



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

May 9, 2016

Katriina S. McGuire  
Thompson Coburn LLP  
55 East Monroe Street  
37<sup>th</sup> Floor  
Chicago, IL 60603

**Re: Administrative Relief request for Residential Business Planned Development No. 368,  
Subarea D, Parcel 20, Target signs at 435 E. Illinois Street**

Dear Ms. McGuire:


Please be advised that your request for a minor change to Residential Business Planned Development No. 368 ("PD 368"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of PD 368.

You are seeking administrative relief on behalf of your client, Target Corporation, to allow nine signs at 435 E. Illinois St., which are not in compliance with Section 17-12-1005-A of the Zoning Ordinance and Statement 11e of the Planned Development Ordinance. As shown on the attached drawings, two Target logo signs are located above the entrance canopy on the West and North Elevations and seven logo signs are located on the sloped portion of seven awnings along the North Elevation. AH-River East LLC is the owner of Parcel 20 and has provided their consent to this request.

With regard to your request, the Department of Planning and Development has determined that allowing these signs will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 368, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

C: Mike Marmo, Erik Glass, Main file

**ENGINEERING  
SHOP  
VINYL / LAYOUT  
ROUTING / KNIFE**



**PHILADELPHIASIGN**  
CORPORATION

702 West Spring Garden Street  
Philadelphia, New Jersey 08108

Phone: 856.829.1484  
Fax: 856.829.8549  
www.philadelphiasign.com

CUSTOMER:

**TARGET**

JOB NUMBER:

**T3207**

SIGN TYPE:

**Various**

LOCATION:

**435 E. Illinois Street  
Chicago, IL 60611**

DATE:

**04/23/2015**

DRAWN BY:

**JTR**

REVISION:

Number	Date	By
0	07/21/2015	JTR

SHEET:

**2 OF 14**

DWG NUMBER:

**B60071**

ENGINEER SEAL:

MAX DESIGN WIND SPEED 90 MPH  
EXPOSURE C

THIS IS AN ORIGINAL UNPUBLISHED DRAWING  
CREATED BY PHSA. IT IS UNLITLED FOR FOUR  
MONTHS AND WILL AUTOMATICALLY BE A PUBLIC  
ITEM PLANNED FOR YOU BY PHSA. IT IS NOT TO  
BE REPRODUCED OR TRANSMITTED IN ANY FORM  
OR BY ANY MEANS, ELECTRONIC OR MECHANICAL,  
INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY  
INFORMATION STORAGE AND RETRIEVAL SYSTEM.

ROOF  
12' - 6"

SIXTH FLOOR  
57' - 6"

FIFTH FLOOR  
48' - 10"

FOURTH FLOOR  
38' - 0"

THIRD FLOOR  
27' - 2"

SECOND FLOOR  
15' - 4"

FIRST FLOOR  
3' - 0"

GRADE AT NORTH  
0' - 0"

GRADE AT SLIP LEVEL  
-1' - 11"

BASEMENT SLIP LEVEL  
-2' - 10"

- 2  
05/12/15
- 4  
07/24/15
- 7  
07/13/15

**SIGN C:** 5' 0" Non-Illuminated  
Logo On Canopy Edge.  
Logo To Have Aluminum  
Faces And Back.  
Printed White (Gloss Finish)

30° Starbucks Double-Faced  
Illuminated Blade Sign.

18" Window Vinyl Applied  
To Second Surface Of Glass  
Window

- 2  
06/12/15
- 4  
07/24/15
- 5  
08/13/15

- 1  
05/14/15
- 5  
07/29/15

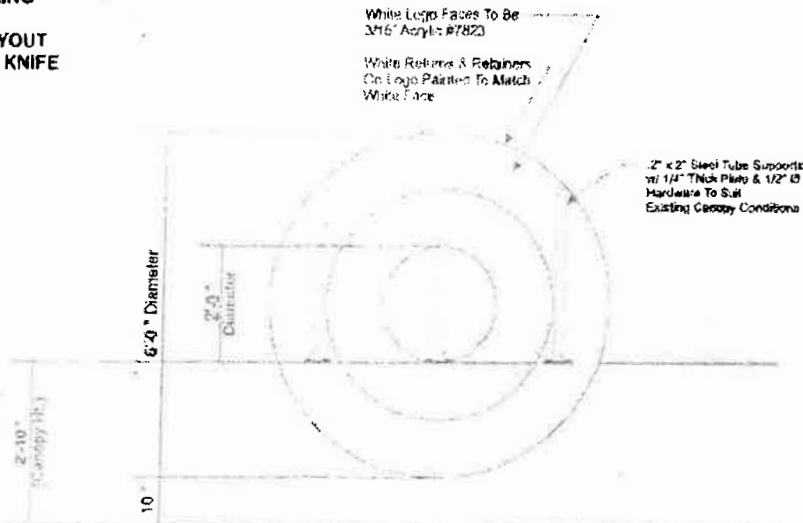
**WEST ELEVATION**  
SCALE: 1/16" = 1' 0"

**PERMITS  
ONLY**

**NOTE: All Dimensions And Field Conditions  
To Be Verified And Confirmed From Site Survey  
Prior To Relaying For Fabrication.**

Note: This sign is intended to be installed in accordance with the requirements of  
Article 600 of the National Electrical Code and/or other applicable local codes.  
This includes proper grounding and bonding of the sign.

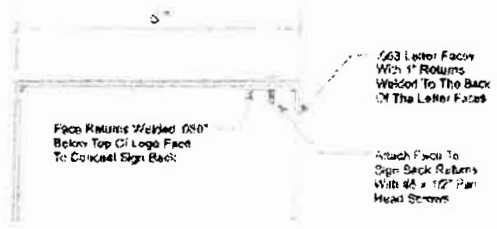
**ENGINEERING  
SHOP  
VINYL / LAYOUT  
ROUTING / KNIFE**



White Logo Faces To Be 3/16" Acrylic #7823  
White Returns & Retainers On Logo Painted To Match White Face

2" x 2" Steel Tube Supports w/ 1/4" Thick Plate & 1/2" B Hardware To Suit Existing Canopy Conditions

SQUARE FOOTAGE: 36.0



**DETAIL "A"**  
HALF SCALE

Face Returns Welded .060" Below Top Of Logo Face To Conceal Sign Back

.063 Letter Faces With 1" Returns Welded To The Back Of The Letter Faces

Attach Face To Sign Back Returns With #8 x 1/2" Pan Head Screws



**WEST ELEVATION  
SIGN "C"**  
6' 0" h White Logo on Canopy Edge  
SCALE: 1/2" = 1' 0"

**PERMITS  
ONLY**

.060" Thick Aluminum Letter Backs Welded To Sign Back Returns

SEE DETAIL "A" ABOVE

Attach Face To Sign Back Returns With #8 x 1/2" Pan Head Screws

2" x 2" Steel Tube Supports w/ 1/4" Thick Plate & 1/2" B Hardware To Suit Existing Canopy Conditions

.063 Letter Faces With 1" Returns Welded To The Back Of The Logo Face

1/4" Thick x 2" x 2" Aluminum Angles Welded To Back & Bottom Returns Of Logo

3/16" Hardware To Suit Existing Canopy Conditions

.060" Thick Strip In Logo Back Weld To Logo Back And Drop Down Back

.060" Thick Drop-Down Back

Drain Hole As Required

Existing Canopy

2'-10" Canopy Ht.

**DETAIL**  
SCALE: 3/4" = 1' 0"  
2 4 9

**NOTE: All Dimensions And Field Conditions To Be Verified And Confirmed From Site Survey Prior To Release For Fabrication.**

**ELECTRICAL LOAD  
E' LOGO**  
(5) Amps @ 120 Vols  
**ELECTRICAL REQMTS**  
(1) 20 Amp/120 Volt Circuit

**STANDARD WALL SIGN NOTES:**  
1. Sufficient Primary Circuit In Proximity Of Sign By Others.  
2. Final Primary Hook-Up To The Power Distribution Board By Others.  
3. Sign Shall Be U.L. Listed.  
4. Mounting Hardware By Sign Installer.  
5. This Sign has been Designed with the Criteria set forth in the IBC 2003 & IBC 2006. The Design Meets or Exceeds those Requirements for the Geographical Location In Which it is to be Erected.

Note: This sign is intended to be installed in accordance with the requirements of Article 690 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**PHILADELPHIASIGN**  
177 West Spring Garden Street  
Philadelphia, Penn. Jersey 08106  
Phone: 215 879 1400  
Fax: 215 879 1440  
www.philadelphiasign.com

**CUSTOMER:**  
**TARGET**  
**JOB NUMBER:**  
**T3207**  
**SIGN TYPE:**  
**Various**  
**LOCATION:**  
**401 E. Illinois Street  
Chicago, IL 60611**

**DATE:**  
**04/23/2015**  
**DRAWN BY:**  
**JTR**

**REVISION:**  
Number Date By  
0 07/29/2015 JTR

**SHEET:** 6 OF 14  
DWO/DMT

**DWG NUMBER:**  
**B60071**

**ENGINEER SEAL:**

**MAX DESIGN WIND SPEED IN MPH  
EXPOSURE C**

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VINYL / LAYOUT  
ROUTING / KNIFE



PHILADELPHIA SIGN  
Philadelphia, PA 19103

707 West Spring Garden Street  
Philadelphia, New Jersey 08103

Phone: 856.678.1466  
Fax: 856.229.8349  
www.philadelphisign.com

CUSTOMER:

TARGET

JOB NUMBER:

T3207

SIGN TYPE:

Various

LOCATION:

435 E. Hinola Street  
Chicago, IL 60611

DATE:

04/23/2015

DRAWN BY:

JTR

REVISION

Rev.	Date	By
1	07/21/2015	JTP

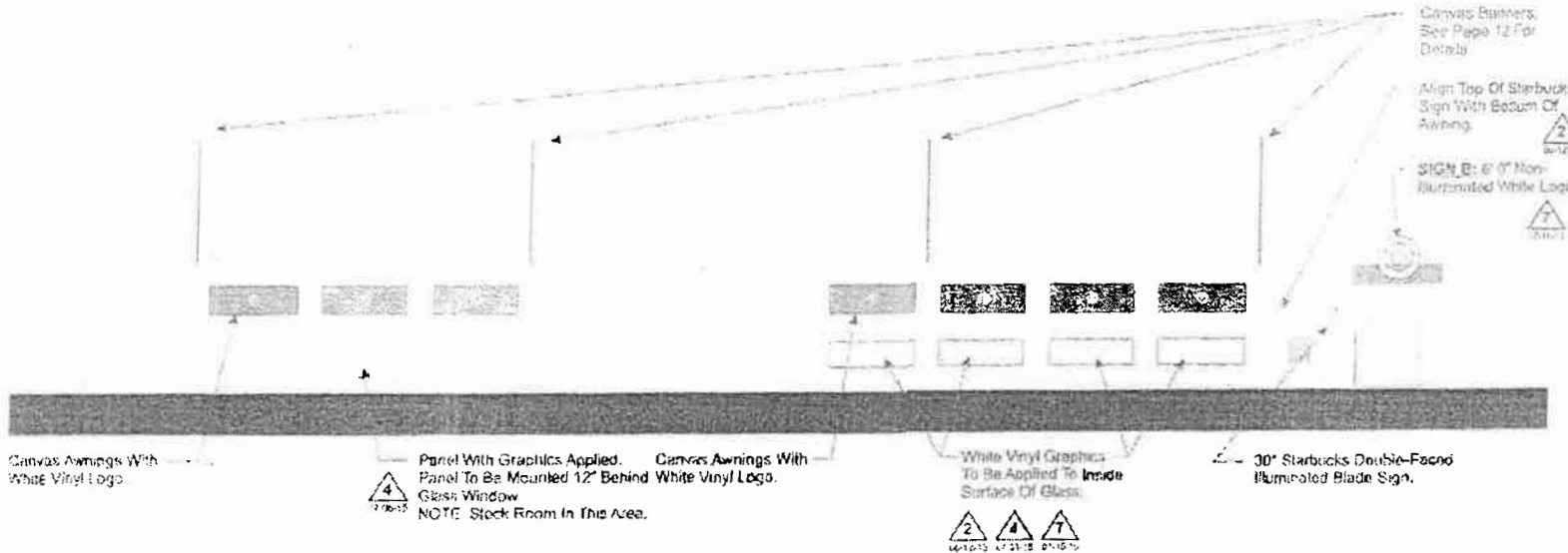
SHEET:

3 OF 14

DWG NUMBER:

B60071

ENGINEER SEAL:



Canvas Awnings With  
White Vinyl Logo



Panel With Graphics Applied.  
Panel To Be Mounted 12"  
Glass Window  
NOTE: Stock Room In The Area.

Canvas Awnings With  
White Vinyl Logo.



White Vinyl Graphics  
To Be Applied To Inside  
Surface Of Glass.

30" Starbucks Double-Faced  
Fluminate Blade Sign.

Canvas Awnings.  
See Page 12 For  
Details

Align Top Of Starbucks  
Sign With Bottom Of  
Awning.

SIGN IS 6' 0" Non-  
Bursted White Logo.



NORTH ELEVATION  
SCALE: 1/16" = 1'-0"

PERMITS  
ONLY

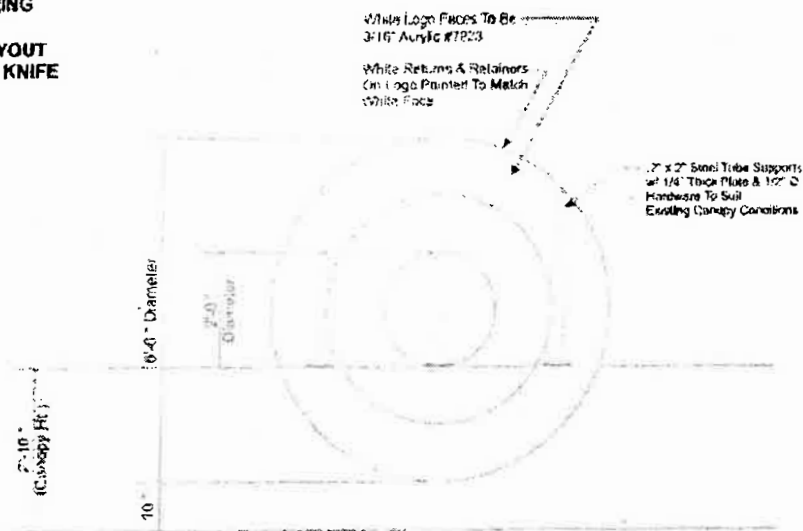
NOTE: All Dimensions And Field Conditions  
To Be Verified And Confirmed From Site Survey  
Prior To Release For Fabrication.

Note: This sign is intended to be installed in accordance with the requirements of  
Article 600 of the National Electrical Code and/or other applicable local codes.  
This includes proper grounding and bonding of the sign.

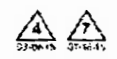
MAX WIND SPEED: 39 MPH  
EXPOSURE C

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**ENGINEERING  
SHOP  
VINYL / LAYOUT  
ROUTING / KNIFE**



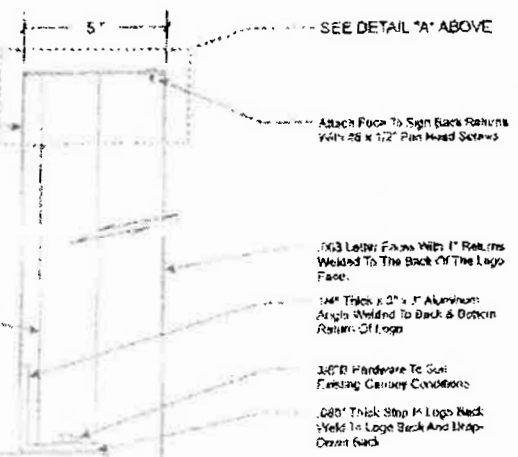
**NORTH ELEVATION  
SIGN "B"  
6' 0" W White Logo on Canopy Edge  
SCALE: 1/2" = 1'-0"**



SQUARE FOOTAGE: 36.0



**DETAIL "A"  
HALF SCALE**



**DETAIL  
SCALE: 3/4" = 1'-0"**

**PERMITS  
ONLY**

**ELECTRICAL LOAD  
BY LOGO**  
(5) Amps @ 120 Volts  
**ELECTRICAL REQMTS**  
(1) 25 Amp 120 volt Circuit

- STANDARD WALL SIGN NOTES:**
1. Sufficient Primary Detail In Vicinity Of Sign By Others.
  2. Final Primary Hook-Up To The Power Distribution Board By Others.
  3. Sign Shall Be U.L. Listed.
  4. Mounting Hardware By Sign Installer.
  5. This Sign has been Designed with the Criteria as set forth in the IBC 2003 & IRC 2006. The Design Meets or Exceeds these Requirements for the Geographical Location in Which it is to be Erected.

Note: This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

**NOTE: All Dimensions and Field Conditions To Be Verified and Confirmed From Site Survey Prior To Release for Fabrication.**

2" x 2" Steel Tube Supports w/ 1/4" Thick Plate & 1/2" Ø Hardware To Suit Existing Canopy Conditions

6063 T6 Aluminum Letter Backs Welded To Sign Back Returns

Attach Face To Sign Back Returns With 1/2" x 1/2" Pan Head Screws

6063 Letter Faces With 1" Returns Welded To The Back Of The Logo Face

1/4" Thick x 2" x 3" Aluminum Angle Welded To Back & Bottom Returns Of Logo

3/8" Ø Hardware To Suit Existing Canopy Conditions

1/8" Thick Strip H Logo Neck Weld To Logo Back And Wrap Over Face

6061 T6 Aluminum Channel

Drill Hole As Required

**PHILADELPHIASIGN**  
170 West Spring Garden Street  
Philadelphia, PA 19104  
Phone: 215-625-1163  
Fax: 215-625-0163  
www.philadelphia-sign.com

**CUSTOMER:**  
**TARGET**

**JOB NUMBER:**  
**T3207**

**SIGN TYPE:**  
**Various**

**LOCATION:**  
**401 E. Illinois Street  
Chicago, IL 60611**

**DATE:**  
**04/23/2015**

**DRAWN BY:**  
**JTR**

**REVISION:**  
Number Date By  
1 07/28/2015 JTR

**SHEET:** 1 of 1  
**5 OF 14**

**DWG NUMBER:**  
**B60071**

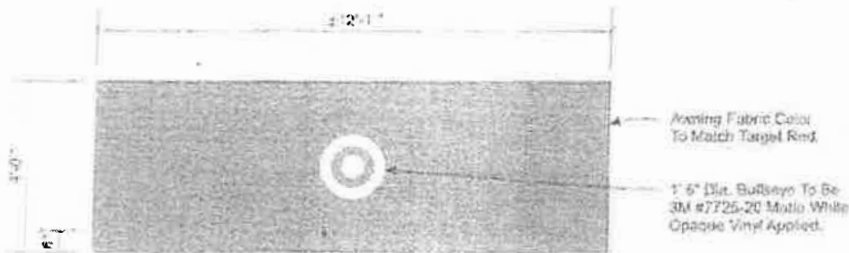
**ENGINEER SEAL:**

**MAX DESIGN WIND SPEED 60 MPH  
EXPOSURE C**

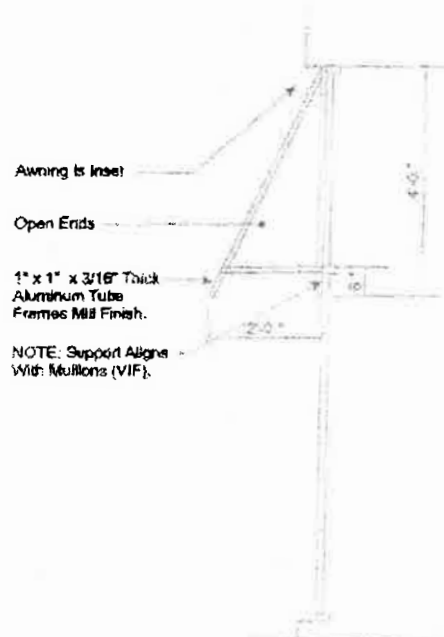
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ENGINEERING  
SHOP  
VINYL / LAYOUT  
ROUTING / KNIFE

SQUARE FOOTAGE: 48.33



**NORTH ELEVATION**  
Awning - 1" Dia. Bullseye  
(7) Required  
SCALE: 3/8" = 1' 0"



**SIDE VIEW**  
SCALE: 1/2" = 1' 0"

NOTE: All Dimensions And Finish Conditions To Be Verified And Confirmed From Site Survey Prior To Release For Fabrication.



PHILADELPHIA SIGN

207 West Spring Garden Street  
Philadelphia, New Jersey 08106

Phone: 215.625.1400  
Fax: 215.629.8343  
www.philadelphia-sign.com

CUSTOMER:

TARGET

JOB NUMBER:

T3207

SIGN TYPE:

Various

LOCATION:

435 E. Illinois Street  
Chicago, IL 60611

DATE:

04/23/2015

DRAWN BY:

JTR

REVISION:

Number	Date	By
0	01/21/2015	JTR

SHEET:

7 OF 14

DWG NUMBER:

B60071

ENGINEER SEAL:

MAX DESIGN WIND SPEED IN MPH  
EXPOSURE C

THIS IS AN ELECTRICAL SIGNAGE DRAWING. IT IS SUBMITTED FOR YOUR REVIEW AND IS CONSIDERED A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. UNLESS OTHERWISE NOTED, ALL DIMENSIONS, MATERIALS, AND FINISHES ARE TO BE AS SHOWN, UNLESS OTHERWISE SPECIFIED, OR OTHERWISE IN ANY CODES, ORDINANCES, OR REGULATIONS IN ANY JURISDICTION.

PERMITS  
ONLY

Note: This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding at the sign.



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

April 5, 2016

William W. Tippens  
RMW Streeterville LLC  
350 W. Hubbard St., Suite 300  
Chicago, IL 60654

**Re: Administrative Relief request for Residential Business Planned Development No. 368,  
Subarea F, Parcel 21B, Proposed Park between 451 E. Grand Ave. and 505 N. McClurg Ct.**

Dear Mr. Tippens:


Please be advised that your request for a minor change to Residential Business Planned Development No. 368 ("PD 368"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 18 of PD 368.

RMW Streeterville owns Parcel's 21B and 21C within Subarea F of PD 368. They are seeking administrative relief to modify the proposed 70,000 square foot park to be located on Parcel 21B, between 451 E Grand Ave. (Parcel 21C) and 505 N. McClurg Ct. (Parcel 21A), and as required pursuant to Statement No. 14. Specifically, the dog run has been enlarged and the children's play area within the pocket park has been enlarged. The attached revised drawings, dated March 23, 2016, shall be inserted into the main file: Site Plan, Landscape Plan, Pocket Park Landscape Plan, Landscape Sections, and Landscape Plant List.

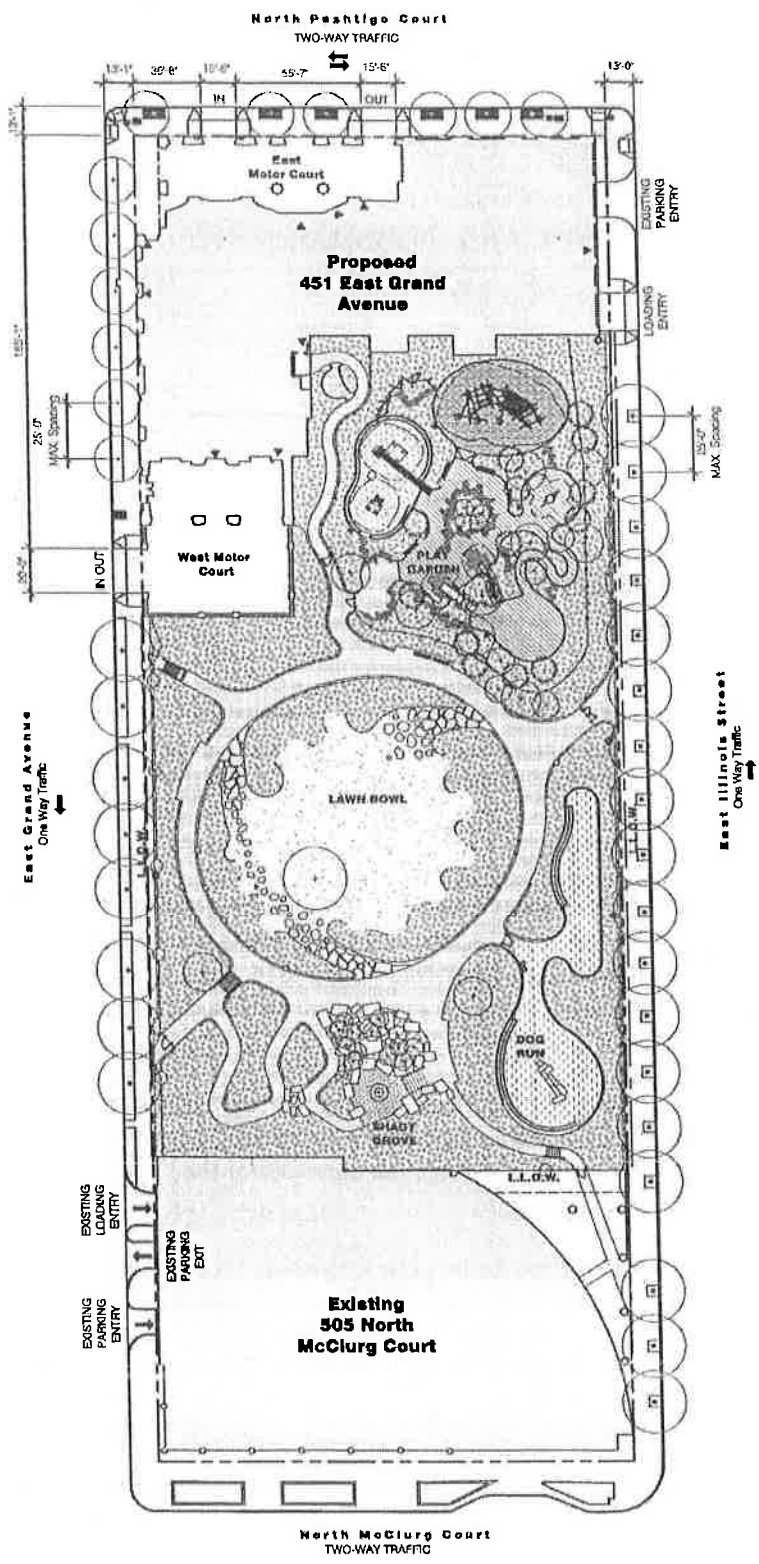
With regard to your request, the Department of Planning and Development has determined that the park revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential-Business Planned Development No. 368, as amended, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

C: Mike Marmo, Erik Glass, Ron Daye, Main file



Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Request for Minor Change, March 23, 2016

**SITE PLAN**  
 SCALE: 1"=80'-0"

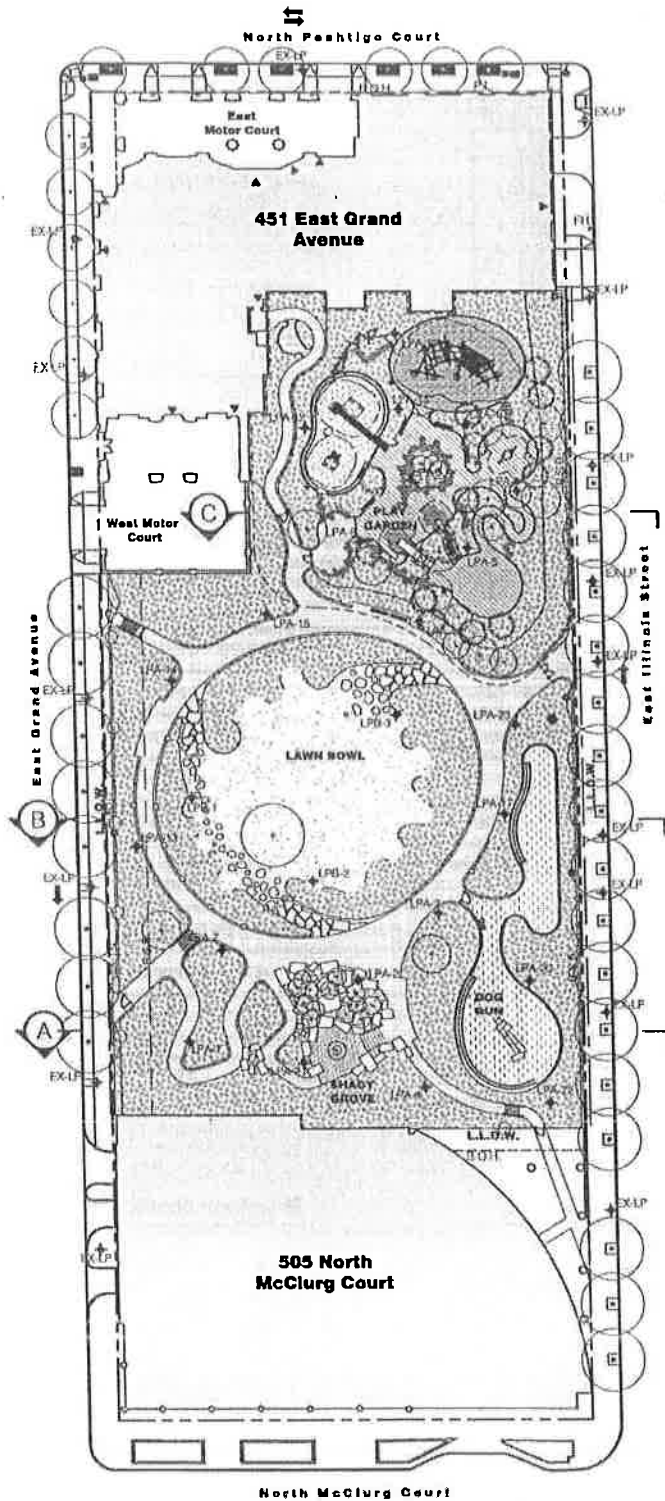


## Landscape Plan Legend

- L.O.W. Limit of Work
- P.L. Property Line
- B.O.H. Building Overhang
- P.P.B. Pocket Park Boundary
- Park Fence and Gate
- Chain Link Fence and Gate
- Plant Bed Rail, Type A
- Plant Bed Rail, Type B
- Play Rope Fence
- Building Entry
- EX-LP Existing Light Pole
- LPA Light Pole, Type A
- LPB Light Pole, Type B
- Metal Bench
- CIP Concrete Seat Wall
- Timber Piles
- Exposed Aggregate Concrete Pavement
- PIP Play Surface
- Riverstone Pavement
- Sand Play Surface
- Mulch Play Surface
- Play Tile Surface
- Plant Bed
- Existing Street Tree
- Proposed Deciduous Tree (48 Trees)
- Proposed Evergreen Tree (13 Trees)

## Landscape Information

Size: 70,220 SF  
Landscape Area: 35,900 SF (51%)



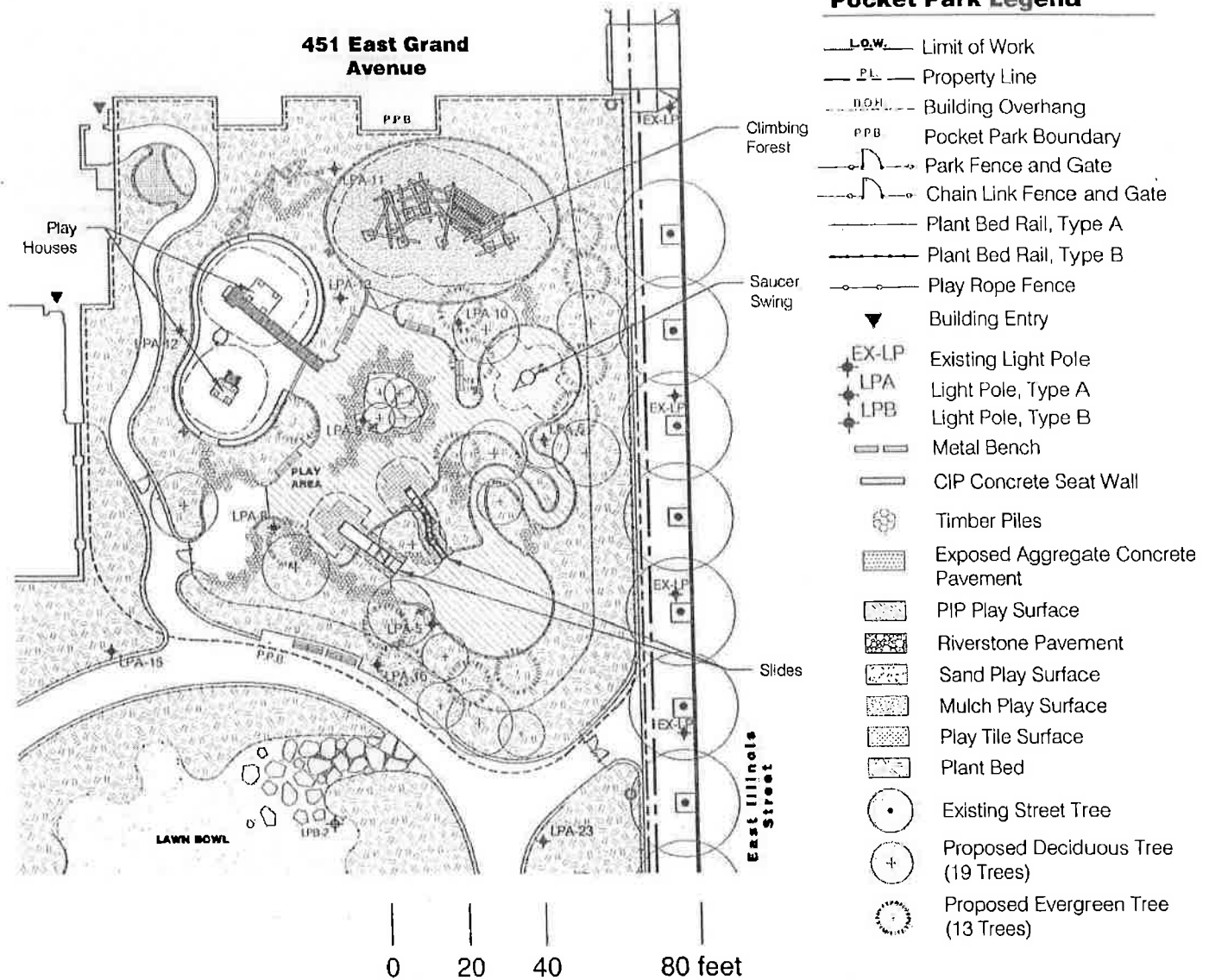
Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Request for Minor Change, March 23, 2016

# LANDSCAPE PLAN

SCALE: 1"=80'-0"



## Pocket Park Legend



## Design Description

Containing a series of interconnected play areas for children of all ages and their families, the pocket park along E. Illinois Street will be an amenity for residents of the Streeterville neighborhood and for visitors. Conventional play equipment including slides and a swing will be coupled with opportunities for sensory play that engages children with the nature that surrounds the play area. Some areas will have topography to encourage different ways to play, while seating will provide a place for all to stop and rest. Planting is integrated to provide seasonal interest and shade.

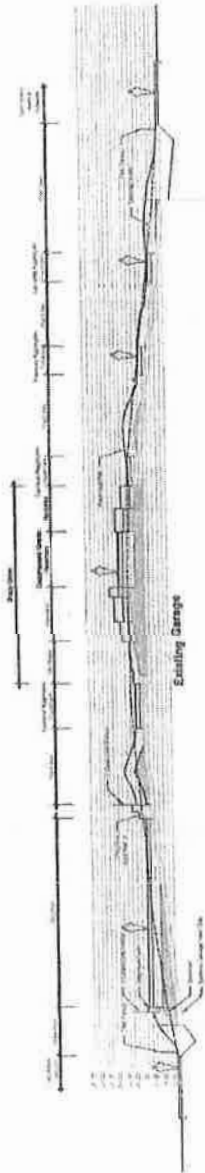
## Pocket Park Information

Size: 20,608 SF  
 Landscape Area: 11,520 SF (56%)  
 Tree Quantity: 32  
 Seating: 155 LF  
 Perimeter: 610 LF  
 Street Frontage: 154 LF  
 (25% of Perimeter)  
 Length: 160 LF  
 Width: 140 LF

Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Request for Minor Change, March 23, 2016

**POCKET PARK  
 LANDSCAPE PLAN**  
 SCALE: 1"=40'-0"

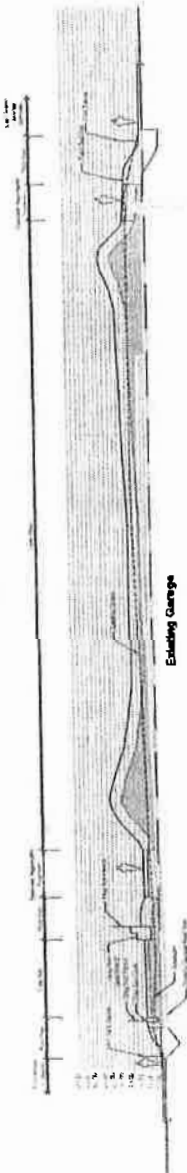




**Section**

**A**

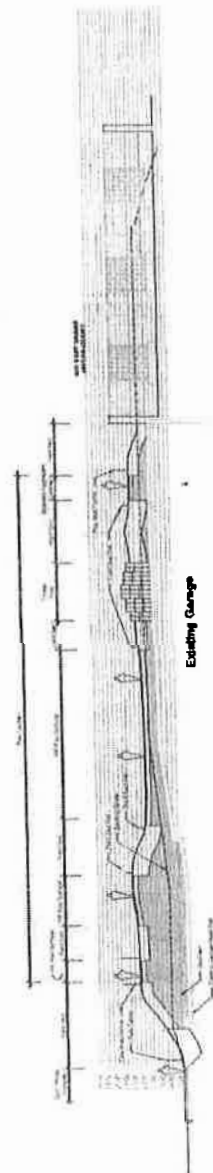
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**Section**

**B**

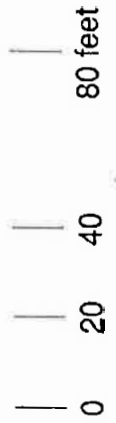
Scale: 1"=40'-0"



**Section**

**C**

Scale: 1"=40'-0"



Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Request for Minor Change, March 23, 2016

**LANDSCAPE  
 SECTIONS**  
 SCALE: 1"=40'-0"

## DECIDUOUS TREES

---

BOTANICAL NAME	COMMON NAME
<i>Carpinus caroliniana</i>	American Hornbeam
<i>Catalpa speciosa</i>	Northern Catalpa
<i>Celtis occidentalis</i>	Common Hackberry
<i>Cercis canadensis</i>	Eastern Redbud
<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn
<i>Gleditsia triacanthos</i> var. <i>inermis</i>	Thornless Honey Locust
<i>Larix decidua</i>	European Larch
<i>Malus x zumi</i>	Redbud Crabapple
<i>Ostrya virginiana</i>	Eastern Hophornbeam

## EVERGREEN TREES

---

BOTANICAL NAME	COMMON NAME
<i>Picea abies</i> 'Pendula'	Weeping Norway Spruce
<i>Xanthocyparis nootkatensis</i> 'Pendula'	Weeping Alaska Cedar



DEPARTMENT OF PLANNING AND DEVELOPMENT

November 20, 2015

CITY OF CHICAGO

Patrick Wartan  
Axia Law  
1 N. LaSalle Street  
Suite 1450  
Chicago, IL 60602

**Re: Advisory Opinion for Residential Business Planned Development No. 368  
Subarea D, Proposed Winter's Jazz Club at 445 E. Illinois Street**

Dear Mr. Wartan:


In response to your recent request, please be advised that the property located at 445 E. Illinois St. is zoned Residential Business Planned Development Number 368 ("PD 368"), Subarea D. Pursuant to Statement No. 5 of the Planned Development, the uses permitted shall be in general conformity with the permitted and special uses of the DX-12, Downtown Mixed-Use District.

You are seeking zoning confirmation that the establishment of a jazz club with live musical performances and liquor consumption on the premises ("Winter's Jazz Club"), to be located at 445 E. Illinois St., is in compliance with the Zoning Code, or if applicable, what steps must be taken to resolve any potential zoning issues. The jazz club will include an indoor and outdoor space and they will be seeking to apply for a tavern license, outdoor patio license and public place of amusement license (indoor).

Eating and drinking establishments, including taverns, are a permitted use in the DX, Downtown Mixed-Use District. Pursuant to Section 17-17-0104-K of the Zoning Ordinance, a tavern is defined as an establishment that is primarily engaged in serving alcoholic liquor for consumption on the premises and in which the serving of prepared food, live entertainment and dancing are permitted. An outdoor patio is also classified as an eating and drinking establishment

Therefore, the proposed Winter's Jazz Club is a permitted use at 445 E. Illinois St., within Subarea D of PD 368. If you have any questions, or need additional information, please contact Teresa McLaughlin at (312) 744-3509.

Sincerely,

  
Patricia A. Scudiero  
Zoning Administrator

PAS:HG:tm

C: Vicki Lozano, Janice Hill, Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

November 16, 2015

Edward J. Kus  
Taft Stettinius & Hollister LLP  
111 East Wacker Drive  
Suite 2800  
Chicago, Illinois 60602

RE: Site Plan Approval for Residential-Business Planned Development No. 368, as amended – Subarea A

Location: 401 North Michigan Avenue

Dear Mr. Kus:


We have reviewed the plans submitted on behalf of Zeller-401 Property L.L.C., for the construction of a new glass-enclosed retail structure with descending stairs that will provide access from the southern portion of Pioneer Court, a privately-owned plaza, to existing space located below the plaza (concourse level). The proposed retail space will replace existing food service and commercial space that currently occupies the concourse level. As depicted on the drawings, the glass-enclosed entrance extends to the Riverwalk level. The submission includes the following drawings prepared by Foster and Partners dated November 3, 2015:

- General Site Plan;
- Existing Site Plan at the Plaza Level;
- Existing Site Plan at the Concourse Level;
- Proposed Site Plan at the Plaza Level;
- Proposed Site Plan at the Concourse Level;
- Proposed Tree Planting down to the Riverwalk;
- Proposed Cross Section;
- Perspective View from the Plaza Level;
- Perspective View from the Riverwalk Level;
- Perspective – “Bird’s-eye-view;”
- Existing Public Space;
- Removed/Added Public Space; and
- New Public Space.

The materials are submitted in accordance with Statement No. 16 of Residential-Business Planned Development No. 368, as amended.

Upon review of the materials submitted, the Department of Planning and Development has determined that these plans are consistent with, and satisfy, the requirements of the Plan of Development. Accordingly, the Site Plan submittal for 401 North Michigan Avenue, for the construction of a new glass-enclosed entrance located on the southern portion of Pioneer Court with descending stairs to the Riverwalk Level, is hereby approved as conforming to the provisions of Residential-Business Planned Development No. 368, as amended. The drawings by Foster and Partners dated November 3, 2015 are hereby made a part of this approval.

Sincerely,



Patricia A. Scudiero  
Zoning Administrator

cc: Heather Gleason  
Michael Marmo  
Planned Development File

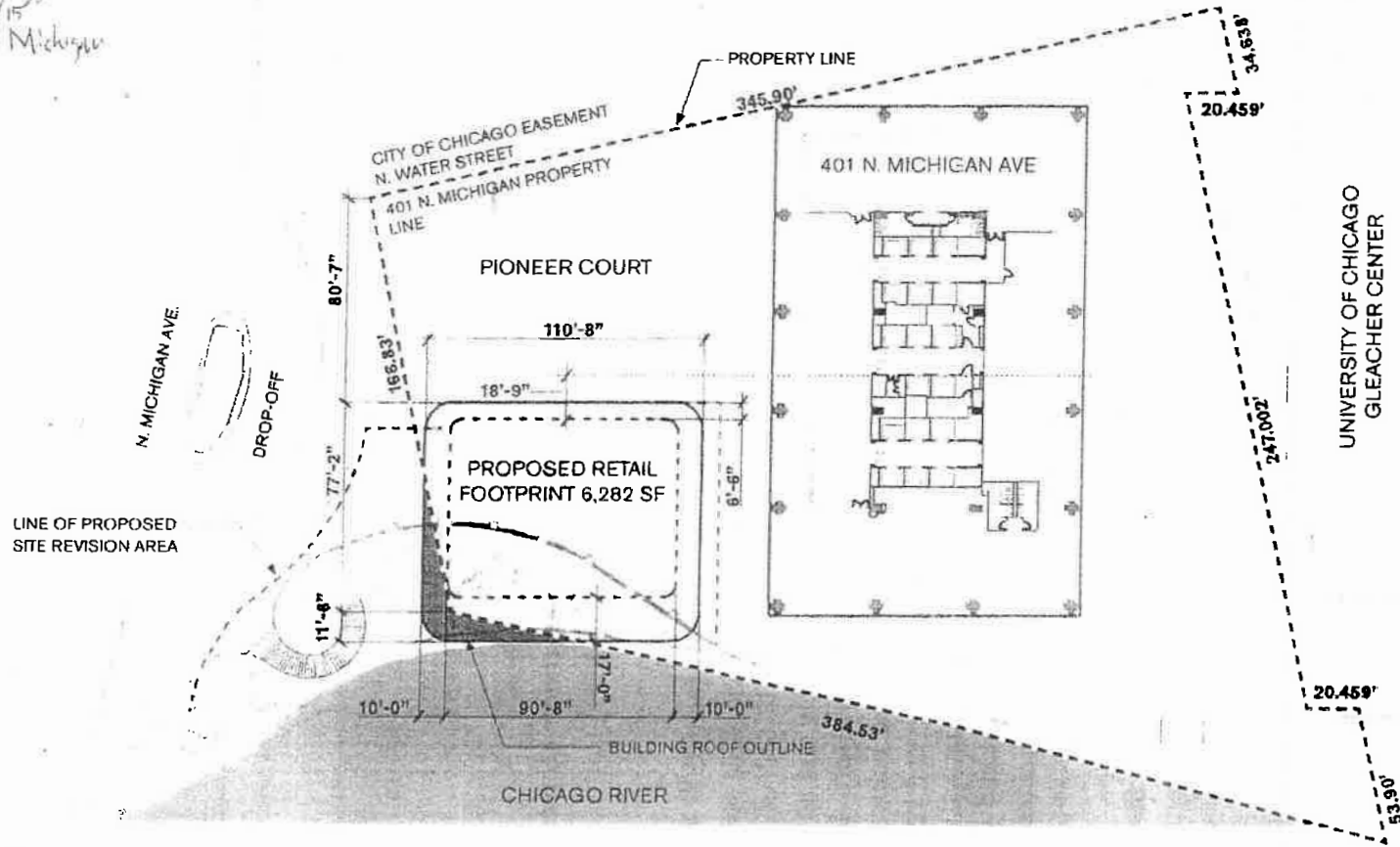
# Site Plan

*Willis*  
11/3/15  
401 N Michigan

TRIBUNE BUILDING



PIONEER COURT



Zeller Realty Group  
401 North Michigan Avenue, Chicago

November 3, 2015

Foster and Partners  
100 W. Lake Street, New York

Edward J. Kus

Direct: 312.836.4080  
Facsimile: 312.275.7586  
E-mail: ekus@taftlaw.com

111 East Wacker, Suite 2800  
Chicago, Illinois 60601  
Tel 312.527.4000 / Fax 312.527.4011  
www.taftlaw.com

November 5, 2015

Patricia A. Scudiero  
Zoning Administrator  
Department of Planning and Development  
121 North LaSalle Street  
Room 905, City Hall  
Chicago, Illinois 60602

RE: Request for Site Plan Approval at 401 North Michigan Avenue  
Residential-Business Planned Development No. 368, as amended -- Subarea A

Dear Ms. Scudiero:

Our firm represents Zeller Realty Group, the owner of the property located at 401 North Michigan Avenue (the "Property"). The Property is governed by the provisions of Residential-Business Planned Development No. 368, as amended, and is located within Subarea A ("PD 368"). Pursuant to Statement 16 of PD 368, we write to request Site Plan review and approval for a new glass-enclosed retail entrance structure with descending stairs that will provide access from the southern portion of the privately-owned plaza to existing space located below the plaza (concourse level). The proposed retail space will replace existing food service and retail space which currently occupies the area below the plaza. There will be a reconfigured transition between the plaza and Riverwalk levels with wide-terraced stairways on the east and west sides of the retail store. As depicted on the enclosed drawings, the glass entrance extends to the Riverwalk level.

This Site Plan review submittal includes all relevant information describing the proposed improvements. This includes exhibits which depict the improvements including data to be considered in determining compliance. Enclosed exhibits include the following:

- General Site Plan;
- Existing Site Plan at the Plaza Level;
- Existing Site Plan at the Concourse Level;
- Proposed Site Plan at the Plaza Level;
- Proposed Site Plan at the Concourse Level;
- Proposed Tree Planting down to the Riverwalk;
- Proposed Cross Section;

- Perspective View from the Plaza Level;
- Perspective View from the Riverwalk Level;
- Perspective – “Bird’s-eye view;”
- Existing Public Space;
- Removed/Added Public Space; and
- New Public Space.

### Technical Data

#### Floor Area Maximums

Pursuant to the definitions contained in the Chicago Zoning Ordinance (“CZO”), floor area of any floor located below grade or partially below-grade when the floor-to-ceiling height is more than one-half below grade, is excluded from FAR calculations (CZO, §17-17-0305-A). PD 368 expressly provides in Statement 6 that “in Subarea A, grade is herein established at plus thirty-five feet (+35) feet Chicago City Datum, plus or minus six ( $\pm 6$ ) feet in respect of design conditions (Plaza Level).” The majority of the floor area for the proposed retail tenant currently exists and is located below grade. As depicted on the cross-section exhibit, the height of the entrance structure from the concourse level to the underside of the roof is 32'-1½". The height of the structure above grade is 14' to the underside of the roof. Thus, more than one-half of the floor-to-ceiling height is below-grade and that floor area is excluded from the FAR calculations.

A portion of the glass entrance is located at the Plaza level, along with stairs and a small landing as depicted on the “Proposed Site Plan – Plaza Level” exhibit. The total square footage for this area is approximately 2,127 square feet, a *de minimis* amount of floor area. There is more than sufficient floor area available in Subarea A. PD 368 provides a maximum FAR of 13.81 for Subarea A. Based on a net site area of 380,796 square feet, Subarea A is allowed a maximum of 5,258,792.70 square feet of buildable floor area. Based on an assessment obtained from the Department of Planning and Development (“DPD”), approximately 3,624,736.50 square feet have been accounted for, thus leaving approximately 1,634,056.20 square feet of floor area remaining in Subarea A.

#### Use

PD 368 provides that uses below the Plaza Level shall be in general conformity with the permitted and special uses of the DX-12 Downtown Mixed-Use District, or the DX-16 District if within 200' of Michigan Avenue. The DX districts allow “general retail sales” as a permitted use, thus the proposed retail use of the below-grade space is permitted. There is no retail use proposed at the Plaza Level.

### **Parking and Loading**

PD 368 requires one parking space for each 5,000 square feet of business uses. PD 368 assumes an allocation of 760,241 square feet of floor area to the Property. Based upon this allocation, 152 parking spaces are required for the Property. No additional parking is required for the proposed retail entrance structure as it does not increase the floor area by more than 5,000 square feet. The Property has 210 parking spaces located below-grade.

PD 368 imposes an off-street loading requirement in accord with the DX-12 requirements. Minimum off-street loading ratios in the DX-12 district are as follows: one loading berth for retail uses up to 24,999 square feet; and two loading berths for retail uses of between 25,000 and 49,999 square feet. The Property currently has approximately 10,388 square feet of retail space at grade in the 401 Tower. The concourse level space for the proposed tenant contains a total of 19,253 square feet. The concourse level space includes a 7,500 square foot sales floor; back-of-house space; and a dedicated mechanical room. Even if the entire concourse level was counted as retail, the total square footage is 29,641 square feet, thus requiring two loading berths. Commercial uses (including office use) require one loading berth per 500,000 square feet or portion thereof. The Property contains over 760,000 square feet, thus requiring two loading berths. The Property as constructed and completed in approximately 1965, is served by six loading berths located below-grade. Accordingly, there is no requirement for an additional loading berth.

### **Retail Area Maximums**

PD 368 allows a maximum of 540,000 square feet of retail space among all of the properties in Subarea A, and assumes an allocation of 410,000 square feet to Parcels 4 and 5 and the residual 130,000 square feet to the remaining parcels, including the Property. PD 368 provides no direction as to how the 130,000 square feet of retail space is allocated to the individual parcels, and we are not aware of any private agreements between the parties. Moreover, based upon public records, Parcels 4 and 5 are well under their allocation of 410,000 square feet. The Property currently has approximately 10,388 square feet of retail space at grade in the 401 Tower and the proposed retail space located below-grade is 7,500 square feet as indicated on the enclosed "Proposed Site Plan - Concourse Level." Thus, this additional retail space does not exceed the maximum permitted in Subarea A. The remaining concourse level space of approximately 11,753 square feet will be utilized for back-of-house and a dedicated mechanical room for the proposed tenant.

**Additional Information**

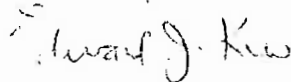
The proposed plan and configuration of the glass-enclosed entrance structure will provide a new transition from the Plaza Level to the Riverwalk. There will be an increase of 60% more public area at the Riverwalk than currently exists. There is currently 5,200 square feet of public space and 1,100 square feet will be removed. There will be 4,300 square feet of public space added, thus producing 8,400 square feet of public space. A minimum 10' Riverwalk setback will be maintained. There will be new publicly accessible cascading stairs and seating areas at either side of the glass-enclosed structure connecting Michigan Avenue and the Chicago River, thus complementing the City's revitalization efforts of the Chicago River. There will also be improvements to the Michigan Avenue sidewalk area and to the Riverwalk Level on both the publicly-owned and 401-owned property. The improvements on the publicly-owned property are being coordinated with CDOT.

All of the improvements described above are depicted on the enclosed drawings and site plans. We suggest to you that this proposal conforms to PD 368 and is compatible with the character of the proposed improvements within PD 368. Accordingly, we request approval of the new glass-enclosed entrance located on the south portion of the Plaza Level with descending stairs to the Riverwalk Level.

Please feel free to contact the undersigned if you have any questions or if you require additional information.

Very truly yours,

TAFT STETTINIUS & HOLLISTER LLP

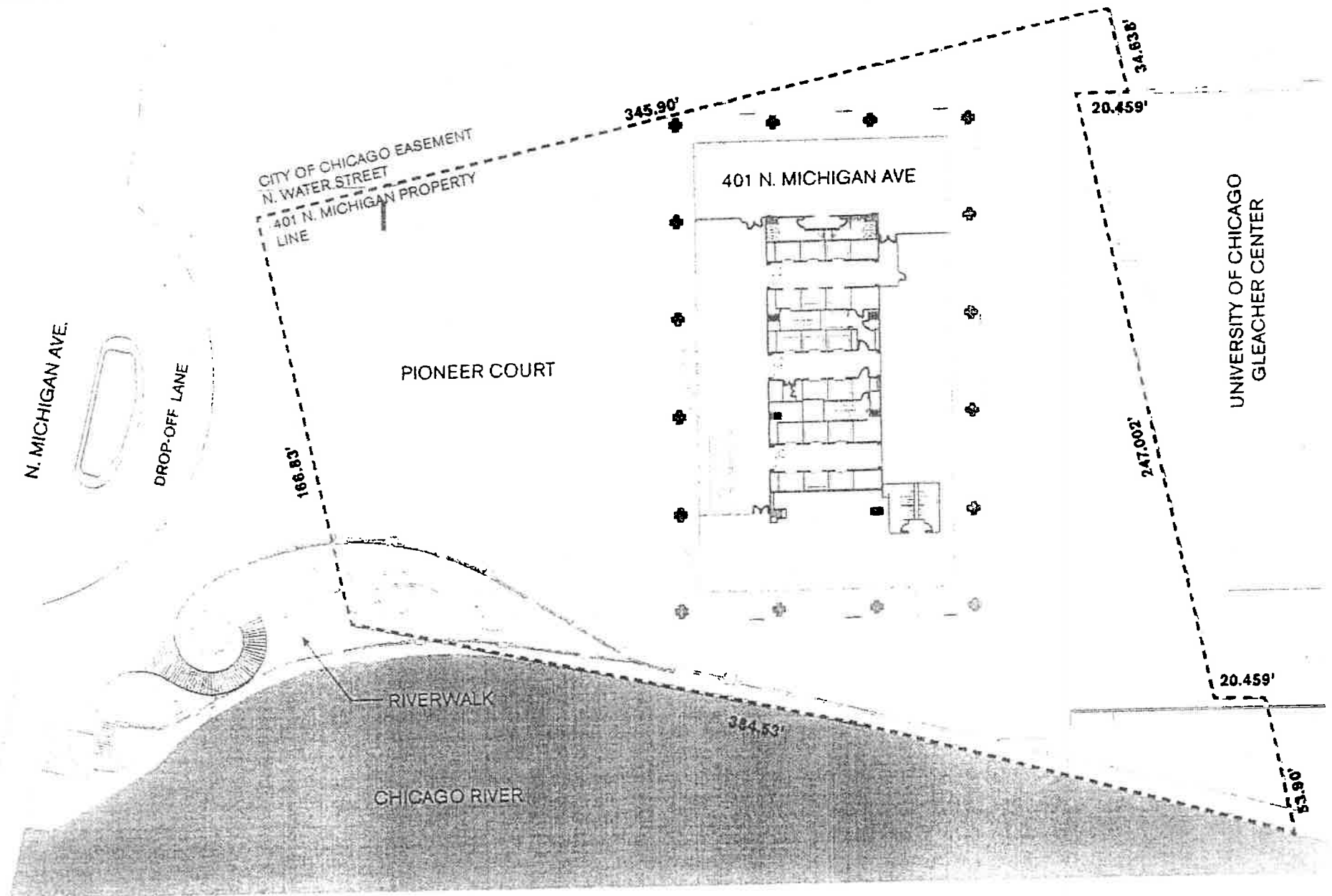


Edward J. Kus

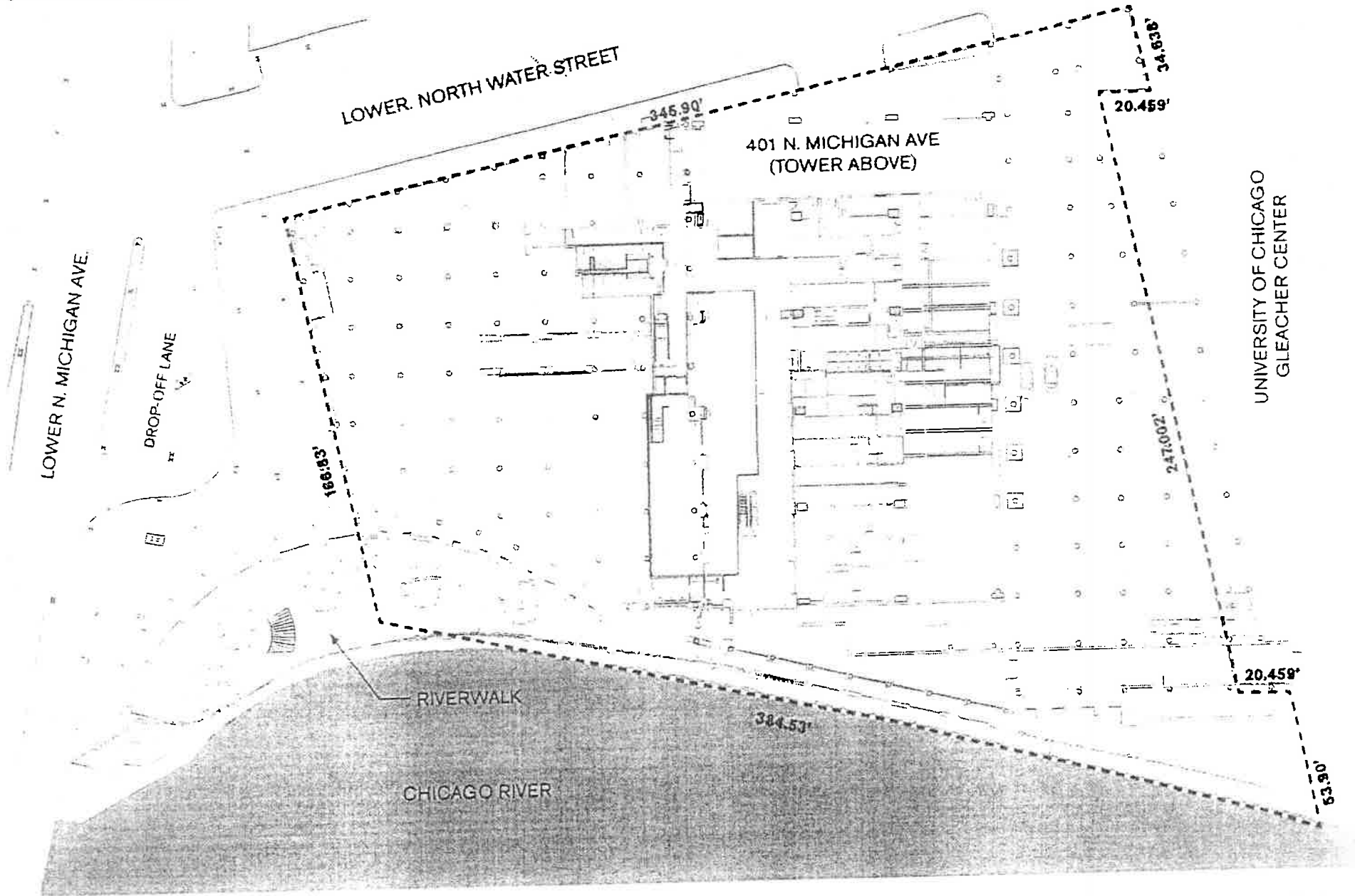
EJK/mmm  
13687044\_1.docx  
Enclosures

cc: Commissioner David Reifman  
Jan Goldsmith  
Peter Scales  
Ted Novak


# Existing Site Plan Plaza Level

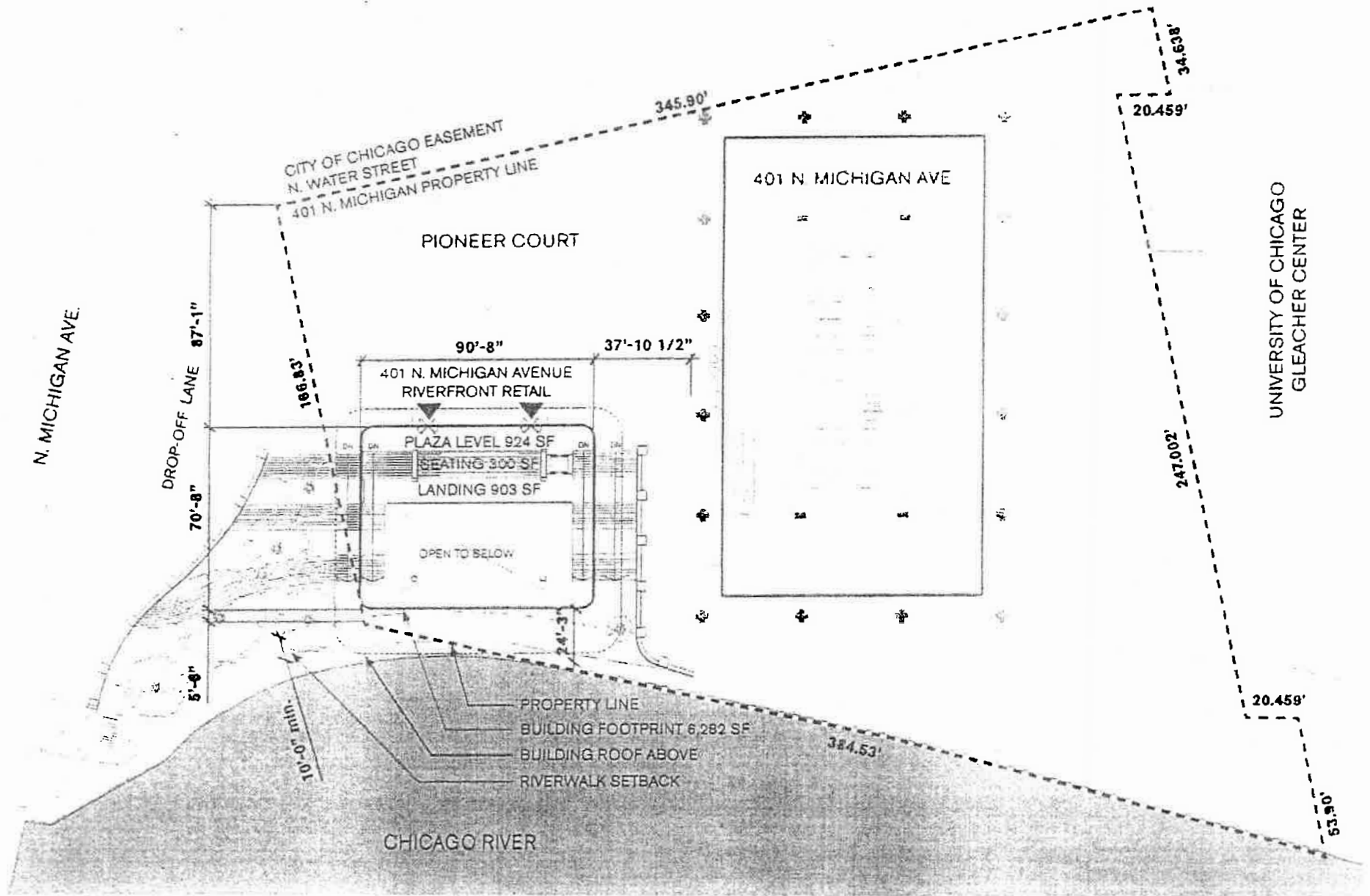


# Existing Site Plan Concourse Level

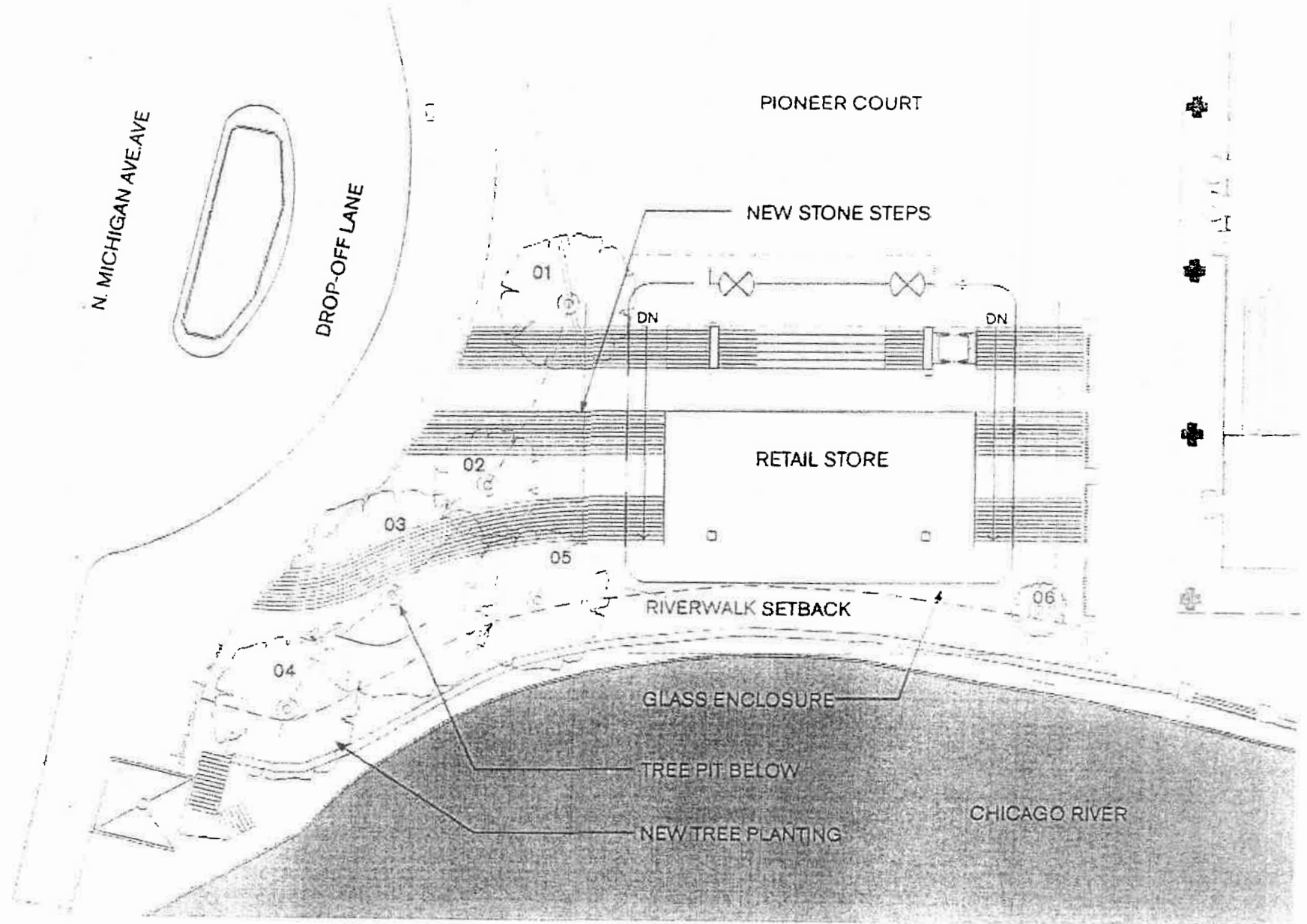


**Proposed Site Plan**  
Plaza Level

-  NEW ENTRANCE
-  NEW OPEN PUBLIC SPACE

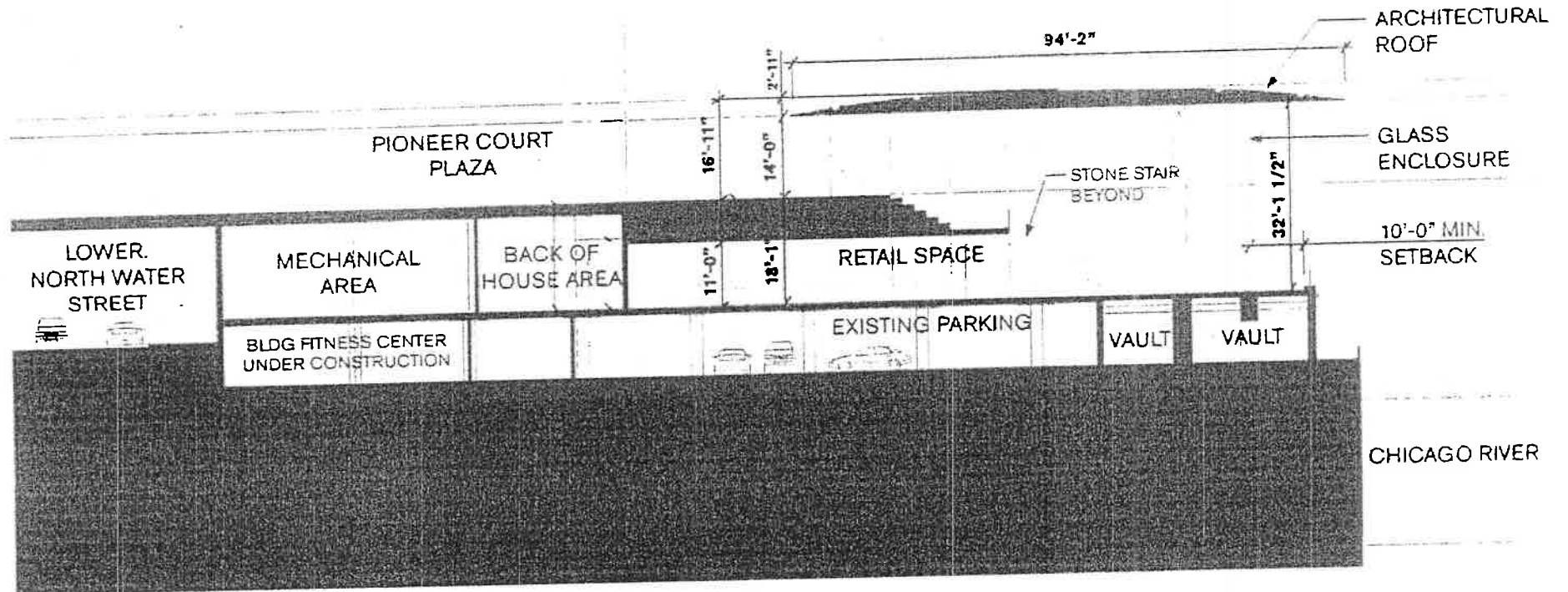


# Proposed Tree Planting Plaza Down to Riverwalk



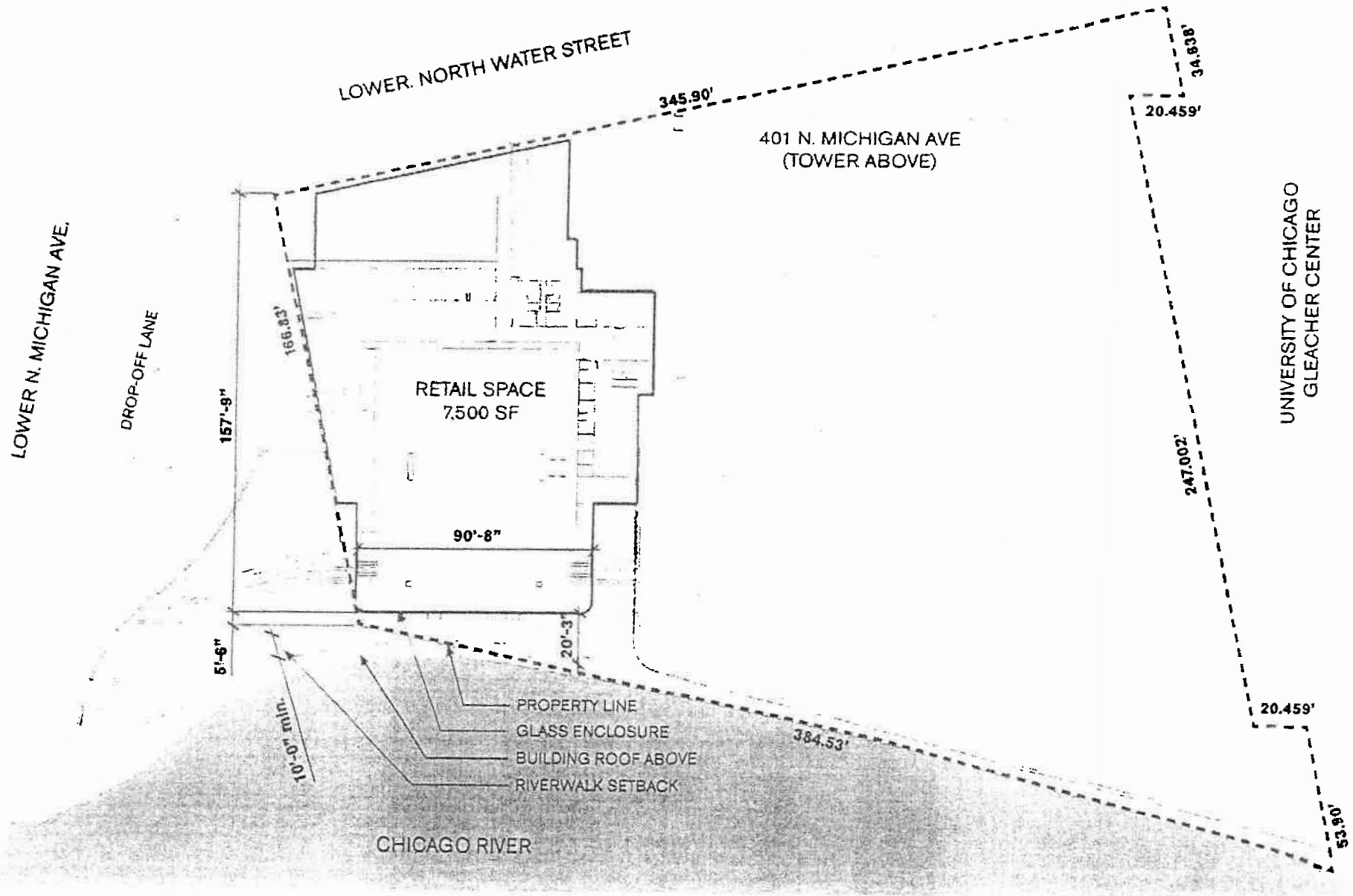
# Proposed Section Cross Section

401 N. MICHIGAN AVENUE BEYOND

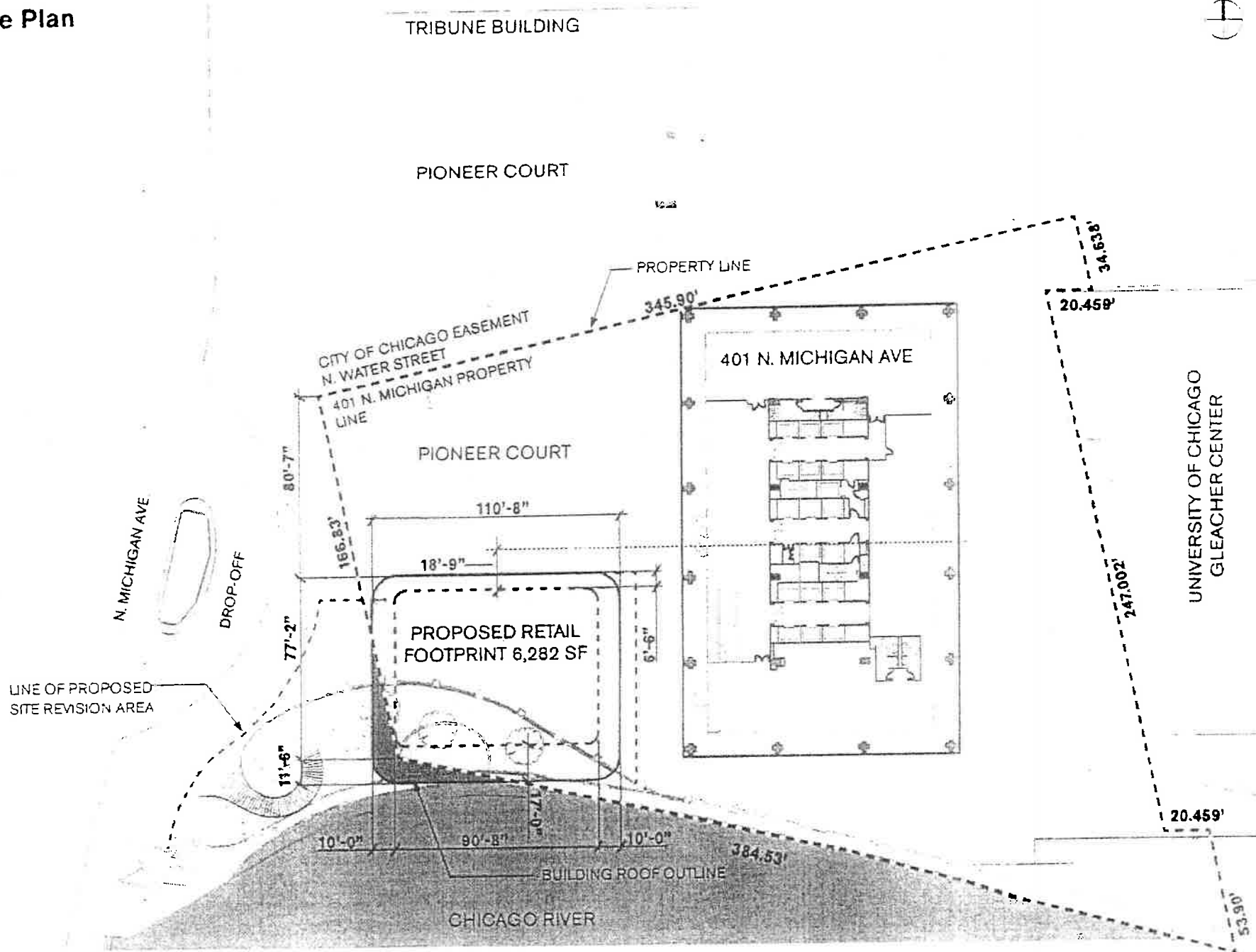


**Proposed Site Plan**  
Concourse Level

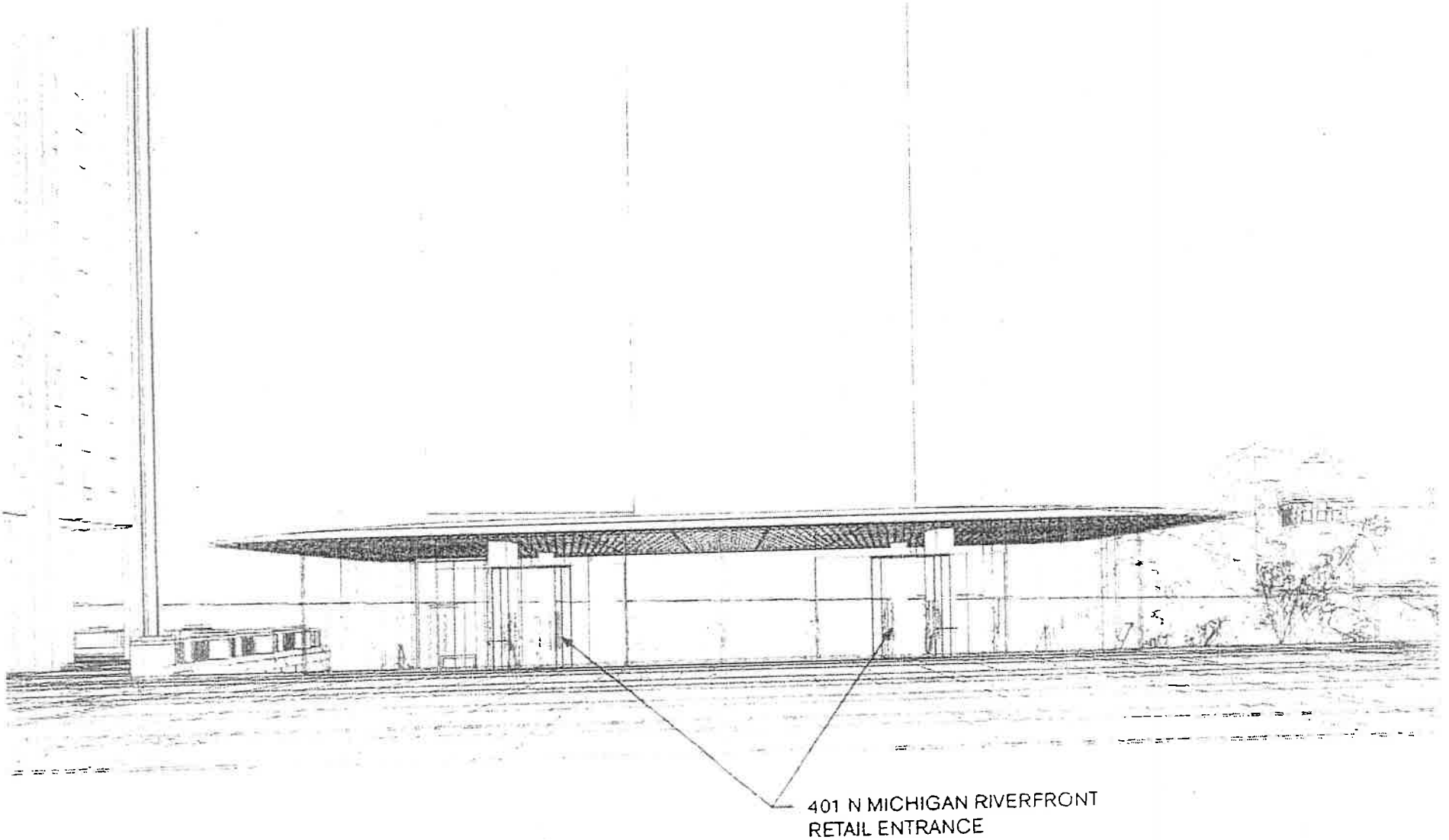
□ NEW OPEN PUBLIC SPACE



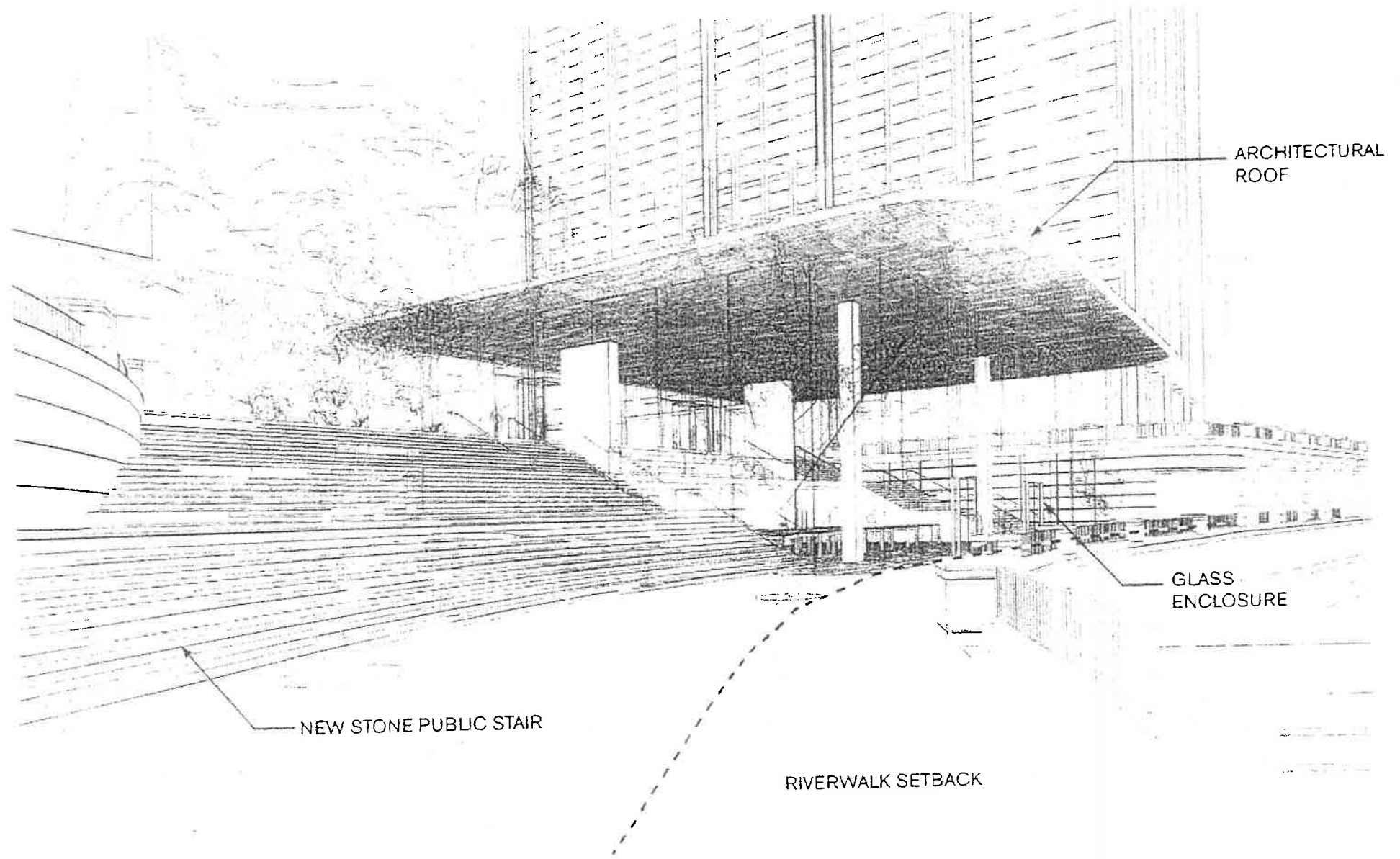
# Site Plan



**Perspective View**  
View From Plaza



**Perspective View**  
View From Riverwalk



ARCHITECTURAL  
ROOF

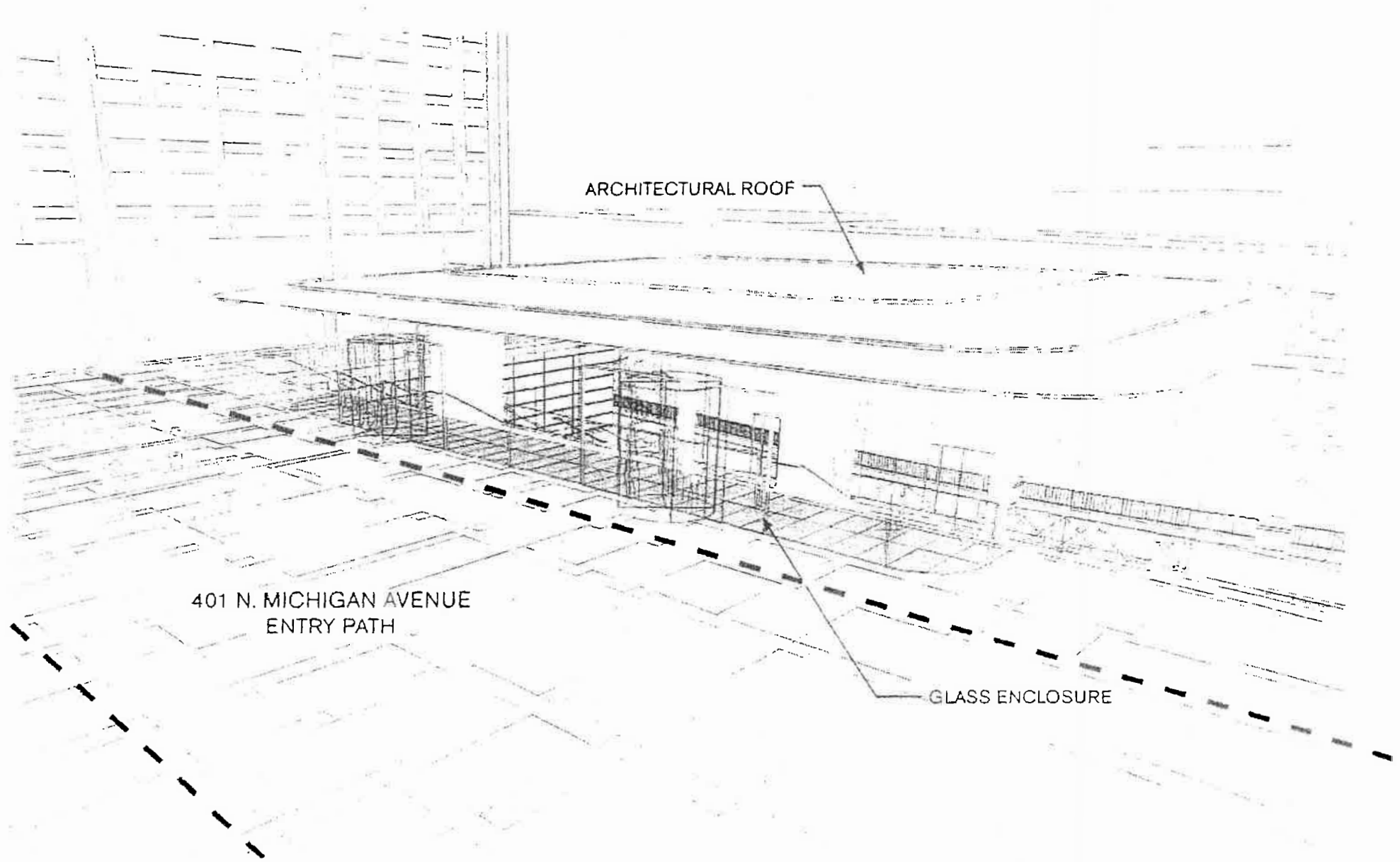
GLASS  
ENCLOSURE

NEW STONE PUBLIC STAIR

RIVERWALK SETBACK

# Perspective View


Bird's Eye View



# Riverwalk Area Diagram

Existing Public Space



 EXISTING  
PUBLIC SPACE: 5,200 SF

LOWER N. MICHIGAN AVE.

DROP-OFF LANE

401 N. MICHIGAN AVE  
TOWER ABOVE

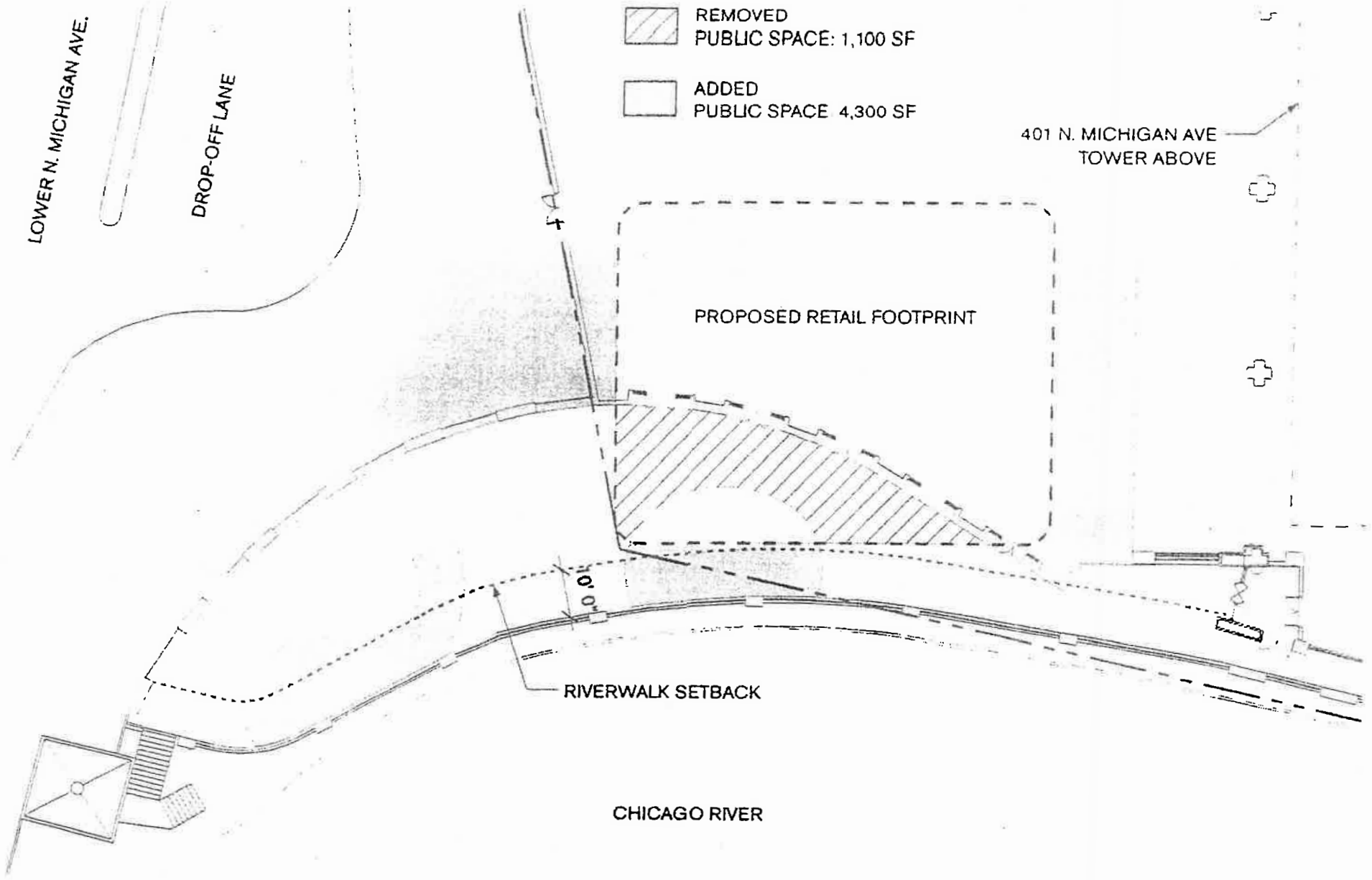
RIVERWALK SETBACK

CHICAGO RIVER

6'-6"  
12'-1"  
5'-8"

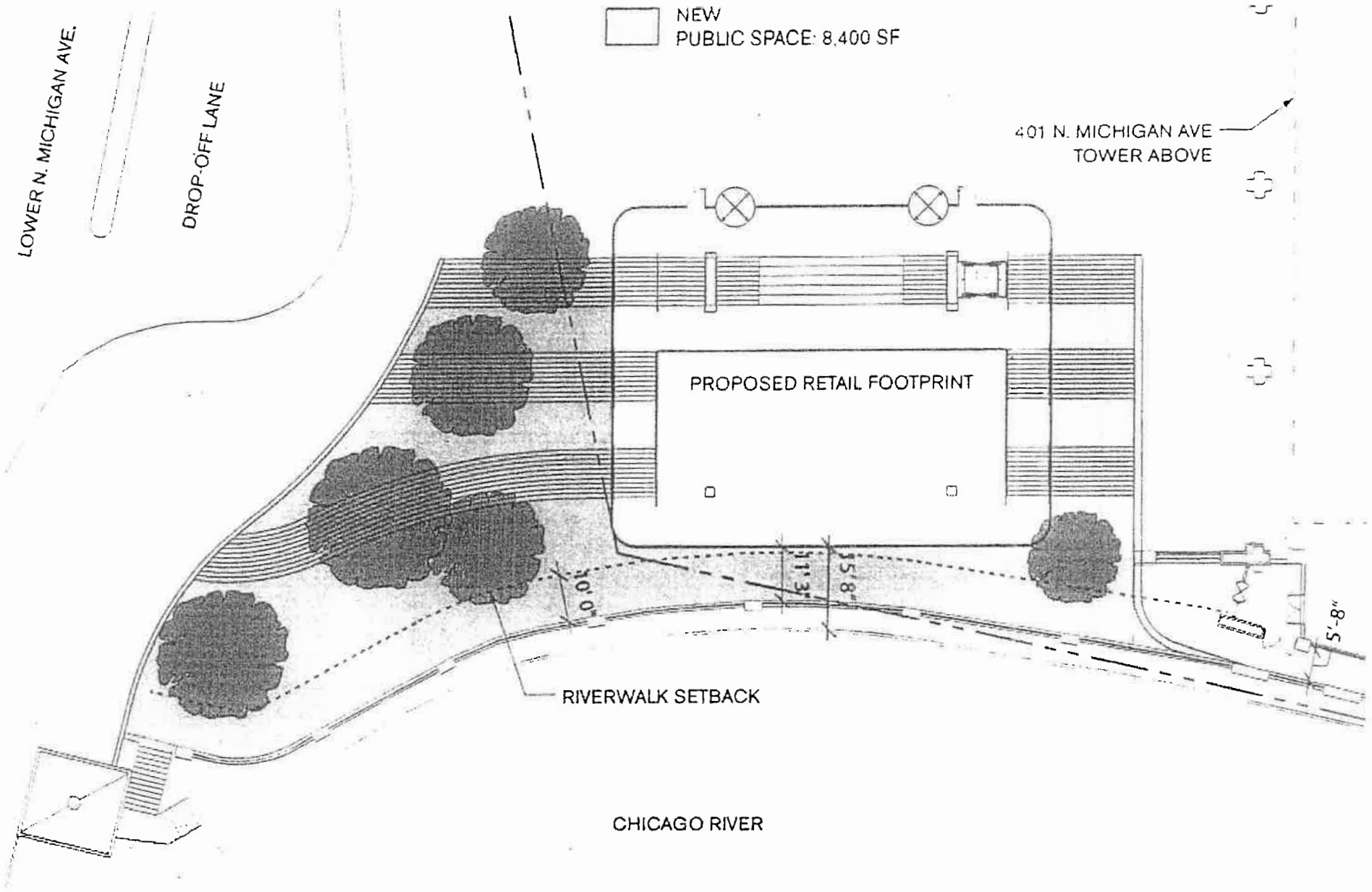
# Riverwalk Area Diagram

Removed / Added Public Space



# Riverwalk Area Diagram

New Public Space

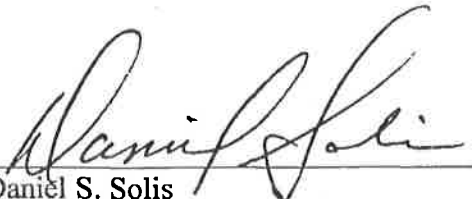


CORRECTION OF THE OFFICIAL  
JOURNAL OF PROCEEDINGS  
(Residential Business Planned Development No. 368)

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:**

I hereby move to correct the Official Journal of Proceedings of the City Council of the City of Chicago at the regular meeting held on Wednesday, October 28, 2015, as follows:

Pages 12810 through 12879 shall be replaced in their entirety with the attached.



Daniel S. Solis

Chairman, Committee on Zoning

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHICAGO:

**SECTION 1:** That the Chicago Zoning Ordinance be amended by changing all the Residential Business Planned Development No. 368 symbols and indications as shown on Map No. 1-E in the area bounded by:

A line 150 feet east of and parallel to North St. Clair Street; East Grand Avenue; North Lake Shore Drive; the center line of Ogden Slip to a point 439.74 feet east of North Lake Shore Drive, the center line of the Turning Basin; the north bank of the Chicago River and the line thereof extended eastward where said bank does not exist; North Michigan Avenue; East North Water Street; North St. Clair Street (as now located); East Illinois Street; North St. Clair Street; the alley next south of East Grand Avenue;

to the designation of a Residential-Business Planned Development No. 368, as amended, which is hereby established in the area above described, subject to the provisions at the Plan of Development herewith attached and made a part thereof and to no others.

**SECTION 2:** This ordinance shall be in force and effect from and after its passage and due publication.

Exhibit 1

Bulk Regulations and Data Table

(Page 1 of 5)

Sub Area	Net Site Area See Note (1) Sq. Ft. Acres	Maximum Retail Sq.Ft. (1000's)	Maximum Commercial Sq.Ft. (1000's)	Maximum Hotel Rooms	Maximum Dwelling Units	Maximum F.A.R.
A	<u>380,796</u> 8.74	540 <i>See Note (5)</i>	5,259	1,800	Permitted <i>See Notes (2 &amp; 3)</i>	13.81 <i>See Note (6)</i>
B <i>See Notes (11&amp;13)</i>	<u>183,449</u> 4.21	40	2,482 <i>See Note (8)</i>	1,606 <i>See Note (8)</i>	842 <i>See Note (8)</i>	13.53 <i>See Note (7)</i>
C	<u>122,303</u> 2.81	140	850	540	630	12.72
D	<u>361,234</u> 8.29	170	500	0	2,350	8.60
E	<u>346,038</u> 7.94	110 <i>See Note (9)</i>	5 <i>See Note (4)</i>	0	1,200	6.83
E.1	<u>232,841</u> 5.34	0	5 <i>See Note (4)</i>	Not Permitted	Not Permitted	0.02
E.2	<u>18,191.63</u> 0.42	0	0	0	0	0
E.3	<u>95,005</u> 2.18	110 <i>See Note (9)</i>	0	0	1,200	25.000 <i>See Note (10)</i>
F <i>See Note (12)</i>	<u>167,084</u> 3.83 <i>See Note (12)</i>	150	0	0	1,118 <i>See Note (12)</i>	11.57 <i>See Note (12)</i>
<b>TOTAL</b>	<b>1,560,904</b> <b>35.83</b>	<b>1,040</b>	<b>9,096</b>	<b>3,946</b> <i>See Note (8)</i>	<b>6,140</b> <i>See Note (2)</i>	<b>10.84</b>

Gross Site Area = Net Site Area: 1,560,904 sq. ft. (35.83 acres) plus area in or proposed to be in public right of way: 940,843 sq. ft. (21.60 acres) plus area in or proposed to be in public parks or open space: 302,479 sq. ft. (6.94 acres) = 2,804,226 sq. ft. (64.38 acres).

<u>OFF STREET PARKING</u>	<u>MINIMUM</u>	<u>MAXIMUM</u>
BUSINESS USES	1:5,000 sq. ft.	As determined by DPD in consultation with CDOT
HOTEL USES	1:4 Rooms	
RESIDENTIAL USES	55% d. u.	
NON-ACCESSORY PARKING (allowed in Sub-area F only)	200 spaces	600 spaces
OFF STREET LOADING:		Per DX-12 requirements
MINIMUM PERIPHERAL SETBACKS		Sufficient to allow for street trees and pedestrian walkways (min. 12'-6" from building to curb face)
MINIMUM UPPER LEVEL SETBACKS		40' from Lake Shore Drive at level of Upper Lake Shore Drive

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Drive; 315-335 E. Illinois Street  
 464-478 N. New Street  
 Introduced: June 17, 2015  
 Plan Commission: October 15, 2015

Exhibit 1

**Bulk Regulations and Data Table**

(Page 2 of 5)

- Note (1): For the purpose of this Planned Development, Net Site Area" shall equal the entire land area (at Plaza Level where such is established, and otherwise at grade) within the boundaries of the planned development, less the area now dedicated or proposed to be dedicated to public use.
- Note (2): Dwelling units shall be permitted in Sub-Area A of this Planned Development subject to the provisions of the DX-16, Downtown Mixed-Use district classification. Any such units so built will not affect the total of 6,140 dwelling units permitted in Sub-Areas B, C, D, E and F. Dwelling units are permitted below the second floor in all sub-areas except Sub-Area E.
- Note (3): For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units. The permissible number of hotel rooms within the planned development shall not exceed 3,946 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses.
- Note (4): Although Sub-Area E.1 (DuSable Park) has been dedicated to public park uses, it is included in Net Site Area because a maximum of 5,000 square feet of park and recreation-related floor area may be constructed within its boundaries.
- Note (5): Assumes 410,000 sf allocated to development Parcels 4 and 5 and the remaining 130,000 sf allocated to remaining development parcels within Sub-Area A.
- Note (6): Assumes floor area allocated to existing buildings as follows: 401 North Michigan (760,241 sf), University of Chicago Gleacher Center (240,000 sf), NBC Tower (912,000 sf); and, to future development as follows: Parcel 1 (776,250 sf); Parcel 3 (970,000 sf) and Parcels 4/5 (1,600,000 sf)
- Note (7): Assumes floor area allocated to existing Sheraton Hotel (Parcels P6A and P6B) at 860,379 sf and to Parcels P7 and P7A at 847,290 sf. pursuant to June 6, 2012 amendment.
- Note (8): For purposes of exchange of uses, a hotel room shall be equal to 0.5 dwelling units. The number of dwelling units listed for Subarea B (842) includes 197 dwelling units converted from 394 hotel rooms. The permissible number of hotel rooms within the planned development shall not exceed 3,946 rooms. Ballrooms, meeting rooms, exhibition space, restaurant facilities and hotel-associated retail shall be deemed "accessory hotel uses" and shall be charged against commercial uses. Accessory hotel uses on Parcels 7, 7A and 8 combined shall not exceed 50,000 square feet.
- Note (9): Residential support services, physical fitness/indoor recreation center, and small venue theater (for building residents only) are expressly permitted in Sub-Area E.3.

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Drive; 315-335 E. Illinois Street  
 464-478 N. New Street  
 Introduced: June 17, 2015  
 Plan Commission: October 15, 2015

Exhibit 1

**Bulk Regulations and Data Table**

(Page 3 of 5)

<b>FAR Bonus Calculations</b>	
<b>Note (10): Sub-Area E.3 (Parcels 18 and 19, combined)</b>	
<b>Net Site Area = 95,005 square feet</b>	
Base FAR	10.00
Downtown Affordable Housing Zoning Bonus	3.00 (a)
Offsite contribution to DuSable Park	2.16 (b)
Public Plazas	5.44 (c)
Chicago Riverwalk	0.40 (d)
Water Features	1.00 (e)
Underground Parking and Loading	<u>3.00 (f)</u>
<b>Total FAR</b>	<b>25.00</b>
a)	Based on a contribution of \$5,700,300.00 to the City of Chicago Affordable Housing Opportunity Fund.
b)	Based on a contribution of \$4,104,216.00 to City of Chicago for Off-Site Park Improvements (to DuSable Park).
c)	Based on the provision of 51,730 square feet of on-site public plaza.
d)	Based on the provision of improvements to 3,800 square feet at off-site open spaces.
e)	Based on the provision of 48,669 square feet of water features in on-site public open spaces.
f)	Based on the provision of 171 underground parking spaces on Lower Levels 1 and 2, at least 265 underground parking spaces on Lower Level 3 and lower, and 7 underground loading docks on lower level.
<b>Bulk Regulations and Data Table</b>	
<b>Note (11): Sub-Area B (Parcels 7 &amp; 7A)</b>	
<b>Net Site Area = 68,385 square feet</b>	
Maximum Floor Area Ratio (FAR):	12.39
Maximum Percentage of Land Coverage:	Per Site Plans
Maximum Number of Dwelling Units:	398
Maximum Number of Hotel Keys:	400
Maximum Number of Off-Street Parking Spaces (Residential):	219
Maximum Number of Off-Street Parking Spaces (Hotel):	11
Minimum Number of Bike Parking Spaces:	50
Minimum Periphery Setbacks:	Per Site Plans
Maximum Building Height:	590' (plus 45' for mechanical penthouse, roof mechanical units, roof access stairs, architectural elements and similar appurtenances)
Minimum Number of Off-Street Loading Berths, Residential:	2 (10' x 25') spaces
Minimum Number of Off-Street Loading Berths, Hotel:	2 (10' x 25') spaces

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Drive; 315-335 E. Illinois Street  
 464-478 N. New Street  
 Introduced: June 17, 2015  
 Plan Commission: October 15, 2015

Exhibit 1

**Bulk Regulations and Data Table**

(Page 4 of 5)

<b>Note (12): Sub-Area F</b>	
<b>Net Site Area = 167,104 sq. ft. (overall)</b>	
Maximum Floor Area Ratio (FAR):	11.57 (overall Sub-area F after Floor Area Bonuses)
Base FAR	8.98 (overall Sub-area F; see note (a) below)
Affordable Housing Bonus:	0.52 (See note (b) below)
Underground Parking Bonus:	1.00 (See note (c) below)
Plaza/Pocket Park Bonus:	<u>1.07</u> (See note (d) below)
Total FAR	11.57
<b>Bulk Regulations and Data Table For Parcel 21C:</b>	
Maximum Number of Dwelling Units:	350
Minimum Number of Accessory Parking Spaces:	296
Minimum Number of Bike Parking Spaces:	50
Minimum Periphery Setbacks and Site Coverage:	Per site plan
Maximum Building Height:	785 feet
Minimum Number of Off-Street Loading Berths:	3 (10' x 25')
a)	Base FAR of 8.98 results from an increase in net site area from 100,456 sf. to 167,104 sf. for the inclusion of Parcel P21B into the net site area by this amendment and a commensurate reduction of FAR from 14.93.
b)	86,720 sf. bonus floor area based on a contribution of \$2,983,168 to the City of Chicago Housing Opportunity Fund as set forth in Statement 11(o).
c)	167,208 sf. bonus floor area based on 120 underground parking spaces on Levels -1 and -2 and 176 unground parking spaces on Levels -3 and -4.
d)	179,670 sf. bonus floor area based on providing or reconstructing 20,008 square feet of plaza/pocket park area on Parcel P21B in accordance with the Pocket Park Bonus Landscape Plan.

Applicant:	465 N. Park Drive, LLC
Address:	465-479 N. Park Drive; 315-335 E. Illinois Street 464-478 N. New Street
Introduced:	June 17, 2015
Plan Commission:	October 15, 2015

Exhibit I

**Bulk Regulations and Data Table**

(Page 5 of 5)

Note (13):	<b>Bulk Regulations and Data Table</b>	
	<b>Sub-Area B (Parcel 8)</b>	
	<b>Net Site Area = 34,400-SF</b>	
	Maximum Floor Area Ratio (FAR):	14.50
	Maximum Percentage of Land Coverage:	Per Site Plan
	Maximum Number of Dwelling Units:	444
	Minimum Number of Off-Street Parking Spaces (Residential):	181
	Minimum Number of Bike Parking Spaces:	50
	Minimum Periphery Setbacks	Per Site Plans
	Maximum Building Height:	535' (Includes 35' for mechanical penthouse, roof mechanical units, roof access stairs, architectural elements and similar appurtenances)
Minimum Number of Off-Street Loading Berths, Residential:	1 (10' x 25')	
Minimum Number of Off-Street Loading Berths, Retail:	1 (10' x 25')	

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Drive; 315-335 E. Illinois Street  
 464-478 N. New Street  
 Introduced: June 17, 2015  
 Plan Commission: October 15, 2015

RESIDENTIAL-BUSINESS PLANNED DEVELOPMENT NO. 368, AS AMENDED

PLAN OF DEVELOPMENT

STATEMENTS

1. The area delineated herein as "Residential-Business Planned Development Number 368", as amended, consists of approximately 1,560,904 square feet or 35.83 acres (exclusive of public rights-of-way and dedicated public open space) of real property as shown on the attached Planned Development Boundary Map (the "Property").
2. This plan of development consists of these twenty-one (21) statements and the following exhibits for the entire Planned Development: Bulk Regulations and Data Table for the entire Planned Development; an Existing Zoning Map; Planned Development Boundary and Subareas Map; Development Parcels Map; Maximum Height Zones; Existing and Planned Open Spaces; Pattern of Vehicular Roadways; and Recommended Traffic Improvements. This plan of development is in conformity with the intent and purpose of the Chicago Zoning Ordinance and all requirements hereof, and satisfies the established criteria for approval as a planned development. In any instance where a provision of the planned development conflicts with the Chicago Building Code, the Building Code shall control.

This plan of development consists of the following exhibits related to the development of Subparcel E.3: Bulk Regulations and Data Table Note 10; Site Landscape Plan; DuSable Landscape Plan; Ground Floor Plan Overview; Lower Lake Shore Drive Plan Overview; Building Elevations; South Building Elevation; Partial Enlarged South Elevation; Partial East/West Site Section; Partial Enlarged East Elevation; North/South Site Section at Lake Shore Drive; North/South Tower and Parking Section; East/West Parking Section; North/South Overview Section; and Lake Front Trail Alignment Alternate 1 and Alternate 2.

This plan of development consists of the following exhibits related to the development of Subarea B Parcels 7 and 7A: Bulk Regulations and Data Table Note 11; View Corridor Program; Overall Site Plan; Lower East North Water Street Plan, North Park Drive Street Plan, North Park Drive Wayfinding Plan; Upper East North Water Street Plan; Upper East North Water Street Wayfinding Plan; Terrace Level Plan; Landscape Plan; Green Roof Plan; Overall Section A Plan and Partial North Elevation; West Elevation at tower and Partial North/South Section B Plan; Building Elevations (North, South, East and West) prepared by Solomon Cordwell Buenz dated May 24, 2012.

This plan of development consists of the following plans and exhibits related to the development of Parcels P21B and P21C (the Kraft Parcel): Bulk Regulations and Data Table Note 12; Site Plan; Ground Floor Plan; Recreation Deck Level Plan; Green Roof Plan; Building Elevations (North and East, and South and West); Landscape Plan; Pocket Park Bonus Landscape Plan; Landscape Sections (A/B and C/D); and Landscape Plant List prepared by GREC Architects, LLC and dated December 18, 2014 (the "Plans").

Applicant: 465 N. Park Drive, LLC  
Address: 465-79 N. Park Dr.; 315-35 E. Illinois St.; 464-78 N. New St.  
Introduced Date: June 17, 2015  
Plan Commission Date: October 15, 2015

465 N. Park Drive, LLC (the "Applicant") owns or controls Sub-Area B Parcel 8 within this Planned Development. This Plan of Development consists of the following exhibits related to the development of Sub-Area B Parcel 8: Bulk Regulations and Data Table Note 13; Site Plan; Landscape Plan; Mezzanine, Second Floor, Third Floor, Fourth Floor, and Fourth Floor Mezzanine Plans; 5th Floor Amenity Landscape Plan; 6th Floor Balcony Landscape Plan; 37th Floor Sky Deck Landscape Plan; Plant List & Landscape Details; Green Roof Plan; and Building Elevations (North, South, East and West) prepared by pappageorgehaymes partners dated October 15, 2015.

3. The current property owner or an authorized agent shall obtain all required reviews, approvals, licenses and permits in connection with this plan of development. The dedication or vacation of any streets or alleys shall require a separate submittal and approval by the City Council.
4. The requirements, obligations and conditions contained within this planned development shall be binding upon each property owner, its successors and assigns (including any condominium association which is formed) and the legal titleholders and any ground lessors. All rights granted hereunder shall inure to the benefit of each property owner, its successors and assigns (including any condominium association which is formed) and the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this planned development are made, shall be under single ownership or under single designated control. Subject to the subarea/subparcel control provisions of Section 17-8-0400 of the Chicago Zoning Ordinance, single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this planned development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by the Equitable Life Assurance Society of the United States or all its successors and assigns as zoning control party for property located west of Columbus Drive, and by all the successors and assigns to the Chicago Dock and Canal Trust, as zoning control parties for the property located east of Columbus Drive. The board of directors of any condominium association shall represent individual condominium owners.
5. Several subareas are delineated on the attached planned development Subarea Map for the purposes of establishing use and density controls in connection with this Plan of Development. Uses permitted below plus thirty-five (+35) feet Chicago City Datum, plus or minus six ( $\pm$  6) feet in respect of design conditions, ("Plaza Level") shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District classification; uses permitted at and above the Plaza Level in the area hereinbefore defined shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District classification, except that in that part of the subject area lying within 200 feet of North Michigan Avenue uses shall be in general conformity with the

Applicant: 465 N. Park Drive, LLC  
Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
Introduced Date: June 17, 2015  
Plan Commission Date: October 15, 2015

Permitted and Special Uses of the DX-16, Downtown Mixed-Use District classification; uses permitted where no Plaza Level exists shall be in general conformity with the Permitted and Special Uses of the DX-12, Downtown Mixed-Use District Classification. Earth station receiving and transmitting dishes, microwave relay dishes and transmitting or receiving dishes shall be permitted. Residential support services, physical fitness/indoor recreation center, and small venue theater are expressly permitted in Subparcel E.3. Non-accessory parking shall be a permitted use in Subarea F only. Underground accessory parking related to the improvements constructed upon Subparcel E.3 shall be a permitted use in Subparcel E.2. All other controls and regulations set forth herein are made applicable within the general application of this statement. Uses permitted in DuSable Park (Subparcel E.1) shall be recreational and related uses including but not limited to marinas; tennis courts; and similar facilities. Temporary staging of construction materials and related equipment shall be a permitted use in Subparcel E.1 subject to the review and approval of the Commissioner of the Department of Planning and Development and the Chicago Park District. Daycare and other community-oriented uses are expressly permitted and strongly encouraged in all areas of the planned development. Agreement on how space for a minimum of one new daycare center shall be provided within Subareas B, D or Subparcel E.3 to service new residents and employees of those subareas must be submitted and approved by the Department of Planning and Development prior to the issuance of any Part II approval for any improvement on Parcels P1, P3, P7, P7A, P8, P18, or P19.

6. For purposes of Floor Area Ratio ("FAR") calculations, the definitions in the Chicago Zoning Ordinance shall apply, with the following exceptions: (1) in Subarea A, grade is herein established at plus thirty-five (+35) feet Chicago City Datum, plus or minus six ( $\pm 6$ ) feet in respect of design conditions ("Plaza Level"); (2) in Subarea B, grade is herein established as the curb level of the building entrance on upper East North Water Street plus or minus six ( $\pm 6$ ) feet in respect of design conditions; and (3) space devoted to heating, ventilation, and air-conditioning equipment shall not be included in FAR regardless of location.
  
7. Any service drives or other ingress or egress lanes shall be adequately designed and paved in accordance with the regulations of the Chicago Department of Transportation and in compliance with the Municipal Code of the City of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. Fire lanes shall be adequately designed and paved in compliance with the Municipal Code of the City of Chicago and shall have a minimum of 20 feet to provide ingress and egress for emergency vehicles. There shall be no parking within established fire lanes. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the Public Way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago.

Applicant:	465 N. Park Drive, LLC
Address:	465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.
Introduced Date:	June 17, 2015
Plan Commission Date:	October 15, 2015

8. Off-street parking and loading facilities shall be provided in compliance with this plan of development, subject to the review of the Chicago Department of Transportation and approval by the Department of Planning and Development. All parking spaces required to serve buildings or uses shall be located on the same parcel as the building or use served, or (i) if a residential use, within 600 feet walking distance, or (ii) if a non-residential use, within 1,200 feet walking distance. Parking to serve uses in Subarea E.1 or E.3 may be located underneath or west of Lake Shore Drive.
  
9. Business and business identification signs shall be permitted within the planned development subject to the review and approval of the Department of Planning and Development and to the conditions of Statement 11(e). Off-premises signage is prohibited. Temporary signs such as construction and marketing signs may be permitted subject to the aforesaid approvals. Signage for retail and movie theater uses is a special concern. A general signage plan indicating the locations and dimensions of signage for these uses, including all interior signage which is visible from public streets, shall be submitted prior to Part II approval in accord with Statement 16 hereof (Site Plan Review).
  
10. The height of buildings within the planned development and any appurtenance attached thereto shall be subject to the limitations on the attached exhibit labeled "Maximum Height Zones". Where maximum height zones have been established, building height shall be defined as follows:
 

"Building height" is the vertical distance from the curb level, grade, or its equivalent, opposite the center of the front of a building to the highest point of the underside of the ceiling beams of the highest habitable floor, in the case of a flat roof; to the deck line of a mansard roof; and, to the mean level of the underside of the rafters between the eaves and the ridge of a gable, hip or gambrel roof. For the purpose of determining height in Subarea B Parcels 7 and 7A, grade is herein established as the curb level of the building entrance on upper East North Water Street plus or minus 6 feet in respect of design conditions. (For the purpose of determining height, building tops of other configurations may be considered to be the type described herein which most closely approximates the shape of the proposed design). However, in no case shall the "actual" height of a building exceed the "maximum height" by more than 65 feet.
  
11. The improvements on individual development sites shall be designed, constructed and maintained in accordance with the exhibits attached hereto and the following general design standards:
  - (a) Buildings along Lake Shore Drive shall be designed to minimize building mass directly facing the Drive. The base along Lake Shore Drive of any such structure shall be limited to the height of Lake Shore Drive. The tower of such structures shall be set back a minimum of 40 feet from Lake Shore Drive although encroachments into such setback area for design reasons may be allowed by the Commissioner of Planning and

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
 Introduced Date: June 17, 2015  
 Plan Commission Date: October 15, 2015

Development as a minor change pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance. This 40-foot setback area shall be heavily landscaped with trees and other greenery so as to be visible from the drive.

- (b) Landscaping of buildings at terraces, rooftops, and balconies shall be provided wherever possible and appropriate. Buildings shall be designed with upper-level architectural features that are lit at night wherever possible. Mechanical equipment on rooftops shall be screened with quality materials, and made a feature of the building design, where appropriate. Notwithstanding any statement to the contrary, this planned development shall be subject to the provisions of Chapter 17-11 of the Chicago Zoning Ordinance governing landscaping and screening. In any instance where a provision of this planned development conflicts with landscape and screening provisions of the Chicago Zoning Ordinance, the Chicago Zoning Ordinance shall control. Nothing in this planned development is intended to waive the applicability of the landscape and screening provisions of the Chicago Zoning Ordinance.
- (c) Buildings shall be setback from the property line, if necessary, to achieve a minimum of 12 feet, 6 inches (except the building column may be setback 10 feet, 0 inches in Subarea E-3 along Ogden Slip and the building located in Subarea B, Parcels 7 and 7A, may be located at the property line along North New Street, North Park Drive, Upper East North Water Street and Lower East North Water Street and the building located in Sub-Area B, Parcel 8, may be located at the property line along North New Street, North Park Drive, and East Illinois Street) in sidewalk width to accommodate street trees. No awnings, canopies, or other building projections shall be allowed that would interfere with street tree canopies except at entrances to hotels, residential entrances or movie theaters.
- (d) Building designs that reflect divisions into base, middle, and top, that have setbacks, cornice lines, changes in plane or materials, articulated surfaces, or other methods of reducing the scale and mass are encouraged. Preferred building materials shall be stone, manufactured stone, brick, finished metal such as stainless steel, or articulated pre-cast concrete in combination with glass at the base. Exposed structural concrete, dryvit or other stucco-like material, or reflective glass shall not be allowed. Materials of upper stories shall be similar to those of the lower; however, the level of detailing may be simplified.
- (e) Buildings shall be designed with clearly delineated signage bands. The quality and amount of signage shall be strictly controlled. The total square footage displayed on any building shall be limited to no more than six (6) times the street frontage on any given street. Preference shall be given to pin-mounted back lit signs with individual letters that are externally lit. Signs behind glass that are visible from the sidewalk shall count toward the permitted sign area. The area of a sign that consists of

Applicant: 465 N. Park Drive, LLC  
Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
Introduced Date: June 17, 2015  
Plan Commission Date: October 15, 2015

individual letters shall be measured by drawing a box around the letters. Graphic images which depict tenant logos or products or which may otherwise be construed as advertising shall count as signage in their entirety. Signage on awnings shall be allowed on the valance only, with a maximum of 5-inch high letters limited to tenant identification or logos only. No electronic moving message board signs shall be allowed. Rooftop signs shall be prohibited.

- (f) No new **surface** parking lots, except interim lots approved by the Zoning Administrator, shall be allowed. No surface parking lot shall be allowed on the Parcel P21B ("Kraft") park site in Subarea F. The maximum effort shall be made to contain parking in below-ground structures. Above-grade parking structures shall be enclosed, fronted by habitable space, or otherwise designed so as to have a similar appearance to habitable spaces in terms of finish materials, the shape and scale of openings, and the screening of ramps, car lights and ceiling fixtures. Any parking structures facing the Chicago River must be fronted by habitable space or completely enclosed and well-articulated at all levels. The first floor of all structures facing Illinois Street, Grand Avenue, McClurg Court, Park Drive, or Columbus Drive shall maximize space with active uses such as retail, daycare, restaurants, et cetera. Parking structures shall also contain provisions for planting at the base, the roof, or at mid-height ledges.
- (g) Loading docks shall be concealed from public view through screening or landscaping. Curb cuts for loading docks shall be minimized.
- (h) The new roadway structure at upper level Illinois Street shall be finished in highly articulated stone, pre-cast concrete, or other quality material, with particular attention given to views of the structure from Columbus Drive. Terraced planting, pedestrian lighting, decorative railings, banners, and other features shall be used to create a major pedestrian amenity. A major water feature shall be installed at the intersection of upper-level Illinois Street and the NBC Plaza. The underside of upper Illinois shall be appropriately lit, structural columns shall be covered, and other elements shall be added to create a safe, well-lit connection to Michigan Avenue.
- (i) The completion of the riveredge esplanade shall be required of the developers of Parcels 14 and 16, and Parcel 18. Such public spaces shall be developed with the same quality and character of amenities as the existing esplanade adjacent to these areas. In addition, the developer of Parcel 18 shall be responsible for the development of pedestrian access to DuSable Park under Lake Shore Drive. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river esplanade. All plans for pedestrian access to DuSable Park from Parcel 18 shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any superstructure Part II approval letters.

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
 Introduced Date: June 17, 2015  
 Plan Commission Date: October 15, 2015

- (j) The developer of Parcel 19 shall develop the following public improvements indicated on Exhibit 6 Existing and Planned Open Spaces concurrently with the development of Parcel 19: a pedestrian walkway from East North Water Street to Ogden Slip and an extension of the Ogden Slip promenade to Lake Shore Drive. The pedestrian walkway from East North Water Street to Ogden Slip shall be developed with the same quality and character of amenities as the existing walkway from the River Esplanade to East North Water Street. The extension of the Ogden Slip promenade shall be developed with the same quality and character of amenities as the existing promenade adjacent to it. In the event that DuSable Park is developed before Parcel 19 is developed, the owner(s) of Parcel 19 shall construct and maintain a temporary pedestrian connection along the slip. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 20 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the slip edge and on the side adjacent to Parcel 19. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development.

In addition, pedestrian access along Ogden Slip under Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 19 shall be solely responsible for the cost of improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well-lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the Ogden Slip promenade. However, if Parcel 19 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 19 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the Developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) below provides otherwise.

All plans for these improvements shall be subject to detailed review and approval by the Department of Planning and Development before the issuance of any Part II approval letters.

- (k) All improvements to be constructed within this planned development for which Part II approval letters are issued after the March 29, 2006, date of City Council approval of the amended planned development shall comply with the Department of Planning and Development Chicago Sustainable Development Policy in effect at the time of application for Part II approval, and the owners shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design Green Building Rating System (LEED). A dog-run shall be located within or adjacent to Subparcel E.3. As a result of the architectural design of

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
 Introduced Date: June 17, 2015  
 Plan Commission Date: October 15, 2015

the tower to be constructed within Subparcel E.3, a green roof is not feasible. The development of the improvements on Parcel P21C contemplated by this Planned Development amendment shall be LEED certified and have a green roof of approximately 2,177 square feet and a rain water collection system as described in the attached Green Roof Plan.

- (1) Pursuant to the Affordable Housing provision of the City of Chicago Zoning Ordinance, **Title 17**, Chapter 17-4-1004, et seq. ("Zoning Ordinance") Developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of 3.00 FAR for the Property. The Developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1004D of the Zoning Ordinance, the total floor area devoted to affordable housing units must equal at least 25 percent of the total increase in floor area allowed under the Affordable Housing Bonus or a cash payment must be made to the City of Chicago Affordable Housing Opportunity Fund based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1004D, the Developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago Affordable Housing Opportunity Fund in the amount of \$5,700,300.00. Prior to the issuance of permits, the Developer of Parcel E.3 will enter into an Affordable Housing Agreement with the Chicago Department of Planning and Development or provide a letter of credit or other security device in an amount equal to the cash contribution. The Developer of Parcel E.3 must comply with all of the applicable sections of the Affordable Housing Provision of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Affordable Housing Agreement required by Section 17-4-1004-E9 is also incorporated into this planned development.

Pursuant to the Off-Site Park and Open Space Contributions provision of the City of Chicago Zoning Ordinance, Title 17, Chapter 17-4-1018, et seq., the Developer of Parcel E.3 has asked for an increase in the Floor Area Ratio of 2.16 FAR for the Property. The Developer of Parcel E.3 hereby acknowledges that according to Section 17-4-1018-C of the Zoning Ordinance, a cash payment must be made to the City of Chicago based on the increase in allowable floor area multiplied by 80 percent of the median cost of land per buildable square foot. Based on Section 17-4-1018-C, the Developer of Parcel E.3 has agreed to provide a cash payment to the City of Chicago in the amount of \$4,104,216.00. Prior to the issuance of permits, the Developer of Parcel E.3 will provide a letter of credit or other security device in an amount equal to the cash contribution. The Developer of Parcel E.3 must comply with all of the sections of the Off-Site Park and Open Space Contributions provisions of the Zoning Ordinance which sections are hereby incorporated into this planned development. The Off-Site Park and Open Space Contribution Agreement required by Section 17-4-1018-B3 is also incorporated into this planned development.

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
 Introduced Date: June 17, 2015  
 Plan Commission Date: October 15, 2015

- (m) The Developer of Parcel E.3, the City of Chicago, and the Chicago Park District shall enter into an agreement relating, in part, to the responsibility for the design, funding and construction phasing of DuSable Park, the pedestrian connections to DuSable Park and the Lakefront Trail.
- (n) The improvements contemplated for DuSable Park (Subparcel E.1) must be substantially completed by the Developer of Parcel E.3 prior to the issuance of Certificate of Occupancy for any dwelling unit exceeding the three hundredth (300th) dwelling unit constructed with Subparcel E.3.
- (o) The amendment of this Planned Development concerning development of Parcels P21B and P21C triggers the requirements of Section 2-45-110 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a "residential housing project" within the meaning of the Affordable Requirements Ordinance ("Residential Project") must: (i) develop affordable housing units as part of the Residential Project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). Further, the amendment of this Planned Development is subject to Section 17-4-1004-D of the Zoning Code, which also requires on-site affordable housing or payment of a fee in lieu of providing affordable housing for rezonings in DC, DX and DR districts that increase the base floor area ratio. If a planned development is subject to the requirements of both sections (2-45-110 and 17-4-1004-D), the developer may elect to satisfy the ARO requirements by complying with the affordable housing floor area bonus provided for in Section 17-4-1004. The owner of Parcels P21B and P21C has elected to comply with Section 17-4-1004. Pursuant to Section 17-4-1004-B of the Zoning Ordinance, the owner of Parcels P21B and P21C has requested an increase in the floor area ratio for the Property, as set forth in the bonus worksheet required under Section 17-4-1003-D and attached hereto as an Exhibit ("Bonus Worksheet"). In accordance with the formulas set forth in Section 17-4-1004-C and the Bonus Worksheet, the owner of Parcels P21B and P21C acknowledges and agrees that it must provide either a minimum of at least 21,680 square feet of floor area (the "Affordable Units") in the building receiving the affordable housing floor area bonus ("Eligible Building"), with an affordable unit mix comparable to the overall mix and approved by the Department of Planning and Development prior to issuance of the first building permit, or make a cash payment in lieu of providing affordable housing in the amount of \$2,983,168 ("Cash Payment"), or \$100,000 per unit ("Pro Rata Amount"). Prior to the issuance of any building permits for the Eligible Building, including, without limitation, excavation or foundation permits, the owner of Parcels P21B and P21C must either make the required Cash Payment or provide a performance bond or other security in the amount of the Cash Payment ensuring construction of the Affordable Units. If the owner of Parcels P21B and P21C elects to construct the Affordable Units, it must also enter into an Affordable Housing Agreement with the City pursuant to Section 17-4-1004-E9 prior to the issuance of any building permits for

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
 Introduced Date: June 17, 2015  
 Plan Commission Date: October 15, 2015

the Eligible Building, including, without limitation, excavation or foundation permits. The terms of the Affordable Housing Agreement and any amendments thereto would be incorporated herein by this reference. The owner of Parcels P21B and P21C acknowledges and agrees that the Affordable Housing Agreement would be recorded against the Eligible Building and would constitute a lien against each Affordable Unit in an amount equal to the Pro Rata Amount. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. In addition to the Affordable Housing Agreement, the owner of Parcels P21B and P21C acknowledges and agrees that, pursuant to Section 17-4-1003-D3, the Bonus Worksheet will serve as an official record of bonuses and amenities. The owner of Parcels P21B and P21C must comply with the applicable affordable housing standards and requirements set forth in Section 17-4-1004, the terms of which are incorporated herein by this reference. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of the Department of Planning and Development may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development.

12. Publicly dedicated improvements, including streets, sidewalks, transit and open space amenities shall be designed, constructed and maintained in accordance with the exhibits described in Statement 2 hereof and the "Cityfront Center Internal Design Standards: Section I", dated September 12, 1986.
13. The property owner(s) adjacent to the Chicago River shall develop a continuous pedestrian esplanade along the Chicago River's edge. Completion of the esplanade will occur as follows:
  - (a) The east right-of-way line of McClurg Court to the west right-of-way line of Lake Shore Drive shall be improved concurrently with development of adjacent parcels south of East North Water Street (Parcels 14, 16, and 18). In the event that DuSable Park is developed before Parcel 18 is developed, the owner(s) of Parcel 18 shall construct and maintain a temporary pedestrian connection along the river. These improvements shall consist of a paved (asphalt or better) pedestrian walkway, a minimum of 10 feet in width. Metal railings shall be installed along either side of the pedestrian walkway near the river's edge and on the side adjacent to the development parcel. The design of these improvements shall be subject to the approval of the Commissioner of Planning and Development; and
  - (b) The west right-of-way line of Lake Shore Drive to DuSable Park shall be constructed concurrently with the construction of DuSable Park. The owner(s) of Parcel 18 shall

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
 Introduced Date: June 17, 2015  
 Plan Commission Date: October 15, 2015

be solely responsible for improvements underneath Lake Shore Drive, subject to approval of the State of Illinois to make such improvements. Such access shall be well lit, suitably paved, and finished so as to provide safe, attractive, and convenient access to the park from the river edge esplanade. However, if Parcel 18 should be developed before the construction of DuSable Park, then the owner(s) of Parcel 18 shall, at the time of application for superstructure Part II, place in escrow money equivalent to the cost of constructing such a connection, as determined by the Commissioner of the Department of Planning and Development, unless an agreement between the Developer of Parcel E.3 and the Chicago Park District as referenced in Statement Number 11(m) above provides otherwise.

14. The developer of Parcels P21B and P21C (the Kraft Parcel), shall substantially renovate the existing 70,000 square foot park on Parcel P21B in accordance with the Landscape Plan, the Landscape Sections, and the Landscape Plant list. Such renovation shall be commenced no later than three (3) months following issuance of the first occupancy permit for the residential building to be constructed on Parcel P21C as permitted by this Planned Development, and shall be completed no later than one (1) year thereafter. The park, as renovated, shall continue to be privately owned, maintained and subject to occasional partial closure for private use but, subject to the foregoing, shall remain accessible to the public during hours in which public parks are accessible to the public. The public shall have use of the Dog Run indicated on the Landscape Plan subject to any regulations, if imposed, that conform to the protocols of the Chicago Park District for Dog Friendly Areas. The owner(s) of Parcels P21B and P21C (the Kraft Parcel) shall be responsible for the costs and performance of maintenance of the park in conformance with the Landscape Plan and the Open Space Plan. Nothing contained herein shall preclude residents or other individuals from using the park for other private uses, provided that they obtain permission from the owner(s) of the Kraft Parcel and all necessary governmental approvals and permits.
  
15. Traffic studies completed by developers and the City of Chicago project significant peak hour traffic volume increases on Illinois Street and Grand Avenue in particular as a result of new development. Some excess roadway capacity is available to handle this increased traffic, but a number of geometric, signal timing and parking control measures are recommended in addition to active transportation management in the Illinois-Grand corridor. Accordingly, no Part II submittal shall be approved without a firm agreement between the developer and the Chicago Department of Transportation regarding the timing and responsibility for any recommended traffic improvements described in Exhibit 8 hereof for streets adjoining the development site. Membership and participation in the Illinois-Grand Corridor Transportation Management Association shall also be required prior to the issuance of any Part II development approval.
  
16. Prior to the issuance by the Department of Planning and Development of a determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance ("Part II approval") for development or redevelopment of any development parcels within the planned development,

Applicant:	465 N. Park Drive, LLC
Address:	465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.
Introduced Date:	June 17, 2015
Plan Commission Date:	October 15, 2015

other than alterations to existing buildings which do not increase their height or alter their footprint or construction in accordance with the Plans approved herein, a site plan for the proposed development, including parking areas, shall be submitted to the Zoning Administrator for approval. Review and approval of the site plan by the Zoning Administrator is intended to assure that specific development proposals conform with the general design standards in Statement 11 and to ensure coordination of public improvements described in Statements 12 through 15 at an early stage. No Part II approval for work for which a Site Plan ~~must~~ be submitted to the Zoning Administrator shall be granted until the Site Plan has been approved by the Zoning Administrator. Further, all Part II submittals shall be in compliance with the Chicago Landscape Ordinance. At least thirty (30) days prior to the filing of the Developer of Parcel E.3's request for Part II approval for the construction of the superstructure upon Subparcel E.3, the Developer of Parcel E.3 Applicant shall submit a detailed Landscape Plan and Elevations for the Subparcel E.3 property to the Department of Planning and Development for review and approval.

Following approval of a Site Plan by the Zoning Administrator, the approved plan shall be kept on permanent file with the Department of Planning and Development and shall be deemed to be an integral part of this planned development. The approved Site Plan may be changed or modified pursuant to the minor change provisions of Section 17-13-0611 of the Chicago Zoning Ordinance.

A Site Plan shall, at a minimum, provide the following information with respect to the proposed improvements:

- (1) the boundaries of the Property;
- (2) the footprint of the improvements;
- (3) location and dimensions of all loading berths;
- (4) preliminary landscaping plan prepared by a landscape architect with final landscaping plan to be approved at Part II stage;
- (5) all pedestrian circulation routes;
- (6) the location of any adjacent public improvements;
- (7) a signage plan for any building where retail or theater uses would be present above the ground level;
- (8) preliminary elevations of the improvements; and
- (9) statistical information applicable to the Property limited to the following:

Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
 Introduced Date: June 17, 2015  
 Plan Commission Date: October 15, 2015

- (a) floor area and floor area ratio;
- (b) uses to be established;
- (c) building heights; and
- (d) all setbacks, required and provided.

A Site Plan shall include such other information as may be necessary to illustrate conformance with the applicable provisions of this planned development.

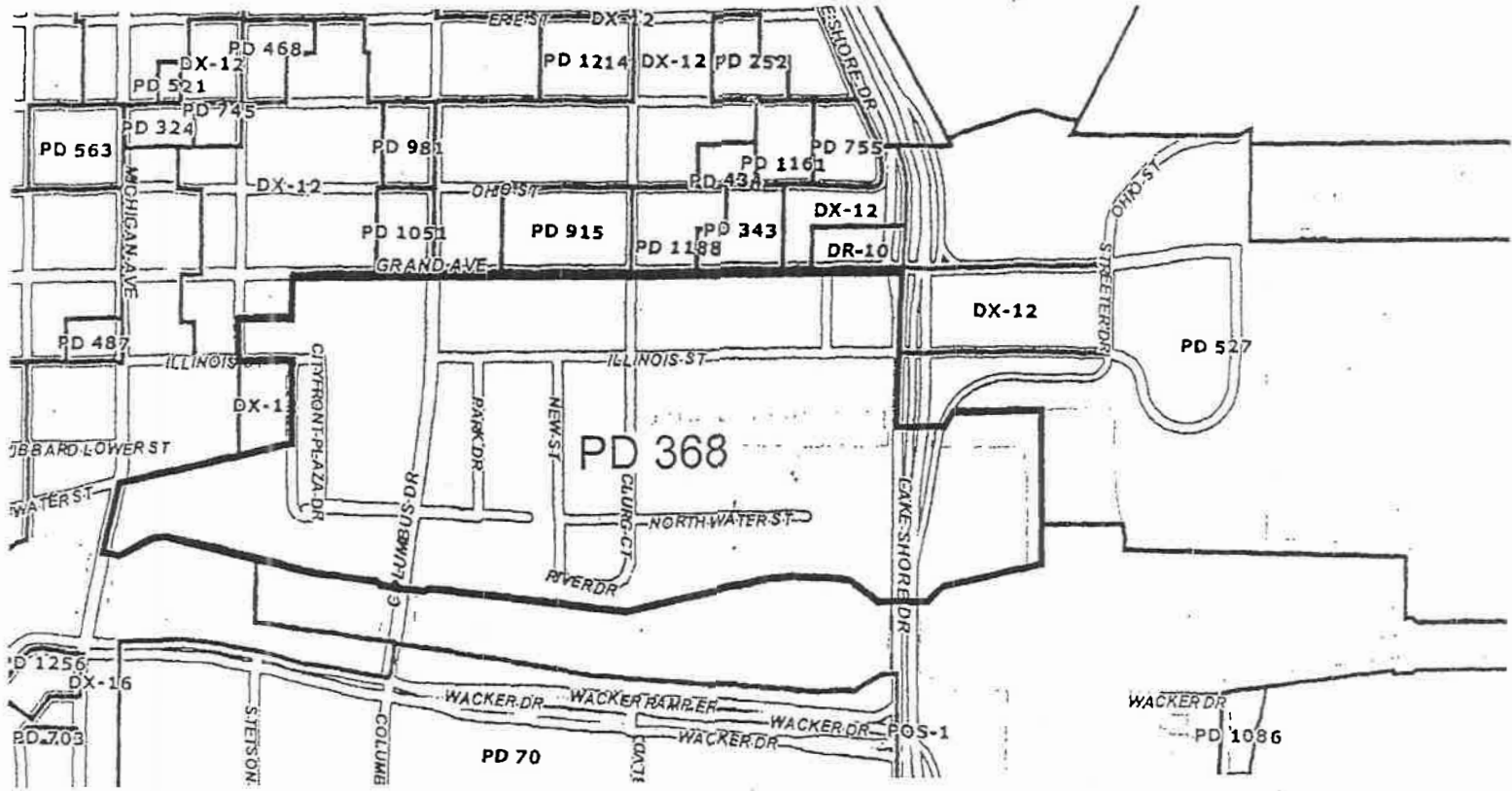
17. If any provision of this planned development amendment shall, to any extent, be invalid or unenforceable, the remainder of this planned development amendment shall not be affected thereby, and each provision of the planned development amendment shall be valid and enforceable to the fullest extent of the law.
18. The terms, conditions and exhibits of this Planned Development Ordinance or of an approved Site Plan may be modified administratively by the Zoning Administrator upon the request of the applicant and after a determination by the Zoning Administrator that such a modification is minor, appropriate and consistent with the nature of the improvements contemplated in the planned development and the purposes underlying the provisions hereof. Any such modification shall be deemed to be a minor change in the planned development as contemplated by Section 17-13-0611 of the Chicago Zoning Ordinance.
19. It is in the public interest to design, construct and maintain the project in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all buildings and improvement on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
20. It is in the public interest to design, construct and maintain all buildings in a manner that promotes and maximizes the conservation of natural resources. All improvements to be constructed within this Planned Development for which Part II approval letters are issued after the March 29, 2006; date of the City Council approval of the amended Planned Development shall comply with the Department of Planning and Development Chicago Sustainable Development Policy in effect at the time of application for Part II approval. The owners of all such improvements shall use best and reasonable efforts to design, construct and maintain all buildings located within the Planned Development in a manner generally consistent with the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System. Copies of these standards may be obtained from the Department of Planning and Development. The development of the improvements on Parcel P21C contemplated by this Planned Development amendment shall be LEED certified and have a green roof of approximately 2,177 square feet and a rain water collection system as described

Applicant: 465 N. Park Drive, LLC  
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in the attached Green Roof Plan. The development of the improvements on Parcel P8 contemplated by this Planned Development amendment shall be LEED certified and have a Total Green Roof Area of approximately 13,482 square feet, including approximately 1,350 square feet of roof-top pool surface area, as described in the attached Green Roof Plan.

21. Unless substantial construction of the improvements contemplated within Subparcel E.3 has commenced within three (3) years following adoption of Residential-Business Planned Development Number 368, as amended May 6, 2015, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Subparcel E.3 and the zoning of Subparcel E.3 of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on March 29, 2006. Unless substantial construction of the improvements contemplated within Parcels 7 and 7A has commenced within six (6) years following adoption of Residential-Business Planned Development Number 368, as amended on June 6, 2012, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Parcels 7 and 7A and the zoning of Parcels 7 and 7A of the planned development shall automatically revert to Residential-Business Planned Development Number 368, as amended on July 9, 2008. Unless substantial construction of the improvements contemplated within Parcels 21B and 21C (the Kraft Parcel) has commenced within three (3) years following adoption of Residential-Business Planned Development Number 368, as amended on January 21, 2015, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Parcels 21B and 21C (the Kraft Parcel) and the zoning of Parcels 21B and 21C (the Kraft Parcel) shall automatically revert to Residential-Business Planned Development Number 368, as amended on June 6, 2012. Unless substantial construction of the improvements contemplated within Sub-Area B Parcel 8 has commenced within six (6) years following adoption of this planned development amendment, and unless completion is thereafter diligently pursued, then this planned development shall expire as it relates to Sub-Area B Parcel 8 and the zoning of Sub-Area B Parcel 8 of the Planned Development shall automatically revert to Residential-Business Planned Development No. 368, as amended on May 6, 2015.

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 Address: 465-479 N. Park Dr.; 315-335 E. Illinois St.; 464-478 N. New St.  
 Introduced Date: June 17, 2015  
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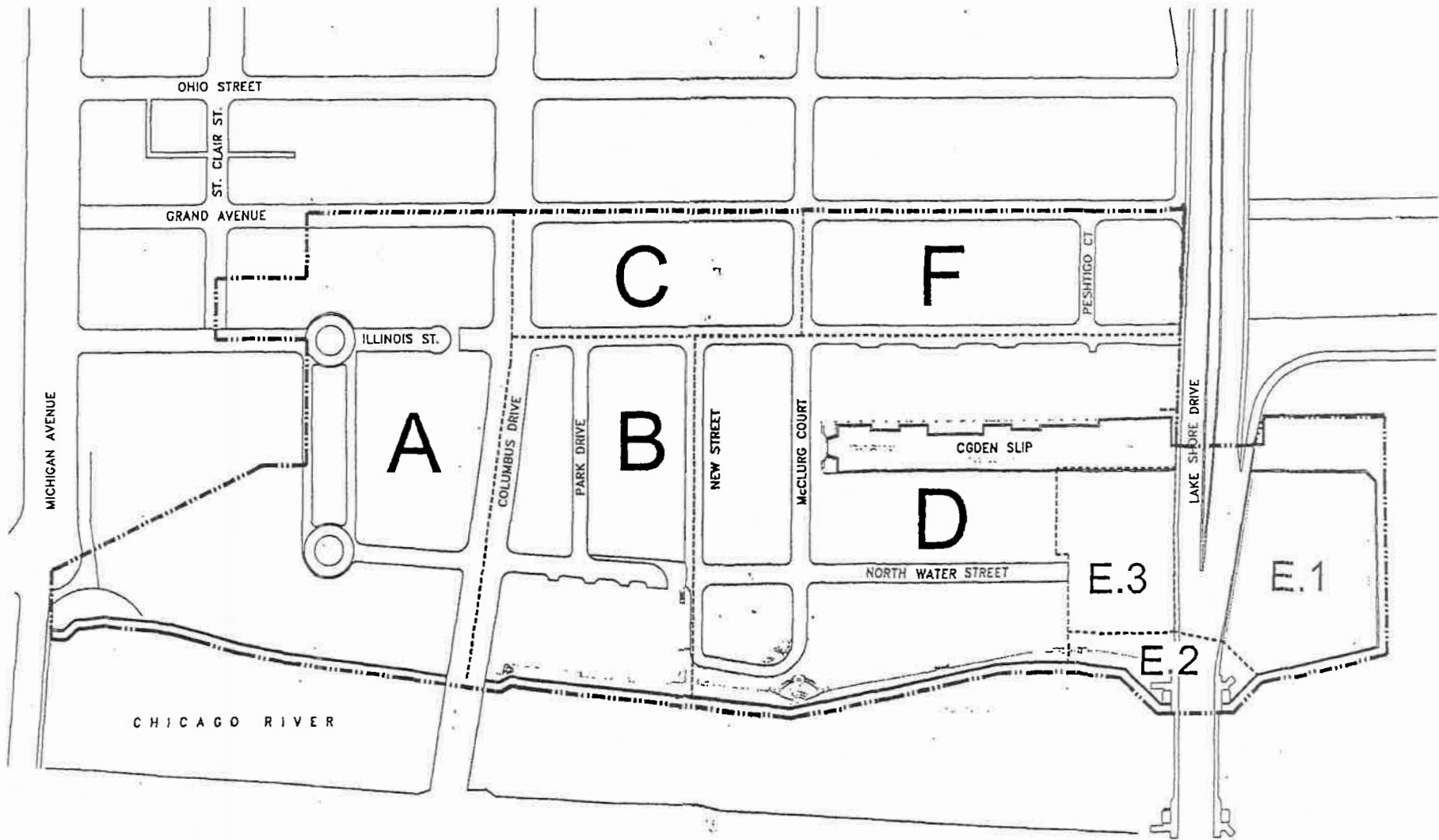


Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

**EXHIBIT 2**  
**EXISTING ZONING MAP**  
 SCALE: NTS

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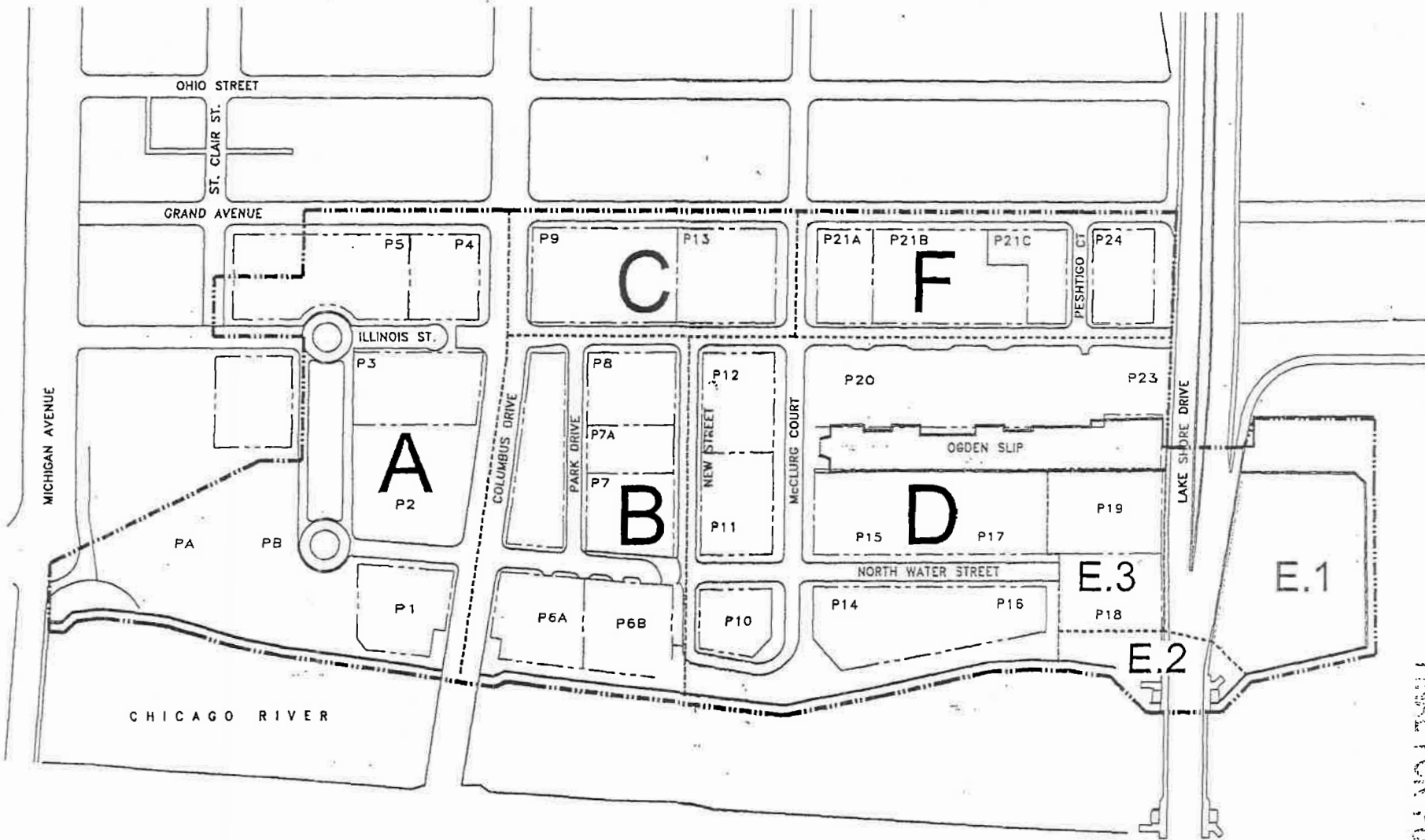


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Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

**EXHIBIT 3**  
**PD BOUNDARY & SUB AREA MAP**  
 SCALE: NTS

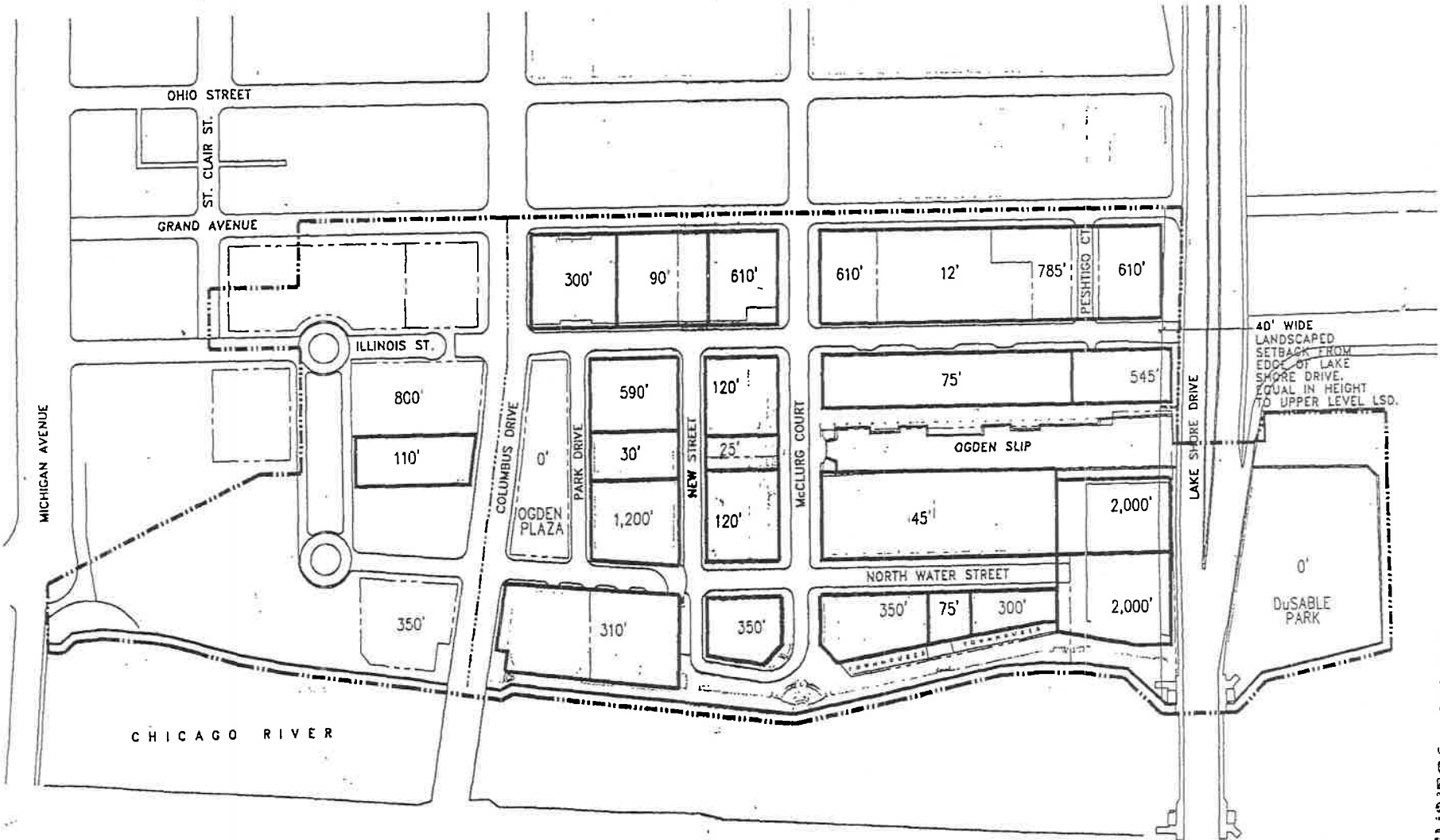




Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

**EXHIBIT 4**  
**PD PARCELS MAP**  
 SCALE: NTS

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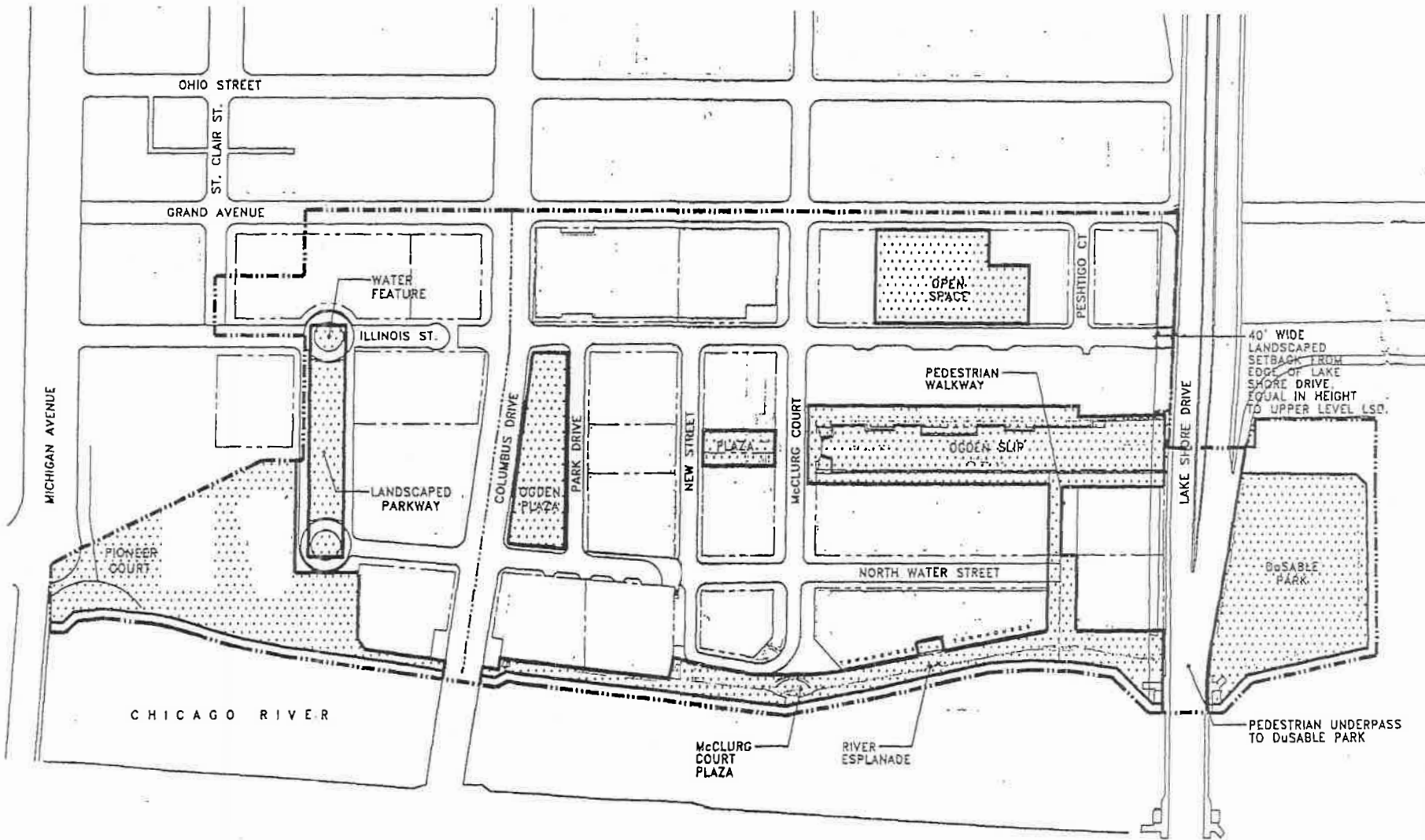


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Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

**EXHIBIT 5**  
**MAXIMUM HEIGHT ZONES**  
 SCALE: NTS



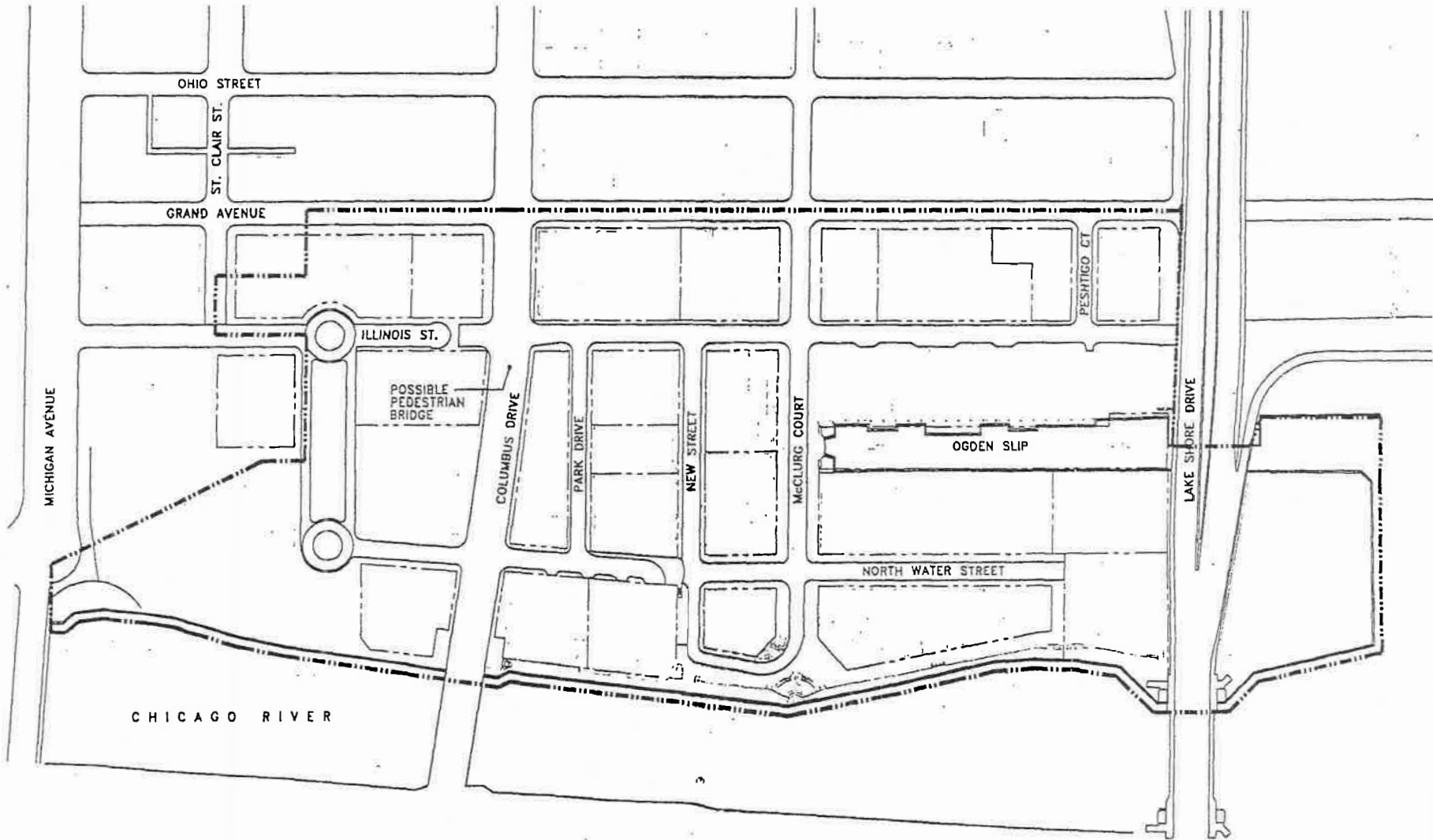


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Applicant: RMW Streeterville, LLC  
 Address 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

**EXHIBIT 6**  
**EXISTING AND PLANNED OPEN SPACES**  
 SCALE: NTS





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Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: TBD

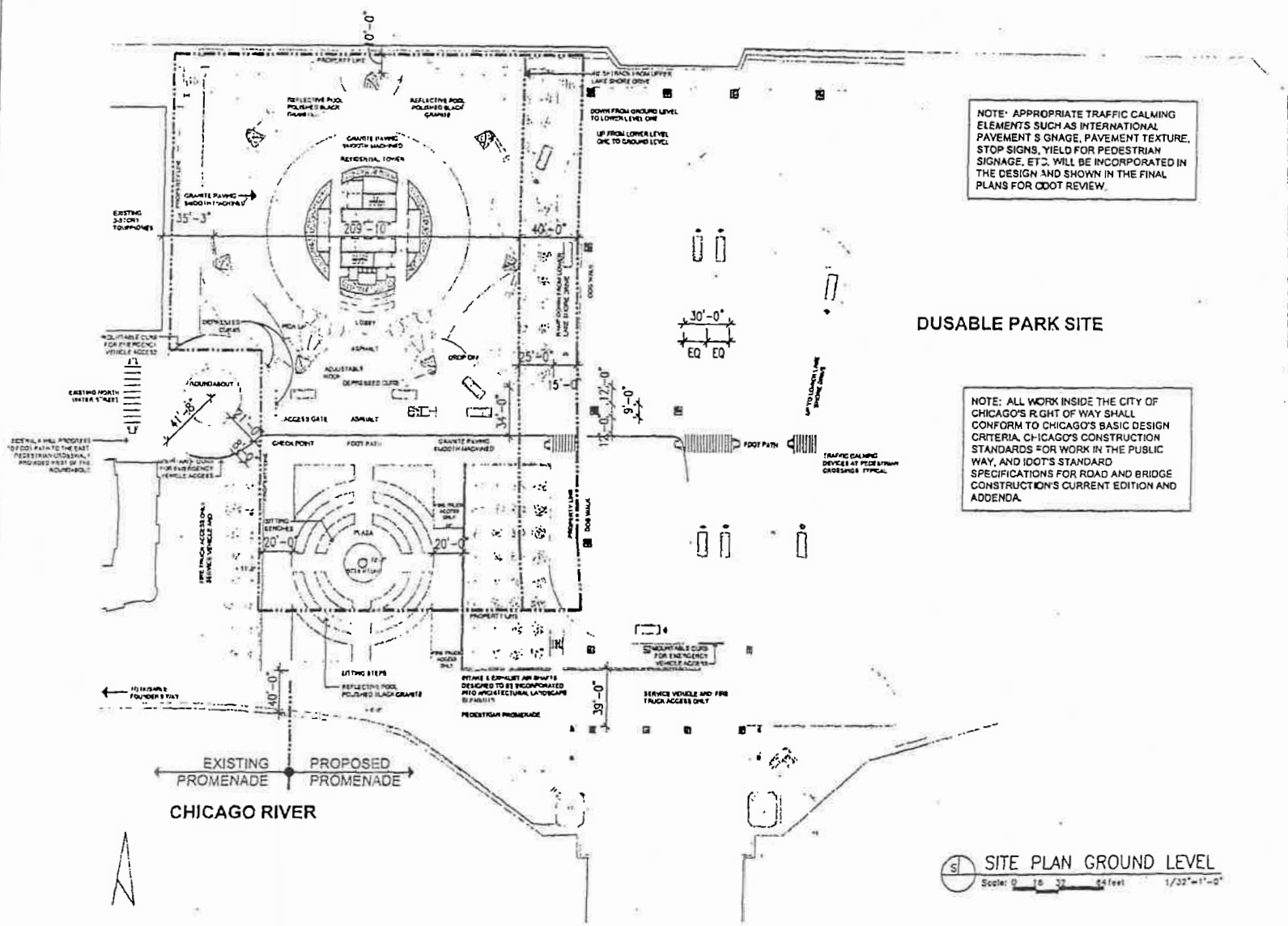
**EXHIBIT 7**  
**PATTERN OF VEHICULAR ROADWAYS**  
 SCALE: NTS







OGDEN SLIP



NOTE: APPROPRIATE TRAFFIC CALMING ELEMENTS SUCH AS INTERNATIONAL PAVEMENT SIGNAGE, PAVEMENT TEXTURE, STOP SIGNS, YIELD FOR PEDESTRIAN SIGNAGE, ETC. WILL BE INCORPORATED IN THE DESIGN AND SHOWN IN THE FINAL PLANS FOR ODOT REVIEW.

NOTE: ALL WORK INSIDE THE CITY OF CHICAGO'S RIGHT OF WAY SHALL CONFORM TO CHICAGO'S BASIC DESIGN CRITERIA, CHICAGO'S CONSTRUCTION STANDARDS FOR WORK IN THE PUBLIC WAY, AND IDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION'S CURRENT EDITION AND ADDENDA.

DUSABLE PARK SITE

SITE PLAN GROUND LEVEL  
Scale: 0 15 30 60 feet 1/32"=1'-0"



CHICAGO SPIRE  
CHICAGO, USA



SANTIAGO CALATRAVA  
ARCHITECT AND ENGINEER

1000 North Dearborn Street, Suite 1000  
Chicago, Illinois 60610  
Tel: 312.467.1000  
Fax: 312.467.1001  
www.santiagocalatrava.com

PERKINS  
WILL

THORNTON TOMASETTI  
*Thornton Tomasetti*

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007  
GROUND FLOOR PLAN  
OVERVIEW  
EXHIBIT # 11

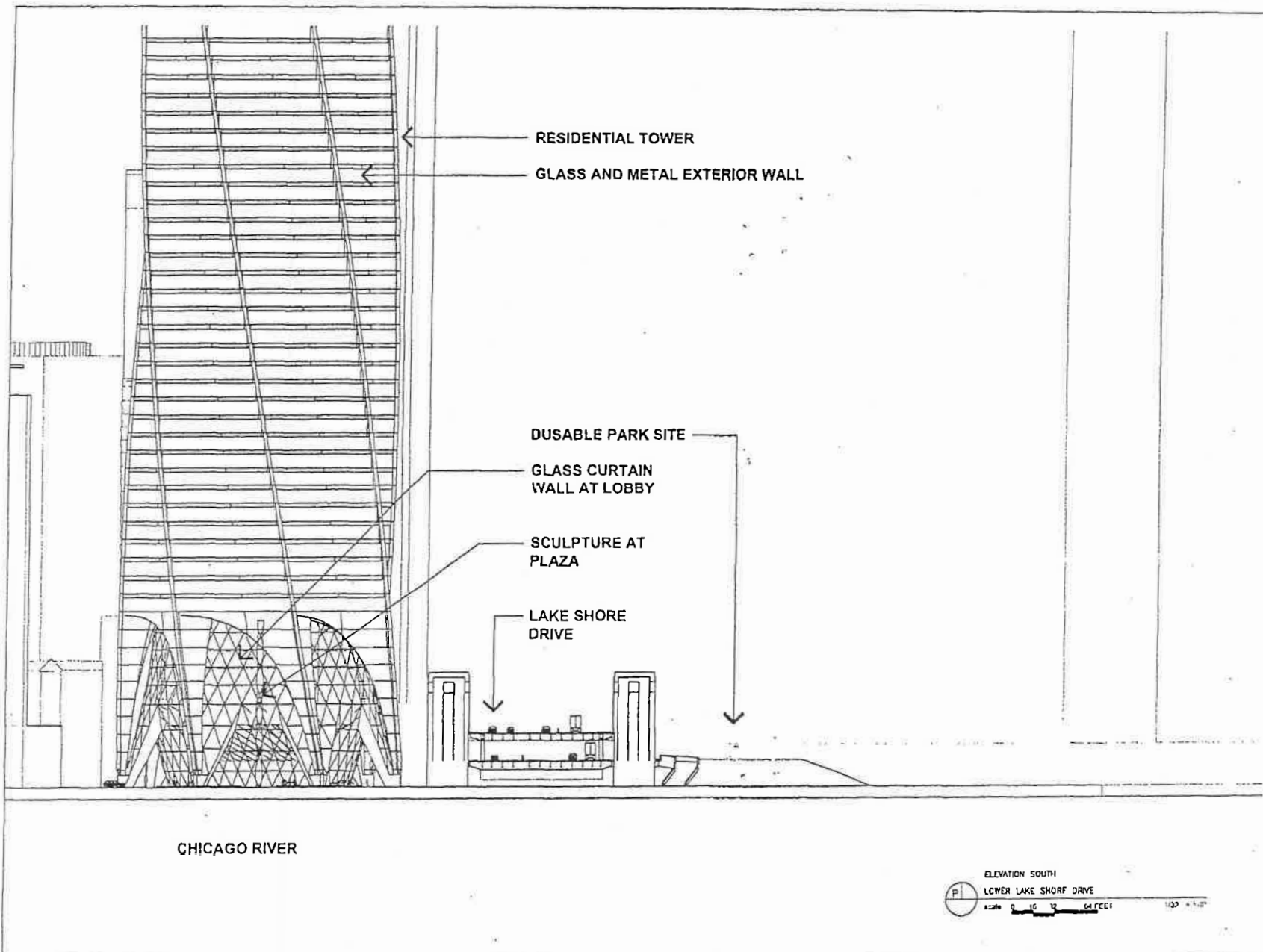
PROJECT NUMBER	
DATE	
DESIGNER	
CHECKED	
DATE	
SCALE	
PROJECT NAME	
SHEET NUMBER	
TOTAL SHEETS	

FINAL FOR PUBLICATION









ELEVATION SOUTH  
 LOWER LAKE SHORE DRIVE  
 SCALE 0 10 20 40 FEET 100 1:100

**Shelbourne**

**CHICAGO SPIRE**  
 CHICAGO USA

**SANTIAGO CALATRAVA**  
 ARCHITECT AND ENGINEER

**PERKINS  
 WILL**  
 Thornton Tomasetti

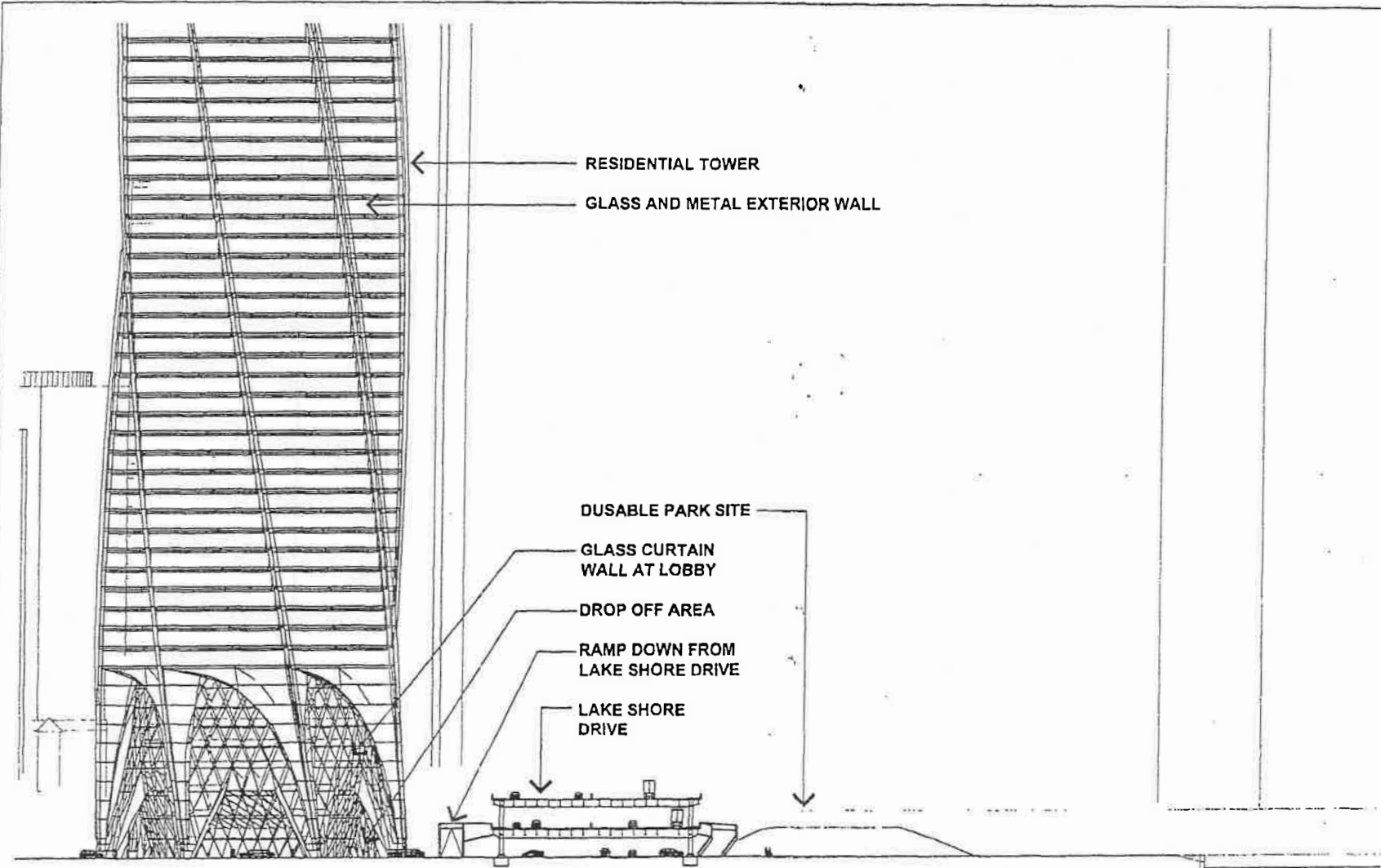
*Coventry*

PLAN DEVELOPMENT  
 SUBMITTAL  
 04.19.2007

PARTIAL ENLARGED  
 SOUTH ELEVATION  
 EXHIBIT # 15

DATE	DESCRIPTION	BY	APP'D

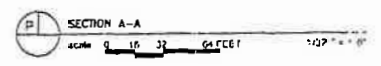
FINAL FOR PUBLICATION



RESIDENTIAL TOWER  
 GLASS AND METAL EXTERIOR WALL

DUSABLE PARK SITE  
 GLASS CURTAIN WALL AT LOBBY  
 DROP OFF AREA  
 RAMP DOWN FROM LAKE SHORE DRIVE  
 LAKE SHORE DRIVE

LAKE MICHIGAN



ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. DATE 04-19-2007 BY 60322/UC/STP/STP



CHICAGO SPIRE  
 CHICAGO, USA



Concept © Shelbourne Architects

SANTIAGO GALATRAVA  
 ARCHITECT AND PARTNER

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PERKINS  
 WILL

Thornton Tomasetti

*Covell*  
 THE DESIGN COMPANY

PLAN DEVELOPMENT  
 SUBMITTAL  
 04.19.2007

PARTIAL WEST-EAST  
 SITE SECTION  
 EXHIBIT # 16

DATE	DESCRIPTION
04.19.07	DESIGN DEVELOPMENT
05.01.07	SITE PLAN
05.01.07	SECTION A-A
05.01.07	SECTION B-B
05.01.07	SECTION C-C
05.01.07	SECTION D-D
05.01.07	SECTION E-E
05.01.07	SECTION F-F
05.01.07	SECTION G-G
05.01.07	SECTION H-H
05.01.07	SECTION I-I
05.01.07	SECTION J-J
05.01.07	SECTION K-K
05.01.07	SECTION L-L
05.01.07	SECTION M-M
05.01.07	SECTION N-N
05.01.07	SECTION O-O
05.01.07	SECTION P-P
05.01.07	SECTION Q-Q
05.01.07	SECTION R-R
05.01.07	SECTION S-S
05.01.07	SECTION T-T
05.01.07	SECTION U-U
05.01.07	SECTION V-V
05.01.07	SECTION W-W
05.01.07	SECTION X-X
05.01.07	SECTION Y-Y
05.01.07	SECTION Z-Z

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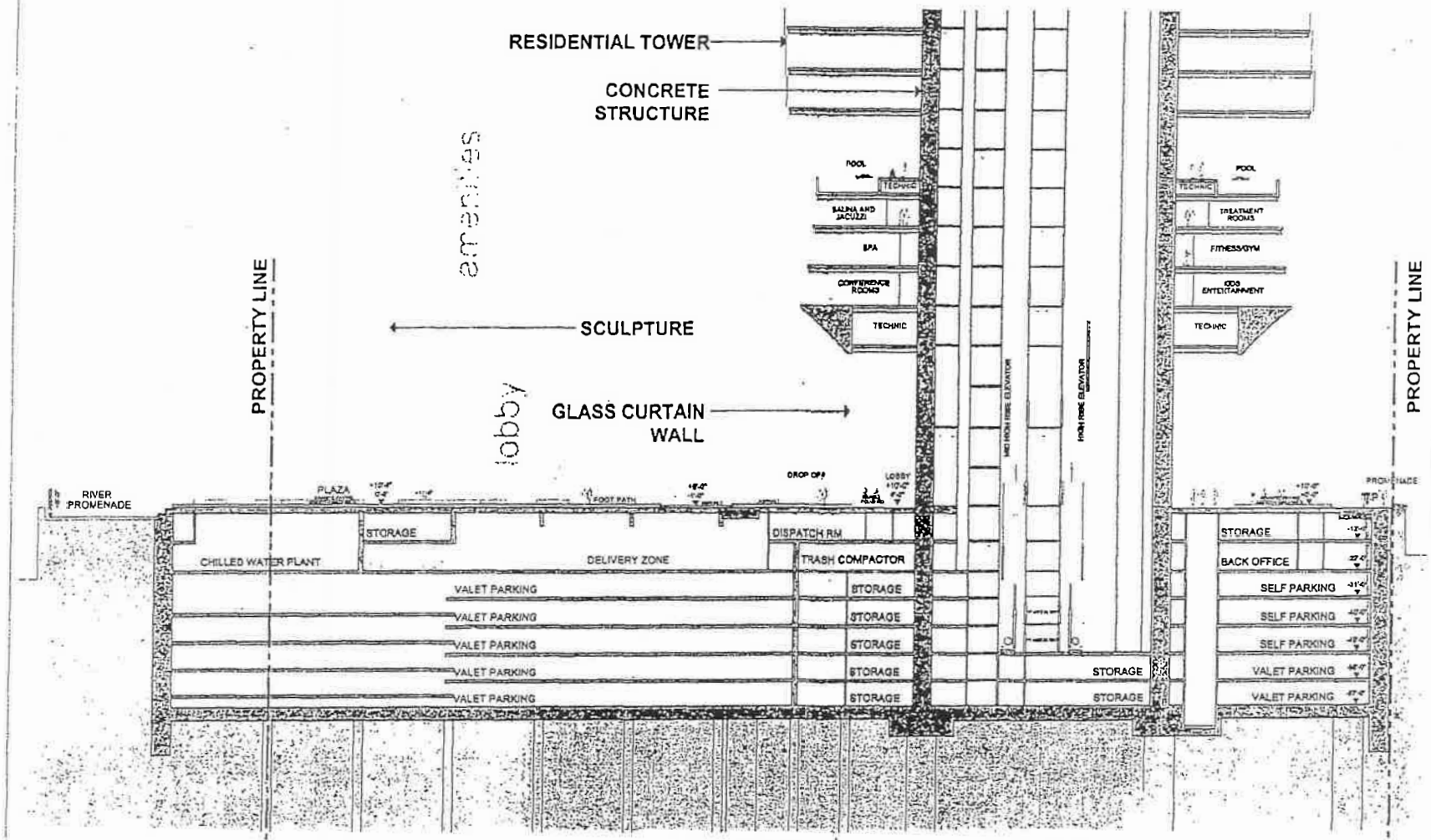
PERKINS  
WILL

Thornton Tomasetti

*Caroline*  
The Home Depot Group

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007

NORTH-SOUTH TOWER AND  
PARKING SECTION  
EXHIBIT # 19



**NORTH-SOUTH TOWER AND PARKING SECTION** K L N O  
Scale 0 = 16' = 32feet 1/16" = 1'-0"  
M

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← GLASS AND METAL EXTERIOR WALL

← GLASS CURTAIN WALL

LAKE SHORE DRIVE

UPPER LSD

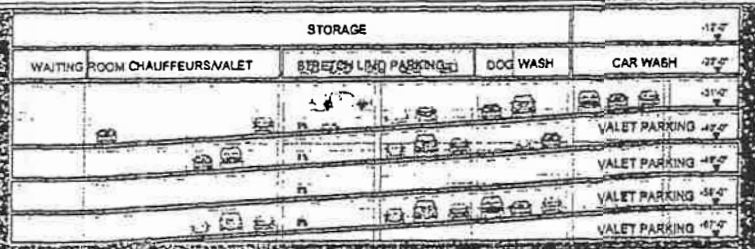
LOWER LSD

PICK UP

DROP OFF

PROPERTY LINE

PROPERTY LINE



WEST-EAST PARKING SECTION  
Scale: 0 8 16 32 feet 1/16" = 1'-0"



CHICAGO SPIRE  
CHICAGO USA



Chicago Spire, Chicago, IL, USA

SANTIAGO CALATRAVA  
ARCHITECTS ENGINEERS



ARCHITECTS ENGINEERS  
1000 N. LAKE SHORE DRIVE  
CHICAGO, IL 60611  
TEL: 312.467.1000  
WWW.CALATRAVA.COM

PERKINS  
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Thornton Tomasetti

Carroll  
ARCHITECTS

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007

WEST-EAST PARKING  
SECTION  
EXHIBIT # 20

DATE	04.19.2007
SCALE	1/16" = 1'-0"
SECTION	WEST-EAST PARKING SECTION
EXHIBIT	# 20
PROJECT	CHICAGO SPIRE
ARCHITECT	SANTIAGO CALATRAVA
ENGINEER	PERKINS WILL
ARCHITECT	THORNTON TOMASETTI
ARCHITECT	CARROLL ARCHITECTS
DATE	04.19.2007
SCALE	1/16" = 1'-0"
SECTION	WEST-EAST PARKING SECTION
EXHIBIT	# 20
PROJECT	CHICAGO SPIRE
ARCHITECT	SANTIAGO CALATRAVA
ENGINEER	PERKINS WILL
ARCHITECT	THORNTON TOMASETTI
ARCHITECT	CARROLL ARCHITECTS

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CHICAGO SPIRE  
CHICAGO USA



SANTIAGO CALATRAVA  
ARCHITECT AND ENGINEER



PERKINS  
WILL

Thornton Tomasetti

*Coverline*

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007

NORTH-SOUTH OVERVIEW  
SECTION  
EXHIBIT # 21

FUTURE DUSABLE PARK  
BEYOND LAKE SHORE DRIVE

UPPER LSD

LOWER LSD

NEW ACCESS RAMP FROM LAKE SHORE DRIVE

OGDEN SLIP

-1A

-1B

4'

4'

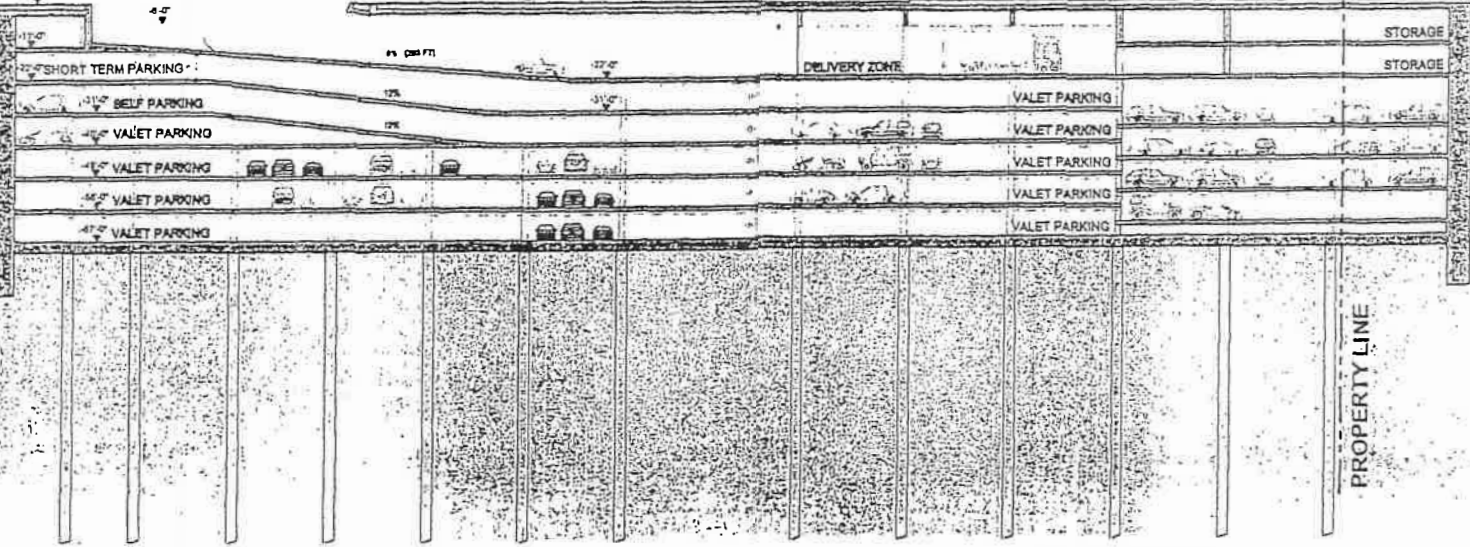
4'

4'

4'

PROPERTY LINE

PROPERTY LINE



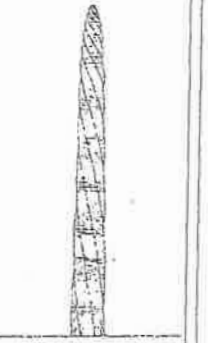
51 NORTH-SOUTH PARKING SECTION  
Scale 0 5 10 20 feet 1/8" = 1'-0"

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# CHICAGO SPIRE

CHICAGO, USA



## SANTIAGO CALATRAVA

ARCHITECT AND ENGINEER

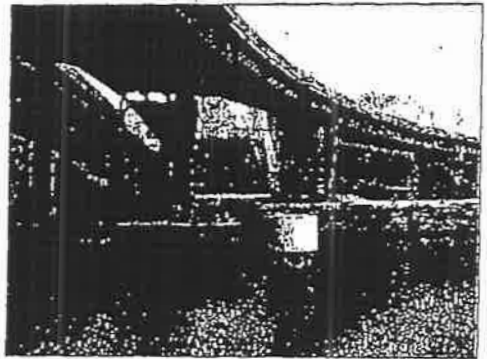
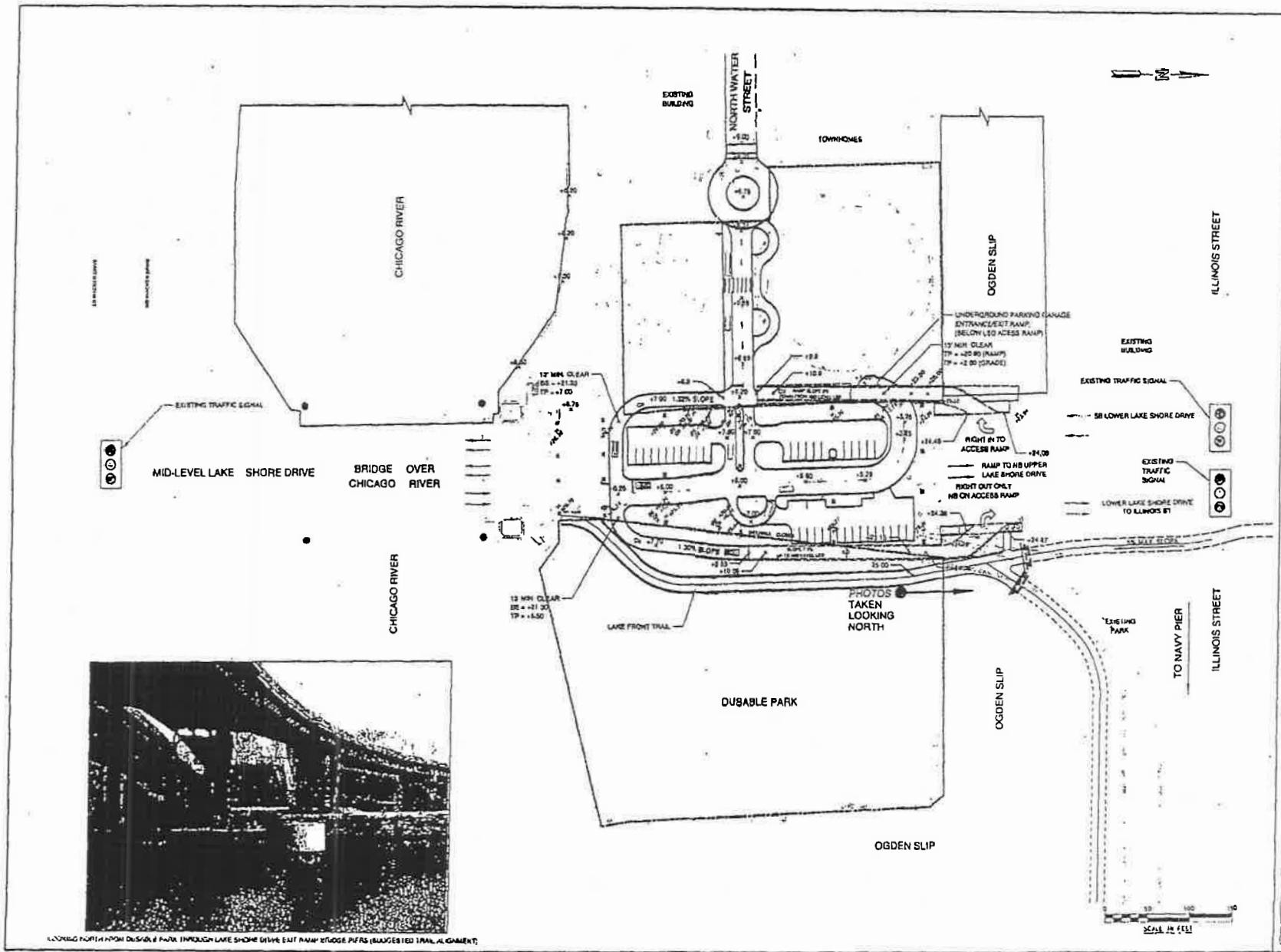
PERKINS WILL  
Thornton Tomasetti

PERKINS WILL  
Thornton Tomasetti  
*Carroll*

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007

LAKE FRONT TRAIL  
ALIGNMENT ALTERNATE 1  
EXHIBIT # 22

DATE	04/19/07
BY	...
CHECKED BY	...
SCALE	AS SHOWN
PROJECT	LAKE FRONT TRAIL ALIGNMENT ALTERNATE 1
SHEET	...



LOOKING NORTH FROM DUSABLE PARK THROUGH LAKE SHORE DRIVE EXIT RAMP BEHIND PERS (BLUESHED TRAIL ALIGNMENT)

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ARCHITECT AND ENGINEER

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Chicago, IL 60601  
Tel: 312.427.1000  
Fax: 312.427.1001  
www.perkinswill.com

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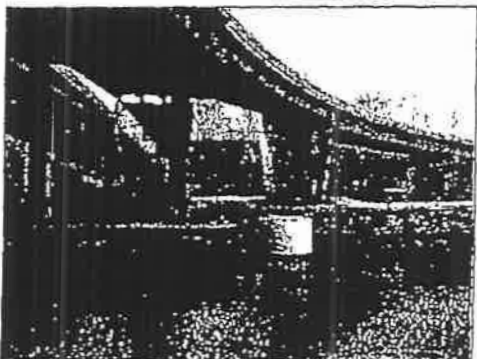
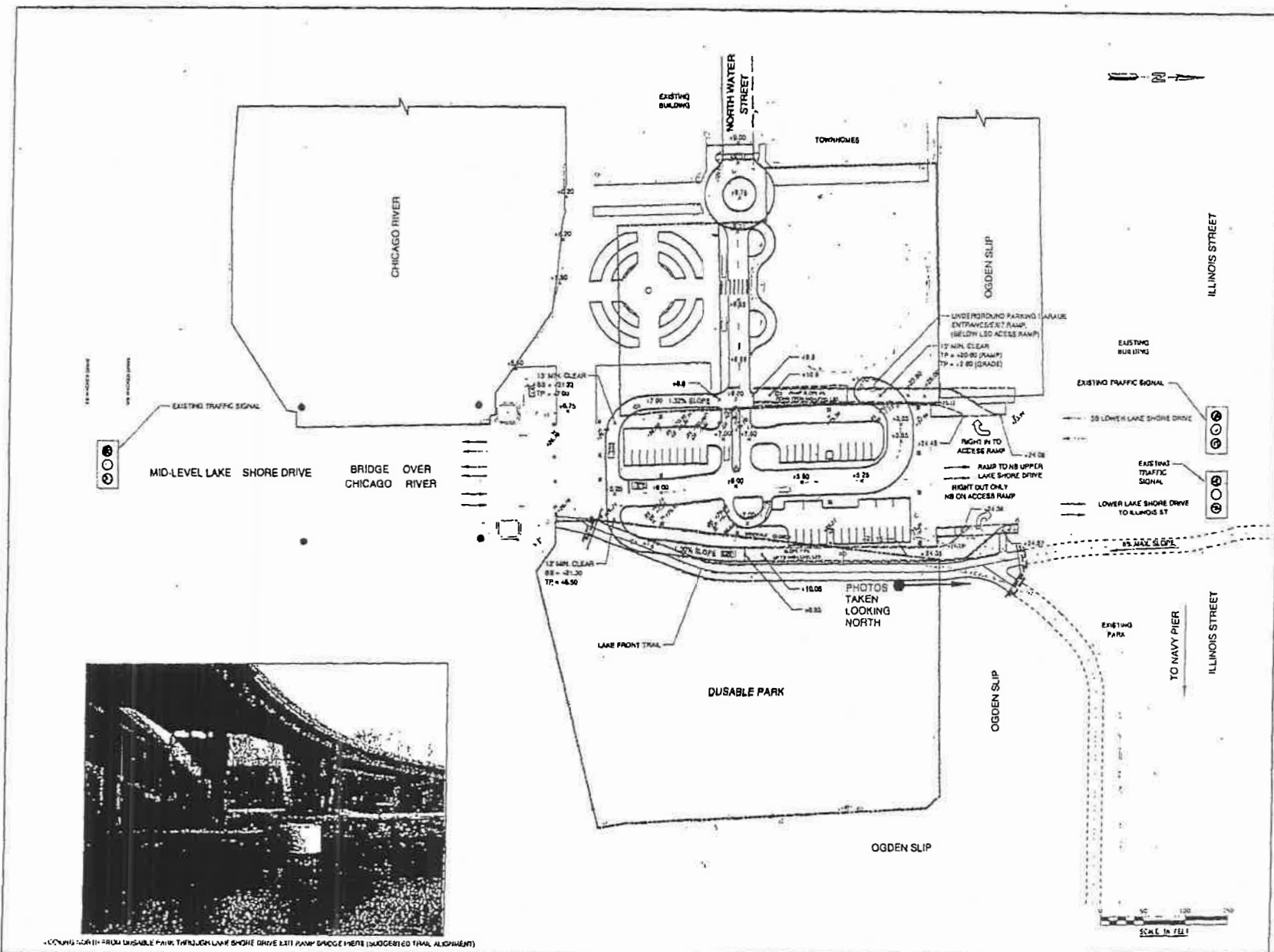
Thurston Tomasetti

*Creighton*  
CREIGHTON ENGINEERING

PLAN DEVELOPMENT  
SUBMITTAL  
04.19.2007

LAKE FRONT TRAIL  
ALIGNMENT ALTERNATE 2  
EXHIBIT # 23

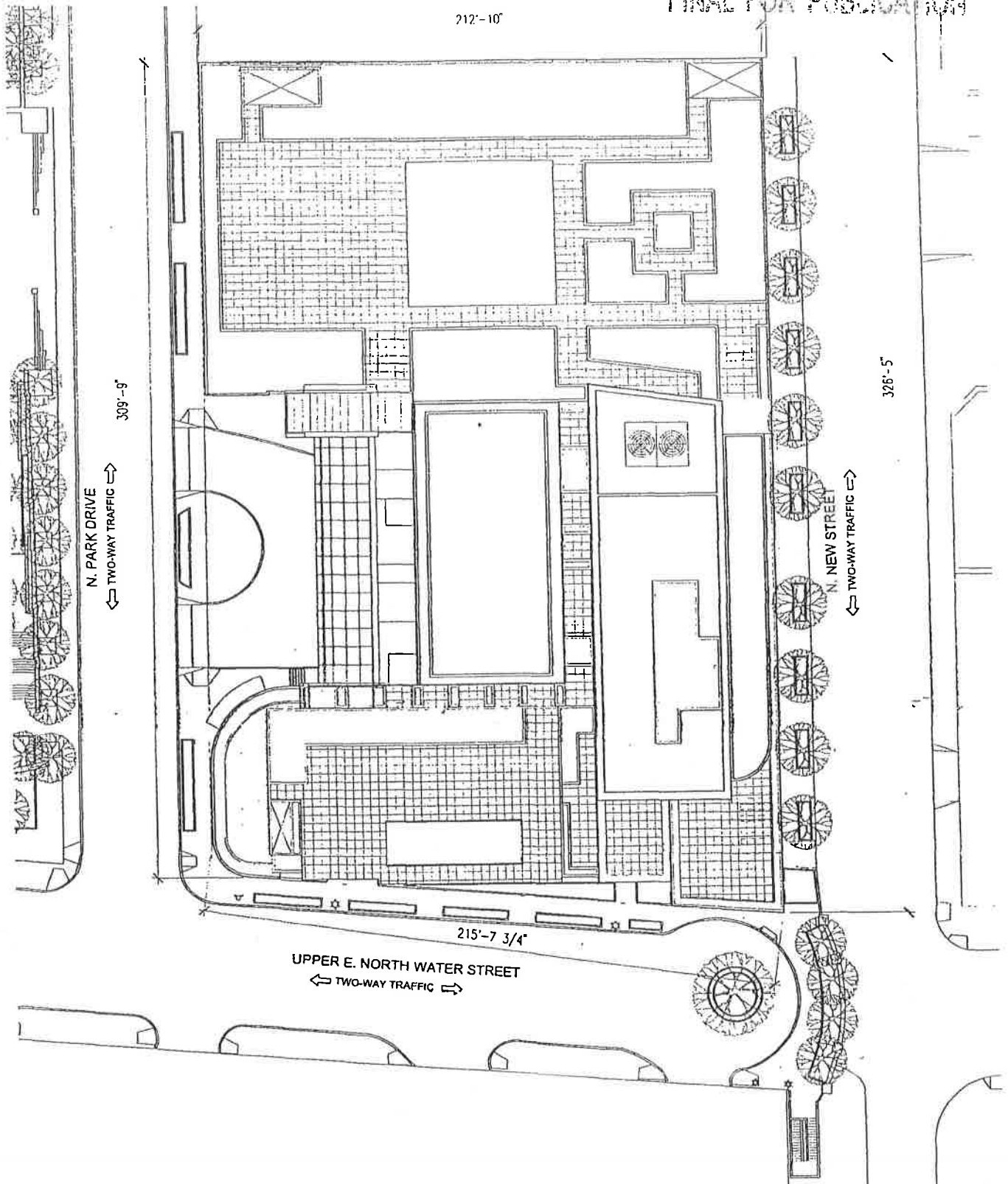
DESIGN DEVELOPER	PERKINS+WILL
LAKE FRONT TRAIL ALIGNMENT	ALTERNATE 2
DATE	04.19.2007
SCALE	AS SHOWN



LOOKING NORTH FROM DUSABLE PARK THROUGH LAKE SHORE DRIVE EAST RAMP BRIDGE HERE (SUGGESTED TRAIL ALIGNMENT)

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212'-10"



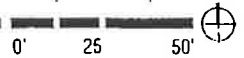
**OVERALL SITE PLAN**

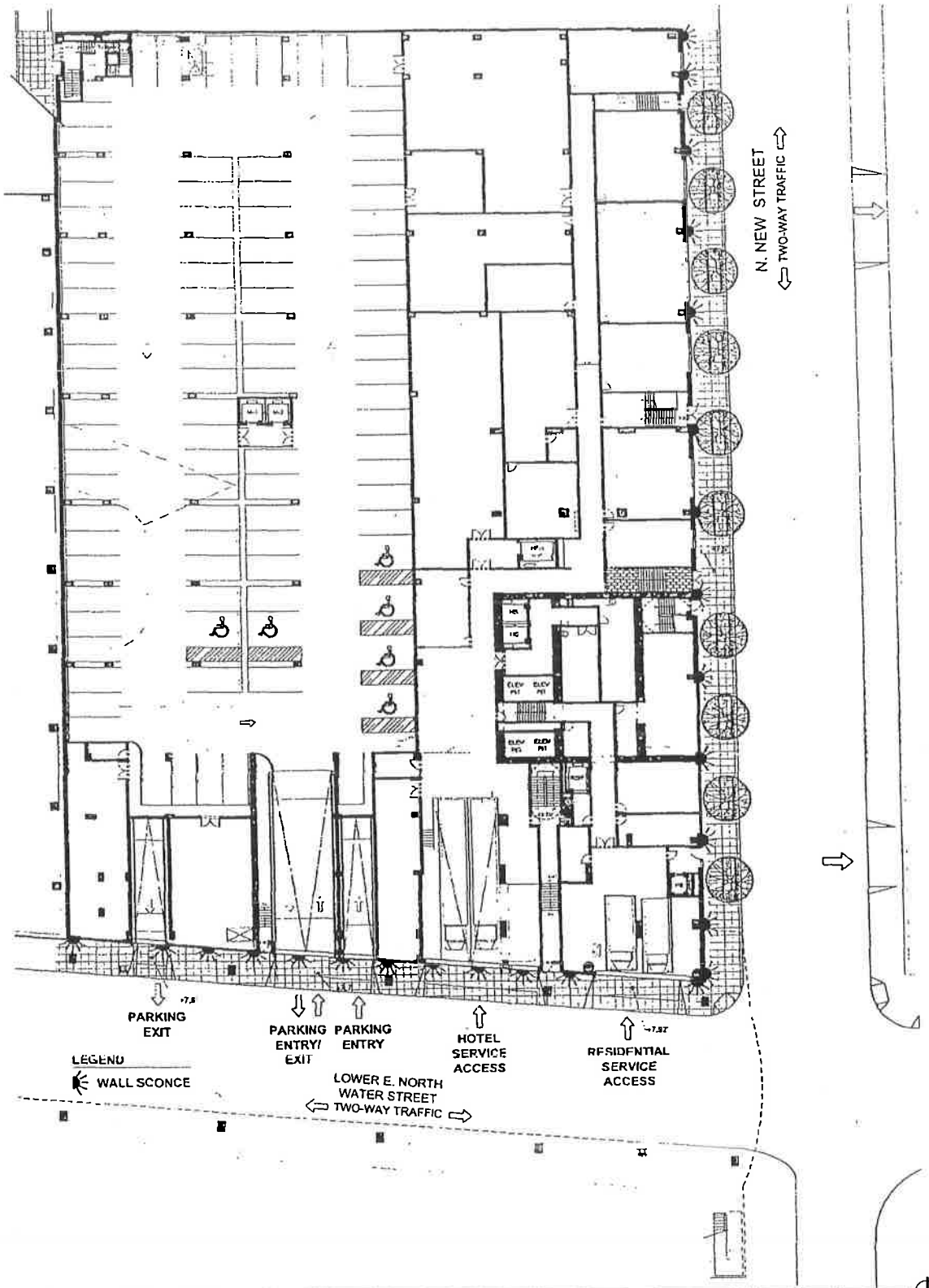


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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





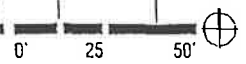
**LOWER E. NORTH  
WATER STREET PLAN**

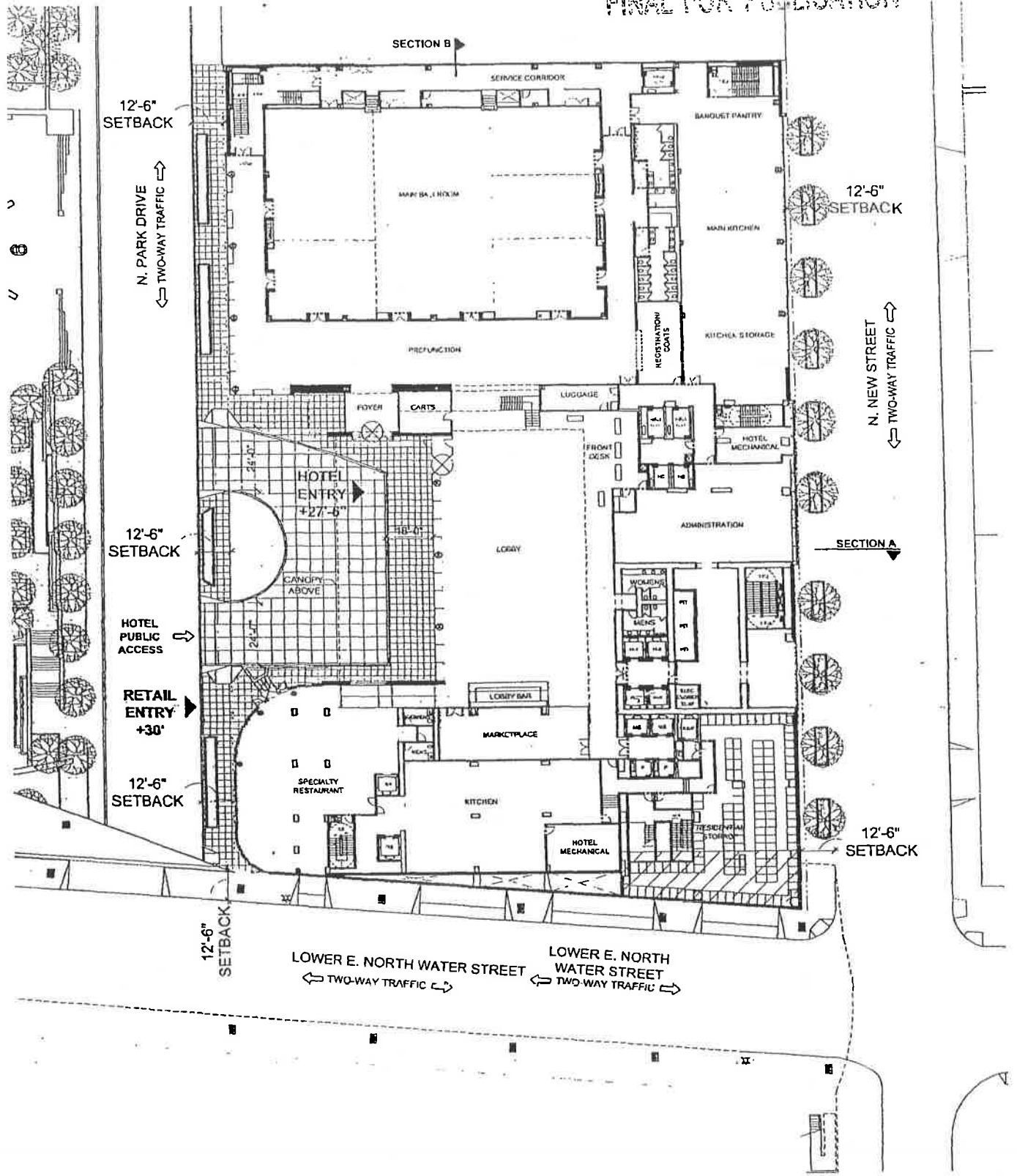


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**Date:** May 24, 2012  
**Revised:**





**NORTH PARK DRIVE  
STREET PLAN**

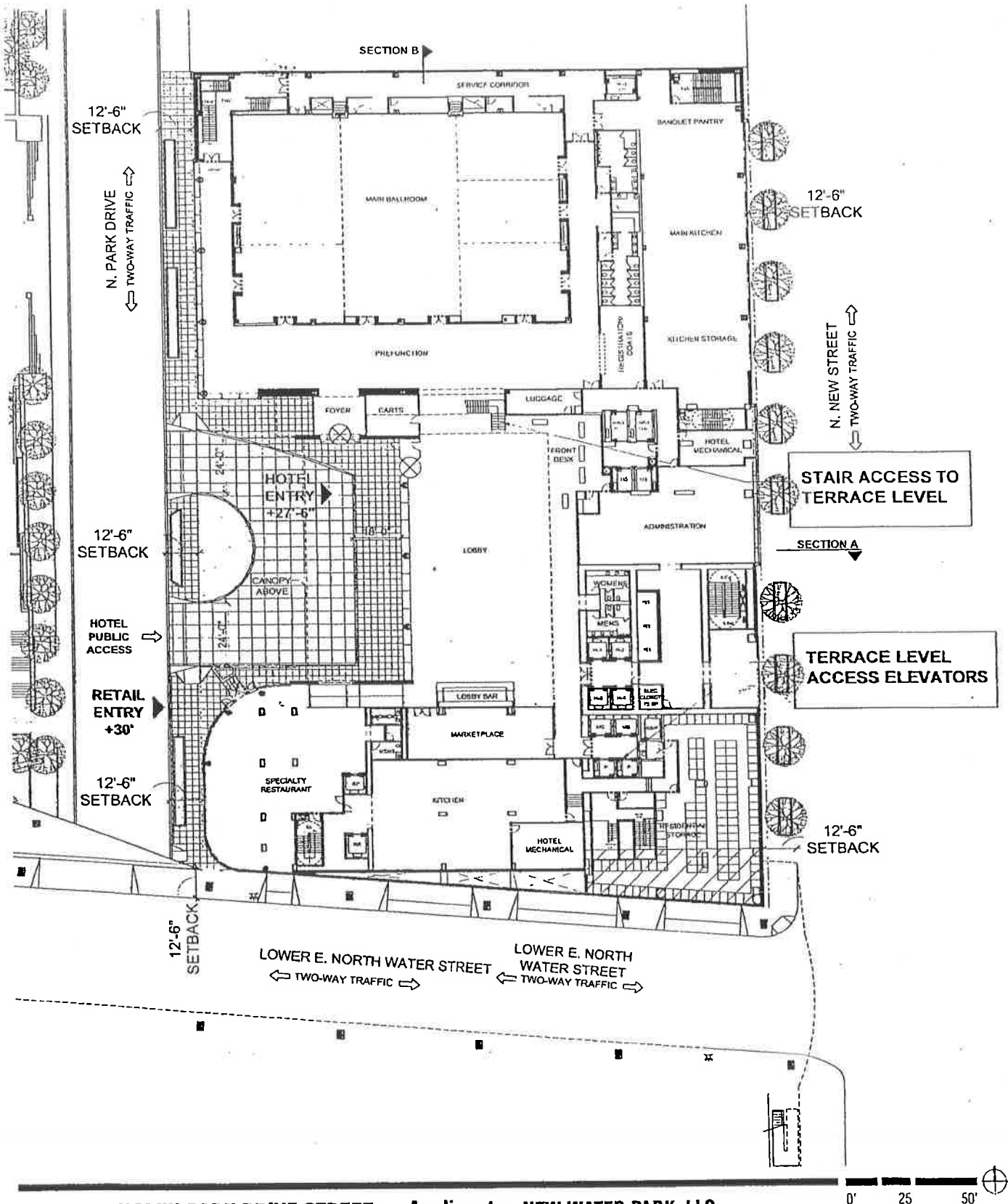


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**Date:** May 24, 2012  
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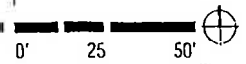
**NORTH PARK DRIVE STREET  
WAYFINDING PLAN**

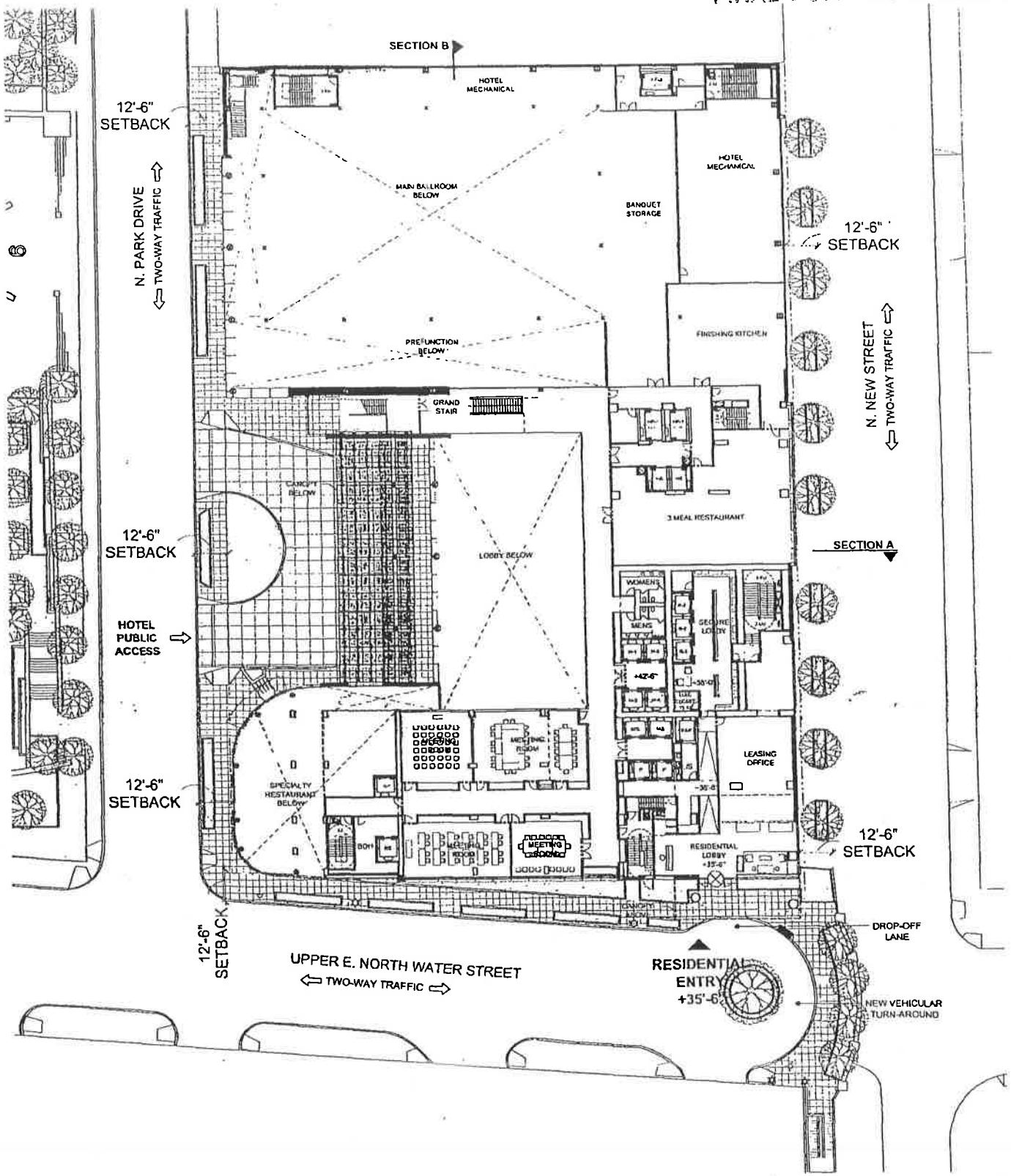


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**Date:** May 24, 2012  
**Revised:**





**UPPER E. NORTH WATER STREET PLAN**

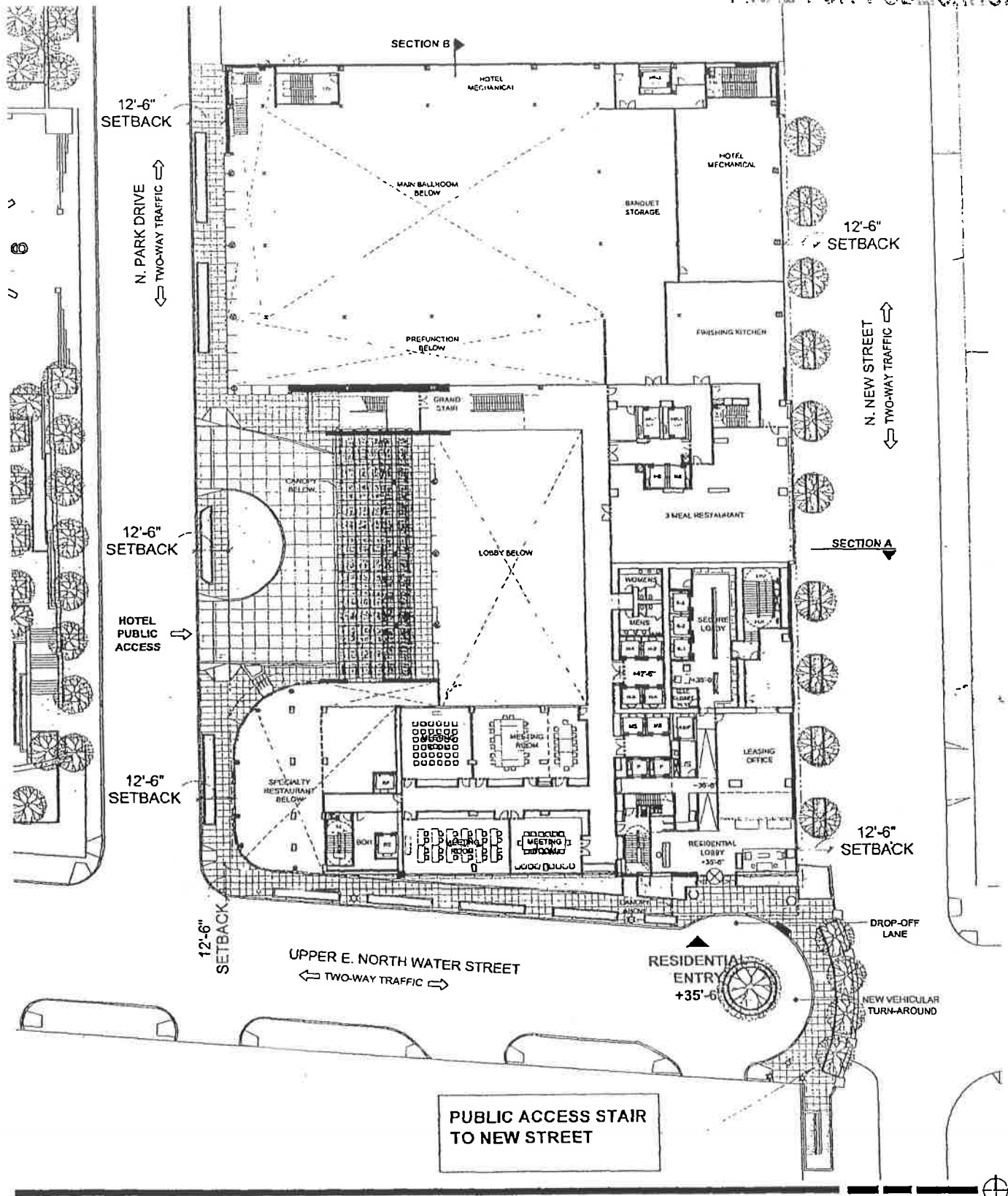


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**Address:** 320-42 E. Upper North Water St.;  
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 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





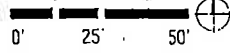
**UPPER E. NORTH WATER STREET WAYFINDING PLAN**

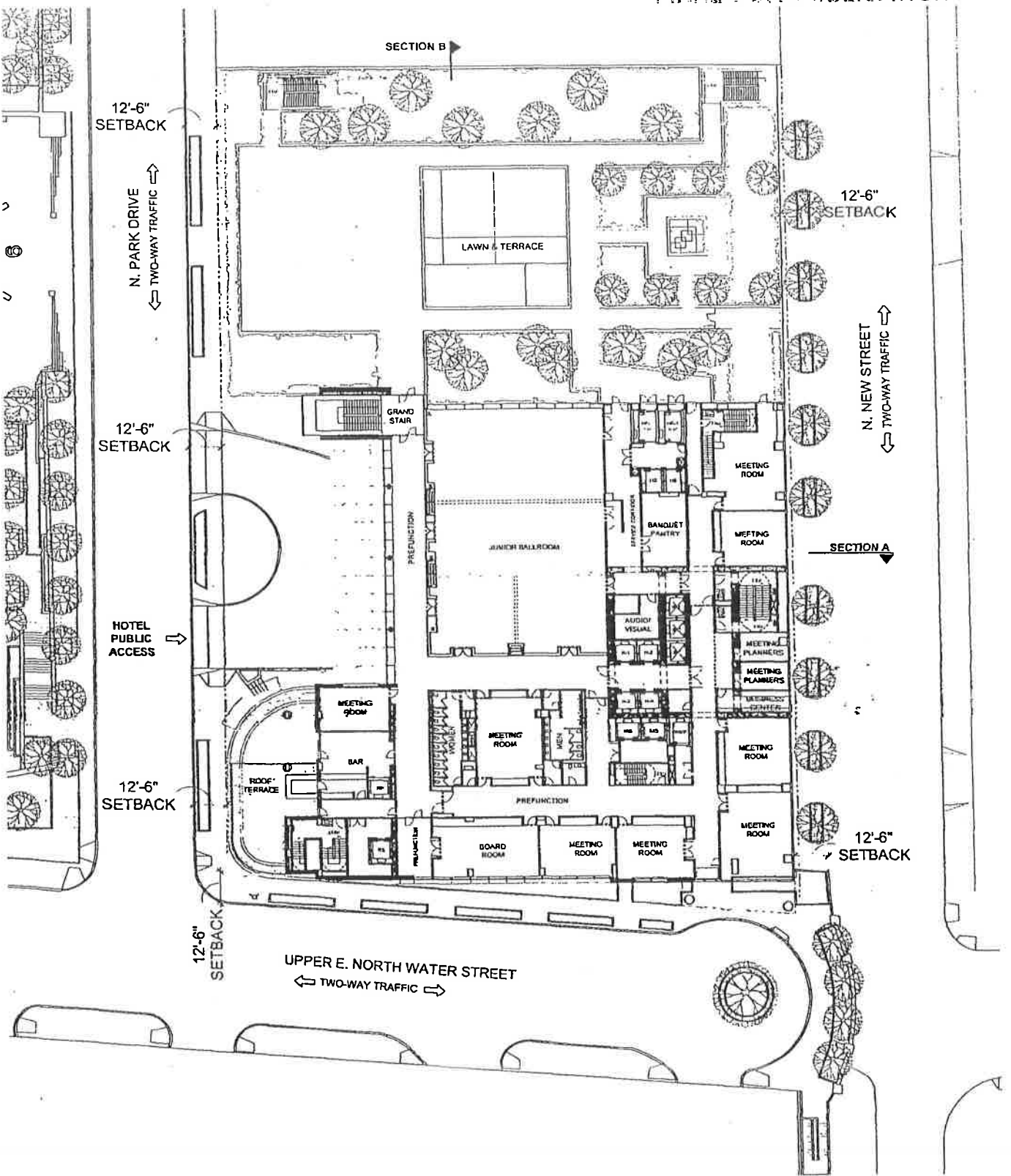


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**Address:** 320-42 E. Upper North Water St.;  
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 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





**TERRACE LEVEL PLAN**

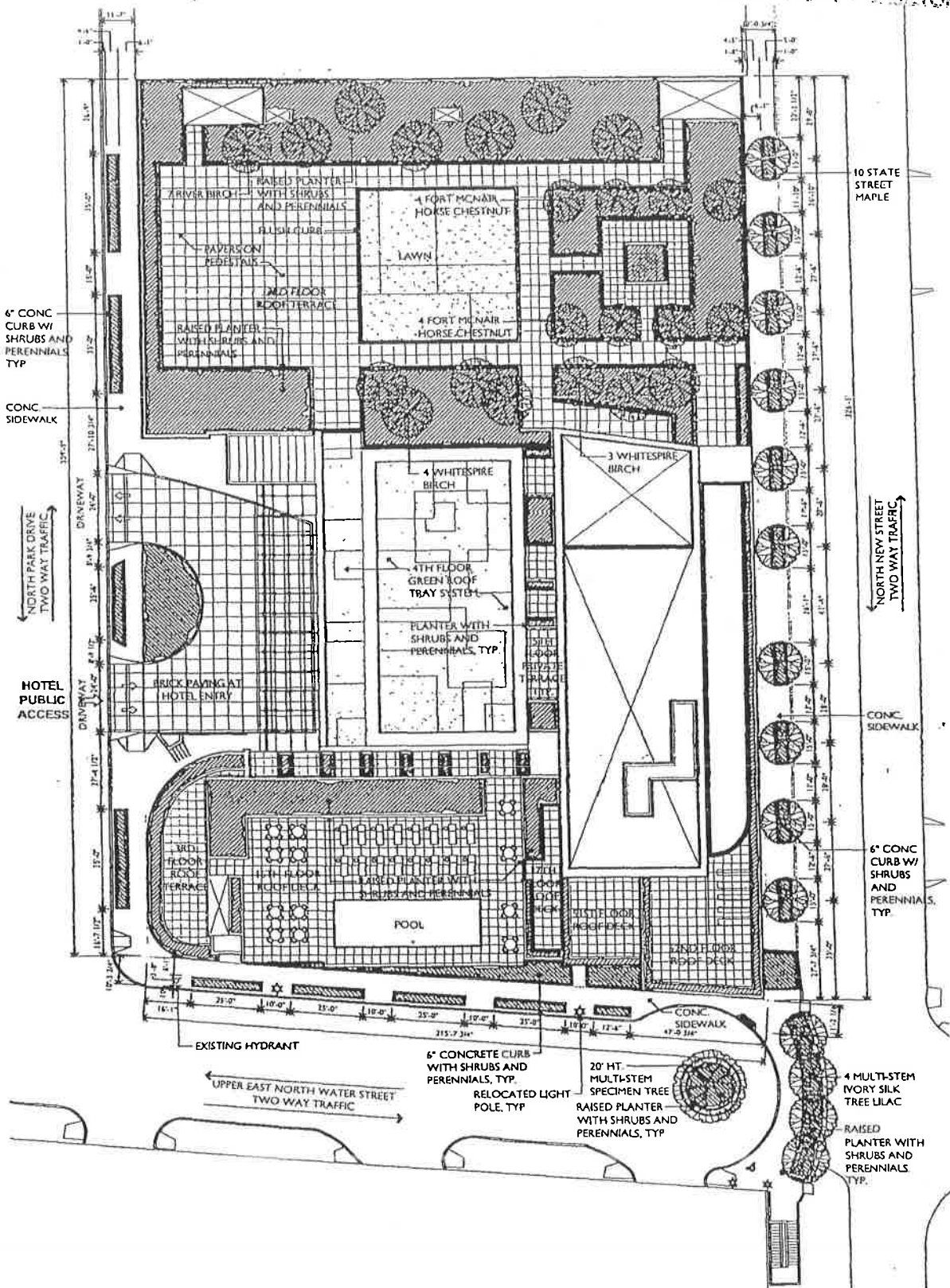


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 435-463 N. Park Dr.; &  
 432-62 N. New St.

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**Revised:**





**LANDSCAPE PLAN**

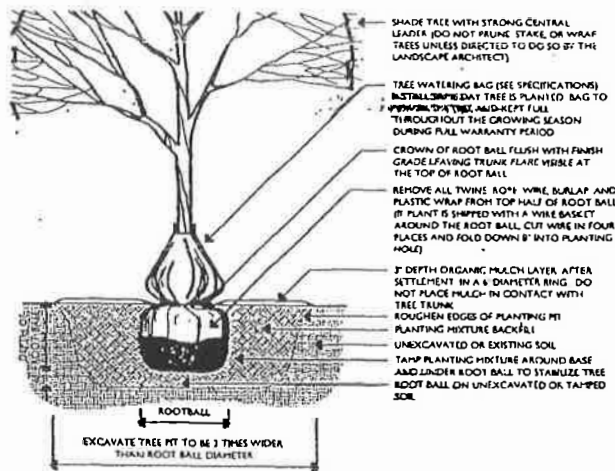


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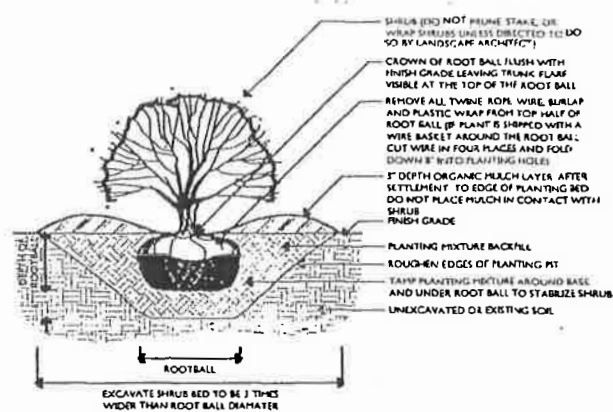
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

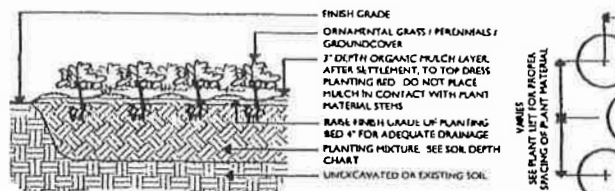




### 1 TREE INSTALLATION DETAIL



### 2 SHRUB INSTALLATION DETAIL



### 3 GROUNDCOVER AND PERENNIAL INSTALLATION DETAIL

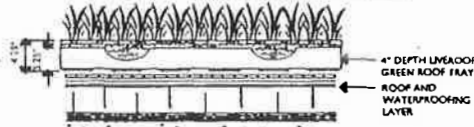
NOTE: THE CONTRACTOR IS TO SUPPLY SOIL FILL MATERIAL TO THE DEPTHS INDICATED ON THE CHART BELOW

LANDSCAPE AREAS	DEPTH IN INCHES
LAWN AREAS (SOD)	12
LAWN AREAS (SEED)	NA
PLANTING BEDS - PERENNIALS	18 PLANTING MIX
PLANTING BEDS - MEDIUM AND SMALL SHRUBS	18 PLANTING MIX
RAISED PLANTERS	48 PLANTING MIX
SHADE AND ORNAMENTAL TREES	PER TREE INSTALLATION DETAIL

#### PLANT LIST

NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

	CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL	HT	SPRD	ROOT	REMARKS
TREES	ACFM	AESCULUS X CARNEA 'FORT MCNAIR'	FORT MCNAIR HORSECHESTNUT	8	4"	-	-	B&B	SINGLE STRAIGHT TRUNK, SPECIMEN QUALITY
	AMHO	ACER MIYABEI 'MORTON'	STATE STREET MAPLE	10	4"	-	-	B&B	
	APEQ	ACER PLATANOIDES 'EMERALD QUEEN'	EMERALD QUEEN NORWAY MAPLE	-	4"	-	-	B&B	
	BN	BETULA NIGRA	RIVER BIRCH	7	-	16'	-	B&B	MULTI-STEM
	BPW	BETULA PLATYPHYLLA VAR. JAPONICA 'WHITESPIRE'	WHITESPIRE JAPANESE WHITE BIRCH	7	-	16'	-	B&B	4-5 STEMS
SHRUBS	SRIS	SYRINGA RETICULATA 'NOIR SILK'	NOIR SILK TREE LILAC	4	-	12'	-	B&B	
	DS	DIERVILLA SESSILIFOLIA	SOUTHERN BUSH HONEYSUCKLE	-	-	24"	-	#5	4'-0" ON CENTER
	JCSG	JUNIPERUS CHINENSIS SEA GREEN	SEA GREEN JUNIPER	-	-	24"	-	#5	4'-0" ON CENTER
	JHP	JUNIPERUS HORIZONTALIS	ANDORRA COMPACT JUNIPER	-	-	18"	-	#5	1'-0" ON CENTER
	POS	PHYSCARPUS OPULIFOLIUS 'SEWARD'	SUMMER WINE NINEBARK	-	-	36"	-	#5	4'-0" ON CENTER
	RAE	RIBES ALPINUM	ALPINE CURRANT	-	-	24"	-	#5	4'-0" ON CENTER
	RAGL	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	-	-	24"	-	#5	3'-0" ON CENTER
	RPKO	ROSA X 'PINK KNOCK OUT'	PINK KNOCKOUT ROSE	-	-	24"	-	#3	3'-0" ON CENTER
	RKKO	ROSA X 'RED KNOCK OUT'	RED KNOCKOUT ROSE	-	-	24"	-	#3	3'-0" ON CENTER
	SBG	SPIREA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	-	-	24"	-	B&B	3'-0" ON CENTER
TMW	TAXUS X MEDIA 'WARDII'	WARDS YEW	-	-	30"	-	B&B	3'-0" ON CENTER	
GRASSES	CAKF	CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'	KARL FORESTER FEATHER REED GRASS	-	-	-	-	#3	2'-0" ON CENTER
	MCM	MOUINA CAERULEA 'MOORFLAMME'	MOORFLAMME PURPLE MOOR GRASS	-	-	-	-	#1	1'-6" ON CENTER
	MSP	MISCANTHUS SINENSIS 'PURPURASCENS'	PURPLE MAIDEN GRASS	-	-	-	-	#3	3'-0" ON CENTER
	PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH RED SWITCH GRASS	-	-	-	-	#1	2'-0" ON CENTER
	PAH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	-	-	-	-	#1	2'-0" ON CENTER
PERENNIALS / GROUNDCOVER	SH	SPOROBOLUS HETEROLEPIS	PLAIRIE DROSFEE	-	-	-	-	#1	1'-6" ON CENTER
	EFC	EUONYMUS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	-	-	-	-	QT	1'-0" ON CENTER
	EPM	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	-	-	-	-	#1	1'-6" ON CENTER
	HSM	HEMEROCALLIS SPECIES MIX	DAYLILY	-	-	-	-	#1	1'-6" ON CENTER
	NF	NEPETA X FAASSENII	CATMINT	-	-	-	-	#1	1'-6" ON CENTER
	PCJ	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	-	-	-	-	#1	3'-0" ON CENTER



### 4 4" DEPTH LIVEROOF GREEN ROOF TRAY

L-2  
PLANT LIST  
AND DETAILS

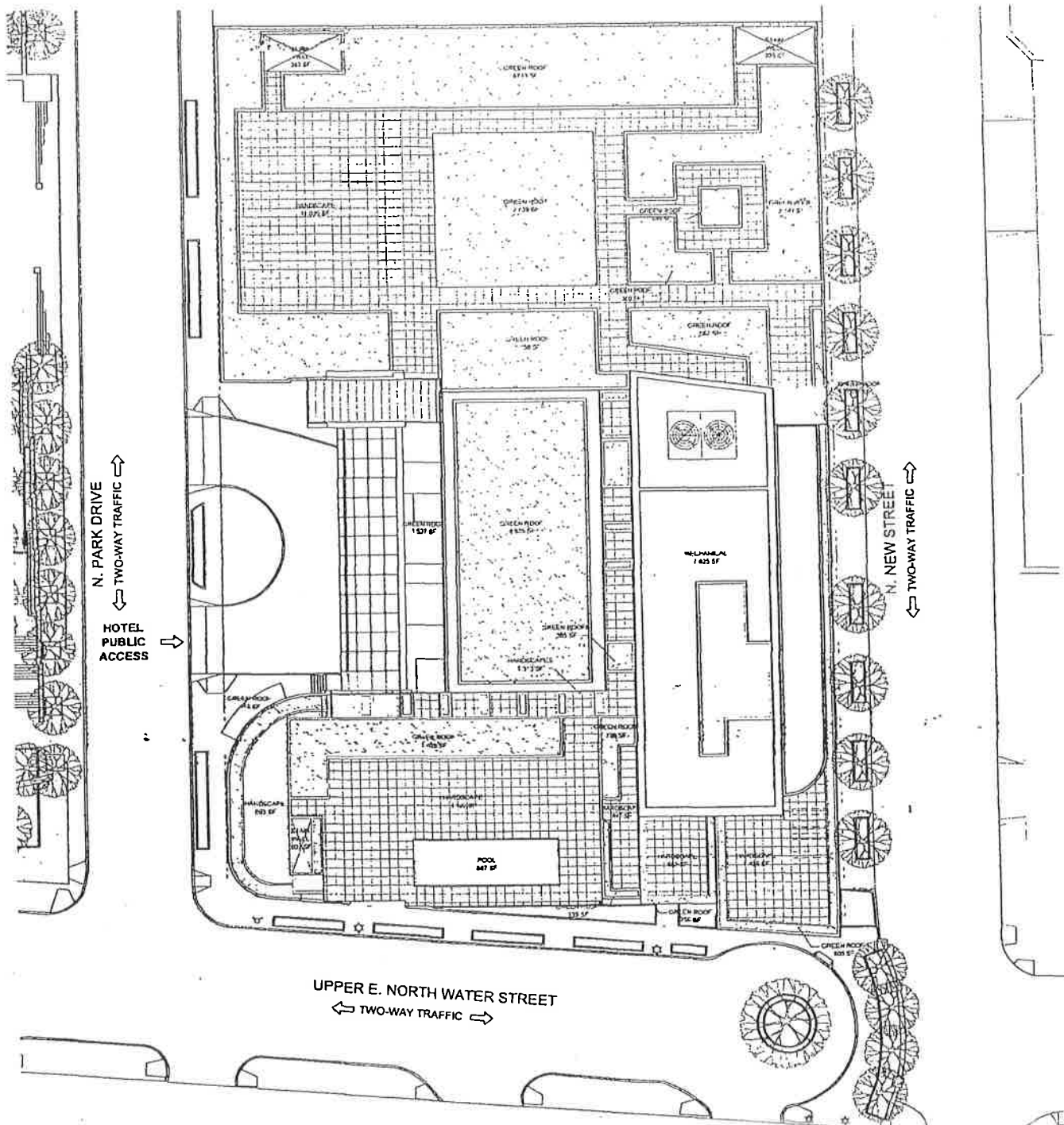


### PLANT LIST & LANDSCAPE DETAILS



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Applicant: **NEW WATER PARK, LLC**  
 Address: **320-42 E. Upper North Water St.;  
 435-463 N. Park Dr.; &  
 432-62 N. New St.**

Date: **May 24, 2012**  
 Revised:



TOTAL GREEN ROOF AREA: 25,900 SF  
 PERCENTAGE OF GREEN ROOF AREA: 51.8%

-  DENOTES GREEN AREA
-  DENOTES HANDSCAPE AREA

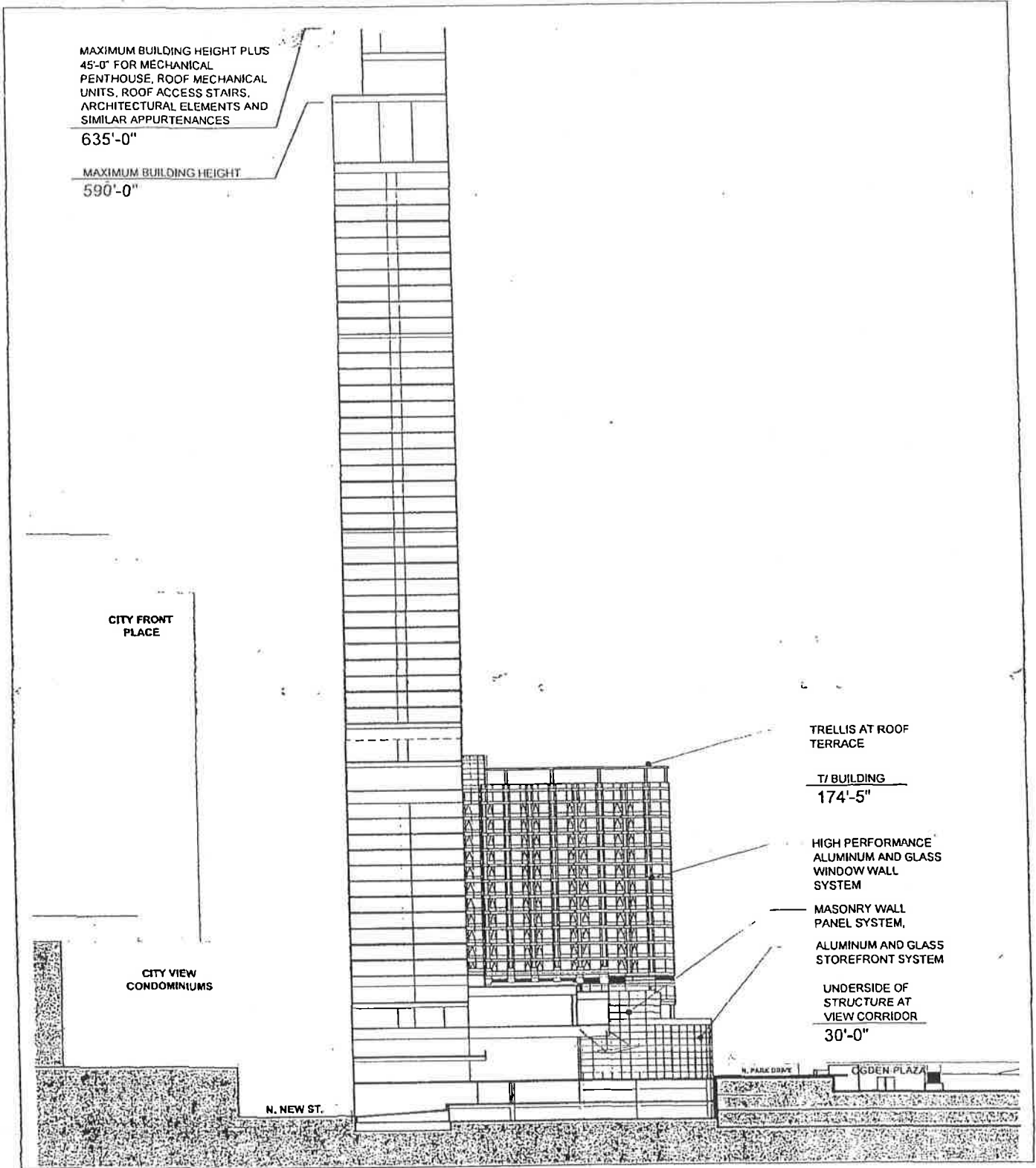
**GREEN ROOF PLAN**



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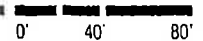
**Date:** May 24, 2012  
**Revised:**

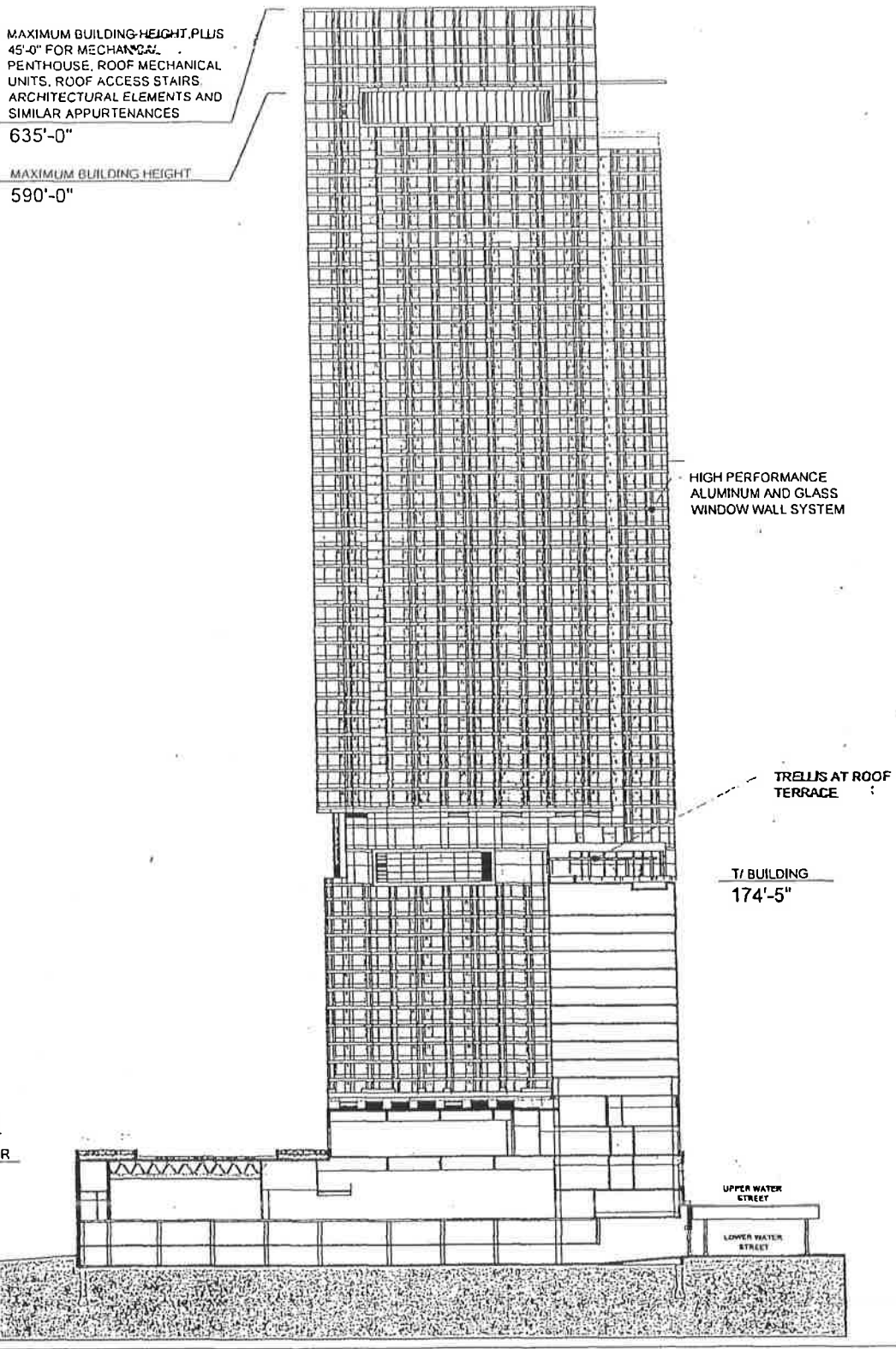


**OVERALL SECTION A AND PARTIAL NORTH ELEVATION**

**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.; 435-463 N. Park Dr.; & 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**





**WEST ELEVATION AT  
TOWER AND PARTIAL  
NORTH-SOUTH SECTION B**



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**Address:** 320-42 E. Upper North Water St.;  
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 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0' 40' 80'

FINAL FOR PUBLICATION

MAXIMUM BUILDING HEIGHT PLUS  
45'-0" FOR MECHANICAL  
PENTHOUSE, ROOF MECHANICAL  
UNITS, ROOF ACCESS STAIRS,  
ARCHITECTURAL ELEMENTS AND  
SIMILAR APPURTENANCES

635'-0"

MAXIMUM BUILDING HEIGHT

590'-0"

RIVER EAST  
CENTER

HIGH PERFORMANCE  
ALUMINUM AND GLASS  
WINDOW WALL SYSTEM

EMBASSY  
SUITES HOTEL

TRELLIS AT ROOF  
TERRACE

T/ BUILDING  
174'-5"

MASONRY WALL  
PANEL SYSTEM

GLASS AND METAL  
STORE FRONT  
SYSTEM

UNDERSIDE OF STRUCTURE  
AT VIEW CORRIDOR  
30'-0"

N. PARK DRIVE

MASONRY WALL  
PANEL SYSTEM

ARCHITECTURAL  
CANOPY

CITY VIEW  
CONDOMINIUMS

PEDESTRIAN ENTRY

N. NEW  
STREET

PARKING EXIT  
PARKING ENTRY/EXIT

LOADING ENTRY  
PARKING ENTRY

UPPER E. NORTH  
WATER STREET

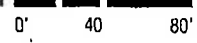
**SOUTH ELEVATION**



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**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
435-463 N. Park Dr.; &  
432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**



FINAL FOR PUBLICATION

MAXIMUM BUILDING HEIGHT PLUS  
45'-0" FOR MECHANICAL  
PENTHOUSE, ROOF MECHANICAL  
UNITS, ROOF ACCESS STAIRS,  
ARCHITECTURAL ELEMENTS AND  
SIMILAR APPURTENANCES

635'-0"

MAXIMUM BUILDING HEIGHT  
590'-0"

BUILDING ELEVATION BEYOND  
SEE EXHIBIT "WEST ELEVATION  
AT TOWER AND PARTIAL  
NORTH-SOUTH SECTION"

HIGH PERFORMANCE  
ALUMINUM AND GLASS  
WINDOW WALL SYSTEM

CITY FRONT  
PLACE

TRELLIS AT ROOF  
TERRACE

T/ BUILDING  
174'-5"

HIGH PERFORMANCE  
ALUMINUM AND GLASS  
WINDOW WALL SYSTEM

GLASS AND METAL  
STOREFRONT  
SYSTEM

ARCHITECTURAL  
CANOPY

SHERATON  
HOTEL

GLASS AND METAL  
STOREFRONT SYSTEM

MASONRY WALL  
PANEL SYSTEM

CITY VIEW  
CONDOMINIUMS

UNDERSIDE OF STRUCTURE  
AT VIEW CORRIDOR  
30'-0"

UPPER E. NORTH  
WATER STREET

LOWER E.  
NORTH WATER  
STREET

PEDESTRIAN ENTRY

0' 40' 80'

### WEST ELEVATION AT NORTH PARK DRIVE



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**Revised:**

MAXIMUM BUILDING HEIGHT PLUS 45'-0" FOR MECHANICAL PENTHOUSE, ROOF MECHANICAL UNITS, ROOF ACCESS STAIRS, ARCHITECTURAL ELEMENTS AND SIMILAR APPURTENANCES  
635'-0"

MAXIMUM BUILDING HEIGHT  
590'-0"

HIGH PERFORMANCE ALUMINUM AND GLASS WINDOW WALL SYSTEM

CITY FRONT PLACE

SHERATON HOTEL

BUILDING ELEVATION BEYOND SEE EXHIBIT "OVERALL SECTION A AND PARTIAL NDRTH ELEVATION"

T/BUILDING  
174'-5"

HIGH PERFORMANCE ALUMINUM AND GLASS WINDOW WALL SYSTEM

MASONRY WALL PANEL SYSTEM

GLASS AND METAL WINDOWS

UNDERSIDE OF STRUCTURE AT VIEW CORRIDOR  
30'-0"

CITY VIEW CONDOMINIUMS

N. NEW STREET

N. PARK DRIVE

OGDEN PLAZA

N. COLUMBUS DRIVE

### NORTH ELEVATION



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432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

0' 40' 80'

MAXIMUM BUILDING HEIGHT PLUS  
45'-0" FOR MECHANICAL  
PENTHOUSE, ROOF MECHANICAL  
UNITS, ROOF ACCESS STAIRS,  
ARCHITECTURAL ELEMENTS AND  
SIMILAR APPURTENANCES

635'-0"

MAXIMUM BUILDING HEIGHT

590'-0"

HIGH PERFORMANCE  
ALUMINUM AND GLASS  
WINDOW WALL SYSTEM

CHICAGO  
TRIBUNE  
TOWER

HIGH PERFORMANCE  
ALUMINUM AND GLASS  
WINDOW WALL SYSTEM

GLASS AND METAL  
STOREFRONT SYSTEM

GLASS AND METAL  
STOREFRONT SYSTEM

GLASS AND  
METAL WINDOWS

GLASS AND METAL WINDOWS

MASONRY WALL  
PANEL SYSTEM

SHERATON  
HOTEL

UPPER E. NORTH  
WATER STREET

LOWER E.  
NORTH WATER  
STREET

UNDERSIDE OF STRUCTURE  
AT VIEW CORRIDOR  
30'-0"

PEDESTRIAN ENTRY

**EAST ELEVATION**

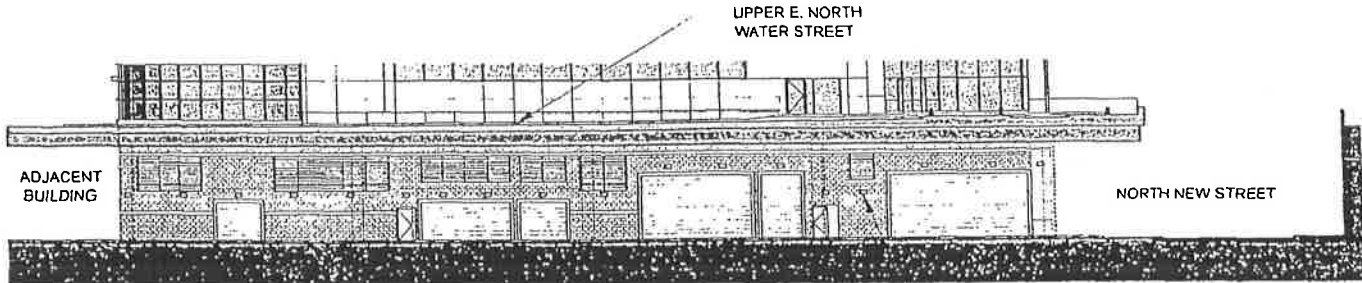
**Applicant:** NEW WATER PARK, LLC  
**Address:** 320-42 E. Upper North Water St.;  
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432-62 N. New St.

0' 40' 80'



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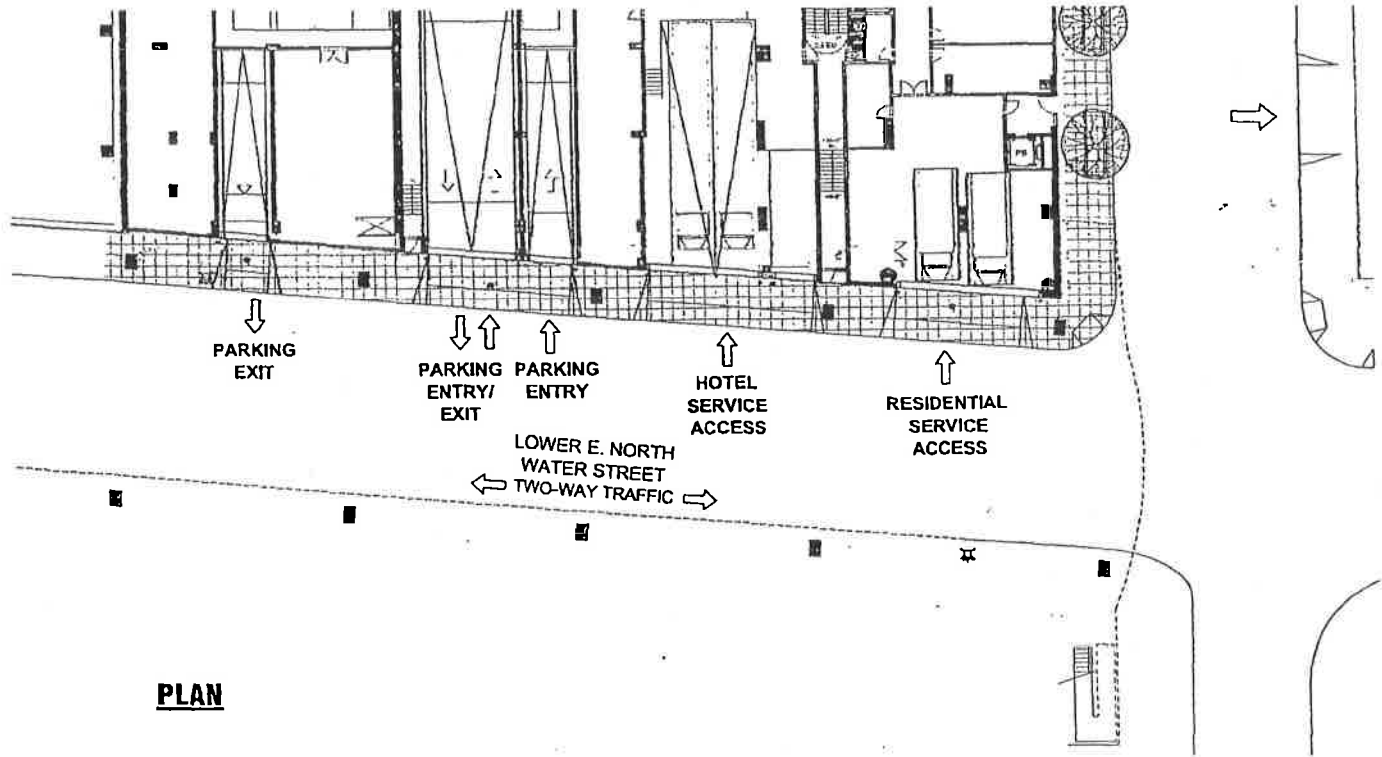
**Date:** May 24, 2012  
**Revised:**



**ELEVATION**

LOWER E. NORTH WATER STREET

FACADE LIGHTING, TYP. (AVG. 2 FOOT CANDLES AT SIDEWALK)



**PLAN**



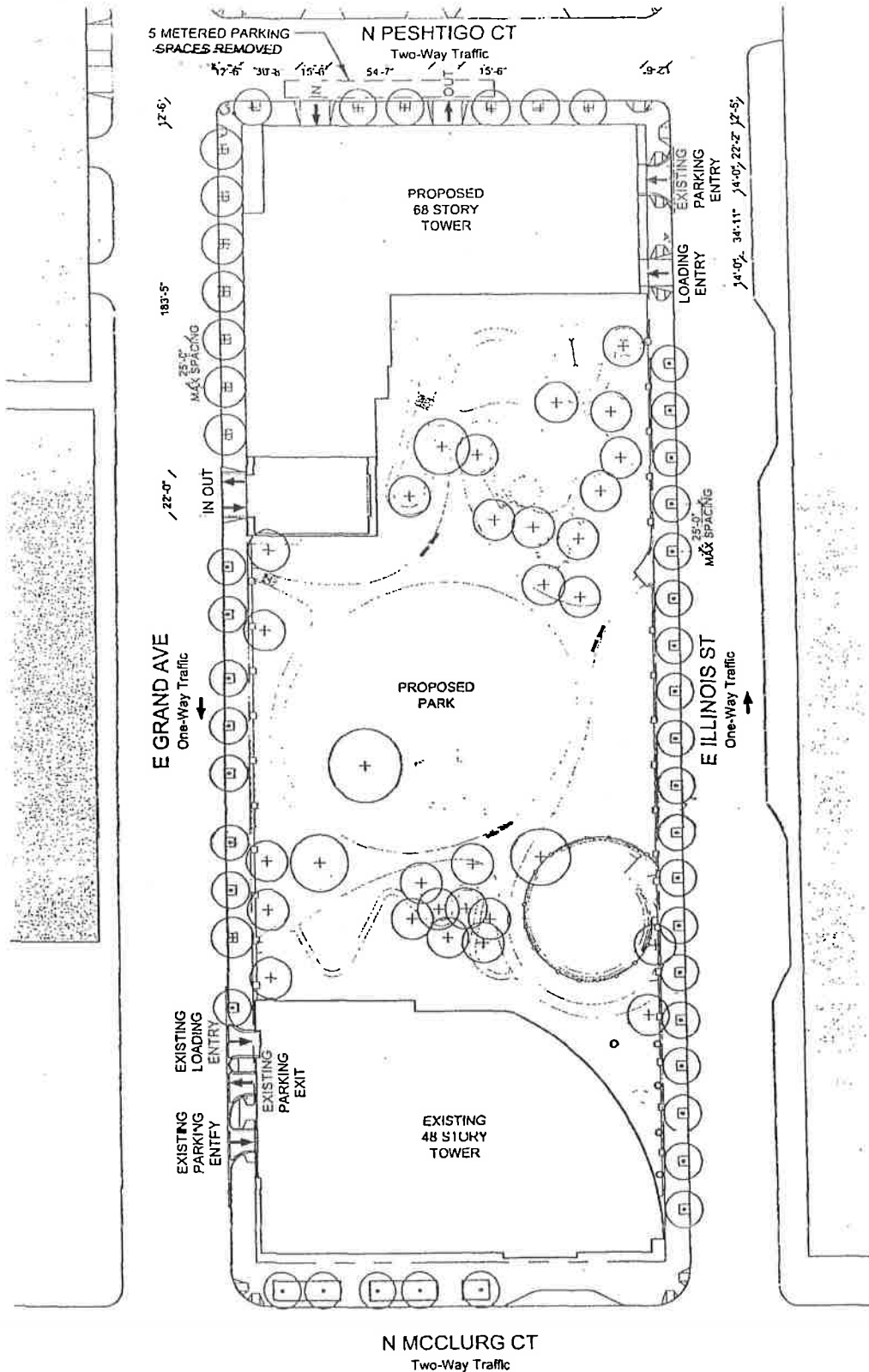
**PROPOSED LOWER E.  
NORTH WATER STREET  
PLAN & ELEVATION  
WITH LIGHTING CONCEPT**

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**Applicant:** NEW WATER PARK, LLC  
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 432-62 N. New St.

**Date:** May 24, 2012  
**Revised:**

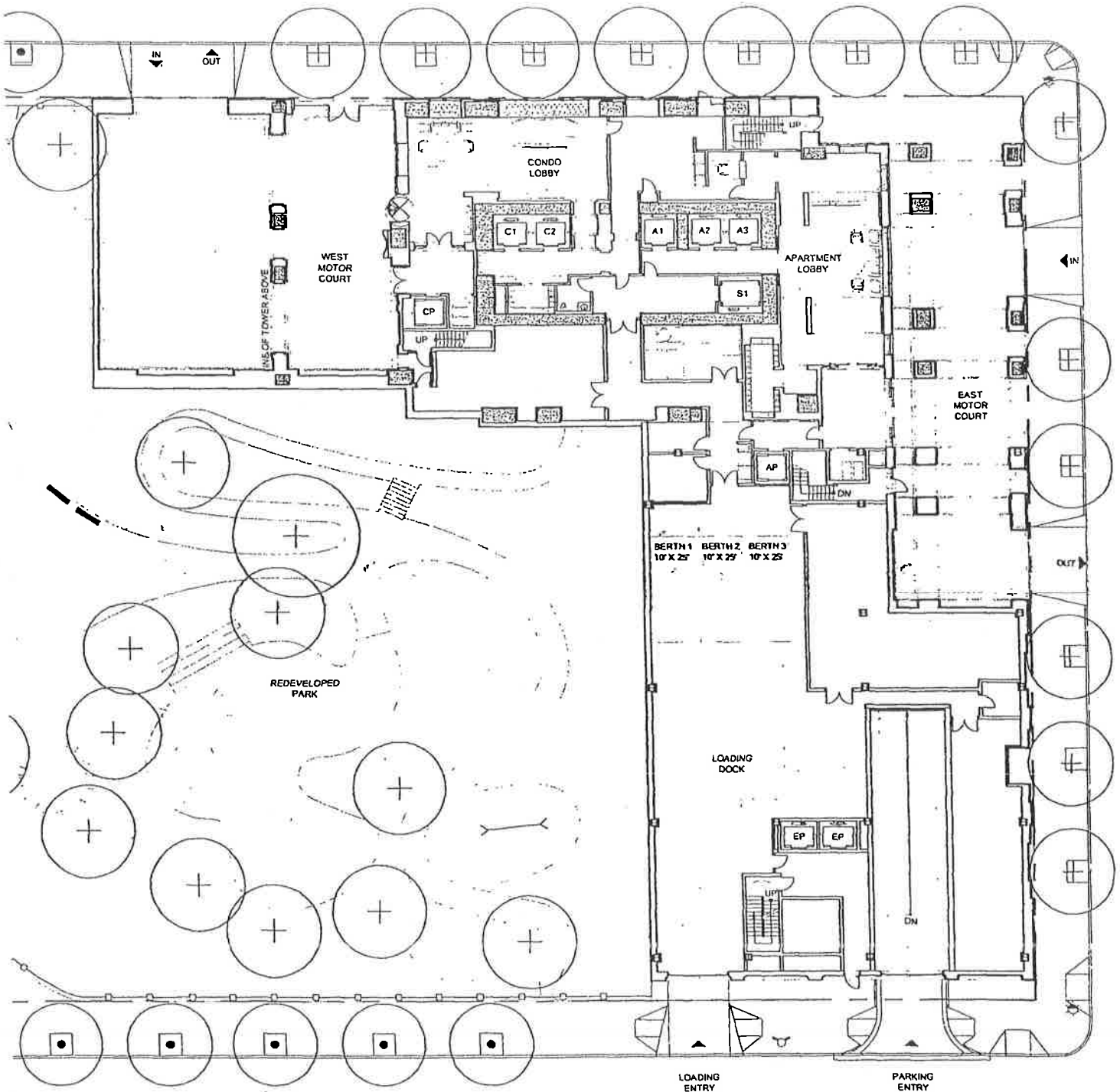




Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

**SITE PLAN**  
 SCALE: NTS



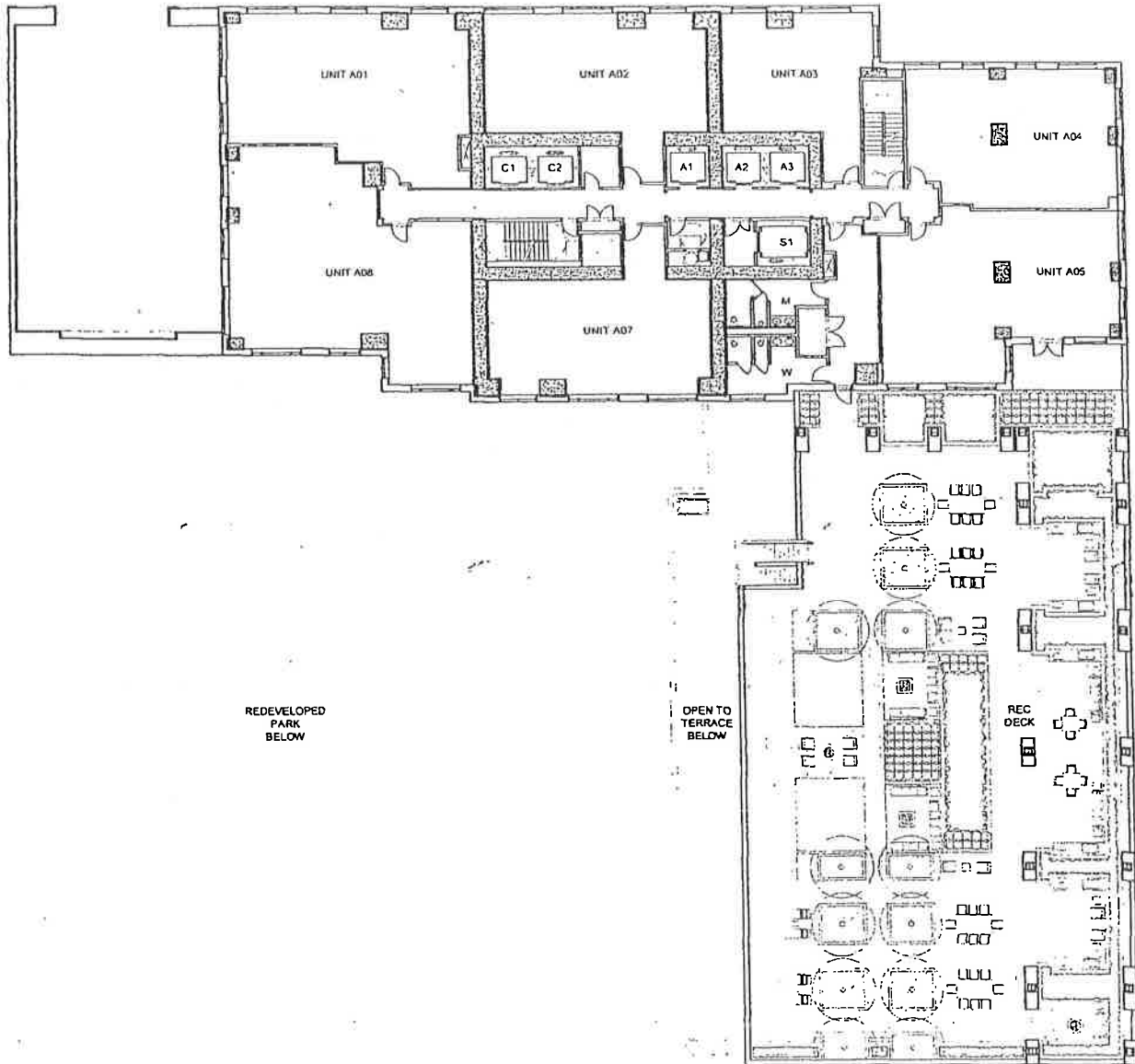


licant.RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014

# GROUND FLOOR

SCALE: 1/32" = 1'-0"

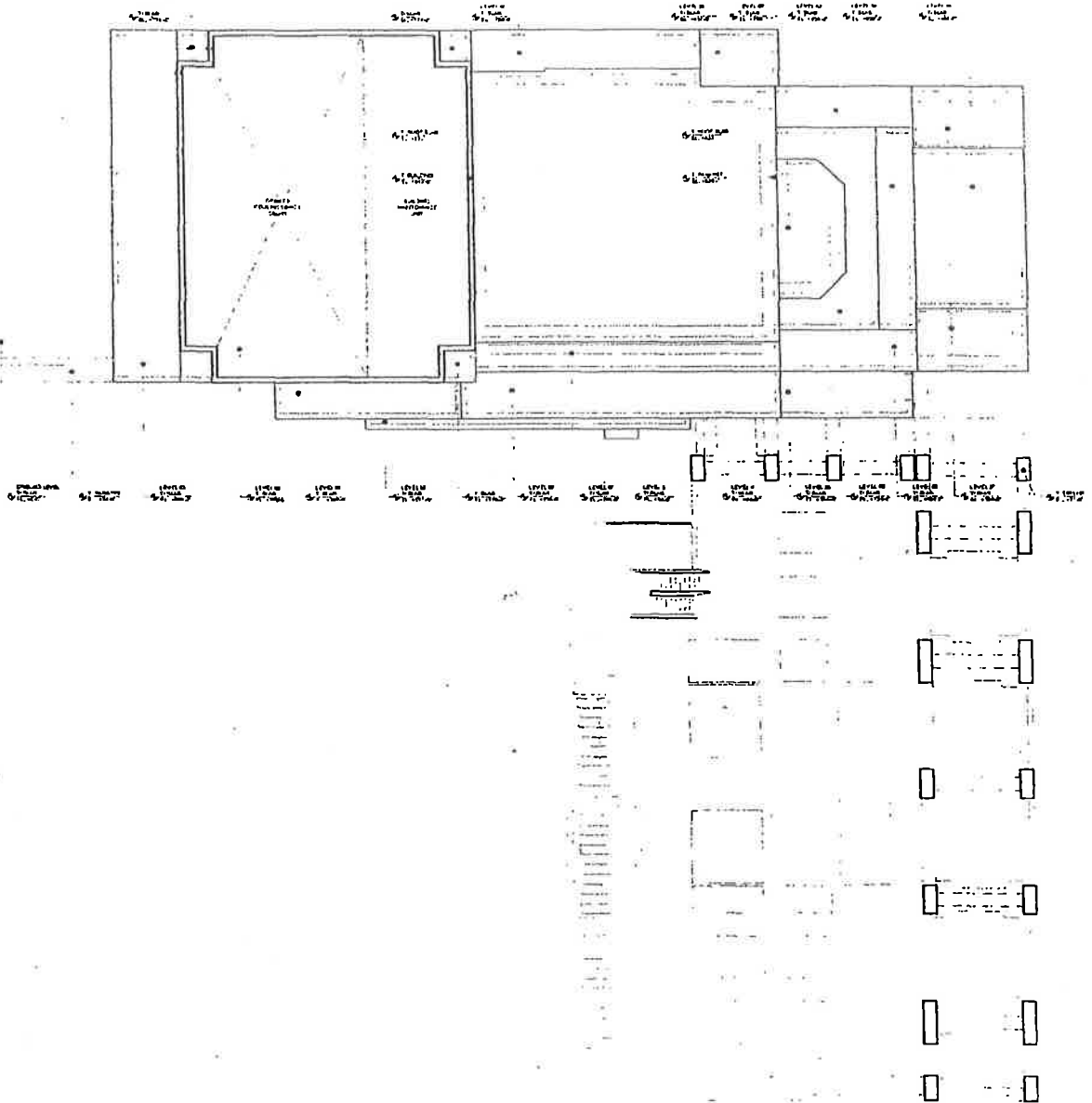




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Plan Commission: December 18, 2014

**REC DECK LEVEL +44'**  
SCALE: 1/32" = 1'-0"





**GREEN ROOF CALCULATION FOR TOWER**

TOTAL GROSS AREA OF ROOF = 21,325 SF

NET AREA OF ROOF = 16,589 SF

TOTAL AREA OF GREEN ROOF PROVIDED ON TOWER = 5,805 SF  
(FOR GARAGE GREEN ROOF, SEE LANDSCAPE PLAN)

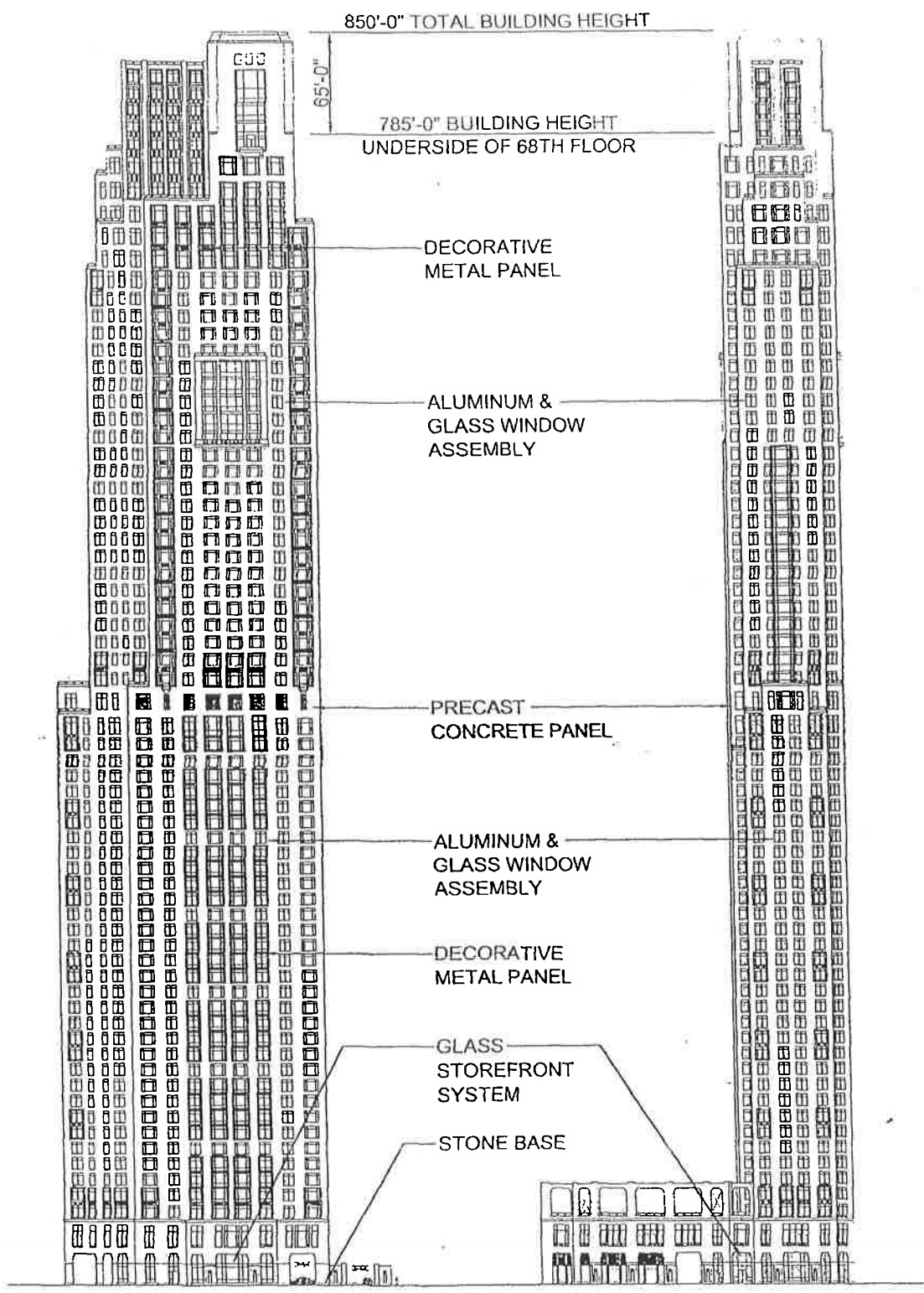
**GREEN ROOF PLAN**

SCALE: 1/32"=1'-0"



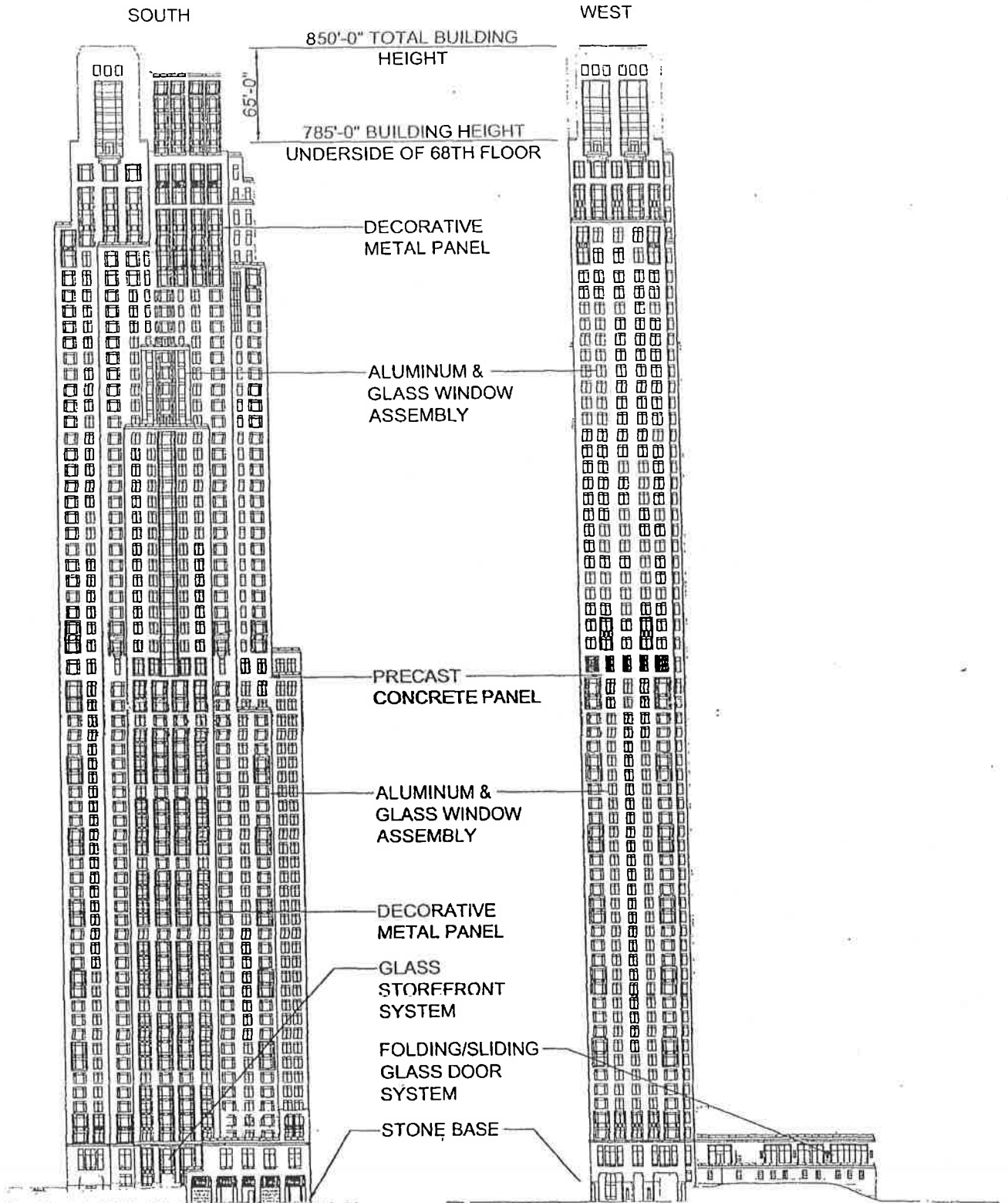
Client: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

NORTH



Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission December 18, 2014

**NORTH & EAST ELEVATIONS**  
SCALE: 1"=100'-0"



Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue, Chicago IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014

### SOUTH & WEST ELEVATIONS

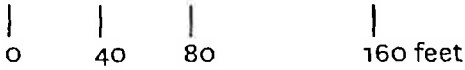
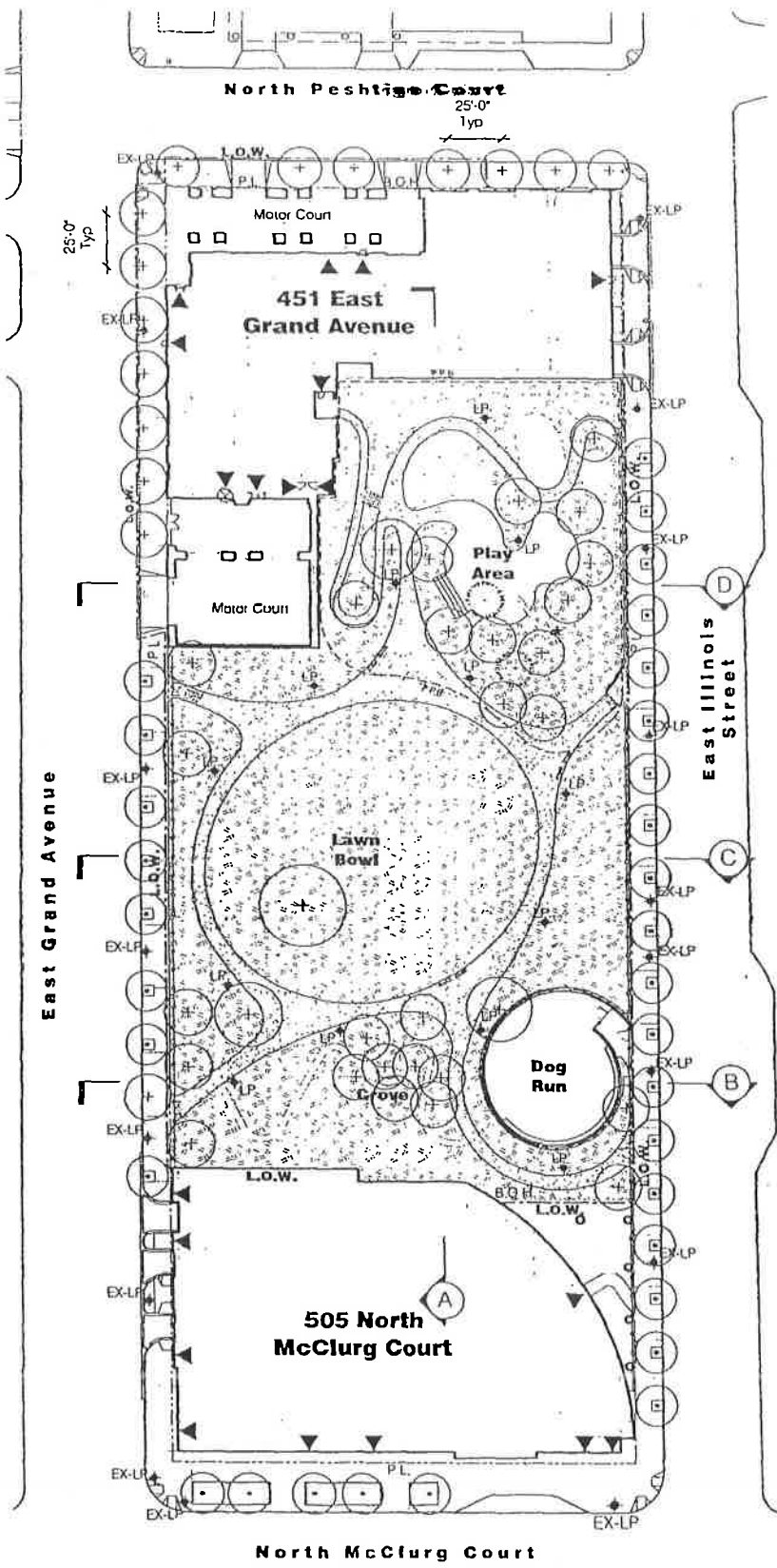
SCALE: 1"=100'-0"

**Landscape Plan Legend**

- L.O.W. — Limit of Work
- P.L. --- Property Line
- BOH Building Overhang
- P.P.B. --- Pocket Park Boundary
- 4'H Metal Fence
- 4'H Metal Gate
- Dog Run Chain Link Fence
- Dog Run Chain Link Gate
- ▼ Building Entry
- ★ Play Equipment - Slide
- ⋮ Steps
- ⋮ Bike Racks
- ◆ EX-LP Existing Light Pole
- ◆ LP Light Pole
- ▬ Bleacher Seating
- ▬ Bench Seating
- ▨ Asphalt Pavement, <5% Slope
- ▨ Concrete Pavement
- ▨ Decomposed Granite Pavement
- ▨ Play Mulch
- ▨ Lawn
- Existing Street Tree
- ⊕ Proposed Deciduous Tree (48 Trees)
- ⊙ Proposed Coniferous Tree (2 Trees)

**Landscape Information**

Total Site Area: 70,250 SF  
 Landscape Area: 50,950 SF

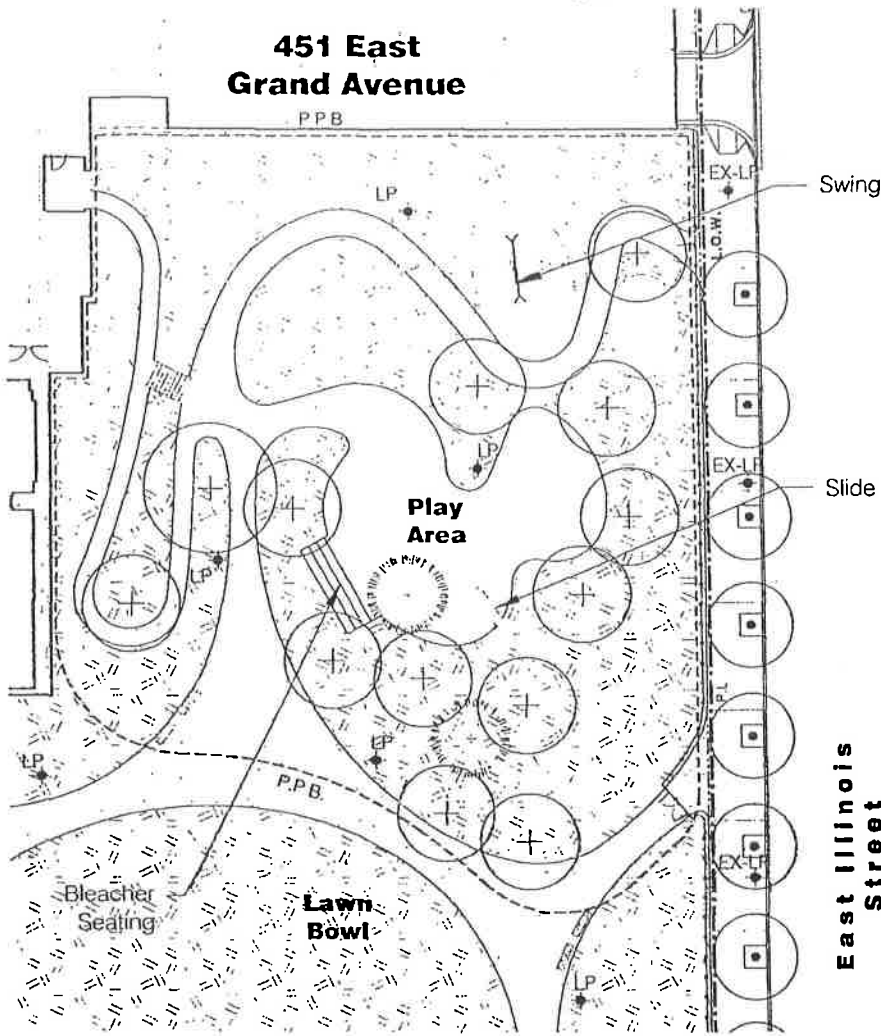


Applicant: RMW Streeterville, LLC  
 Address: 451 East Grand Avenue, Chicago IL 60611  
 Introduction Date: September 10, 2014  
 Plan Commission: December 18, 2014

**LANDSCAPE PLAN**

SCALE: 1" = 80'





**Pocket Park Legend**

- L.O.W. — Limit of Work
- P.L. --- Property Line
- BOH Building Overhang
- - - P.P.B. - - - Pocket Park Boundary
- 4'H Metal Fence
- J : L 4'H Metal Gate
- ▼ Building Entry
- Steps
- Bike Racks
- EX-LP Existing Light Pole
- LP Light Pole
- Bench Seating
- Asphalt Pavement, <5% Slope
- Concrete Pavement
- Decomposed Granite Pavement
- Play Mulch
- Lawn
- Existing Street Tree
- Proposed Deciduous Tree (13 Trees)
- Proposed Coniferous Tree (2 Trees)

**Pocket Park Information**

- Size: 20,608 SF
- Landscape Area: 13,300 SF (64%)
- Tree Quantity: 15
- Seating: 100 LF
- Perimeter: 575 LF
- Street Frontage: 154 LF (27% of Perimeter)
- Length: 160 LF
- Width: 140 LF

**Design Description**

Containing a series of interconnected play areas for children of all ages and their families, the pocket park along E. Illinois Street will be an amenity for residents of the Streeterville neighborhood and for visitors. Conventional play equipment including swings and a slide will be coupled with opportunities for sensory play that engages children with the nature that surrounds the play area. Some areas will have topography to encourage different ways to play, while bleacher-style seating will provide a place for all to stop and rest or to gather groups together for more structured activities. Planting is integrated to provide seasonal interest and shade.

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 Introduction Date: September 10, 2014  
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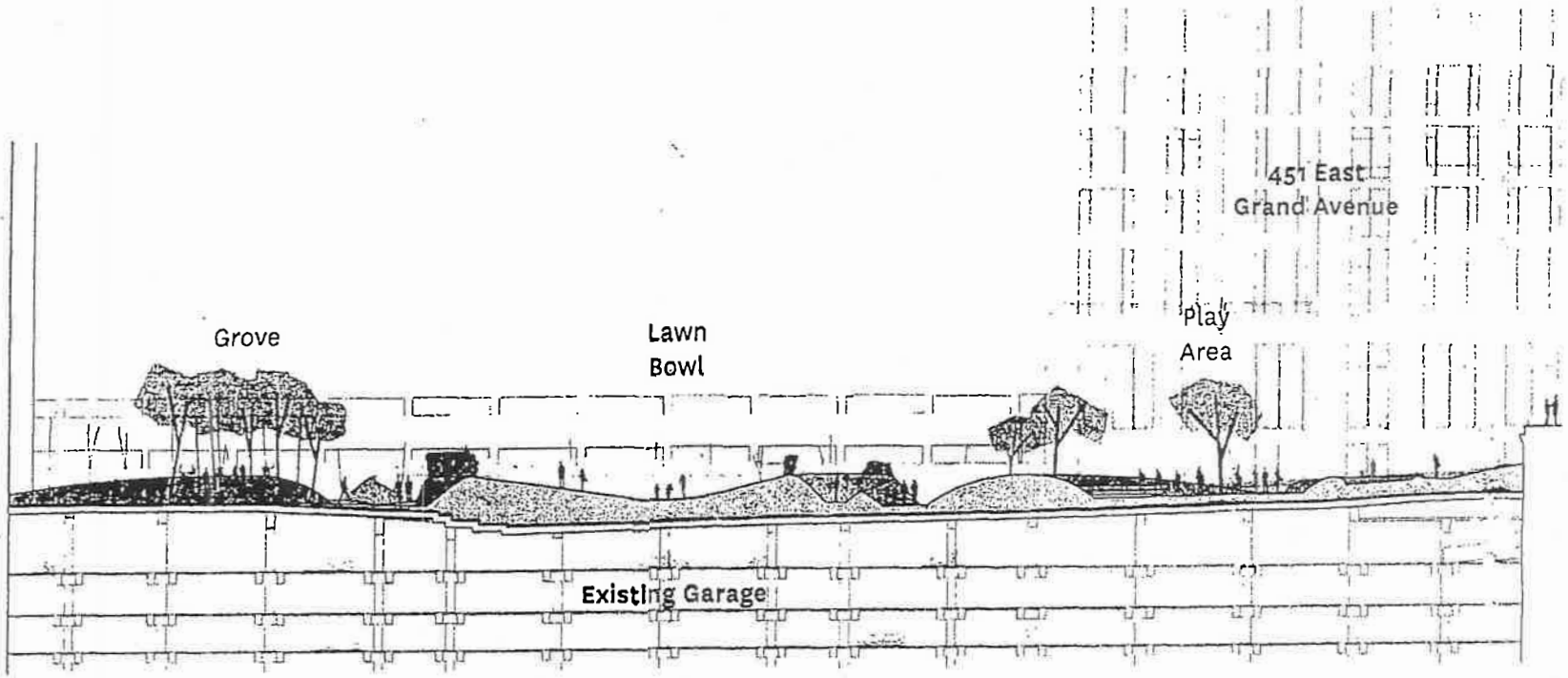
**POCKET PARK  
 LANDSCAPE PLAN**

SCALE: 1" = 40'

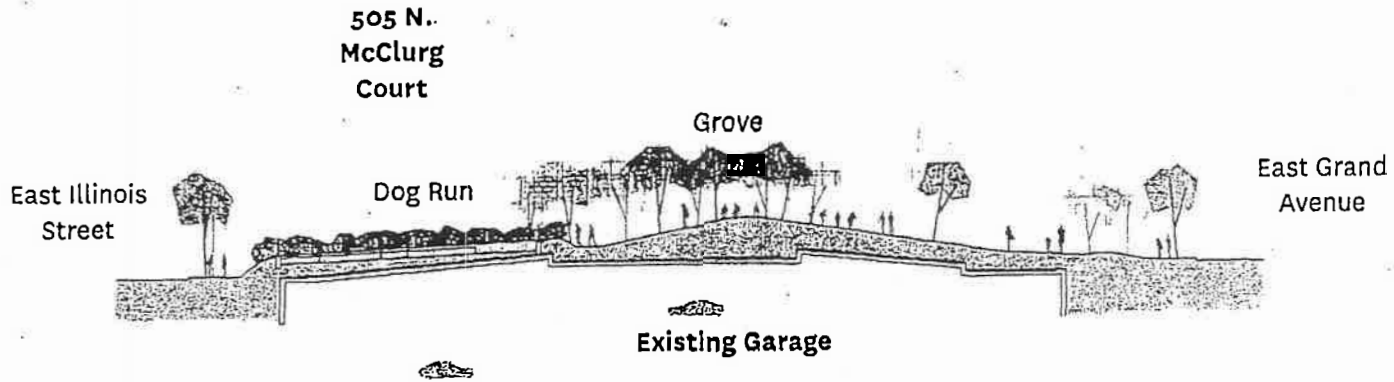


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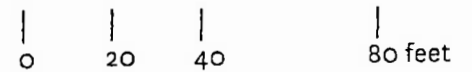
505 N.  
 McClurg  
 Court



**A - Section**



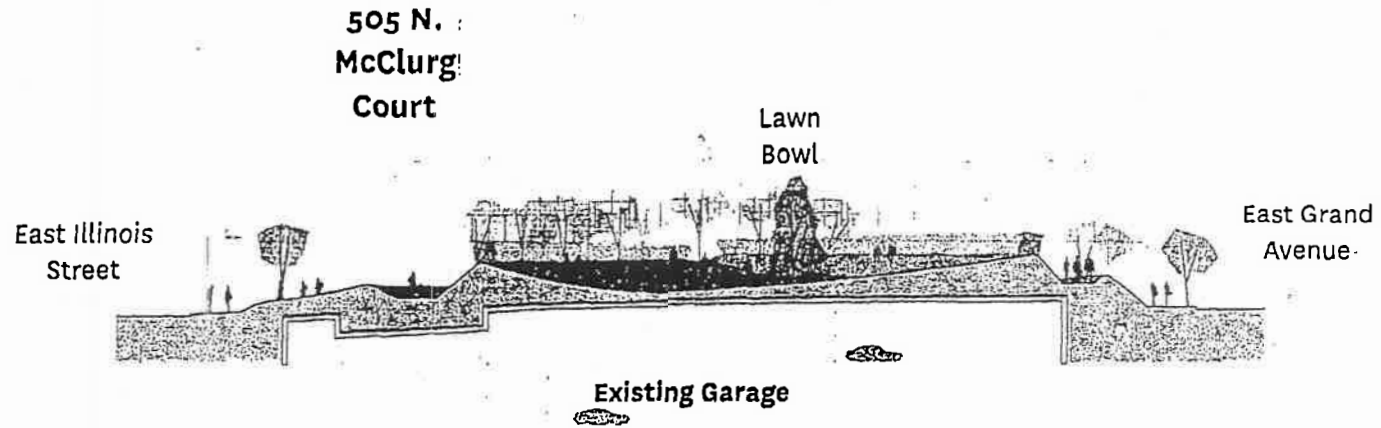
**B - Section**



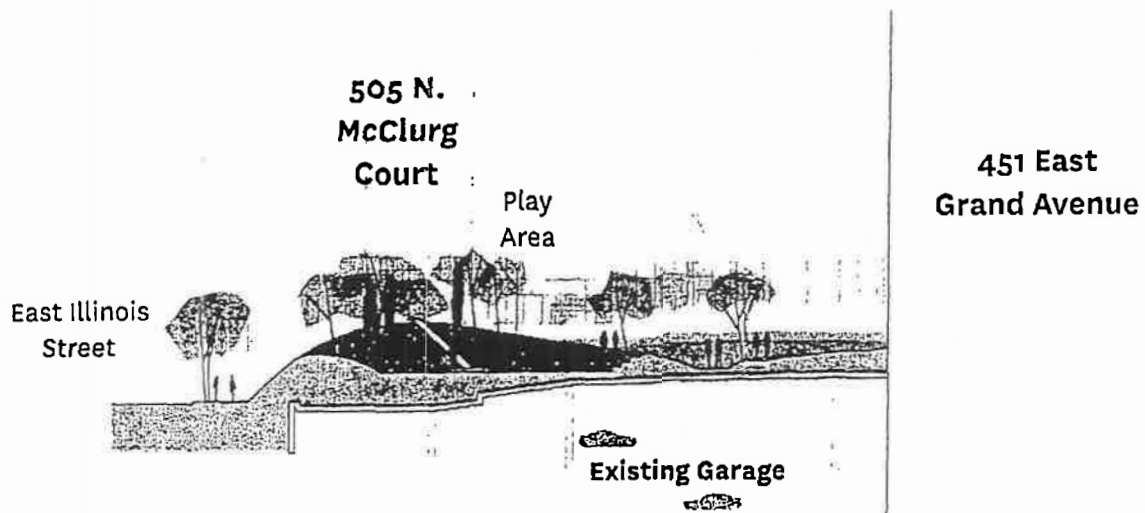
LANDSCAPE  
 SECTIONS  
 SCALE: 1"=40'

FINAL FOR PRODUCTION

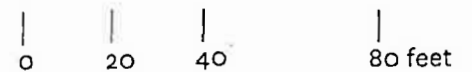
Client: RMW Streeterville LLC  
Address: 451 East Grand Avenue, Chicago, IL 60611  
Introduction Date: September 10, 2014  
Plan Commission: December 18, 2014



**C - Section**



**D - Section**



LANDSCAPE  
SECTIONS  
SCALE: 1" = 40'

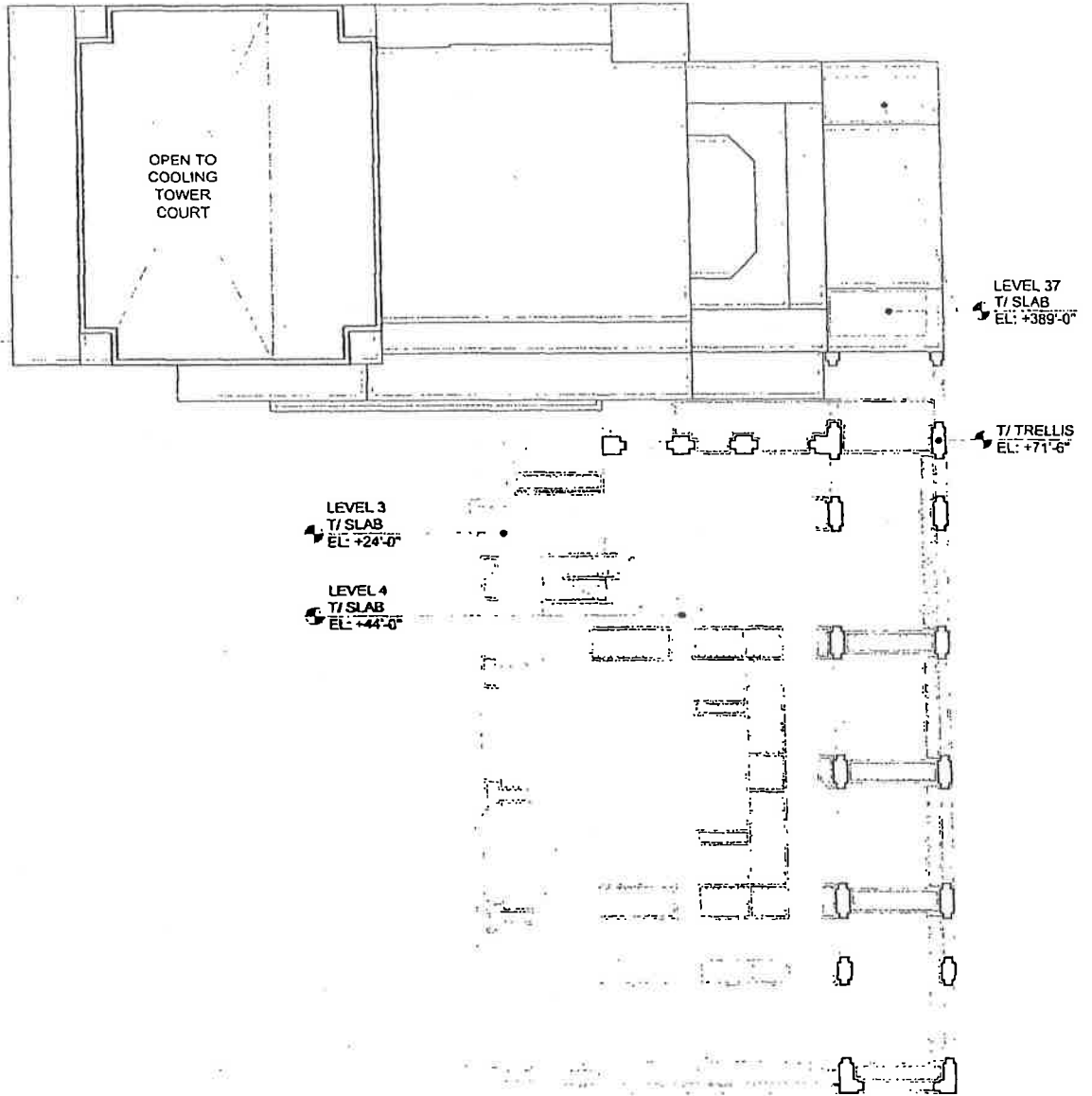
FINAL FOR PUBLICATION

**LIST OF POSSIBLE TREE SPECIES****Shade Trees**

Scientific Name	Common Name
<i>Quercus robur</i> 'Pyramich'	Skymaster English Oak
<i>Acer campestre</i>	Hedge Maple
<i>Acer ginnala</i>	Amur Maple
<i>Acer saccharum</i> 'Fall Fiesta'	Fall Fiesta Sugar Maple
<i>Aesculus hippocastanum</i> 'Baumannii'	Baumann Horsechestnut
<i>Aesculus octandra</i>	Yellow Buckeye
<i>Carpinus caroliniana</i>	American Hornbeam
<i>Catalpa ovata</i>	Chinese Catalpa
<i>Catalpa speciosa</i>	Northern Catalpa
<i>Celtis laevigata</i>	Sugarberry
<i>Celtis occidentalis</i> 'Chicagoland'	Chicagoland Hackberry
<i>Cladrastis kentukea</i>	American Yellowwood
<i>Fagus grandifolia</i>	American Beech
<i>Fagus sylvatica</i> 'Purpurea'	Copper Beech
<i>Ginkgo biloba</i>	Ginkgo (Male Only)
<i>Ginkgo biloba</i> 'Magyar'	Magyar Ginkgo
<i>Gleditsia triacanthos</i> var. <i>inermis</i> 'Skyline'	Skyline Honeylocust
<i>Gymnocladus dioica</i>	Kentucky Coffeetree
<i>Nyssa sylvatica</i>	Black Gum, Tupelo
<i>Platanus occidentalis</i>	American Sycamore
<i>Platanus x acerifolia</i> 'Morton Euclid'	Ovation London Planetree
<i>Populus tremuloides</i>	Quaking Aspen
<i>Quercus bicolor</i>	Swamp White Oak
<i>Quercus</i> 'Fastigiata' x <i>Q. bicolor</i> 'Long'	Regal Prince English Oak
<i>Quercus macrocarpa</i>	Bur Oak
<i>Quercus prinus</i>	Chesnut Oak
<i>Quercus robur</i>	English Oak
<i>Robinia pseudoacacia</i> 'Chicago Blues'	Chicago Blues Black Locust
<i>Tilia americana</i>	American Linden
<i>Ulmus americana</i> 'Princeton'	Princeton Elm
<i>Zelkova serrata</i> 'Musashino'	Village Green Japanese Zelkova

**Coniferous Trees**

Scientific Name	Common Name
<i>Abies concolor</i>	White Fir
<i>Larix decidua</i>	European Larch
<i>Taxodium distichum</i>	Baldcypress
<i>Thuja occidentalis</i>	Eastern Arborvitae



**GREEN ROOF CALCULATION**

TOTAL GROSS AREA OF ROOF = 21,325 SF

NET AREA OF ROOF = 16,589 SF

TOTAL AREA OF GREEN ROOF PROVIDED ON TOWER = 2,177 SF

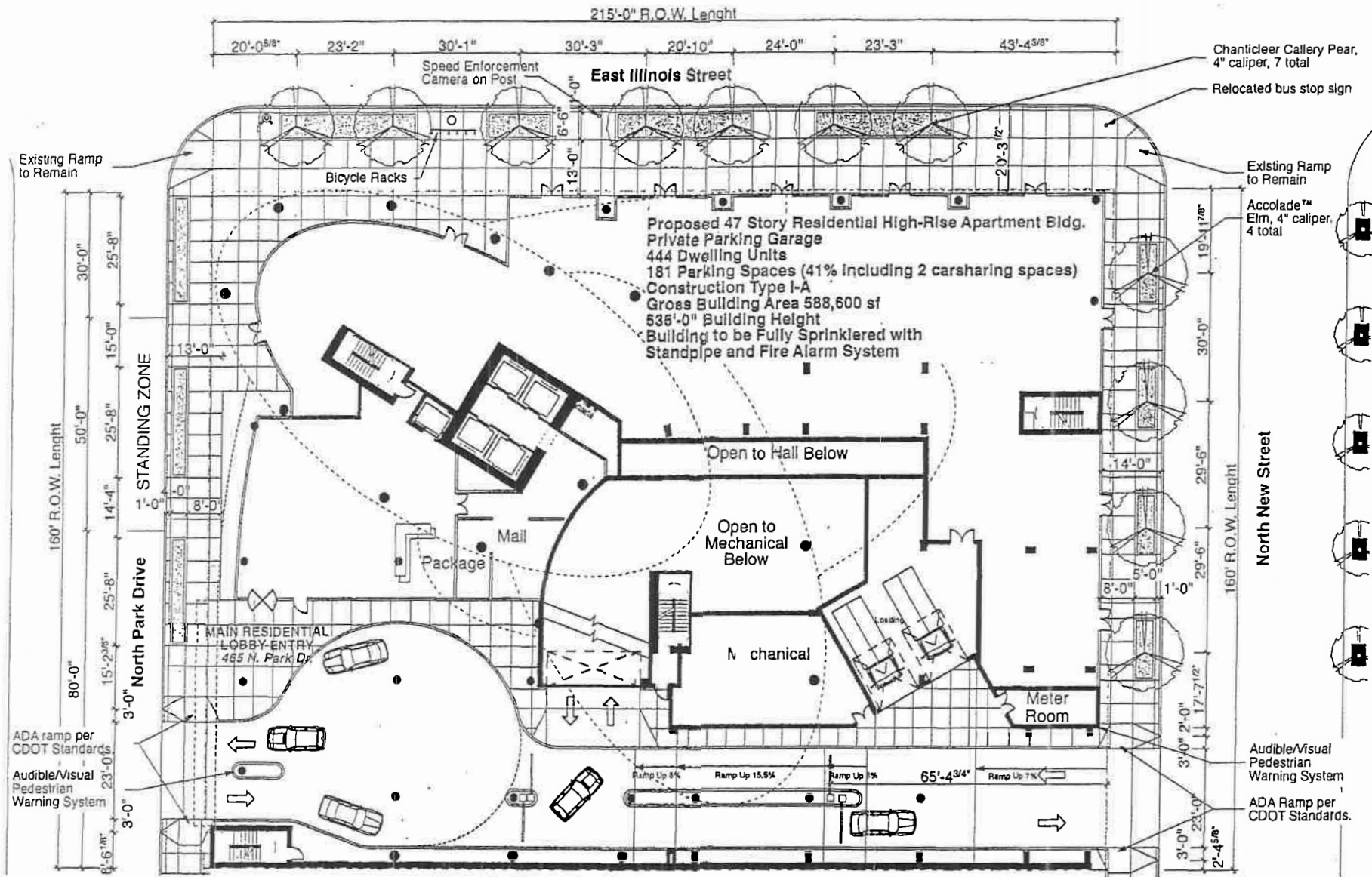
RAINWATER HARVESTING WILL BE AN INTEGRAL PART OF PROJECT IRRIGATION. A SEPARATE RAINWATER COLLECTION TANK WILL BE PROVIDED AND WILL PROVIDE WATER FOR THE IRRIGATION OF THE AMENITY DECK LANDSCAPE.

**GREEN ROOF PLAN**

SCALE: 1/32"=1'-0"



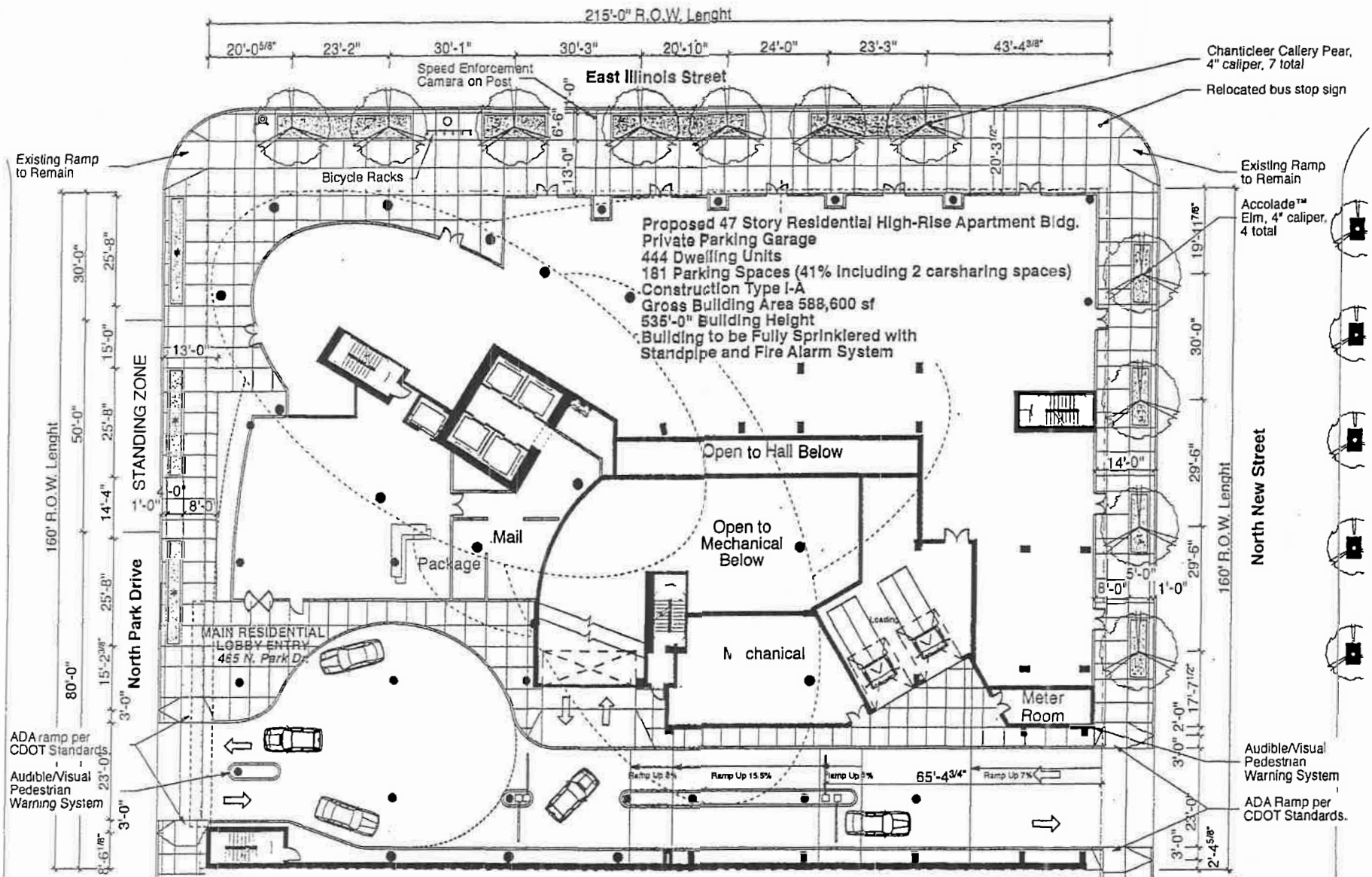
Applicant: RMW Streeterville, LLC  
Address: 451 East Grand Avenue Chicago IL 60611  
Production Date: September 10, 2014  
Plan Commission: December 18, 2014



Applicant: 465 N. Park Drive, LLC  
 Address: 465-479 N. Park Drive; 315-335 E. Illinois Street  
 464-478 N. New Street  
 Date: June 10th, 2015  
 CPC Date: October 15th, 2015

Site Plan



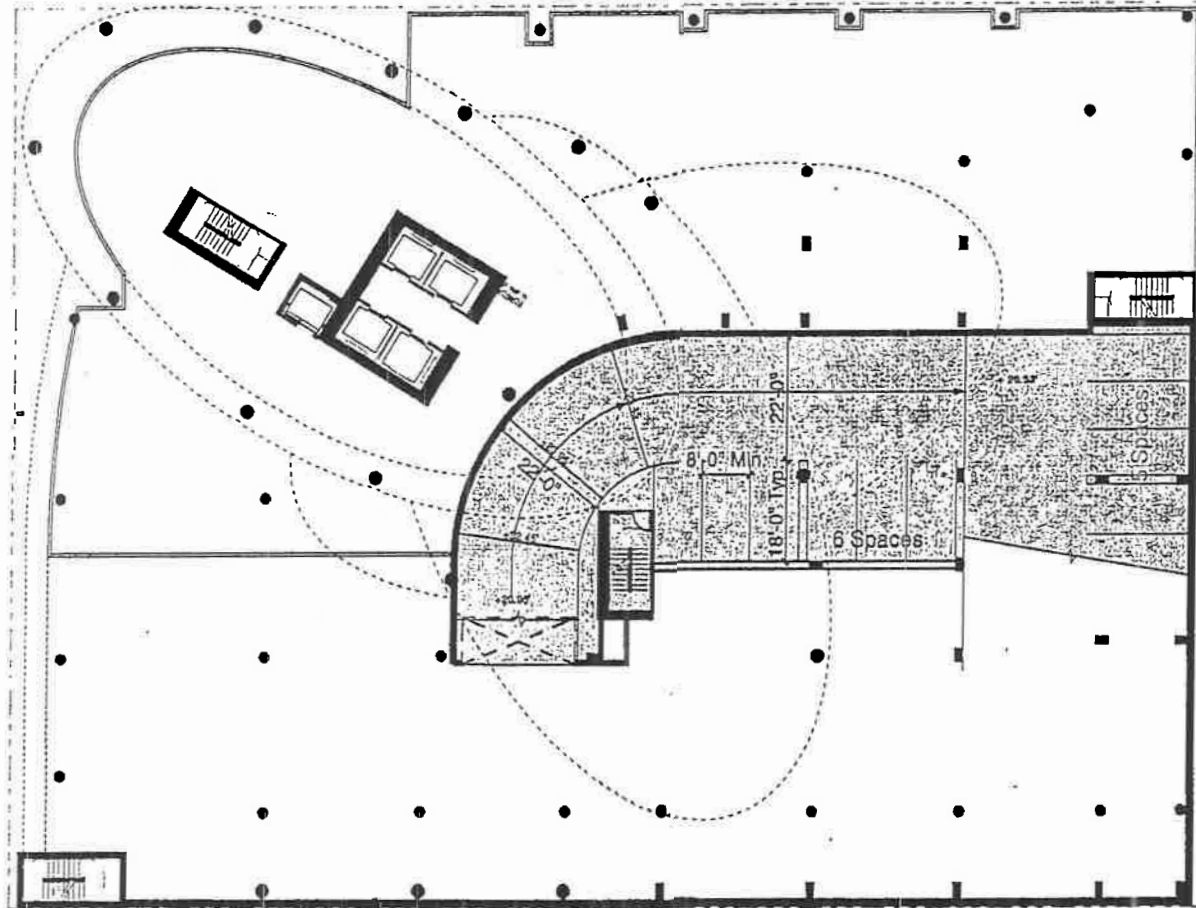


\*Note: No Parkway Trees where Sidewalk in on Parking Structure

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Landscape Plan

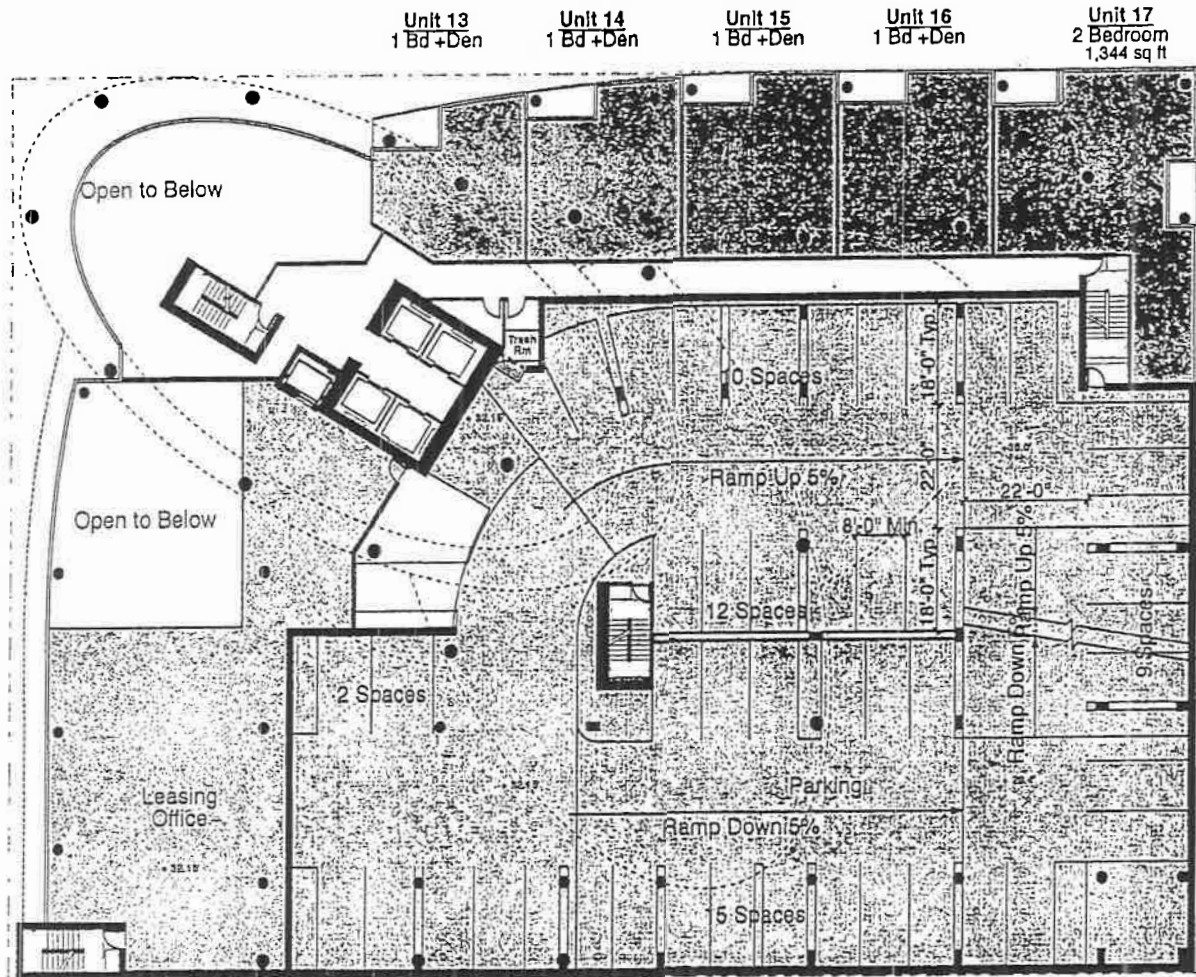




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Mezzanine Floor Plan

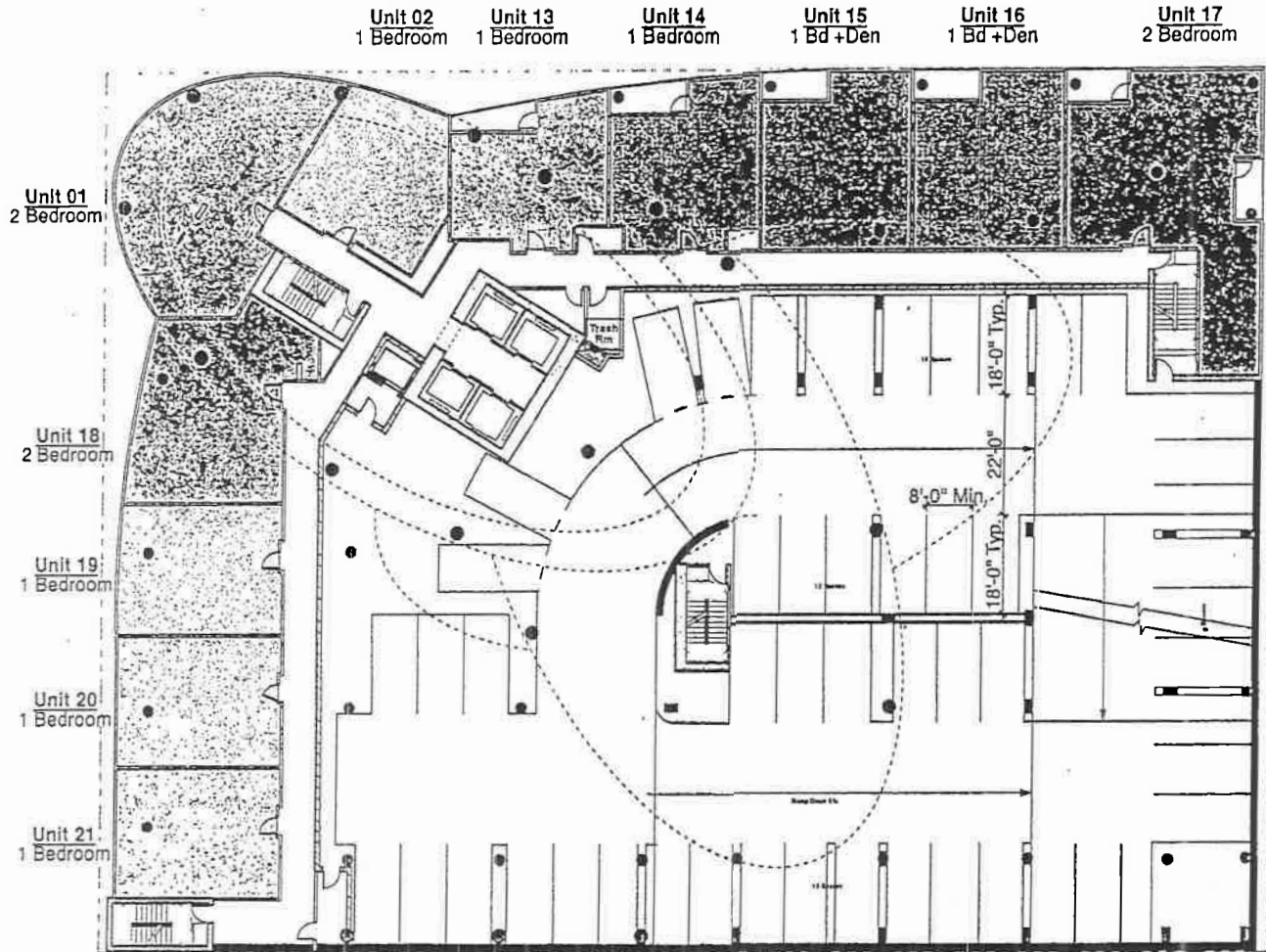




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Date: June 10th, 2015  
CPC D. October 15th, 2015

Second Floor Plan

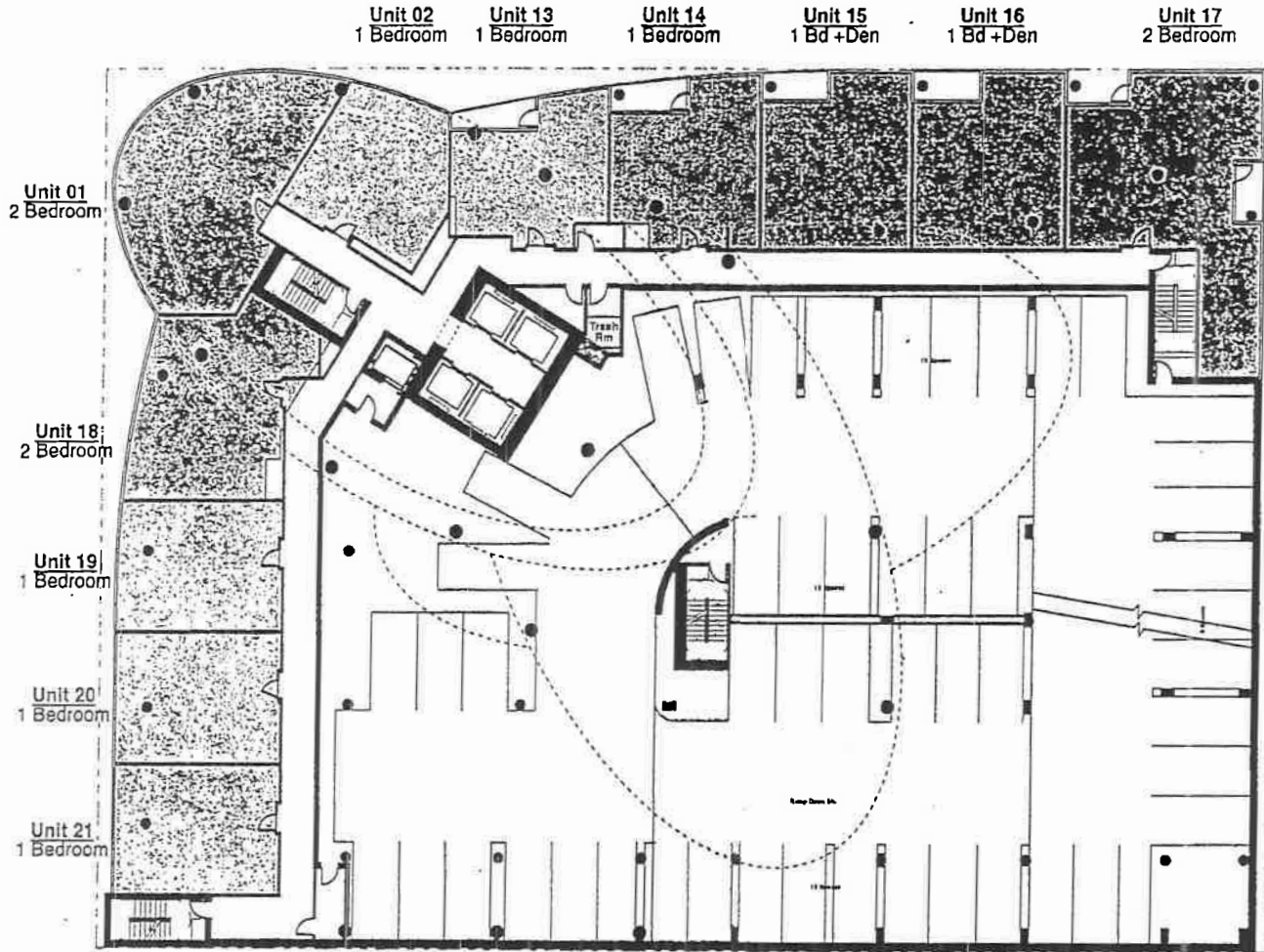




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Third Floor Plan

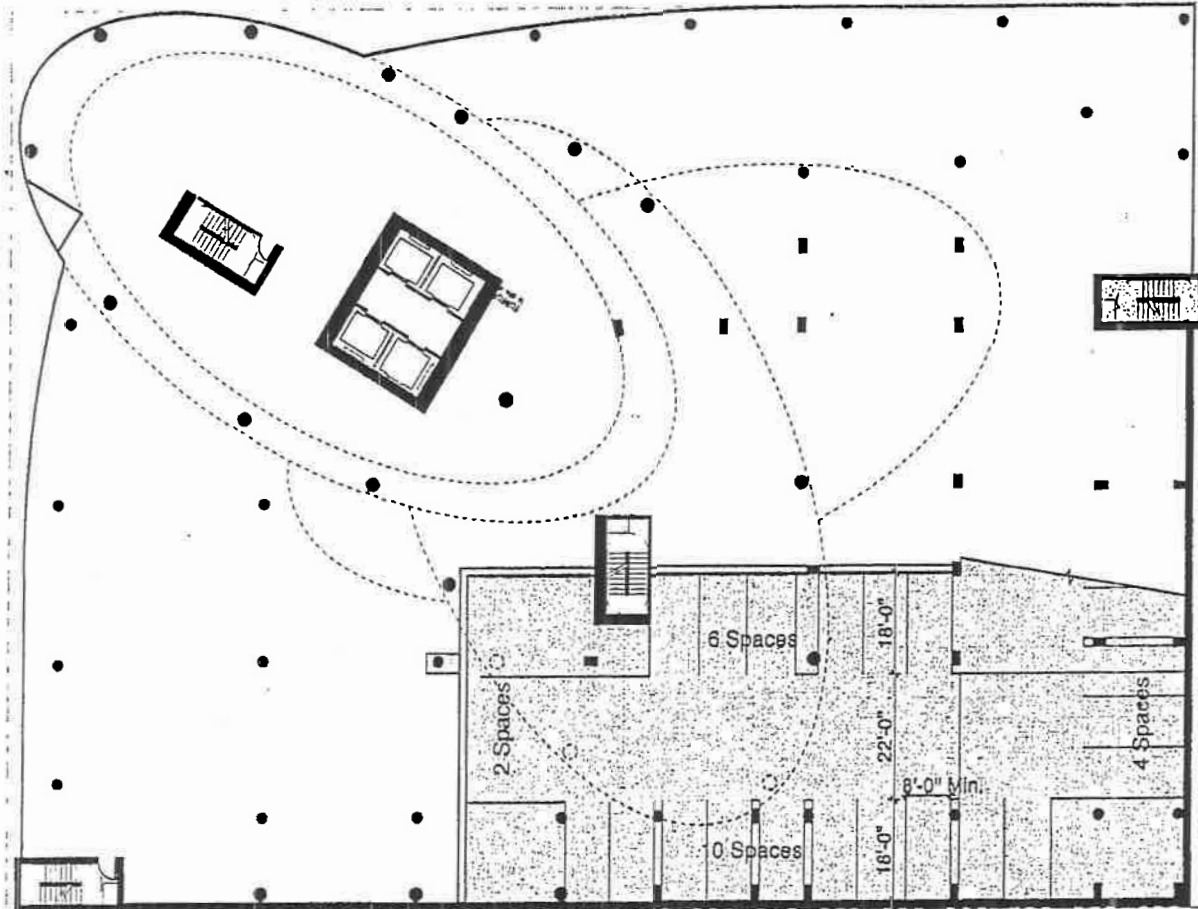




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Fourth Floor Plan





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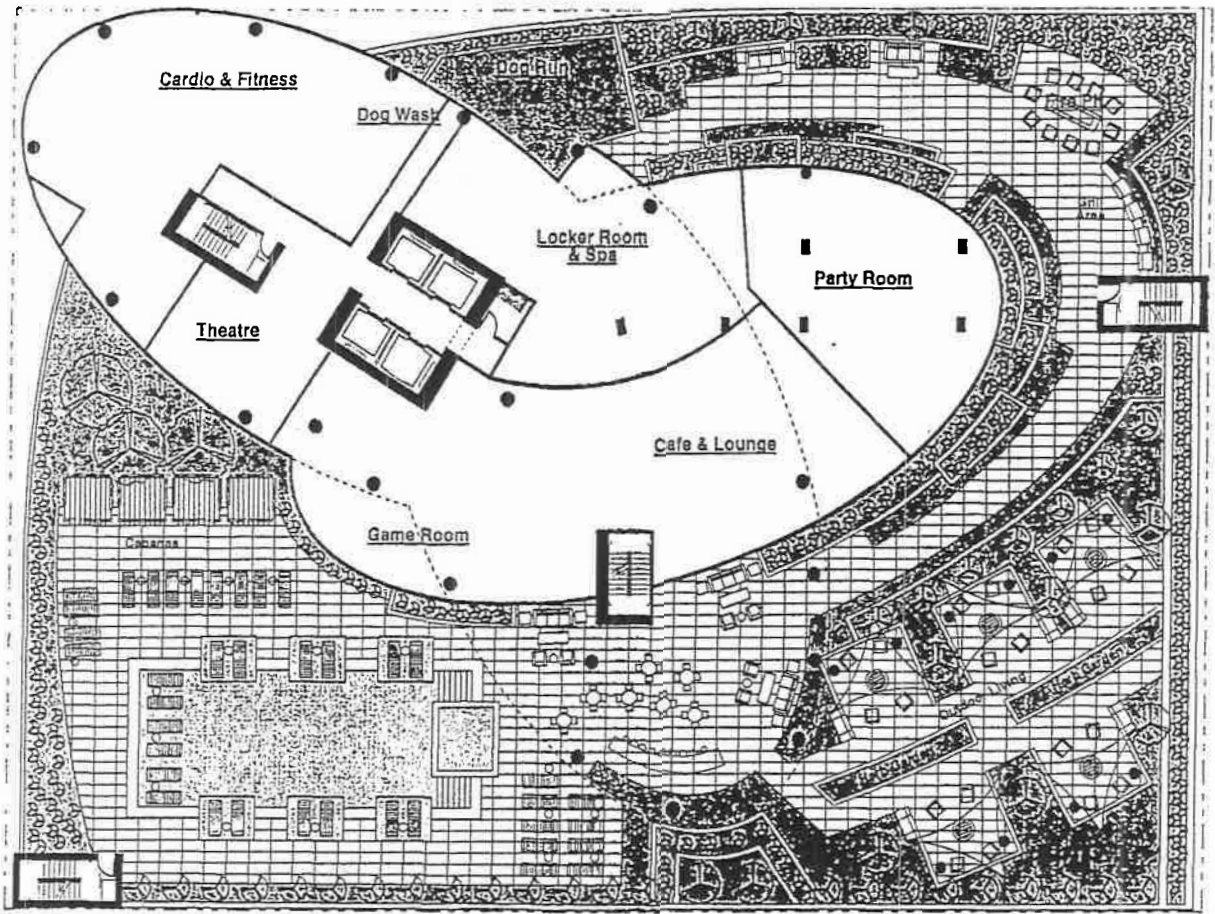
Fourth Floor Mezzanine Plan





Denotes Hardscape Area

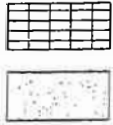
Denotes Landscaped Area



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Date: June 10th, 2015  
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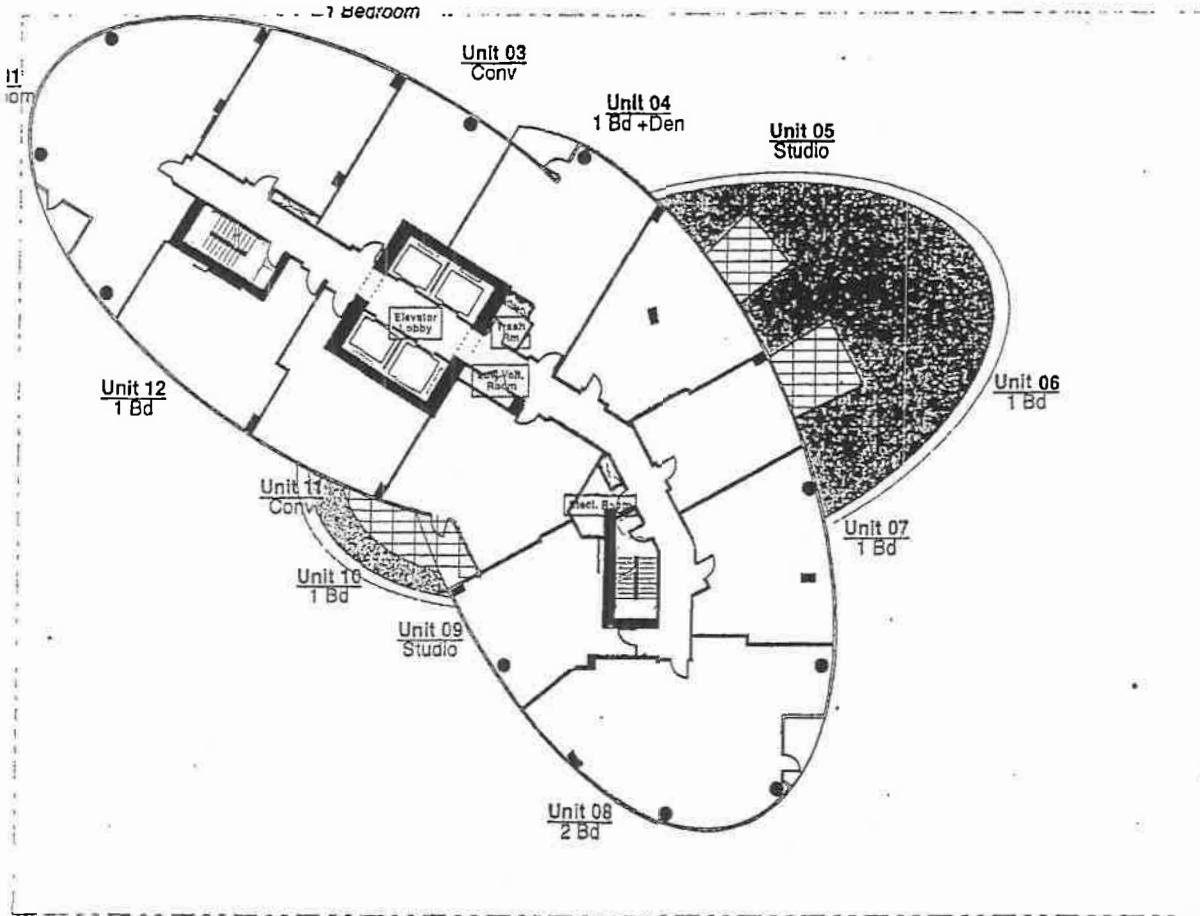
5th Floor Plan - Amenity Landscape Plan





Denotes Hardscape Area

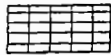
Denotes Landscaped Area



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6th Floor Plan - Balcony Landscape Plan

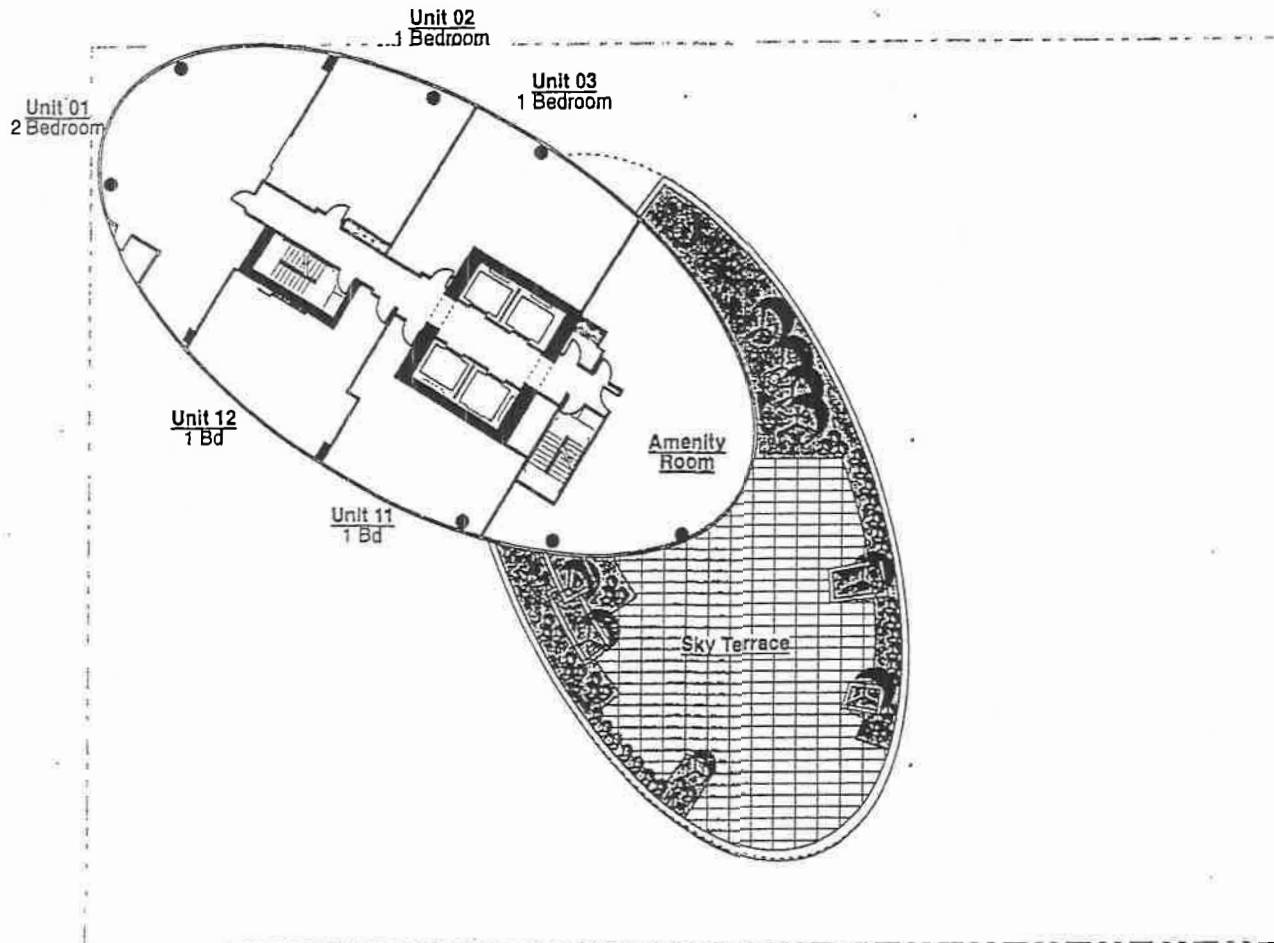




Denotes Hardscape Area



Denotes Landscaped Area



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**37th Floor - Sky Deck Landscape Plan**



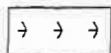
FROM THE ARCHITECT'S RECORD DRAWINGS

GREEN ROOF AREA: 56% OF NET ROOF AREA

GREEN ROOF AREA CALCULATIONS



Denotes Hardscape Area



Denotes Green Area

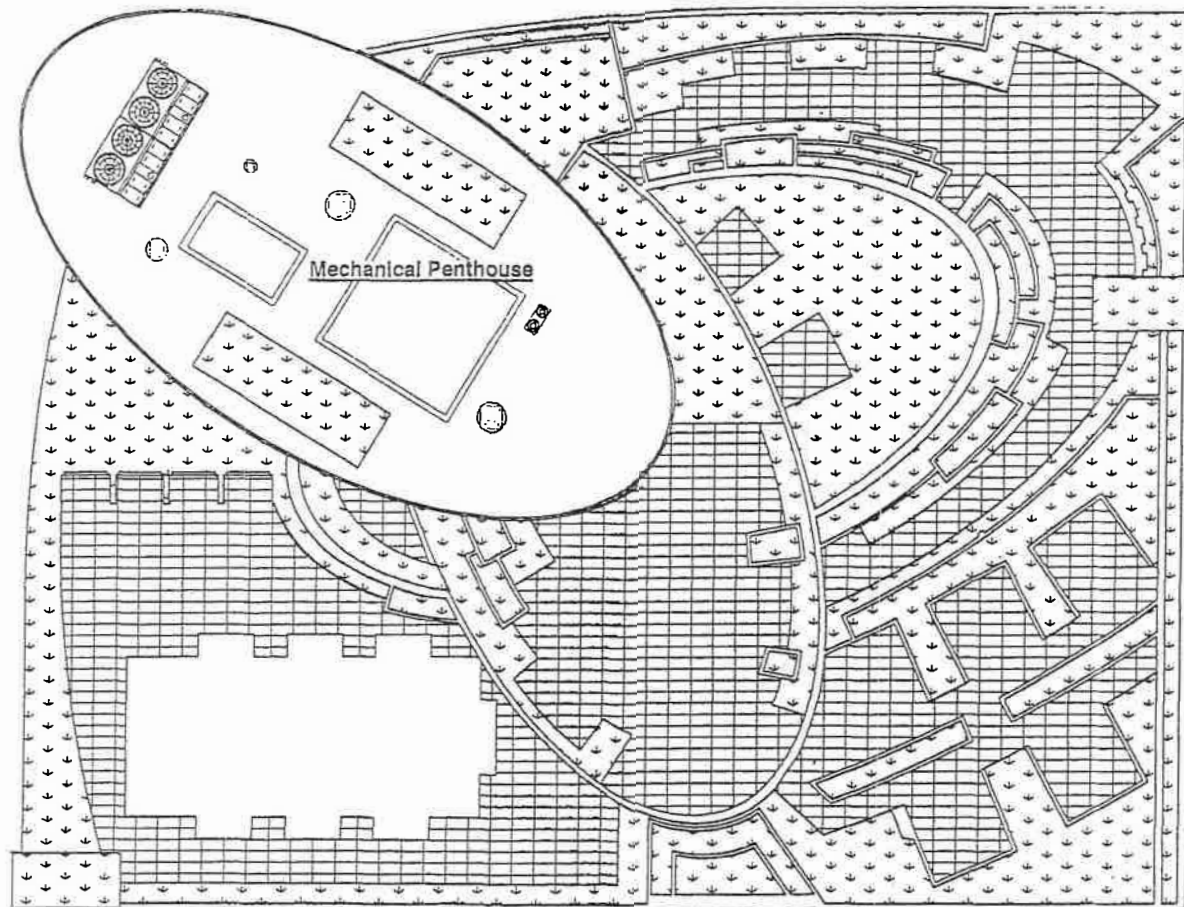
GROSS ROOF AREA: 33,102 SQ. FT.

NET ROOF AREA: 24,264 SQ. FT.

GREEN ROOF AREA: 12,132 SQ. FT.

POOL SURFACE AREA: 1,350 SQ. FT.

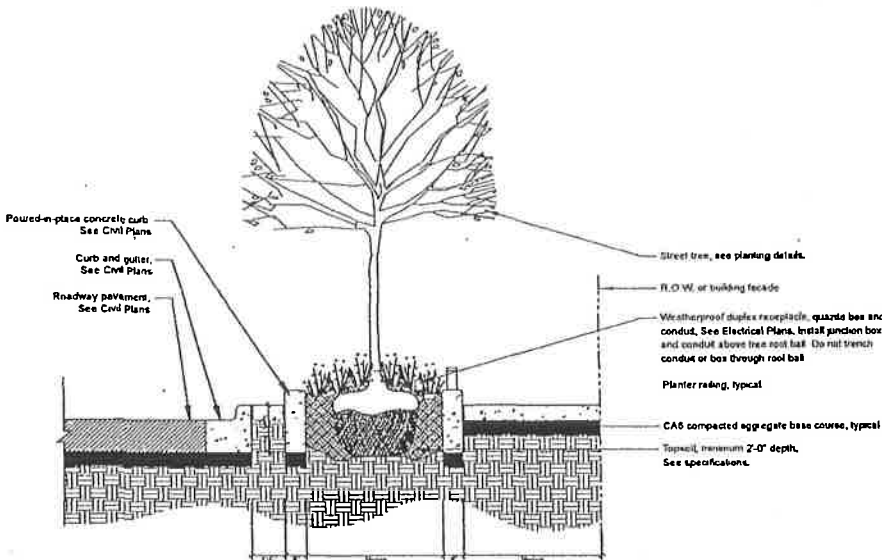
TOTAL GREEN ROOF AREA: 13,482 SQ. FT.



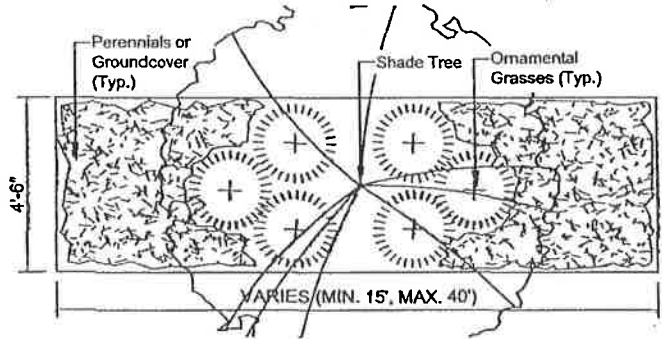
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 464-478 N. New Street  
 Date: June 10th, 2015  
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Green Roof Plan





2 Typical Sidewalk Through Planter - Section  
Scale: N.T.S.



1 PLANTER - TYPICAL PLAN  
N.T.S.

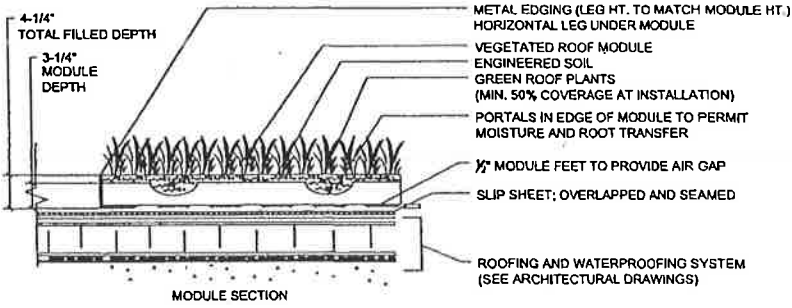
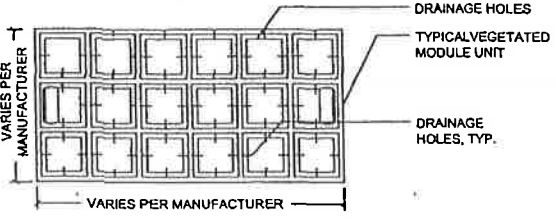
Preliminary Plant Palette

Note: This list is preliminary and may be revised as the project develops. Not all plants will be used and depending on the evolution of the design, other plants may be added to address a specific design issues.

Botanical name	Common name	Size	Notes
<b>Shade Trees</b>			
<i>Pyrus calleryana</i> 'Chanticleer'	Callery Pear	2-1/2' cal.	B&B
<i>Celtis occidentalis</i>	Prairie Sentinel	4" Cal.	along E. Illinois St.
<i>Ulmus minor</i>	New Horizon	4" Cal.	along N. New St.
<b>Deciduous Shrubs</b>			
<i>Aronia melanocarpa</i>	Black Chokeberry	36" Ht.	B&B
<i>Ribes alpinum</i> 'Green Mound'	Green Mound Alpine Currant	24" Ht.	B&B
<i>Rosa var 'Noela'</i>	Flower Carpet Coral Rose	#3 Container	
<i>Syringa patula</i> 'Miss Kim'	Miss Kim Dwarf Lilac	24" Ht.	B&B
<b>Perennials</b>			
<i>Cosopsis verticillata</i> 'Zagreb'	Zagreb Coreopsis	1 gal container	12" o.c.
<i>Echinacea purpurea</i> 'Alba'	White Coneflower	1 gal container	12" o.c.
<i>Echinacea purpurea</i> 'Magnus'	Magnus Purple Coneflower	1 gal container	12" o.c.
<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	1 gal container	12" o.c.
<i>Hemerocallis</i> 'Rocket City'	Rocket City Daylily	1 gal container	12" o.c.
<i>Nepeta faassenii</i>	Faassenii Catmint	1 gal container	12" o.c.
<b>Ornamental Grasses</b>			
<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	#3 Container	
<i>Pennisetum alopecuroides</i> 'Hameln'	Hameln Dwarf Fountain Grass	#3 Container	
<b>Groundcovers</b>			
<i>Liriope spicata</i>	Creeping Lilyturf	4" pots	12" o.c.
<i>Pachysandra terminalis</i> 'Green Carpet'	Green Carpet Japanese Spurge	4" pots	12" o.c.
<i>Waldsteinia lemnae</i>	Barren Strawberry	4" pots	12" o.c.

GREEN ROOF PLANT MIX

- Allium schoenoprasum* 'Forescate'
- Allium senescens* var. *montanum*
- Sedum album* 'Coral Carpet'
- Sedum cauticola* 'Bertram Anderson'
- Sedum reflexum*
- Sedum sexangulare*
- Sedum spurium* 'Royal Pink'



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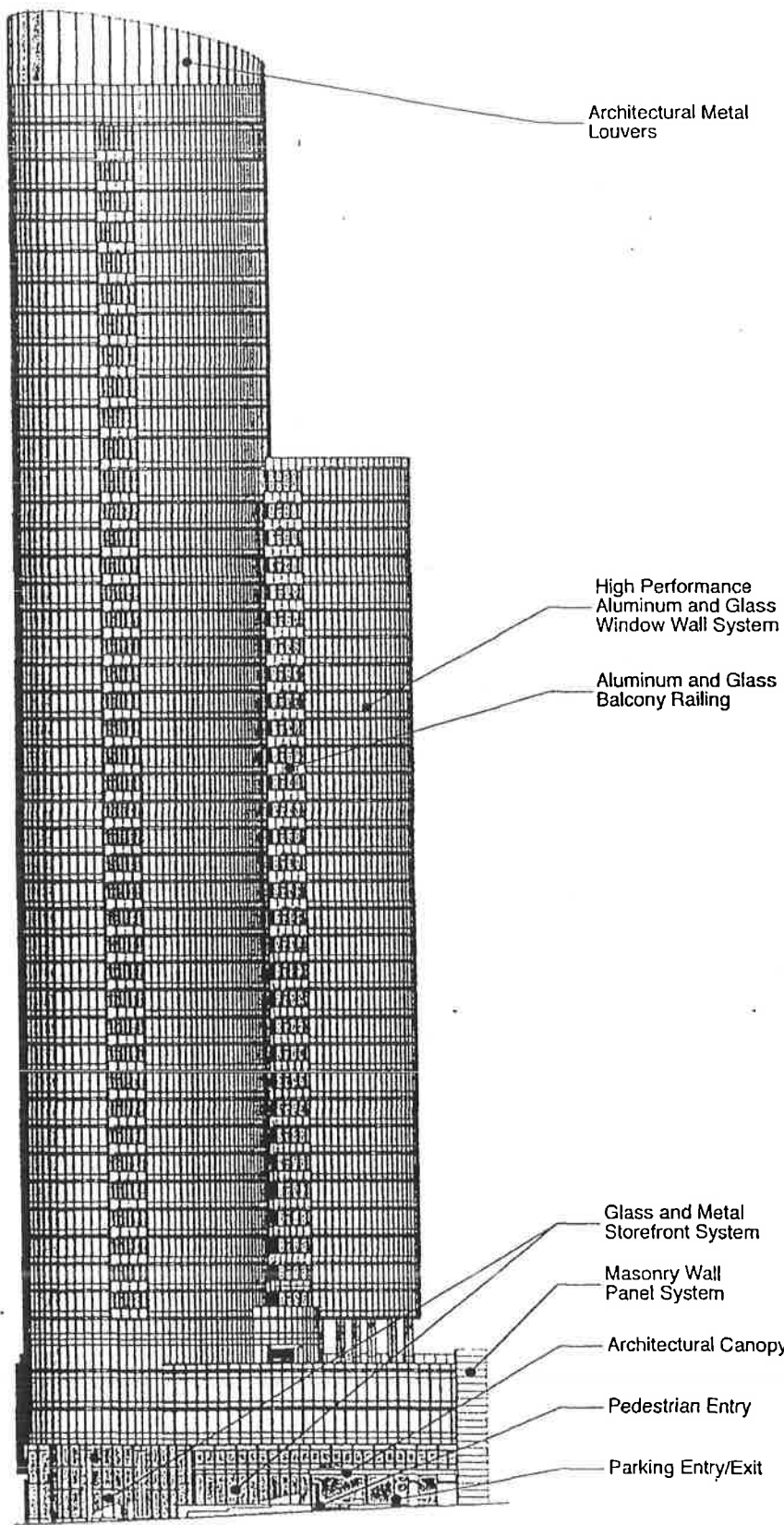
Plant List & Landscape Details



Max Building Height  
535'-0"  
Bottom of Ceiling at Last Occupied Floor  
500'-0"

Sky Deck Level  
380'-0"

Amenity Deck Level  
59'-4"



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West Elevation

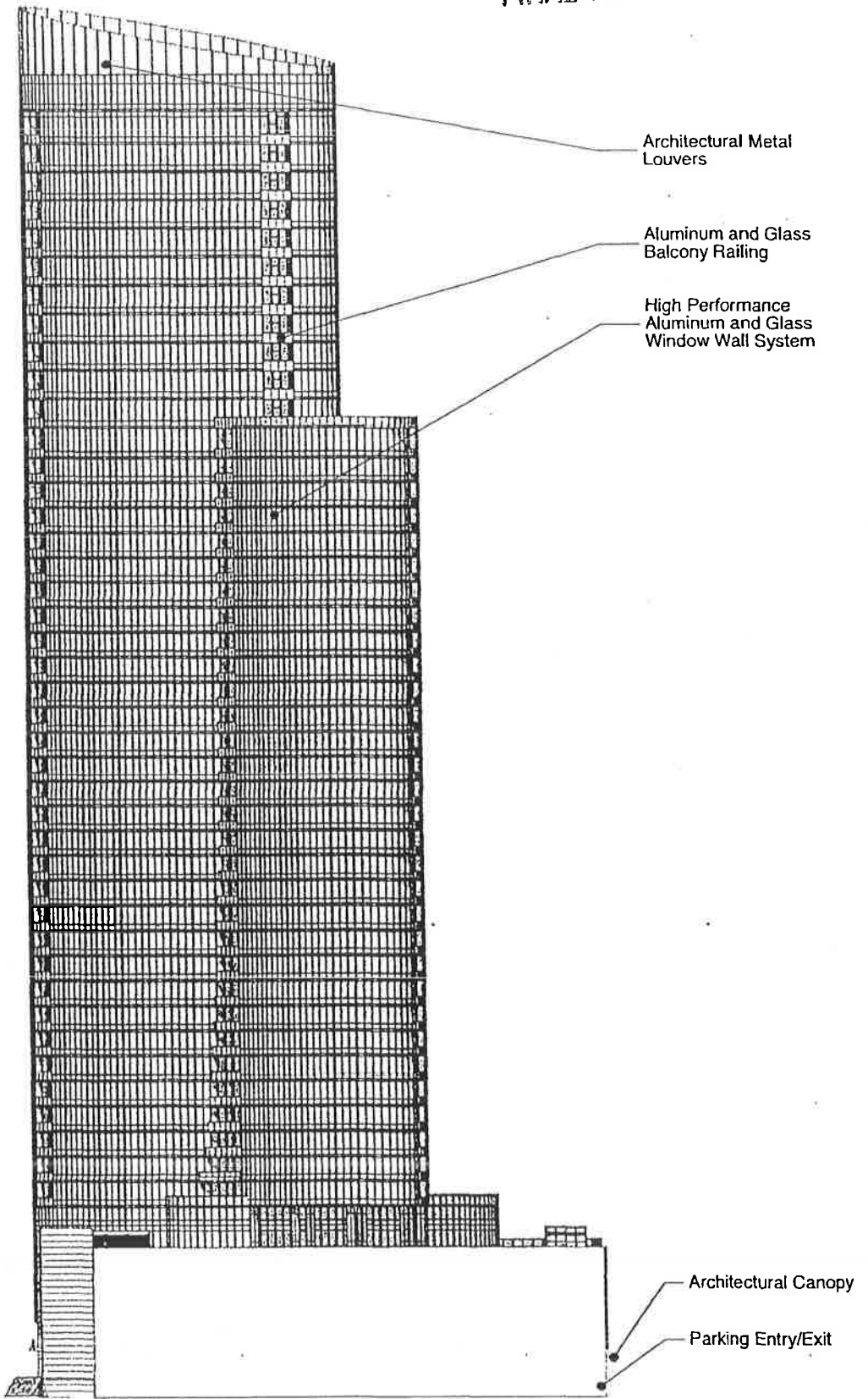


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Max Building Height  
535'-0"  
Bottom of Ceiling at Last Occupied Floor  
500'-0"

Sky Deck Level  
380'-0"

Amenity Deck Level  
59'-4"



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South Elevation



Max Building Height  
535'-0"  
Bottom of Ceiling at Last Occupied Floor  
500'-0"

Architectural Metal Louvers

Sky Deck Level  
380'-0"

High Performance Aluminum and Glass Window Wall System

Aluminum and Glass Balcony Railing

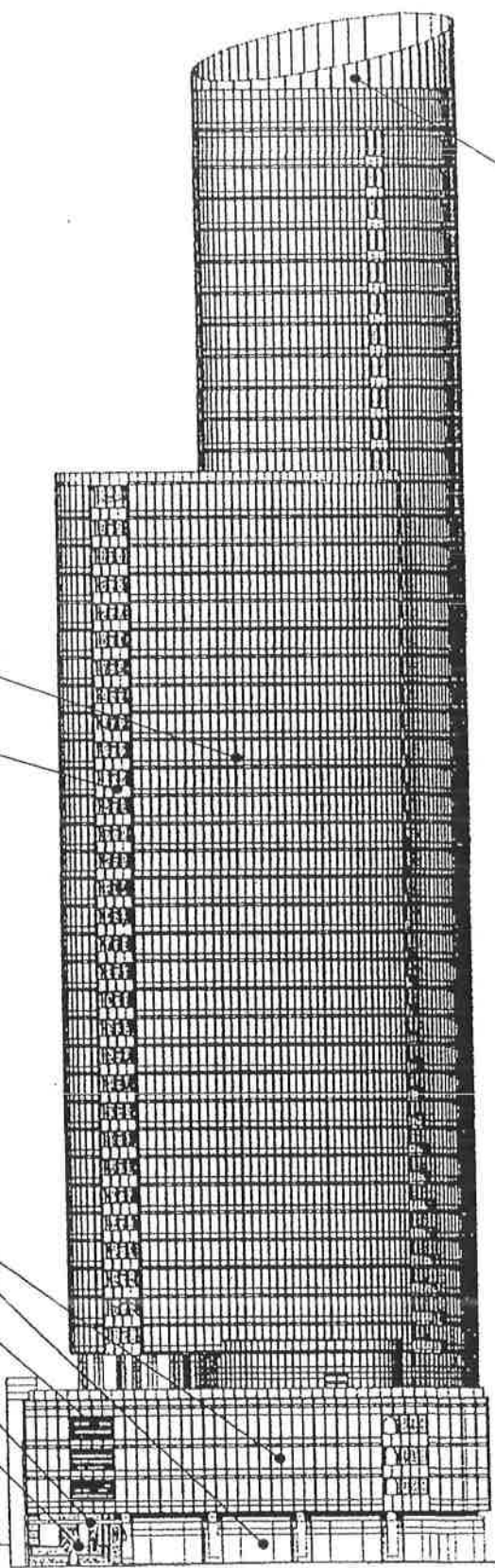
Glass and Metal Storefront System

Architectural Metal Louvers

Architectural Canopy

Parking Entry/Exit

Amenity Deck Level  
59'-4"



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East Elevation



Max Building Height  
535'-0"  
Bottom of Ceiling at Last Occupied Floor  
500'-0"

Sky Deck Level  
380'-0"

High Performance Aluminum and Glass Window Wall System

Aluminum and Glass Balcony Railing

Amenity Deck Level  
59'-4"

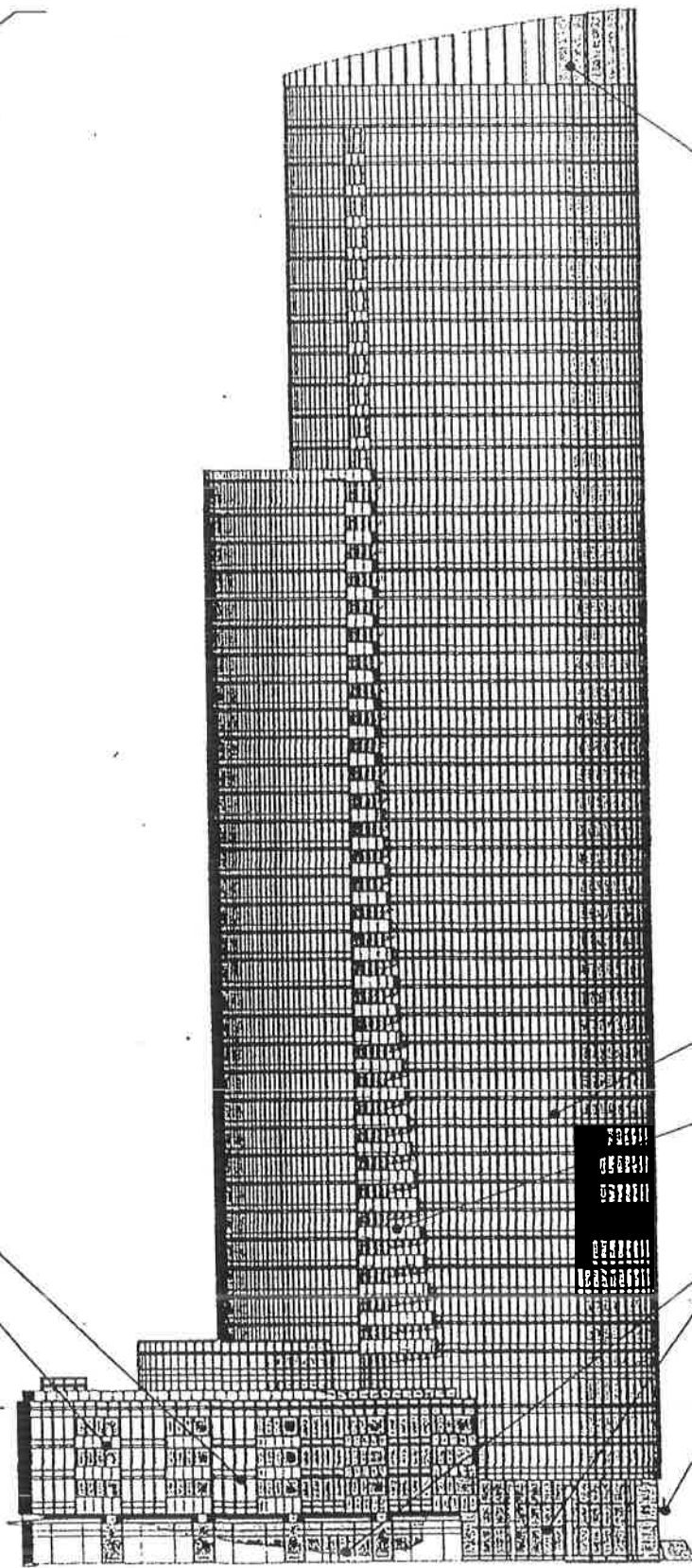
Architectural Metal Louvers

High Performance Aluminum and Glass Window Wall System

Aluminum and Glass Balcony Railing

Glass and Metal Storefront System

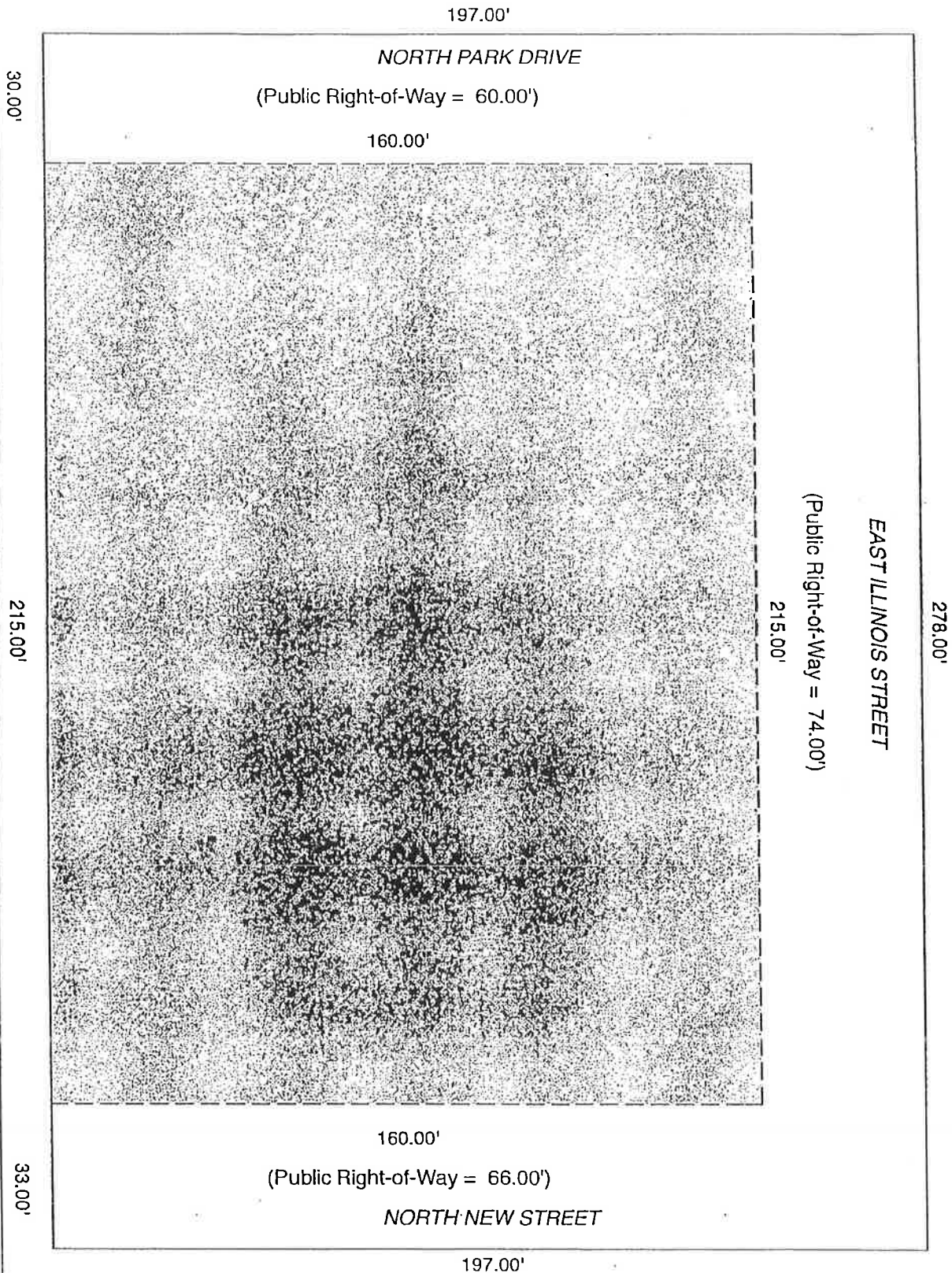
Architectural Canopy



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North Elevation





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PD Boundary Map

