

PD 439

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 13, 2026

Cale Skagen
Dimension Energy
2307 Reservoir St.
Los Angeles, CA 90026

Re: Opinion response for solar installation at 2500 W. Bradley Place, PD 439, Subarea B

Dear Mr. Skagen:

In response to your recent request, please be advised that the subject property is zoned Waterfront Manufacturing Planned Development No. 439 ("PD 439"), Subarea B. You are seeking a determination as to whether a proposed rooftop solar installation is allowed at the subject site and if so, what the permit process requirements are.

Based on the attached PV Array Layout Plan and Electrical Site Plan, the solar panels will be installed on the rooftop of the existing one-story building. On the southwest corner of the site and building, some electrical equipment will be located at grade and several utility poles are proposed to be relocated.

Pursuant to Statement Number 6 of PD 439, the following uses are permitted in Subarea B: all uses permitted in the M1-1 Zoning District as well as consumer loan establishments, participant sports and recreation, rooftop operation urban farms. The following uses are prohibited: urban farms (except rooftop operations), shooting range facilities, stables, and non-accessory parking.

It is our opinion that the proposed solar installation is a minor utilities and services use. Pursuant to Section 17-5-0207.G of the Zoning Ordinance, this use is permitted in the M1 district and is therefore permitted at the subject site.

Regarding permits and processes, please refer to the Dept. of Buildings web site or contact them for more information on requirements for the proposed use. Additional information and drawings will need to be included with any required permit and license applications, and other comments and concerns may arise upon our review of those applications.

Sincerely,

Kyle Bartlett
Assistant Zoning Administrator

KB:tm

C: Kyle Bartlett, Noah Szafraniec, Mike Marmo, Louis Clayton, PD Main file



2811 LINDSEY HWY.
ALABAMA, GA 31715
478.455.5339
WWW.SOLREBEL.COM



4885 CASHWELLS BL. SUITE 104
MARIETTA, GA 30067
WWW.DIMENSIONENERGY.COM

PRELIMINARY
NOT FOR
CONSTRUCTION

CHICAGO 2 CSG LLC
PV PROJECT
2500 W. BRADLEY PL.
CHICAGO, IL 60618

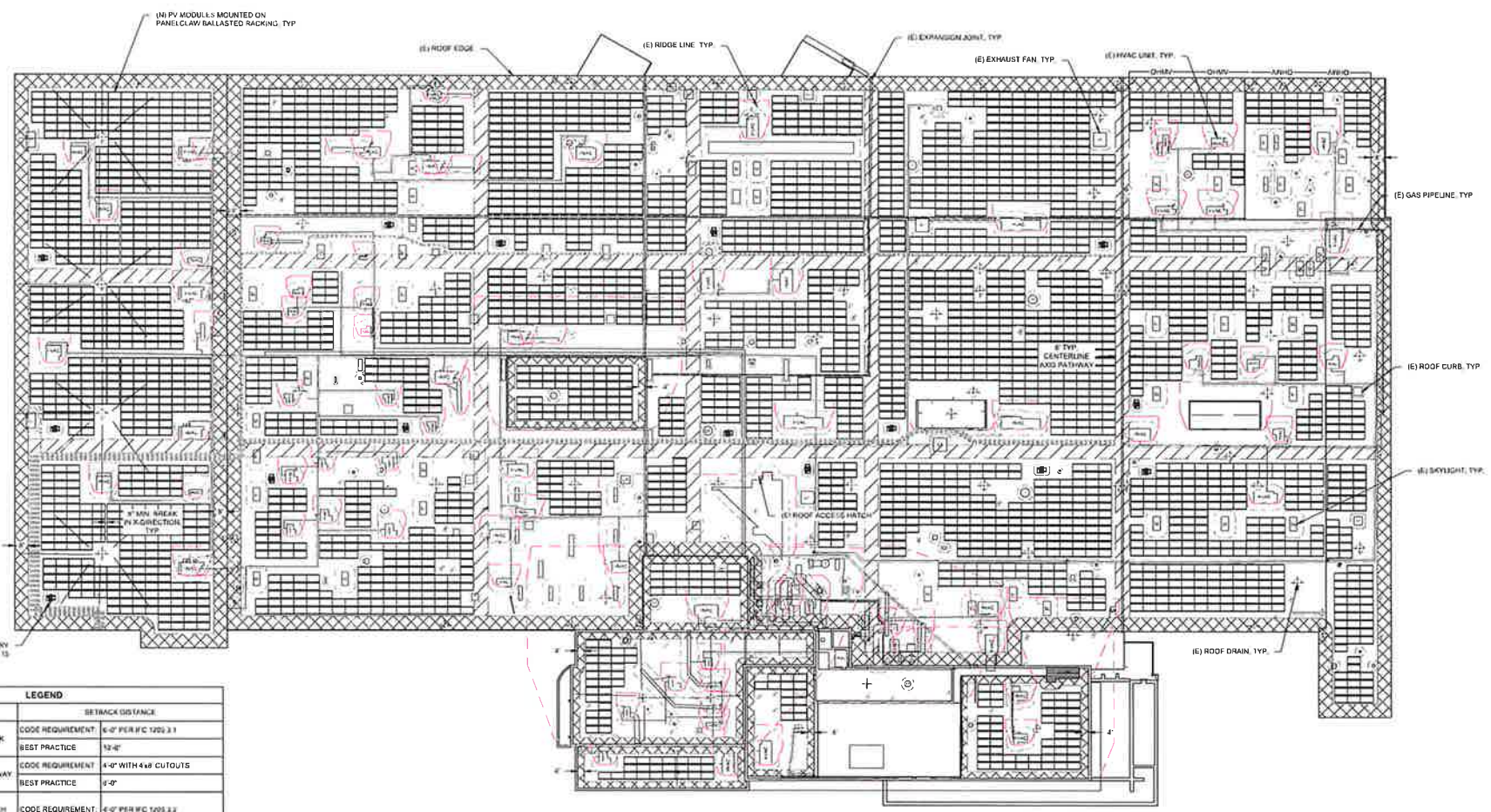
PROJECT COORDINATES
41.9495, -87.8639

REV.	DATE	DESCRIPTION	DRAWN BY	CHECKED BY
A	01/22/2026	SUB. & SITE PLAN	AVB	MRB

SHEET SIZE
24" x 36"

SHEET TITLE
PV ARRAY LAYOUT PLAN

DRAWING NO
E-101



1 PV ARRAY LAYOUT PLAN
Scale: 1" = 30'

LEGEND		
SYMBOL	DESCRIPTION	SETBACK OR SPACING
[Hatched Box]	PERIMETER SETBACK	CODE REQUIREMENT: 6'-0" PER IFC 1202.3.1 BEST PRACTICE: 12'-0"
[Dashed Line]	FIRE ACCESS PATHWAY	CODE REQUIREMENT: 4'-0" WITH 4x8 CUTOUTS BEST PRACTICE: 3'-0"
[Square with X]	ROOF ACCESS HATCH	CODE REQUIREMENT: 4'-0" PER IFC 1205.2.2
[Circle with X]	HVAC UNIT	CODE REQUIREMENT: 4'-0" ALL SIDES
[Square with +]	SKYLIGHT (NON-DRY OPERATED SMOKE AND HEAT VENT)	CODE REQUIREMENT: 4'-0" ON ONE SIDE PER IFC 1204.2.1.2 BEST PRACTICE: 3'-0" ON ALL OTHER SIDES
[Square with X]	EXHAUST FAN	CODE REQUIREMENT: 4'-0" ALL SIDES
[Square with +]	MISC. OBSTRUCTION	BEST PRACTICE: 3'-0"
[Circle with +]	VENT PIPE	BEST PRACTICE: 4'-0"
[Square with X]	ROOF DRAIN	CODE REQUIREMENT: 2'-0" ALL SIDES
[Line]	CONDUIT OR DRAIN PIPE	BEST PRACTICE: 1'-0"
[Line]	EXPANSION JOINT	BEST PRACTICE: 0'-6"
[Square with X]	EXTENT OF SHADING 10AM-2PM	
[Square with X]	INVERTER	
[Line]	CONDUIT	
[Line]	SETBACK FROM OBSTRUCTIONS	
[Square with X]	PV MODULE	

PROJECT DETAILS	
PV SYSTEM SIZE DC	1,397.72 KW
PV SYSTEM SIZING AC	1,820.00 KW
DC/AC RATIO	1.63
MODULE MODEL	VMWARE 6-400-590
MODULE RATING	599 W
TOTAL MODULE QTY	2,318
INVERTER MODEL	SOLAREDGE SE1204US
INVERTER QTY	12
INVERTER RATING	120 KW
RACKING	PANELCLAW CLAWTR PLUS 10' - 11" SPACING
AZIMUTH	181°

- SHEET NOTES**
- FIRE AND SAFETY SETBACK - 3' FROM EDGE OF MAIN ROOF, 4' FROM EDGE ON SMALLER ROOFS.
 - FIRE AND SAFETY SETBACKS ARE DESIGNED TO PROVIDE ACCESS PATHWAYS AROUND THE ROOF SETBACKS ARE DELINEATED BY A DASHED LINE AROUND THE PERIMETER OF THE ROOF. EQUIPMENT SHALL NOT BE MOUNTED IN THESE SETBACK AREAS.
 - IN ALL PLACES FIRE ACCESS PATHWAYS SHALL HAVE A MINIMUM 4" CLEAR WIDTH (WITHOUT OBSTRUCTIONS). PATHWAYS SHOWN SHALL NOT BE IMPEDED BY CONDUITS RUNNING PARALLEL WITH THE PATHWAY. CONDUITS THAT REQUIRE CROSSING THESE PATHWAYS SHALL BE AGGREGATED, MARKED WITH REFLECTIVE TAPE AND RUN PERPENDICULAR TO THE PATHWAYS.
 - EMERGENCY SHOW ARE TO EXTENT OF RACKING SYSTEM, NOT TO PV MODULES.
 - REFERENCE POINTS ARE LOCATED ON THE INSIDE OF THE PANASPECT, WHERE APPLICABLE.
 - ROOF DOES NOT CONTAIN ANY NON-DRAINAGE OPERATED SMOKE AND HEAT VENTS.
 - WHERE INTERIOR FIRE ACCESS PATHWAYS ARE LESS THAN 8" IN WIDTH, THEY SHALL HAVE 4X8 OPEN AREAS FOR VENTILATION CUTOUTS EVERY 20' ALONG THE LENGTH OF THE PATHWAY, AS SHOWN. DRAINAGE OPERATED HEAT AND SMOKE VENTS (SKYLIGHTS) MAY BE UTILIZED AS THE VENTING LOCATION ALONG THE PATHWAYS INSTEAD OF OPEN ROOF AREAS FOR CUTOUT VENTING.



3875 LINCOLN HWY.
MILWAUKEE, WI 53212
WWW.SOLREBEL.COM



3810 PEACHTREE RD., SUITE 200
KILPATRICK, GA 30144
WWW.DIMENSIONENERGY.COM

PRELIMINARY
NOT FOR
CONSTRUCTION

CHICAGO 2 CSG LLC
PV PROJECT
2500 W. BRADLEY PL.
CHICAGO, IL 60618

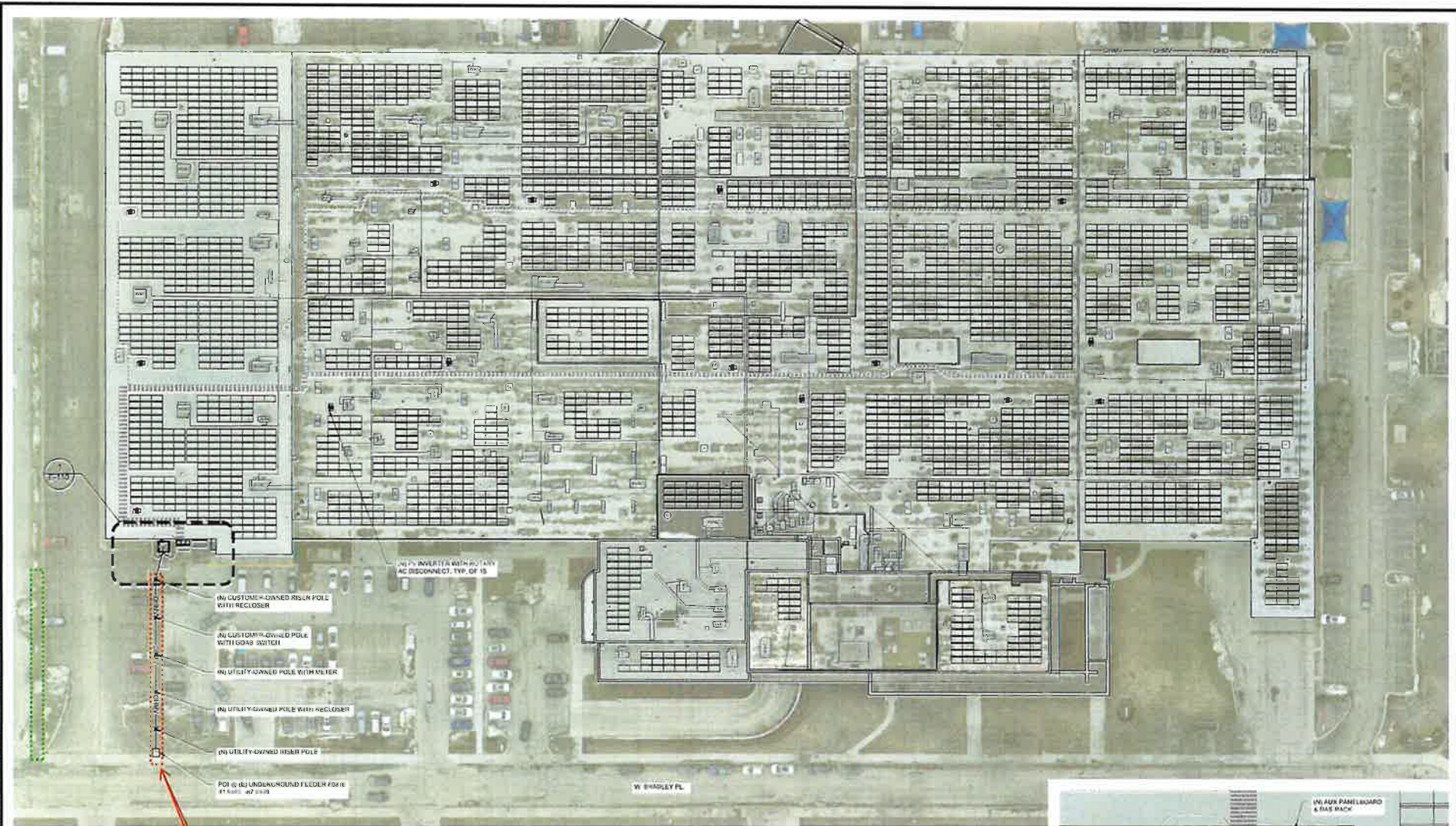
PROJECT CODE/CHANGES
41.9495 - 07.0929

REV #	DATE	DESCRIPTION	APPROVED BY	CHECKED BY
A	01/20/2020	BUILD SITE PLAN	AFB	KRS

SHEET SIZE
24" x 36"

SHEET TITLE
ELECTRICAL SITE PLAN

DRAWING NO.
E-110



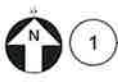
(N) proposed utility poles to be relocated west, to green area in softscape

SHEET NOTES

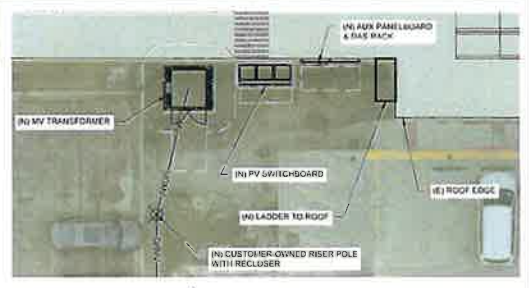
- CONDUIT ROUTING IS DIAGNOSTIC. CONTRACTOR SHALL DETERMINE BEST CONDUIT ROUTE.
- LOCATE PULL BOXES AND EXPANSION JOINTS AS REQUIRED BY CODE AND THE SPECIFICATIONS.
- KEEP PATHWAYS FREE OF OBSTRUCTIONS BY RUNNING CONDUIT AS CLOSE AS PRACTICAL TO PV ARRAY. ROUTE BE CONDUITS UNDER PATHWAYS, TO KEEP PATHWAYS CLEAR OF CONDUITS, WHERE NECESSARY.
- LOCATE SPACABLE EQUIPMENT MORE THAN 10' FROM THE ROOF EDGE IF PARAPET IS NOT GREATER THAN 42" TALL, PER CBC 2019 ARTICLE 105.5.
- ENVIRONMENTAL SENSORS SHALL BE FIELD LOCATED UNLESS SHOWN EXPLICITLY.
- CONTRACTOR TO PROVIDE LFVC AT ROOFTOP CONDUIT BENDS TO ALLOW FOR THERMAL EXPANSION OF ROOFTOP CONDUITS IN LIEU OF EXPANSION FITTINGS. TYP. CONDUITS ARE NOT RIGIDLY ATTACHED TO THE ROOF. THEY ARE SUPPORTED BY BLOCKS PER ROOFTOP CONDUIT SUPPORT DETAIL. SEE SPEC FOR THERMAL EXPANSION DETAIL FOR ADDITIONAL REQUIREMENTS. CONTRACTOR SHALL REVIEW NOTICE SHEET E001 AND VERIFY THAT THERMAL EXPANSION HAS BEEN PROPERLY ACCOUNTED FOR BY USE OF LFVC OR EXPANSION FITTINGS, WHERE APPROPRIATE, BASED ON ACTUAL FIELD CONDITIONS AND FINAL CONDUIT LOCATIONS/ROUTING. CONTRACTOR SHALL MINIMIZE THE USE OF LFVC TO LOCATIONS WHERE STRICTLY REQUIRED PER THESE PLANS.
- CONDUIT SHALL NOT PENETRATE ANY WALL OR PARAPET WALL, THEREFORE THE FIRE RATING WILL NOT BE AFFECTED.

LEGEND	
	INVERTER
	CONDUIT
	PV MODULE

EQUIPMENT AREA DETAIL	
EQUIPMENT AREA	~700 SF



ELECTRICAL SITE PLAN
Scale: 1" = 30'



EQUIPMENT AREA PLAN VIEW
Scale: 1" = 20'



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 6, 2019

Donna J. Pugh
Foley & Lardner LLP
321 N. Clark St.
Suite 2800
Chicago, IL 60654-5313

Re: Minor change for PD 439, Sub Area B, 2500 W. Bradley Place

Dear Ms. Pugh:

Please be advised that your request for a minor change to Waterfront Manufacturing Planned Development No.439 ("PD 439"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 439.

On September 11, 2015, a minor change was granted to Bradley Place Property Owner II, LLC, for parking and landscaping reconfigurations to the existing, former industrial building located at 2500 W. Bradley Pl. The changes were to be completed in three phases. Phases I and II were completed however, Phase III has not been completed yet. Your client and the owner of all of the property within Sub Area B, Bradley Business Center II, L.L.C., is now seeking a minor change for the remaining and additional parking and landscaping modifications (Phase III and IV) to the existing building. Phase III will consist of replacing an existing loading area and green space along Bradley Pl. with a new surface parking lot. The curb cuts which will serve the parking lot along Bradley Pl. are existing and while the new parking lot will eliminate several loading docks, 13 loading docks will remain, exceeding the 7 required in Subarea B. Phase IV will consist of the landscaping at the rear, NW portion of the parking lot (this is the remaining Phase III work approved in the 2015 minor change). The attached, Proposed PD Revision Site Plan, dated July 9, 2019, also includes site plan modifications made last year for the addition of playground equipment, along the NE parking lot.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed parking and landscaping changes will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

While you originally requested that the Phase IV landscape improvements not be completed until the adjacent space has been leased, you have now agreed to complete both Phase III and IV concurrently. Once permits are issued for both Phases, the entire property will be brought into compliance with the landscape ordinance.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Waterfront Manufacturing Planned Development No. 439, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Patrick Murphey
Zoning Administrator

PM:tm

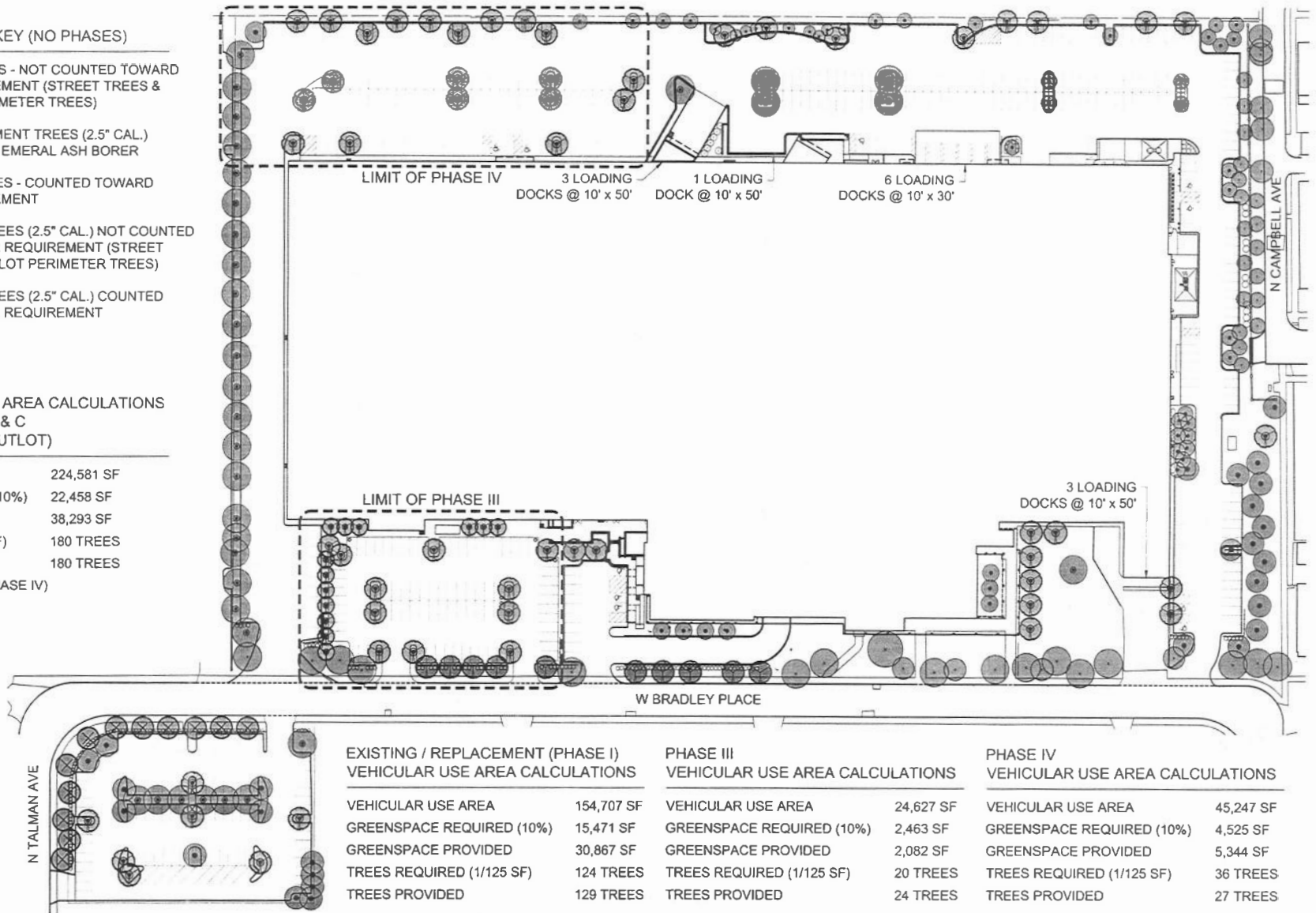
C: Mike Marmo, Erik Glass, Ron Daye, Main file

OVERALL LANDSCAPE KEY (NO PHASES)

- 45 EXISTING TREES - NOT COUNTED TOWARD INTERIOR REQUIREMENT (STREET TREES & PARKING LOT PERIMETER TREES)
- 12 NEW REPLACEMENT TREES (2.5" CAL.) REQUIRED DUE TO EMERALD ASH BORER
- 110 EXISTING TREES - COUNTED TOWARD INTERIOR REQUIREMENT
- 10 NEW SHADE TREES (2.5" CAL.) NOT COUNTED TOWARD INTERIOR REQUIREMENT (STREET TREES & PARKING LOT PERIMETER TREES)
- 70 NEW SHADE TREES (2.5" CAL.) COUNTED TOWARD INTERIOR REQUIREMENT

TOTAL VEHICULAR USE AREA CALCULATIONS INCLUDING SUBAREA B & C (MAIN LOTS & SOUTH OUTLOT)

VEHICULAR USE AREA	224,581 SF
GREENSPACE REQUIRED (10%)	22,458 SF
GREENSPACE PROVIDED	38,293 SF
TREES REQUIRED (1/125 SF)	180 TREES
TREES PROVIDED	180 TREES
(UPON COMPLETION OF PHASE IV)	



EXISTING / REPLACEMENT (PHASE I)
VEHICULAR USE AREA CALCULATIONS

VEHICULAR USE AREA	154,707 SF
GREENSPACE REQUIRED (10%)	15,471 SF
GREENSPACE PROVIDED	30,867 SF
TREES REQUIRED (1/125 SF)	124 TREES
TREES PROVIDED	129 TREES

PHASE III
VEHICULAR USE AREA CALCULATIONS

VEHICULAR USE AREA	24,627 SF
GREENSPACE REQUIRED (10%)	2,463 SF
GREENSPACE PROVIDED	2,082 SF
TREES REQUIRED (1/125 SF)	20 TREES
TREES PROVIDED	24 TREES

PHASE IV
VEHICULAR USE AREA CALCULATIONS

VEHICULAR USE AREA	45,247 SF
GREENSPACE REQUIRED (10%)	4,525 SF
GREENSPACE PROVIDED	5,344 SF
TREES REQUIRED (1/125 SF)	36 TREES
TREES PROVIDED	27 TREES

Proposed PD Revision Site Plan

HANSEN REALTY

Planned Development Modification Plan
2500 W. BRADLEY
Chicago, Illinois

09 July, 2019
19-134
EH





DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

November 3, 2015

Bernard I. Citron
Thompson Coburn LLP
55 East Monroe Street
37th Floor
Chicago, IL 60603

**Re: Advisory Opinion for Waterfront Manufacturing Planned Development No. 439
Subarea B, 2500 W. Bradley Place**

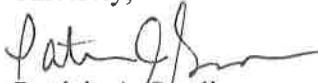
Dear Mr. Citron:

In response to your recent request, please be advised that the property located at 2500 W. Bradley Place is located within Subarea B of Waterfront Manufacturing Planned Development Number 439. You are seeking confirmation that Collectors Car Garage LLC ("Collectors"), an automobile storage facility, is a permitted use at the above location. According to your letter, Collectors will provide a climate controlled and secure warehouse for individuals to store their collector cars. Along with the storage of automobiles, car washes may be provided and owners can meet and show their cars to other owners on site.

Pursuant to Statement Number 6 of PD 439, the following uses are permitted within Subarea B: all uses permitted in the M1 Zoning District as well as consumer loan establishments, participant sports and recreation, rooftop operation urban farms (possibly to include a supporting greenhouse structure). Wireless communication facilities may be approved subject to site plan review. The following uses are prohibited in Subarea B: urban farms (except rooftop operations), shooting range facilities, stables, and non-accessory parking.

Vehicle storage, along with car wash and cleaning services are permitted uses within the M1 District. Therefore, the services described above are permitted uses within Subarea B of PD 439. If you have any questions, please contact Teresa McLaughlin of my staff at (312) 744-3509.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Vicki Lozano, Janice Hill, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

September 11, 2015

Donna J. Pugh
Foley & Lardner LLP
321 N. Clark Street
Suite 2800
Chicago, IL 60654-5313

**Re: Administrative Relief request for Waterfront Manufacturing Planned Development
No. 439, Sub Area B, 2500 W. Bradley Place**

Dear Ms. Pugh:

Please be advised that your request for a minor change to Waterfront Manufacturing Planned Development No.439 ("PD 439"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 439.

Your client and the owner of all of the property within Sub Area B, Bradley Place Property Owner II, LLC, is seeking administrative relief for parking and landscaping reconfigurations to the existing industrial building. There are no changes to the building elevations. The proposed site modifications will occur in three phases:

Phase I: Increase the amount of parking and landscaping along the eastern side of the building.

Phase II: Relocate the parking that was to be located in the basement of the existing 1-story warehouse building into the basement of the existing 3-story office building. Access to the new parking will be from an exterior ramp accessed off an existing parking lot. No new curb cuts or loading dock changes are required.


Phase III: Modifications to the landscaping at the site's southwest corner and parking and landscaping modifications at the site's northwest corner. The total number of parking spaces provided in Sub Areas B and C will be approximately twice as many as the 300 minimum required.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed parking and landscaping changes will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a

minor change. The attached Proposed PD Revision Site Plan (August 19, 2015), Landscape Plan (August 17, 2015), and Basement Parking Plan (August 11, 2015) shall be inserted into the main file.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Waterfront Manufacturing Planned Development No. 439, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

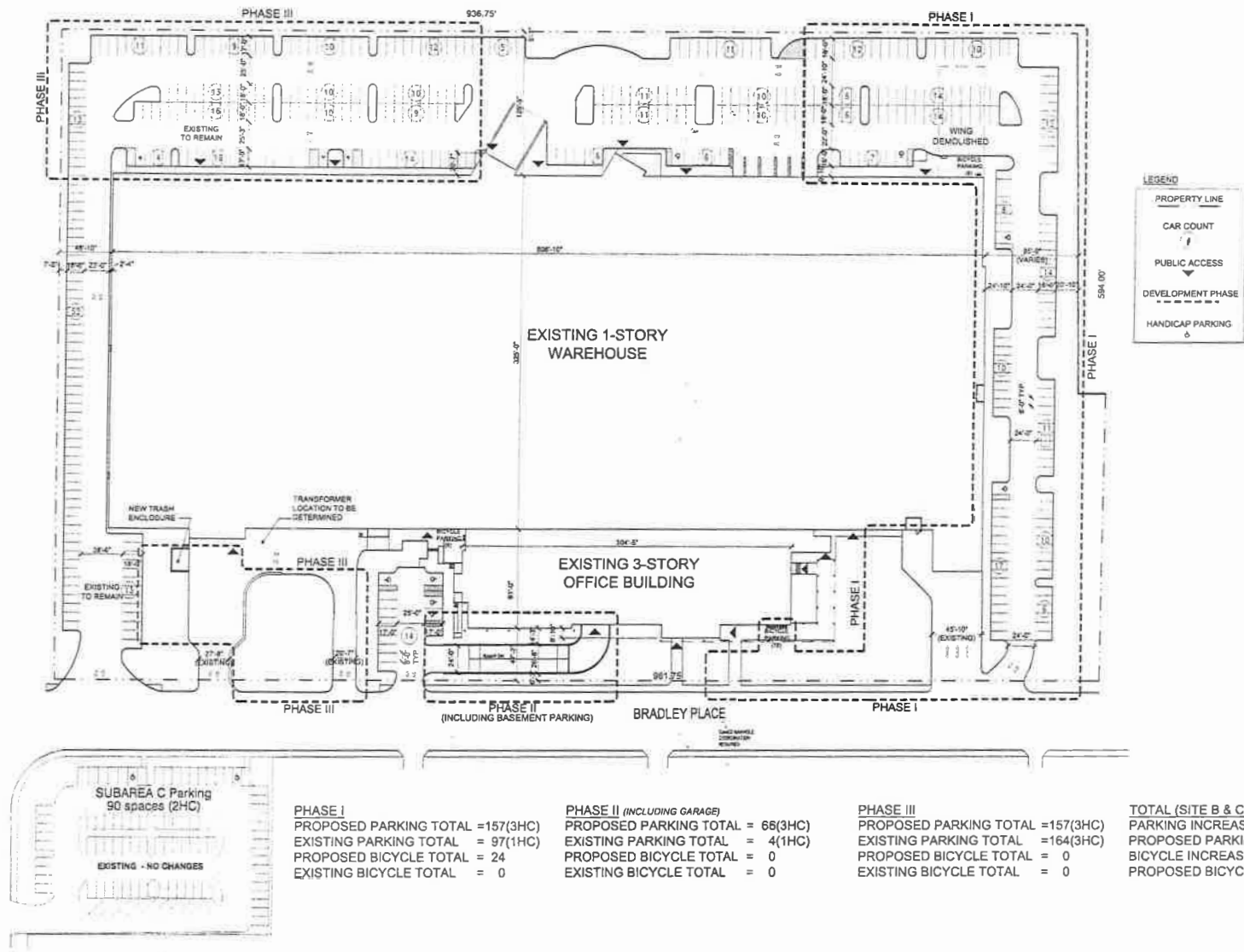
Sincerely,



Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Mike Marmo, Erik Glass, Ron Daye, Fernando Espinoza, Main file



PHASE I
 PROPOSED PARKING TOTAL = 157(3HC)
 EXISTING PARKING TOTAL = 97(1HC)
 PROPOSED BICYCLE TOTAL = 24
 EXISTING BICYCLE TOTAL = 0

PHASE II (INCLUDING GARAGE)
 PROPOSED PARKING TOTAL = 66(3HC)
 EXISTING PARKING TOTAL = 4(1HC)
 PROPOSED BICYCLE TOTAL = 0
 EXISTING BICYCLE TOTAL = 0

PHASE III
 PROPOSED PARKING TOTAL = 157(3HC)
 EXISTING PARKING TOTAL = 164(3HC)
 PROPOSED BICYCLE TOTAL = 0
 EXISTING BICYCLE TOTAL = 0

TOTAL (SITE B & C)
 PARKING INCREASE = 115 (5HC)
 PROPOSED PARKING TOTAL = 619(16HC)
 BICYCLE INCREASE = 24
 PROPOSED BICYCLE TOTAL = 30

- * NO CHANGES TO SUBAREAS A OR C
- ** SEE LANDSCAPE PLAN FOR VEGETATION
- *** ALL ELEMENTS EXISTING UNLESS NOTED OTHERWISE BY PHASE
- **** "PHASING" ONLY RELATES TO PARKING & LANDSCAPING CHANGES

Proposed PD Revision Site Plan

HANSEN REALTY

Planned Development Modification Plan
2500 W. BRADLEY
 Chicago, Illinois

19 August, 2015
 13013
 MGL









NOT TO SCALE

Hirsch Associates LLC
 Architecture + Planning

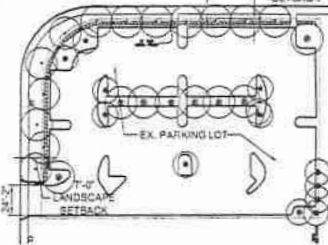
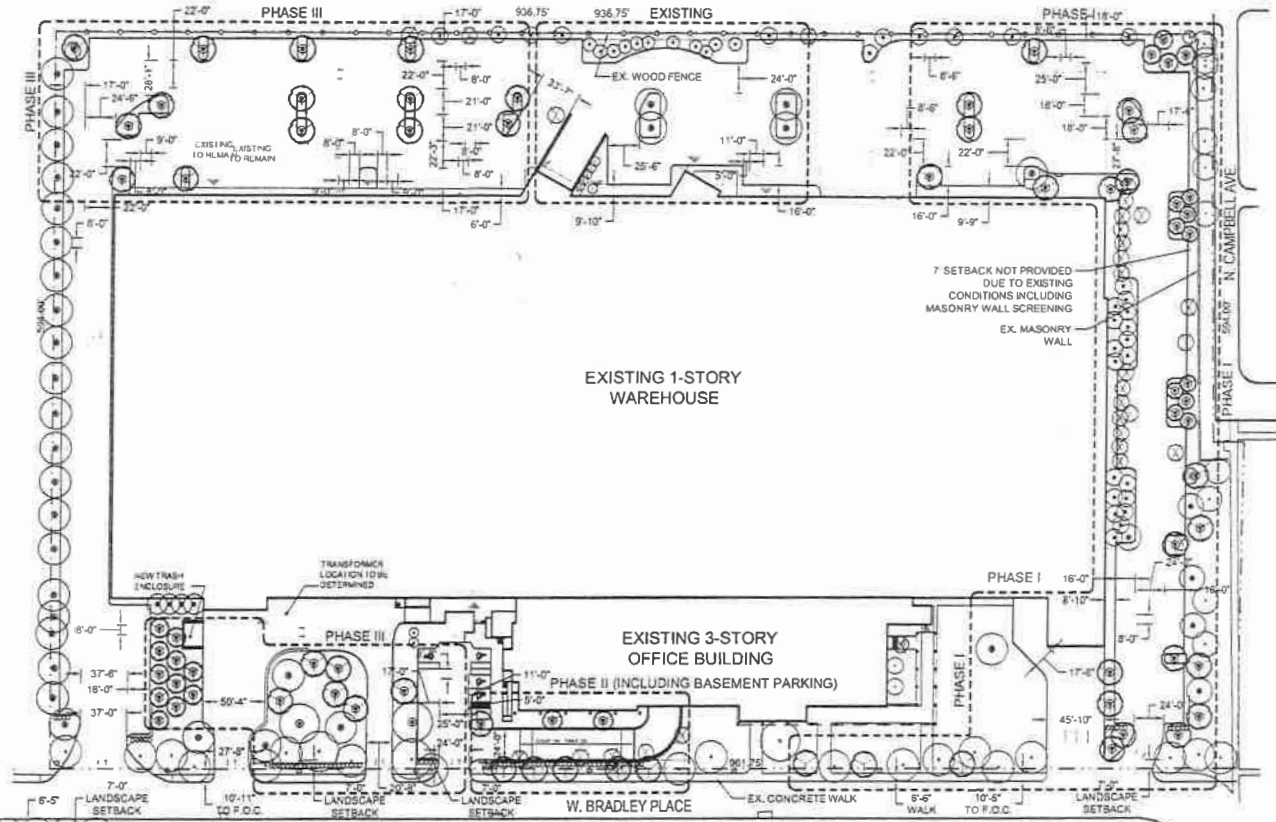


LANDSCAPE KEY

-  51 EXISTING TREES - NOT COUNTED TOWARD INTERIOR REQUIREMENT
-  101 EXISTING TREES - COUNTED TOWARD INTERIOR REQUIREMENT
-  8 NEW SHADE TREES (2.5" CAL.) - NOT COUNTED TOWARD INTERIOR REQUIREMENT
-  68 NEW SHADE TREES (2.5" CAL.) - COUNTED TOWARD INTERIOR REQUIREMENT
-  30 TREES TO BE REMOVED
-  SHRUB HEDGE & ORNAMENTAL FENCE

TOTAL VEHICULAR USE AREA CALCULATIONS INCLUDING MAIN LOTS & SOUTH OUTLOT

VEHICULAR USE AREA	210,772 SF
GREENSPACE REQUIRED (10%)	21,077 SF
GREENSPACE PROVIDED	50,979 SF
TREES REQUIRED (1/125SF)	169 TREES
TREES PROVIDED	169 TREES



PHASE I VEHICULAR USE AREA CALCULATIONS

VEHICULAR USE AREA	54,841 SF
GREENSPACE REQUIRED (10%)	5,484 SF
GREENSPACE PROVIDED	14,664 SF
TREES REQUIRED (1/125SF)	43 TREES
TREES PROVIDED	63 TREES

PHASE II VEHICULAR USE AREA CALCULATIONS

VEHICULAR USE AREA	4,386 SF
GREENSPACE REQUIRED (7.5%)	329 SF
GREENSPACE PROVIDED	2,078 SF
TREES REQUIRED (1/125SF)	2 TREES
TREES PROVIDED	2 TREES

PHASE III VEHICULAR USE AREA CALCULATIONS*

VEHICULAR USE AREA	62,889 SF
GREENSPACE REQUIRED (10%)	6,289 SF
GREENSPACE PROVIDED	19,450 SF
TREES REQUIRED (1/125SF)	50 TREES
TREES PROVIDED	44 TREES

* INTERIM PHASE III, ON ITS OWN, IS DEFICIENT OF TREE REQUIREMENTS; HOWEVER, UPON COMPLETION OF THE THIRD PHASE, THE ENTIRE SUB-AREA WILL MEET THE LANDSCAPE CODE.

Proposed PD Revision Landscape Plan

HANSEN REALTY

Preliminary Building Planning
2500 W. BRADLEY
 Chicago, Illinois

17 AUGUST, 2015
 13013
 MBM



NOT TO SCALE

DANIEL WEINBACH & PARTNERS, LTD.
 Landscape Architects

17740

68840

JOURNAL--CITY COUNCIL--CHICAGO

11/26/2013

Reclassification Of Area Shown On Map No. 9-I.

(As Amended)

(Application No. 17740)

(Common Address: 2500 -- 2650 And 2619 -- 2637 W. Bradley Pl.)

[SO2013-3341]

WMFD 439,00

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Waterfront Manufacturing Planned Development Number 439, M1-1 Limited Manufacturing/Business Park District and M2-2 Light Industry District symbols and indications as shown on Map Number 9-I in the area bounded by:

a line 1,589.34 feet north of West Addison Street; North Campbell Avenue; a line 289.84 feet north of West Bradley Place; a line 16.5 feet east of the westerly right-of-way line of North Campbell Avenue; West Bradley Place; a line 250 feet east of North Talman Avenue; a line 185.44 feet south of West Bradley Place; North Talman Avenue; a line 787.50 feet north of West Addison Street; a line 40 feet west of North Talman Avenue; a line 887.50 feet north of West Addison Street; and the north branch of the Chicago River,

to those of an M1-2 Limited Manufacturing/Business Park District.

SECTION 2. That the Chicago Zoning Ordinance be further amended by changing all the M1-2 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 9-I in the area bounded by:

a line 1,589.34 feet north of West Addison Street; North Campbell Avenue; a line 289.84 feet north of West Bradley Place; a line 8.49 feet east of the westerly right-of-way line of North Campbell Avenue; West Bradley Place; a line 250 feet east of North Talman Avenue; a line 185.44 feet south of West Bradley Place; North Talman Avenue; a line 787.50 feet north of West Addison Street; a line 40 feet west of North Talman Avenue; a line 887.50 feet north of West Addison Street; and the north branch of the Chicago River,

to the designation of Waterfront Manufacturing Planned Development Number 439, as amended, and a corresponding use district is hereby established in the area above described.

SECTION 3. This ordinance takes effect after its passage and approval.

Plan of Development Statements attached to this ordinance read as follows:

Waterfront Manufacturing Planned Development No. 439, As Amended.

Planned Development Statements.

1. The area delineated herein as Waterfront Manufacturing Planned Development Number 439, as amended (the "Planned Development"), consists of approximately 990,517 square feet (22.74 acres) of property which is depicted on the attached Planned Development Boundary and Property Line Map (the "Property") and is under common control of the applicant, Bradley Place Holdings LLC, an Illinois limited liability company ("Applicant"), in common with another owner. Applicant is also the owner of Subarea A.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees. Furthermore, Applicant shall work with the City in good faith toward the goal of completing a public street through the site at such time that the City has created a right-of-way plan to reestablish the street grid in the area surrounding the site.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans, as they are from time to time amended.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Housing and Economic Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

3. The requirements, obligations and conditions contained within this planned development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments,

modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.

4. This plan of development consists of 16 statements; a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary Map; a Subarea Map; an Aerial Map, a Right-of-Way Adjustment Map; a Site Plan; a Landscape Plan; an Accessory Parking Detail Plan; Building Elevations (North, South, East and West) and conceptual renderings, all dated August 15, 2013, submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations (hereinafter "the Plans") are on file with the Department of Housing and Economic Development. The plans represent Phase I of the development. A potential Phase II would include the construction of approximately 99 indoor parking spaces and landscaping on Subarea B, in accordance with the Accessory Parking Detail Plan and the Landscaping Plan. At each phase, the Planned Development will be in substantial compliance with the landscaping requirements of the Chicago Zoning Ordinance. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.
5. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 990,517 square feet.
6. The following use(s) shall be permitted within the area delineated herein as the Planned Development, Subarea A: limited, general and artisan manufacturing, production and industrial service, warehousing, wholesaling and freight movement; office, high technology office, accessory parking, electronic data storage center; sports and recreation (participant) minor utilities and services. The following use is prohibited in Subarea A: shooting range facility.

The following use(s) shall be permitted within the area delineated herein as the Planned Development, Subarea B: all uses permitted in the M1 Zoning District as well as consumer loan establishments, participant sports and recreation, rooftop operation urban farms (possibly to include a supporting greenhouse structure). Wireless communication facilities may be approved subject to Site Plan Review, per statement 12. The following uses are prohibited in Subarea B: urban farms (except rooftop operations), shooting range facilities, stables, non-accessory parking.

The following use(s) shall be permitted within the area delineated herein as the Planned Development, Subarea C: All uses permitted in the M1 Zoning District as well as consumer loan establishments, participant sports and recreation, rooftop operation urban farms (possibly to include a supporting greenhouse structure), and non-accessory parking. Wireless communication facilities may be approved subject to Site Plan Review, per statement 12. The following uses are prohibited in Subarea C: urban farms (except rooftop operations), shooting range facilities, stables.

7. On-Premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Housing and Economic Development. Off-Premises signs are prohibited within the boundary of the Planned Development.
8. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Housing and Economic Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
9. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by the Department of Housing and Economic Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
11. Prior to Part II Approval (Section 17-13-0610 of the Zoning Ordinance) in Subarea C, the Applicant shall submit a site plan, landscape plan and building elevations for the specific Subareas for review and approval by the Department of Housing and Economic Development. Review and Approval by the Department of Housing and Economic Development is intended to assure that specific development components substantially conform with the Planned Development and to assist the City in monitoring ongoing development. Subarea Site Plan Approval Submittals (Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant. If the Applicant is seeking approval for a portion of the Property that represents less than an entire Subarea, the Applicant shall also include a site plan for that area of the Property which is bounded on all sides by either public rights-of-way or boundary of the nearest Subarea. The site plan provided shall include all dimensioned and planned street Rights-of-Way.

No Part II Approval for any portion of Subarea C shall be granted until Site Plan Approval has been granted. Following approval by the Department of Housing and Economic Development, the approved Subarea Site Plan Approval Submittals, supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the Planned Development.

After approval of the Subarea Site Plan, changes or modifications may be made pursuant to the provisions of statement 12. In the event of any inconsistency between approved plans and the terms of the Planned Development, the terms of the Planned Development shall govern. Any Subarea Site Plan Approval Submittals shall, at a minimum provide the following: fully-dimensioned site plan (including a footprint of the proposed improvements), fully-dimensioned building elevations, fully-dimensioned landscape plan(s), and statistical information applicable to the subject subarea, including floor area, the applicable FAR, uses to be established, building heights, and setbacks.

Subarea Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the Planned Development.

12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. At the time of a hearing before the Chicago Plan Commission, all developments must

be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Housing and Economic Development. Any new development within the Planned Development must be in compliance with the Sustainable Development Policy as approved by the Department of Housing and Economic Development.

16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Housing and Economic Development shall initiate a Zoning Map Amendment to rezone the property to Waterfront Manufacturing Planned Development 439, as approved March 10, 2010 for Subarea A, M1-1 for Subarea B and M2-2 for Subarea C.

[Existing Zoning Map; Existing Land-Use Map; Boundary Map; Subarea Map; Aerial Map; Right-of-Way Adjustment; Site Plan; Landscaping Plan; Accessory Parking Detail; Office Building Elevations South and East; Building Elevations -- North, South, East and West referred to in these Plan of Development Statements printed on pages 68848 through 68859 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Bulk Regulations And Data Table.

Gross Site Area, 1,106,495 square feet (25.40 acres) = Net Site Area, 990,517 square feet (22.74 acres) + Area Remaining in Public Right-of-Way, 115,894 square feet (2.66 acres)

Subarea A.

Maximum Floor Area Ratio:	2.2
Maximum square footage of eating and drinking establishments:	4,000

Maximum square footage of financial services:	3,000
Maximum square footage of personal services:	3,000
Minimum Number of Loading Berths:	Per M1 requirements
Minimum Number of Off-Street Parking Spaces:	225 spaces
Minimum Building Setbacks:	
North:	50 feet
East:	50 feet
South:	50 feet
Chicago River:	40 feet
Subarea B.	
Maximum Floor Area Ratio:	1.2
Maximum square footage of eating and drinking establishments:	4,000
Maximum square footage of financial services:	3,000
Maximum square footage of personal services:	3,000
Minimum Number of Loading Berths:	5 docks at 10 feet by 50 feet; 2 docks at 10 feet by 25 feet

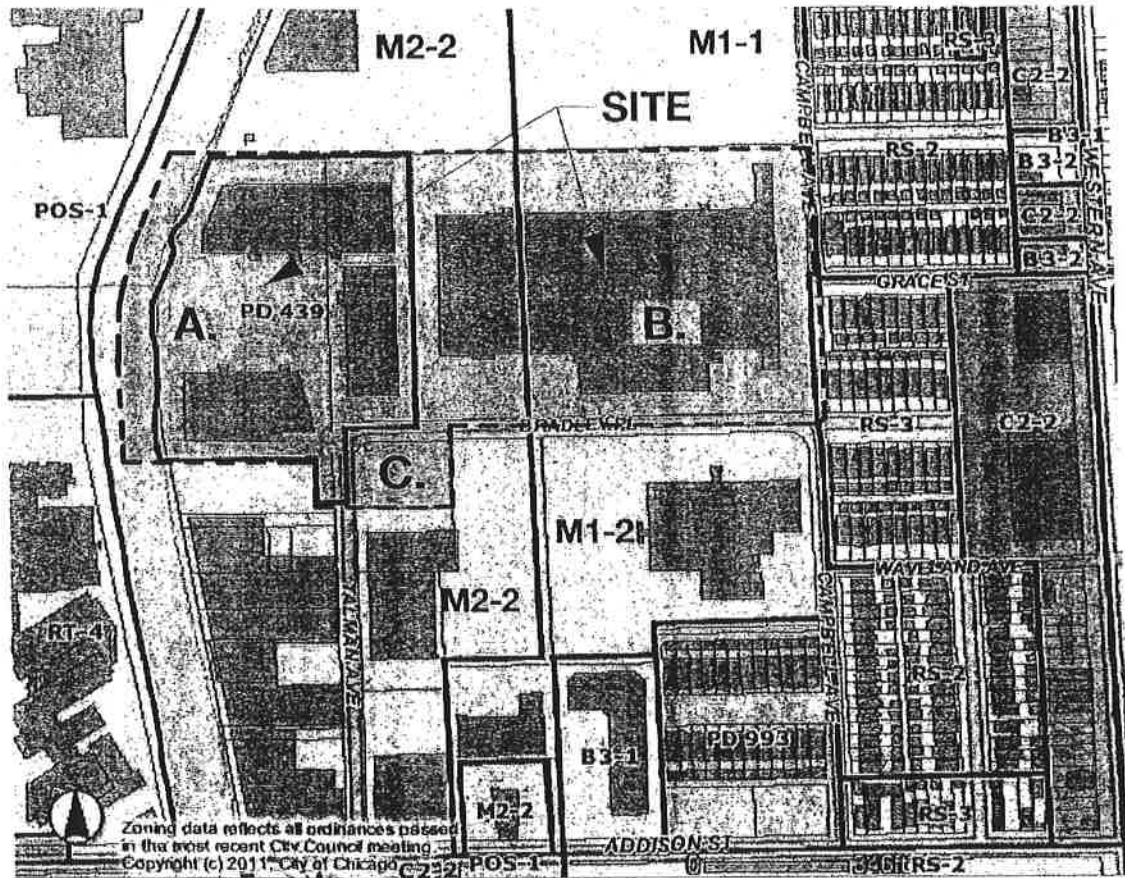
Minimum Number of Off-Street Parking Spaces: The minimum number of required parking spaces for Subareas B and C combined is 300 spaces


Minimum Building Setbacks:

North: 30 feet
East: 84.5 feet
South: 40 feet
West: 49 feet
Height Limit: None

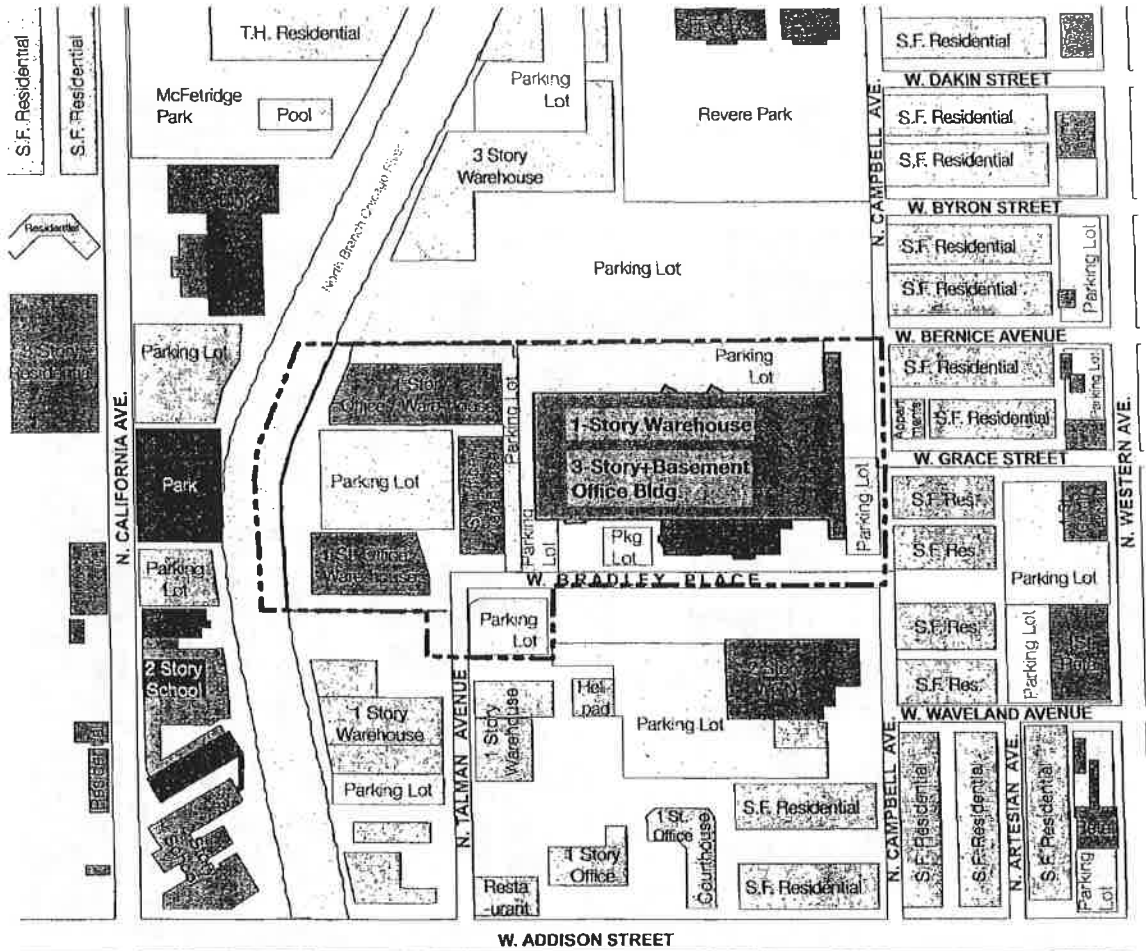
Subarea C.

Maximum Floor Area Ratio: 2.2
Maximum square footage of eating and drinking establishments: 4,000
Maximum square footage of financial services: 3,000
Maximum square footage of personal services: 3,000
Minimum Number of Loading Berths: Per M1 requirements
Minimum Number of Off-Street Parking Spaces: The minimum number of required parking spaces for Subareas B and C combined is 300 spaces
Minimum Building Setbacks: Must comply with Section 17-5 of the Zoning Code
Height Limit: None

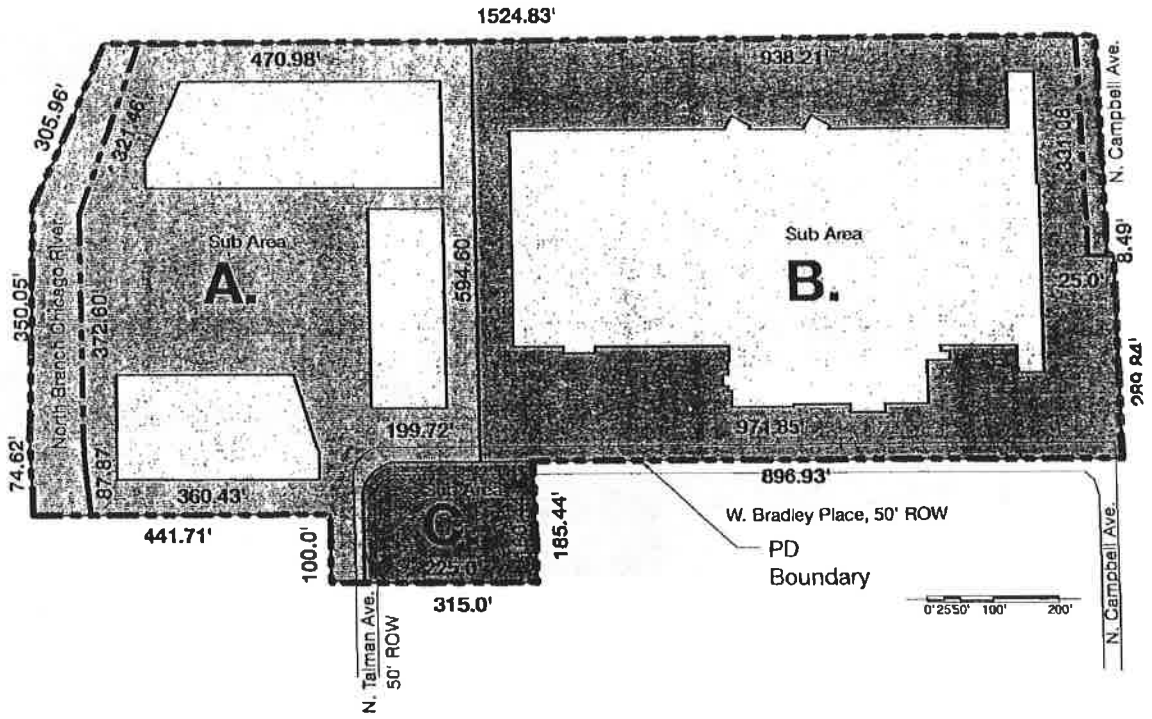


<p>Bradley Place 2500 W Bradley Chicago, IL P/H # 122105 applicant: Bradley Place Holdings, L.L.C. submitted: August 15, 2013</p>	<p>Existing Zoning Map</p>	<p>N </p>	<p>pappageorgehaymes partners architect Expansion of Planned Development #439 2500-2650 & 2619-2637 W. Bradley Place Chicago, Illinois</p>
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Map data is current as of 11/26/2013. All other information is approximate. No warranty is made for any use of this map.

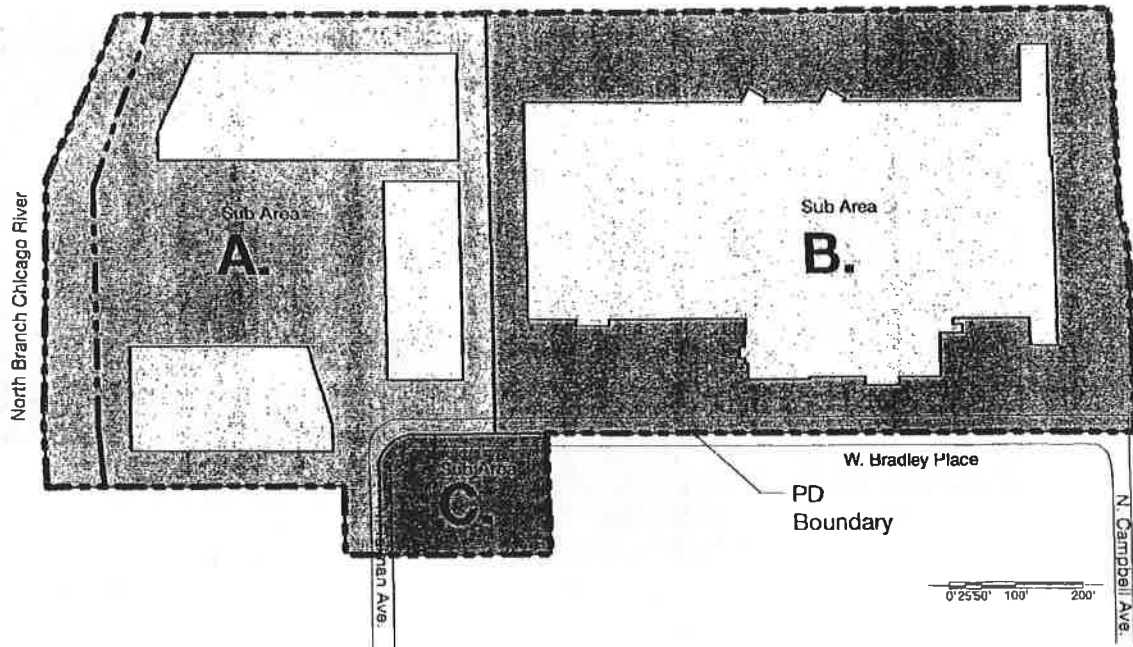


<p>Bradley Place 2500 W Bradley Chicago, IL</p> <p>PH # 122105 Applicant: Bradley Place Holdings, L.L.C. submitted: August 15, 2013</p>	<p>Existing Land Use Map</p>	<p>N </p>	<p>papageorgehaymes partners architect</p> <p>Expansion of Planned Development #439 2500-2650 & 2619-2637 W Bradley Place Chicago, Illinois</p>
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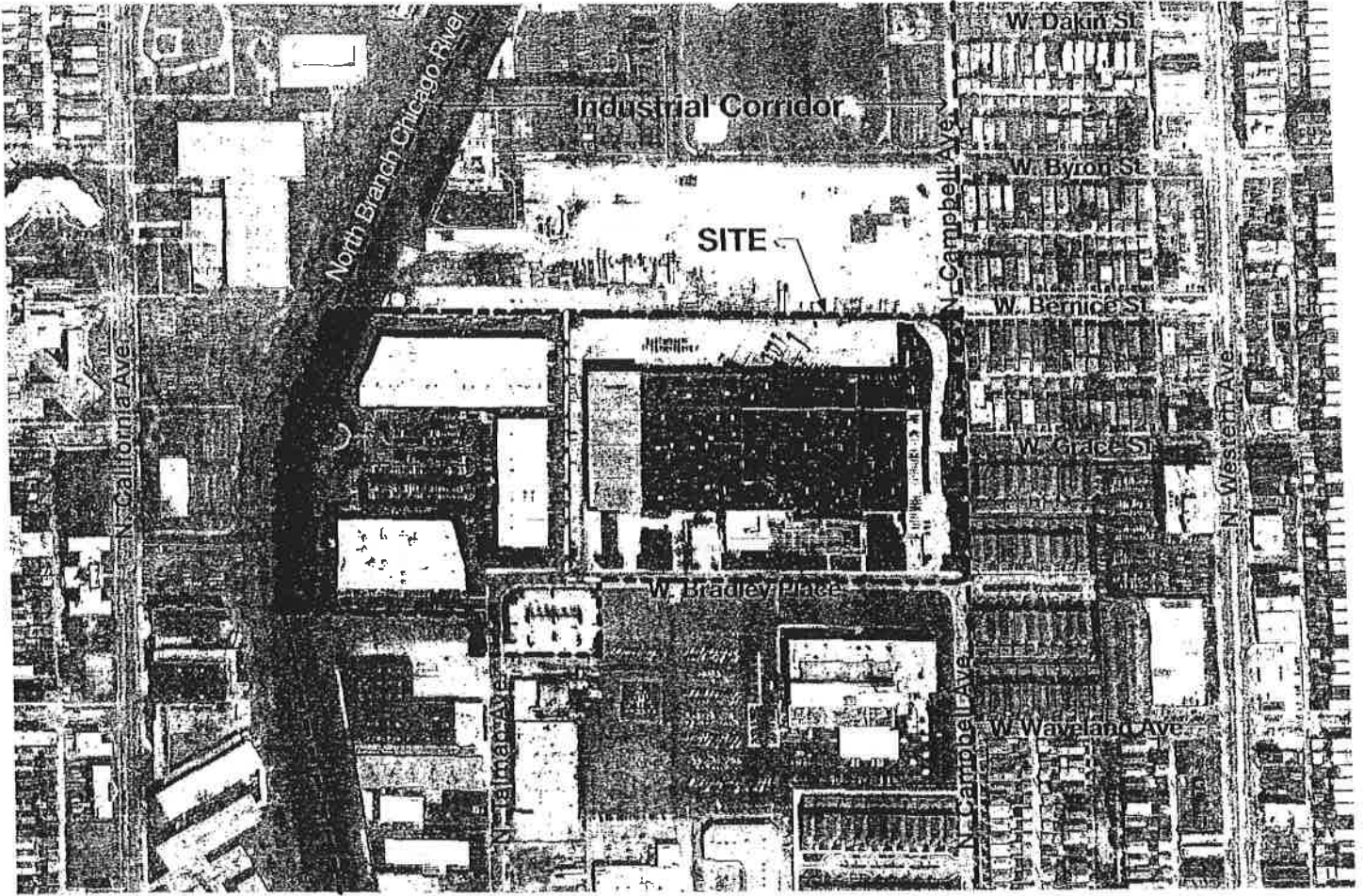
<p>Bradley Place 2500 W Bradley Chicago, IL P/H # 122105 applicant: Bradley Place Holdings, LLC. submitted: August 15, 2013</p>	<p>PD Boundary Map</p>		<p>pappageorgehaymes partners architect PAPPAGEORGE HAYMES Expansion of Planned Development #439 2500-2650 & 2619-2637 W. Bradley Place Chicago, Illinois</p>
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These plans are preliminary and are subject to change without notice. The City of Chicago, Illinois, is not responsible for any errors or omissions on these plans.



<p>Bradley Place 2500 W Bradley Chicago, IL</p> <p>PH # 122105 applicant: Bradley Place Holdings, LLC. submitted: August 15, 2013</p>	<p>Sub-Area Map</p>	<p>N</p> 	<p>pappageorgehaymes partners architect</p> <p>Expansion of Planned Development #439 2500-2650 & 2619-2637 W Bradley Place Chicago, Illinois</p>
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Map and site plan are not to scale and are subject to further engineering by the architect and other professionals. The architect and other professionals are not responsible for the accuracy of the information shown on this map and site plan.



Bradley Place
 2500 W Bradley
 Chicago, IL
 P/H # 122105
 applicant: Bradley Place Holdings, L.L.C.
 submitted: August 15, 2013

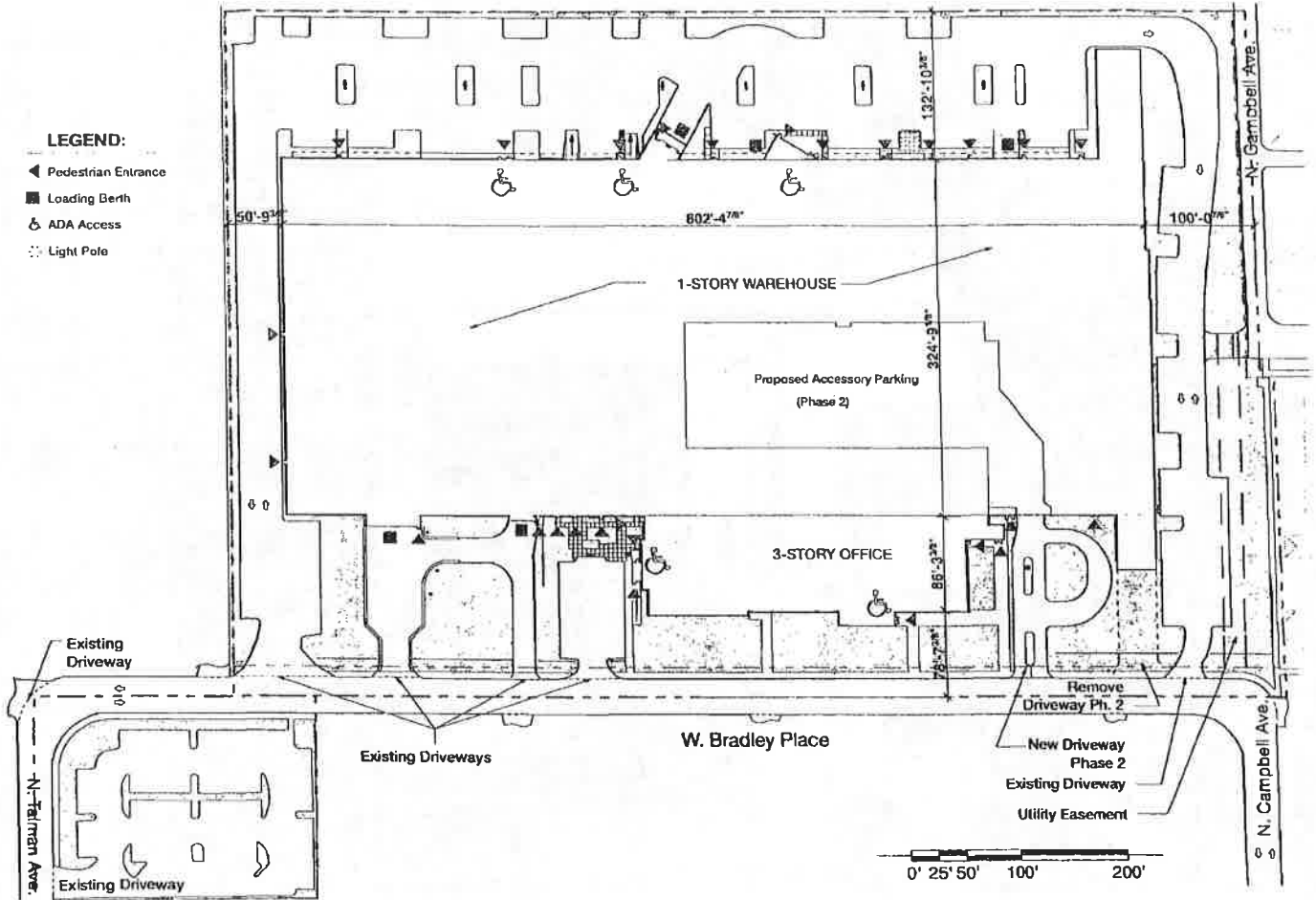
Aerial Map

N


papageorgehaymes partners
 architects

Expansion of Planned Development #439
 2500-2650 & 2619-2637 W. Bradley Place
 Chicago, Illinois

Some aerial imagery is not current and the degree of detail is not uniform. For information on the accuracy of the aerial imagery, please contact the City of Chicago, Department of Planning and Economic Development.



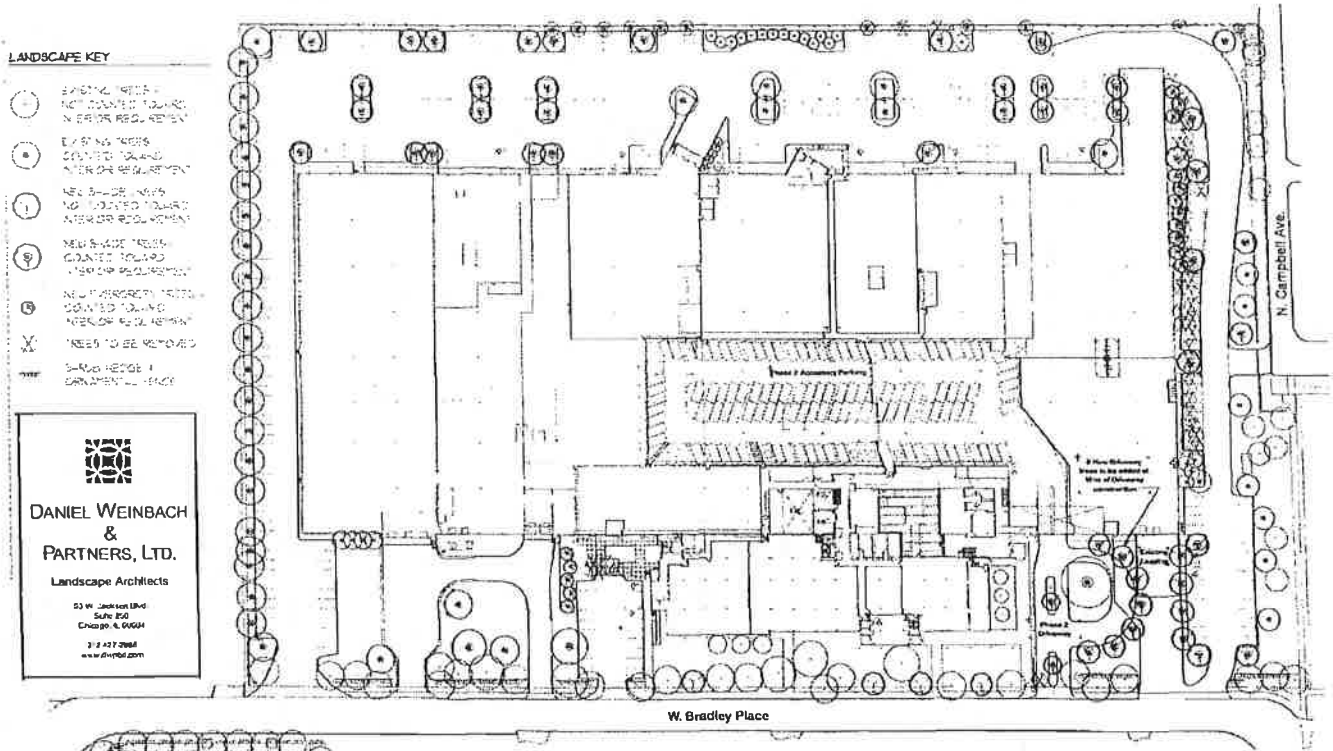
Bradley Place
 2500 W Bradley
 Chicago, IL
 P/H # 122105
 applicant: Bradley Place Holdings, L.L.C.
 submitted: August 15, 2013

Right-of-Way Adjustment

papegeorgehaymes partners
 architect
 PAPPAGEORGE
 HAYMES
 Expansion of Planned Development #439
 2500-2650 & 2619-2637 W. Bradley Place
 Chicago, Illinois



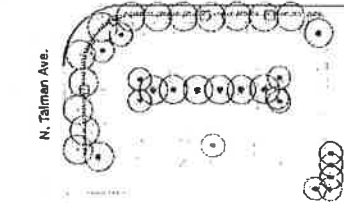
These plans and specifications are the property of Papegeorge Haymes Partners, Inc. and are not to be used for any other project without the written consent of Papegeorge Haymes Partners, Inc.



- LANDSCAPE KEY**
- EXISTING TREES - NOT COUNTED TOWARD MINIMUM REQUIREMENT
 - EXISTING TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ① NEW 3" DBE TREES - NOT COUNTED TOWARD MINIMUM REQUIREMENT
 - ② NEW 3" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ③ NEW 4" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ④ NEW 6" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
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 - ⑪ NEW 20" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ⑫ NEW 24" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ⑬ NEW 30" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
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 - ㉓ NEW 90" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ㉔ NEW 96" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ㉕ NEW 102" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ㉖ NEW 108" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
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 - ㊾ NEW 246" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ㊿ NEW 252" DBE TREES - COUNTED TOWARD MINIMUM REQUIREMENT
 - ⊗ TREES TO BE REMOVED
 - DRIVE WEDGE / ORNAMENTAL HEDGE

DANIEL WEINBACH & PARTNERS, LTD.
Landscape Architects

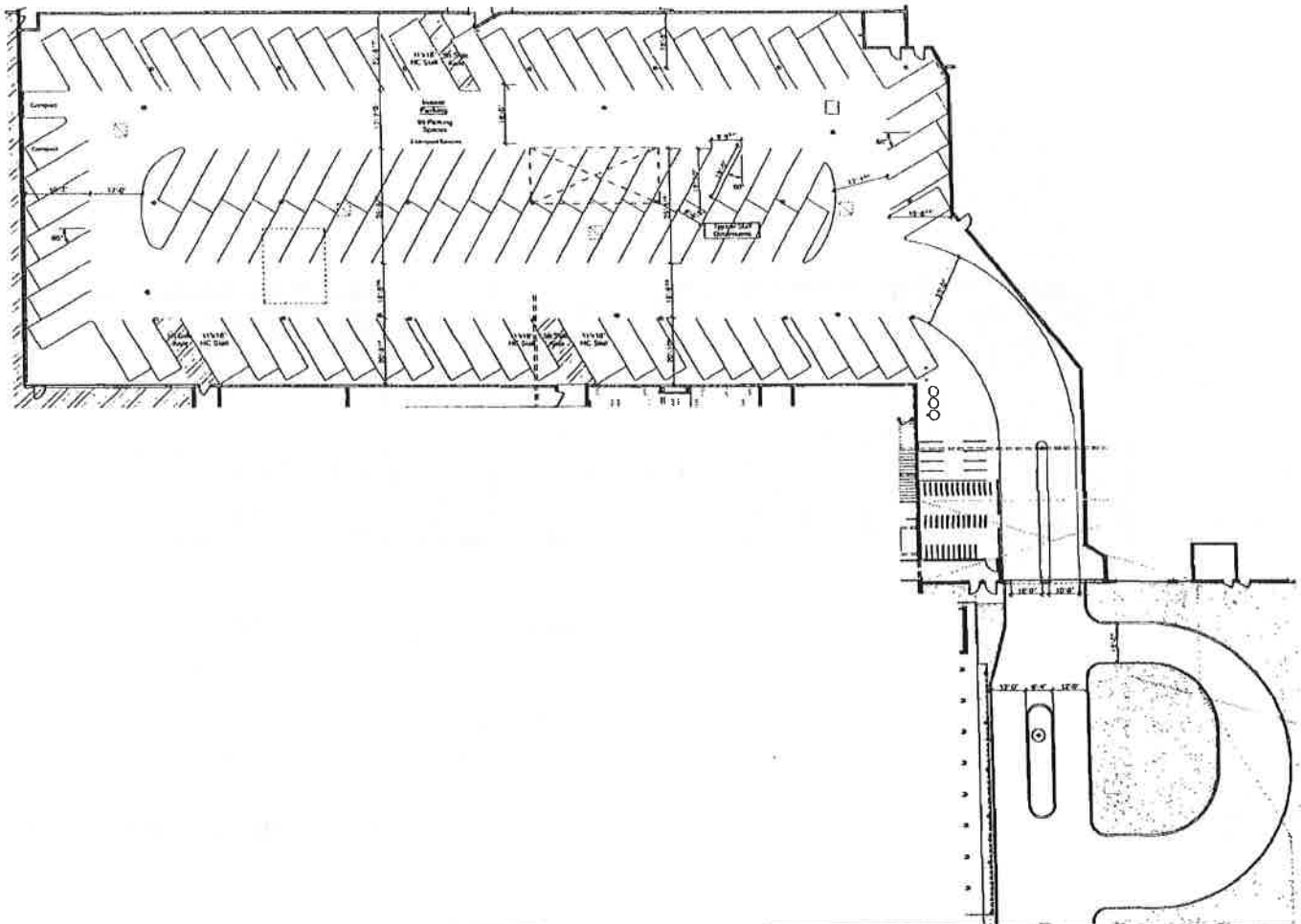
53 W. Jackson Blvd.
Suite 800
Chicago, IL 60604
312.427.2988
www.dw-lpa.com



VEHICULAR USE AREA CALCULATIONS INCLUDING MAIN LOTS & SOUTH OUTLOT

VEHICULAR USE AREA	116,748 SF
GREENSPACE REQUIRED (10%)	11,675 SF
GREENSPACE PROVIDED	60,807 SF
TREES REQUIRED (1/1000')	117 TREES
TREES PROVIDED	61 TREES

<p>Bradley Place 2500 W Bradley Chicago, IL</p> <p>P/H # 122105 applicant: Bradley Place Holdings, LLC. submitted: August 15, 2013</p>	<p>Landscaping Plan</p>		<p>pageorgehaymes partners architect</p> <p>Expansion of Planned Development #439 2500-2650 & 2619-2637 W. Bradley Place Chicago, Illinois</p>
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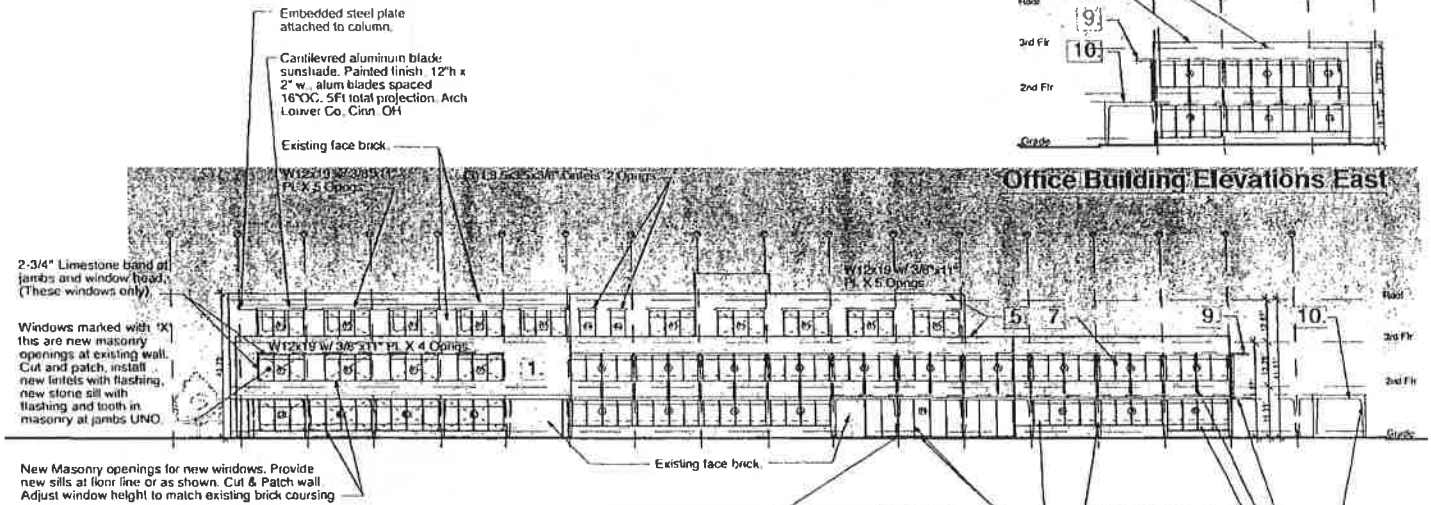
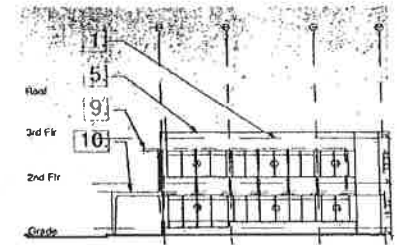
Bradley Place
 2500 W Bradley
 Chicago, IL
 P/H # 122105
 applicant: Bradley Place Holdings, LLC.
 submitted: August 15, 2013

Accessory Parking Detail
 Proposed Driveway and Accessory
 Parking to be built in Phase 2



peppageorgehaymes partners
 architect
 Expansion of Planned Development #439
 2500-2650 & 2619-2637 W. Bradley Place
 Chicago, Illinois

Some portions of this plan are subject to future applications for additional parking.

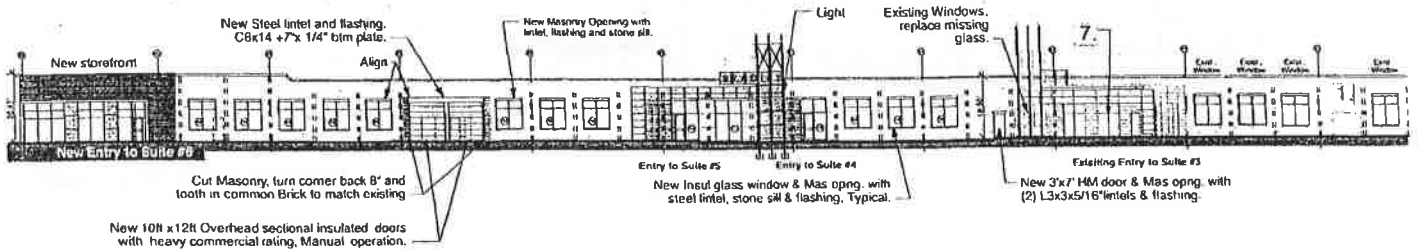


MATERIALS KEY

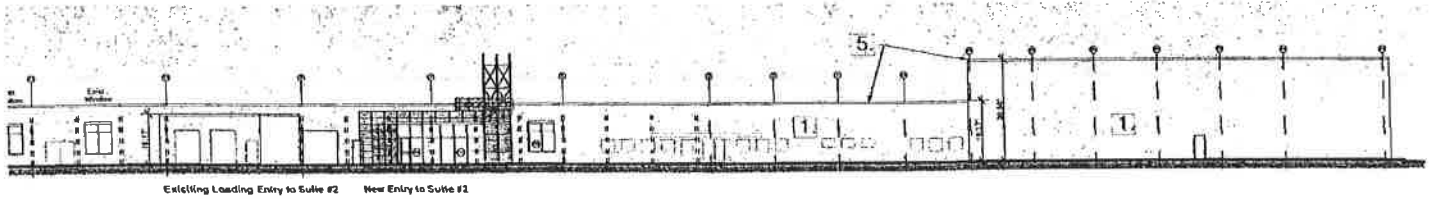
- 1. Face Brick in Running Bond
- 2. Common Brick in Running Bond.
- 3. Prefinished Cement Composition Panel.
- 4. Painted Steel.
- 5. Stone Trim.
- 6. Glass & Aluminum Storefront.
- 7. Glass & Aluminum Window.
- 8. Vertical Rib Metal Siding.
- 9. Aluminum Trellis.
- 10. Painted Concrete.

Office Building Elevations South

<p>Bradley Place 2500 W Bradley Chicago, IL PH # 122105 applicant: Bradley Place Holdings, LLC. submitted: August 15, 2013</p>	<p>Office Building Elevations South & East ^N</p>	<p>papageorgehaymes partners architect</p> <p>Expansion of Planned Development #439 2500-2550 & 2615-2637 W. Bradley Place Chicago, Illinois</p>
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Building Elevation North

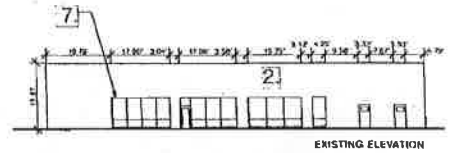
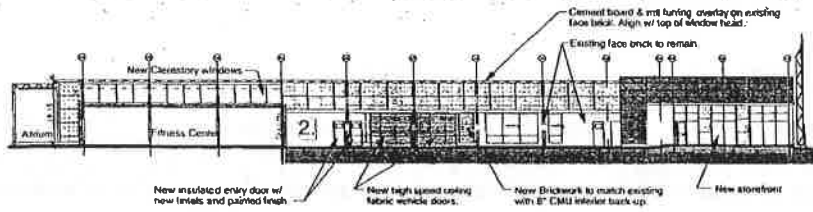


Building Elevations North

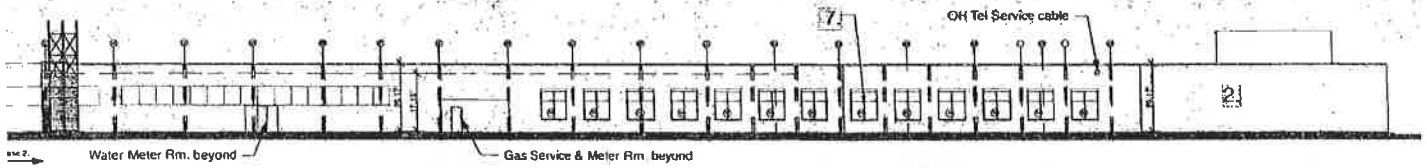
MATERIALS KEY

- 1. Face Brick In Running Bond
- 2. Common Brick in Running Bond.
- 3. Prefinished Cement Composition Panel.
- 4. Painted Steel.
- 5. Stone Trim.
- 6. Glass & Aluminum Storefront.
- 7. Glass & Aluminum Window.
- 8. Vertical Rib Metal Siding.
- 9. Aluminum Trellis
- 10. Painted Concrete.

<p>Bradley Place 2500 W Bradley Chicago, IL</p> <p>P/H # 122105 applicant: Bradley Place Holdings, LLC. submitted: August 15, 2013</p>	<p>Building Elevations North</p>	<p>N</p>	<p>papegeorgehymes partners architect</p> <p>EXPANSION OF PLANNED DEVELOPMENT #439 2500-2650 & 2619-2637 W. Bradley Place Chicago, Illinois</p>	<p style="font-size: 8px;">© 2013 PapeGeorgeHymes Partners, LLC</p>
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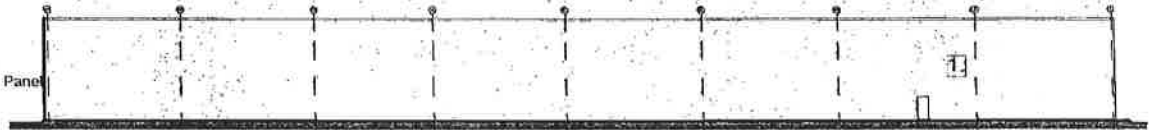
Building Elevations South



Building Elevations East

MATERIALS KEY

- 1. Face Brick in Running Bond
- 2. Common Brick in Running Bond.
- 3. Prefinished Cement Composition Panel
- 4. Painted Steel.
- 5. Stone Trim
- 6. Glass & Aluminum Storefront.
- 7. Glass & Aluminum Window.
- 8. Vertical Rib Metal Siding.
- 9. Aluminum Trellis.
- 10. Painted Concrete.



Building Elevation West

<p>Bradley Place 2500 W Bradley Chicago, IL</p> <p>P/N # 122105 applicant: Bradley Place Holdings, L.L.C. submitted: August 15, 2013</p>	<p>Building Elevations East & South</p> <p>N ⊕</p>	<p>papageorgehaymes partners architect</p> <p>PAPAGEORGE HAYMES</p> <p>Expansion of Planned Development #439 2500-2650 & 2619-2627 W Bradley Place Chicago, Illinois</p>
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These plans and drawings and any subject to the provisions of the applicable laws and regulations of the City of Chicago, Illinois.

17011

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification Of Area Shown On Map No. 9-I.
(As Amended)
(Application No. 17011)
(Common Address: 2630 -- 2650 W. Bradley Pl.)

WMPD 439, A

[SO2010-871]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Waterfront Manufacturing Planned Development Number 439, as amended, symbols and indications as shown on Map Number 9-I in the area bounded by:

a line 1,589.34 feet north of West Addison Street; a line 174.72 feet east of North Talman Avenue or the line thereof if extended where no street exists; West Bradley Place or the line thereof if extended where no street exists; North Talman Avenue; a line 787.50 feet north of West Addison Street; a line 40 feet west of North Talman Avenue; a line 887.50 feet north of West Addison Street; and the north branch of the Chicago River,

to those of Waterfront Manufacturing Planned Development Number 439, as amended, and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance takes effect after its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows:

Waterfront Manufacturing Planned Development
No. 439, As Amended.

Plan Of Development Statements.

1. The area delineated herein as Waterfront Manufacturing Planned Development Number 439, as amended (the "Planned Development"), consists of approximately three hundred eighty-seven thousand two hundred three (387,203) square feet (eight and eighty-nine hundredths (8.89) acres) of property which is depicted on the attached

Planned Development Boundary and Property Line Map (the "Property") and is owned or controlled by the Applicant, Bradley Place Holdings, L.L.C., an Illinois limited liability company.

2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets and alleys, or easements, or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees.
3. The following use(s) shall be permitted within the area delineated herein as the Planned Development: general manufacturing and service, artisan, limited and general manufacturing, production and industrial services; warehousing, wholesaling and freight movement; office, high technology office, and electronic data storage center; and sports and recreation, participant.
4. Off-street parking and off-street loading facilities shall be provided in compliance with this Planned Development, subject to the review of the Department of Transportation ("C.D.O.T.") and the approval of the Department of Zoning and Land Use Planning. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.
5. Identification signs may be permitted within the area delineated herein as the Planned Development, subject to the review and approval of the Department of Zoning and Land Use Planning. Temporary signs such as construction and marketing signs may be permitted subject to the aforesaid approvals. There shall be no off-premise signs permitted.
6. The information in the amended tables and maps attached hereto sets forth data concerning the generalized land-use plan of the area delineated herein as the Planned Development, and stipulates the land-use and development controls applicable to the site.

Attached hereto and incorporated herein by this reference are:

1. Property Line and Planned Development Boundary Map.
2. Existing Zoning Map.
3. Generalized Land-Use Plan.
4. Planned Development Use and Bulk Regulations and Data Chart.

This Planned Development shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as promulgated by the Commissioner of the Department of Zoning and Land Use Planning.

[Property Line and Planned Development Boundary Map; Existing Zoning Map; and Generalized Land-Use Plan referred to in these Plan of Development Statements printed on pages 87158 through 87160 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Waterfront Manufacturing Planned Development
No. 439, As Amended*

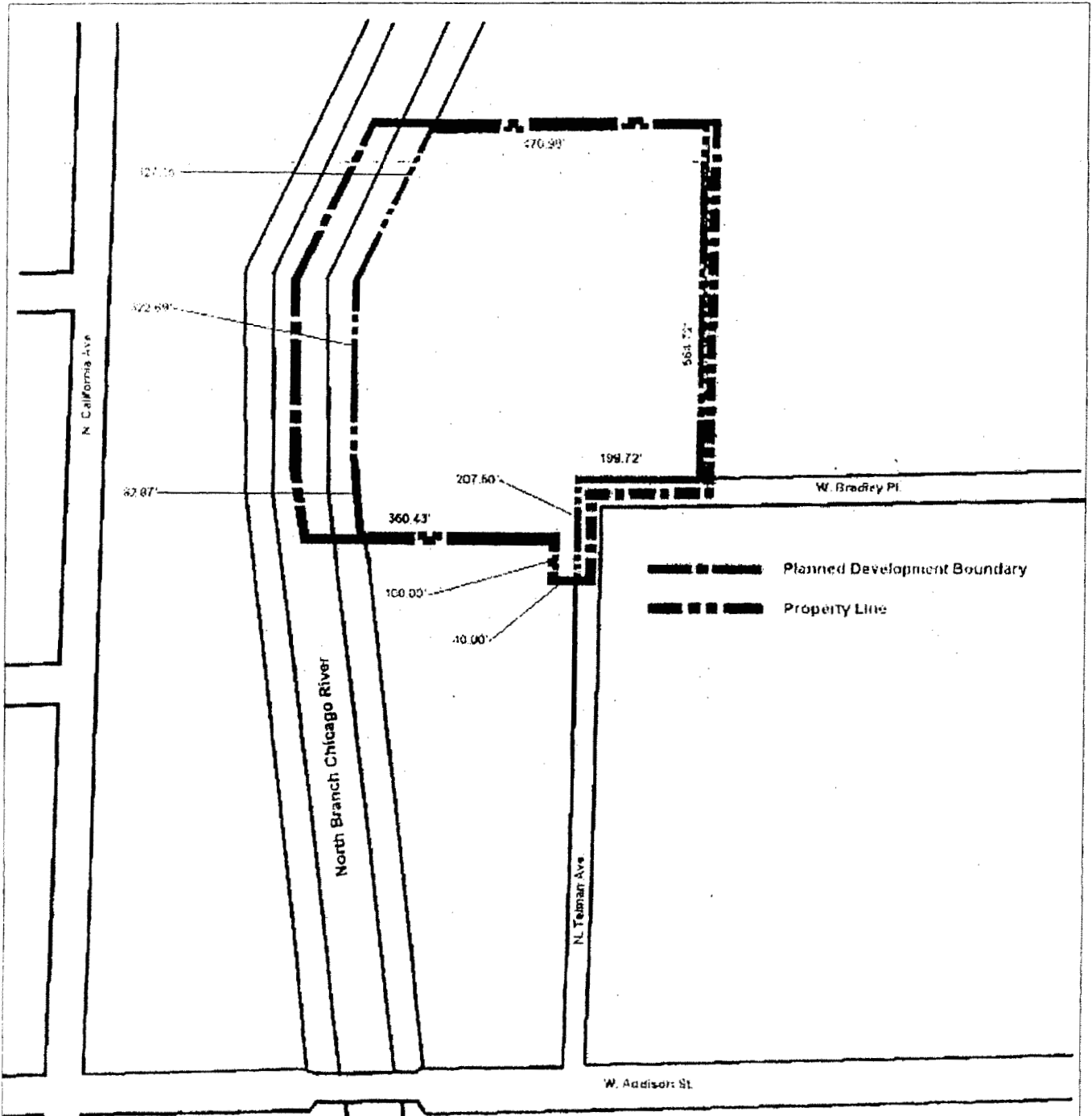
Plan Of Development.

Bulk Regulations And Data Table.

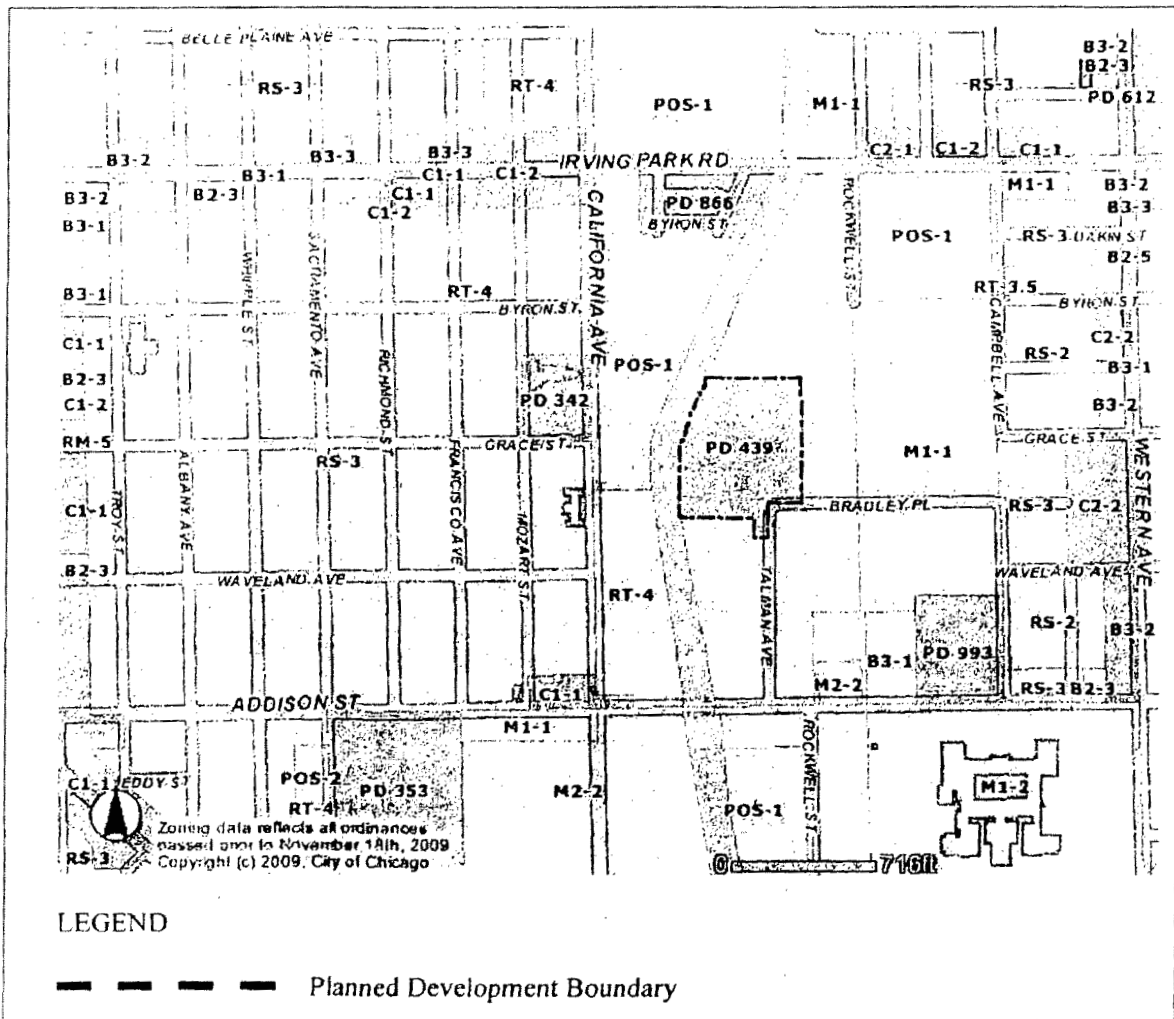
Gross Site Area, 463,433 square feet (10.64 acres) = Net Site Area, 387,203 square feet (8.89 acres) + Area Remaining in Public Right-of-Way, 76,230 square feet (1.75 acres)

Maximum Floor Area Ratio:	2.2
Maximum Site Coverage:	40%
Minimum Number of Loading Berths:	Per M2 requirements.
Minimum Number of Off-Street Parking Spaces:	1.5 per 1,000 square feet of floor area
Minimum Building Setbacks:	
North:	50 feet
East:	50 feet
South:	50 feet
Chicago River:	40 feet

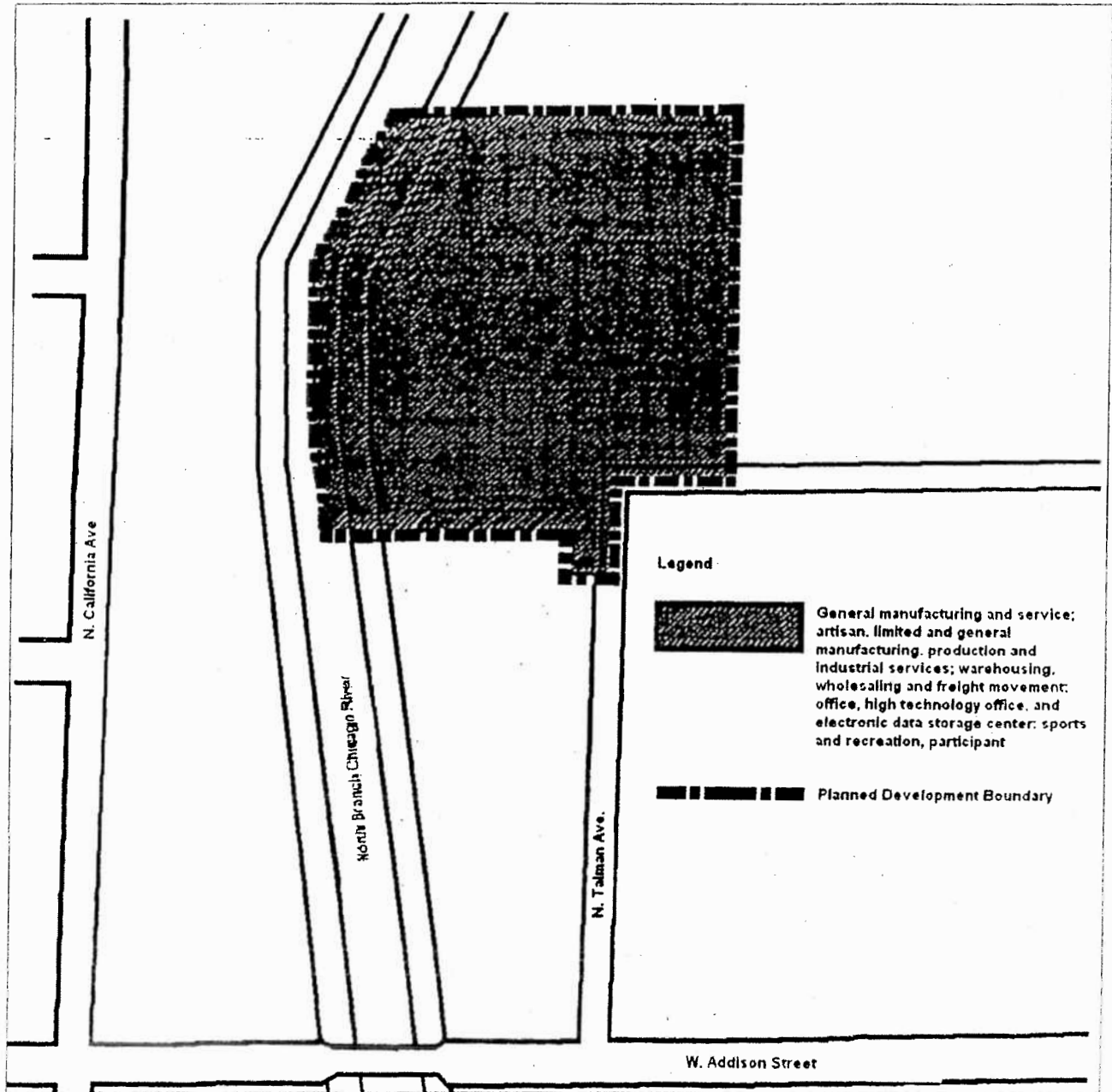
Property Line And Planned Development
Boundary Map.



Existing Zoning Map.



Generalized Land-Use Plan.





City of Chicago
Richard M. Daley, Mayor

Department of Planning and
Development

Arnold L. Randall
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
312 744-4190
312 744-2271 (FAX)
312 744-2578 (TTY)

<http://www.cityofchicago.org>

December 21, 2007

Mr. Gary Wigoda
Attorney at Law
444 North Michigan Avenue, 26th Floor
Chicago, Illinois 60611

Re: 2650 W. Bradley Place
Planned Development Number 439, as amended

Dear Mr. Wigoda:

This letter is to inform you the Department of Planning and Development has reviewed your correspondence dated December 17, 2007 requesting a minor amendment to the planned development referred to above. We have made the following determination:

Planned Development 439 currently allows, "General Manufacturing and Service which can include light assembly, storage, distribution, small products repair and assembly."

This minor change letter will be added to the PD 439 file. It acknowledges changes in the new code with language that clarifies the term General Manufacturing in PD 439 to include Artisan, Limited and General Manufacturing, Production and Industrial Services; Warehousing Wholesaling and Freight Movement; and Office, High Technology Office, and Electronic Data Storage Center uses as permitted and regulated in the M2 Light Manufacturing District.

Sincerely,

Arnold L. Randall
Commissioner

cc: file (PD 439)
S. Assefa
S. Valenziano
H. Gleason
Ald. Schuller



Reclassification Of Area Shown On Map Number 9-I.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Waterfront Manufacturing Planned Development No. 439 symbols and indications as shown on Map No. 9-I in the area bounded by:

a line 1,589.34 feet north of West Addison Street; a line 174.72 feet east of North Talman Avenue or the line thereof if extended where no street exists; West Bradley Place; North Talman Avenue; a line 787.50 feet north of West Addison Street; a line 40 feet west of North Talman Avenue; a line 887.50 feet north of West Addison Street; and the North Branch of the Chicago River,

to the designation of Waterfront Manufacturing Planned Development No. 439, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all the Waterfront Manufacturing Planned Development No. 439 symbols and indications as shown on Map No. 9-I in the area bounded by:

a line 887.50 feet north of West Addison Street; a line 40 feet west of North Talman Avenue; a line 787.50 feet north of West Addison Street; North Talman Avenue; a line 762.5 feet north of West Addison Street; and the North Branch of the Chicago River,

to those of an M2-2 General Manufacturing District and a corresponding use district is hereby established in the area above described in Section 2.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development attached to this ordinance reads as follows:

*Waterfront Manufacturing Planned Development Number 439
(As Amended)*

Plan Of Development

Statements.

1. The area delineated herein as a Waterfront Manufacturing Planned Development No. 439 is owned or controlled by SDK Industrial Parks, a joint venture.
2. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees.
3. Any dedication or vacation of streets and alleys, or easements, or adjustments of rights-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the applicant or its successors, assignees or grantees.
4. The following use(s) shall be permitted within the area delineated herein as a Waterfront Manufacturing Planned Development: general manufacturing and service.
5. Off-street parking and off-street loading facilities shall be provided in compliance with this amended Plan of Development, subject to the review of the Bureau of Traffic Engineering and Operations and the approval of the Department of Planning.
6. Any service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Bureau of Traffic Engineering and Operations and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles; there shall be no parking within such paved areas. Fire lanes, if required, shall be adequately designed and paved in compliance with the Municipal Code of Chicago to provide ingress and egress for emergency vehicles; there shall be no parking within such paved areas.

7. Identification signs may be permitted within the area delineated herein as a Waterfront Manufacturing Planned Development subject to the review and approval of the Department of Inspectional Services and the Department of Planning. Temporary signs such as construction and marketing signs may be permitted subject to the aforesaid approvals. There shall be no advertising signs (billboards) permitted.
8. The information in the amended tables and maps attached hereto sets forth data concerning the generalized land use plan of the area delineated herein as Waterfront Manufacturing Planned Development, and stipulates the land use and development controls applicable to the site.

Attached hereto and incorporated herein by the reference are:

1. Property Line Map and Right-of-Way Adjustment.
2. Existing Zoning and Preferential Street System Map.
3. Generalized Land Use Plan.
4. Planned Development Use and Bulk Regulations and Data Chart.

The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as promulgated by the Commissioner of Planning.

[Property Line Map and Right-of-Way Adjustment, Existing Zoning and Preferential Street System Map and Generalized Land Use Plan attached to this Plan of Development printed on pages 10792 through 10794 of this Journal.]

Use and Bulk Regulations and Data attached to this Plan of Development reads as follows:

*Waterfront Manufacturing Planned Development Number 439
(As Amended)*

Use And Bulk Regulations And Data.

Net Site Area	General Description Of Land Use	Floor Area Ratio	Proposed Percentage Of Land Coverage
<u>Square Feet</u> Acres			
<u>387,203</u> 8.89	General Manufacturing and Service which can include light assembly, storage, distribution, small products repair and assembly.	2.2	40%

Gross Site Area = Net Site Area of 8.89 acres + area in public right-of-way of 1.75 acres = 10.64 acres.

Maximum Floor Area Ratio: 2.2

Maximum Percent of Site Coverage: 40%

Off-Street Loading: Per M2 requirements.

Off-Street Parking Minimum: 1.5 per 1,000 square feet.

Minimum Periphery Building Setbacks:

North 50 feet
 East 50 feet
 South 50 feet
 Chicago River 40 feet

Reclassification Of Area Shown On Map Number 9-N.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B2-1 Restricted Retail District symbols and indications as shown on Map No. 9-N in area bounded by:

the alley next north of and parallel to West Belmont Avenue; a line 139 feet east of and parallel to North Newcastle Avenue; West Belmont Avenue; North Newcastle Avenue,

to those of a B4-1 Restricted Service District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

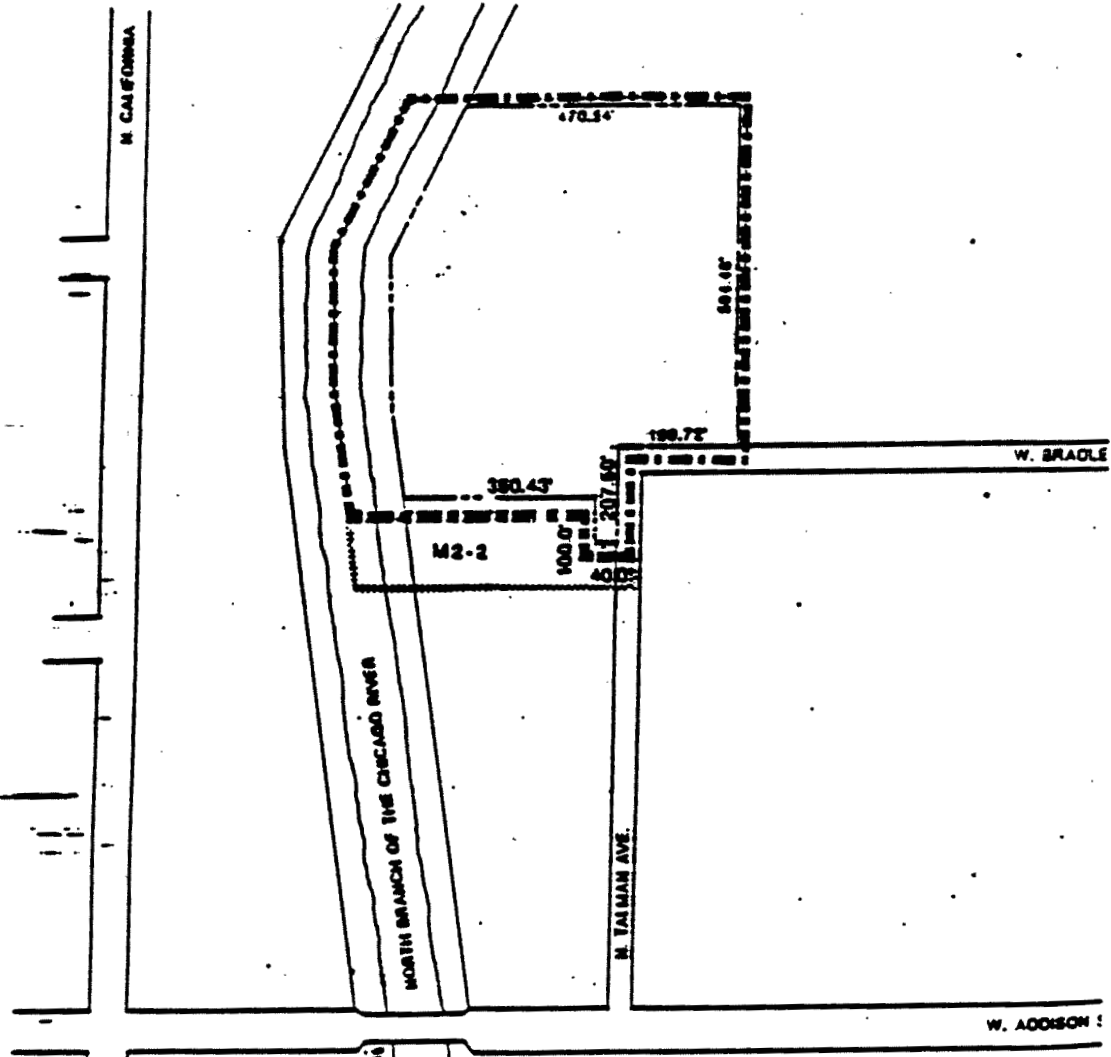
*Reclassification Of Area Shown On Map Number 11-I.
 (As Amended)*

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B4-2 Restricted Service District symbols and indications as shown on Map No. 11-I in the area bounded by:

(Continued on page 10795)

WATERFRONT MANUFACTURING PLANNED DEVELOPMENT .NO. 439
PROPERTY LINE MAP AND RIGHT OF WAY AS SHOWN
ADJUSTMENTS.



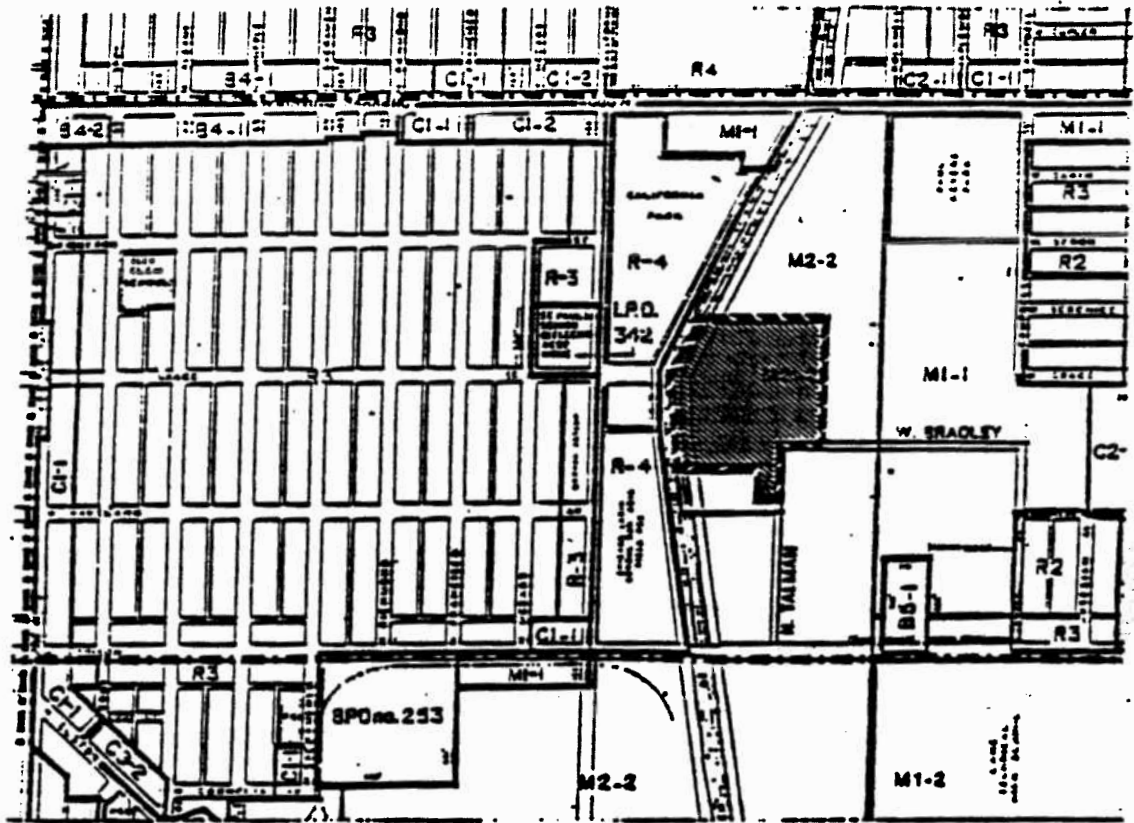
LEGEND
 _____ Property Line
 - - - - - Planned Development Boundary



APPLICANT: SOX INDUSTRIAL PARKS, A Joint Venture
 DATE: October 2, 1989

WATERFRONT MANUFACTURING PLANNED DEVELOPMENT
EXISTING ZONING AND PREFERENTIAL STREET SYSTEM.

NO. 459
AS AMENDED



LEGEND



Subject Property



Preferential Streets

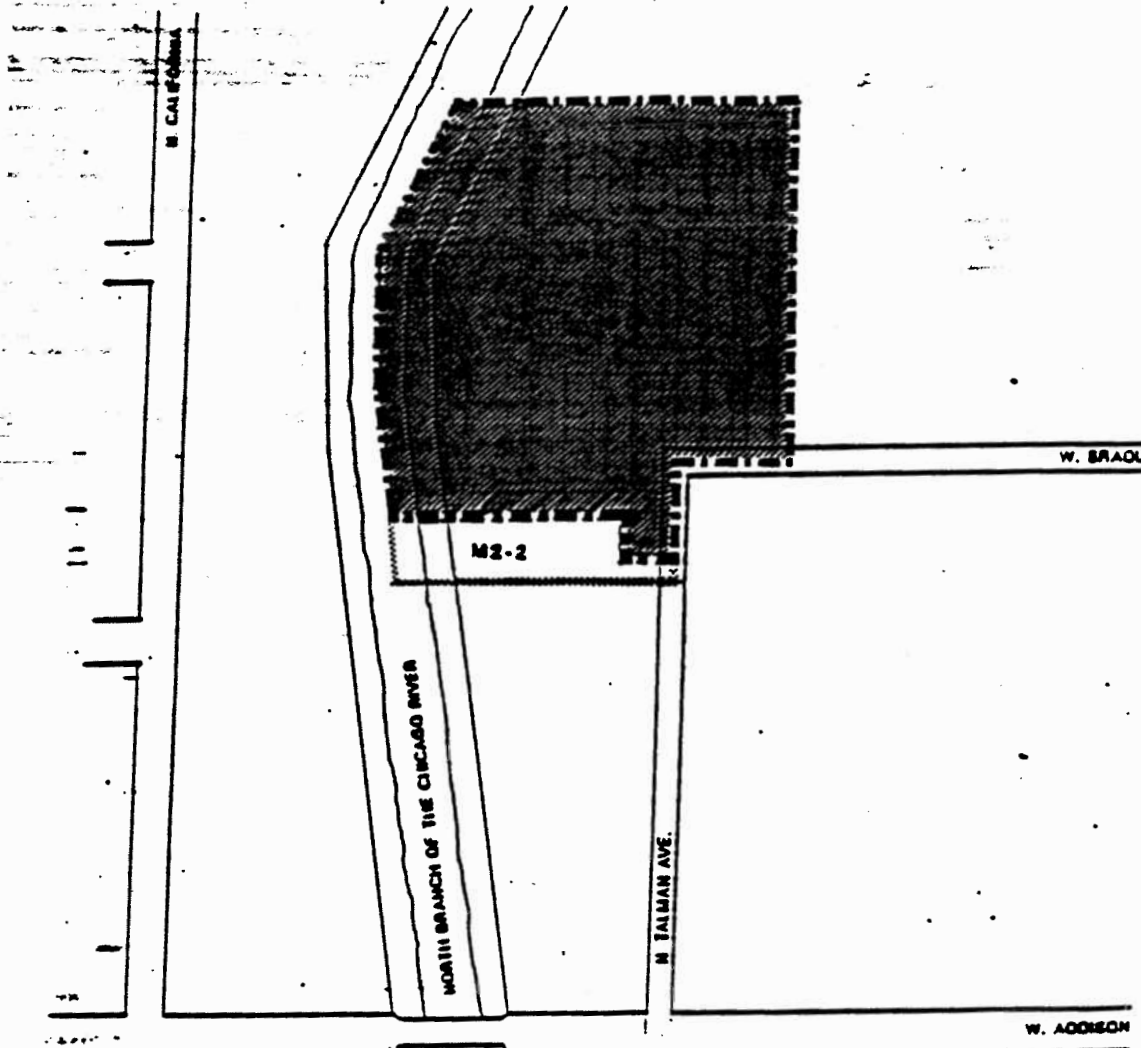


APPLICANT: SDK Industrial Parks, A Joint Venture

DATE: October 2, 1989

WATERFRONT MANUFACTURING PLANNED DEVELOPMENT
GENERALIZED LAND USE PLAN.

NO. 438
AS AMEND



LEGEND



GENERAL MANUFACTURING AND SERVICE



Planned Development Boundary



NORTH

APPLICANT: SDK INDUSTRIAL PARKS, A Joint Venture

DATE: October 2, 1989

Gross Site Area = Net Site Area + Area Remaining in the Public Right of Way

105,492 = 76,052 + 29,440

Off Street Parking and Loading:

Minimum accessory off-street parking: 85 Spaces

Loading berths: None

Maximum Site Floor Area Ratio: 1.06

Setbacks and Site Coverage:

Minimum Setbacks: 0 feet-0 inches

Maximum Site Coverage: 77%

Minimum Common Open Space: 12,000 square feet

[Maps attached to the Plan of Development are printed on pages 7543 through 7547 of this Journal.]

[Plat of Survey omitted for printing purposes but on file and available for public inspection in the Office of the City Clerk.]

—
Reclassification Of Area Shown On Map No. 9-I.

PD 439

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M2-2 General Manufacturing District symbols and indications as shown on Map No. 9-I in the area bounded by

a line 1,589.34 feet north of West Addison Street; a line 174.72 feet east of North Talman Avenue or the line thereof if extended where no street exists; West Bradley Place or the line thereof if extended where no street exists; North Talman Avenue; a line 762.5 feet north of West Addison Street; and the North Branch of the Chicago River,

(Continued on page 7548)

(Continued from page 7542)

to the designation of a Waterfront Manufacturing Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development attached to this ordinance reads as follows:

Plan Of Development

Waterfront Manufacturing Planned Development No. 439

Statements.

1. The area delineated herein as a Waterfront Manufacturing Planned Development is owned or controlled by S.D.K. Industrial Parks, a joint venture.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees.
3. Any dedication or vacation of streets and alleys, or easements, or adjustments of rights of way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees.
4. The following use(s) shall be permitted within the area delineated herein as a Waterfront Manufacturing Planned Development: general manufacturing and service.
5. Off-street parking and off-street loading facilities shall be provided in compliance with this Plan of Development, subject to the review of the Bureau of Traffic Engineering and Operations and the approval of the Department of Planning.
6. Any service drives or any other ingress and egress shall be adequately designed and paved in accord with the regulations of the Bureau of Traffic Engineering and Operations and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles; there shall be no parking within such paved areas. Fire lanes, if required, shall be adequately designed and paved in compliance with the Municipal Code of Chicago to provide ingress and egress for emergency vehicles; there shall be no parking within such paved areas.

7. Identification signs may be permitted within the area delineated herein as a Waterfront Manufacturing Planned Development subject to the review and approval of Inspectional Services and the Department of Planning. Temporary signs such as construction and marketing signs may be permitted subject to the aforesaid approvals. There shall be no advertising signs (billboards) permitted.
8. The information in the tables and maps attached hereto sets forth data concerning the generalized land use plan of the area delineated herein as Waterfront Manufacturing Planned Development, and stipulates the land use and development controls applicable to the site.

Attached hereto and incorporated herein by reference are:

1. Property line map and right of way adjustment;
2. Existing zoning and preferential street system map;
3. Generalized Land Use Plan; and
4. Planned Development Use and Bulk Regulations and Data Chart.

The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as promulgated by the Commissioner of Planning.

Use and Bulk Regulations and Data attached to this Plan of Development reads as follows:

Waterfront Manufacturing Planned Development No. _____

Use And Bulk Regulations And Data.

Net Site Area Sq. Ft. Acres	General Description of Land Use	Floor Area Ratio	Percent of Land Coverage
<u>430,663</u> 9.89	General Manufacturing and Service which can include light assembly, storage, distribution, small products repair and assembly.	2.2	26%

Gross Site Area = Net Site Area of 9.89 acres + Area in Public Right Of Way of 2.01 acres = 11.90 acres.

Maximum Floor Area Ratio: 2.2

Maximum Percent Site Coverage: 26%

Off-Street Loading: per M2 requirements

Off-Street Parking Minimum: 304

Landbanked: 60

Minimum Periphery Building Setbacks:

- North..... 50 feet
- East..... 50 feet
- South..... 50 feet
- Chicago River..... 40 feet

Applicant: S.D.K. Industrial Parks, a joint venture

Date: September 8, 1987

Revised: November 12, 1987

[Maps attached to the Plan of Development are printed on pages 7551 through 7553 of this Journal.]

Reclassification Of Area Shown On Map No. 10-E.

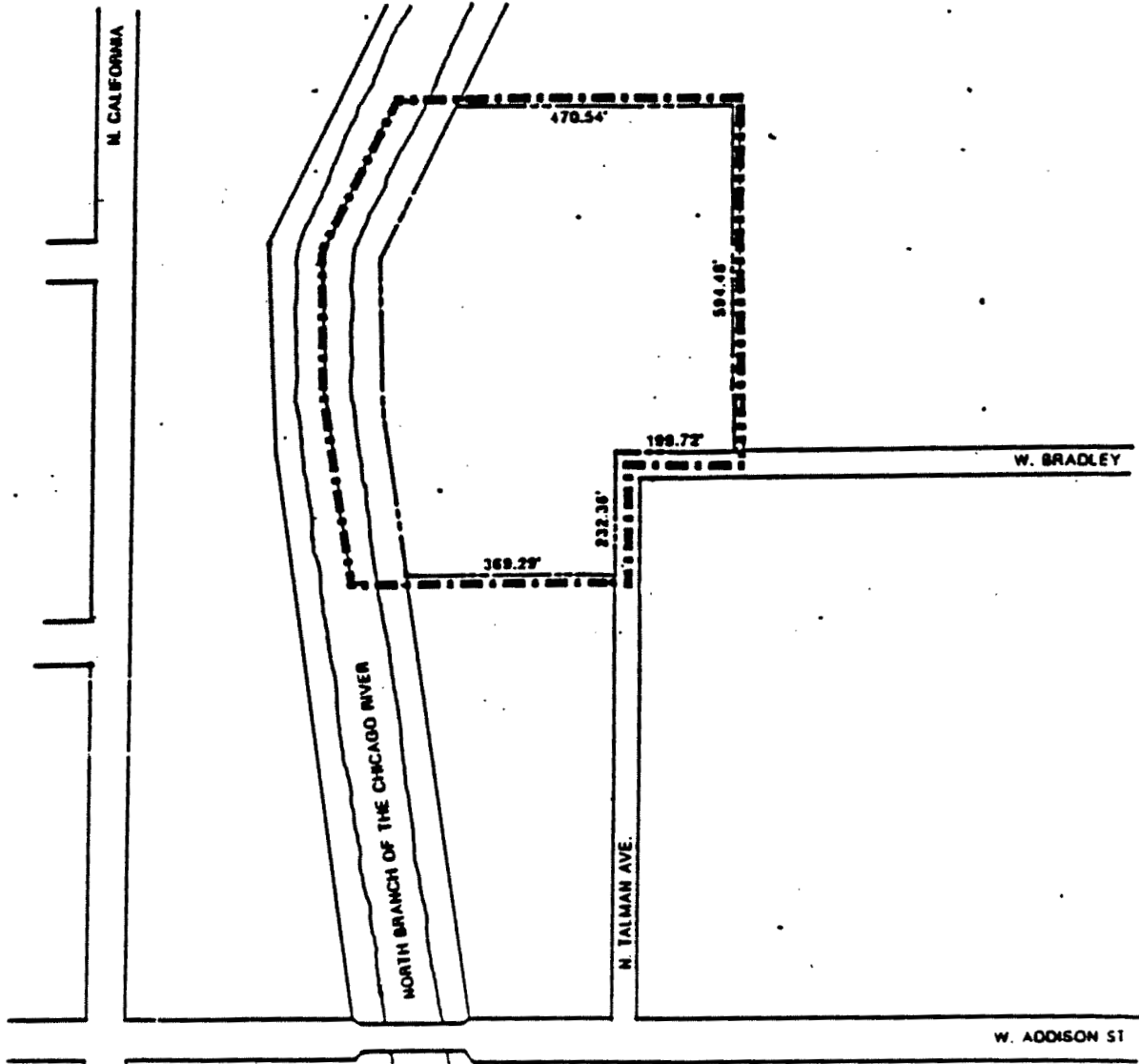
Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C1-2 Restricted Commercial District symbols and indications as shown on Map No. 10-E in the area bounded by

a line 140.18 feet north of and parallel to East 45th Street; the vacated alley first east of and parallel to South State Street; East 45th Street; and a line 89.94 feet east of and parallel to South State Street,

(Continued on page 7554)

WATERFRONT MANUFACTURING PLANNED DEVELOPMENT NO. _____
PROPERTY LINE MAP AND RIGHT-OF-WAY ADJUSTMENTS



- LEGEND
- Property Line
 - Planned Development Boundary

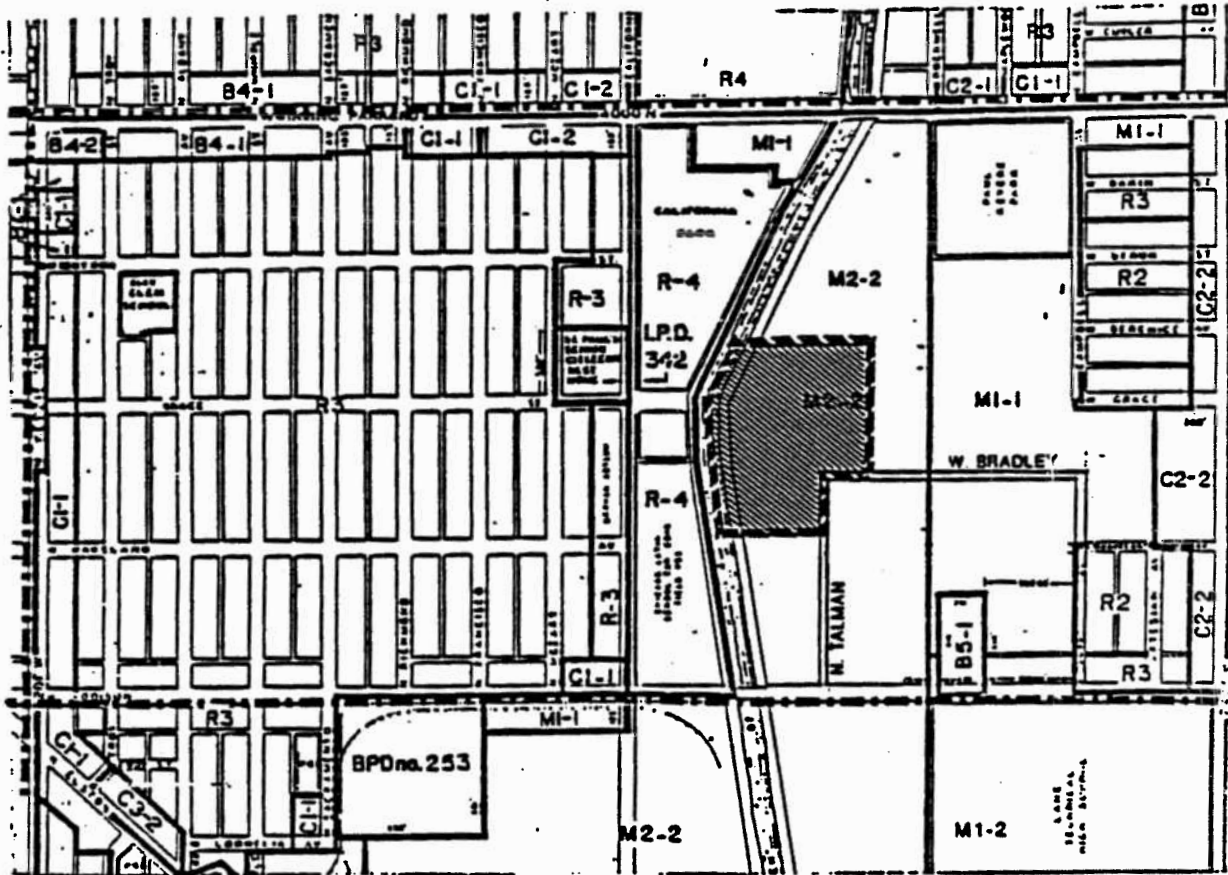


APPLICANT: SDK INDUSTRIAL PARKS, A Joint Venture

DATE: September 9, 1987

WATERFRONT MANUFACTURING PLANNED DEVELOPMENT NO. _____

EXISTING ZONING AND PREFERENTIAL STREET SYSTEM



LEGEND



Subject Property

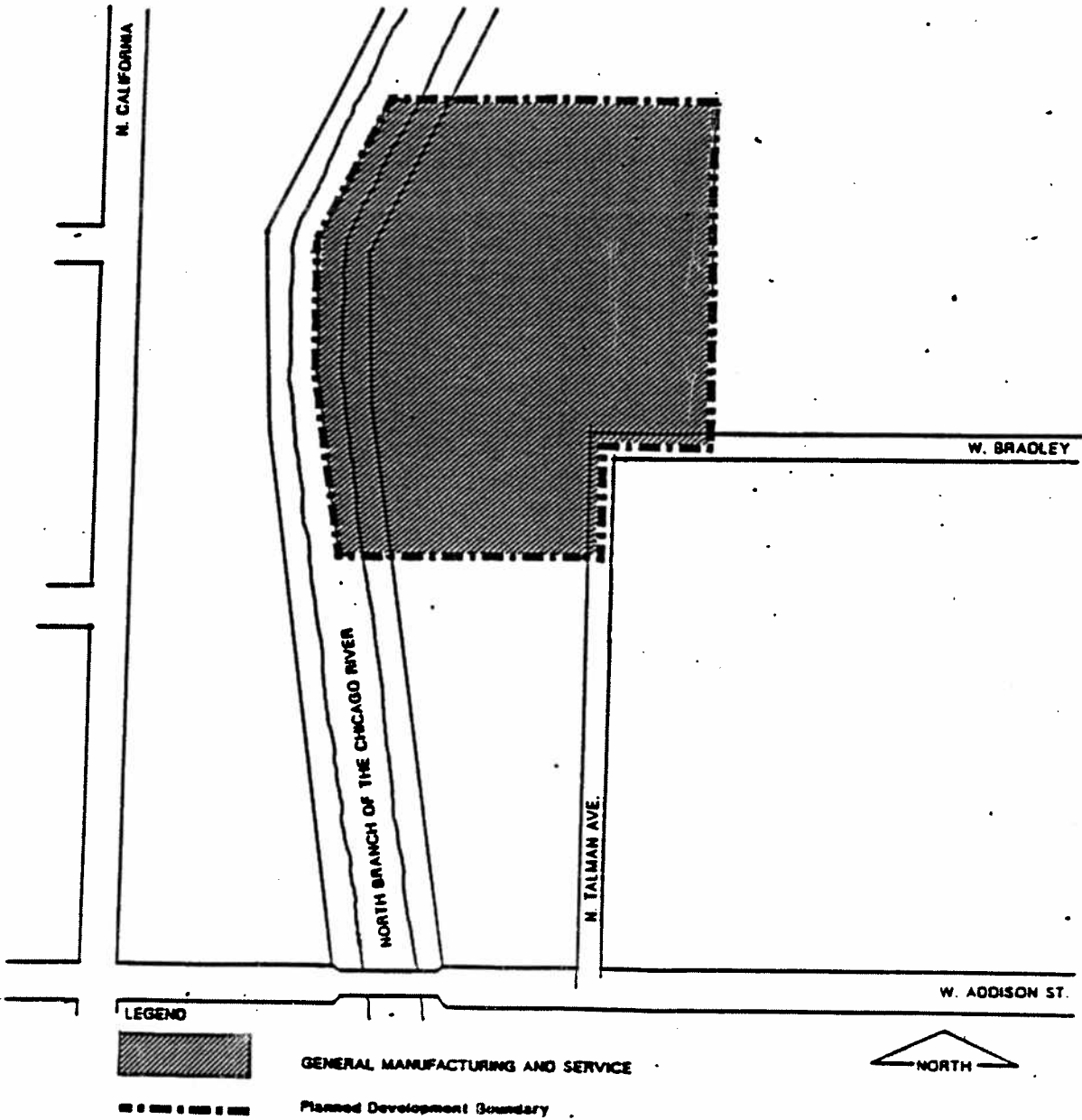
Preferential Streets



APPLICANT: SDK Industrial Parks, A Joint Venture

DATE: September 9, 1987

WATERFRONT MANUFACTURING PLANNED DEVELOPMENT NO. _____
GENERALIZED LAND USE PLAN



APPLICANT: SDK INDUSTRIAL PARKS, A Joint Venture

DATE: September 9, 1987