



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

December 14, 2022

Madeleine Doering Hill  
VX Consulting, LLC  
740 N. Franklin, Suite 10  
Chicago, IL 60654

**Re: Planned Development No. 381, Subarea A - 35 W. Wacker Drive - Minor Change**

Dear Ms. Doering Hill:

Please be advised that your request for a minor change to **Planned Development No. 381** (“PD 381”) has been considered by the Department of Planning and Development (“Department”) pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement No. 12 of the PD. The applicant, **Liberty 35 Wacker LLC** (the “Developer” and “Owner”), seeks approval to renovate the interior lobby and repurpose space for a 25,000 square foot (SF) dual-level amenity on the 4th and 5th floors. At the 4th floor level, an approximately 1,100 SF terrace is proposed off the Northside of the building extending over the public sidewalk. The amenity floors will include a tenant lounge, coffee bar, and conference center for tenant use.

The permitted maximum of 25.8 FAR in Subarea A is unaffected by this minor change. No further changes to the site are proposed. The Department has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 381, I hereby approve the foregoing minor change but no other changes to this Planned Development.

This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

The following twenty-four (24) exhibits, created by Wright Heerema Architects, will be incorporated, and made part of PD 381:

- TERRACE: Site Plan Exhibit (1), multiple interior perspective views (4), and exterior rendering (1).
- EXTERIOR PORTICO: West Wacker views (2)
- TENANT LOUNGE: Amenity 4<sup>th</sup> Floor Plan (1) and multiple interior perspective views (7)
- CONFERENCE CENTER: 5th Floor Plan (1) and interior perspective views (3)
- LOBBY – Floor Plan (1); color renderings (2); and Lobby Section (1).

All documents and exhibits listed above are dated November 10, 2022.

Sincerely,

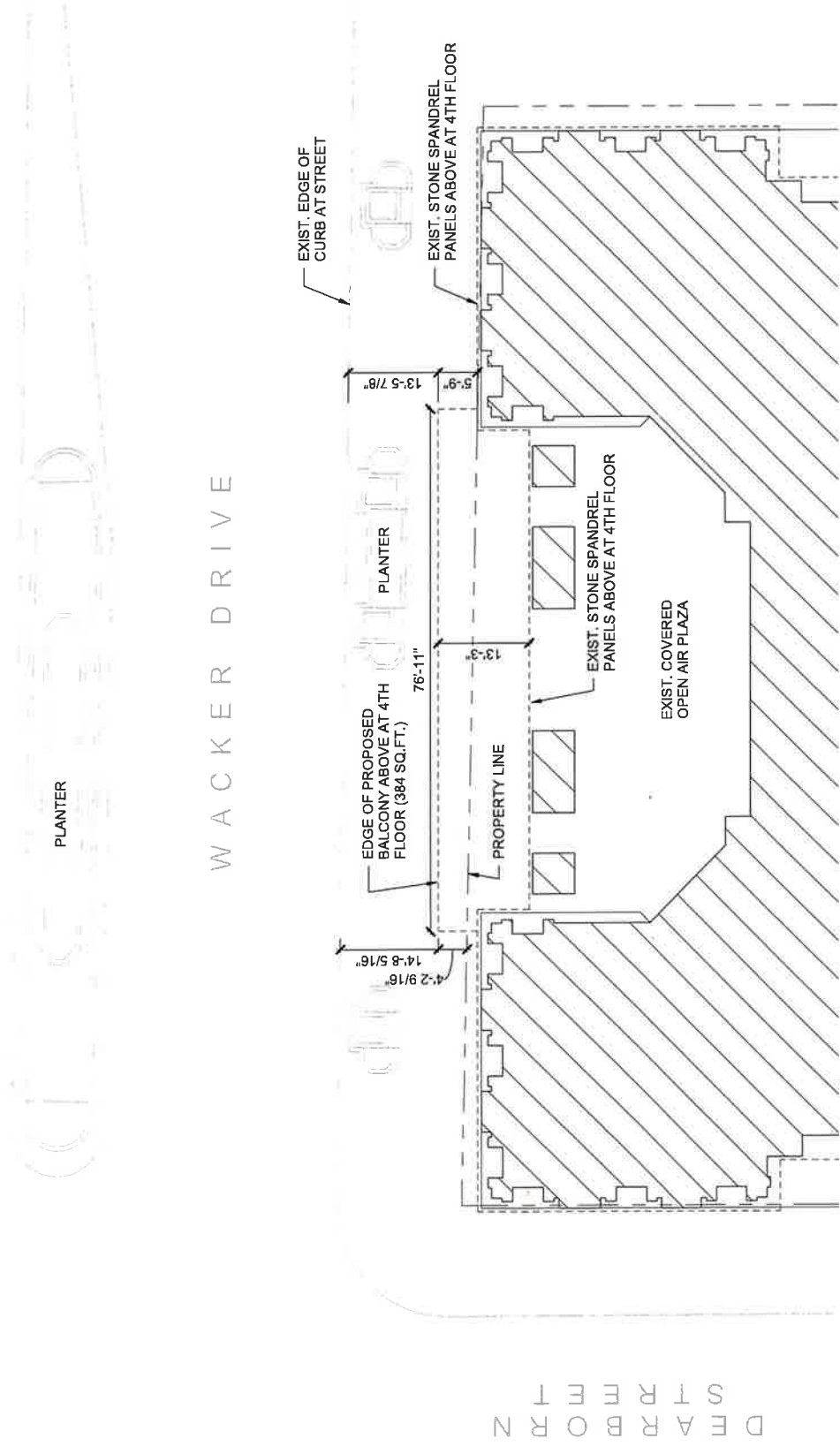


Noah Szafraniec

Assistant Commissioner

Planned Developments and Plan Commission

# SITE PLAN EXHIBIT



# 4TH FLOOR BALCONY VIEW

15' W X 77' L



EXISTING GRANITE STONE

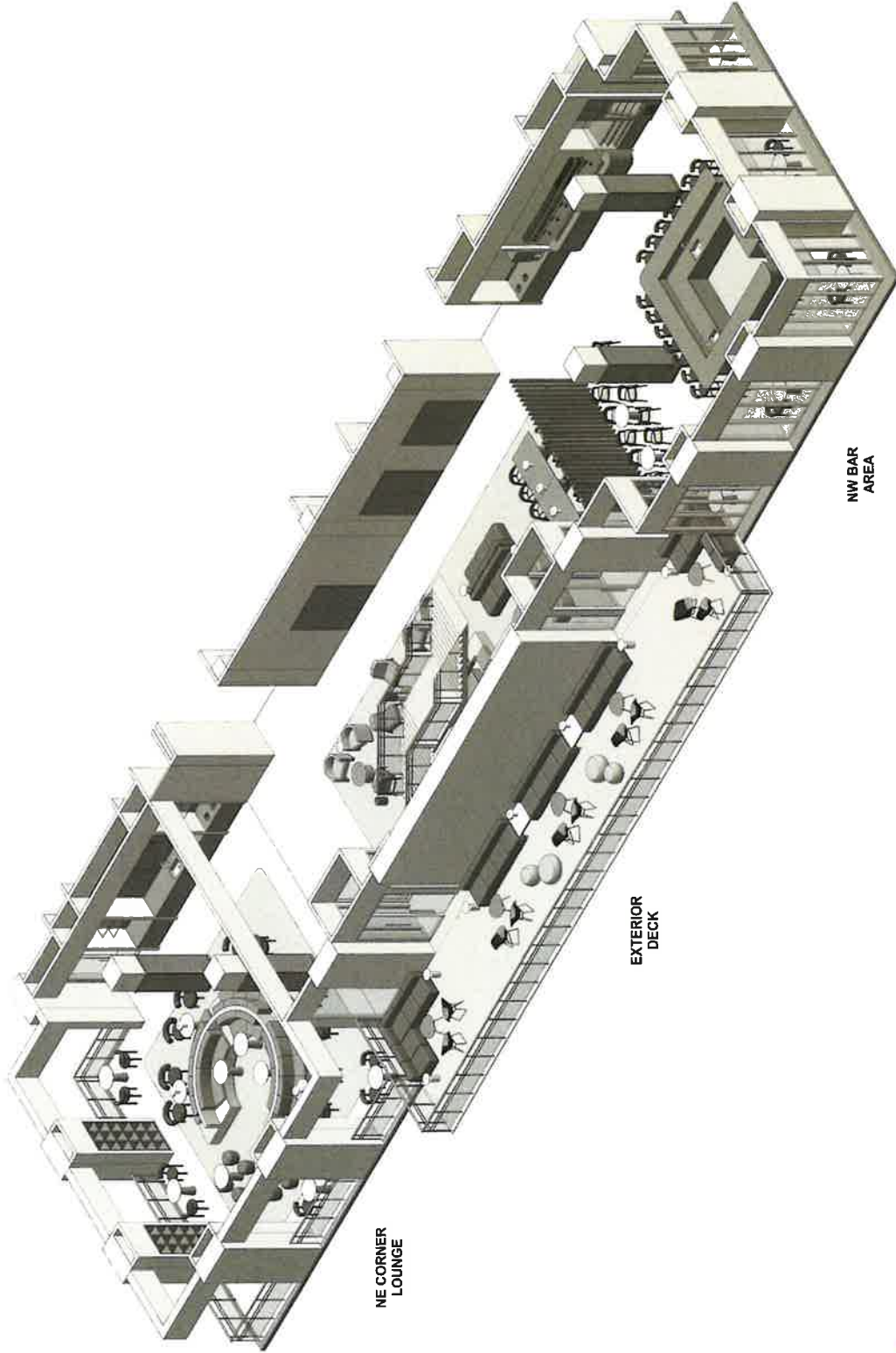
2'X2' PRECAST CONCRETE PAVERS, IN COMPLEMENTARY COLOR TO ADJACENT STONE

PERIMETER GUARD RAIL SYSTEM: CLEAR GLASS PANELS WITH SATIN STAINLESS STEEL CAP

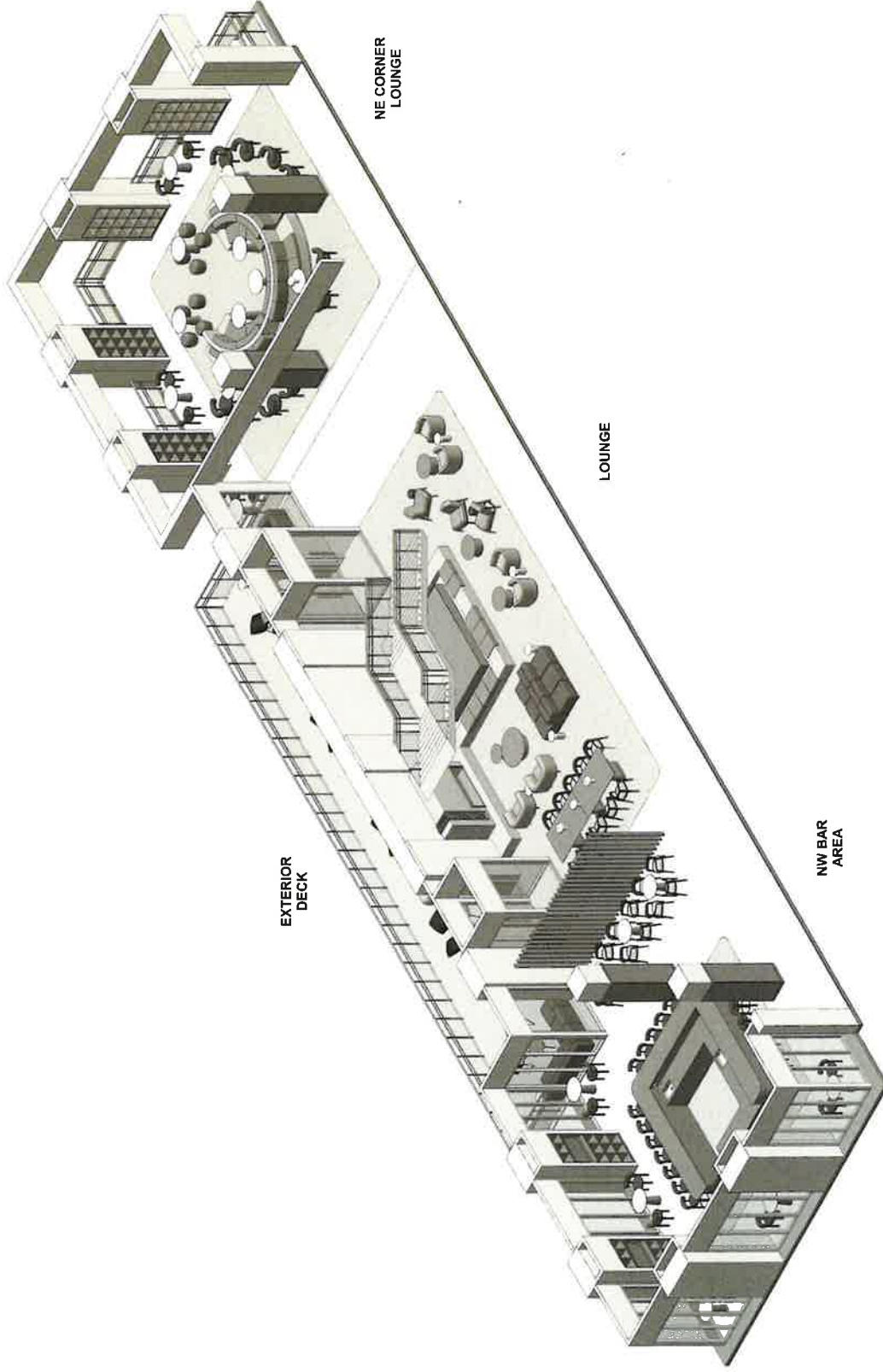
PAINTED METAL TRIM, IN COMPLEMENTARY COLOR TO ADJACENT STONE

GLASS AND SATIN STAINLESS STEEL FRAME DOOR

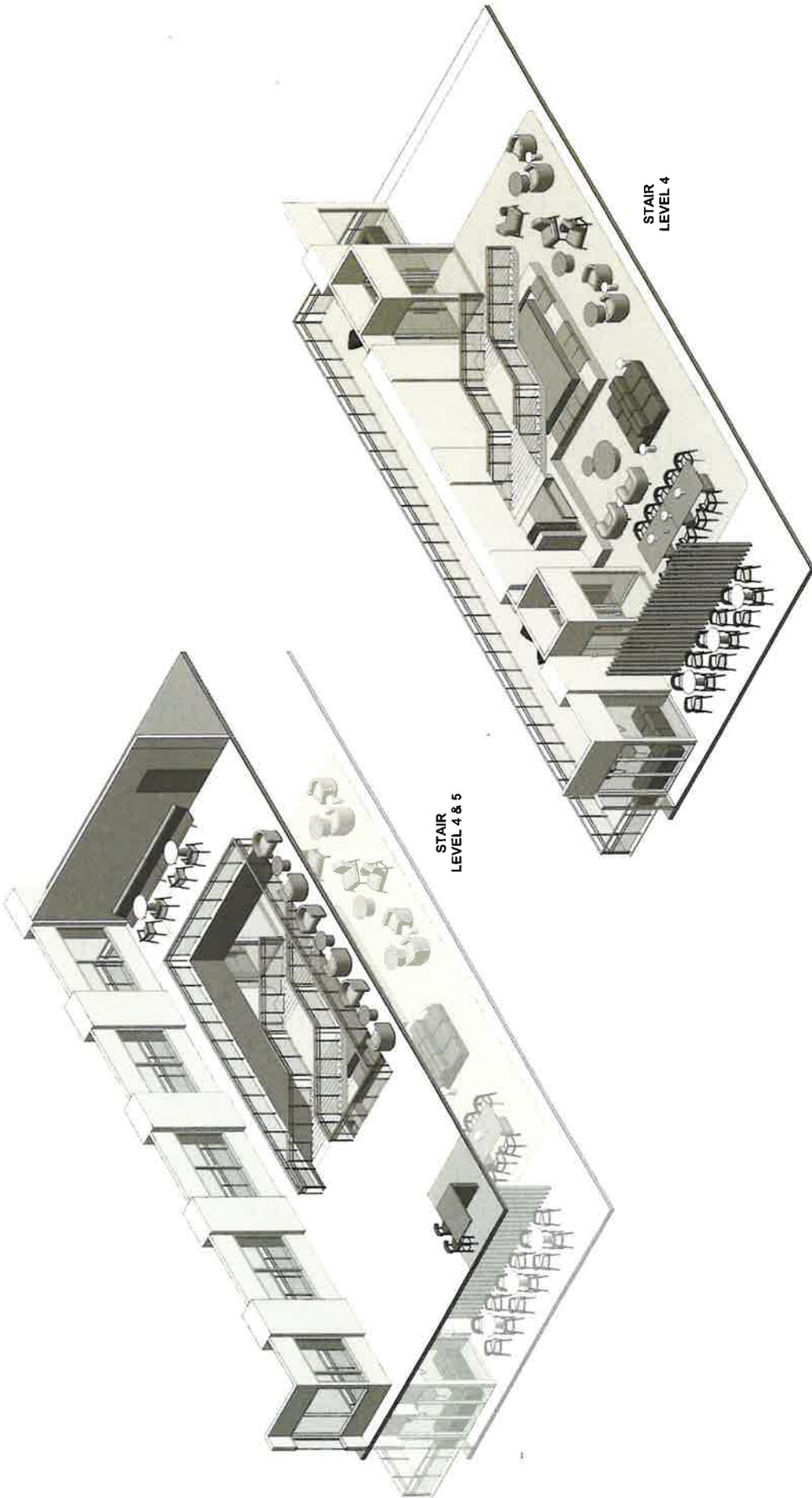
**AXON - 4TH FLOOR NORTH**



# AXON - 4TH FLOOR NORTH



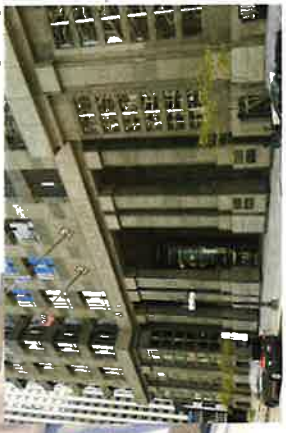
# STAIR AXON



**TERRACE VIEW**



EXISTING



# EXTERIOR PORTICO - WACKER DRIVE



EXTERIOR PLASTER PAINTED WHITE AT CEILING  
UNDER BALCONY BETWEEN BRACKETS

PAINTED ARCHITECTURAL METAL PANELS AT FASCIA (FRONT EDGES)  
AND ORNAMENTAL BRACKETS (UNDERNEATH). IN COMPLIMENTARY  
COLOR TO ADJACENT STONE

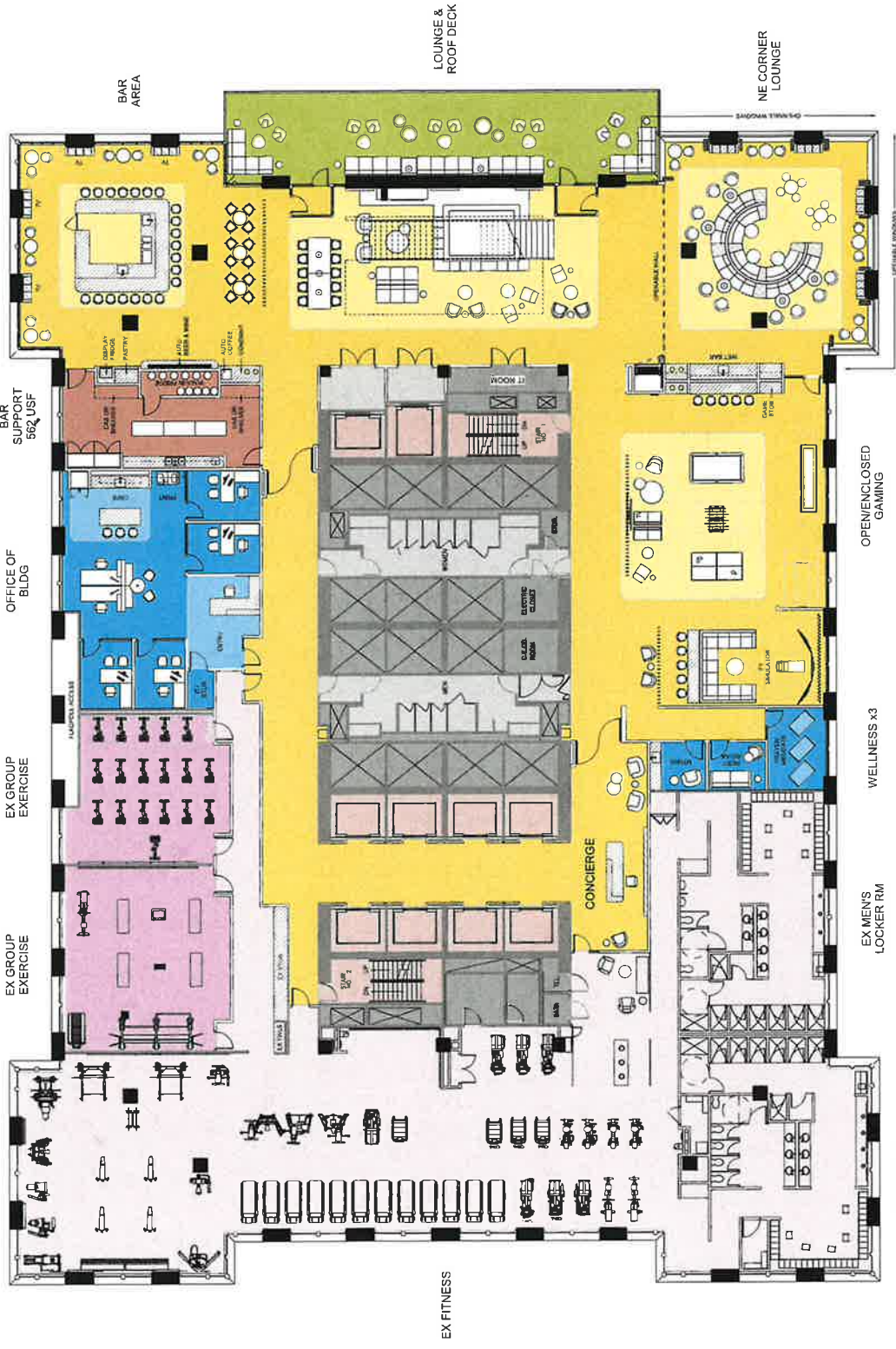


EXISTING

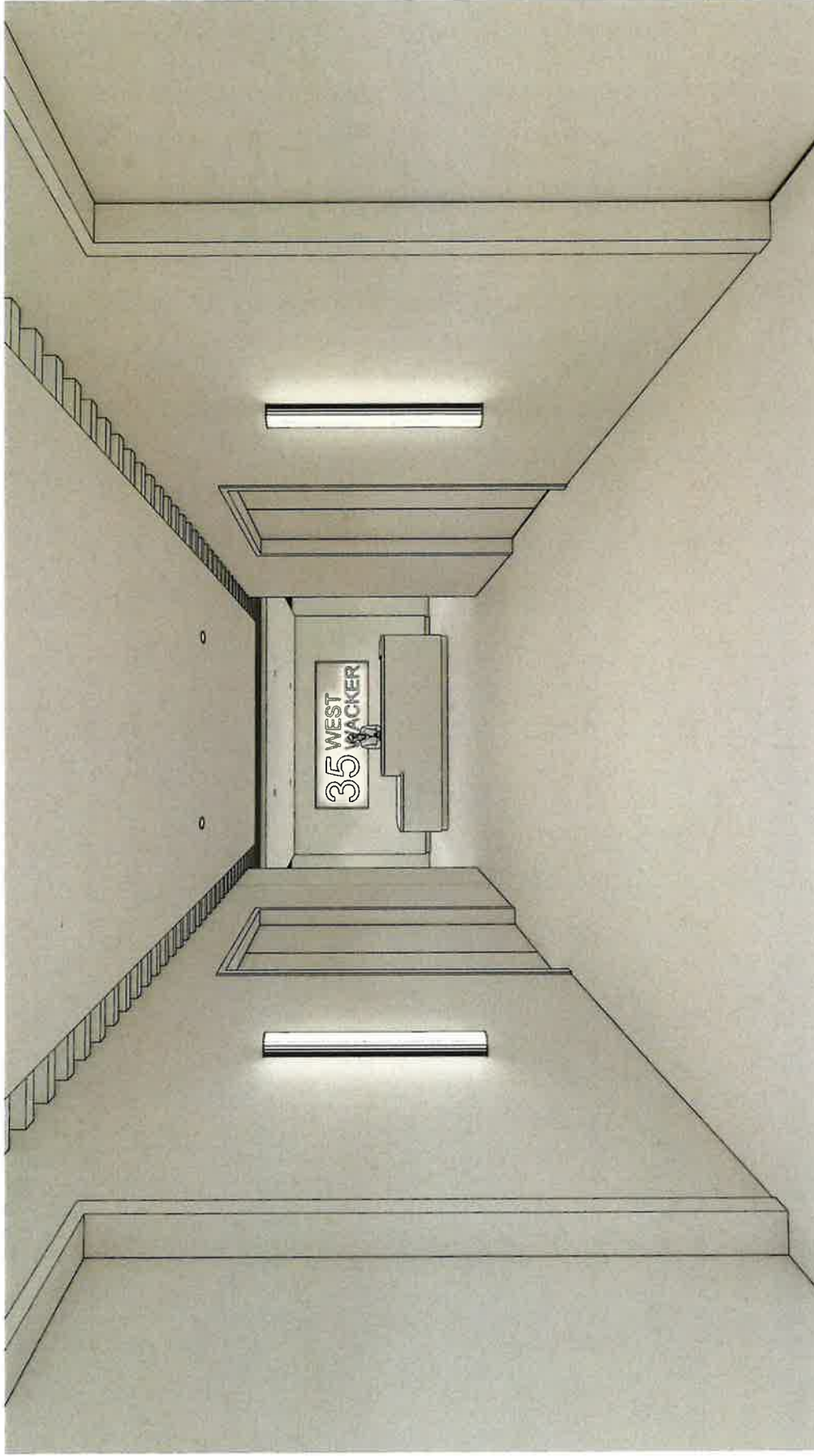
EXTERIOR PORTICO - WACKER DRIVE



# AMENITY PLAN - 4TH FLOOR



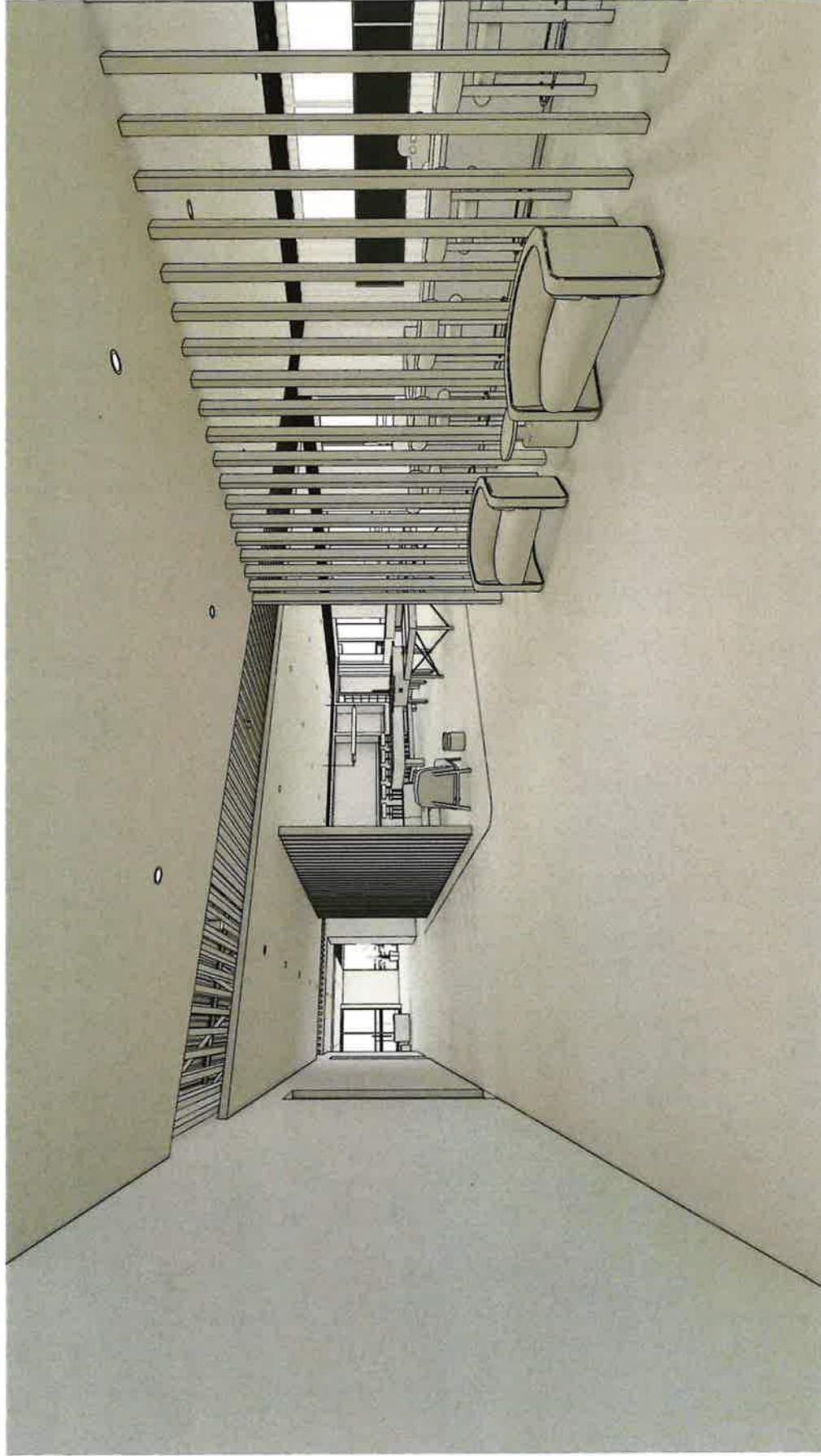
**4TH FLOOR - ELEVATOR LOBBY VIEW**



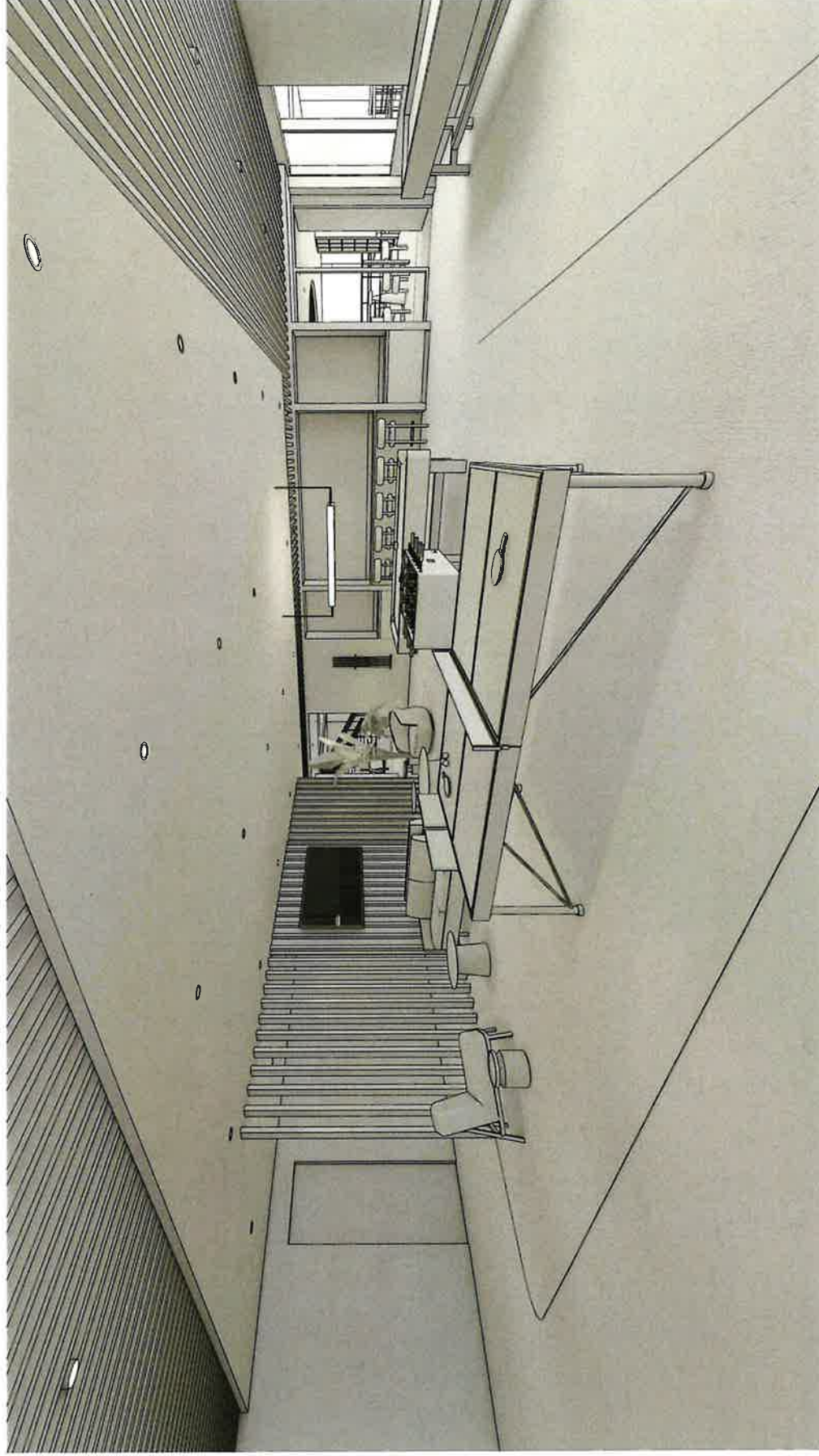
4TH FLOOR - CONCIERGE VIEW



4TH FLOOR - CORRIDOR VIEW



4TH FLOOR - GAME ROOM VIEW



4TH FLOOR - NE CORNER LOUNGE VIEW



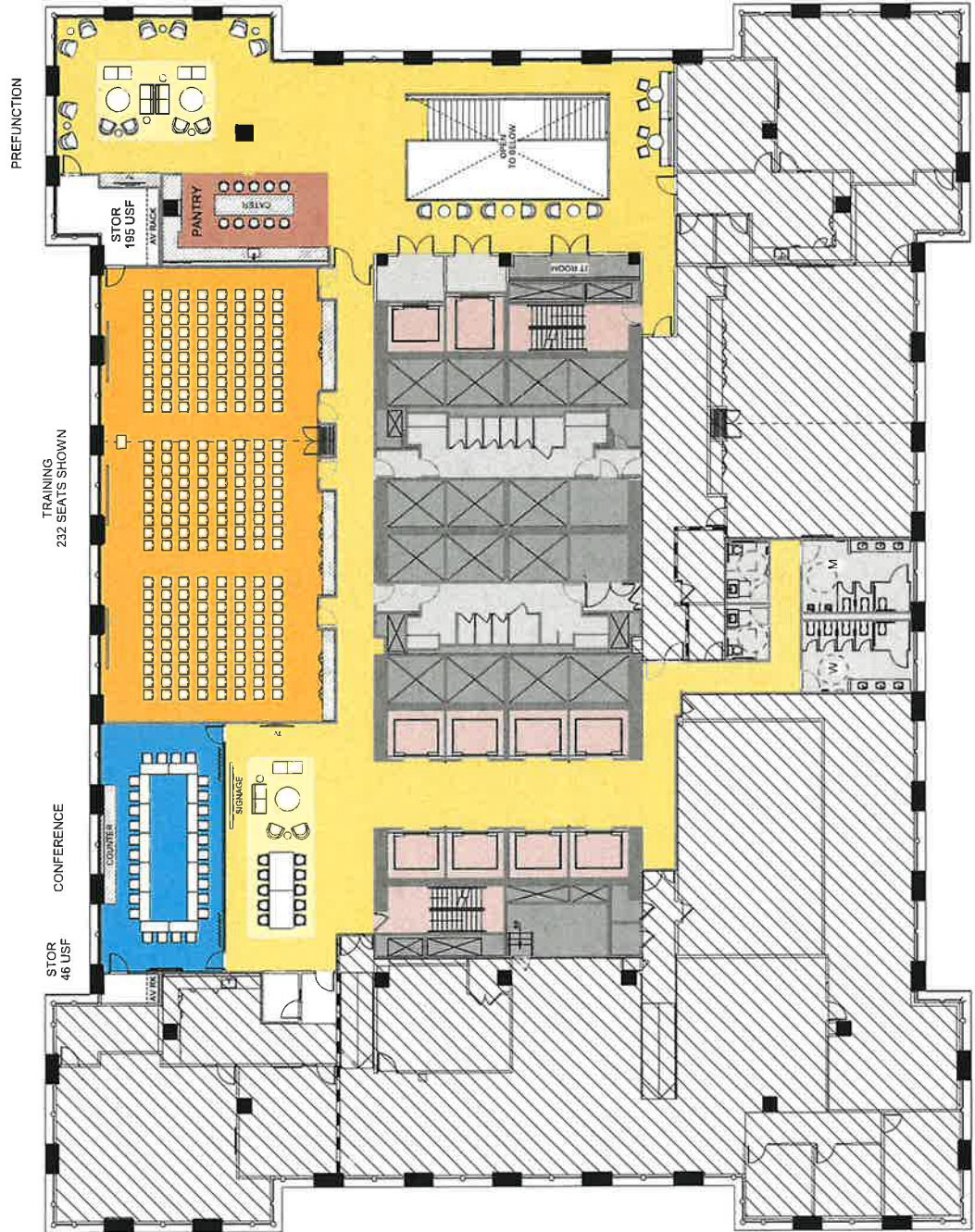
4TH FLOOR - NW CORNER BAR ENTRY VIEW



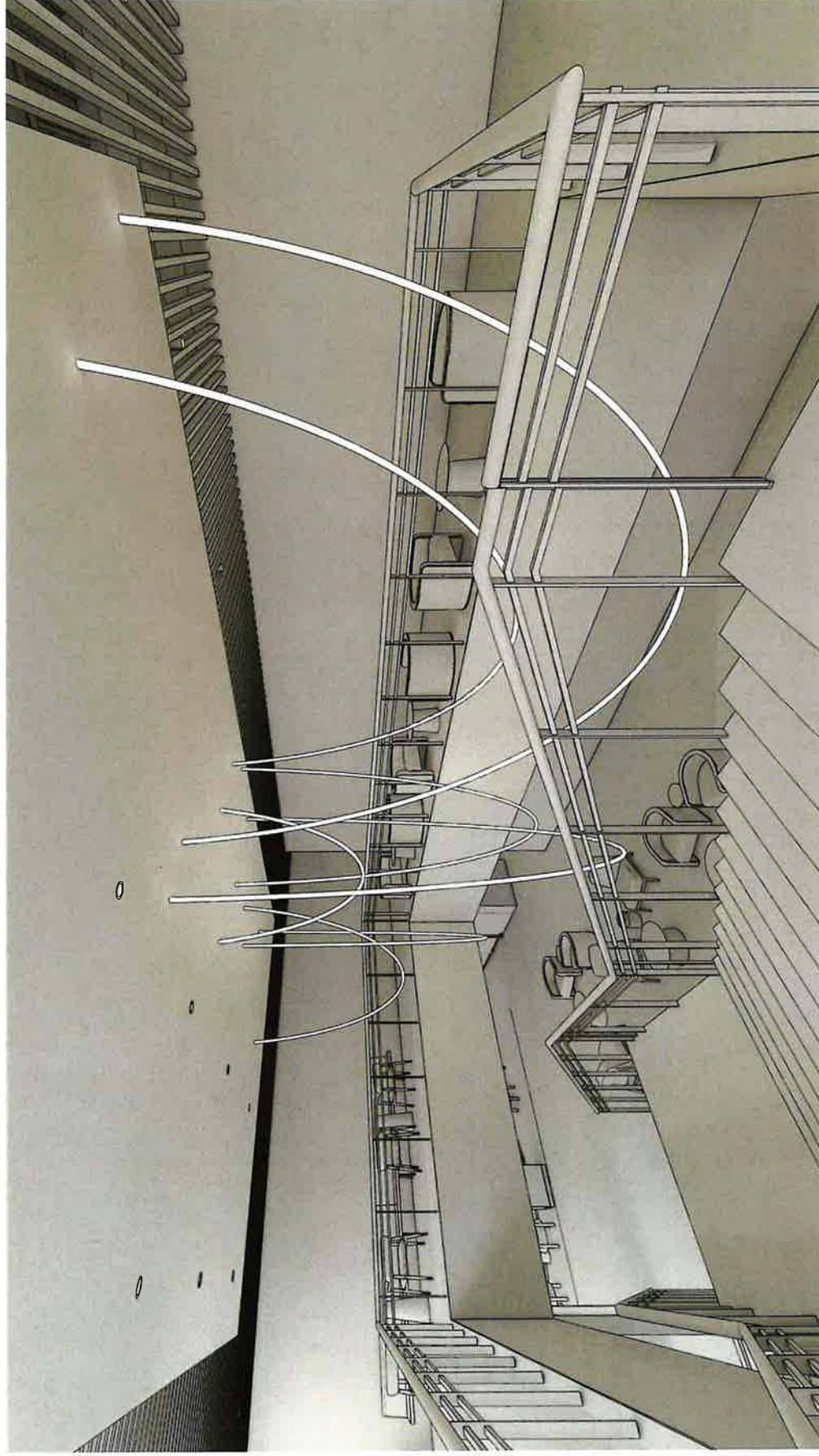
4TH FLOOR - NORTH STAIR VIEW



# CONFERENCE CENTER - 5TH FLOOR



5TH FLOOR - NORTH STAIR VIEW



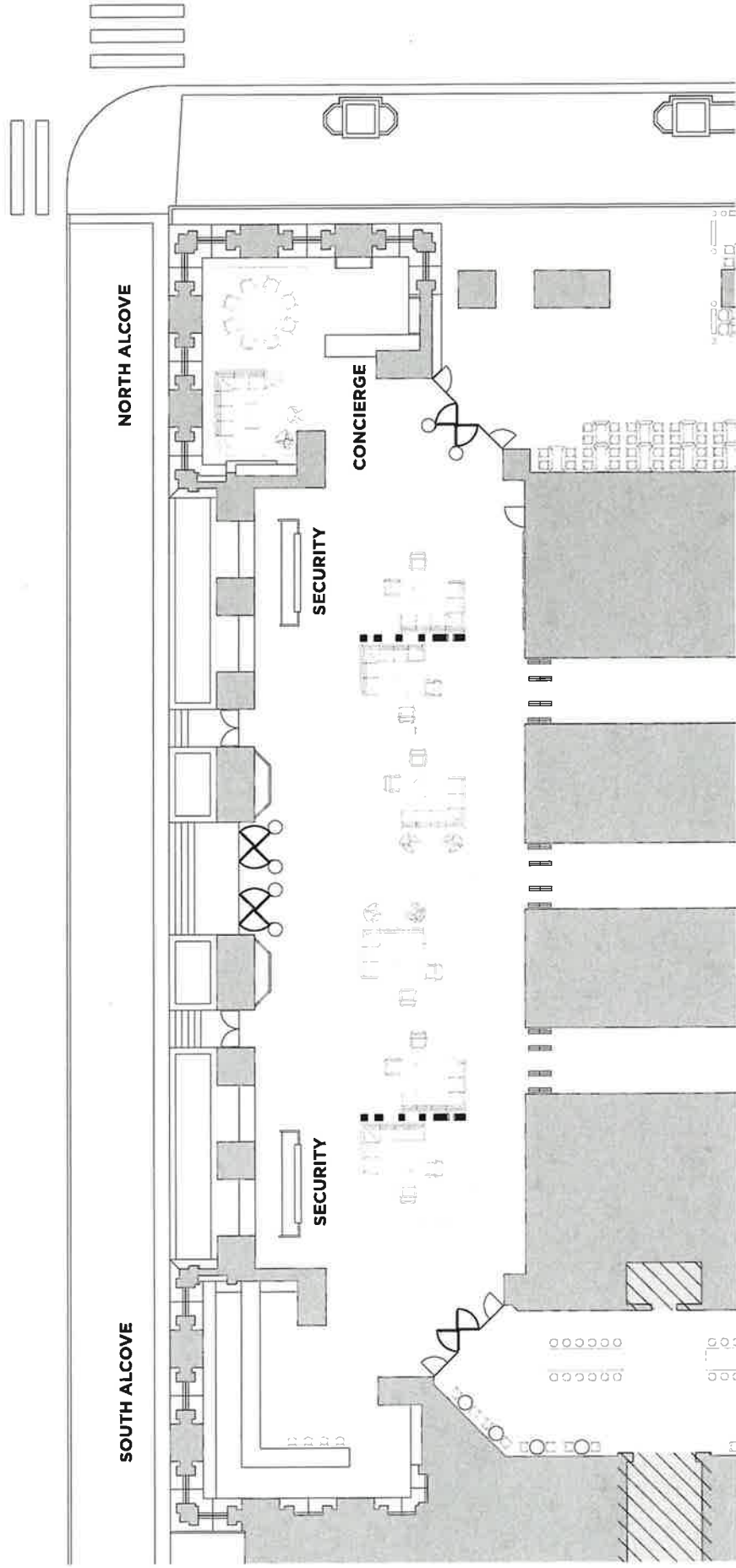
5TH FLOOR - NW PREFUNCTION VIEW



5TH FLOOR - WEST LOBBY VIEW



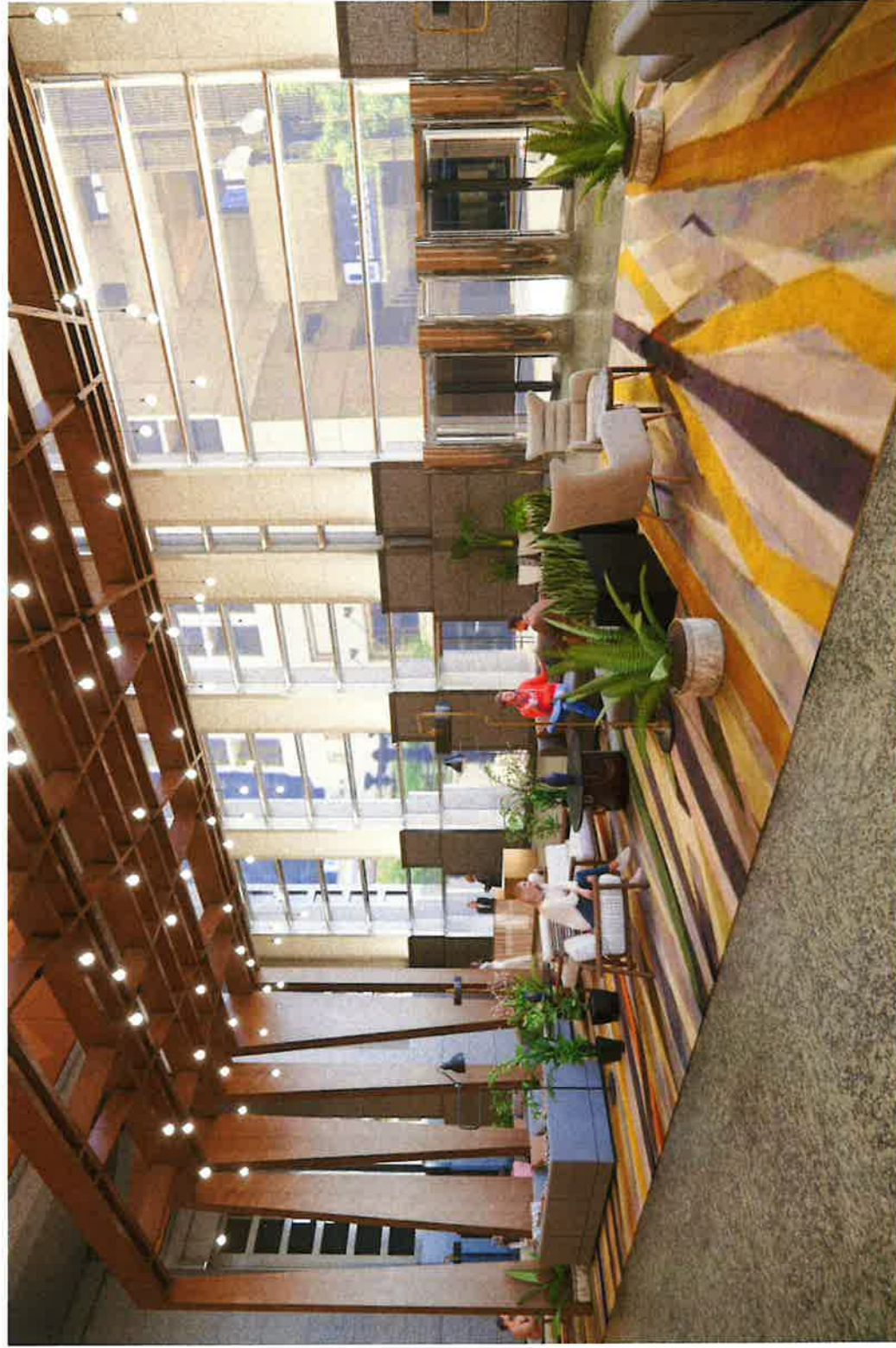
# LOBBY FLOOR PLAN



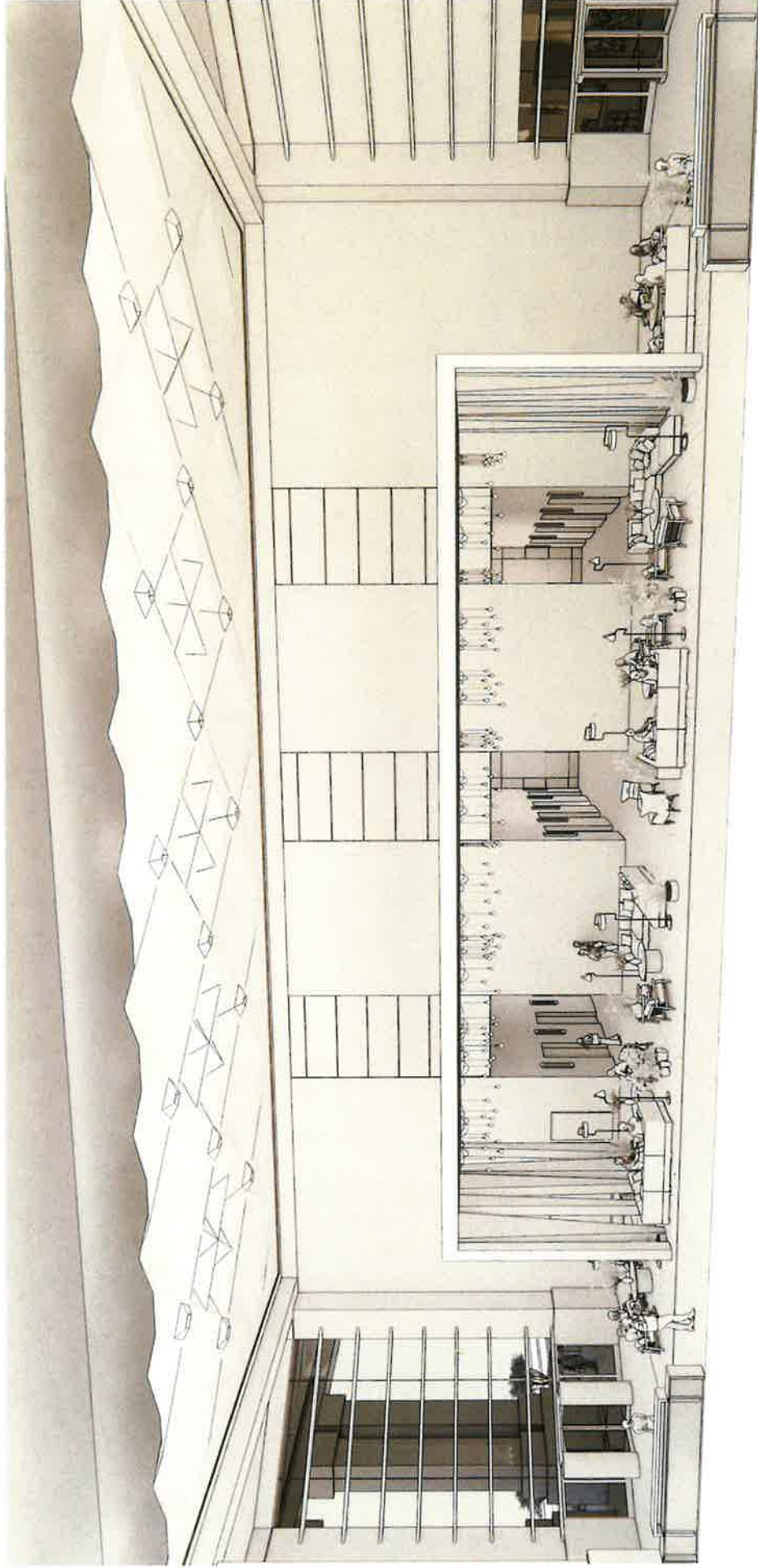
**LOBBY VIEW**



**LOBBY VIEW**



**LOBBY SECTION**



10/16/2019

## REPORTS OF COMMITTEES

7871

I hereby move for passage of the proposed ordinances and substitute ordinances transmitted herewith.

Respectfully submitted,

(Signed) THOMAS TUNNEY,  
Chairman.

On motion of Alderman Tunney, the said proposed ordinances and substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

*Yeas* -- Aldermen La Spata, Hopkins, Dowell, King, Hairston, Sawyer, Mitchell, Harris, Beale, Sadlowski Garza, Thompson, Cárdenas, Quinn, Burke, Lopez, Coleman, Moore, Curtis, O'Shea, Taylor, Brookins, Rodriguez, Tabares, Scott, Sigcho-Lopez, Maldonado, Burnett, Ervin, Taliaferro, Reboyras, Cardona, Waguespack, Rodriguez-Sanchez, Austin, Ramirez-Rosa, Villegas, Mitts, Sposato, Nugent, Vasquez, Napolitano, Reilly, Smith, Tunney, Gardiner, Cappleman, Martin, Osterman, Hadden, Silverstein -- 50.

*Nays* -- None.

Alderman Thompson moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

*Reclassification Of Area Shown On Map No. 1-F.* BPD 381,09  
(As Amended)  
(Application No. 20117)  
(Common Address: 1 -- 39 W. Wacker Dr., 200 -- 240 N. State St.,  
2 -- 40 W. Lake St. And 201 -- 241 N. Dearborn St.)

[SO2019-5518]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the Business Planned Development Number 381 District symbols and indications as shown on Map Number 1-F in the area bounded by:

West Wacker Drive; North State Street; West Lake Street; and North Dearborn Street,  
to those of Business Planned Development Number 381, as amended, which is hereby established in the area described above, subject in such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Business Planned Development No. 381, As Amended.*

*Plan Of Development Statements.*

1. The area delineated herein as Business Planned Development Number 381, as amended, and which is legally described on Exhibit A attached hereto and a made part hereof this Planned Development consisting of approximately one hundred thousand seven hundred and fifty-eight (100,758) square feet or 2.31 acres of property (the "Property") as shown on which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the ("Applicant") CWI Chicago Hotel LLC an owner of Subarea B.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative, or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustments to the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees. Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Department of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by CDOT.

4. This plan of development consists of seventeen (17) Statements; a Bulk Regulations and Data Table; an Existing Zoning Map; a Planned Development Boundary and Property Line Map, Existing Land-Use Map, Site Plan/Landscape Plan, Subarea Map, Floor Plans and Building Elevations (north, east and west), prepared by DXU Architects and dated August 26, 2019 submitted herein. In any instance where any provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.
5. The following Subareas and the following uses shall be allowed in this Business Planned Development Number 381, as amended:  

Subarea A:

offices uses, retail uses, restaurant uses, service uses, off-street parking and loading, and incidental/accessory uses;

Subarea B:

hotel and meeting uses, personal services uses, office uses, restaurant uses, retail uses, service uses, financial uses, off-street parking and loading and incidental/accessory uses.
6. On-premises signs and temporary signs such as construction and marketing signs shall be permitted within the Planned Development subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height of any measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations established by the (FAA) Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of FAR calculations and measurements, the definition in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 100,758 square feet and a maximum FAR of 17.5.

9. Upon review and determination, Part II Review, pursuant to Section 17-13-0610, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any corresponding regulations and guidelines, including Section 17-13-0880. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A by the Zoning Administrator upon the application for such modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and maximizes the preservation of natural resources. At the time of a hearing before the Chicago Plan Commission, all developments must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Department of Planning and Development. List all aspects of the proposed Planned Development that bring it into compliance with the Sustainable Development Policy, including other major sustainable elements of the project. All aspects of the proposed planned development that brings it into compliance with the Sustainable Development Policy, including other major sustainable elements of the project.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Woman-owned Business Enterprises ("M/WBEs") and City residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City promoting and tracking

such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE participation proposal. The M/WBE participation proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent City residents hiring (measured against the total construction hours for the project or any phase thereof). The M/WBE participation proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II Permit Review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and City residents' participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of utilized planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to a DC-16 Downtown Core District.

[Subarea B As Amended Project Narrative; Retail Finish Massing Images; Wacker Drive and State Street Block Elevations; Existing Site Plans; Proposed Site Plan; Existing Sign Site Plan; Proposed Sign Site Plan Location; Vehicle/Pedestrian Circulation Plan; Proposed Retail Plan; Partial Third Floor Plans; Streetscape Site Plan; Retail North, East and West Building Elevations; Existing North Elevation; Retail Prohibited Sign Location North Elevation; Typical Metal Cladding Details referred to in these Plan of Development Statements printed on pages 7878 through 7899 of this *Journal*.]

Bulk Regulations and Data Table and Exhibit "A" referred to in these Plan of Development Statements read as follows:

*Business Planned Development No. 381, As Amended.*

*Bulk Regulations And Data Table.*

Gross Site Area:	169,006 square feet
Area in Public Rights-of-Way:	68,248 square feet
Net Site Area:	100,758 square feet
Net Site Area of Subareas:	
Subarea A:	50,379 square feet
Subarea B:	50,379 square feet
Total Net Site Area (A+B):	100,758 square feet
Maximum Floor Area Ratio:	17.5 (1,768,302 square feet)
Subarea A:	25.8 (1,299,778 square feet)
Subarea B:	9.3 (468,524 square feet)
Minimum Number of Off-Street Parking Spaces to be provided: (Existing)	51 spaces (hotel) 142 spaces (offices, retail)
Minimum Number of Off-Street Loading Spaces to be provided: (Existing)	offices -- 6, hotel and retail -- 3 for a total -- 9 spaces
Setbacks from Property Lines:	existing, no change

Minimum Number of Hotel Rooms: 600 hotel rooms, suites containing two or more separate rooms with sleeping accommodates may replace hotel rooms at a ratio of 1 suite for each 1.5 hotel rooms. The hotel area shall contain no more than 500,000 square feet

*Exhibit "A".*

*Business Planned Development No. 381, As Amended.*

*Legal Descriptions Of Subareas A And B.*

Parcel 1 (Subarea A) (17-09-426-031):

Lot 2 in the Leo Burnett Resubdivision of a tract of land in the east half of the southeast quarter of Section 9, Township 39 North, Range 14, East of the Third Principal Meridian, in Cook County, Illinois, according to the plat thereof recorded March 15, 1990 as Document 90117294. Excepting therefrom the building and improvements located thereon for as long as the lease referenced in the memorandum of which recorded October 11, 1988 as Documents 88465178, 88465175 and 0331431120, as assigned pursuant to Documents 0331431119 and 0518122183, remains in full force and effect.

Parcel 2 (Subarea B) (17-09-426-030 and 032, 033):

Lots 1, 3 and 4 in the Leo Burnett Resubdivision of a tract of land in the east half of the southeast quarter of Section 9, Township 39 North, Range 14, East of the Third Principal Meridian, according to the plat thereof recorded March 15, 1990 as Document 90117294, all in Cook County, Illinois.

Parcel 2A:

A non-exclusive easement for the benefit of Parcel 1 as created by the Reciprocal Cross-Access Easement Agreement dated December 15, 1997 and recorded February 3, 1998 as Document 98090502 by and among 35 West Wacker Venture LLC, a Delaware limited liability company, Cole Taylor Bank, as successor trustee to Harris Trust and Savings Bank, as trustee under trust agreement dated September 24, 1986 and known as Trust Number 43770 and Leo Burnett Company, Inc., for the purpose of an easement to pass on, over, or through the Hotel Easement Area for the purpose of passage between the Hotel Property and the Office Property as defined in said document.

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED PROJECT NARRATIVE

PROJECT NARRATIVE

August 26, 2019

Renaissance Hotel  
1 W. Wacker Drive, Chicago, IL

RE: Sub Area B of the Business Planned Development 381, Block 1S  
Initial Port Cochere for retail/business use - Bank

Narrative:

The subject property is at the Southwest corner of N. State St and W. Wacker Drive, Block 1S, Subarea B of the Business Planned Development No. 381. It is currently known as the Renaissance Hotel and was constructed in 1966. The hotel is a 27 story high rise with 560 rooms, ballrooms, conference rooms, dining rooms and retail service business on the ground floor. The building has gone through multiple renovations over the years and is currently proposing a retail addition.

Retail Addition: Enclose the Porte Cochere to create more retail/business space at the ground level along State and Wacker Drive. The enclosed area will add 4,120 SF of commercial space and will have direct access to State St. The majority of the addition will be situated in-between the existing columns supporting the restaurant/terrace above. Currently the space is in lease negotiations with a bank. This will require the driveway/ drop off area to be reworked as indicated in the attached drawings. The existing curb cut onto Wacker Drive will not be changed. Access to the FDC along State St will not be impacted or altered.

FAR: Based on findings from the original PD 381 Sub Area B has 3,644 SF of floor area available for retail/business use. Our proposal to fill the area under the Porte Cochere for retail/business use consist of 4,120 SF. We are in need of 478 SF of additional floor area to comply with the requirements of PD 381. In review of the 3<sup>rd</sup> floor of the hotel we determined that there is an existing mechanical room containing 2,659 SF. Adjacent to this mechanical room are 2 storage rooms one containing 837 SF and the other 1,488 SF. We are proposing to remove the drywall partitions separating the storage rooms noted as Storage A/B and combine them with the existing mechanical room to create a larger mechanical room of 5,084 SF. As indicated PD 381 mechanical spaces of 5,000 SF or greater shall be excluded from the FAR calculation. The remaining FAR available is 8,728 SF of area that can be used for any permitted uses within the PD. We proposed to use 4,120 SF for a business under the Porte Cochere.

Available FAR from original PD	3,644 SF
Enclosed Mechanical Room on the 3 <sup>rd</sup> Floor	5,084 SF
Total Available FAR	8,728 SF
New Business Use Area under the Porte Cochere	4,120 SF
Remaining FAR	4,608 SF

*[Signature]*

Eric Silver  
RA, LEED AP | Principal

DXU

ARCHITECTS

412 S. Wacker Drive, 2<sup>nd</sup> Floor, Chicago, IL 60607  
312.467.0000 | 312.467.0100 | www.dxuarch.com

Date 08-26-2019  
PROJECT NO: 78-070

T-02

Sheet No.

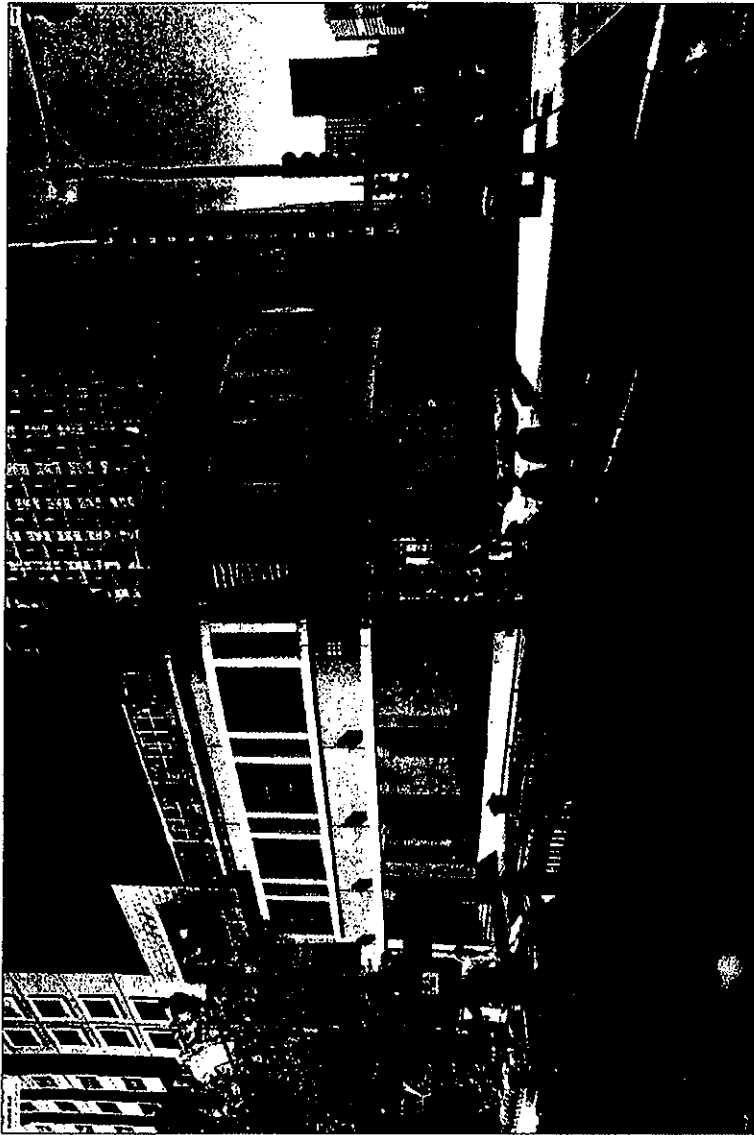
CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

**DXU**  
ARCHITECTS  
ARCHITECTS

**R**  
RENAISSANCE  
HOTEL

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED RETAIL FINISH MASSING IMAGE



1 RETAIL FINISH MASSING IMAGE

**DXU**  
 ARCHITECTS  
 211 W. WACKER DRIVE, SUITE 1000  
 CHICAGO, IL 60601

**R**  
 RENAISSANCE  
 HOTEL & RESIDENCES

CWI CHICAGO HOTEL LLC

RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
 201-241 N. DEARBORN STREET, CHICAGO, IL 60601

Date 08-26-2019  
 PROJECT NO. 19-070

SD-3A

Sheet No.

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED RETAIL FINISH MASSING ADDITIONAL IMAGE



1 RETAIL FINISH MASSING IMAGE (NORTHWEST ELEV.)

Date: 08-26-2019  
PROJECT NO.: 18-070

SD-3B

Sheet No.

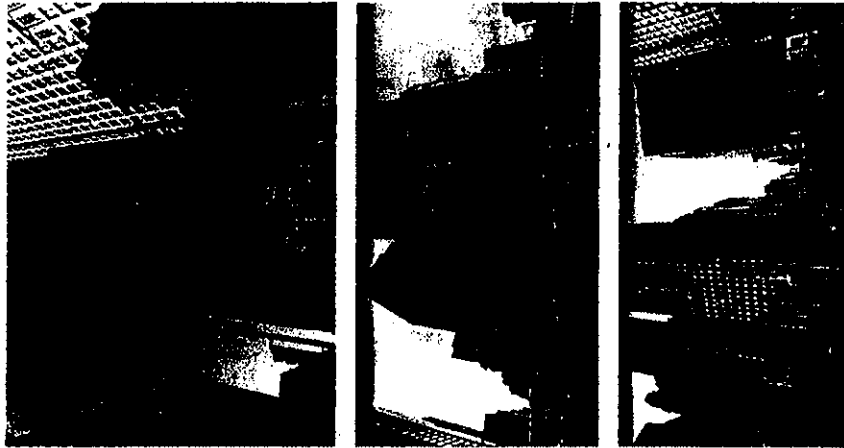
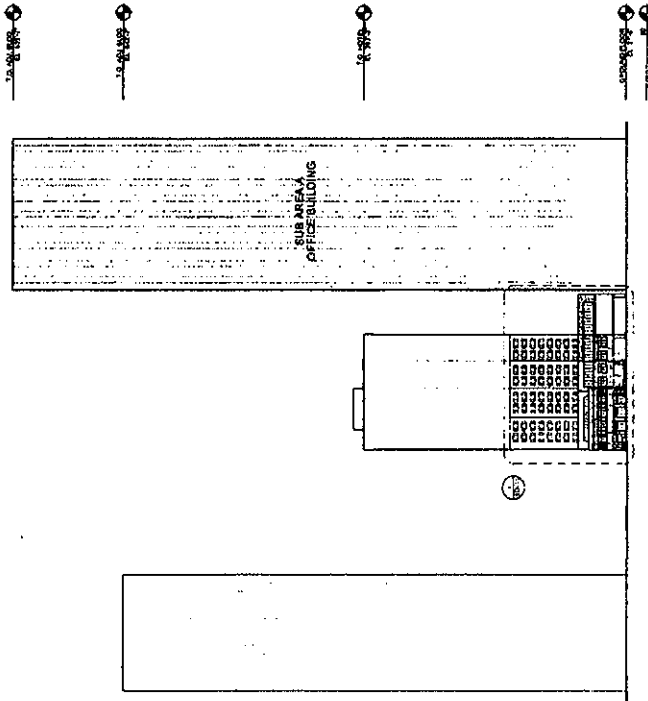
CWI CHICAGO HOTEL LLC

RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601



Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED WACKER BLOCK ELEVATION



1 WACKER BLOCK ELEVATION

**DXU**  
 ARCHITECTS  
 211 N. LAKE STREET, SUITE 200  
 CHICAGO, IL 60601

**R**  
 RENAISSANCE  
 ARCHITECTURE & INTERIOR DESIGN

CWI CHICAGO HOTEL LLC  
 RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
 201-241 N. DEARBORN STREET, CHICAGO, IL 60601

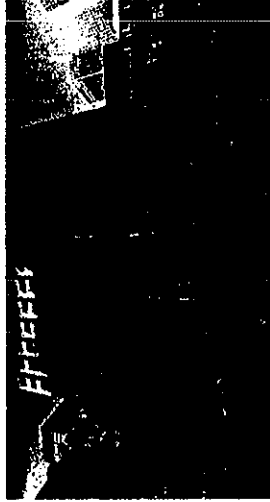
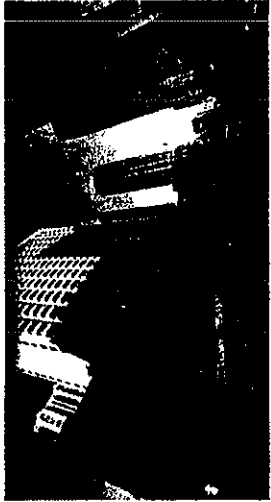
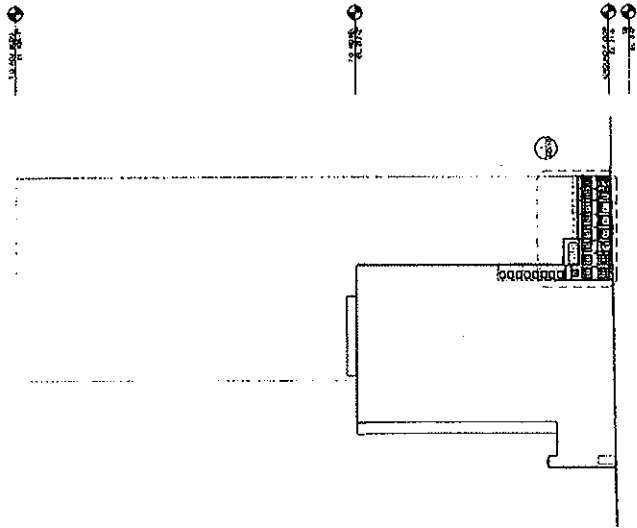
Date 08-26-2019  
 PROJECT NO. 19-070

SD-4

Sheet No.

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED STATE STREET BLOCK ELEVATION



1 STATE STREET BLOCK ELEV.

**DXU**  
ARCHITECTS  
400 N. LAKE STREET, SUITE 1000  
CHICAGO, IL 60601

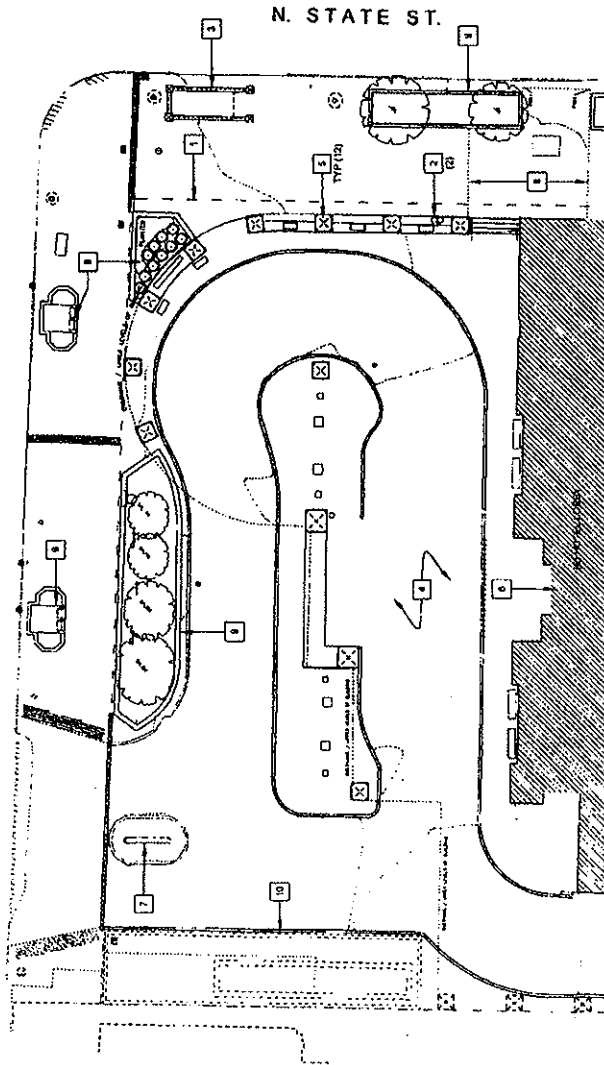
**R**  
RENAISSANCE  
HOTEL  
1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

Date 08-26-2019  
PROJECT NO. 18-070  
SD-5  
Sheet No.

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED EXISTING SITE PLAN

W. WACKER DR.



KEYNOTES

- 1 (R) PROPERTY BOUNDARY LINE
- 2 (R) FIRE DEPARTMENT CONNECTION
- 3 (R) CONC. STAIR TO LOWER LEVEL W/ WACKER DRIVE
- 4 (R) CONC. PORT COCHERE VEHICLE DROP OFF/TURNAROUND
- 5 (R) COLUMN, TYP.
- 6 (R) ENTRANCE TO RENAISSANCE HOTEL LOBBY
- 7 (R) MONUMENT SIGN
- 8 (R) HOTEL LAMING TO PORT COCHERE PEDESTRIAN ENTRY
- 9 (R) PLANTER BED
- 10 (R) PLANTER BED AND CURB TO BE REVISED FOR NEW VEHICLE STAGING AREA

FRONT SETBACK 80 FT FROM WACKER DRIVE AND 81.71 FT FROM WEST SIDE OF STATE STREET  
 SIDE SETBACK 6  
 REAR SETBACK 6

EXISTING SITE PLAN

Date 08-26-2019  
PROJECT NO. 18470

SD-6

Sheet No.

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

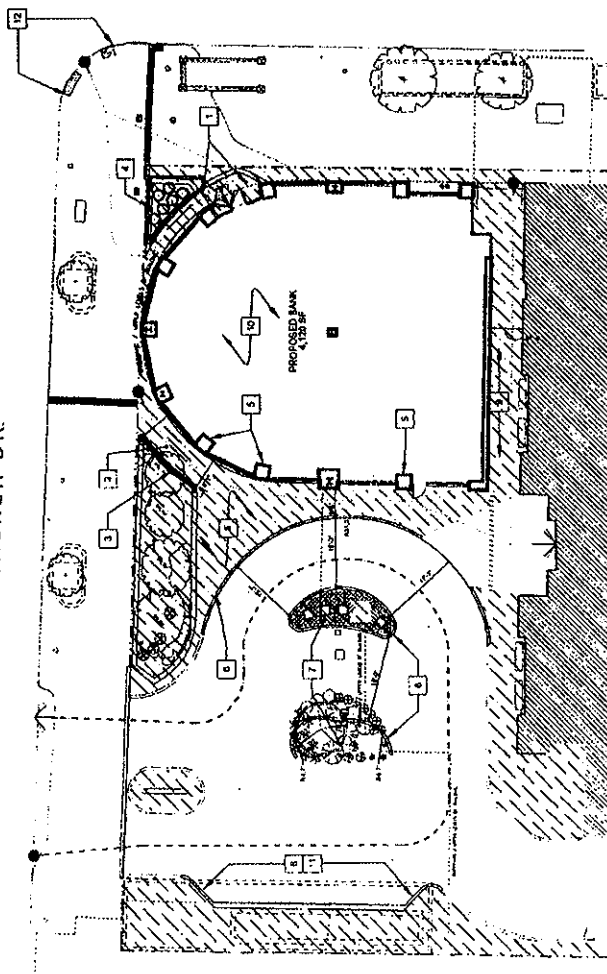
**DXU** ARCHITECTS  
 1100 N. LAKE STREET, SUITE 1000  
 CHICAGO, IL 60611  
 TEL: 312.467.1000  
 WWW.DXUARCHITECTS.COM

**R**  
 RENAISSANCE  
 CHICAGO, ILLINOIS

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BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED PROPOSED SITE PLAN

W. WACKER DR.



N. STATE ST.

KEYNOTES

- 1 NEW ENTRY STAIRS AND RAMP WITH CORRESPONDING HANDRAILS
- 2 SLOPED SIDEWALK
- 3 NEW PLANTER WALL FOR SLOPED SIDEWALK
- 4 IS PLANTER TO BE RECONFIGURED TO ACCOMMODATE NEW STAIR
- 5 NEW PLANTER WALL WITH METALLIC COLUMNS FOR RETAIL STORAGE FACADE ATTACHMENT
- 6 PROPOSED CURBING FOR NEW CAR DROP-OFF/TURNOVER AND PLANTERS
- 7 NEW LANDSCAPING
- 8 PROPOSED SIDEWALK
- 9 PEDESTRIAN SIDEWALK FROM N STATE STREET TO RENAISSANCE ENTRANCE
- 10 NEW RETAIL TENANT SPACE. SEE FLOOR PLAN
- 11 NEW VEHICLE STANDING AREA
- 12 NEW CANE DETECTABLE ADA CROSSWALK RAMP

LEGEND

- PEDESTRIAN CIRCULATION PATH
- VEHICULAR AND LOADING ACCESS
- COMMON AREA TOTAL = 4,000 S.F.

1 PROPOSED SITE PLAN

Date 08-26-2019  
PROJECT NO. 8-078

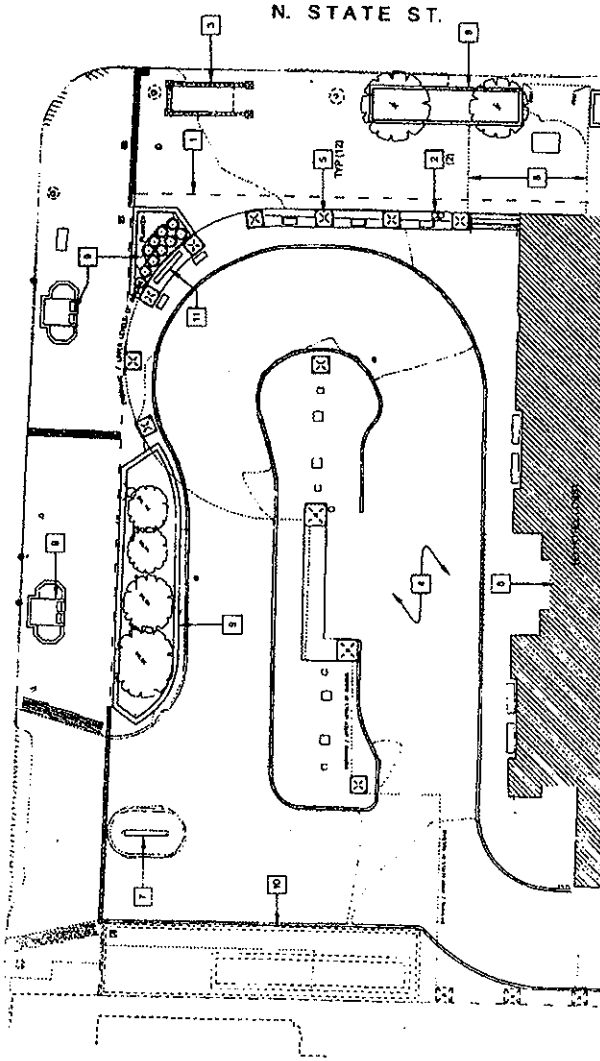
SD-7  
Final for Publication

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

**DXU**  
ARCHITECTS  
RENAISSANCE  
CHICAGO, ILLINOIS

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED EXISTING SIGN SITE PLAN

W. WACKER DR.



KEYNOTES

- 1 (E) PROPERTY BOUNDARY LINE
- 2 (E) FIRE DEPARTMENT CONNECTION
- 3 (E) CONC. STAIR TO LOWER LEVEL WACKER DRIVE
- 4 (E) CONC. PORT COCHERE VEHICLE DRIP OFF/TURNOVER
- 5 (E) COLUMN, TYP.
- 6 (E) ENTRANCE TO RENAISSANCE HOTEL LOBBY
- 7 (E) HOTEL MONUMENT SIGN
- 8 (E) HOTEL AWNING TO PORT COCHERE PEDESTRIAN ENTRY
- 9 (E) PLANTER BED
- 10 (E) PLANTER BED AND CURB TO BE REVISED FOR NEW VEHICLE STAGING AREA
- 11 (E) RENAISSANCE HOTEL MONUMENT SIGN TO BE REMOVED

FRONT SETBACK:  
 40 FT FROM WACKER DRIVE AND 153.71 FT FROM WEST SIDE OF STATE STREET  
 SIDE SETBACK:  
 0 FT FROM WEST SIDE OF STATE STREET  
 REAR SETBACK:  
 0

1 EXISTING SIGN SITE PLAN

Date 08-26-2019  
PROJECT NO 18470

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601



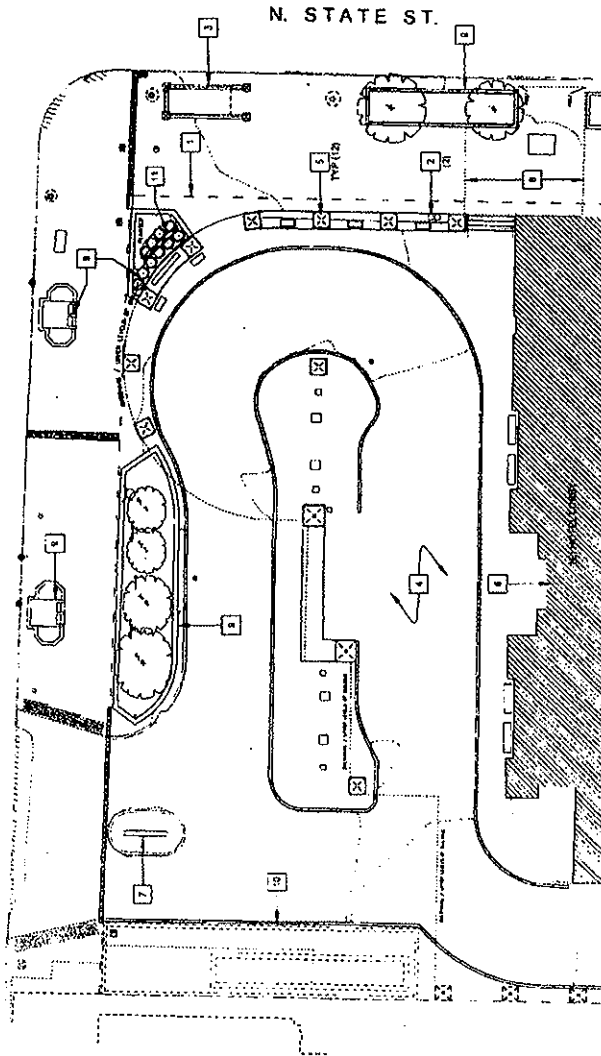
SD-8

Sheet No.

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED PROPOSED SIGN SITE PLAN LOCATION

W. WACKER DR.



KEYNOTES

- 1 (E) PROPERTY BOUNDARY LINE
- 2 (E) FIRE DEPARTMENT CONNECTION
- 3 (E) CONC. STAIR TO LOWER LEVEL, W WACKER DRIVE
- 4 (E) CONC. PORT COCHERE VEHICLE CROSSOFF/TURNAROUND
- 5 (E) COLUMN, TYP.
- 6 (E) ENTRANCE TO RENAISSANCE HOTEL LIBBY
- 7 (E) HOTEL MONUMENT SIGN
- 8 (E) HOTEL WALKING TO PORT COCHERE PEDESTRIAN ENTRY
- 9 (E) PLANTER BED
- 10 (E) PLANTER BED AND CURB TO BE REVISED FOR NEW VEHICLE STAGING AREA
- 11 NEW CHASE BANK MONUMENT SIGN LOCATION

FRONT SETBACK 10 FT FROM WACKER DRIVE AND 10 FT 1 SIDE SETBACK 5 FT FROM WEST SIDE OF STATE STREET REAR SETBACK 0

1 PROPOSED SIGN SITE PLAN LOCATION

Date 08-26-2019  
PROJECT NO 18-070

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

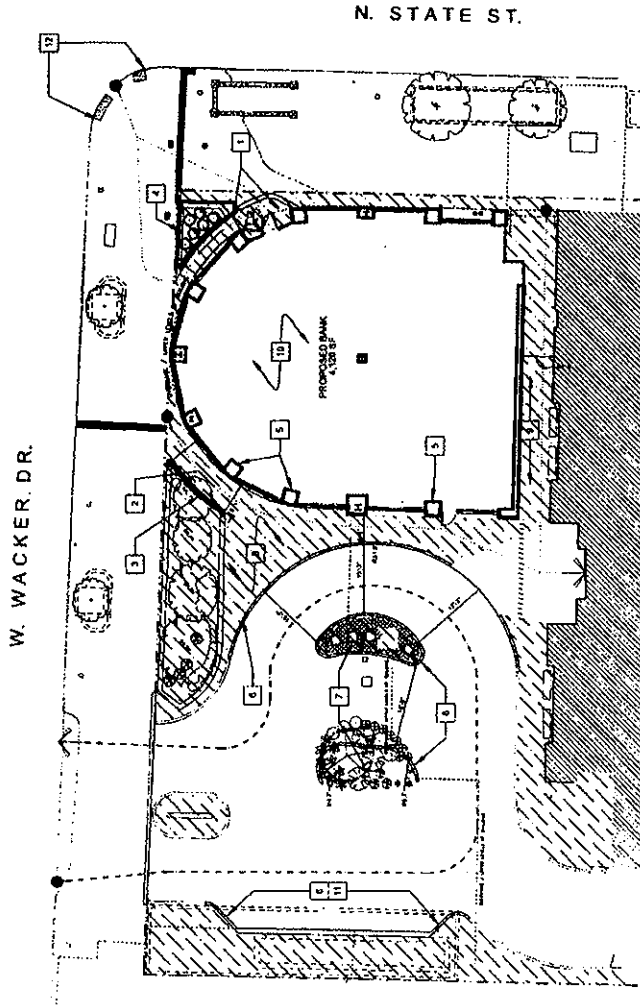


SD-9

Sheet No.

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED VEHICLE / PEDESTRIAN CIRCULATION PLAN



KEYNOTES

- 1 NEW ENTRY STAIRS AND RAMP WITH CORRESPONDING HANDRAILS
- 2 SLOPED SIDEWALK
- 3 NEW PLANTER WALLS FOR SLOPED SIDEWALK
- 4 (B) PLANTER TO BE RECONFIGURED TO ACCOMMODATE NEW STAIR AND RAMPED ENTRY
- 5 STRUCTURAL COLUMN FOR RETAIL STOREFRONT FACADE ATTACHMENT
- 6 PROPOSED CLIMBING FOR NEW CAR DROP-OFF/TURNAROUND AND PLANTERS
- 7 NEW LANDSCAPING
- 8 PROPOSED SIDEWALK
- 9 RECONFIGURE SIDEWALK FROM STATE STREET TO RENAISSANCE ENTRANCE
- 10 NEW RETAIL TENANT SPACE - SEE FLOOR PLAN
- 11 NEW VEHICLE STAGING AREA
- 12 NEW ONE DETECTABLE ADA CROSSWALK RAMP

LEGEND

- PROPOSED CIRCULATION PATH
- - - - - VEHICULAR AND LOADING ACCESS
- /// COMMON AREA TOTAL 4,104 S.F.

VEHICLE / PEDESTRIAN CIRCULATION PLAN

CWI CHICAGO HOTEL LLC  
 RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
 201-241 N. DEARBORN STREET, CHICAGO, IL 60601

**DXU**  
**ARCHITECTS**  
 1111 N. WACKER DRIVE, SUITE 1000  
 CHICAGO, IL 60601

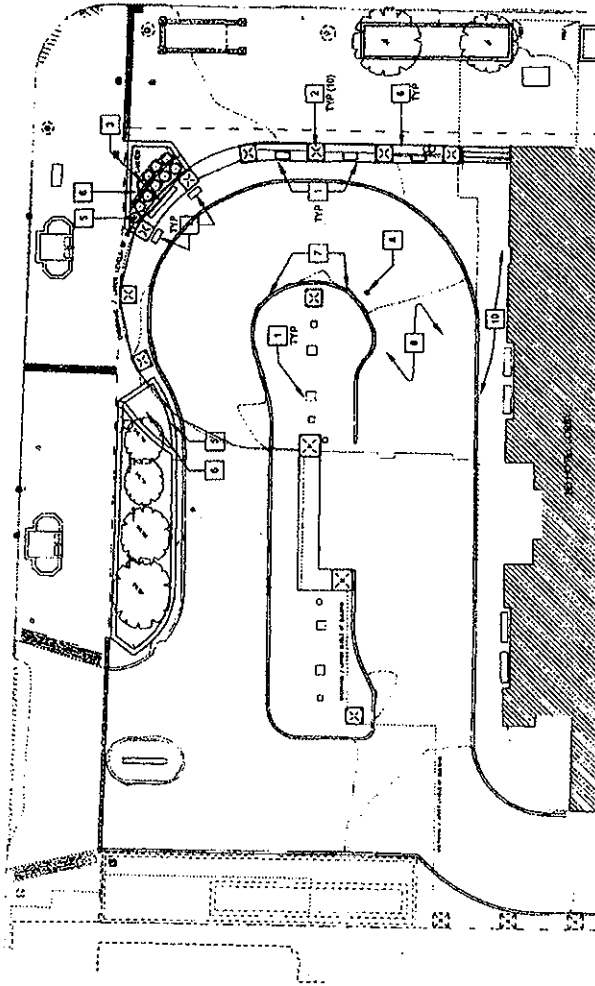
Date 08-26-2019  
 PROJECT NO. 18-070

SD-10

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED DEMOLITION PLAN

W. WACKER DR.



N. STATE ST.

KEYNOTES

- 1 EXISTING METAL RAILING AND PLANTERS TO BE REMOVED. TYP.
- 2 DEMO EXISTING FENCING AND LIGHT FIXTURES WITH SIGNATION SURROUNDING
- 3 REMOVE EXISTING MONUMENT SIGN AND ASSOCIATED POWER
- 4 SUPPLY EXISTING METAL RAILING BETWEEN COLUMN AND ON VERTICAL FACE OF BASE ON EAST ELEVATION
- 5 PORTION OF EXISTING LANDSCAPE PLANTER TO BE REMOVED. SEE CALL FOR MORE INFORMATION
- 6 EXISTING CONCRETE CURB TO BE BURIED UNDER NEW CONCRETE SLAB OF NEW RETAIL SPACE INSIDE OF EXISTING PORT CONCRETE
- 7 EXISTING FLOOR DRAIN TO BE COVERED & LINE REMOVED
- 8 DEMOLISH EXISTING CEILING & GIBBY STRUCTURE WITHIN AREA
- 9 DEMOLISH EXISTING CEILING & GIBBY STRUCTURE WITHIN AREA
- 10 DEMOLISH EXISTING CEILING & GIBBY STRUCTURE WITHIN AREA
- 11 WALL TO REMAIN

A 1 EXISTING SITE PLAN

Date 08-28-2019  
PROJECT NO: 19-078

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60681

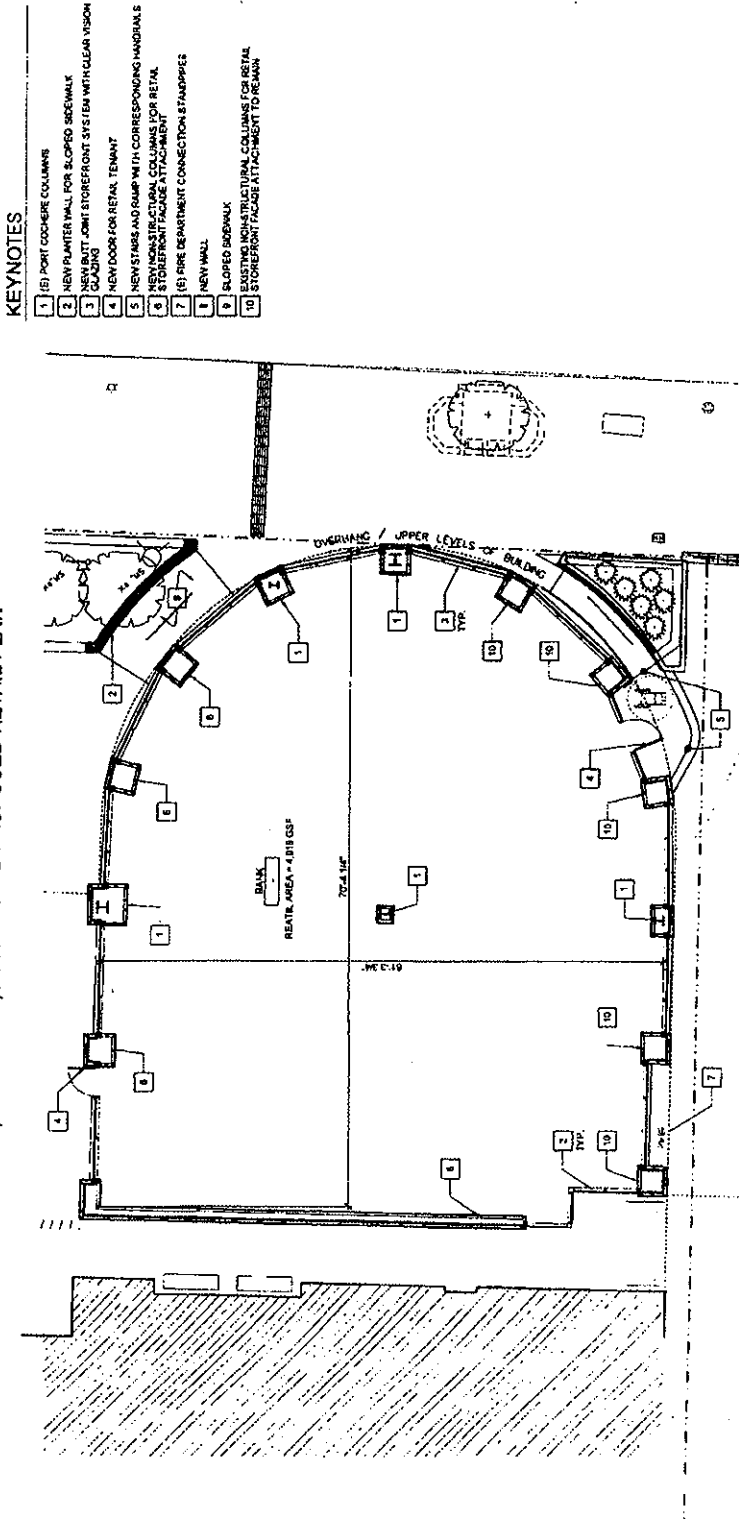
**R**  
RENAISSANCE  
ARCHITECTS

**DXU**  
ARCHITECTS

SD-11A

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED PROPOSED RETAIL PLAN



- KEYNOTES**
- 1 (6) PORT COCKSHERE COLUMNS
  - 2 NEW PLANTER WALL FOR SLOPED SIDEWALK
  - 3 NEW BUTT JOINT STOREFRONT SYSTEM WITH CLEAR VISION GLAZING
  - 4 NEW DOOR FOR RETAIL TENANT
  - 5 NEW STAIRS AND RAMP WITH CORRESPONDING HANDRAILS
  - 6 NEW NONSTRUCTURAL COLUMNS FOR RETAIL
  - 7 (6) FIRE DEPARTMENT CONNECTION STAMPINGS
  - 8 NEW WALL
  - 9 SLOPED SIDEWALK
  - 10 EXISTING NONSTRUCTURAL COLUMNS FOR RETAIL STOREFRONT FACADE ATTACHMENT TO REMAIN

PROPOSED RETAIL PLAN

Date 08-26-2019  
PROJECT NO. 19-070

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

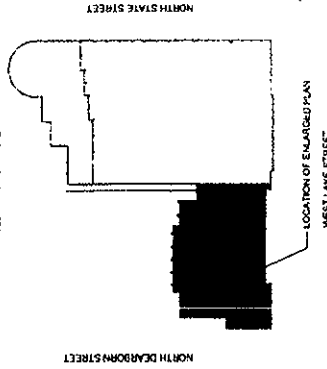
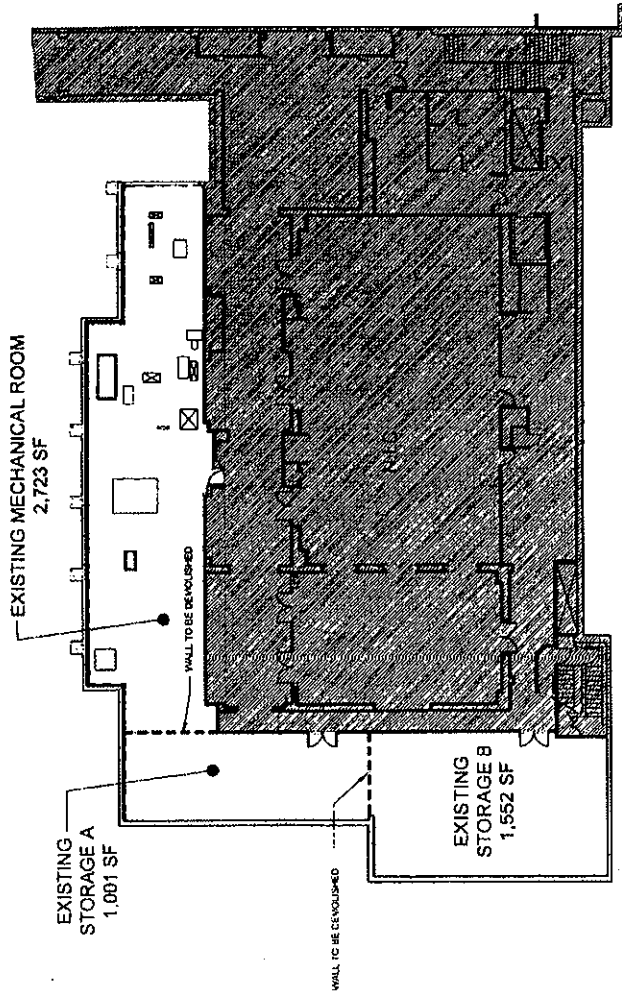
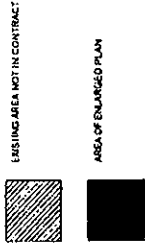
**DXU**  
ARCHITECTS  
111 W. WACKER DRIVE, SUITE 1000  
CHICAGO, IL 60601  
PH: 312.427.1000  
WWW.DXUARCHITECTS.COM

SD-11B  
Sheet No.

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BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED THIRD FLOOR DEMOLITION PLAN

LEGEND



KEY PLAN

PARTIAL THIRD FLOOR PLAN

W. LAKE STREET

Date 08-26-2019  
PROJECT NO.: 18-070

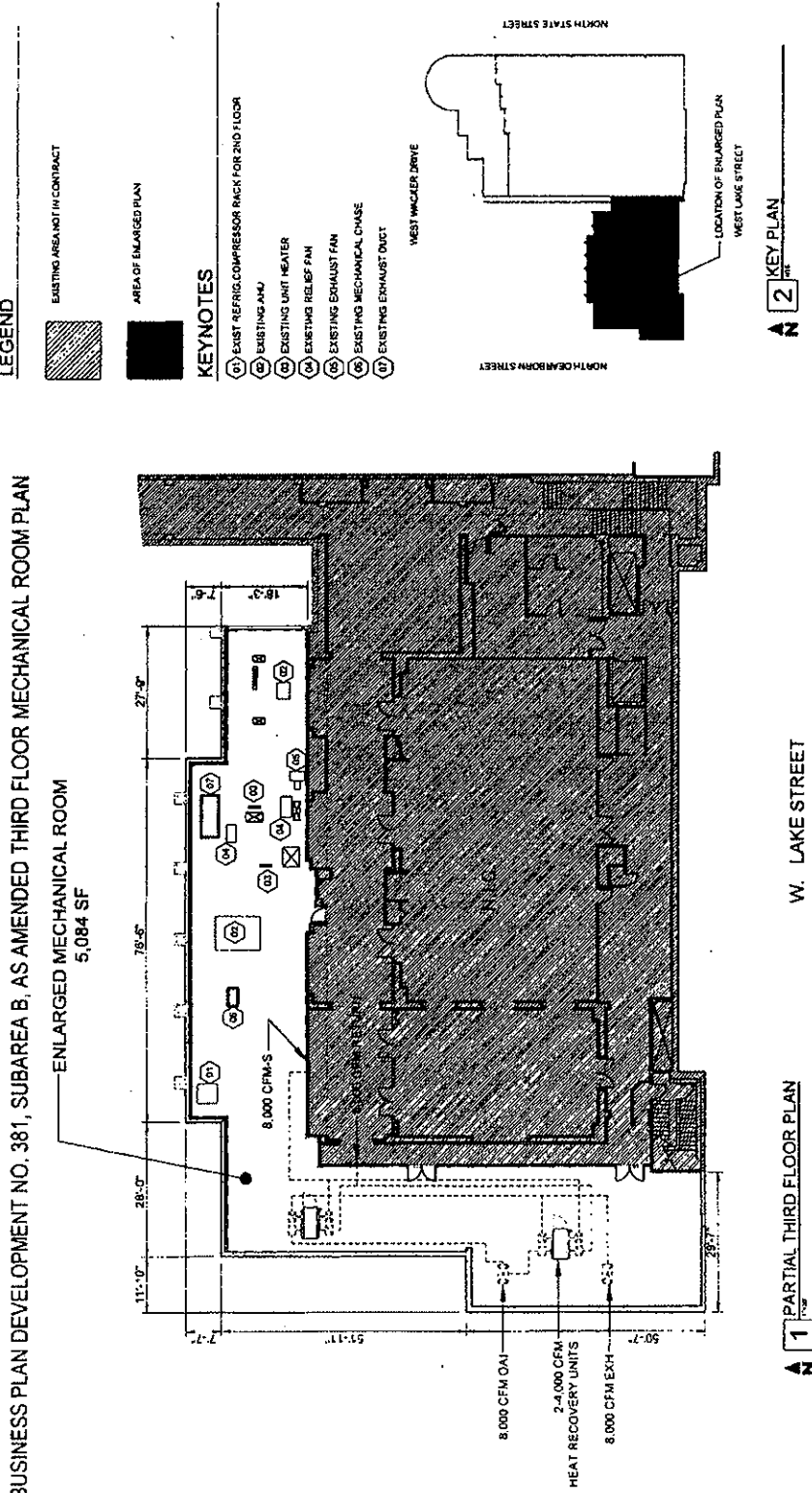
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Sheet No.

CWJ CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601



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**ENLARGED MECHANICAL ROOM**  
5,084 SF

**DXU ARCHITECTS**  
ARCHITECTS  
PLANNERS & INTERIORS

**R RENAISSANCE**  
HOTEL

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**CWI CHICAGO HOTEL LLC**  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

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Date 08-26-2019  
PROJECT NO. 18-070  
**SD-11D3**  
Sheet No.

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**Final for Publication**

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED STREETSCAPE SITE PLAN



1 STREETSCAPE SITE PLAN

Date 08-26-2019  
PROJECT NO: 18-070

SD-13  
Sheet No

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601



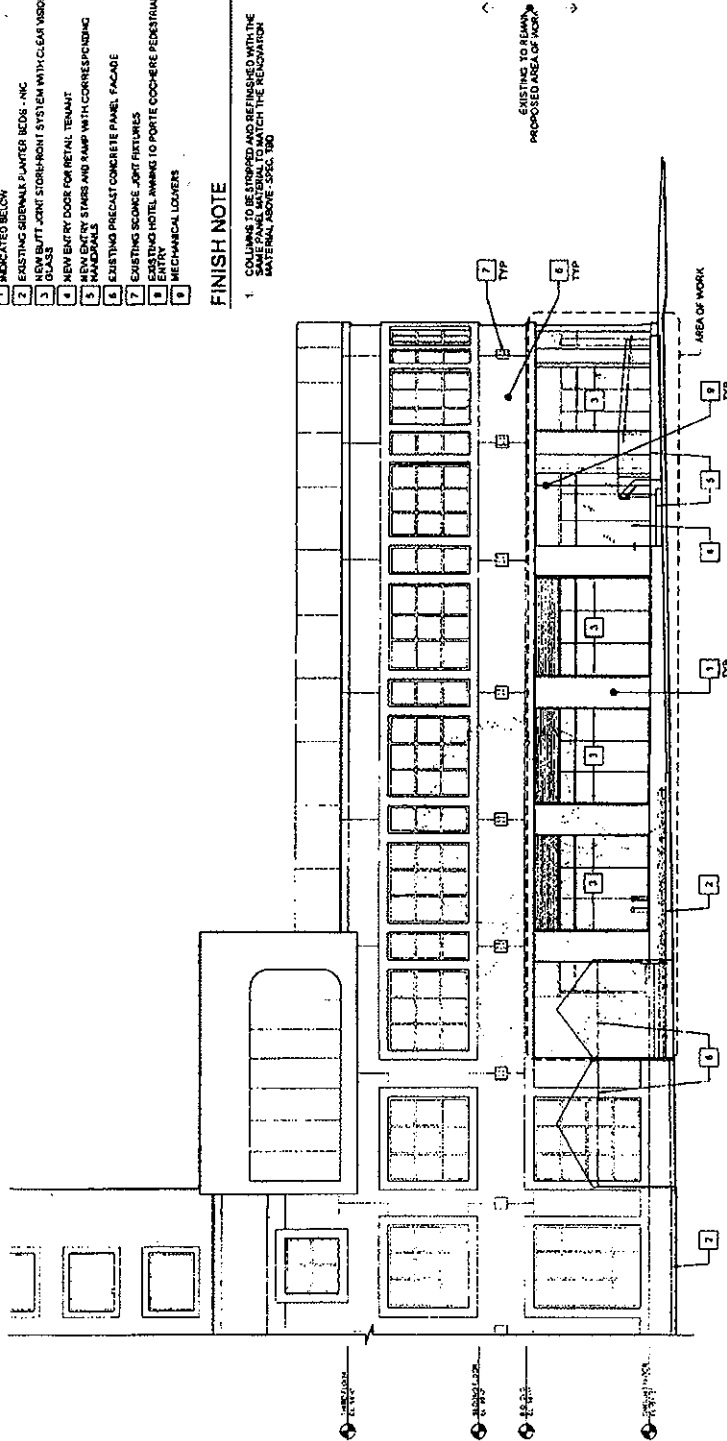
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BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED RETAIL EAST ELEVATION

- KEYNOTES**
- 1 EXISTING PORTE COOPERE COLUMNS - FINISH AS INDICATED BELOW
  - 2 EXISTING SIDEWALK PLANTER BEDS - INC
  - 3 NEW BUILT JOINT STOREFRONT SYSTEM WITH CLEAR VISION
  - 4 NEW ENTRY DOOR FOR RETAIL TENANT
  - 5 MAINTAIN STAIRS AND RAMP WITH CORRESPONDING MATERIALS
  - 6 EXISTING PRECAST CONCRETE PANEL FACADE
  - 7 EXISTING SOURCE JOINT FIXTURES
  - 8 EXISTING HOTEL AWINGS TO PORTE COOPERE FEDESTRAN
  - 9 MECHANICAL LOUVERS

**FINISH NOTE**

- 1 COLUMNS TO BE STRIPPED AND REFINISHED WITH THE MATERIAL ABOVE SS50, 3RD



1 RETAIL EAST ELEVATION

Date 08-26-2019  
PROJECT NO: 18-070

SD-14

Sheet No.

Final for Publication

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-99 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

**DXU**  
ARCHITECTS  
CHICAGO, ILLINOIS

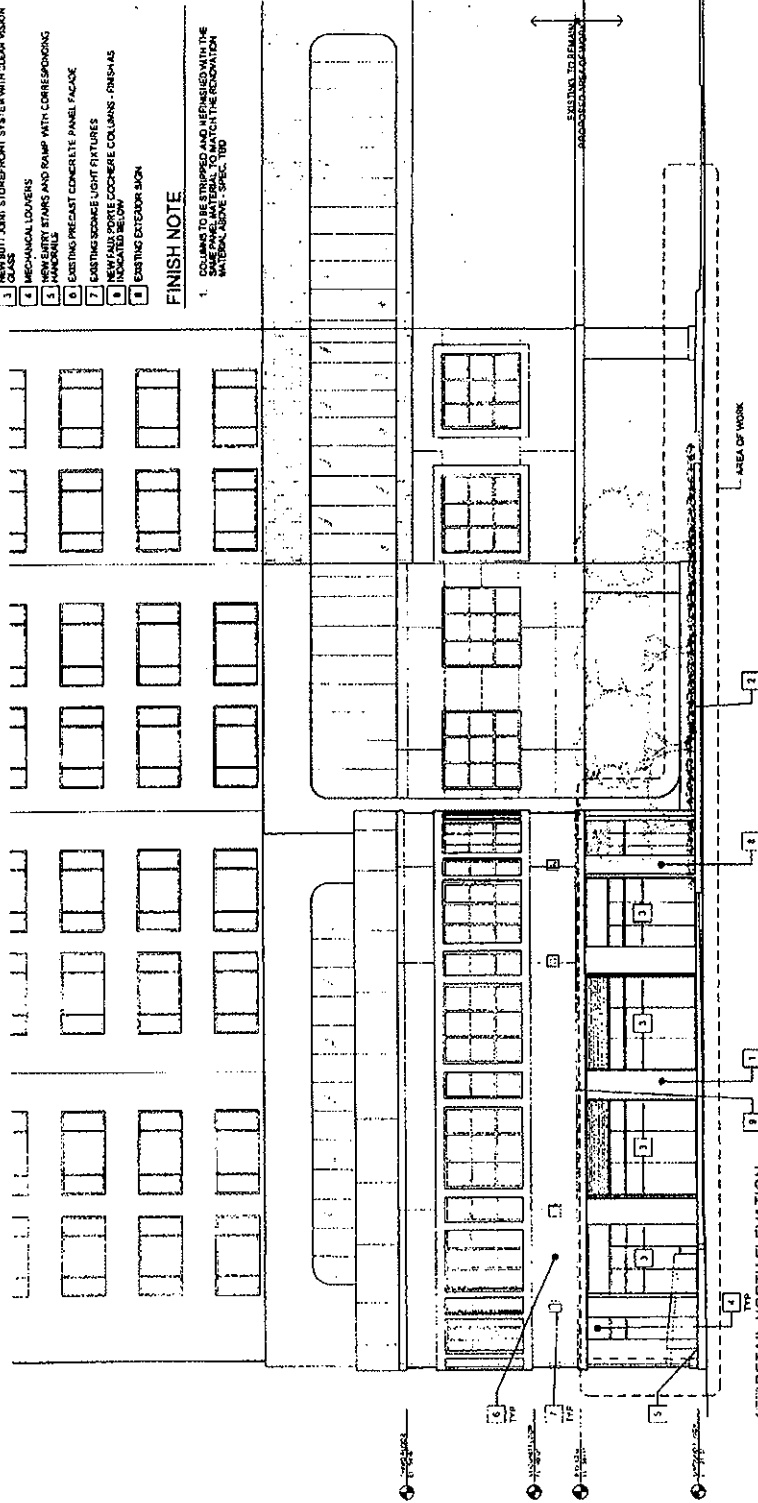
**R**  
RENAISSANCE  
HOTEL

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED RETAIL NORTH ELEVATION

- KEYNOTES**
- 1 EXISTING PORTLAND CEMENT CONCRETE COLUMNS - FINISH AS SHOWN
  - 2 EXISTING PLASTER AND TO BE RECONSTRUCTED FOR NEW RAMP ACCOMMODATION
  - 3 NEW CAST-IN-PLACE CONCRETE STAIRS WITH CLEAR VISION GLASS
  - 4 MECHANICAL LOUVERS
  - 5 NEW ENTRY STAIRS AND RAMP WITH CORRESPONDING HANDRAILS
  - 6 EXISTING PRECAST CONCRETE PANEL FACADE
  - 7 EXISTING SCENE LIGHT FIXTURES
  - 8 NEW PAIR PORTLAND CEMENT COLUMNS - FINISH AS INDICATED BELOW
  - 9 EXISTING EXTERIOR SIGN

**FINISH NOTE**

1. COLUMNS TO BE STRIPPED AND REFINISHED WITH THE SAME MATERIAL TO MATCH THE RECONSTRUCTION AND FINISH SPEC. 100



1 RETAIL NORTH ELEVATION

Date 08-26-2019  
PROJECT NO. 18-070

SD-15

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

**DXU** ARCHITECTS  
1000 N. LAKE STREET, SUITE 1000  
CHICAGO, IL 60611  
TEL: 312.427.1000  
WWW.DXUARCHITECTS.COM

**R**  
RENAISSANCE  
HOTELS & RESORTS  
A HILTON BRAND

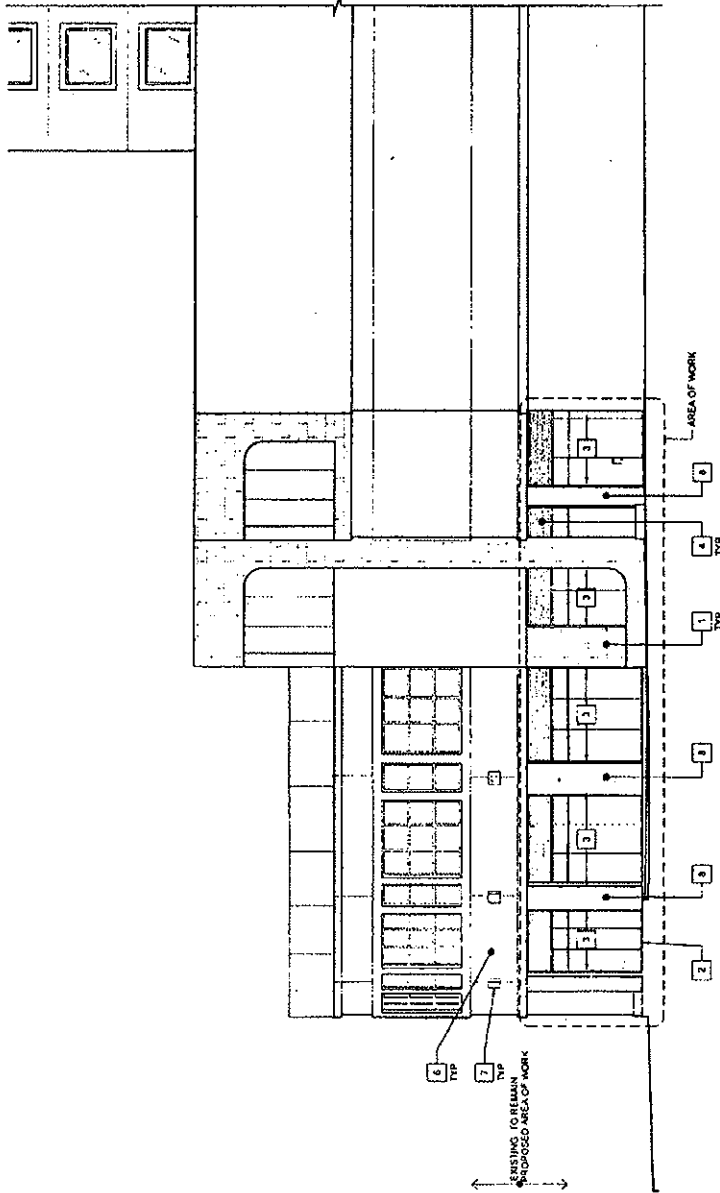
Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED RETAIL WEST ELEVATION

- KEYNOTES**
- 1 EXISTING PORTE COCHERE COLUMNS - FINISH AS SHOWN
  - 2 NEW PORTE COCHERE COLUMNS TO BE RECONFIGURED FOR NEW RAMP ACCOMMODATION
  - 3 NEW BUTT JOINT STOREFRONT SYSTEM WITH CLEAR VISION
  - 4 MECHANICAL COVERS
  - 5 NOT USED
  - 6 EXISTING PRECAST CONCRETE PANEL FACADE
  - 7 EXISTING SCIENCE LIGHT FIXTURES
  - 8 NEW NON-STRUCTURAL PORTE COCHERE COLUMNS - FINISH AS INDICATED BELOW

**FINISH NOTE**

- 1 COLUMNS TO BE STRIPPED AND REFINISHED WITH THE SAME PANEL MATERIAL TO MATCH THE RENOVATION MATERIAL ABOVE - SPEC. 190



1 RETAIL WEST ELEVATION

Date 08-26-2019  
PROJECT NO. 18-070

SD-16

Sheet No.

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

**DXU**  
ARCHITECTS  
INTERNATIONAL, INC.

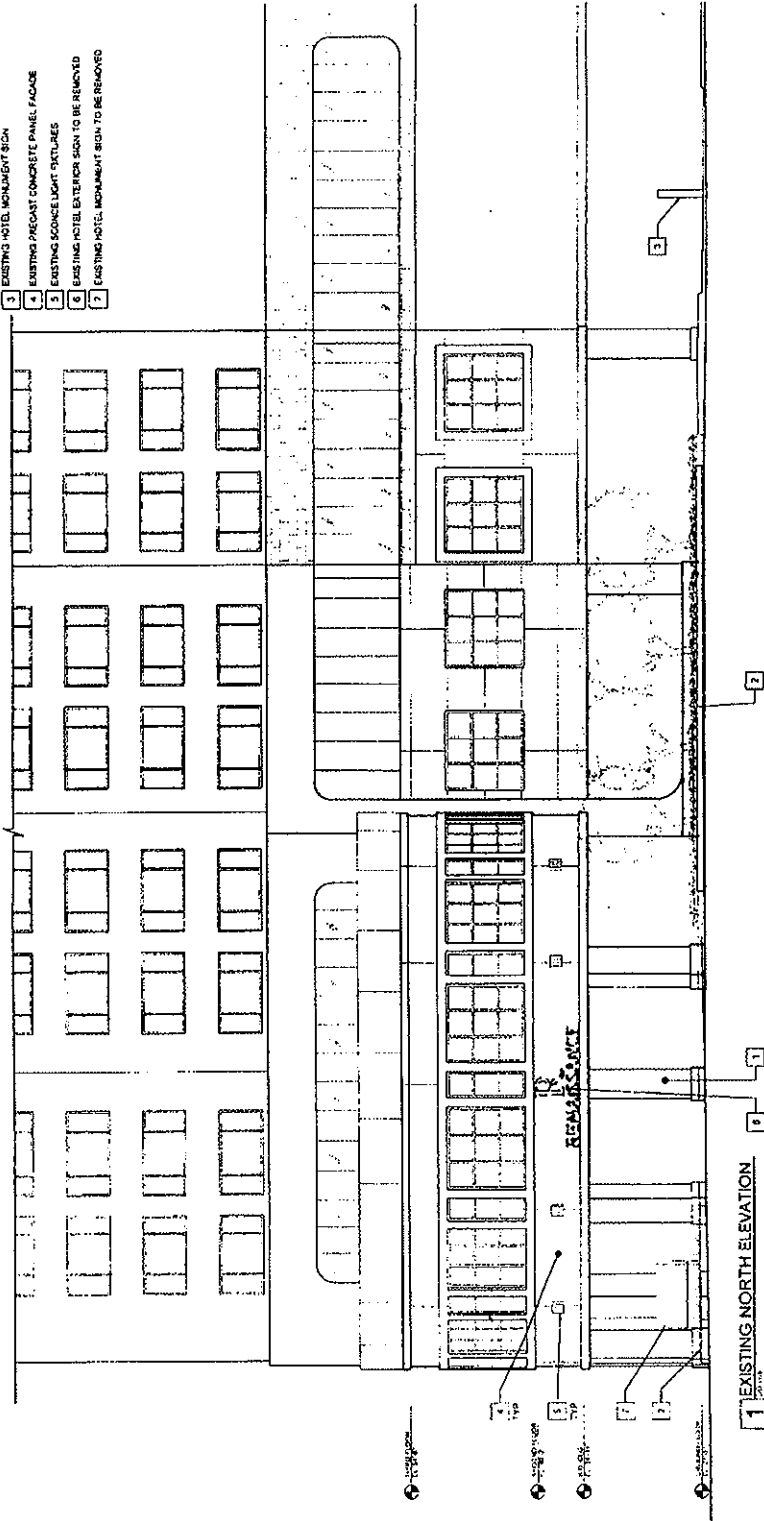
**R**  
RENAISSANCE  
HOTEL, CHICAGO, ILL.

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED EXISTING NORTH ELEVATION SIGNAGE

KEYNOTES

- 1 EXISTING PORTLAND CONCRETE COLUMNS
- 2 EXISTING PLANTER BED
- 3 EXISTING HOTEL MOUNTAIN SIGN
- 4 EXISTING PRECAST CONCRETE PANEL FACADE
- 5 EXISTING SCIENCE LIGHT FIXTURES
- 6 EXISTING HOTEL EXTERIOR SIGN TO BE REMOVED
- 7 EXISTING HOTEL MOUNTAIN SIGN TO BE REMOVED



Date 08-26-2019  
PROJECT NO. 18-070

SD-17

CWI CHICAGO HOTEL, LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

**DXU** ARCHITECTS  
 R  
 RENAISSANCE  
 CHICAGO, ILLINOIS 60601

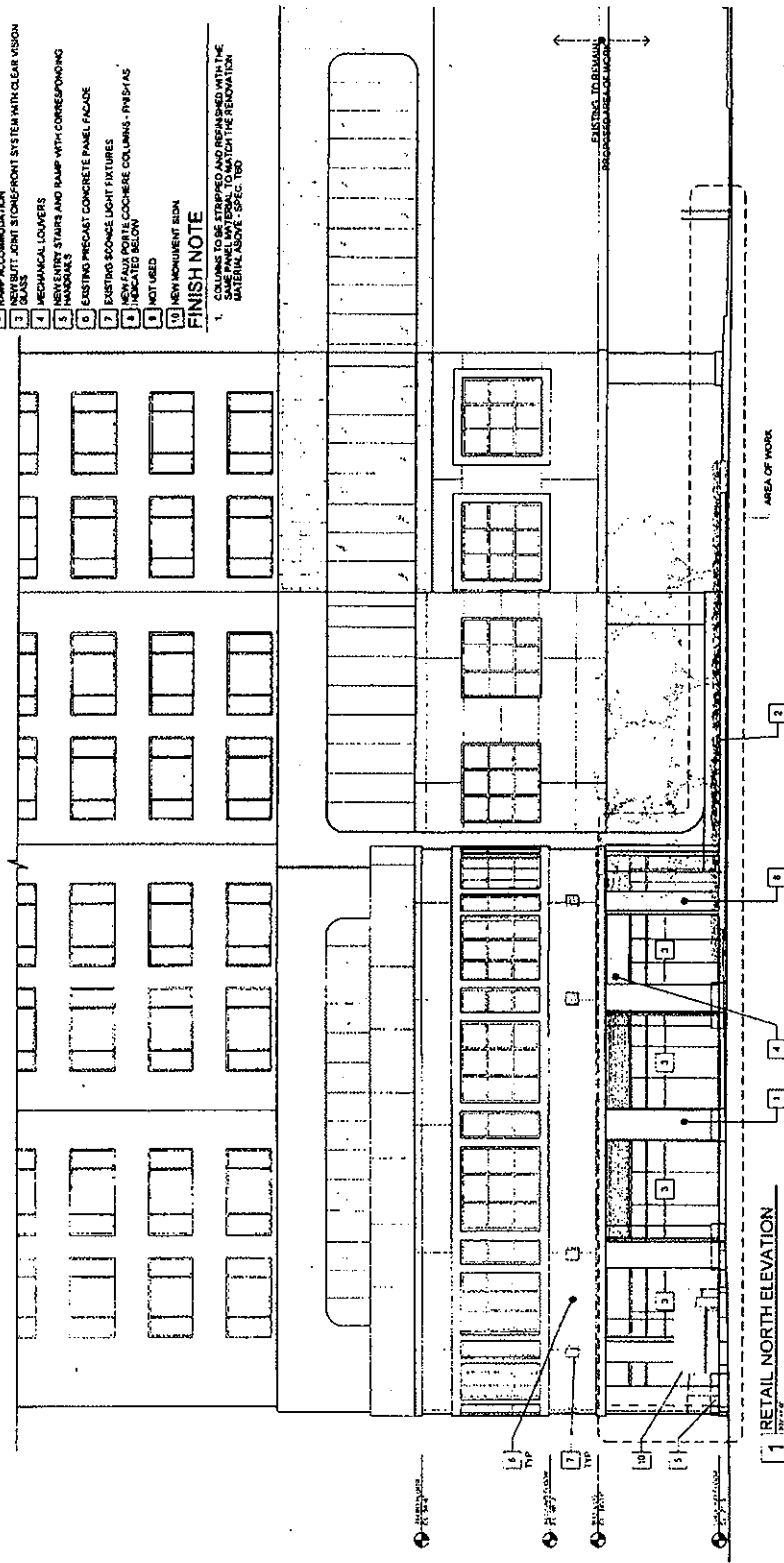
Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED RETAIL NORTH ELEVATION SIGNAGE

- KEYNOTES**
- 1 EXISTING PORTLE COOCHERE COLUMNS - FINISH AS SHOWN
  - 2 EXISTING PORTLE COOCHERE COLUMNS - FINISH AS SHOWN
  - 3 EXISTING PORTLE COOCHERE COLUMNS - FINISH AS SHOWN
  - 4 EXISTING PORTLE COOCHERE COLUMNS - FINISH AS SHOWN
  - 5 EXISTING PORTLE COOCHERE COLUMNS - FINISH AS SHOWN
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  - 55 EXISTING PORTLE COOCHERE COLUMNS - FINISH AS SHOWN
  - 56 EXISTING PORTLE COOCHERE COLUMNS - FINISH AS SHOWN
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  - 100 EXISTING PORTLE COOCHERE COLUMNS - FINISH AS SHOWN

**FINISH NOTE**

1. COLUMNS TO BE REFINISHED AND REFINISHED WITH THE SAME PANEL MATERIAL TO MATCH THE RENOVATION MATERIAL ABOVE. SPEC. TED



**1 RETAIL NORTH ELEVATION**

**DXU ARCHITECTS**  
415 N. LAKE STREET, SUITE 200, CHICAGO, IL 60601  
TEL: 312.467.1000  
WWW.DXUARCHITECTS.COM

**RENAISSANCE**  
1300 N. LAKE STREET, SUITE 200, CHICAGO, IL 60610  
TEL: 312.467.1000  
WWW.RENAISSANCECHICAGO.COM

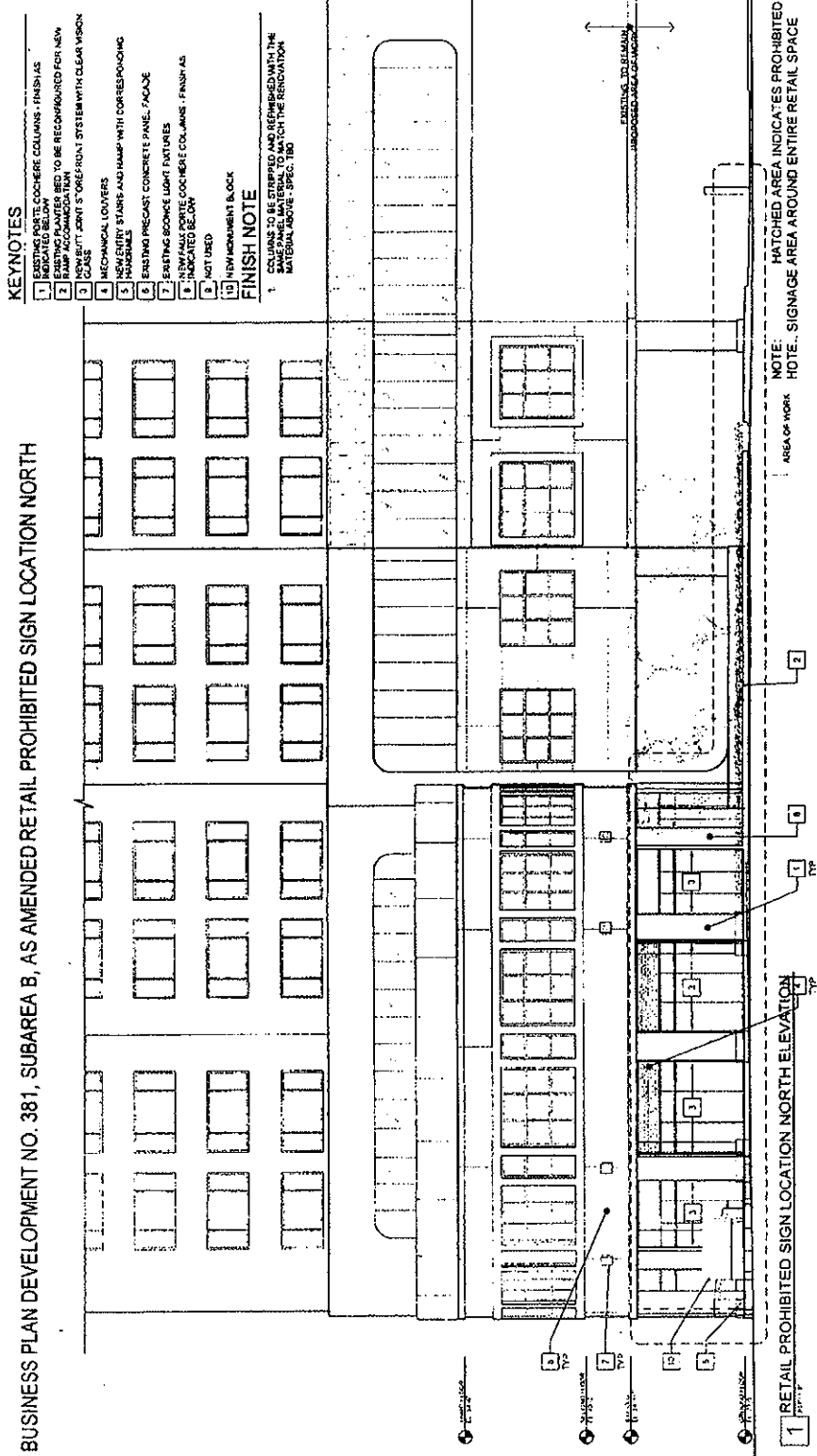
**CWI CHICAGO HOTEL LLC**  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

Date 08-26-2019  
PROJECT NO. 18-070

Sheet No. **SD-18**

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED RETAIL PROHIBITED SIGN LOCATION NORTH



- KEYNOTES**
- 1 EXISTING PORTLAND CEMENT CONCRETE - FINISH AS INDICATED BELOW
  - 2 NEW PORTLAND CEMENT CONCRETE - FINISH AS INDICATED BELOW
  - 3 MECHANICAL LOUVERS
  - 4 MECHANICAL STAIRS AND RAMP WITH CORRESPONDING FINISH
  - 5 PRECAST CONCRETE PANEL - FINISH AS INDICATED BELOW
  - 6 EXISTING SOURCE LIGHT FIXTURES
  - 7 NEW PORTLAND CEMENT CONCRETE - FINISH AS INDICATED BELOW
  - 8 NOT USED
  - 9 NEW MEMENTUM BLOCK

**FINISH NOTE**

1 ALL SURFACES TO BE FINISHED WITH THE SAME PORTLAND CEMENT CONCRETE - FINISH AS INDICATED ABOVE - SPEC. T80

**NOTE:** HATCHED AREA INDICATES PROHIBITED RETAIL SIGNAGE. UNHATCHED AREA AROUND ENTIRE RETAIL SPACE IS PERMITTED.

Date: 08-26-2019  
Project No: 18-070

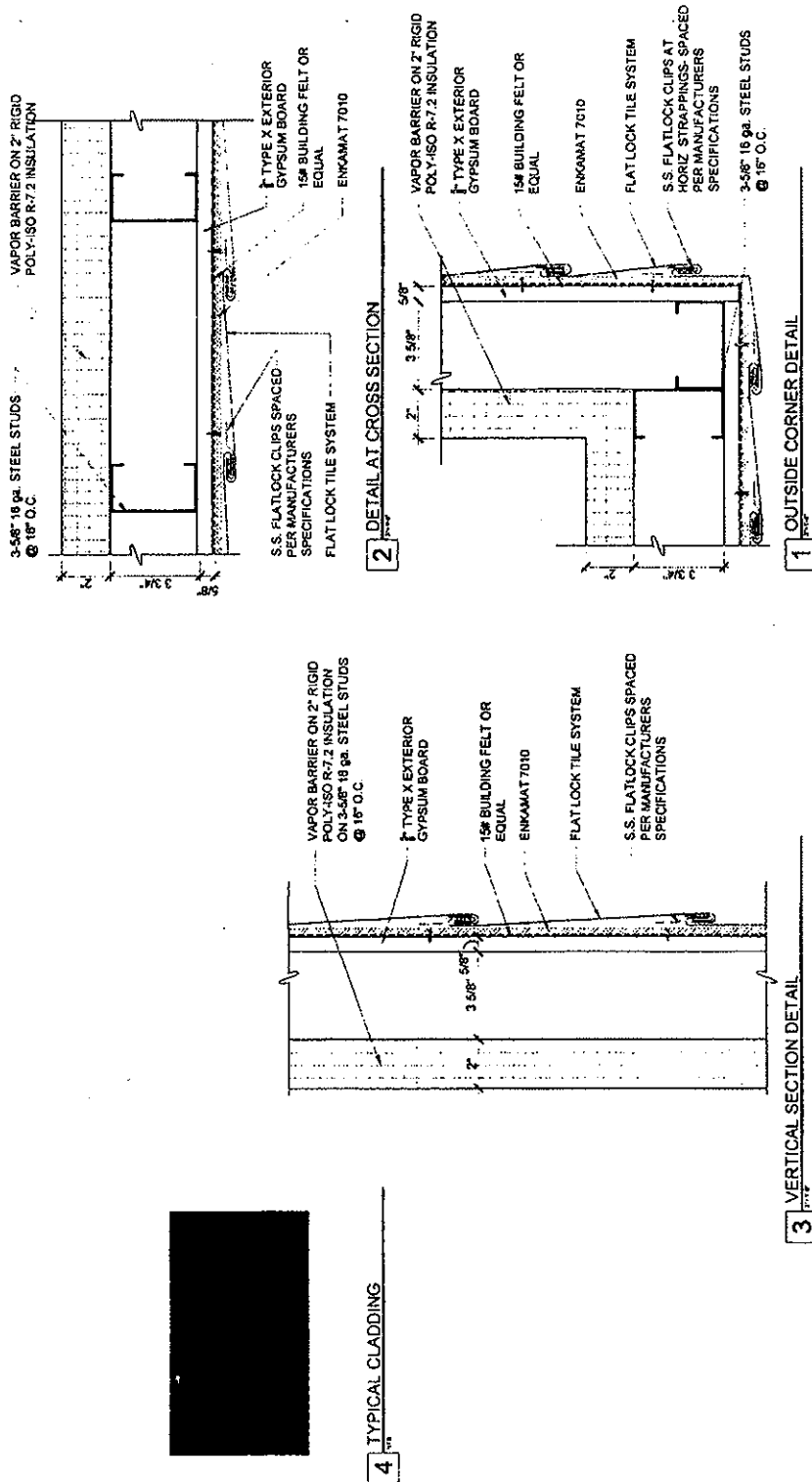
SD-19

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

**DXU** ARCHITECTS  
RENAISSANCE  
1-39 W. WACKER DRIVE, CHICAGO, IL 60601

Final for Publication

BUSINESS PLAN DEVELOPMENT NO. 381, SUBAREA B, AS AMENDED TYPICAL METAL CLADDING DETAILS



Date 08-26-2019  
PROJECT NO. 18-070

SD-20  
Sheet No

CWI CHICAGO HOTEL LLC  
RENAISSANCE HOTEL, 1-39 W. WACKER DRIVE, 200-240 N. STATE STREET, 2-40 W. LAKE STREET,  
201-241 N. DEARBORN STREET, CHICAGO, IL 60601

**DXU**  
ARCHITECTS  
111 N. WACKER DRIVE, SUITE 1000  
CHICAGO, IL 60601

**R**  
RENAISSANCE  
HOTEL

Final for Publication



(Continued from page 12155)

10273  
West Wacker Drive; North Dearborn Street; West Lake Street; and North State Street,

to the designation of a Business Planned Development No. 381, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development attached to this ordinance reads as follows:

*Business Planned Development  
No. 381, As Amended.*

*Plan Of Development.*

1. Legal title to that certain real property which is subject to the use and bulk restrictions of this Business Planned Development No. 381, as amended, and which property is legally described on Exhibit A attached hereto and made a part hereof (the "Property"), is held by the Harris Trust and Savings Bank, as Trustee w/t/a/ dated September 24, 1986 and known as Trust Number 43770.
2. The Property will be held under single ownership or control or under single designated control by Leo Burnett Co., Inc. or by its agents, representatives, successors, assigns or grantees.
3. The use and development of the Property shall be subject to this Plan of Development and attachments hereto, including without limitation, the Bulk Regulations Data.
4. Office uses, retail uses, hotel and meeting uses, or cultural uses, on-site parking, open space and such special and permitted uses as are currently included within the B6-7 and B7-7 Zoning Districts (as described in the Chicago Zoning Ordinance, Sections 8.3-6, 8.3-7, 8.4-6 and 8.4-7 and associated sections referred to therein) shall be permitted uses, including the operation of radio or television towers and/or earth station receiving dishes.
5. Any dedication or vacation of streets or alleys or easements or any adjustment of right-of-way shall require a separate submittal on behalf of the Applicant or its successors, assignees or grantees and approval by the City Council.

6. Any service drive, fire lane or other ingress or egress shall be adequately designed and paved in accordance with regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas.

7. The height of each building located upon the Property and any appurtenances attached thereto shall be subject to:

- (a) Height limitations as certified on Form FAA-177 (or on successor forms involving the same subject matter) and approved by the Federal Aviation Administration pursuant to Part 77 of the Regulations of the Administrator, Federal Aviation Administration; and
- (b) Airport Zoning Regulations as established by the Department of Development and Planning, Department of Aviation, and Department of Law and approved by the City Council.

8. Business and business identification signs may be permitted upon the Property subject to the review and approval of the Department of Planning and of the Department of Inspectional Services. Temporary signs, such as construction and marketing signs, may be permitted subject to the aforesaid approvals. Signs advertising products or services which products or services are not located upon the Property shall not be permitted.

9. For purposes of maximum Floor Area Ratio calculations, all mechanical floor space devoted to heating, ventilation and air conditioning equipment and exceeding 5,000 square feet in a single location regardless of placement in the building shall be excluded, as shall below grade uses, including: emergency generator, Commonwealth Edison vault, security office, personnel office, purchasing office, male and female lockers, training room, employees' dining, employees' pantry, receiving, storage (including glass, silver and china), telephone equipment, laundry/valet, engineering service, and housekeeping.

10. The Applicant or its successors, assigns or grantees shall obtain all official City reviews, approvals and permits required in connection with this Plan of Development.

11. This Plan of Development and the development of the Property is and shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments" promulgated by the Commissioner of the Department of Planning.

12. The Plan of Development for the Property shall include the following uses and minimum and maximum requirements:

- (a) In no event shall the maximum floor area ratio ("F.A.R.") exceed 17.5.
- (b) The net site area is 100,758 square feet.
- (c) Upon completion of the hotel, the retail/cultural/entertainment floor area of the Property shall be not less than 100,000 square feet nor more than 250,000

square feet. Retail use at ground level shall be maximized on State and Lake Streets and partially on Dearborn Street.

- (d) The hotel use shall include a minimum of 600 hotel rooms, provided that suites, each containing two or more separate rooms with sleeping accommodations, may replace hotel rooms at a ratio of 1 suite for each 1.5 hotel rooms replaced. The hotel floor area shall contain no more than 500,000 square feet.
- (f) A minimum of 51 parking spaces and a maximum of 105 parking spaces shall be permitted as part of the hotel development and a minimum of 142 parking spaces and a maximum of 175 parking spaces shall be permitted as part of the office development. Additional parking may be provided off-site.

13. This amended Planned Development is subject to execution of a letter of technical correction by the Commissioner of Planning with respect to the Redevelopment Agreement which shall modify the schedules for construction and for submission of plans and specifications and necessary evidence of financing, and to make such other technical corrections thereto as shall be required in order to proceed with this amended Planned Development.

Att. (5):

Legal Description

Existing Zoning and Preferential Street Map

Property Line and Right of Way Adjustments Map

General Land Use Map

Use and Bulk Regulation Data

0878r

Exhibit "A" attached to this Plan of Development reads as follows:

---

\* 12(e). It is understood that the North Loop Guidelines for Conservation and Redevelopment adopted by the City Council of the City of Chicago in October, 1981, as amended (the "Guidelines"), authorize this Planned Development to include limited adjustments to various provisions of the Guidelines, provided that such adjustments are in substantial conformity with the Guidelines. The increase in the maximum office floor area provided herein is deemed to be in substantial compliance with the Guidelines.

\*(e) The office floor area shall not exceed 1,225,000 square feet.

*Exhibit "A".**Business Planned Development No. 381, As Amended.**Plan Of Development.***Legal Description Of Block 16.**

A track of land consisting of all Lots and all streets and alleys within Block 16 of Original Town of Chicago in the East part of the SE 1/4 of Section 9, Township 39 North, Range 14 East of the Third Principal Meridian, together with a strip of land lying east of and adjoining said Block 16 and west of the West Line of State Street as established by an Act of the Legislature of the State of Illinois, approved March 3, 1845, in Cook County, Illinois bounded as follows:

Beginning at the convergence of the North Line of Lake Street and East Line of Dearborn Street; thence North along the East Line of Dearborn Street to the South Line of Wacker Drive; thence East along such South Line to the West Line of State Street; thence South along such West Line of Lake Street; thence West along the such North Line to the place of beginning; together with all rights and appurtenances pertaining thereto, including the rights of an owner thereof to abutting public streets and alleys.

[Bulk Regulations and Maps attached to the Plan of Development  
are printed on pages 12166 through 12170  
of this Journal.]

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***Reclassification Of Area Shown On Map No. 1-F.***

***Be It Ordained by the City Council of the City of Chicago:***

**SECTION 1.** That the Chicago Zoning Ordinance be amended by changing all the B6-7 Restricted Central Business District symbols and indications as shown on Map No. 1-F in the area bounded by

(Continued on page 12171)

*Business Planned Development**No. 381, As Amended.**Use And Bulk Regulations Data.*

Net Site Area					% Land Coverage At Grade
Sub-Areas	Acres	Permitted Uses	F.A.R.		
A	50,094	1.15	Office, retail parking	25.8	100%
B	50,094	1.15	Hotel, retail parking	9.3	100%
Total:					
	100,758 sq. ft.	2.31		17.5	100%

Net Site Area 100,758 sq. ft. + Rights-of-way (public streets and alley)  
 68,248 sq. ft. = 169,006 sq. ft. Gross Site Area

**Parking Spaces Required:** A minimum of 51 and a maximum of 105 on-site parking spaces shall be permitted as part of the hotel development and a minimum of 142 and a maximum of 175 on-site parking spaces shall be provided as part of the office development. Additional parking may be provided off-site.

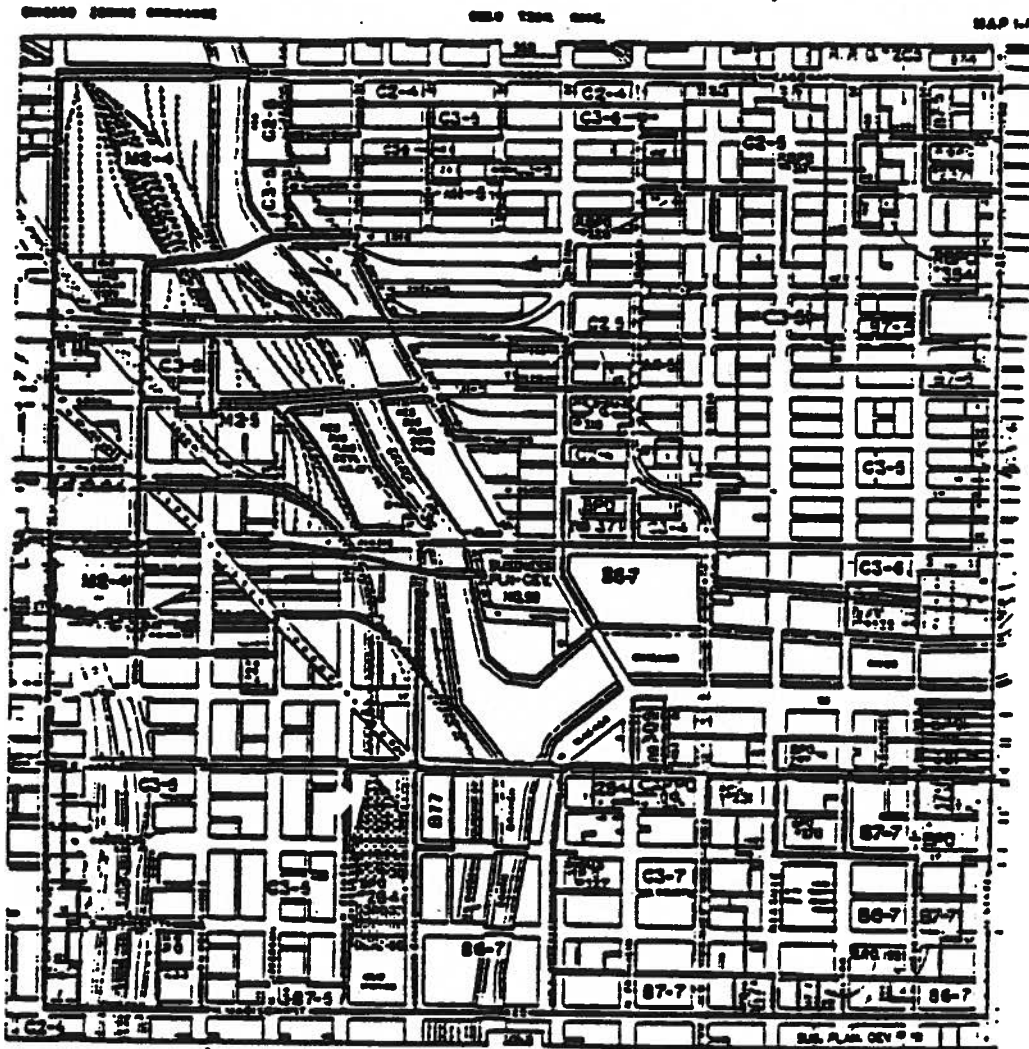
Minimum Number of Loading Berths:	Office	-	6
	Hotel and Retail	-	<u>3</u>
	Total		9



**Maximum F.A.R.:** 17.5

**Sub-Area B Setback:** A building setback beginning at and extending upwards from a horizontal plane 75 feet above Chicago City Datum in the northeastern corner of Block 16, only, extending north-south a depth of 90 feet from the south line of West Wacker Drive for a distance of 161.71 feet from the west line of North State Street, and east-west a depth of 161.71 feet from the west line of North State Street for a distance of 90 feet from the south line of West Wacker Drive. (See General Land Use Map)

**Minimum Number of Hotel Rooms:** The hotel area shall include a minimum of 600 hotel rooms. Suites each containing two or more separate rooms with sleeping accommodations may replace hotel rooms at a ratio of 1 suite for each 1.5 hotel rooms replaced. The hotel area shall contain no more than 500,000 square feet.

BUSINESS PLANNED DEVELOPMENT No. 381, as Amended,  
EXISTING ZONING AND PREFERENTIAL STREET MAP



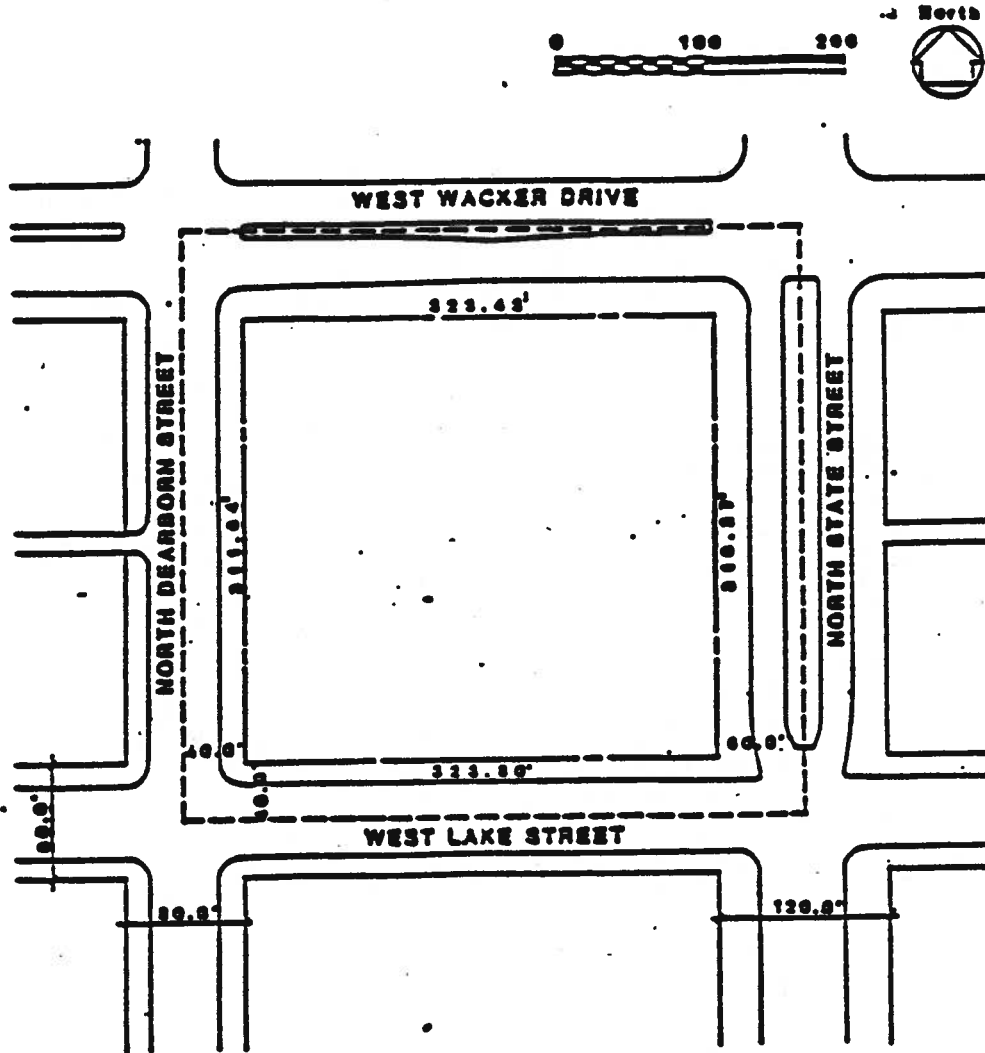
 Zoning Districts  
 Business Development




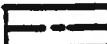
APPLICANT: Leo Burnett Co., Inc.  
 Prudential Plaza, 10th Floor  
 Chicago, IL 60601

DATE: February 9, 1988

**BUSINESS PLANNED DEVELOPMENT No. 381, as Amended  
PROPERTY LINE AND RIGHT-OF-WAY ADJUSTMENTS MAP**

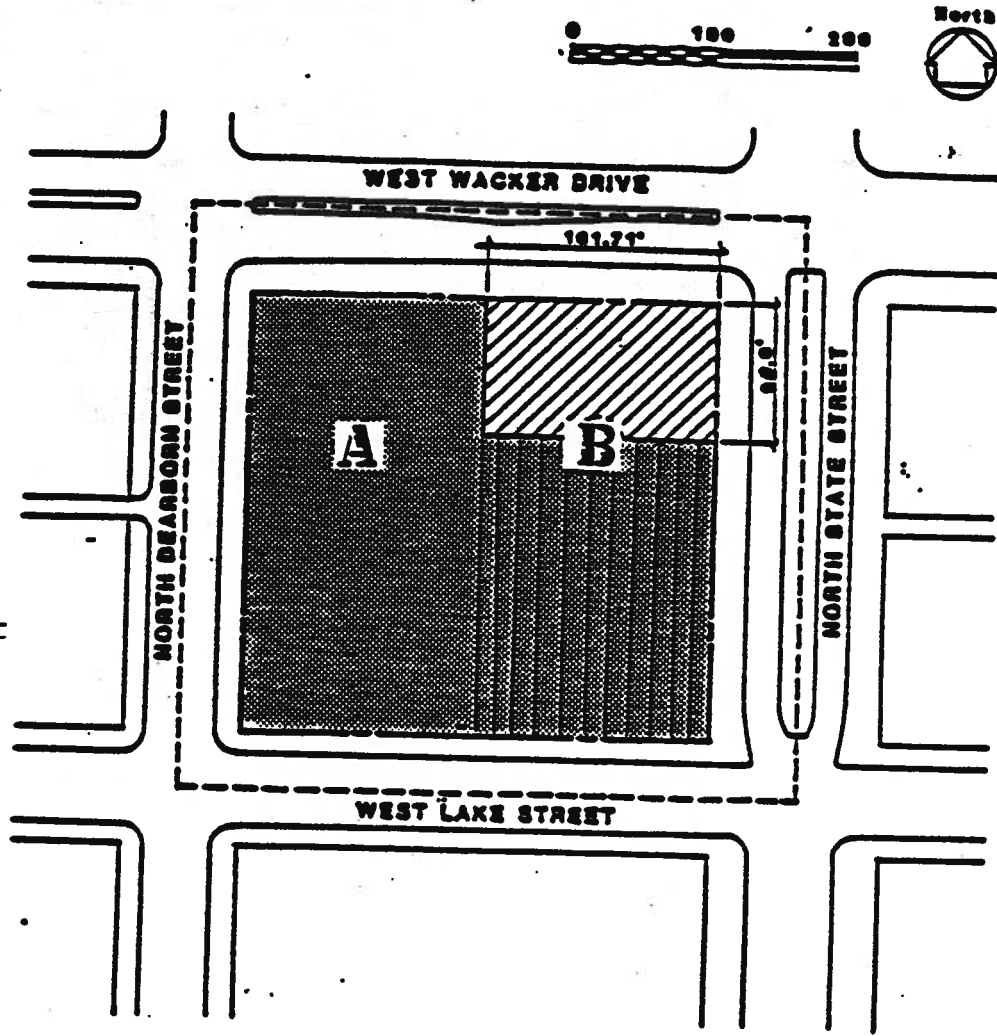







**APPLICANT:** Leo Burnett Co., Inc.  
 Prudential Plaza,  
 10th Floor  
 Chicago, Il 60601

 Planned Development Boundary  
 Property Line

**DATE:** February 9, 1988

BUSINESS PLANNED DEVELOPMENT No. 381, as Amended  
GENERAL LAND USE MAP



-  Hotel, Retail, Parking Uses
-  Hotel, Retail, Parking Uses  
Below A Plane 75.0' Above C.G.D.
-  Office, Retail, Parking Uses
-  Planned Development Boundary
-  Property Line

APPLICANT: Leo Burnett Co., Inc.  
Prudential Plaza,  
10th Floor  
Chicago, IL 60601

DATE: February 9, 1988

East Superior Street; North Michigan Avenue; East Huron Street; and North Rush Street;

to the designation of a Residential-Business Planned Development which is hereby established in the area described above, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

[Residential-Business Planned Development printed on pages 28216 through 28223 of this Journal.]

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

—  
*Reclassification of Area Shown on Map No. 1-F.*

PD 381

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B6-7 Restricted Central Business District and B7-7 General Central Business District symbols and indications as shown on Map No. 1-F in the area bounded by

West Wacker Drive; North Dearborn Street; West Lake Street; and North State Street,

to reflect the establishment of a Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached hereto and made a part hereof.

[Business Planned Development printed on pages 28224 through 28231 of this Journal.]

SECTION 2. This ordinance shall be in force and effect from and after its passage.

—  
*Reclassification of Area Shown on Map No. 2-F.*

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C3-7 Commercial-Manufacturing District symbols and indications as shown on Map. No. 2-F in the area bounded by

West Jackson Boulevard; South Franklin Street; West Van Buren Street; and South Wacker Drive,

(Continued on page 28232)

A2351

Applicant:  
City of Chicago (the "City")  
Department of Planning  
City Hall  
Room 1000  
Chicago, Illinois

**BUSINESS PLANNED DEVELOPMENT 381**  
**PLAN OF DEVELOPMENT**

1. Legal title to that certain real property which is subject to the use and bulk restrictions of Business Planned Development No. \_\_\_\_\_, and which property is legally described on Exhibit A attached hereto and made part hereof (the "Property"), is held by the City of Chicago.

2. The Property will be held under single ownership or control or under single designated control by the City or by its agents, representatives, successors, assigns or grantees.

3. This Plan of Development shall be contingent upon the execution of that certain "Redevelopment Agreement and Contract for the Sale of Land-North Loop-Block 15" (the "Redevelopment Agreement") by and between the City and Buck-Waxler Associates (the "Developer").

4. The use and development of the Property shall be subject to this Plan of Development and attachments hereto including, without limitation the Bulk Regulations Data.

5. Office uses, retail uses, hotel and meeting uses, residential, or cultural uses, on-site parking, open space and such special and permitted uses as are currently included within the B6-7 and B7-7 Zoning Districts (as described in the Chicago Zoning Ordinance, Sections 8.3-6, 8.3-7, 8.4-6 and 8.4-7 and associated sections referred to therein) shall be permitted uses subject to the terms of the Redevelopment Agreement including without limiting the generality thereof, the operation of radio or television towers and/or earth station receiving dishes.

6. The Applicant, its successors and assigns, shall obtain and secure such subdivision, resubdivision, dedication and vacation of streets or alleys or easements and any adjustment of rights-of-way necessary to implement development of the Property in accordance with this Plan of Development.

Revised: February 24, 1986

7. The Developer, its partners, affiliates, successors, assigns or grantees shall obtain all official reviews, approvals and permits necessary to implement the development of the Property. Said approvals shall include City Council approval for any vacations or dedications.

8. Any service drive, fire lane or other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas.

9. The height of each building located upon the Property and any appurtenances attached thereto shall be subject to:

- (a) Height limitations as certified on Form FAA-177 (or on successor forms involving the same subject matter) and approved by the Federal Aviation Administration pursuant to Part 77 of the Regulations of the administrator, Federal Aviation Administration; and
- (b) Airport Zoning Regulations as established by the Department of Development and Planning, Department of Aviation, and Department of Law and approved by the City Council.

10. Business and business identification signs may be permitted upon the Property subject to the review and approval of the Department of Planning and of the Department of Inspectional Services. Temporary signs, such as construction and marketing signs, may be permitted subject to the aforesaid approvals. Signs advertising products or services which products or services are not located upon the Property shall not be permitted. Signs described by Chapter 86, Section 86.1-11 of the Chicago Municipal Code shall require City Council approval in the manner described therein.

11. For purposes of maximum Floor Area Ratio calculations, mechanical equipment floor space in any building shall not be counted as Floor Area.

12. Upon proper application by the Developer, its successors and assigns, the City shall issue and grant such licenses or other approvals as are necessary to permit the construction, installation and maintenance of pedestrian bridge walkways over public rights-of-way pursuant to the Redevelopment Agreement and all necessary approvals by the City Council.

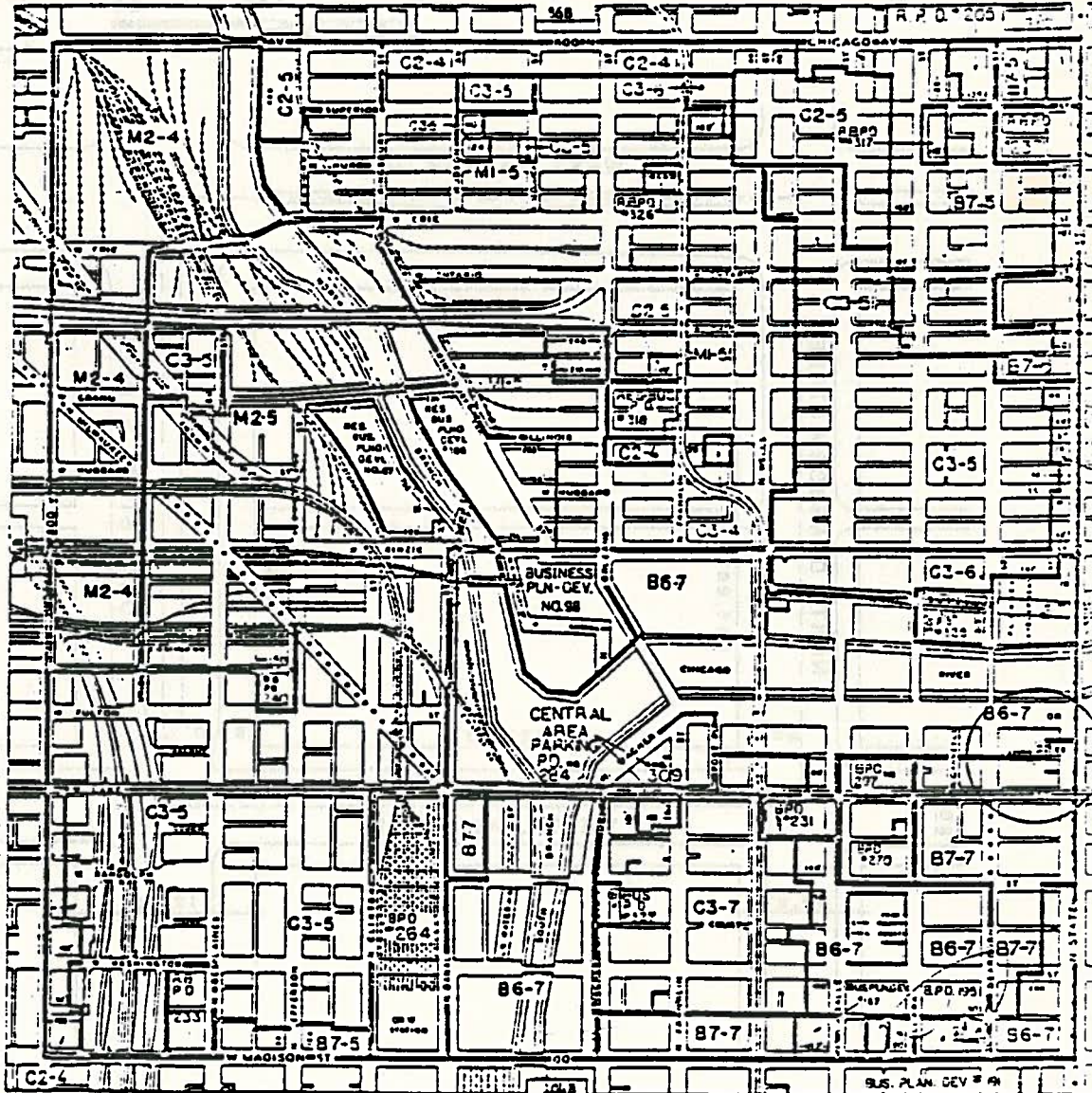
13. This Plan of Development and the development of the Property is and shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Development Amendments" promulgated by the Commissioner of the Department of Planning.

14. The Plan of Development for the Property shall include the following uses and minimum and maximum requirements:

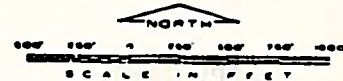
- (a) In no event shall the maximum floor area ratio ("F.A.R.") exceed 16.5.
  - (b) The net site area is 100,613 square feet.
  - (c) Upon completion of the hotel; the retail / cultural / entertainment floor area shall be not less than 100,000 square feet nor more than 250,000 square feet. Retail use at ground level shall be maximized on State and Lake Streets and partially on Dearborn Street.
  - (d) The hotel-residential use shall include a minimum of 400 suites each containing two or more separate rooms with sleeping accommodations. The hotel-residential floor area shall contain no more than 500,000 square feet. (i) Single hotel rooms may replace suites at a ratio of 1.5 single hotel rooms for each separate hotel suite replaced and (ii) as many as 100 hotel rooms may be removed from the required minimum, but for each hotel room removed, two residential dwelling units must be provided.
  - (e)\* The office floor area shall not exceed 1,175,000 square feet.
  - (f) A building set back of 98 feet from the north property line and 161.71 feet from the east property line extending upwards from a horizontal plane 38.3 feet above Chicago City Datum.
  - (g) The minimum parking requirements under the Chicago Zoning Ordinance shall be the maximum number of spaces permitted. Parking may be provided off-site.
- 14(e). It is understood that the North Loop Guidelines for Conservation and Redevelopment adopted by the City Council of the City of Chicago in October, 1981, as amended (the "Guidelines") authorize this Planned Development to include limited adjustments to various provisions of the Guidelines, provided that such adjustments are in substantial conformity with the Guidelines. The increase in the maximum office floor area provided herein is deemed to be in substantial compliance with the Guidelines.

Revised: February 24, 1986

BUSINESS PLANNED DEVELOPMENT  
EXISTING ZONING AND PREFERENTIAL STREET MAP



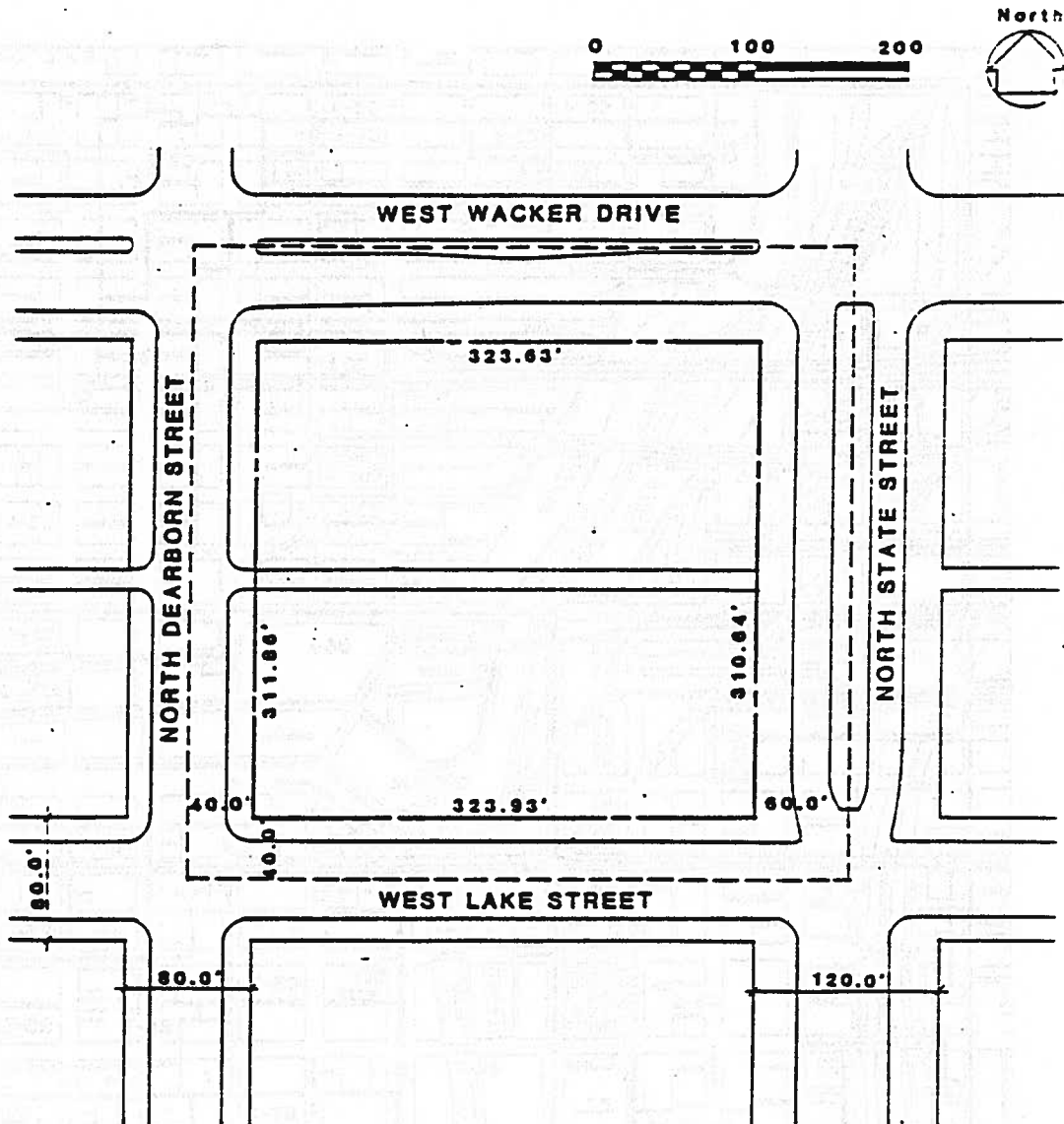
 Zoning Districts  
 Business Development



APPLICANT:  
 CITY OF CHICAGO  
 DEPARTMENT OF PLANNING

DATE: December 4, 1985

**BUSINESS PLANNED DEVELOPMENT  
PROPERTY LINE AND RIGHT-OF-WAY ADJUSTMENTS MAP**

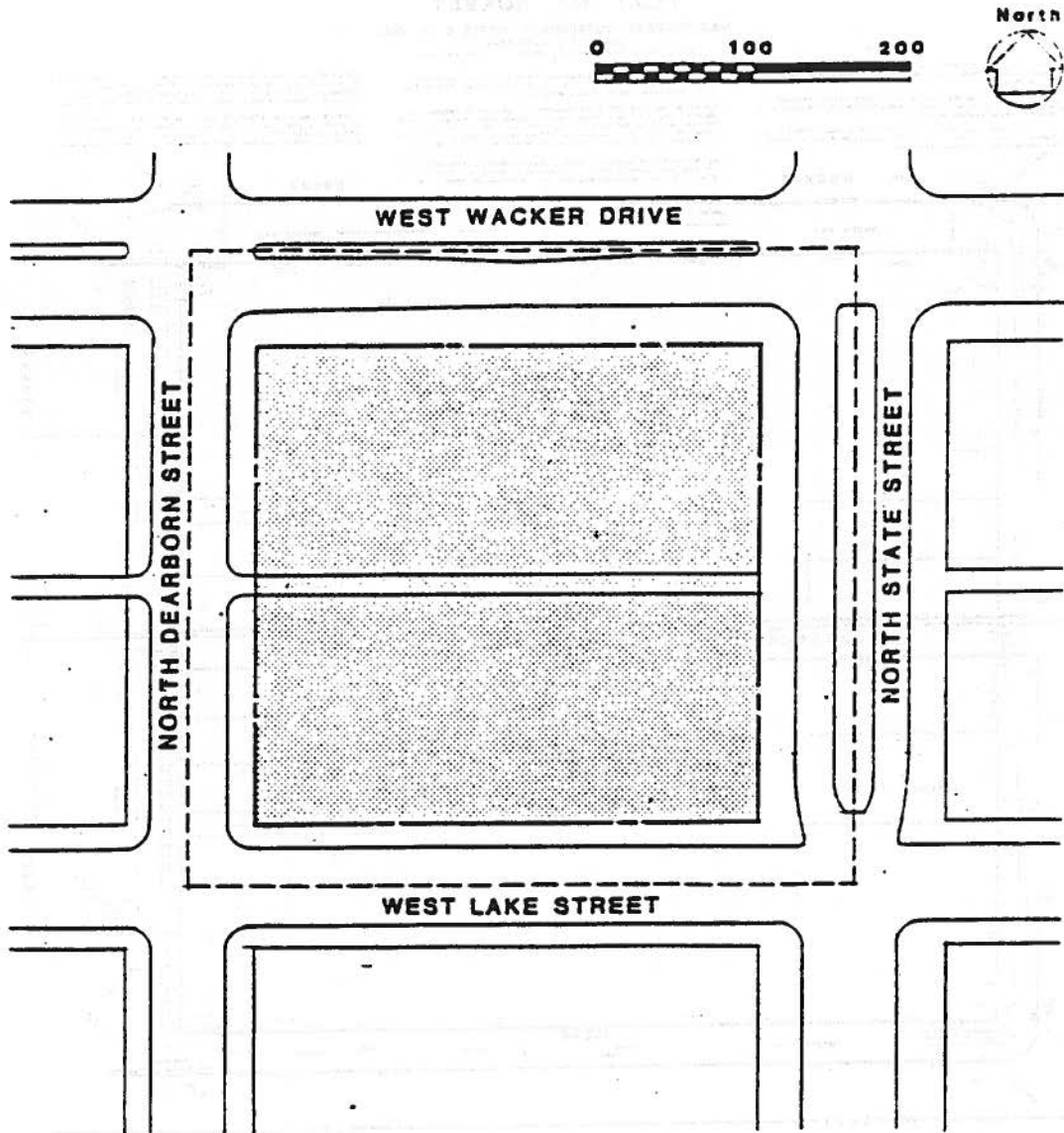


**APPLICANT:**  
 CITY OF CHICAGO  
 DEPARTMENT OF PLANNING

**DATE:** December 4, 1985

 Planned Development Boundaries  
 Property Line




**BUSINESS PLANNED DEVELOPMENT  
GENERAL LAND USE MAP**



**APPLICANT:**

CITY OF CHICAGO  
DEPARTMENT OF PLANNING

DATE: December 4, 1985

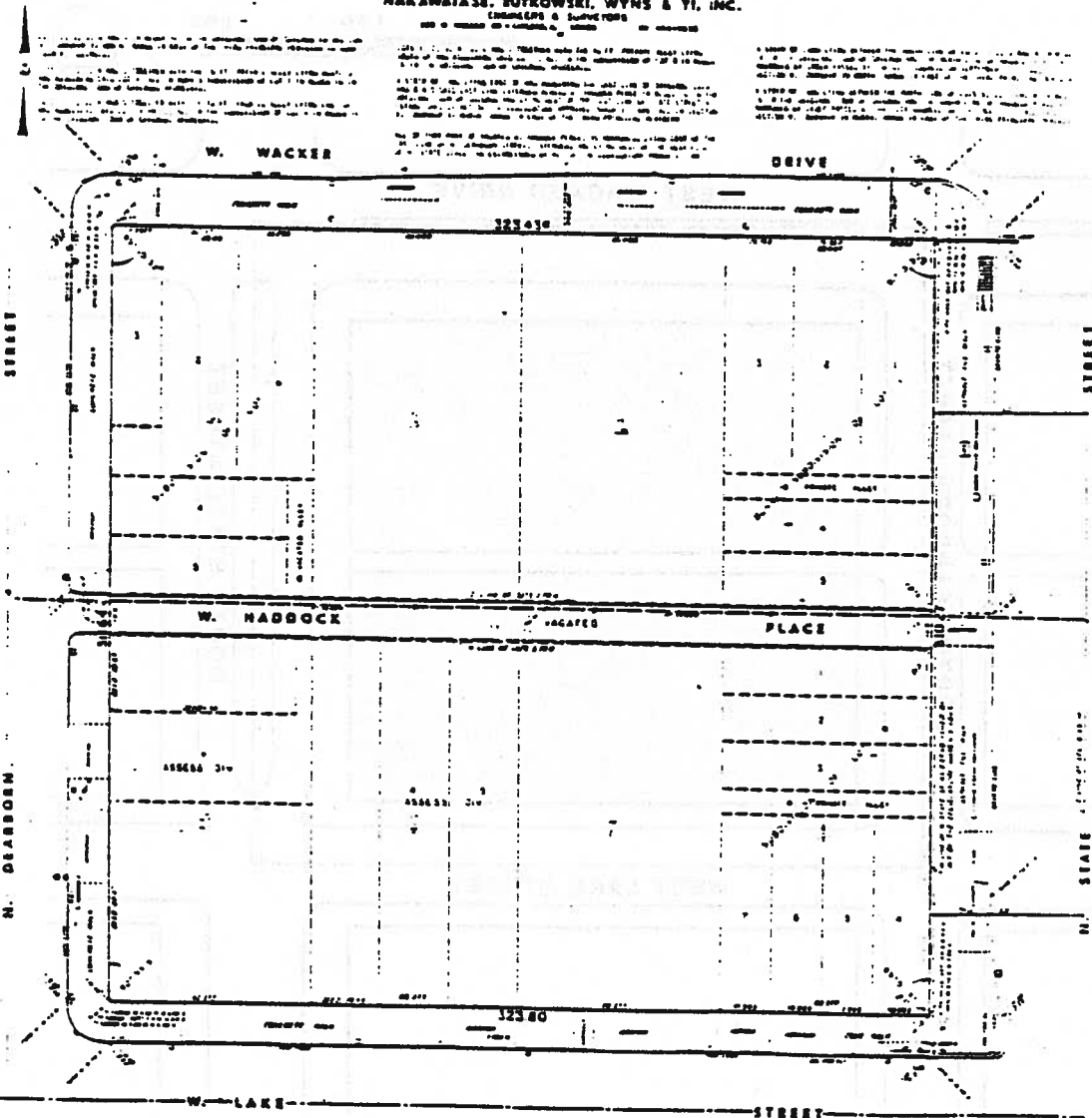
-  General Business Uses
-  Planned Development Boundaries
-  Property Line

PLAT OF SURVEY

NAKAWATASS, BUTKOWSKI, WYNS & YI, INC.

ENGINEERS & SURVEYORS

100 N. DEARBORN STREET, CHICAGO, ILL. 60610



TO THE SEVERAL OWNERS OF THE SEVERAL LOTS SHOWN ON THIS PLAT TO BE DIVIDED INTO LOTS OF APPROXIMATELY EQUAL SIZE AND TO BE USED AS LOTS FOR THE PURPOSES OF THE CITY OF CHICAGO.

NOTE:  
 1. THE LOTS SHOWN ON THIS PLAT ARE SUBJECT TO ALL EASEMENTS AND ENCUMBRANCES OF RECORD.

- LEGEND
- LOT OR PARCEL
  - LOT OR PARCEL
  - LOT OR PARCEL
  - LOT OR PARCEL
  - LOT OR PARCEL
  - LOT OR PARCEL
  - LOT OR PARCEL
  - LOT OR PARCEL

AREAS -  
 LOTS & PARCELS ALTOGETHER - 65,770 SQ. FT.  
 W. MADROCK PLACE - 4,015 SQ. FT.  
 TOTAL - 69,785 SQ. FT.

TO THE SEVERAL OWNERS OF THE SEVERAL LOTS SHOWN ON THIS PLAT TO BE DIVIDED INTO LOTS OF APPROXIMATELY EQUAL SIZE AND TO BE USED AS LOTS FOR THE PURPOSES OF THE CITY OF CHICAGO.

## BULK REGULATIONS DATA

Business Planned Development for that certain property located generally between North Dearborn Street, West Wacker Drive, North State Street, and West Lake Street in Chicago, Illinois

Net Site Area: approximately 100,613 square feet.

General Description of Land Use: Office, retail, hotel, residential and meeting uses, or cultural uses, on-site parking, open space and such other special uses and permitted uses as are currently included within the B6-7 and B7-7 zoning districts, including the operation of radio or television towers and/or earth station receiving dishes.

Minimum Number of Hotel Room Keys: The hotel-residential area shall include a minimum of 400 suites each containing two or more separate rooms with sleeping accommodations. Single hotel rooms may replace suites at a ratio of 1.5 single hotel rooms for each separate hotel suite replaced and the hotel-residential area shall contain no more than 500,000 square feet.

Maximum Floor Area Ratio: 16.50\*

Maximum Percentage of Site Coverage: 100%

Maximum Number of Off-Street Parking Spaces, On-Site: The minimum parking requirements under the Chicago Zoning Ordinance shall be the maximum number of spaces permitted. Parking may be provided off-site.

<u>Minimum Number of Loading Berths:</u>	Office	6
	Hotel & Retail	3
	Total	9

Gross Site Area Calculations:

- Net site area: 100,612.88 Sq. Ft.
- Approximate area to remain in public right-of-way (West Wacker Street, North Dearborn Street, West Lake Street, and North State Street): 62,248.17 sq. ft.
- Approximate gross site area: 168,861.05 sq. ft.

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\* For purposes of maximum Floor Area Ratio calculations; mechanical equipment floor space in the buildings shall not be counted as Floor Area.

Revised: February 24, 1986