations, and Procedures in relation to Planned Development Amendments, as adopted by the Commissioner of Development and Planning."

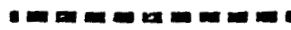
Applicant: Marriott Corporation Date: March 26, 1984

BUSINESS PLANNED DEVELOPMENT No. 44 AS AMENDED

PROPERTY LINE MAP AND RIGHT OF WAY ADJUSTMENTS



Planned Development Boundary



MARRIOTT CORP. BOUNDARY



MARRIOTT CORP. BOUNDARY



SCALE
1" = 300'

Applicant: MARRIOTT CORPORATION

Date: March 26, 1984

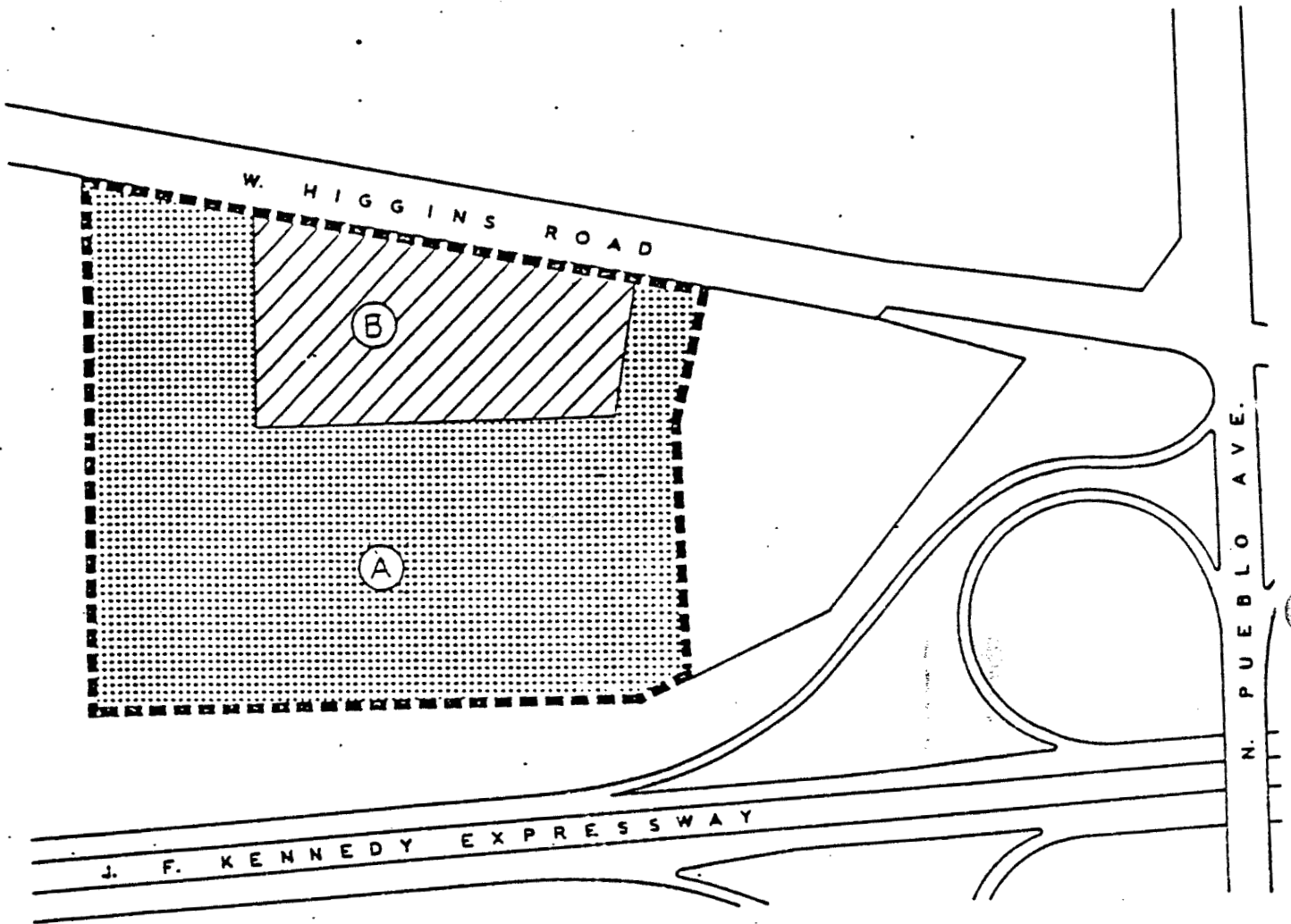
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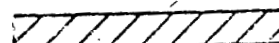
REPORTS OF COMMITTEES

8853

BUSINESS PLANNED DEVELOPMENT NO. 44 AS AMENDED

GENERALIZED LAND USE PLAN



- Planned Development Boundary 
- A Sub-Area 
- Hotel and Auxillary Uses 
- Office and Auxillary Uses 



SCALE
1" = 300'

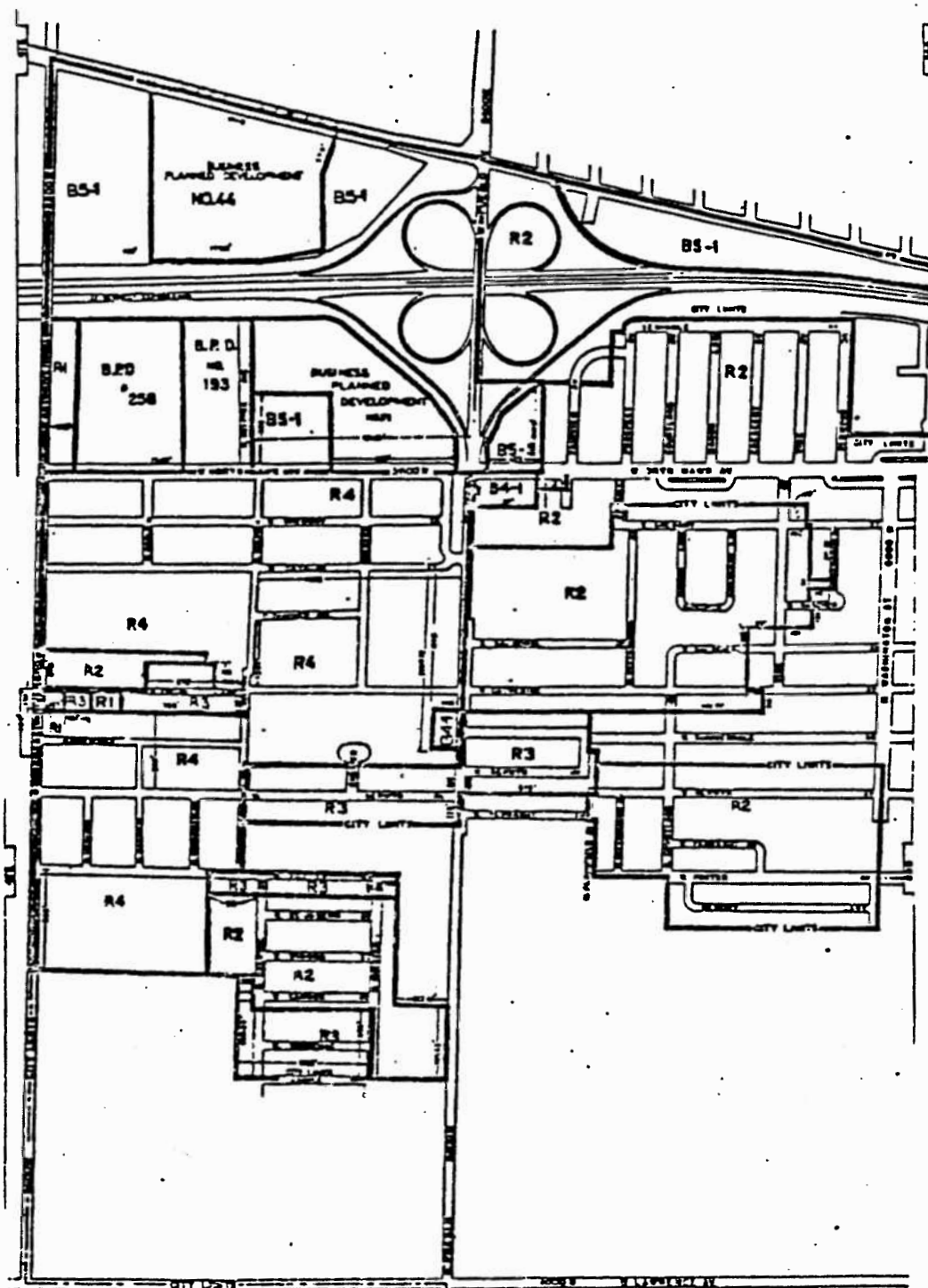
Applicant: MARRIOTT CORPORATION

Date: March 26, 1984

BUSINESS PLANNED DEVELOPMENT

NO. 44 AS AMENDED

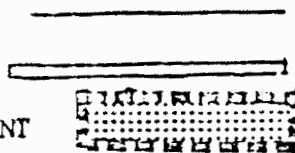
EXISTING ZONING AND PREFERENTIAL STREET SYSTEM



ZONING DISTRICTS

PREFERENTIAL STREETS

PROPOSED PLANNED DEVELOPMENT



Applicant: Marriott Corporation

Date: March 26, 1984

BUSINESS PLANNED DEVELOPMENTPLANNED DEVELOPMENT USE AND BULK REGULATIONS

SUB-AREA	NET SITE AREA		GENERAL DESCRIPTION OF LAND USE	MAX. F.A.R.	MAX. % OF LAND COVERED
	SQ.FT.	ACRES			
A	724,125	16.63	Hotel, Earth station dish, Restaurant, Parking & Related uses.	0.85	25
B	223,897	5.14	Business Units & Related Uses.	1.2	15
	948,022	21.77			

GROSS SITE AREA = NET SITE AREA: 21.17 ACRES

MAXIMUM FLOOR AREA RATIO (for total area): 1.2

OFF-STREET PARKING AND OFF-STREET LOADING REQUIREMENTS FOR PROPOSED HOTEL, RESTAURANT, AND RELATED USES, AND OFFICE AND RELATED USES SHALL BE PROVIDED AS AUTHORIZED BY THE B5 GENERAL SERVICE DISTRICT CLASSIFICATION OF THE CHICAGO ZONING ORDINANCE.

PERIPHERAL SETBACK AND MINIMUM DISTANCE BETWEEN BUILDINGS REQUIREMENTS SHALL BE PROVIDED AS AUTHORIZED BY THE B5 GENERAL SERVICE DISTRICT CLASSIFICATION OF THE CHICAGO ZONING ORDINANCE.

MAXIMUM PER CENT OF LAND COVERED (for total area): 20 %.

Applicant: Marriott Corporation

Date: March 26, 1984

line of the right of way of the C.T.A.; and the alley next west of and parallel to S. Wabash Avenue.

to those of a C1-2 Restricted Commercial District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 14-I.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B4-1 Restricted Service District symbols and indications as shown on Map No. 14-I in the area bounded by

W. 59th Street; S. Albany Avenue; the alley next south of and parallel to W. 59th Street; and S. Troy Street,

to those of a B4-2 Restricted Service District, and a corresponding bulk district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 15-J.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B3-2 General Retail District symbols and indications as shown on Map No. 15-J in the area bounded by

W. Devon Avenue; N. McCormick Road; and N. Lincoln Avenue,

to those of a B5-2 General Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 15-J.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B3-2 General Retail District symbols and indications as shown on Map No. 15-J in the area bounded by

a line drawn from a point 179.85 feet northeast of N. Lincoln Avenue along the southeast line of N. McCormick Boulevard through a point 215 feet west of the west bank of the North Shore Channel and 843.70 feet north of N. Lincoln Avenue; a line 215 feet west of the west bank of the North Shore Channel; N. Lincoln Avenue; and N. McCormick Boulevard,

to those of a B5-2 General Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 15-P.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B5-1 General Serv-

ice District symbols and indications as shown on Map No. 15-P in the area bounded by

W. Higgins Road; a line from a point 1810.18 feet east of the center line of N. East River Road along the south line of W. Higgins Road to a point 276.21 feet south of W. Higgins Road and 1730.82 feet east of the center line of N. East River Road; a line 1730.82 feet east of the center line of N. East River Road; the north line of the right of way of the John Fitzgerald Kennedy Expressway; and a line 655 feet east of the center line of N. East River Road,

to the designation of a Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[The Plan of Development attached to this ordinance is printed on pages 8405-8410.]

Reclassification of Area Shown on Map No. 16-J.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R3 General Residence District symbols and indications as shown on Map No. 16-J in the area bounded by

W. 65th Place; a line 83 feet east of S. Pulaski Road; W. 66th Street; and S. Pulaski Road,

to those of a B4-1 Restricted Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 18-C.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the R4 General Residence District symbols and indications as shown on Map No. 18-C in the area bounded by

a line 100 feet north of E. 76th Street; the alley next east of and parallel to S. Jeffery Avenue; a line 95 feet north of E. 76th Street; and S. Jeffery Avenue,

to those of a B4-2 Restricted Service District, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 18-J.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B4-1 Restricted Service District symbols and indications as shown on Map No. 18-J in the area bounded by

W. 78th Street; S. Kedzie Avenue; a line 213.24 feet south of W. 78th Street; and the alley next west of and parallel to S. Kedzie Avenue,

to those of a B4-2 Restricted Service District, and a corresponding bulk district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

20 44

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Passed 1-20-6

PLAN OF DEVELOPMENT
BUSINESS PLANNED DEVELOPMENT

STATEMENT

1. The area delineated hereon as "Business Planned Development" is controlled as follows:

Sub-Area A. This area is controlled by the Marriott Motor Hotels, Inc., a Delaware corporation.

Sub-Area B. This area is controlled by Seay & Thomas, Inc.

2. The height restrictions for any building or any other appurtenance attached thereto shall be subject to height limitations as certified on Form FAA-117 and approved by the Federal Aviation Agency pursuant to Part 77 of the Regulations of the Administrator, Federal Aviation Agency.

3. Off-street parking and loading facilities shall be provided in compliance with this Plan of Development as authorized by the B5 General Service District classification of the Chicago Zoning Ordinance.

4. Service drives or any other ingress or egress shall be adequately designed and paved to provide ingress and egress for motor vehicles including emergency vehicles in compliance with the Municipal Code of Chicago. There shall be no parking within such paved areas.

5. All applicable official reviews, approvals, or permits are required to be obtained by the following for the respective Sub-Areas:

Sub-Area A. - Marriott Motor Hotels, Inc.

or its successor.

Sub-Area B. - Seay & Thomas, Inc. (the applicant)

or its successor.

6. Use of land will consist of hotel, restaurant and related auxiliary uses in Sub-Area A, and business office occupancy and related uses in Sub-Area B.

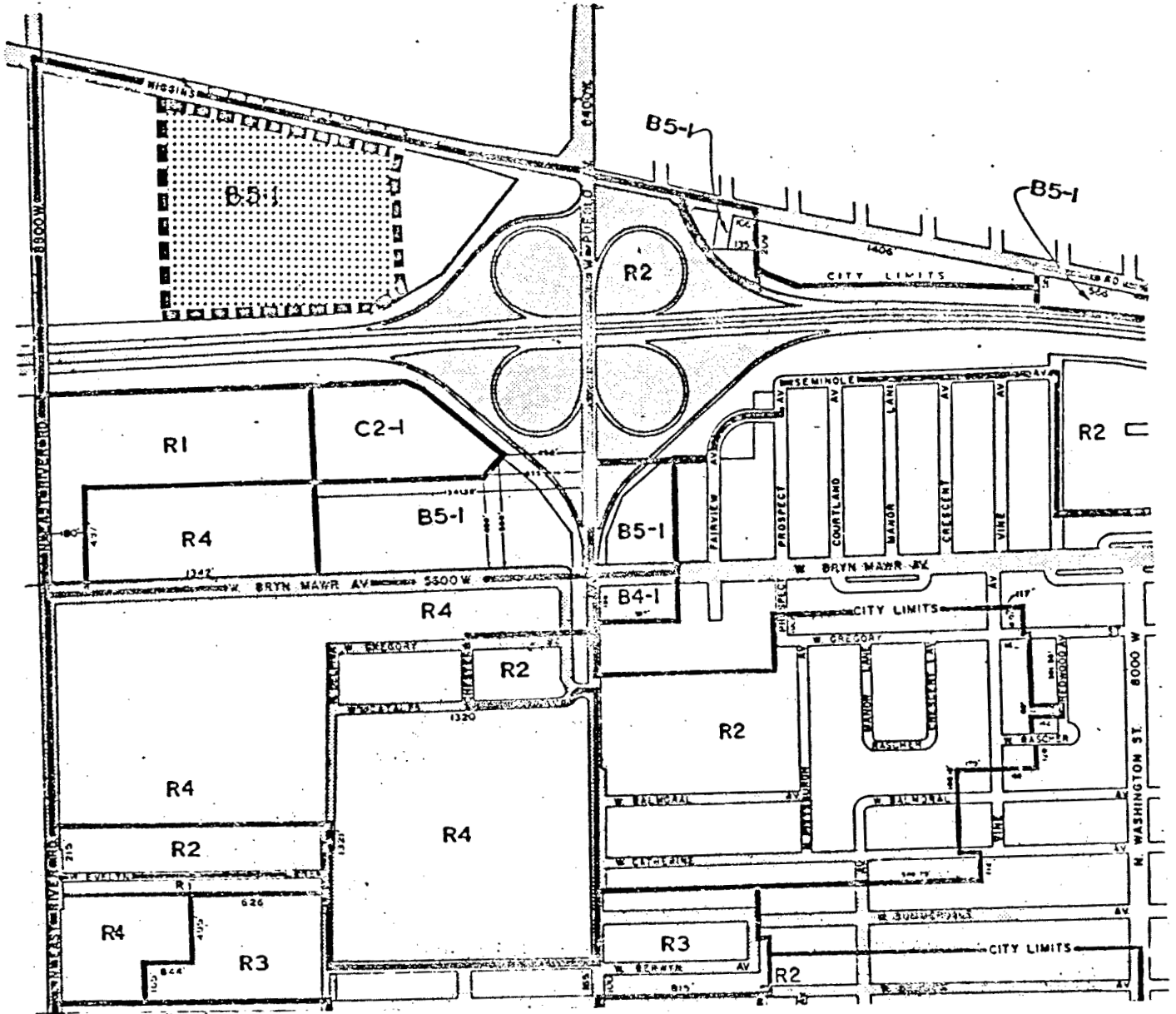
Any principal building or use, or related building or use permitted shall be in conformity with the Regulations of the Administrator, Federal Aviation Agency, and with all other applicable statutes, regulations and codes of the State of Illinois and the City of Chicago.

7. The following information sets forth data concerning the property included in said Planned Development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to a B5 General Service District classification and with the regulations hereby made applicable thereto.
8. The Plan of Development hereby attached shall be subject to the "Rules, Regulations, and Procedures in relation to Planned Development Amendments, as adopted by the Commissioner of Development and Planning."

Applicant: Sears & THOMAS, INC
Frederic Thomas Date: November 15, 1966

BUSINESS PLANNED DEVELOPMENT

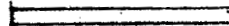
EXISTING ZONING AND PREFERENTIAL STREET SYSTEM



Zoning Districts



Preferential Streets



Proposed Planned Development



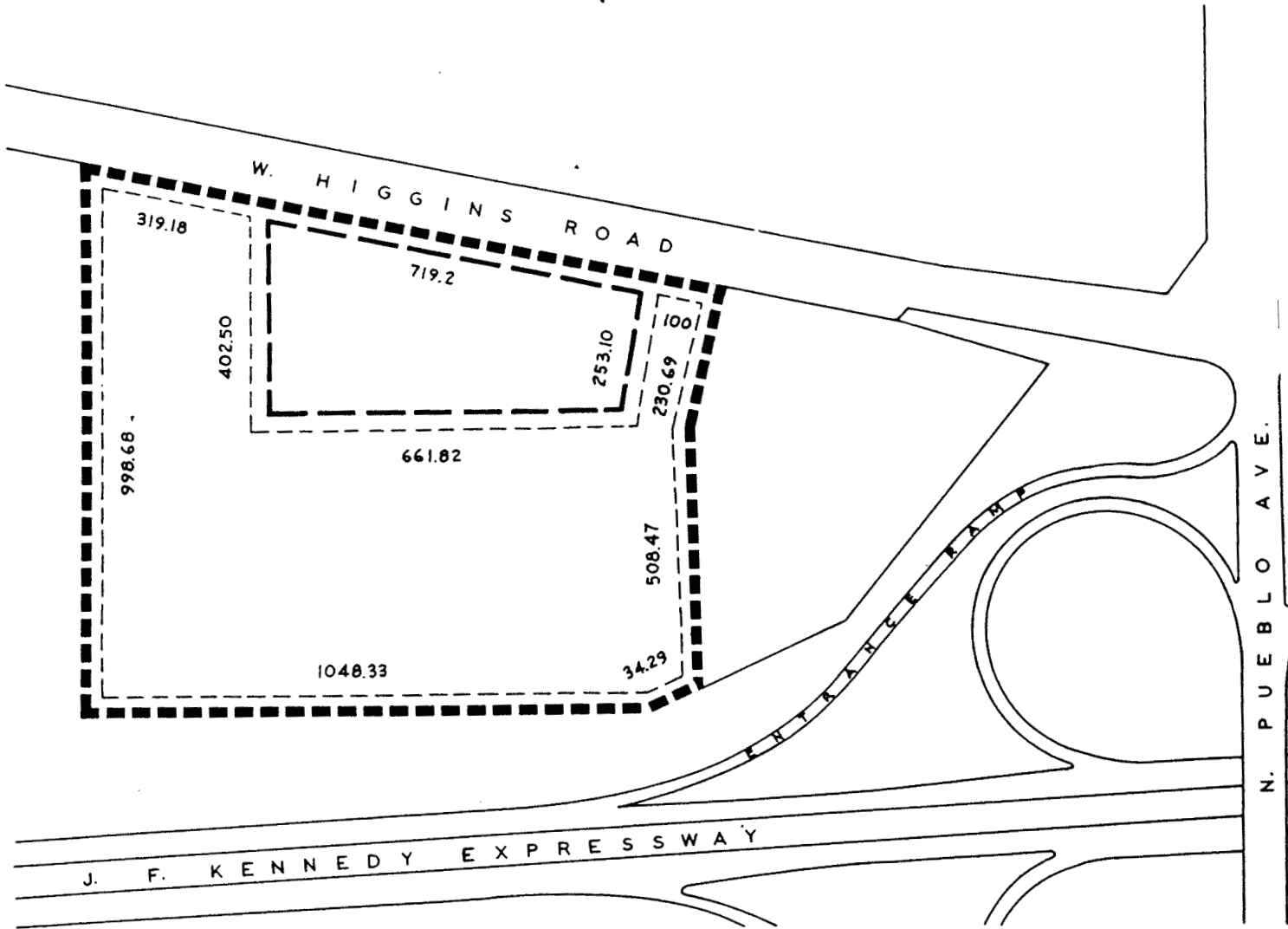
SCALE
1" = 800'

Applicant: Seay & Thomas, Inc.

Date: November 15, 1966

BUSINESS PLANNED DEVELOPMENT

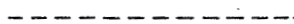
PROPERTY LINE MAP AND RIGHT OF WAY ADJUSTMENTS



Planned Development Boundary



Marriot Hot Shoppes, Inc. Boundary



Seay-Thomas, Inc. Boundary



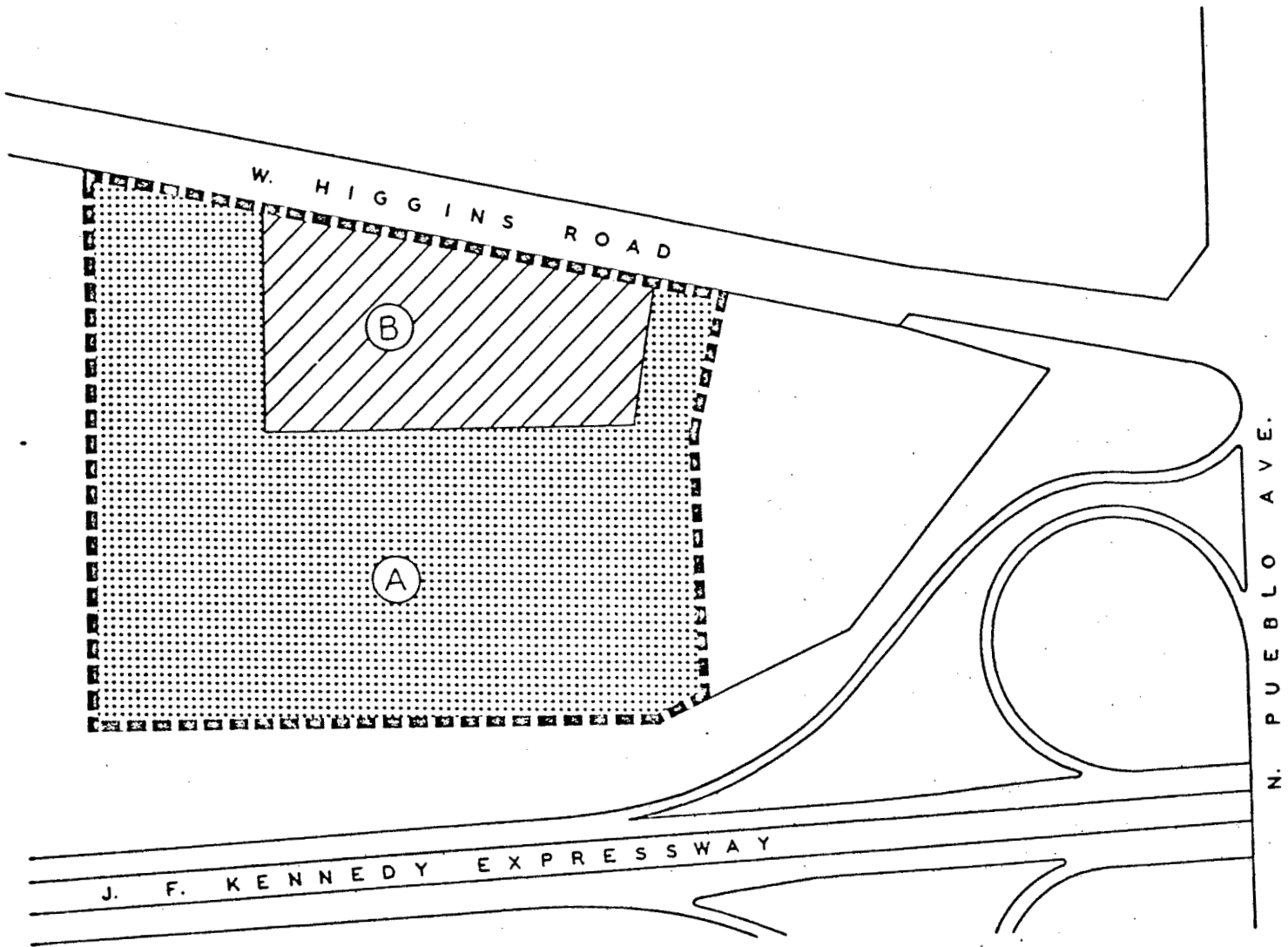
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1" = 300'

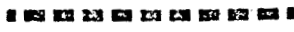


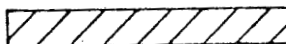
Applicant: Seay & Thomas, Inc.

Date: November 15, 1966

BUSINESS PLANNED DEVELOPMENT

GENERALIZED LAND USE PLAN



- Planned Development Boundary 
- A Sub-Area 
- Hotel and Auxillary Uses 
- Office and Auxillary Uses 

N
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SCALE
1" = 300'

Applicant: Seay & Thomas, Inc.

Date: November 15, 1966

BUSINESS PLANNED DEVELOPMENT

PLANNED DEVELOPMENT USE AND BULK REGULATIONS

SUB-AREA	NET SITE AREA		GENERAL DESCRIPTION OF LAND USE	MAX. F.A.R.	MAX. % OF LAND COVERED
	SQ.FT.	ACRES			
A	724,125	16.63	Hotel, Restaurant, & Related Uses.	0.85	25
B	223,897	5.14	Business Units & Related Uses.	1.2	15
	948,022	21.77			

GROSS SITE AREA = NET SITE AREA: 21.17 ACRES

MAXIMUM FLOOR AREA RATIO (for total area): 1.2

OFF-STREET PARKING AND OFF-STREET LOADING REQUIREMENTS FOR PROPOSED HOTEL, RESTAURANT, AND RELATED USES, AND OFFICE AND RELATED USES SHALL BE PROVIDED AS AUTHORIZED BY THE B5 GENERAL SERVICE DISTRICT CLASSIFICATION OF THE CHICAGO ZONING ORDINANCE.

PERIPHERAL SETBACK AND MINIMUM DISTANCE BETWEEN BUILDINGS REQUIREMENTS SHALL BE PROVIDED AS AUTHORIZED BY THE B5 GENERAL SERVICE DISTRICT CLASSIFICATION OF THE CHICAGO ZONING ORDINANCE.

MAXIMUM PER CENT OF LAND COVERED (for total area): 20 %.

Applicant: SEAY & THOMAS, INC. Date: November 15, 1966