

# PD 1526

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DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

December 20, 2022

Katherine C. Jahnke Dale  
DLA Piper LLP  
444 West Lake Street, Suite 900  
Chicago, IL 60606-0089

**RE: Residential-Business Planned Development No. 1526 – Subarea B, 1114 West Carroll  
Request for Minor Change**

Dear Ms. Jahnke Dale:

Please be advised that your request for a minor change to **Planned Development No. 1526** (“PD 1526”) has been considered by the Department of Planning and Development (“Department”) pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement No. 12 of the PD. The applicant, **Park on Carroll Owner, LLC** (the “Developer” and “Owner”), seeks approval for revisions to the site/landscape plan for Subarea B of Residential-Business Planned Development No. 1526 (the “PD”) for the property generally located at 1114 W Carroll (the “Property”). The Developer is owner of the Property.

The following are a list of modifications you seek approval through the Minor Change Request:

- A proposed sculpture was added to the southwest corner of the Property to conceal a required ventilation shaft.
- An outdoor space was added for a restaurant tenant on the south side of the building.
- A previous pathway that bisected the north-south open space was eliminated to provide a larger, continuous green space. The artificial turf was adopted to better handle the wear and tear of the anticipated traffic from community activities. The artificial turf will include an irrigation system. The remaining 11,254sf of green areas within the park are to be kept as a real grass medium. These areas will house the trees, shrubs, and various plantings to create the natural park space as presented at Plan Commission.
- A total of 71 trees remains on site.
- The platform and fountain plaza on the southeast corner of the Property were combined into a single feature (although both elements are retained from the approved design).
- The dog run was relocated from the east edge of the building to the northeast corner of the Property; The topography of the site was also adjusted to capture the south edge retaining wall.
- A required exit stair from the lower level was added at the northeast corner of the Property. This stair will be constructed with a similar substrate as the adjacent retaining walls, and the proposed mural will wrap around, capturing the 2 exposed stair facades. The park space will extend over the roof of the exit stair.

- The platforms on the north edge of the Property along the railroad tracks and to the east of the building were shifted and enlarged.
- (2) approx. 10' benches will be added to the planted area just east of the fountain plaza facing Aberdeen.
- The planted barrier separating the park space from a future retailer will be removed.
- The material previously noted on plan as Corten was modified to a Blackened Weathered Steel.

The permitted maximum of 9.0276 FAR in Subarea B is unaffected by this minor change. No further changes to the site are proposed. The Department has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1526, I hereby approve the foregoing minor change but no other changes to this Planned Development.

This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

The following exhibits, created by ESG Architects, will be incorporated, and made part of PD 1526:

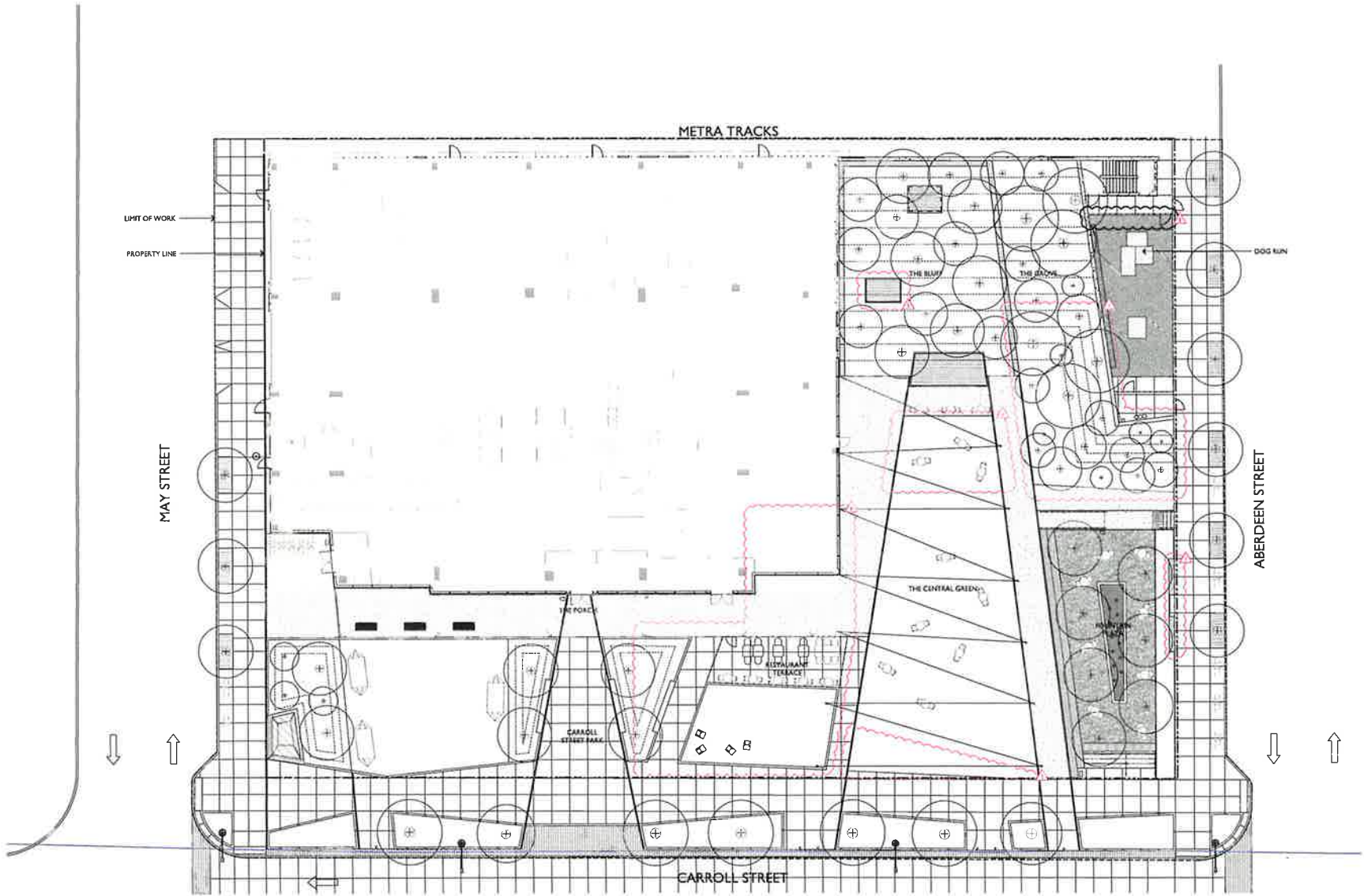
- Ground Floor Overall Site Plan – L0.1
- Ground Floor Hardscape Plan – L1.1
- Ground Floor Layout and Grading Plan – L2.1
- Ground Floor Planting Plan – L3.1
- Ground Floor Soils and Landscape Drainage Plan – L4.1
- Ground Floor Lighting Plan – L5.1
- Ground Floor Irrigation Plan – L6.1
- Ground Floor Section – L7.1
- Ground Floor On-Grade Details – L8.1
- Ground Floor On-structure Planting and Paving Details – L8.2
- Ground Floor On-structure Wall and Curb Details – L8.3
- Ground Floor On-structure Railing Detail – L8.4
- Ground Floor On-Structure Furnishing Details – L8.5

All documents and exhibits dated December 7, 2022.

Sincerely,



Noah Szafranec  
Assistant Commissioner  
Planned Developments and Plan Commission



GROUND FLOOR OVERALL SITE PLAN  
SCALE: 3/32" = 1'-0"

**CARROLL  
RESIDENTIAL**  
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60607

Trimble/Crow Company

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PH: (773) 662-6544  
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6/10/2022  
OUC/  
FOUNDATION  
PERMIT

ORIGINAL ISSUE  
REVISED FOR REFERENCE ONLY  
REVISIONS

No.	Description	Date
1	CHG. + REVISION	2/21/2022

221535  
PROJECT NUMBER  
MS\_ZJ MS\_TB  
DRAWN BY CHECKED BY  
REV PLAN  
DATE REVISION

GROUND FLOOR OVERALL  
SITE PLAN

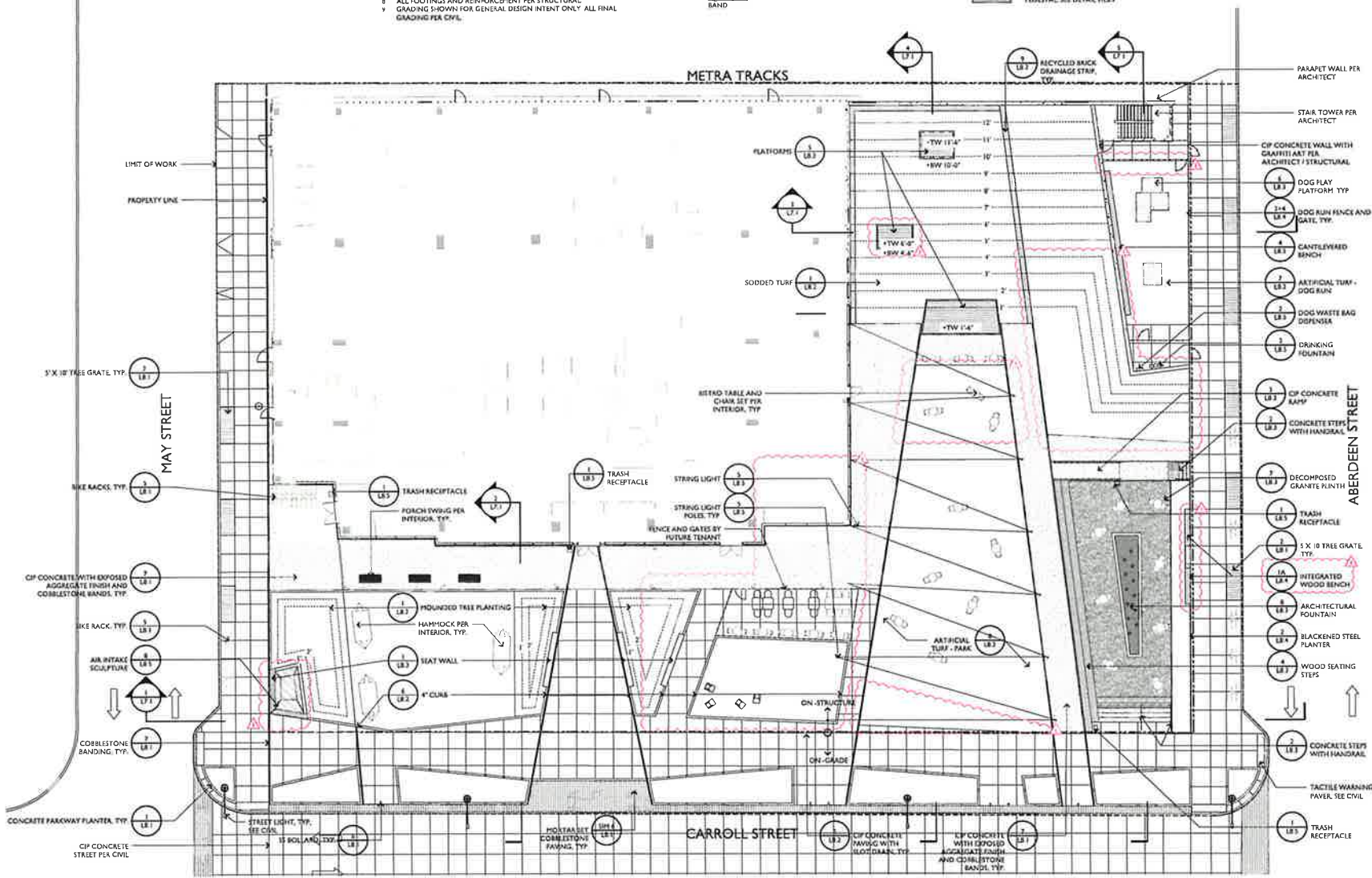
**L0.1**

### HARDSCAPE NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE STAKED AND PAINTED LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL ADJUST LAYOUT AS REQUIRED AT NO ADDITIONAL COST.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT COSTS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND/OR RE-ESTABLISHING AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S COST.
5. ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
6. CURVES SHALL BE SMOOTH AND NON-FACETED. DIGITAL DRAWINGS SHALL BE PROVIDED TO THE CONTRACTOR'S CONSTRUCTION SURVEYOR TO LAYOUT ALL CURVES.
7. PROVIDE SHOP DRAWINGS FOR ALL CUSTOM AND SHOP-BUILT ITEMS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO FABRICATION.
8. ALL FOOTINGS AND REINFORCEMENT PER STRUCTURAL GRADING SHOWN FOR GENERAL DESIGN INTENT ONLY. ALL FINAL GRADING PER CIVIL.

### PAVING LEGEND

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GROUND FLOOR HARDSCAPE PLAN  
SCALE: 3/32" = 1'-0"



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6/10/2022  
OUC/  
FOUNDATION  
PERMIT

ORIGINAL ISSUE  
02/13/22  
TERRACE ONLY  
REVISIONS  
No. Description Date  
1. CYCLE REVIEWS 12/15/21

221535  
PROJECT NUMBER  
MS\_7J MS\_TB  
DRAWN BY: DATE: 01/24/22

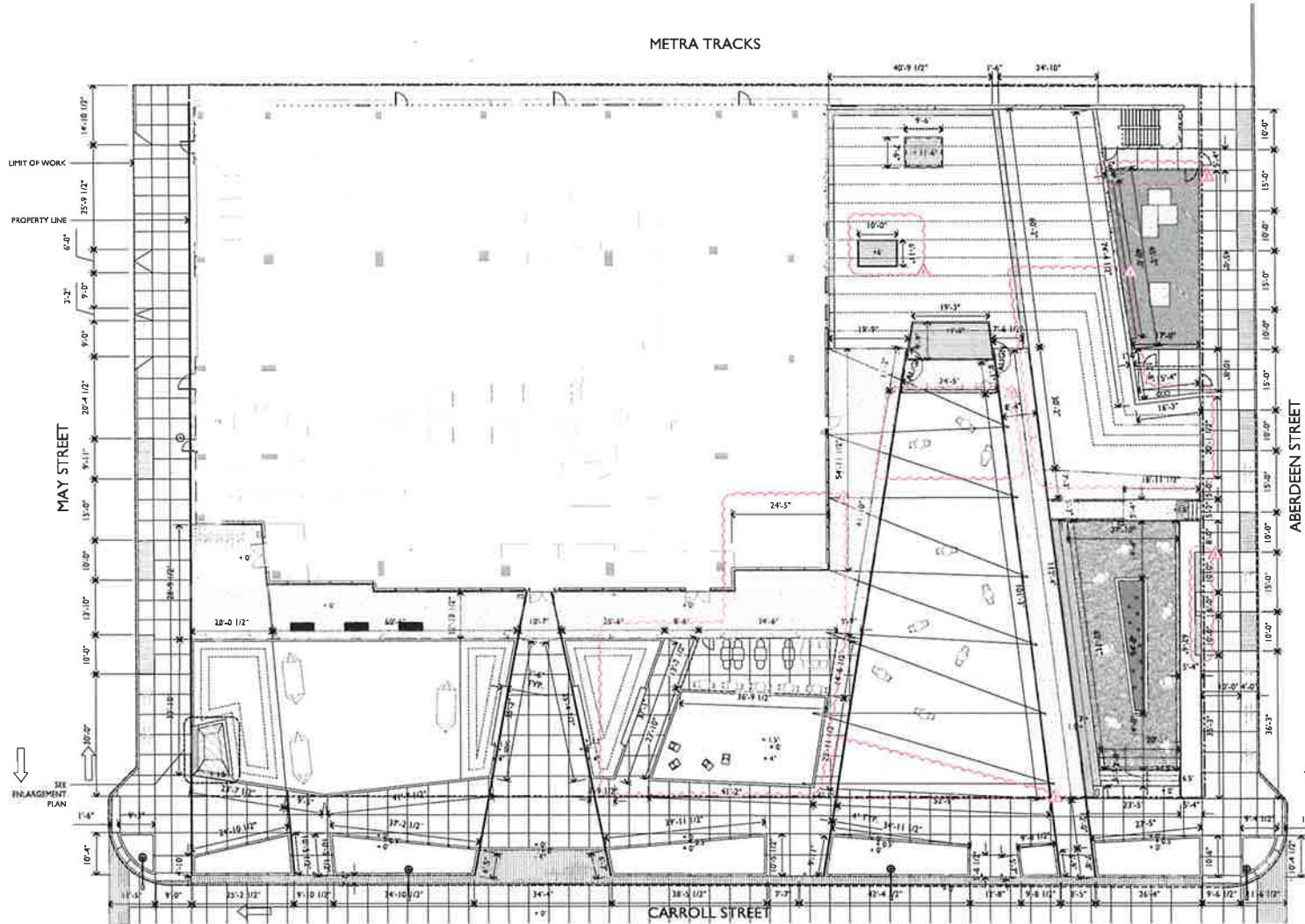


GROUND FLOOR  
HARDSCAPE PLAN  
**L1.1**

**LAYOUT NOTES**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND PROVIDE STAKED AND PAINTED LAYOUT FOR REVIEW BY LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND/OR RE-ESTABLISHING AND MAINTAINING LAYOUT POINTS THROUGHOUT CONSTRUCTION. THE COST OF SUBSEQUENT LAYOUTS SHALL BE AT THE CONTRACTOR'S COST.
3. ALL LINES SHALL BE STRAIGHT AND TRUE IN ACCORDANCE WITH THE DRAWINGS.
4. CURVES SHALL BE SMOOTH AND NON-FACETED. DIGITAL DRAWINGS SHALL BE PROVIDED TO THE CONTRACTOR'S CONSTRUCTION SUPERVISOR TO LAYOUT ALL CURVES.
5. PROVIDE EXPANSION JOINTS 1/32" O.C. TYP. AROUND ALL VERTICAL ELEMENTS. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR CONCRETE JOINTING FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO INSTALLATION.

METRA TRACKS



**GROUND FLOOR LAYOUT AND GRADING PLAN**  
SCALE: 3/32" = 1'-0"



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**6/10/2022**  
**OUC/**  
**FOUNDATION**  
**PERMIT**

ORIGINAL ISSUE  
02/23/22  
FOR REVISION ONLY  
REVISIONS:  
No Drawing No Date  
1 CYCLIC REVISIONS 12/15/22

221535  
PROJECT NUMBER  
MS\_ZJ MS\_TB  
DRAWN BY CHECKED BY  
RFF/PAN

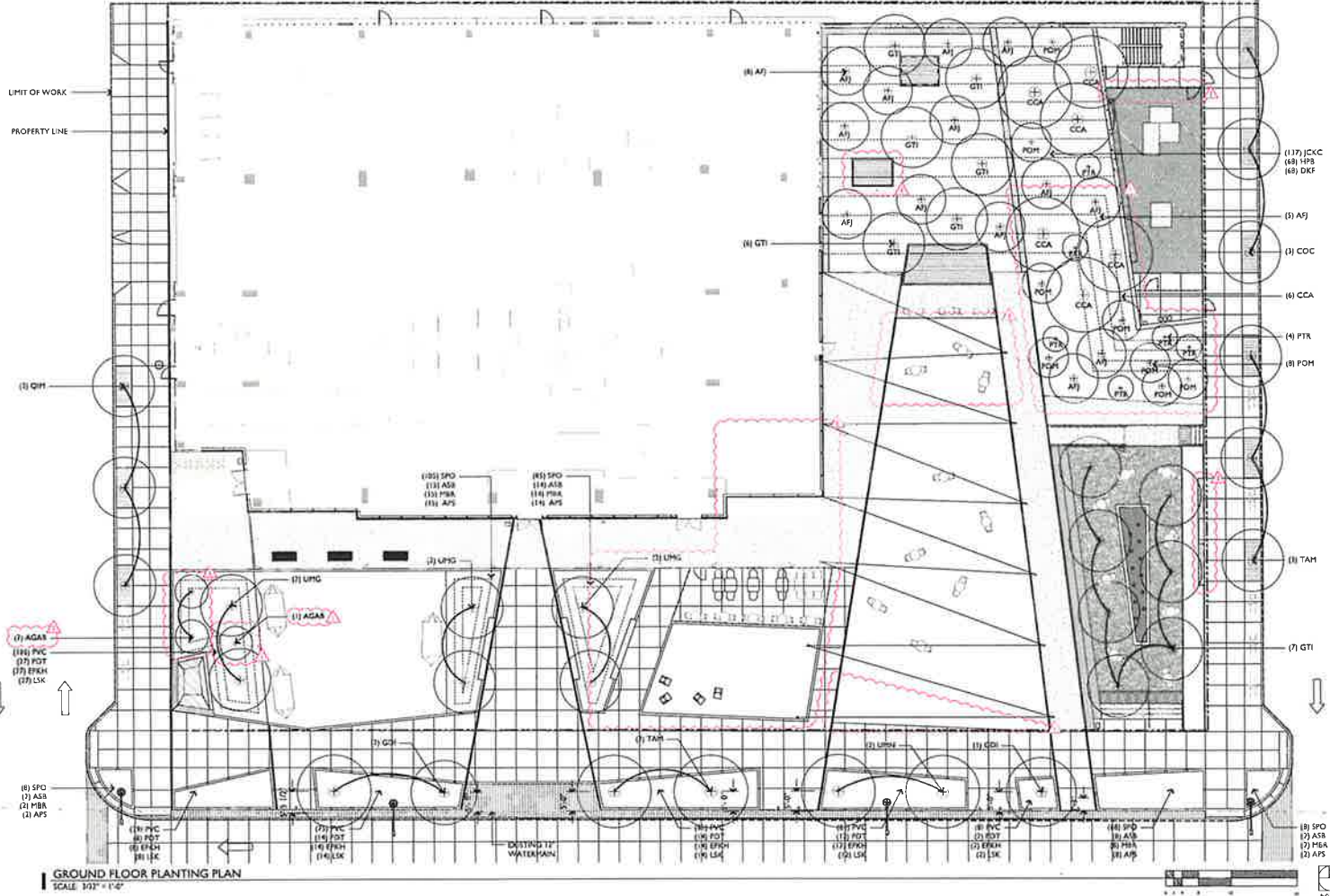
GROUND FLOOR LAYOUT  
AND GRADING PLAN

**L2.1**

**PLANTING NOTES**

1. ALL PLANTING AREAS TO RECEIVE AUTOMATIC IRRIGATION SYSTEM. SEE IRRIGATION PLAN.
2. PROVIDE 1 YEAR WARRANTY ON ALL PLANTING.
3. PROVIDE LITE FRESH EROSION CONTROL BLANKET STAPLED IN PLACE FOR ALL PLANTING AREAS WITH GRADES 1/4 OR GREATER.
4. ALL PLANTING SHALL RECEIVE 3" LAYER OF SHREDED HARDWOOD MULCH.
5. ORNAMENTAL GRASS, PERENNIAL AND BULB INTERPLANTING LAYOUT TO BE FIELD DIRECTED BY LANDSCAPE ARCHITECT.
6. PLANS SHALL TAKE PRECEDENCE SHOULD ANY DISCREPANCIES EXIST BETWEEN PLAN AND PLANT LIST.
7. UPON AUTHORIZATION TO PROCEED WITH THE WORK, A SCHEDULE INDICATING THE DATES OF EACH OF THE FOLLOWING ITEMS SHALL BE PREPARED BY THE TRADE:
  - A. CONTRACTOR AND SUBMITTED TO THE LANDSCAPE ARCHITECT.
  - B. TAGGING OF PLANT MATERIAL IN NURSERIES.
  - C. STAKING OF PLANT LOCATIONS ON SITE.
  - D. DELIVERY OF PLANT MATERIAL ON SITE.
  - E. PLANTING SCHEDULE.

CODE	BOTANICAL NAME	COMMON NAME	QTY	CAL.	HT.	SPRD	ROOT	REMARKS
<b>A. PARKWAY TREES</b>								
COG	ULMUS GLABERRIMUS	FIELD SLIPPER	1	4"	10'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
COE	QUERCUS ALBIFLORA	WHITE OAK	1	4"	10'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
COF	FRAXINUS VIRGINICA	WHITE BEECH	1	4"	10'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
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<b>B. PARK TREES</b>								
AP	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APB	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APC	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APD	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APF	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
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APR	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
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APT	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APU	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APV	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APW	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APX	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APY	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
APZ	ACER FRATERNUM	RED BURNING BUSH	11	4"	8'	12'	BAR	SINGLE TRUNK, 7' HEIGHT TO CANOPY
<b>C. SHRUBS</b>								
AS	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASB	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASC	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASD	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASE	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASF	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASG	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASH	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASI	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASJ	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASK	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASL	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASM	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASN	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASO	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASP	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASQ	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASR	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASS	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
AST	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASU	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASV	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASW	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASX	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASY	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
ASZ	HYDRANGEA PANICULATA	FLORAL HYDRANGEA	18	4"	4'	12'	BR	3" ON CENTER
<b>D. PERENNIALS AND GRASSES</b>								
AG	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGB	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGC	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGD	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGE	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGF	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
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AGP	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGQ	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGR	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGS	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGT	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGU	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGV	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
AGW	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
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AGZ	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING
<b>E. SHRUBS</b>								
ASB	AGASTIS	AGASSIS	11	4"	4'	12'	BR	3" ON CENTER, TRIANGULAR SPACING



**SOIL DEPTH CHART**

AREA	PLANTING TYPE	SOIL DEPTH	SOIL TYPE
	SODDED TURF	8" MIN	LITETOP LAWN BLEND BY HYDROTECH
	HERBACEOUS	12" MIN	LITETOP INTENSIVE BLEND BY HYDROTECH
	TREES	36" MIN DEPTH 100 SF MIN AREA	LITETOP INTENSIVE BLEND BY HYDROTECH
	FLORAL ROW PLANTERS	36" MIN	30% COMPOST, 70% TOPSOIL, 20% SAND
	ROW TREE GRATE PLANTERS	36" MIN	STANDARD COOT SOIL MIX
	SIDEWALK	36" MIN	STANDARD COOT STRUCTURAL SOIL MIX

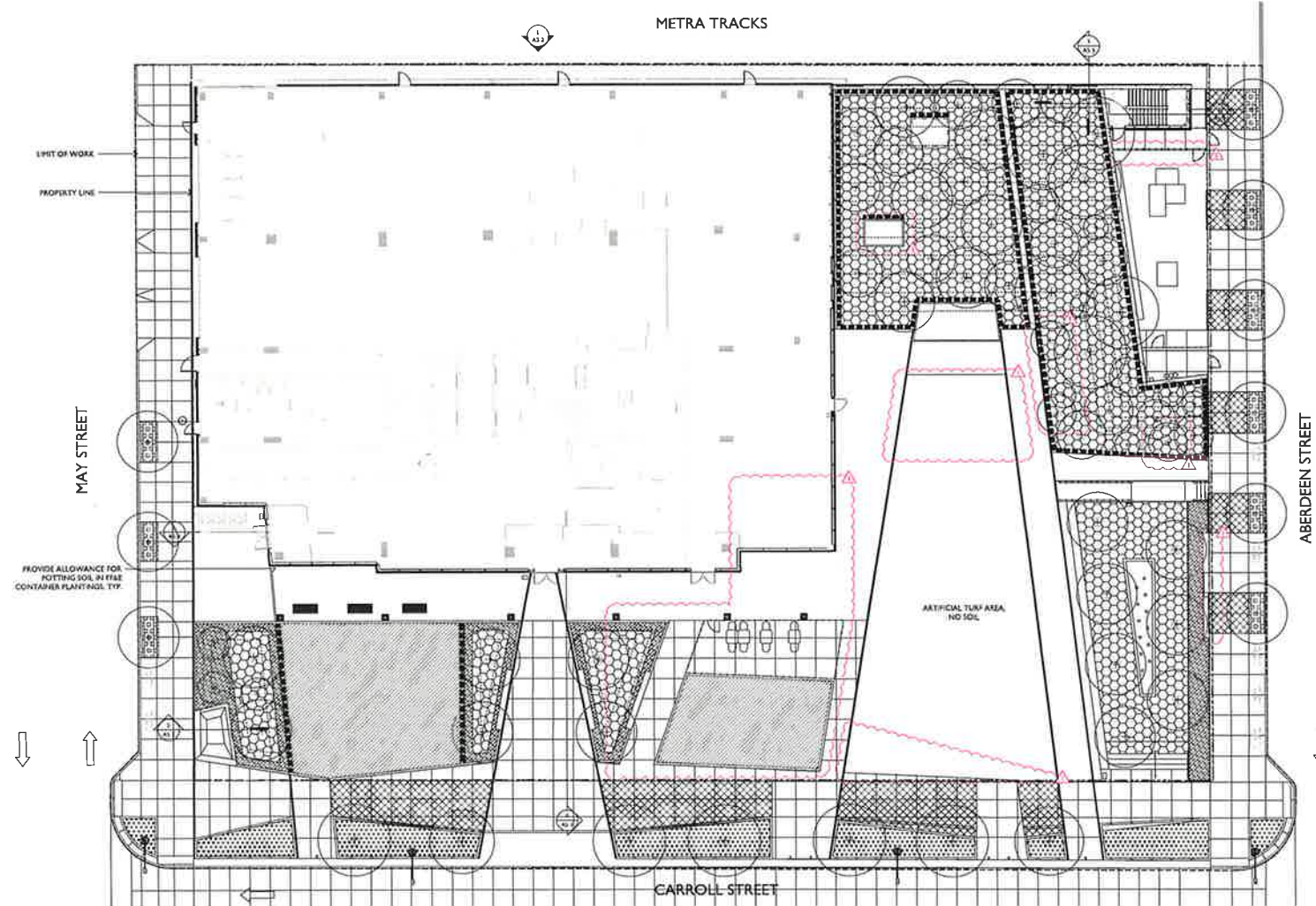
NOTE: CONTRACTOR SHALL SUPPLY SOIL FILL MATERIAL TO THE DEPTHS INDICATED ON THE CHART ABOVE. PROVIDING GEOFOAM BUILD UP BELOW AS REQUIRED TO ACHIEVE INDICATED DEPTHS

**LANDSCAPE DRAINAGE NOTES**

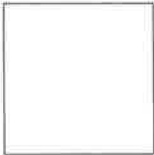
1. LANDSCAPE DRAINAGE SHOWN IS IN ADDITION TO SITE DRAINAGE BY CIVIL ENGINEER
2. LAYOUT IS FOR REFERENCE ONLY. ALL PIPES SHALL BE INSTALLED IN SEGMENTS WITH REQUIRED CONNECTION
3. CONNECTIONS BETWEEN PIPES IS NOT SHOWN BUT SHOULD BE INCLUDED IN CONTRACTOR'S PAVING
4. REFER TO CIVIL DRAINAGE SYSTEM FOR TAP LOCATIONS
5. INSPECTION PIPES AND AREA DRAINS NOT SHOWN BUT SHOULD BE INCLUDED IN CONTRACTOR'S PAVING
6. PVC SLEEVING FOR UTILITIES PER MEP

**LANDSCAPE DRAINAGE LEGEND**

- 4" DIA. LANDSCAPE PERFORATED DRAIN TILE WRAPPED IN 1/2" WIDTH FREE-DRAINING AGGREGATE WITH NO FINES. LINED IN FILTER FABRIC, TO 4" BELOW F.G.
- NOTE: PROVIDE 1" WIDE VERTICAL GAPS IN GEOFOAM AT 5'-0" OC. ALL VERTICAL WALLS AND CURBS SHALL BE LINED IN AN INSULATED VERTICAL DRAINAGE LAYER.



**GROUND FLOOR SOILS AND LANDSCAPE DRAINAGE PLAN**  
SCALE: 3/32" = 1'-0"



**CARROLL RESIDENTIAL**  
1114 West Carroll, Chicago, IL 60607



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PH: (312) 662-5484  
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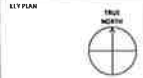


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**OC/**  
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**PERMIT**

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No.	Description	Date
1	CHECK REVISIONS	12/11/2022

221535  
PROJECT NUMBER  
MS\_21 MS\_TB  
Drawing # Drawing #



GROUND FLOOR SOILS AND LANDSCAPE DRAINAGE PLAN

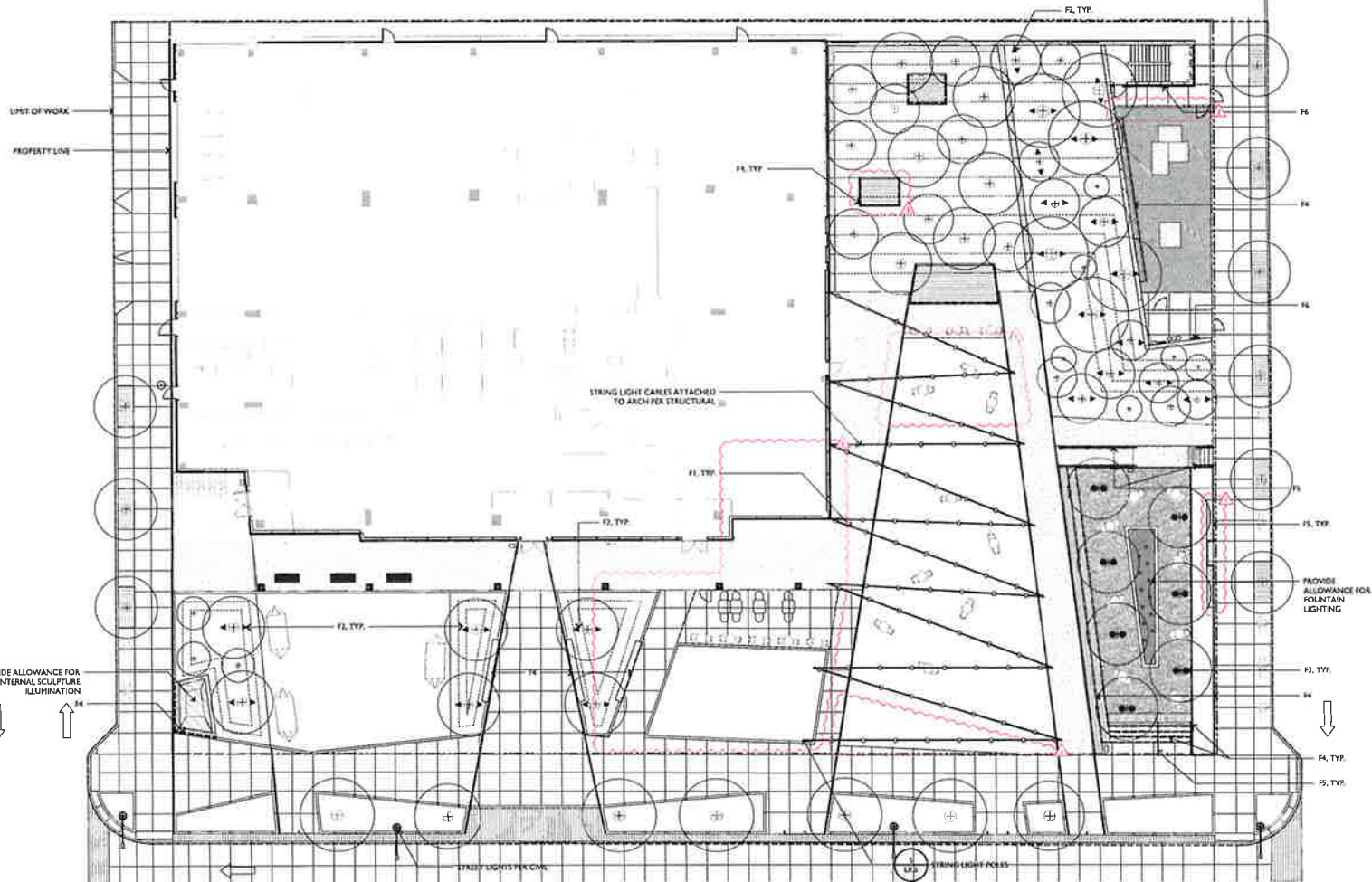
**L4.1**

**LIGHTING NOTES**

1. ALL LIGHTING SHALL BE 3000K COLOR TEMPERATURE UNLESS OTHERWISE NOTED
2. SLEEVING TO BE INCLUDED COORDINATE ACROSS DISCIPLINES
3. ALL ELECTRICAL CONNECTIONS AND CONTROLS PER ELECTRICAL ENGINEER
4. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL EXTERIOR LIGHTING AND STRUCTURAL CALCULATIONS FOR CATENARY LIGHT CABLES

**LIGHTING LEGEND**

- CABLE LIGHTS (ATTACHED TO POLES)
  - F1 DUJALED CABLE LIGHT BY TARSETTI WITH STARGAZER BULB 24" O.C. SPACING SEE DETAILS
- ▲ TREE STAKE-MOUNTED UPLIGHT
  - F2 "BULLETO MINI" BY TARGETTI STAKE MOUNTED INTO SOIL. COLOR, BRONZE
- TREE IN-GRADE UPLIGHT
  - F3 "KEPLERO MINI HIGH EFFICACY 6IN" BY TARGETTI FLUSH MOUNTED IN PAVING PER MANUFACTURER. COLOR, STAINLESS STEEL
- LED COVE LIGHT
  - F4 "DURAFLEX NEON TOP FLEX" BY TARGETTI MOUNT TO ASSOCIATED BENCH OR CURB PER MANUFACTURER'S RECOMMENDATIONS
- o-o- RAILING PUCK LIGHT
  - F5 "PUCK XT" BY WILA MOUNT TO UNDERSIDE OF RAILING AT 4'-0" O.C. PER MANUFACTURER'S RECOMMENDATIONS
- STEP LIGHT
  - F6 "EDGE LINE" BY TARGETTI, 12" LENGTH MOUNT TO ASSOCIATED WALL PER MANUFACTURER'S RECOMMENDATIONS



**GROUND FLOOR LIGHTING PLAN**  
SCALE 3/32" = 1'-0"

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GROUND FLOOR LIGHTING PLAN

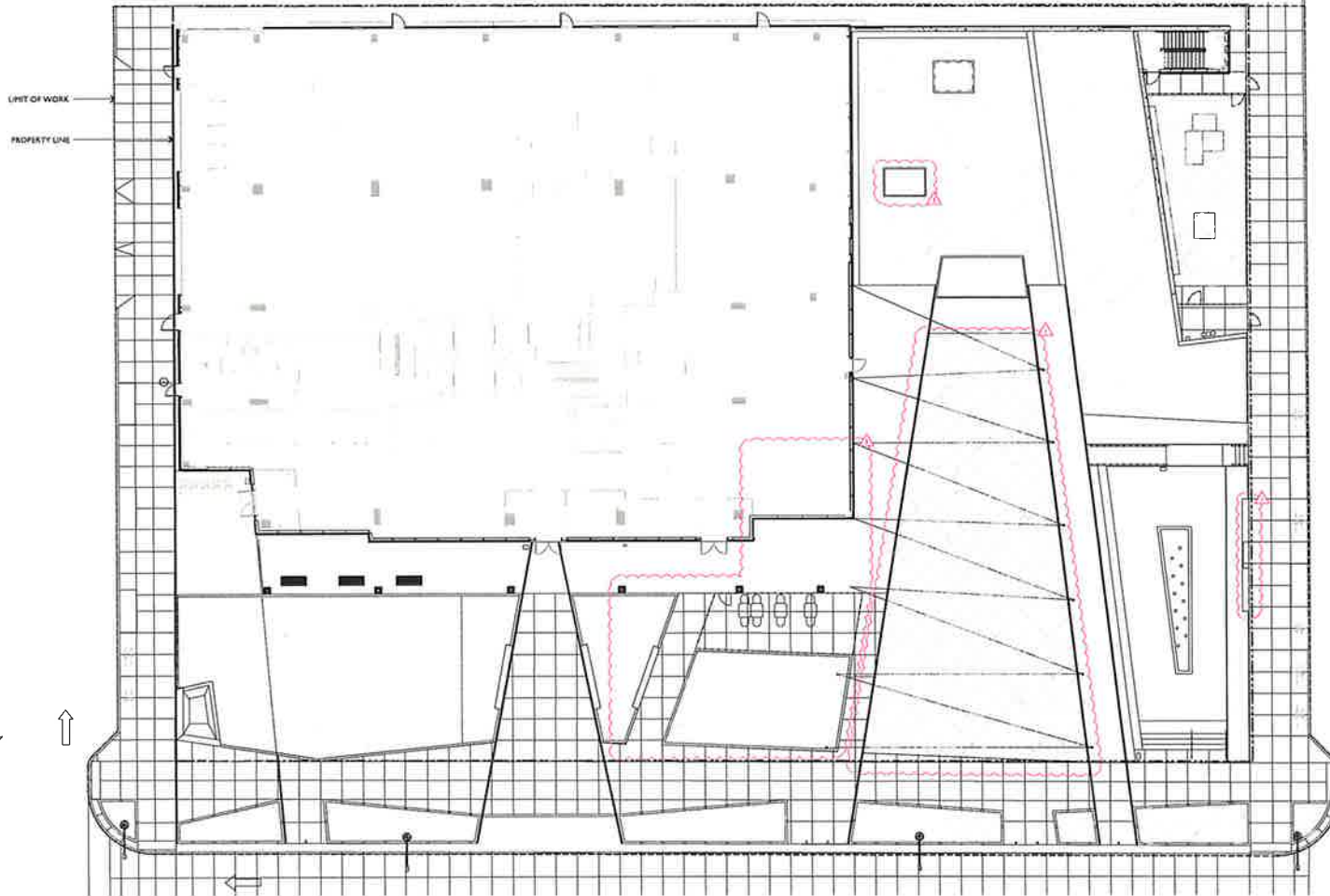
**L5.1**

**IRRIGATION NOTES**

- 1 PROVIDE ALLOWANCE FOR DRIP IRRIGATION IN ALL PLANTING AREAS WITH RAINFOED EQUIPMENT AS THE BASIS OF DESIGN
- 2 PROVIDE ALLOWANCE FOR POP-UP SPRAY IRRIGATION IN ALL SOD AREAS WITH RAINFOED EQUIPMENT AS THE BASIS OF DESIGN
- 3 IRRIGATION TO BE COORDINATED WITH MEP ENGINEER

**IRRIGATION LEGEND**

-  AREA TO BE IRRIGATED
-  AREA TO RECEIVE AUTOMATIC FLUSHING SYSTEM



**GROUND FLOOR IRRIGATION PLAN**  
SCALE: 3/32" = 1'-0"



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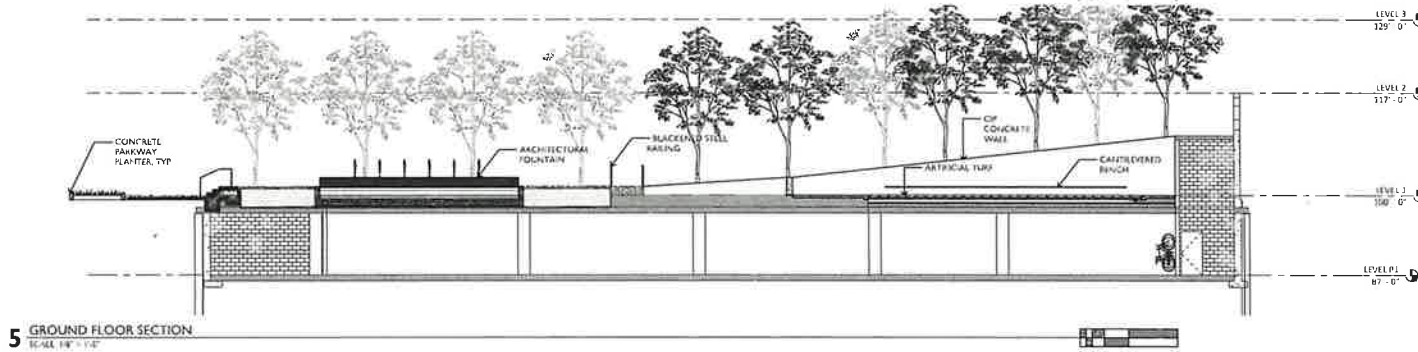
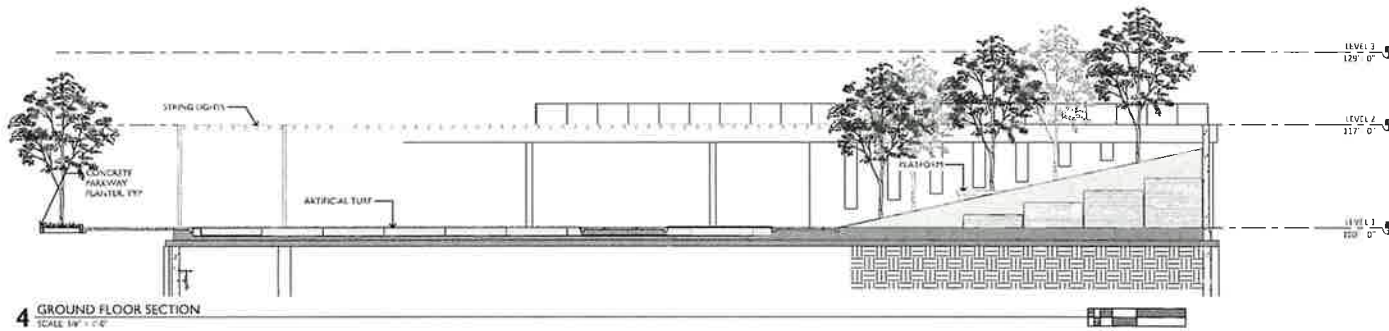
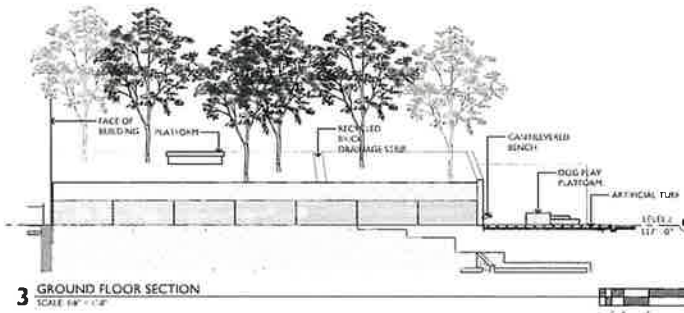
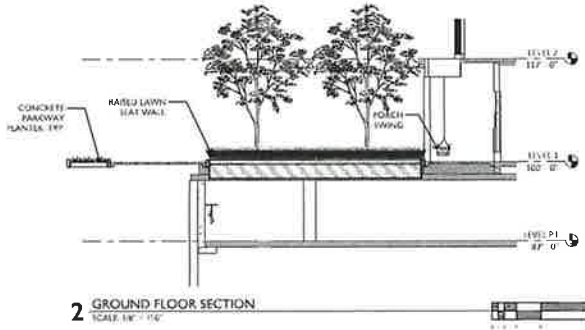
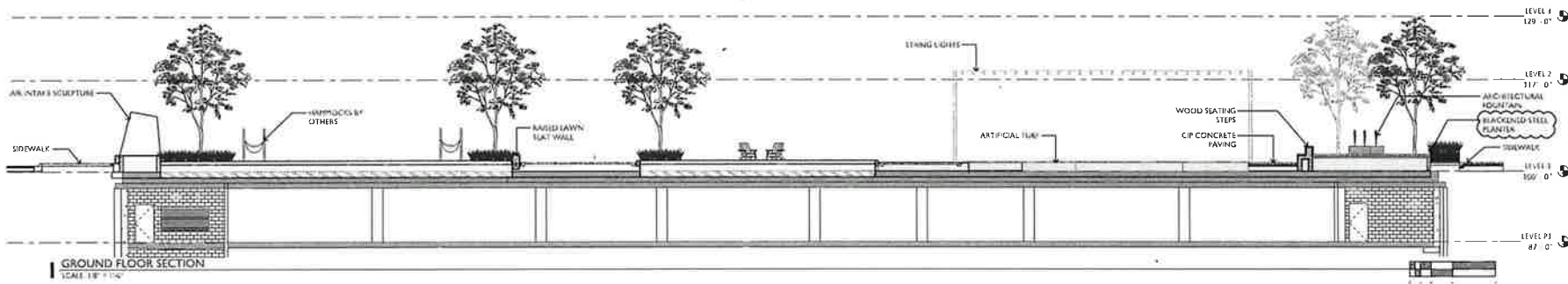


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PROJECT NUMBER  
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DESIGNED BY  
DATE NORTH

**GROUND FLOOR**  
**IRRIGATION PLAN**  
**L6.1**



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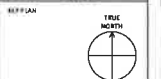
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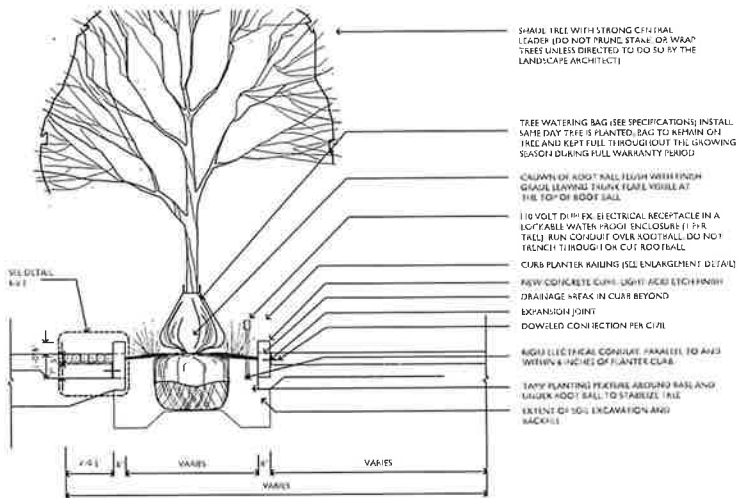
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PROJECT NUMBER  
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01/24/22 01/20/22

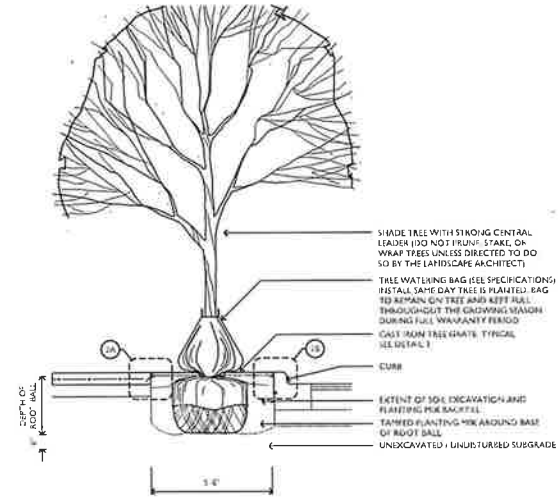


GROUND FLOOR SECTIONS

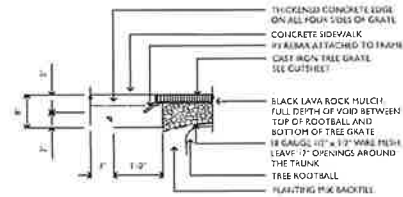
**L7.1**



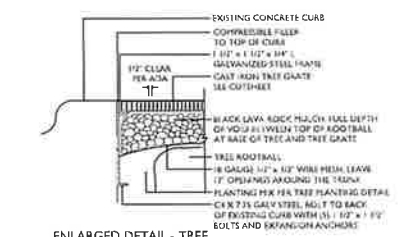
1 TYPICAL PARKWAY PLANTER SECTION  
SCALE: 1/2" = 1'-0"



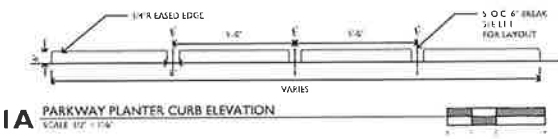
2 TREE PLANTING IN GRATE  
SCALE: 1/2" = 1'-0"



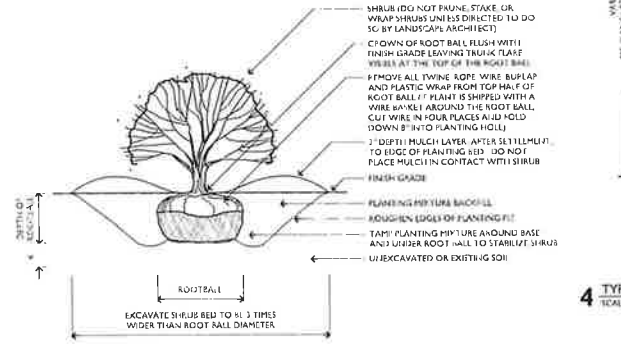
2A TREE GRATE INSTALLATION  
SCALE: 1" = 1'-0"



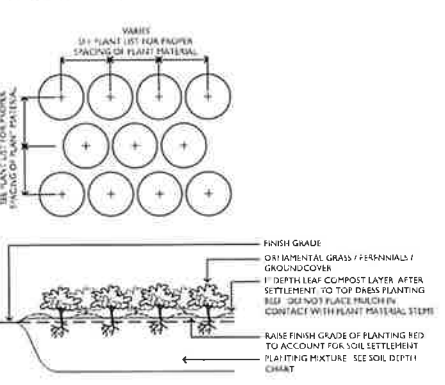
2B ENLARGED DETAIL - TREE GRATE AGAINST EXISTING CURB  
SCALE: 1" = 1'-0"



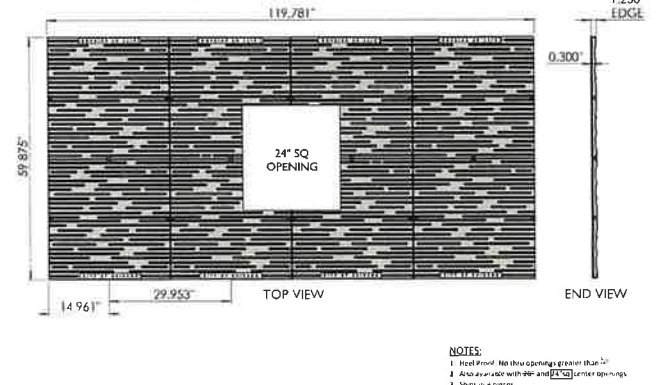
1A PARKWAY PLANTER CURB ELEVATION  
SCALE: 1/2" = 1'-0"



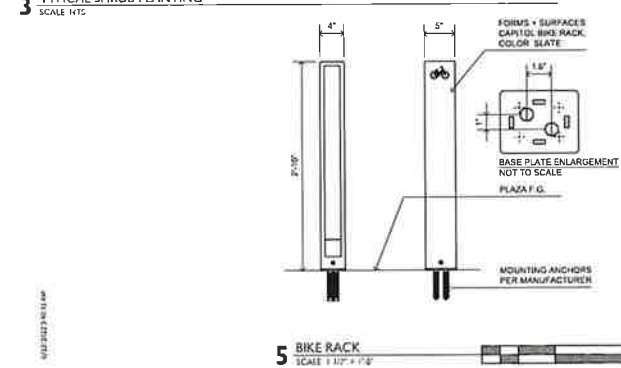
3 TYPICAL SHRUB PLANTING  
SCALE: 1/2"



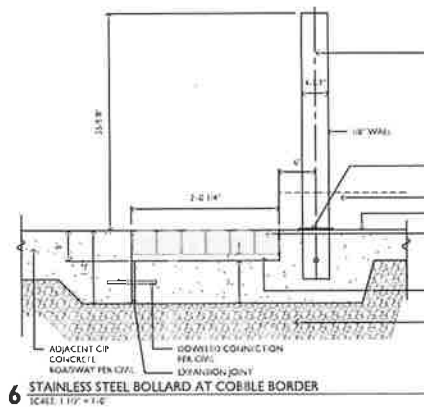
4 TYPICAL HERBACEOUS PLANTING  
SCALE: NTS



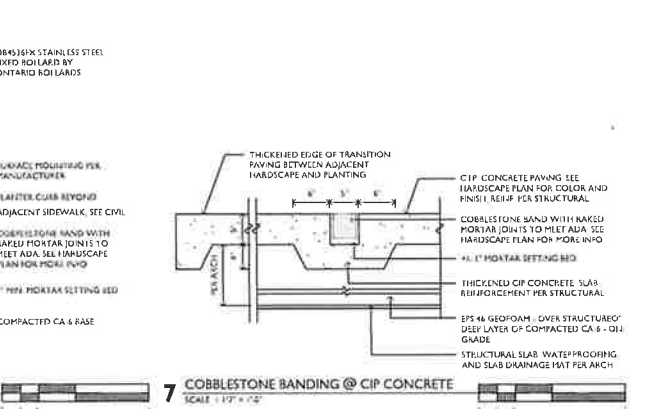
2C 5' X 10' TREE GRATE - CUT SHEET  
SCALE: 1" = 1'-0"



5 BIKE RACK  
SCALE: 1/2\"/>



6 STAINLESS STEEL BOLLARD AT COBBLE BORDER  
SCALE: 1/2\"/>



7 COBBLESTONE BANDING @ CIP CONCRETE  
SCALE: 1/2\"/>

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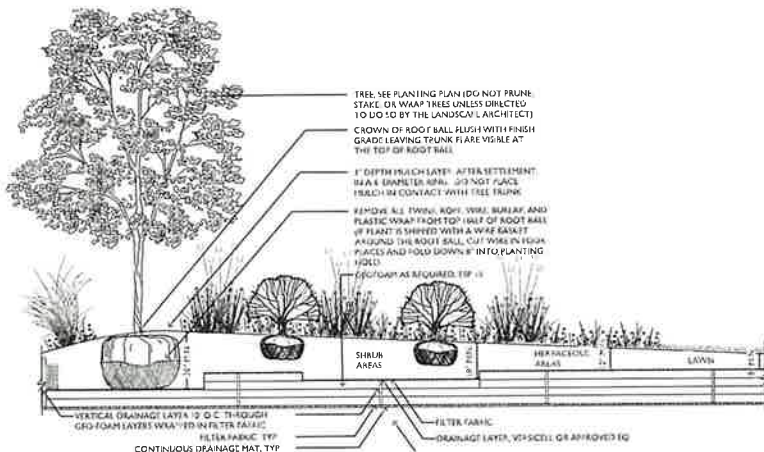
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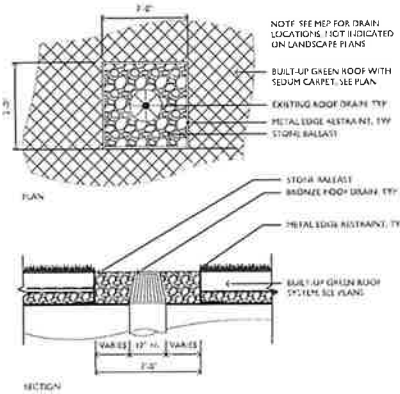
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GROUND FLOOR ON-GRADE  
DETAILS

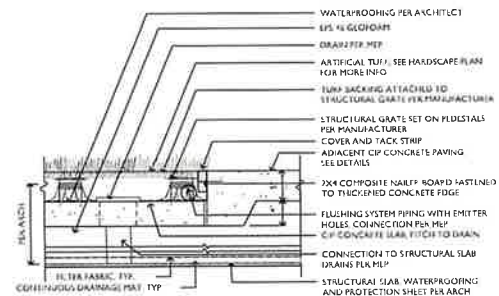
L8.1



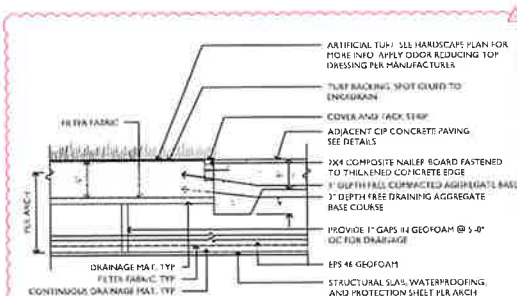
1 TYPICAL ON-STRUCTURE PLANTING  
SCALE: 1/2" = 1'-0"



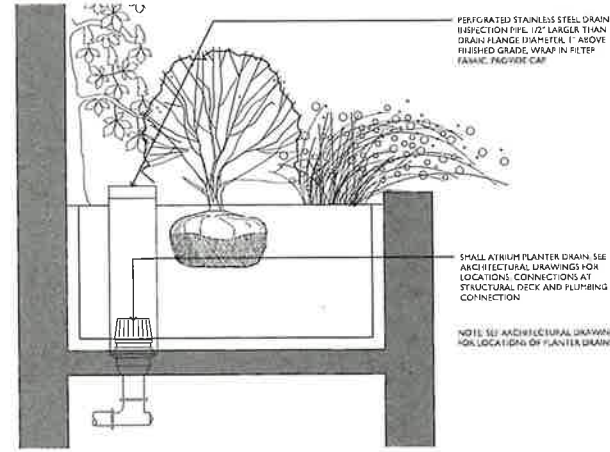
4 TYPICAL DRAIN AT BUILT-UP SYSTEM  
SCALE: 1/2" = 1'-0"



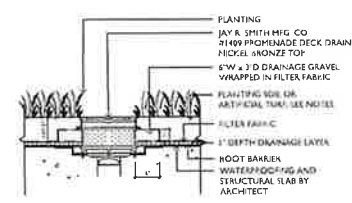
7 ARTIFICIAL TURF AT DOG RUN  
SCALE: 1/2" = 1'-0"



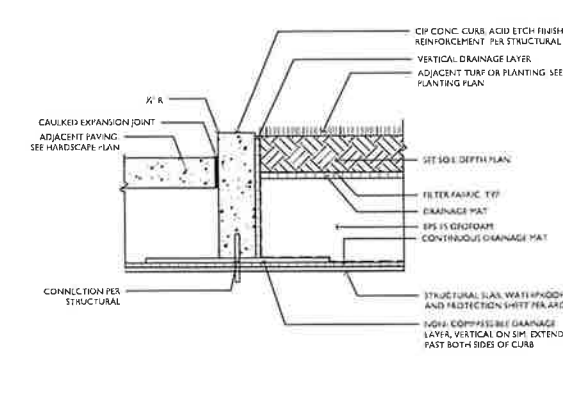
8 ARTIFICIAL TURF AT PARK  
SCALE: 1/2" = 1'-0"



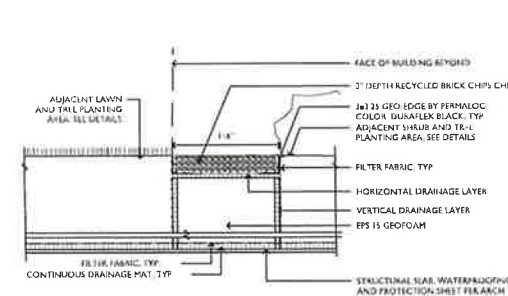
2 TYPICAL INSPECTION PIPE  
SCALE: 1/2" = 1'-0"



3 TYPICAL 2 STAGE DRAIN  
SCALE: 1/2" = 1'-0"



6 CURB AT LAWN  
SCALE: 1/2" = 1'-0"



9 DRAINAGE STRIP  
SCALE: 1/2" = 1'-0"

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1	ENCL 1 REVISION	10/10/2021

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PROJECT NUMBER

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1/1 PLAN

1/2" = 1'-0"

GROUND FLOOR ON-STRUCTURE PLANTING AND PAVING DETAILS

L8.2



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R11 PLAN

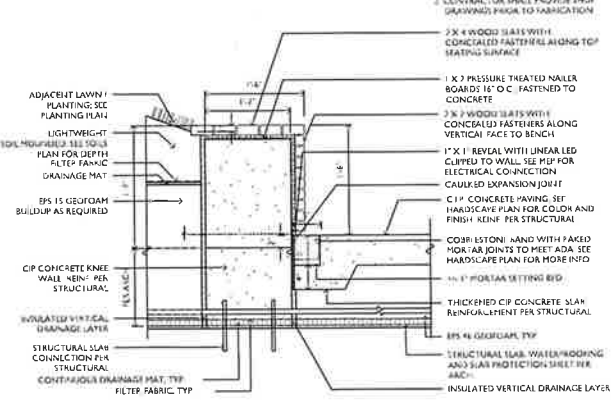


GROUND FLOOR ON-STRUCTURE WALL AND CURB DETAILS

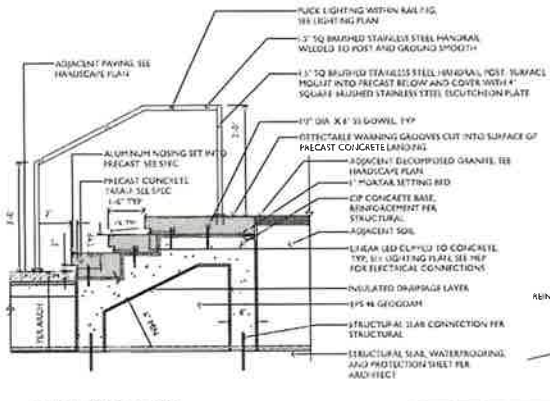
**L8.3**

**NOTE**

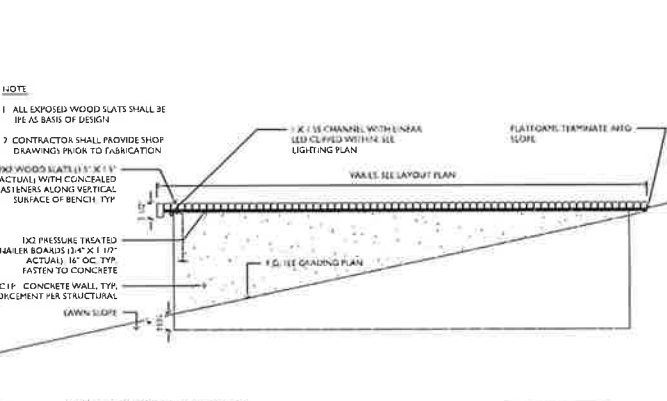
1. ALL EXPOSED WOOD SLATS SHALL BE 1/2" AS BASIS OF DESIGN.
2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION.
3. 2" X 4" WOOD SLATS WITH CONCEALED FASTENERS ALONG TOP SEATING SURFACE.
4. 3" X 2" PRESSURE TREATED NAILER BOARDS 16" O.C. FASTENED TO CONCRETE.
5. 2" X 4" WOOD SLATS WITH CONCEALED FASTENERS ALONG VERTICAL FACE TO BENCH.
6. 1" X 1" REVEAL WITH LINEAR LED CLIPPED TO WALL. SEE HUP FOR ELECTRICAL CONNECTION. CALIBRATED EXPANSION JOINT.
7. C.I.P. CONCRETE PAVING. SEE HARDSCAPE PLAN FOR COORD AND FINISH SCHEDULE PER STRUCTURAL.
8. CORR. ESTON. HAND WITH FACED MORTAR JOINTS TO MEET ADA. SEE HARDSCAPE PLAN FOR MORE INFO.
9. 1/4" X 1" PORTLAND SETTING BED.
10. THICKENED C.I.P. CONCRETE SLAB REINFORCEMENT PER STRUCTURAL.
11. STRUCTURAL SLAB WATERPROOFING AND PROTECTION SHEET PER ARCH.
12. INSULATED VERTICAL DRAINAGE LAYER.



**1 TYPICAL FABRICATED LAWN SEAT WALL**  
SCALE: 1/2" = 1'-0"



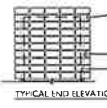
**2 TYPICAL PRECAST STEPS**  
SCALE: 3/4" = 1'-0"



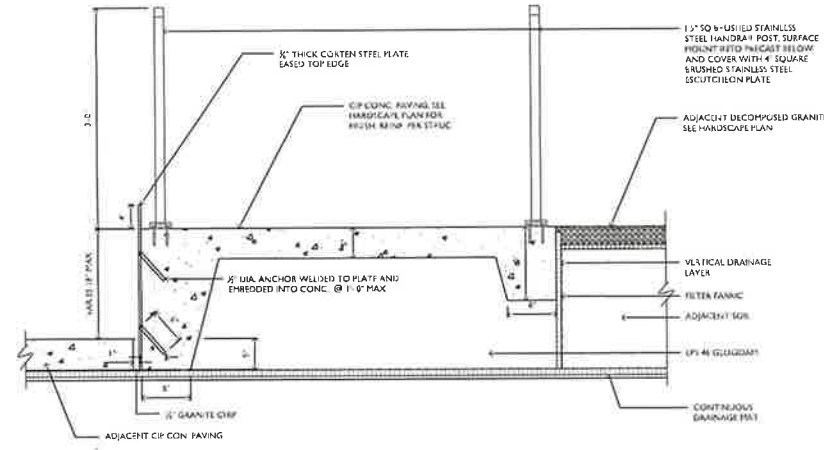
**5 TYPICAL PLATFORM AT SLOPE**  
SCALE: 1/2" = 1'-0"

**NOTE**

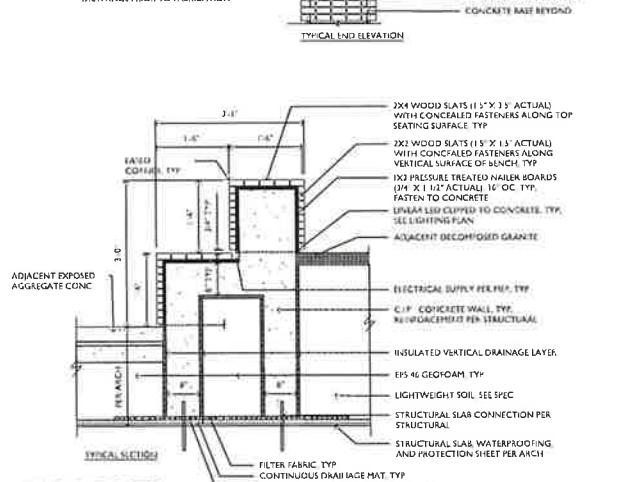
1. ALL EXPOSED WOOD SLATS SHALL BE 1/2" AS BASIS OF DESIGN.
2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION.



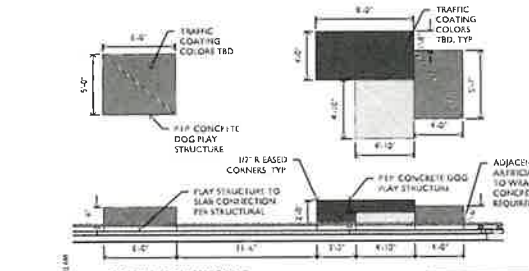
TYPICAL END ELEVATION



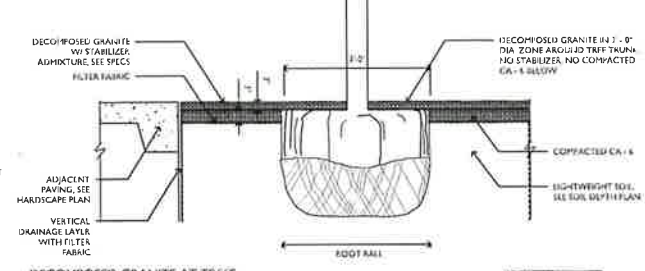
**3 SLOPED WALKWAY**  
SCALE: 1/2" = 1'-0"



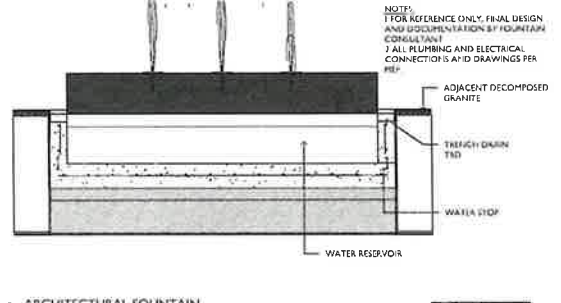
**4 WOOD SEATING STEPS**  
SCALE: 1/2" = 1'-0"



**6 DOG PLAY PLATFORMS**  
SCALE: 1/4" = 1'-0"



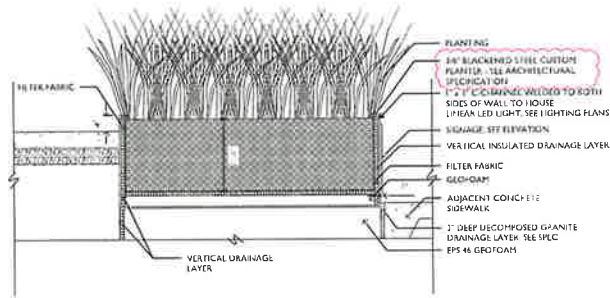
**7 DECOMPOSED GRANITE AT TREES**  
SCALE: 1/2" = 1'-0"



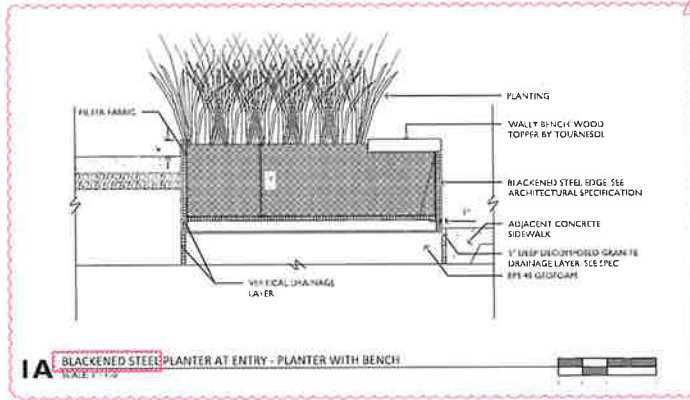
**8 ARCHITECTURAL FOUNTAIN**  
SCALE: 1/2" = 1'-0"

**NOTES:**  
1. FOR REFERENCE ONLY. FINAL DESIGN AND DOCUMENTATION BY FOUNTAIN CONSULTANT.  
2. ALL PLUMBING AND ELECTRICAL CONNECTIONS AT 'D' DRAWINGS PER REF.

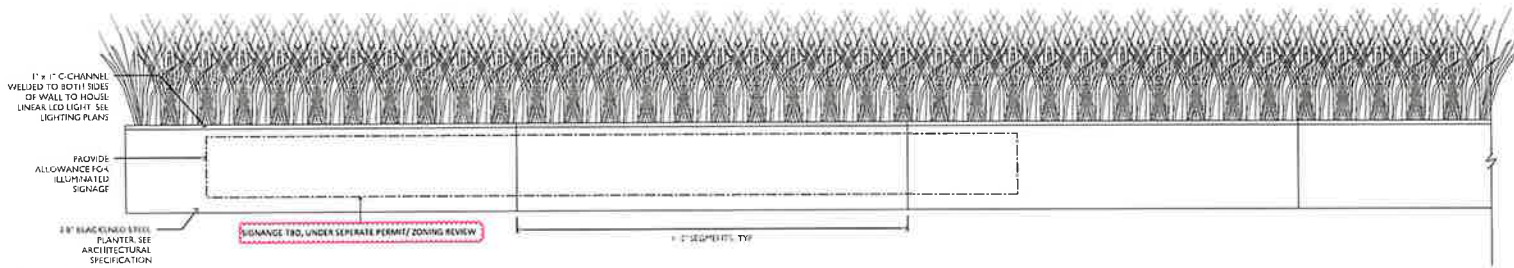
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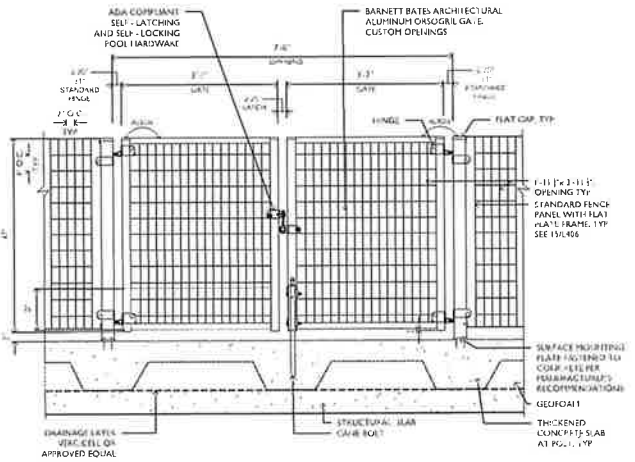
**1 BLACKENED STEEL PLANTER AT ENTRY**



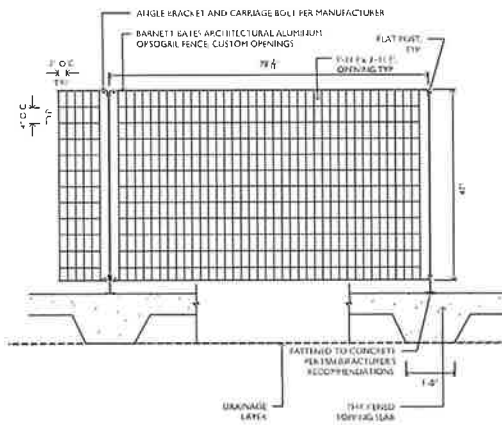
**1A BLACKENED STEEL PLANTER AT ENTRY - PLANTER WITH BENCH**



**2 BLACKENED STEEL PLANTER SIGNAGE**



**3 DOG RUN GATE ELEVATION**



**4 DOG RUN FENCE ELEVATION**



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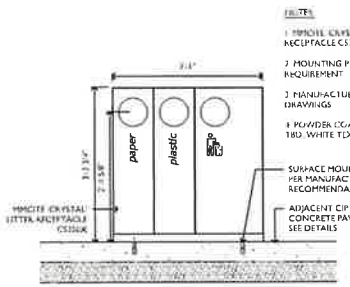
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1. CYCLE R REVISIONS 10/11/2022

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MS\_21 MS\_TB  
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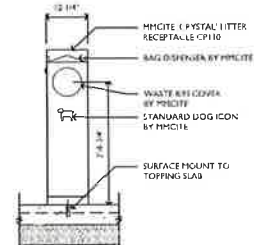
GROUND FLOOR  
ON-STRUCTURE RAILING  
DETAIL

**L8.4**



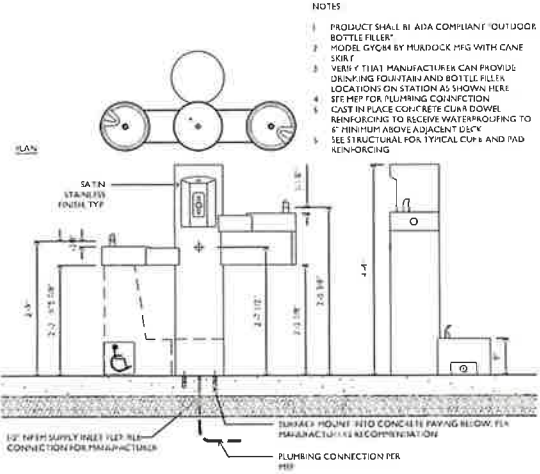
- NOTES**
1. PROVIDE GENERAL LITTER RECEPTACLE C3130
  2. MOUNTING PER MANUFACTURER REQUIREMENT
  3. MANUFACTURER TO SUPPLY SHOP DRAWINGS
  4. PROVIDER COATED FINISH COLOR TRU WHITE TEXT
- SURFACE MOUNT INTO CIP PAVING PER MANUFACTURER'S RECOMMENDATION
- ADJACENT CIP CONCRETE PAVING SEE DETAILS

**1 TRASH RECEPTACLE**  
SCALE: 1/4"=1'-0"

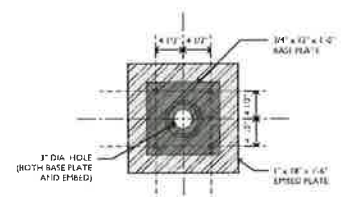


- NOTES**
1. PROVIDE CRYSTAL LITTER RECEPTACLE C3110
  2. MOUNTING PER MANUFACTURER REQUIREMENT
  3. MANUFACTURER TO SUPPLY SHOP DRAWINGS
  4. PROVIDER COATED FINISH COLOR TRU WHITE TEXT
- WASTE BIN COVER BY PROVIDER
- STANDARD LOG ICON BY PROVIDER
- SURFACE MOUNT TO TOPPING SLAB

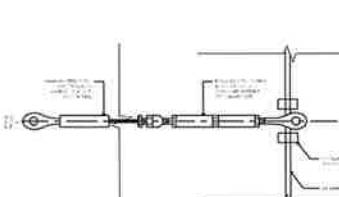
**2 TRASH RECEPTACLE AT DOG RUN**  
SCALE: 1/4"=1'-0"



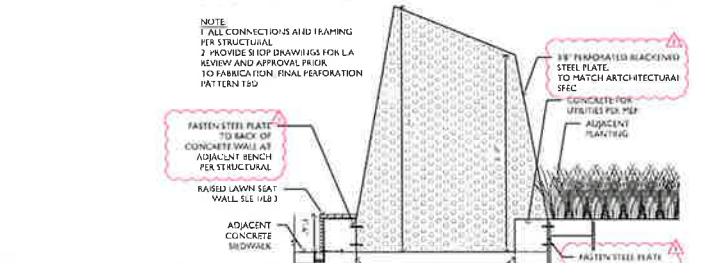
**3 WATER FOUNTAIN**  
SCALE: 1/4"=1'-0"



**6 CATENARY LIGHT POST PLAN VIEW AT TYPICAL CONDITION**  
SCALE: 1/4"=1'-0"



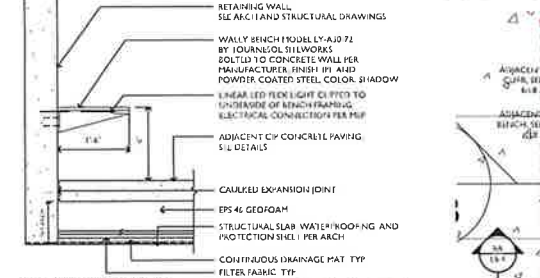
**7 CABLE TO CABLE CONNECTION - PLAN**  
SCALE: 1/4"=1'-0"



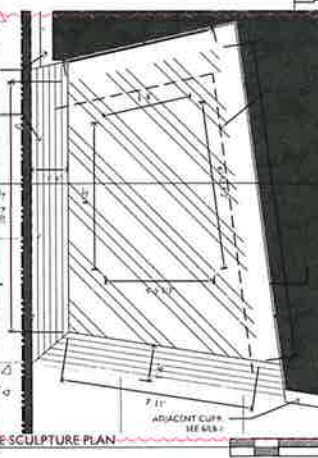
**8A AIR INTAKE SCULPTURE SECTION**  
SCALE: 1/4"=1'-0"



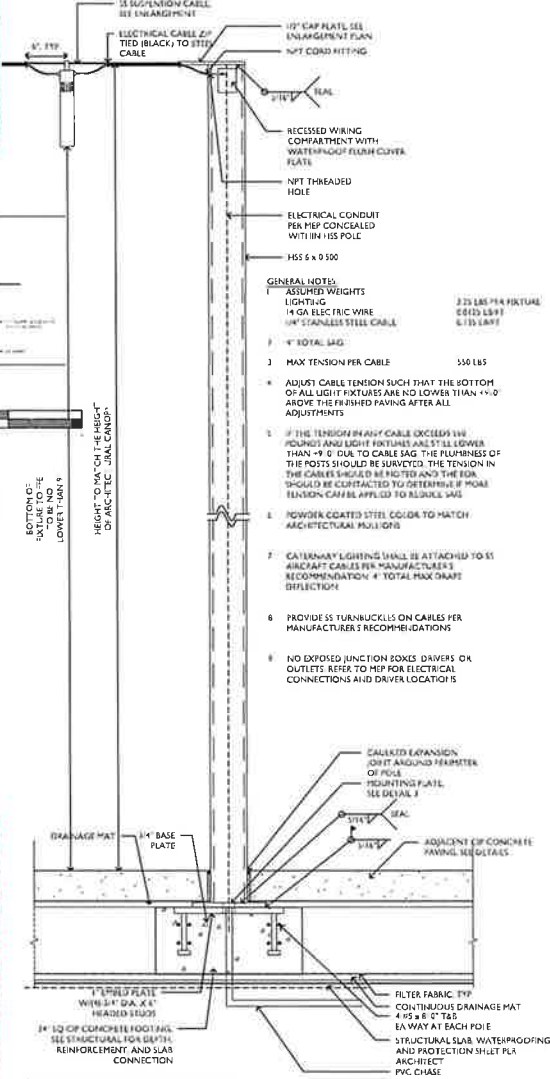
**8B AIR INTAKE SCULPTURE (FOR REFERENCE ONLY)**  
SCALE: N/A



**4 CANTILEVERED BENCH**  
SCALE: 1/4"=1'-0"



**8 AIR INTAKE SCULPTURE PLAN**  
SCALE: 1/4"=1'-0"



**5 CATENARY LIGHT POST SECTION AT TYPICAL CONDITION**  
SCALE: 1/4"=1'-0"

**CARROLL RESIDENTIAL**  
1114 West Carroll, Chicago, IL 60607

**Trammell Crow Company**

**esc**  
ARCHITECTURE & DESIGN  
400 West Madison Avenue, Suite 1000  
Chicago, IL 60601  
P: 312.335.1111  
www.esca.com

**CONFLUENCE**

LANDSCAPE ARCHITECT  
**CONFLUENCE**  
247 N. PULASKI AVE. SUITE 101  
CHICAGO, IL 60607  
PH: 312.467.5400  
www.confluence.com



**6/10/2022 OUC FOUNDATION PERMIT**

ORIGINAL ISSUE: 01/19/22  
FOR REFERENCE ONLY  
REVISIONS:  
REV. NO. | DESCRIPTION | DATE  
1 | CYCLE 1 REVISIONS | 02/10/2022

221552  
PROJECT NUMBER  
MS\_ZJ MS\_TB  
DRAWN BY CHECKED BY

GROUND FLOOR ON-STRUCTURE FURNISHING DETAILS

**L8.5**



DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

September 30, 2022

Katherine C. Jahnke Dale  
DLA Piper LLP  
444 West Lake Street  
Suite 900  
Chicago, IL 60606-0089

**Re: Minor Change for Planned Development No. 1526  
315 N. May Street and 1112 W. Carroll Avenue**

Dear Ms. Jahnke-Dale:

Please be advised that your request for a minor change to Planned Development No. 1526 ("PD 1526") has been considered by the Department of Planning and Development ("Department") pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement Number 12 of the PD. The applicant, Trammell Crow Chicago Development, Inc. (the "**Developer**"), is seeking a minor change for the properties generally located at 315 N. May and 1112 W. Carroll and pursuant to authorization from the property owners.

The PD allows an overall floor area ratio ("**FAR**") of 11.5 and consists of two subareas. Subarea A is the property generally located at 315 N May, has a net site area of 46,487 square feet and has an approved FAR of 14.21 (660,580.27 square feet of floor area). Subarea B is the property generally located at 1112 W Carroll, has a net site area of 44,487 square feet and has an approved FAR of 8.66 (385,257.42 square feet of floor area).

The Developer requests a minor change to reduce the permitted FAR in Subarea A from 14.21 to 13.866 (644,588.74 square feet) and to increase the permitted FAR in Subarea B from 8.66 to 9.0276 (401,610.84 square feet). The maximum allowed 11.5 FAR for the entire PD remains unchanged. The floor area of the proposed Subarea B building at 1112 W. Carroll has increased due to the following designs modifications:

- An increase to the slab edge and Face of Glass (F.O.G) dimension to a general outward offset of 4" to 7" throughout. This increase, throughout the perimeter of each floor adding 8" to 14" of total width in overall elevation increased the square footage to each floor.
- An increase to the exterior perimeter of Level 1 to accommodate a retail/restaurant user.
- An increase to Level 34 at the pool terrace to accommodate interior usability and patron circulation.
- An increase in interior space because of overall mechanical space reduction.

Additionally, to accommodate this request, the allowed square footage of the building located at 315 N. May in Subarea A was reduced to 644,588.74 square feet. The reduction was achieved due to an increase in the size of the contiguous mechanical space and minor curtainwall adjustments which slightly reduced the F.O.G dimension.

PD 1526  
Minor Change  
September 30, 2022  
Page 2

The Department has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1526, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

The following exhibits will be incorporated and made part of PD 1526:

- Bulk and Data Table, dated September 29, 2022
- 1112 W. Carroll Avenue, South, and West Building Elevations - September 22, 2022
- 1112 W. Carroll Avenue, North and East Building Elevations - September 22, 2022
- 1112 W. Carroll Avenue, Ground Floor Plan - September 22, 2022.
- 1112 W. Carroll Avenue, Level 34 - September 22, 2022
- 315 N. May, North, and East Building Elevations - September 22, 2022.
- 315 N. May, South, and West Building Elevations - September 22, 2022.
- 315 N. May, Ground Floor Plan - September 22, 2022.

Sincerely,



Noah Szafraniec  
Assistant Commissioner  
Planned Developments and Plan Commission

**RESIDENTIAL-BUSINESS PLANNED DEVELOPMENT NO. 1526**  
**BULK REGULATIONS AND DATA TABLE**

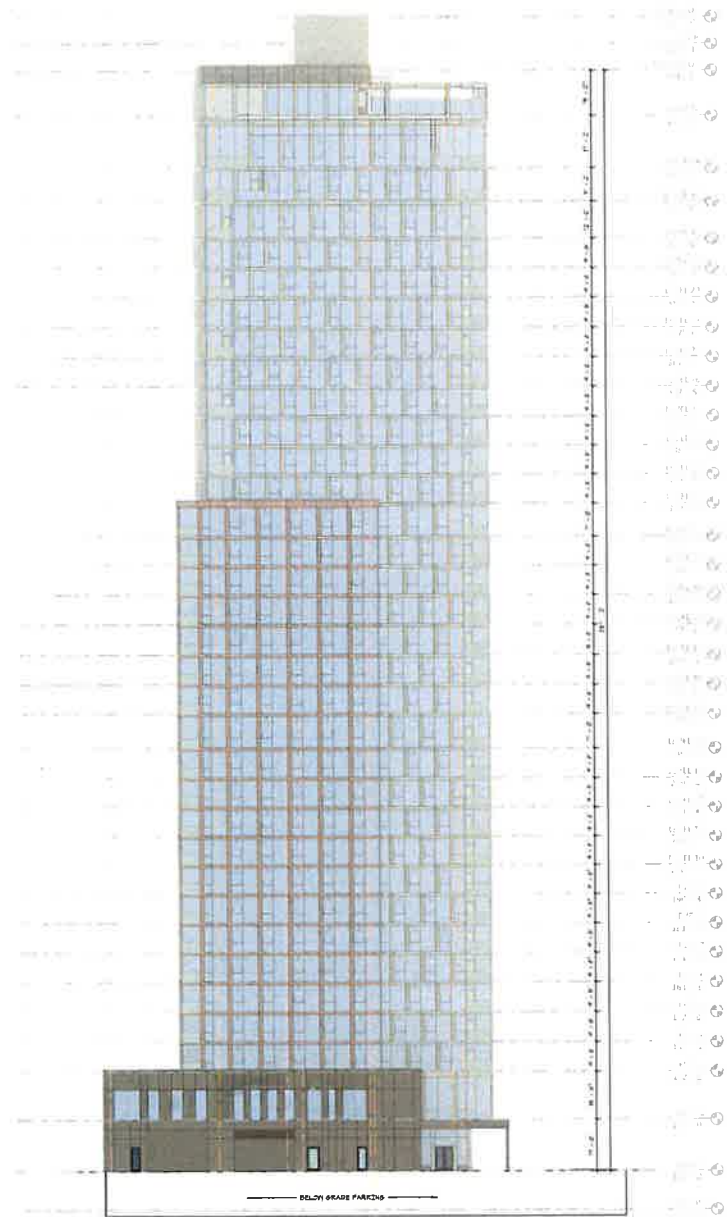
Gross Site Area (sf):	138,031
Area of Public Rights-of-Way (sf):	47,057
Net Site Area (sf):	90,974
Subarea A	46,487
Subarea B	44,487
Maximum Dwelling Unit Count:	
Subarea A	0
Subarea B	377
Maximum Floor Area Ratio:	11.5
Subarea A	13.866
Subarea B	9.0276
Minimum Off-Street Parking Spaces:	
Subarea A	180
Subarea B	90
Bike Parking	
Subarea A	100
Subarea B	200
Minimum Off-Street Loading Spaces:	
Subarea A	2 (10'x25')
Subarea B	2 (10'x25')
Maximum Building Height:	
Subarea A	410'
Subarea B	370'
Minimum Setbacks:	In conformance with the Plans

Minor Change Request – September 29, 2022

EAST\194236523.2

(A) (B) (B)(C) (D) (D1) (E) (E1) (F) (G)

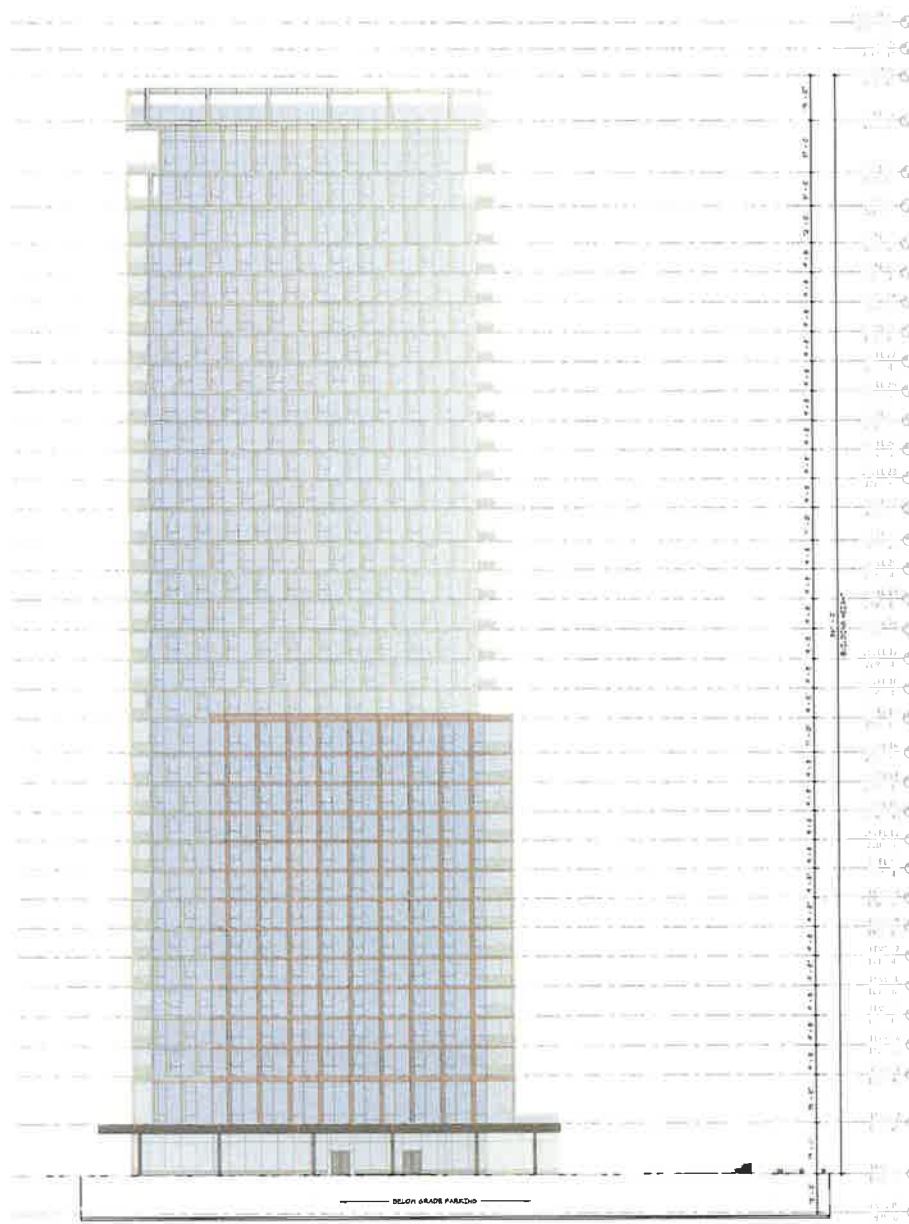
18' 21' 22' 24' 24'



WEST ELEVATION

(1) (2) (3) (4) (5) (6) (6.5) (7) (8) (9) (10) (11) (12)

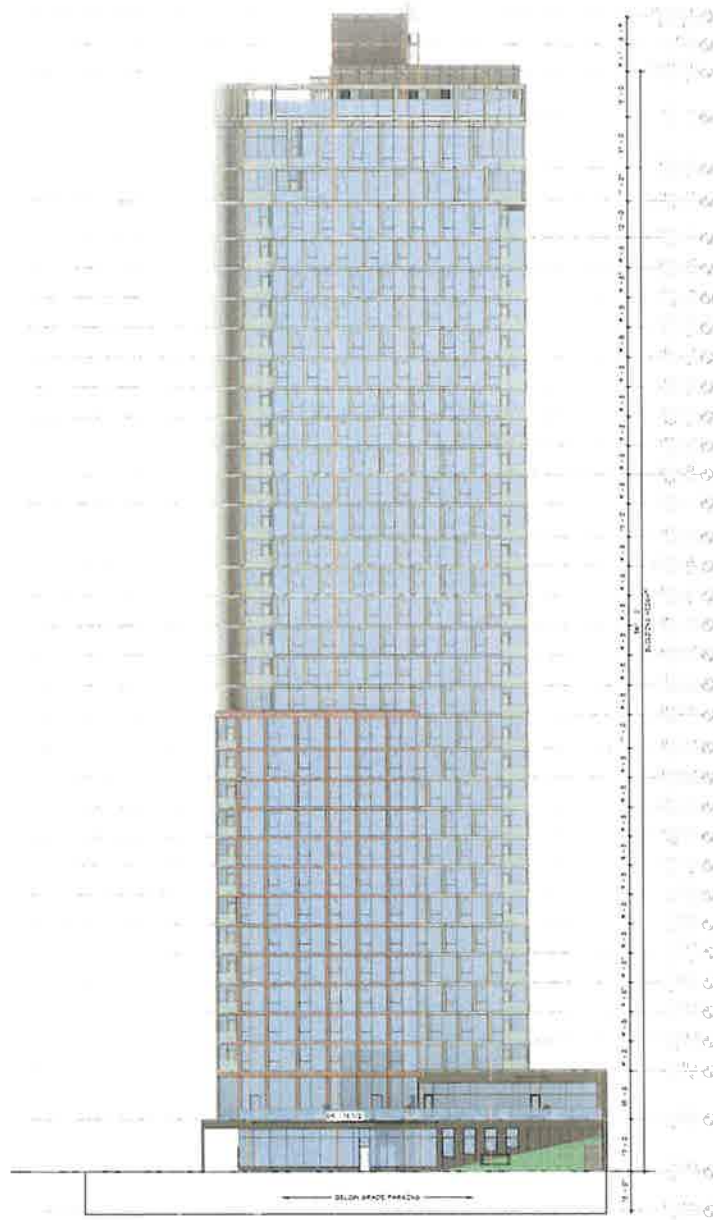
16'-0" 21'-0" 24'-0" 5'-2" 24'-0" 27'-0" 14'-0" 23'-0" 30'-0" 28'-0" 19'-0"



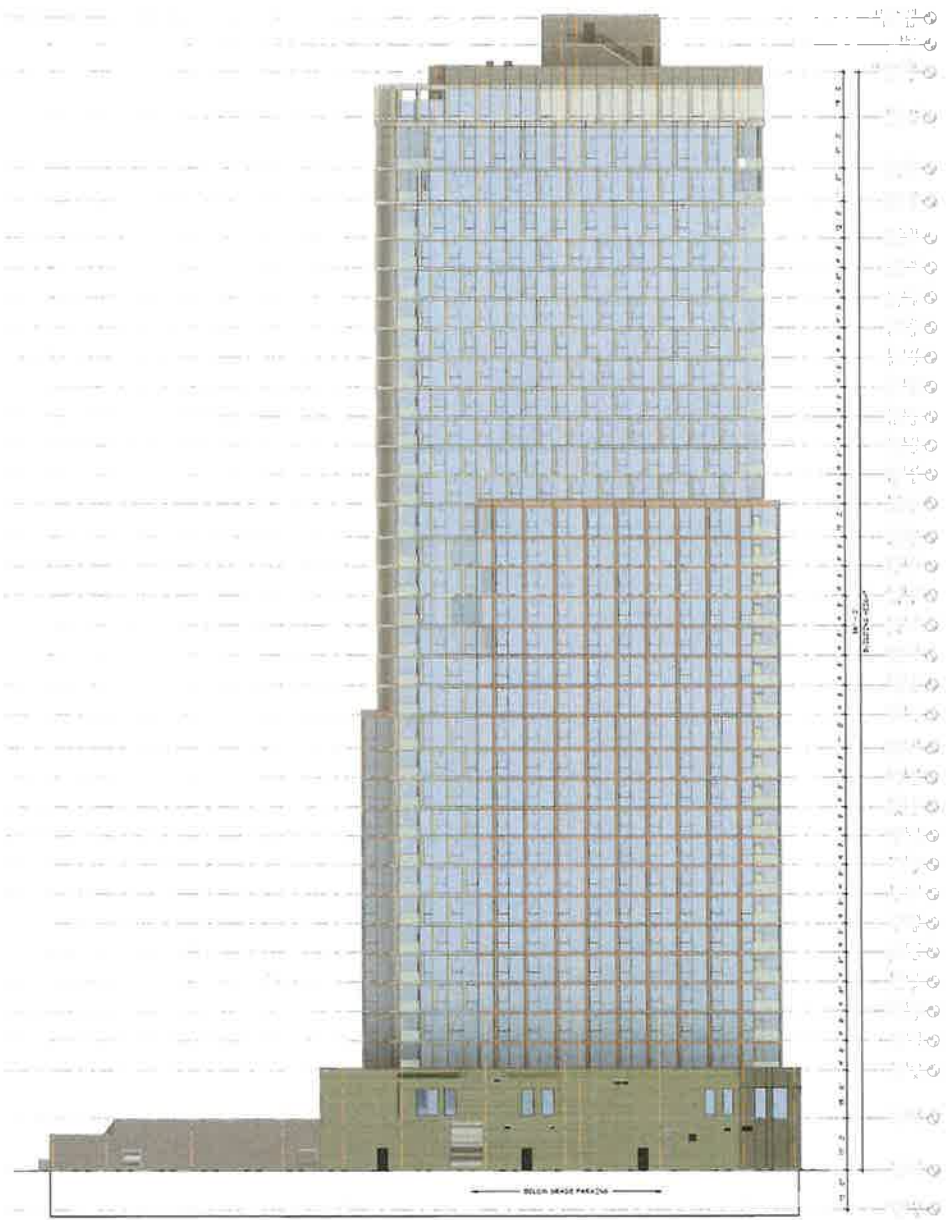
SOUTH ELEVATION

(G) (F) (E) (D) (C) (B) (A)

(12) (11) (10) (9) (8) (7) (6) (5) (4) (3) (2) (1)



EAST ELEVATION



NORTH ELEVATION

09/22/2022



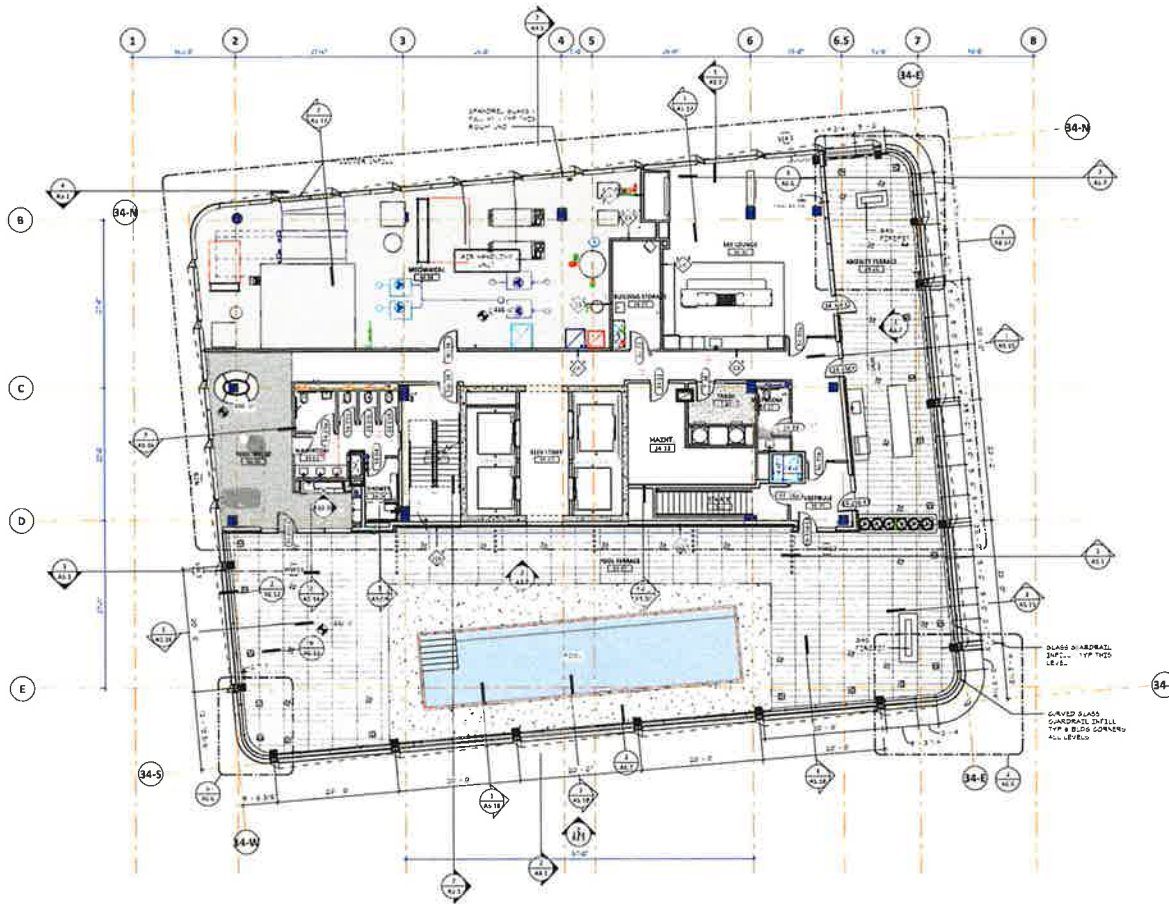
CARROLL RESIDENTIAL

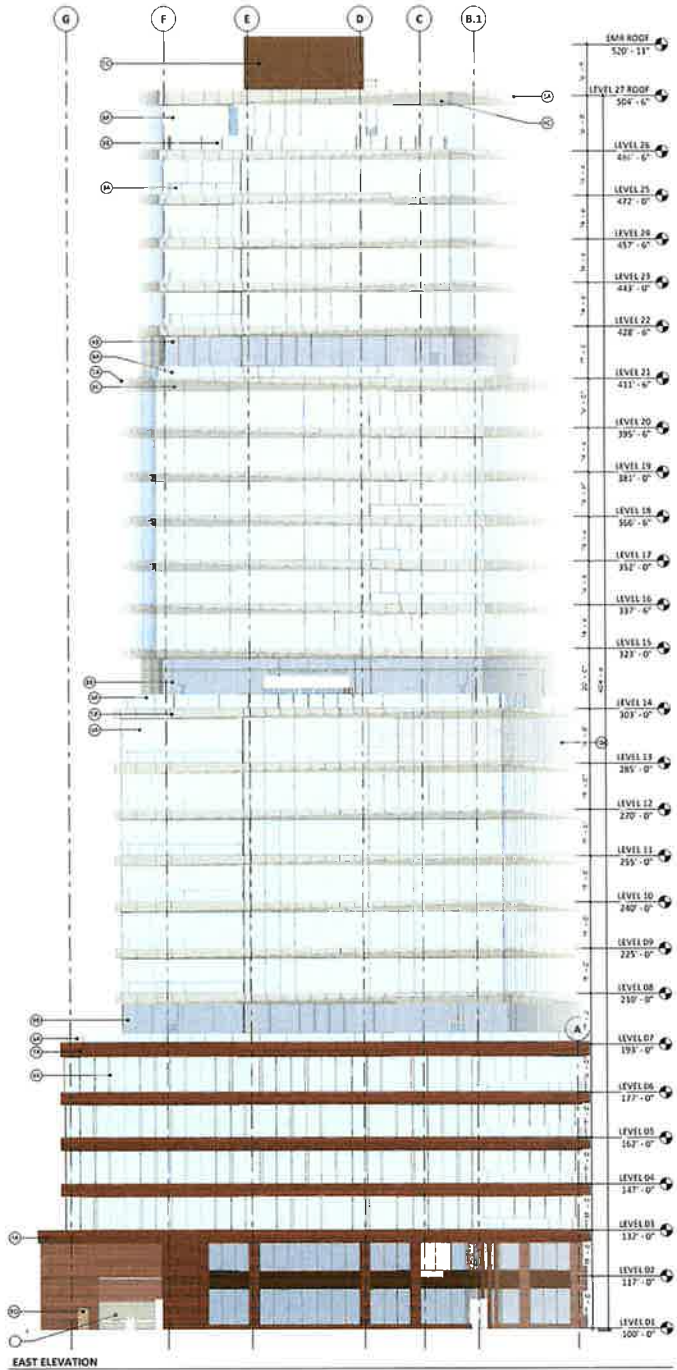
1112 W CARROLL AVE. CHICAGO, ILLINOIS 60607

Scale 1/16" = 1'-0"

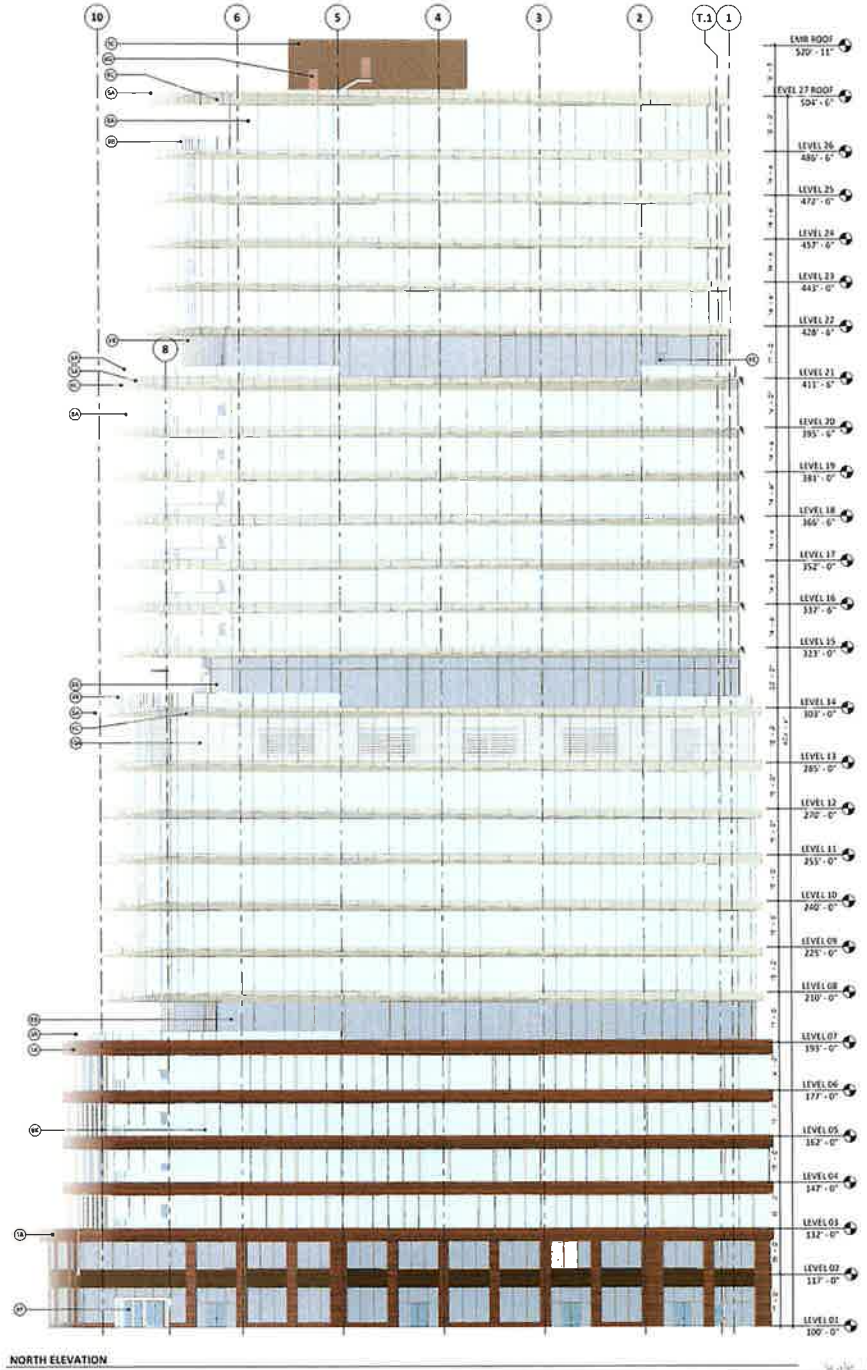
EAST AND NORTH ELEVATIONS





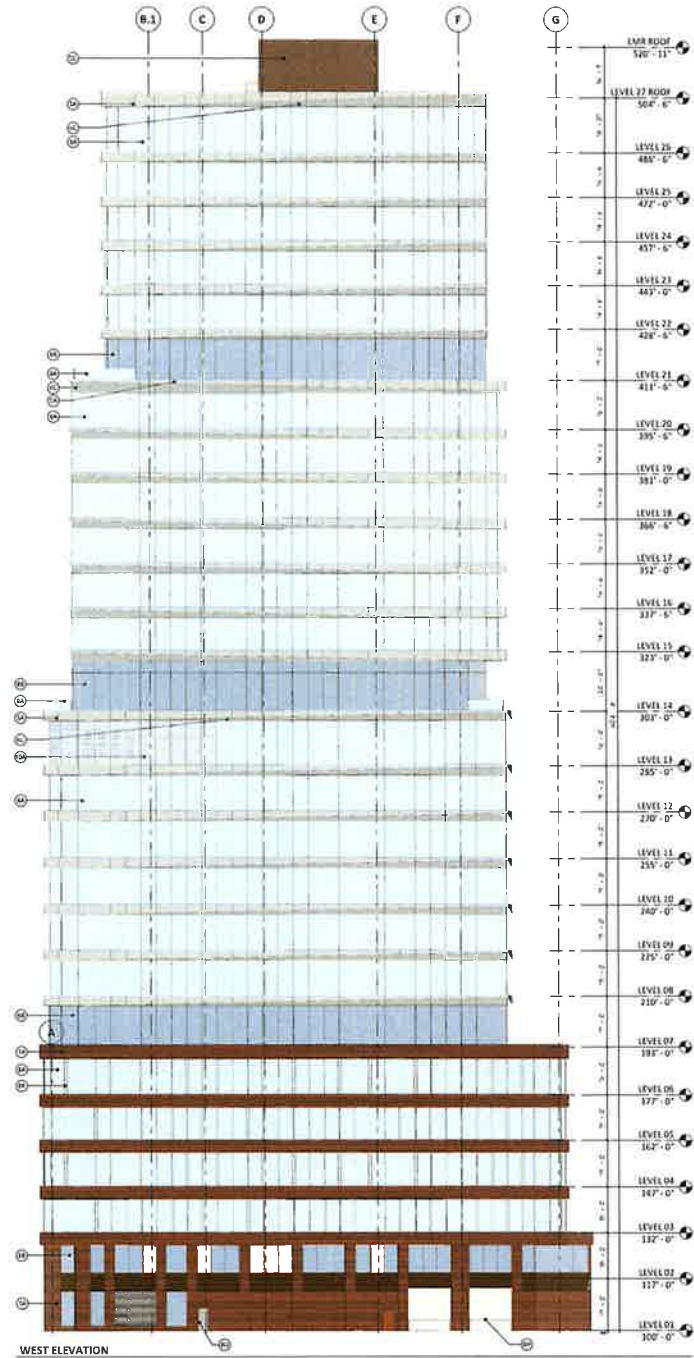


EAST ELEVATION

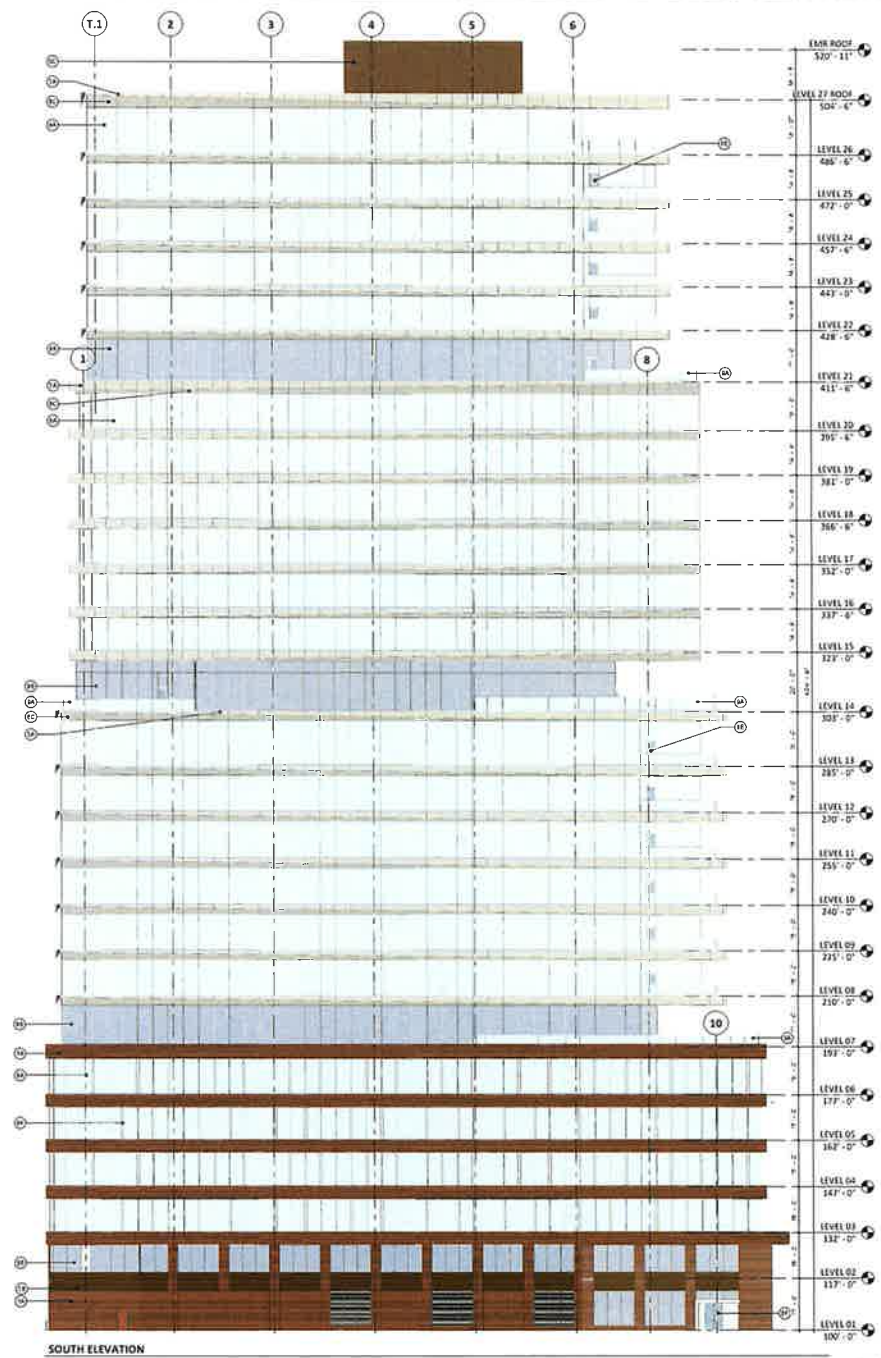


NORTH ELEVATION

Scale 1/16" = 1'-0"

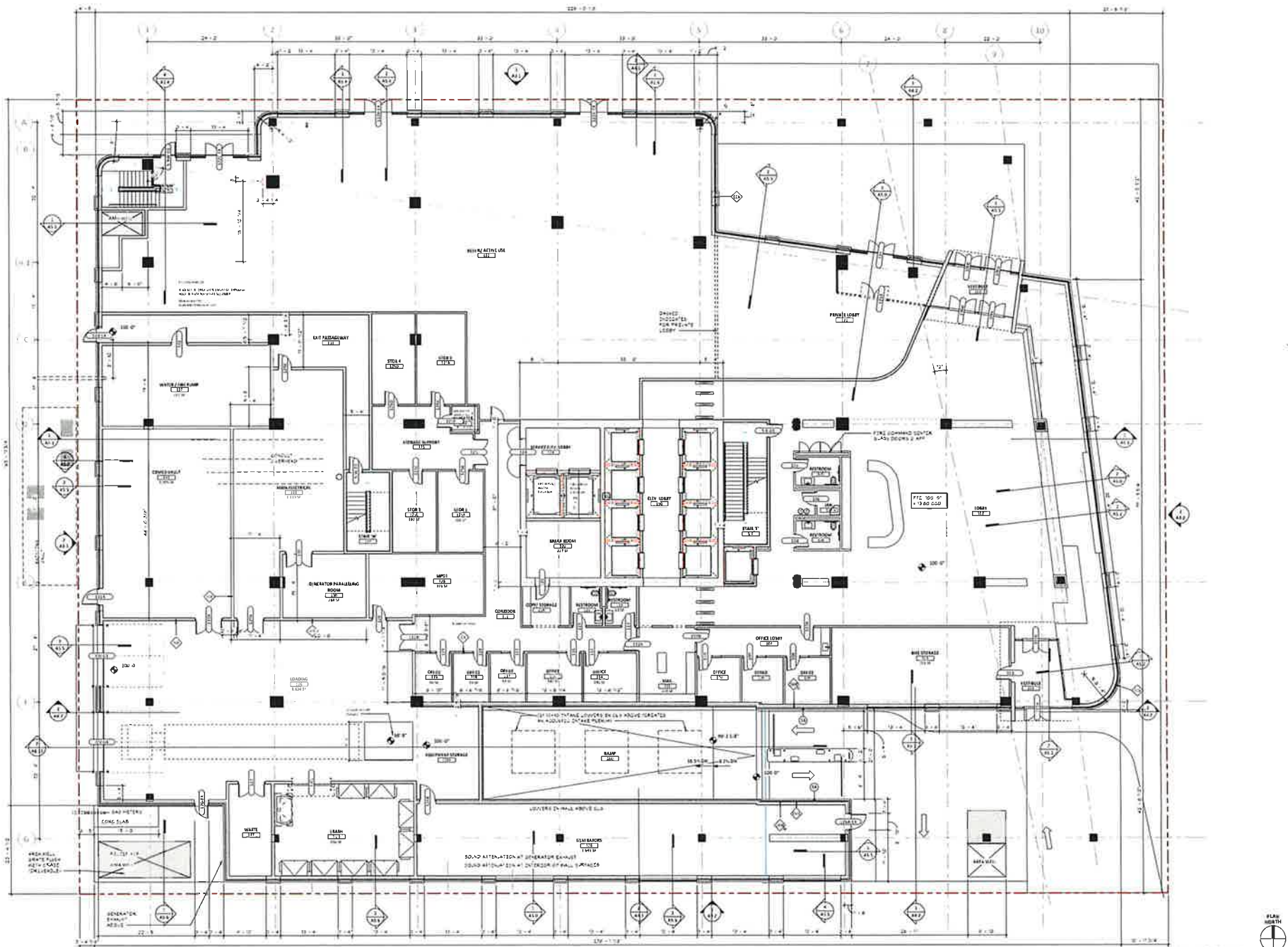


WEST ELEVATION



SOUTH ELEVATION

Scale: 1/16" = 1'-0"



09/22/22



MAY OFFICE BUILDING

315 N MAY ST. CHICAGO, ILLINOIS 60607

GROUND FLOOR PLAN



Scale: 1/8" = 1'-0"

*Reclassification Of Area Shown On Map No. 1-G.*  
(As Amended)  
(Application No. 20707)  
(Common Address: 315 N. May St./1112 W. Carroll Ave.)

RBPD 1526

[SO2021-1972]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the M2-3 Light Industry District symbols and indications as shown on Map Number 1-G in the area bounded by:

a line 177 feet north of and parallel to West Carroll Avenue; North Aberdeen Street; the 16-foot public alley south of and parallel to West Carroll Avenue; and North May Street,

to those of the DX-7 Downtown Mixed-Use District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the DX-7 Downtown Mixed-Use District symbols and indications as shown on Map Number 1-G in the area bounded by:

a line 177 feet north of and parallel to West Carroll Avenue; North Aberdeen Street; the 16-foot public alley south of and parallel to West Carroll Avenue; and North May Street,

to those of a Residential-Business Planned Development.

SECTION 3. This ordinance shall be in force and effect from and after its passage and publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Residential-Business Planned Development No. 1526.*

*Planned Development Statements.*

1. The area delineated herein as Business Planned Development Number 1526 ("Planned Development") consists of approximately 90,974 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). Trammell Crow Chicago Development, Inc. is the "Applicant" for this Planned Development pursuant to authorization from the Property owners.

2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance (the "Zoning Ordinance"), the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Chicago Department of Transportation ("CDOT") on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Loading docks on May Street for the 1112 West Carroll Avenue building located within Subarea B will be restricted from 7:00 A.M. to 9:00 A.M. and 4:00 P.M. to 6:00 P.M. Monday through Friday.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings

- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

Prior to the Perimeter Restoration Agreement, details of the Carroll Avenue streetscape must be approved by the Department of Transportation. This may include materials selections, maintenance agreements, infrastructure design, street furniture and amenities.

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

The Applicant shall contribute funds toward the burial of utility lines currently located on ComEd poles in the south alley within the boundary of the P.D. should a cost sharing agreement among the neighboring property owners be reached.

As part of this project, the Applicant agrees to contribute \$500,000 to CDOT toward the cost of railroad crossing upgrades and signal improvements upon issuance of a Certificate of Occupancy for the building to be located at 1112 West Carroll Avenue in Subarea B.

4. This plan of development consists of these 18 Statements; a Bulk Regulations and Data Table and the following exhibits and plans attached hereto prepared by ESG Architects, Inc. and dated October 21, 2021 (the "Plans"): an Existing Land-Use Map; a Planned Development Property Line and Boundary Map; an Existing Zoning Map; a Site Plan/Landscape Plan; Base, Middle and Top Details; and Building Elevations (North, South, East and West). In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereof, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.

5. The following uses are permitted in the area delineated herein as a Residential-Business Planned Development:
  - Subarea A: general and limited restaurant, tavern, outdoor patio (on and above grade), general retail, food and beverage retail sales, liquor sales, medical service, office, personal service, incidental and accessory uses and accessory parking.
  - Subarea B: dwelling units above the ground floor, general and limited restaurant, tavern, outdoor patio (on and above grade), general retail, food and beverage retail sales, liquor sales, medical service, office, personal service, incidental and accessory uses and accessory parking.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of DPD. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 90,974 square feet and a base FAR of 7.0.

The Applicant acknowledges that the project has received a bonus FAR of 4.5, pursuant to Section 17-4-1000 of the Zoning Ordinance. With this bonus FAR, the total FAR for the Planned Development is 11.5. In exchange for the bonus FAR, the Applicant is required to make a corresponding payment, pursuant to Sections 17-4-1003-B and C, prior to the issuance of the first building permit for any building in the Planned Development; provided, however, if the Planned Development is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent new building or phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-4-1003-C.3.

The bonus payment will be split between three separate funds, as follows: 80 percent to the Neighborhoods Opportunity Fund, 10 percent to the Citywide Adopt-a-Landmark Fund and 10 percent to the Local Impact Fund. In lieu of paying the City directly, the Department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

9. Upon review and determination, "Part II review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II review fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.

The Applicant or its successors or assignees shall, at its own cost, construct the proposed open space improvements depicted in Subarea B on the attached Landscape Plan (hereinafter, the "Open Space"). The Open Space shall be substantially complete prior to issuance of the last final Certificate of Occupancy for the improvements to be constructed in Subarea B provided that plantings may be delayed if consistent with good landscape planting, but not longer than one year following receipt of the final Certificate of Occupancy or if due to delays or inability to perform due to causes beyond the reasonable control of the Applicant. The Applicant, its successors or assigns, shall be responsible for maintaining, repairing, replacing, and managing the Open Space, including ensuring that the landscaping is well maintained, that the vegetation and plantings are kept in healthy condition and that the Open Space is clean, well lit, litter free and clear of snow (hardscaped areas) and debris. The Applicant shall provide sufficient liability insurance coverage for the operation of the Open Space for public use. The Open Space shall be open to the public, free of charge, during normal park hours from 6:00 A.M. to 11:00 P.M. every day of the year (subject to occasional partial closure for private use), and the Applicant shall post a sign at all entries visible from the public right-of-way stating the same.

Prior to the issuance of the last final Certificate of Occupancy for the improvements to be constructed in Subarea B, the Applicant will enter into a development and maintenance agreement (the "DEMA") with the City for the construction, maintenance, and management of the Open Space. The DEMA obligations shall be binding upon the Applicant, its successors or assigns, including but not limited to a master association whose purpose includes maintaining the Open Space. Upon completion of the Open Space, the public access provided herein shall be memorialized in a public access easement agreement (which may be included in the DEMA) with and for the benefit of the City. The recording and other costs associated with establishing the easement shall be the responsibility of the Applicant. A copy of said public access agreement shall be on file with DPD. The Commissioner of DPD is hereby authorized to enter into the DEMA and all other documents contemplated by the statement and, in his/her sole discretion, may modify by minor change the foregoing requirements, without further City Council approval, for the DEMA and public access agreement so as to permit alternate forms of achieving compliance with the Applicant's construction, maintenance and management obligations and public access rights, such as, by means of example and not limitation, one or more restrictive covenants or owners' reciprocal easement and operation agreements in form and substance acceptable to

the City which expressly grant the City necessary enforcement, self-help and lien rights as may be necessary to assure compliance with this Statement.

11. The Applicant shall comply with Rules and Regulations for the maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and \*(ii) 50 percent city resident hiring (measured against the total construction work

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\* Editor's Note: Numbering sequence error; (i) missing in original document.

hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the Applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. The Applicant acknowledges and agrees that the rezoning of the Property from the M2-3 Light Industry District to the DX-7 Downtown Mixed-Use District and then to this Planned Development ("P.D.") Number 1526 is an "entitlement" that triggers the requirements of Section 2-44-085 of the Municipal Code of Chicago (the "ARO"). The P.D. is located in a "downtown district" within the meaning of the ARO and permits the construction of 377 dwelling units in Subarea B. The Applicant intends to construct a 377-unit rental building (the "Project").

Developers of rental projects in downtown districts with 30 or more units must provide between 10 percent and 20 percent of the units in the residential development as affordable units, depending on the average depth of affordability provided, as described in subsection (F)(2) of the ARO. Regardless of the applicable percentage of affordable units in the rental project, developers must construct at least 25 percent of the affordable units on-site and another 25 percent on-site or off-site (collectively, the "Required Units"), and may satisfy the balance of their affordable housing obligation through: (a) the establishment of additional on-site or off-site affordable units; (b) payment of a fee in lieu of the establishment of on-site or off-site affordable units; or (c) any combination thereof. All on-site affordable units must be accessible dwelling units, as required under subsection (W)(10) of the ARO, and developers must give preference in leasing accessible units to people with disabilities. All off-site affordable units must have at least two bedrooms and must be located in a downtown district,

inclusionary housing area, or community preservation area. Whether on-site or off-site, developers must give preference in leasing affordable units of two bedrooms or more to multi-person households, as specified in the ARO rules. If a residential project is located in a transit-served location, off-site units must be located in a substantially comparable transit-served location.

The Applicant has elected the 20 percent option as set forth in the chart in subsection (F)(2) of the ARO. As a result, the Applicant's affordable housing obligation is 75.4 affordable units (20 percent of 377) and 50 percent of those affordable units are Required Units. Pursuant to subsection (T) of the ARO, the Applicant must either pay a fractional in lieu fee or provide an additional unit on-site or off-site to satisfy the fractional obligation. The Applicant has agreed to satisfy its affordable housing obligation by providing all 76 affordable units in the rental building in the P.D., as set forth in the Affordable Housing Profile (AHP) attached hereto. The Applicant agrees that the affordable rental units must be affordable to households with a range of incomes averaging 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that (x) the maximum income level for any affordable unit may not exceed 80 percent of the AMI, (y) at least one-third (or 25 units) must be affordable to households at or below 50 percent of the AMI, of which one-sixth (or 4 of the 25 units) must be affordable to households at or below 40 percent of the AMI, and (z) all income levels must be multiples of 10 percent of the AMI.

Given the rapid rate of development in the Fulton Market Innovation District (the "FMID") and the significant amount of newly permitted residential development to be built in this fast growing transit-rich downtown district, which is in dire need of affordable housing, the Applicant has agreed to use reasonable efforts to provide an additional 38 affordable units (10 percent of 377) either on-site or in an off-site location (the "FMID Units") within the boundaries of the FMID, in accordance with the FMID Plan posted on the City's Department of Planning and Development's website. The Applicant will (a) submit an intake form to initiate the process required to work with the City's Department of Housing ("DOH") in good faith to apply for 4 percent Low Income Housing Tax Credits ("LIHTC") and/or tax-exempt bonds to finance the construction of all or a portion of the affordable units in the Project, and/or seek another source of public assistance (each and all, the "FMID Financial Assistance"), and (b) consider partnerships with affordable housing developers. If (x) the Applicant is not awarded FMID Financial Assistance, or (y) despite the award of FMID Financial Assistance, in Applicant's reasonable discretion based on industry standard rates of return and other industry standard factors, the Project is not financeable with the FMID Units, or (z) no partnership with any affordable housing developer is feasible and allows the Project to be financeable, in Applicant's reasonable discretion based on industry standard rates of return and other industry standard factors, then, at least six months prior to the submission of 100 percent complete plans to the Department of Buildings, the Applicant shall provide to DOH a written explanation therefor, with

supporting documentation, including a summary of the impact on the Applicant's development budget and operating pro forma and all underlying data supporting that summary. If DOH is unable to offer sufficient financial assistance to allow the Applicant, in Applicant's reasonable discretion based on industry standard rates of return and other industry standard factors, to provide the FMID Units and finance the remainder of the Project, the Applicant thereafter shall have the right to proceed with the development of the Project without providing the FMID Units.

If the Applicant requests to change its method of compliance with the ARO after the passage of this P.D., the Applicant shall update and resubmit the AHP to DOH for review and approval. DOH may adjust the AHP in accordance with the ARO without amending the P.D., provided, however, any request to relocate affordable units from on-site to an off-site location requires an informational presentation to the Plan Commission. Prior to the issuance of any building permits for any residential building in the P.D., including, without limitation, excavation or foundation permits, the Applicant must execute and record an Inclusionary Housing Agreement ("IHA") in accordance with subsection (N) of the ARO. The terms of the IHA and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the IHA will be recorded against Subarea B of the P.D. and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 16, including any breach of any IHA, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the P.D.

This statement does not include all ARO requirements and options. It is intended to provide an overview of the application of the ARO to this P.D. In the event of any conflict between this statement and the terms and conditions of the ARO, the ARO shall govern.

17. The Applicant acknowledges that Subarea B is located in the Kinzie Industrial Corridor Conversion Area and has undergone a "rezoning" within the meaning of Chapter 16-8 of the Municipal Code (the "Industrial Corridor System Fund Ordinance"). As a result of this rezoning, Subarea B is subject to the conversion fee provisions of the Industrial Corridor System Fund Ordinance. The purpose of the conversion fee is to mitigate the loss of industrial land and facilities in conversion areas by generating funds for investment in receiving industrial corridors in order to preserve and enhance the City's industrial base, support new and expanding industrial uses, and ensure a stable future for manufacturing and industrial employment in Chicago. The Applicant is required to pay the conversion fee in full prior to the issuance of the first building permit for any building in Subarea B; provided, however, if Subarea B is constructed in phases, the conversion fee may be paid on a pro rata basis as the first building permit for each

subsequent new building or phase of construction is issued. The amount of the conversion fee due prior to the issuance of a building permit shall be calculated based on the fee rate in effect at the time of payment. The Applicant shall record a notice against the Property to ensure that the requirements of the Industrial Corridor System Fund Ordinance are enforced in accordance with Section 16-8-100.

- 18. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of DPD shall initiate a zoning map amendment to rezone the Property to the DX-7 Downtown Mixed-Use District.

[Levels 02 through 21 Floor Plans; Existing Land-Use Map (400 feet in each direction); Property Line and Boundary Map; Existing Zoning Map (400 feet in each direction); Site Plans/Landscape Plans Subareas A and B; North, South, East and West Building Elevations; 315 North May Street and 1112 West Carroll Avenue -- Base Section, Tower Section, Top Section and Entry Section; and Green Roof Diagram printed on pages 41676 through 41695 of this Journal.]

Bulk Regulations and Data Table and ARO Affordable Housing Profile Form (AHP) referred to in these Plan of Development Statements read as follows:

*Residential-Business Planned Development No. 1526.*

*Bulk Regulations And Data Table.*

Gross Site Area (square feet):	138,031
Area of Public Rights-of-Way (square feet):	47,057
Net Site Area (square feet):	90,974
Subarea A:	46,487
Subarea B:	44,487

**Maximum Dwelling Unit Count:**

Subarea A: 0

Subarea B: 377

**Maximum Floor Area Ratio: 11.5**

Subarea A: 14.21

Subarea B: 8.66

**Minimum Off-Street Parking Spaces:**

Subarea A: 180

Subarea B: 90

**Bike Parking:**

Subarea A: 100

Subarea B: 200

**Minimum Off-Street Loading Spaces:**

Subarea A: 2 (10 feet by 25 feet)

Subarea B: 2 (10 feet by 25 feet)

**Maximum Building Height:**

Subarea A: 410 feet

Subarea B: 370 feet

**Minimum Setbacks:**

In conformance with the plans



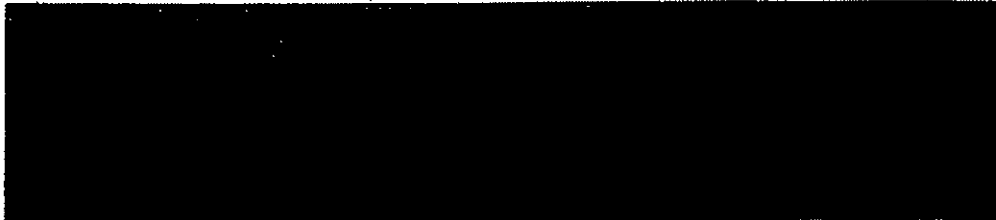
ARO Web Form

<p><b>Applicant Contact Information</b>          Name: Johnny Carlson          Email: Jcarlson@trammellcrow.com</p>	<h2>Final for Publication</h2>
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<b>Development Information</b>		
<b>Address</b>	<b>Submitted Date: 09/20/2021</b>	
Number From: 1112	Number To: N/A	Direction: W
Street Name: Carroll	Postal Code: 60607	
<b>Development Name</b>		
1112 W Carroll		
Are you rezoning to downtown?: Yes		
Is your project subject to the ARO Pilots?: PILOTS APPLY		
<b>Information</b>		
Ward: 27	ARO Zone: Downtown	Pilot Area: Inclusionary Housing Area
<b>Details</b>		
ARO Trigger: Downtown Planned Development		
Total Units: 377		
Development Type: Rent		
Date Submitted: 05/26/2021		

<b>Requirements</b>	
ARO Units: 75.4 affordable units (20% of 377)	
<b>How do you intend to meet your ARO obligation</b>	
On-Site: 76 ARO Units	Off-Site: 0
On-Site to CHA or Authorized agency: 0	Off-Site to CHA or Authorized agency: 0
Total Units: 76 ARO Units	AMI: affordable to households at a weighted average of 60% of the AMI





Date: 9/22/21

**DEVELOPMENT INFORMATION**

Development Name: 1112 W Carroll

Development Address: 1112 W Carroll, Chicago, IL 60607

Zoning Application Number, if applicable:

Ward: 27

If you are working with a Planner at the City, what is his/her name?

Fernando Espinoza

Type of City involvement  
check all that apply

City Land

Planned Development (PD)

Financial Assistance

Transit Served Location (TSL) project

Zoning increase

**REQUIRED ATTACHMENTS:** the AHP will not be reviewed until all required docs are received

- ARO Web Form completed and attached - or submitted online on
- ARO "Affordable Unit Details and Square Footage" worksheet completed and attached (*Excel*)
- If ARO units proposed, Dimensioned Floor Plans with affordable units highlighted are attached (*pdf*)
- If ARO units proposed are off-site, required attachments are included (see next page)
- If ARO units are CHA/Authorized Agency units, signed acceptance letter is attached (*pdf*)

**DEVELOPER INFORMATION**

Developer Name Trammell Crow Company

Developer Contact John Carlson

Developer Address 700 Commerce Drive, Oak Brook, IL 60523

Email jcarlson@trammellcrow.com

Developer Phone 312-502-4547

Attorney Name Katie Jahnke Dale

Attorney Phone 312-368-2153

**TIMING**

Estimated date marketing will begin 5/1/24

Estimated date of building permit\* 7/1/22

Estimated date ARO units will be complete 5/1/24

\*the in-lieu fee, recorded covenant and \$5,000 per unit administration fee (for off-site units) are required prior to the issuance of any building permits, including the foundation permit.

**PROPOSED UNITS MEET REQUIREMENTS** (to be executed by Developer & ARO Project Manager)

John D Carlson

9/22/21

Developer or their agent

Date

10/12/2021

ARO Project Manager, DOH

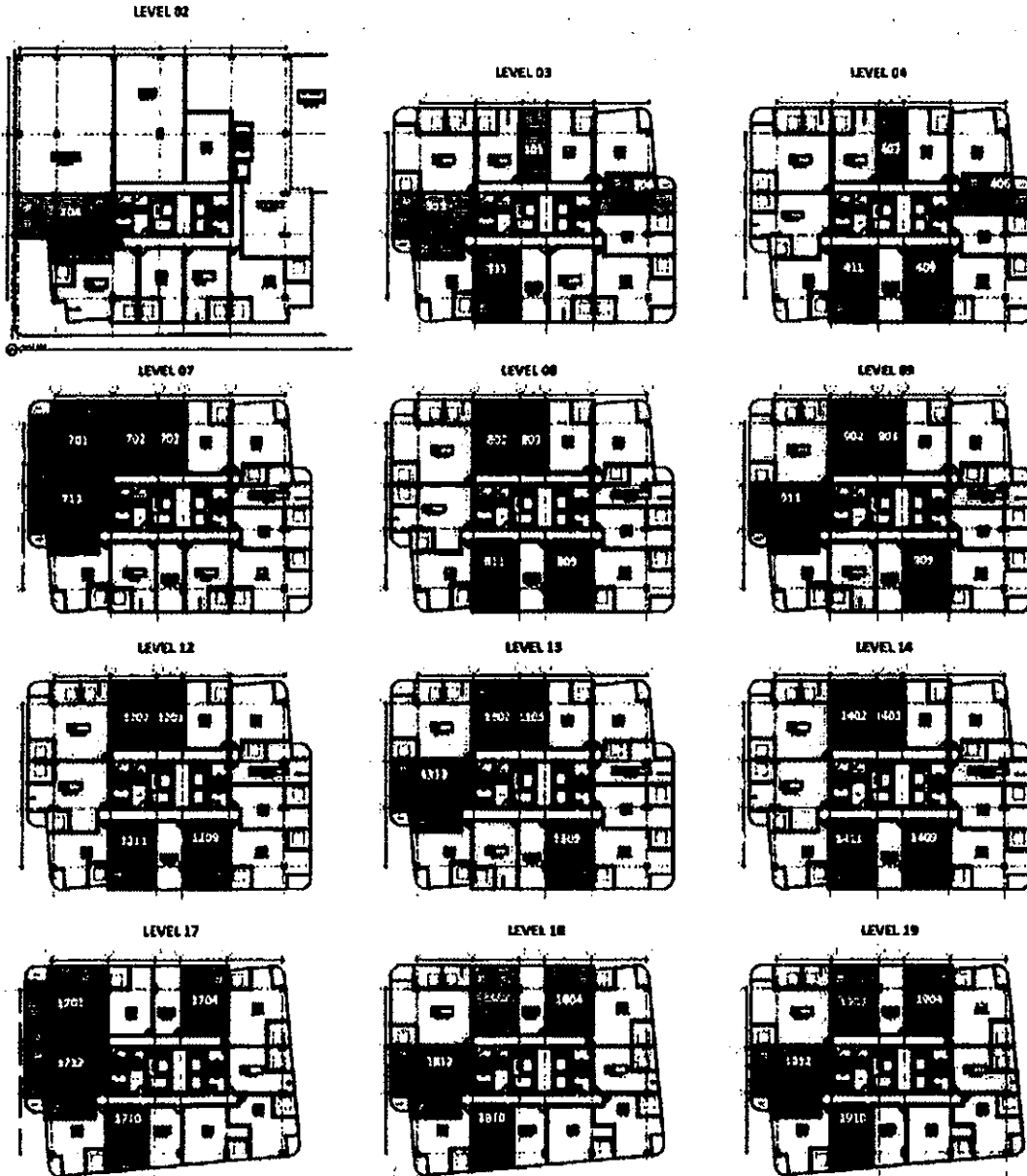
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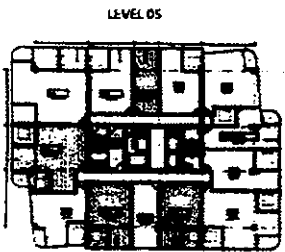
AFFORDABLE REQUIREMENTS ORDINANCE

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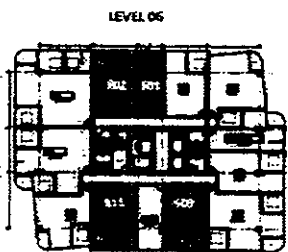
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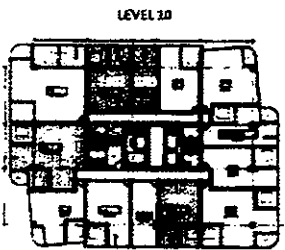
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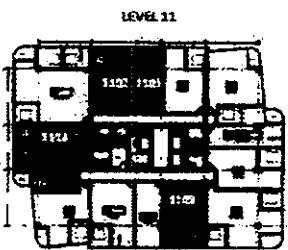
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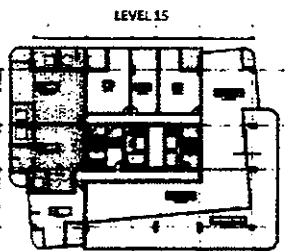
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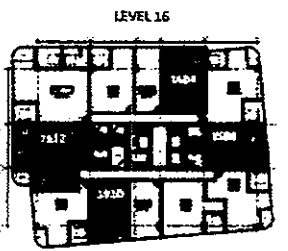
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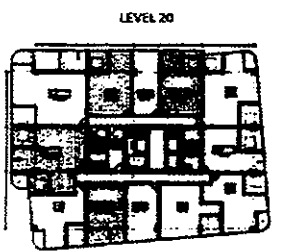
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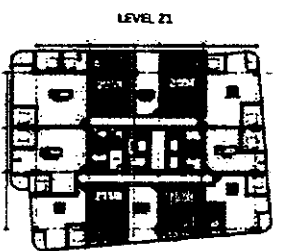
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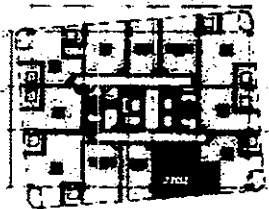
LEVEL 16



LEVEL 20



LEVEL 21



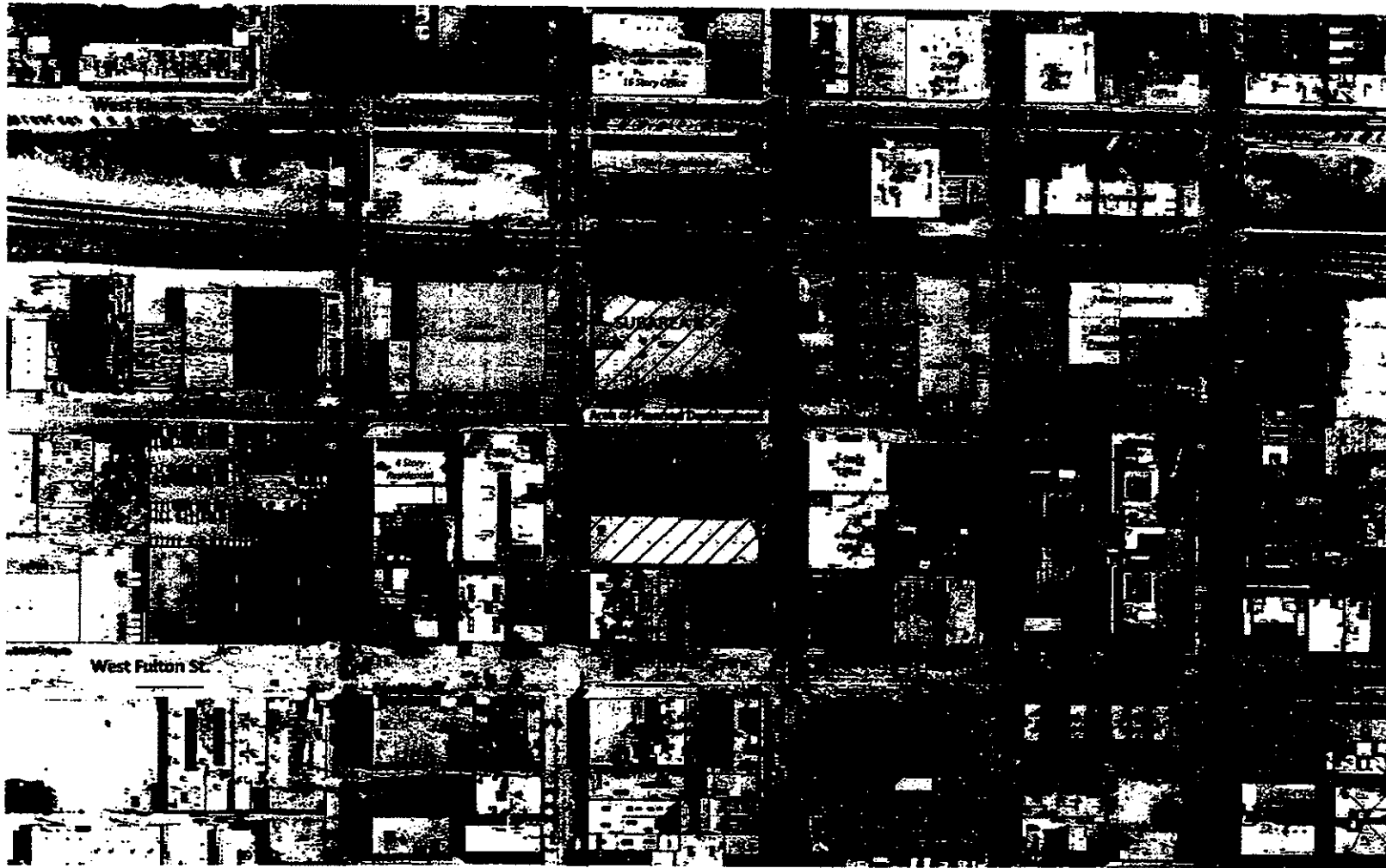
	1 Bed	2 Bed	3 Bed	Convert	Studio	Units/Floor	Percent/Floor
Level 02	-	-	1	-	-	1	1.32%
Level 03	1	1	-	1	1	4	5.26%
Level 04	2	-	-	1	1	4	5.26%
Level 05	2	1	-	-	1	4	5.26%
Level 06	3	-	-	-	1	4	5.26%
Level 07	1	1	1	-	1	4	5.26%
Level 08	3	-	-	-	1	4	5.26%
Level 09	2	1	-	-	1	4	5.26%
Level 10	2	1	-	-	1	4	5.26%
Level 11	2	1	-	-	1	4	5.26%
Level 12	3	-	-	-	1	4	5.26%
Level 13	2	1	-	-	1	4	5.26%
Level 14	3	-	-	-	1	4	5.26%
Level 15	-	1	1	-	-	2	2.63%
Level 16	2	1	-	1	-	4	5.26%
Level 17	1	1	1	1	-	4	5.26%
Level 18	2	1	-	1	-	4	5.26%
Level 19	2	1	-	1	-	4	5.26%
Level 20	2	1	-	1	-	4	5.26%
Level 21	3	-	-	1	-	4	5.26%
Level 22	1	-	-	-	-	1	1.32%
Total	39	13	4	8	12	76	100.00%



AFFORDABLE UNITS

	1 Bed	2 Bed	3 Bed	Convert	Studio
1 Bed	193	55	35	20	20
2 Bed	65	52	13	20	20
3 Bed	27	16	1	20	20
Convert	59	47	12	20	20
Studio	40	32	1	20	20
Total	377	202	76	200	200

	1 Bed	2 Bed	3 Bed	Convert	Studio
AVG SF - Market	729	1060	1419	819	670
AVG SF - ASD	714	1158	1427	814	664
Unit Density	59.3%	106.5%	100.3%	99.2%	96.7%

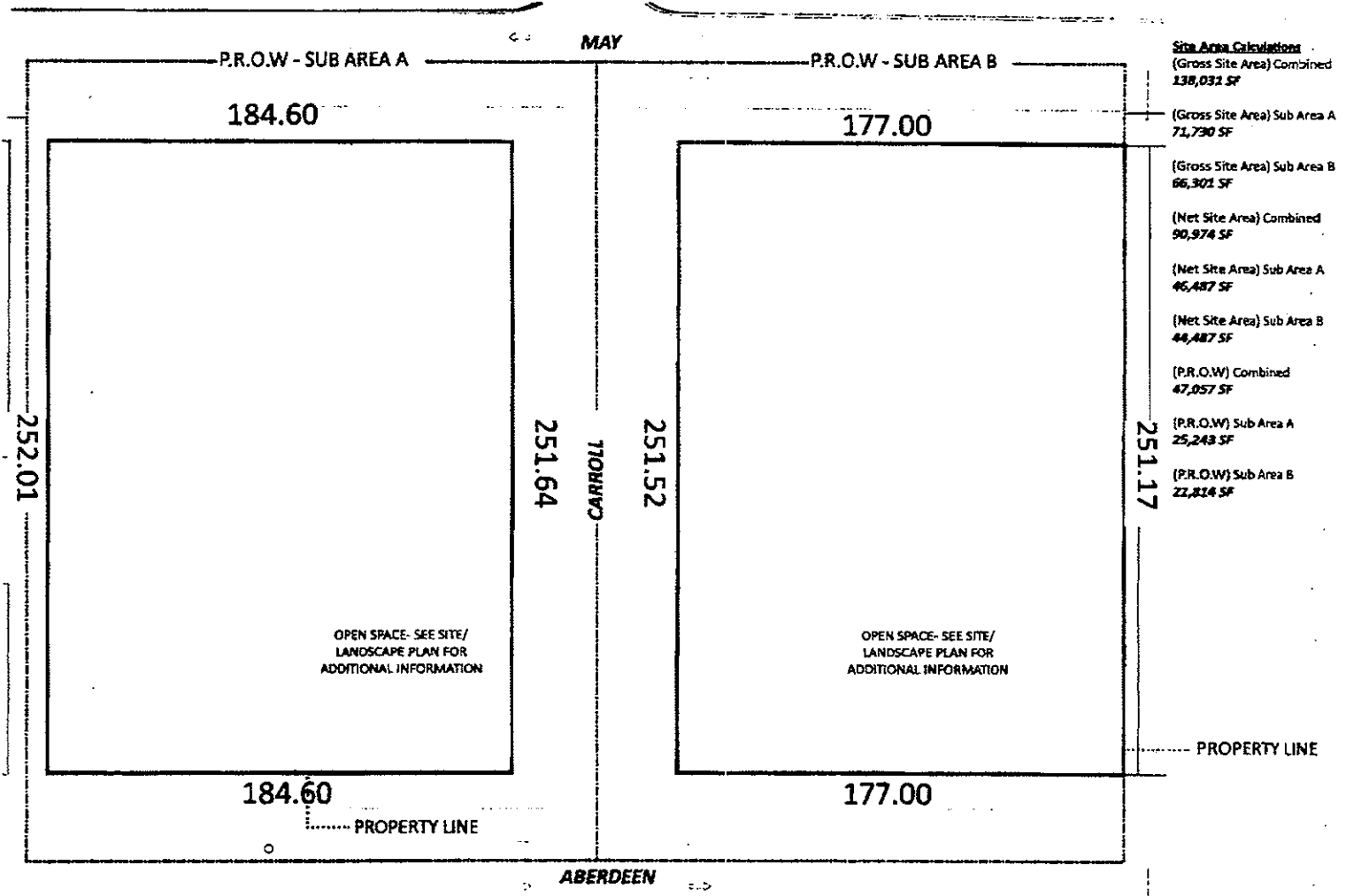


**Existing Land Use Map (400' In Each Direction)**

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**Planned Development Property Line and Boundary Map**

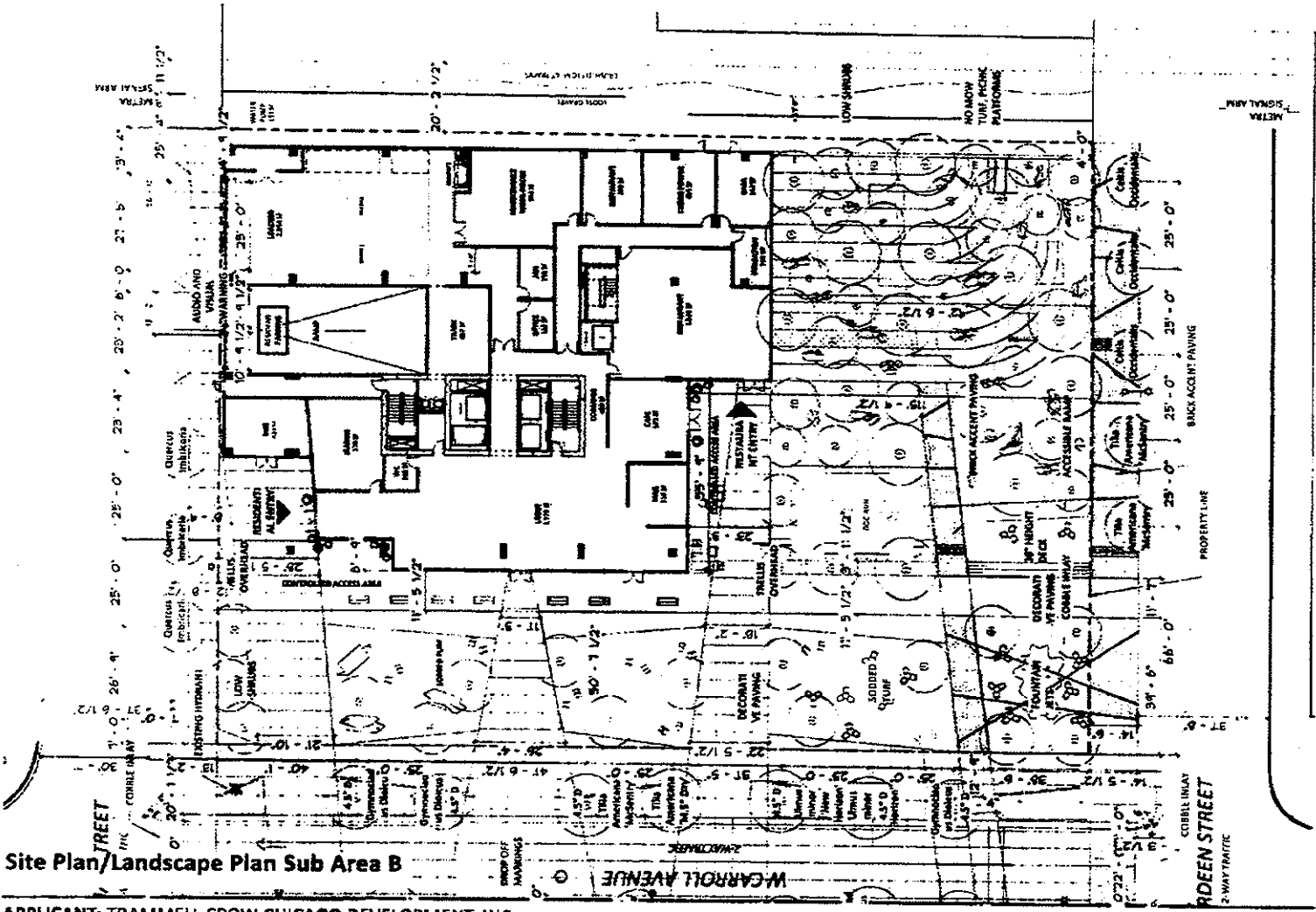
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Site Plan/Landscape Plan Sub Area B

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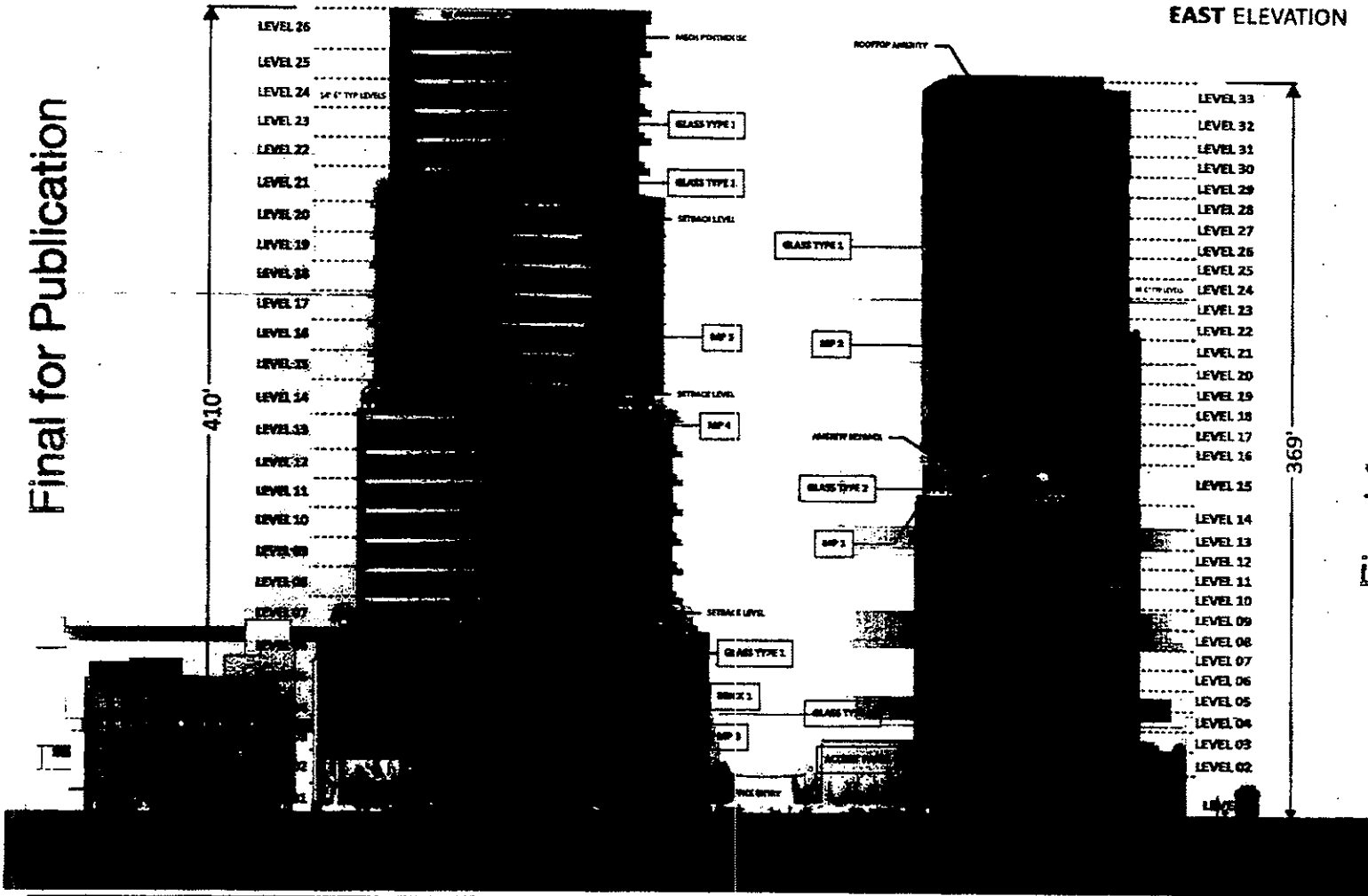
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EAST ELEVATION



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1112 West Carroll - Residential  
 STRAIGHT OR SCORED CONCRETE/PANEL  
 WEATHERED STEEL LOOK @ LEVEL 1-2  
 CLEAR ANOD MULLION FINISH  
 METAL PANEL 1 (LEVELS 2-15)

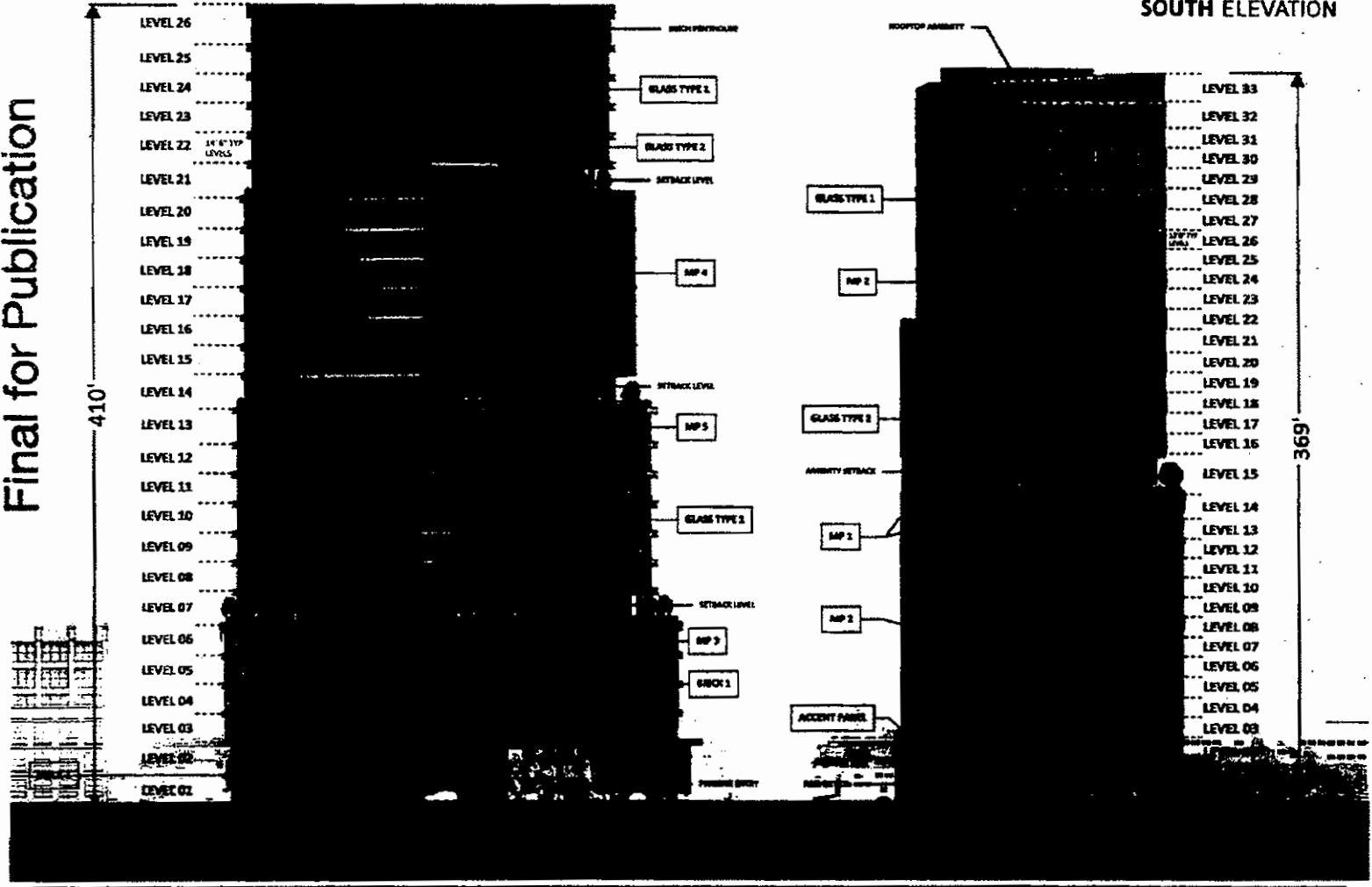
METAL PANEL 2 (LEVEL 17-34)  
 GLAZING TYPE 1  
 GLAZING TYPE 2

315 North May - Office  
 BRICK @ LEVELS 1-4  
 METAL PANEL 3 (LEVELS 4-8)  
 STREET ART @ PORTE COCHERE  
 GLAZING TYPE 1

GLAZING TYPE 2  
 BLACK ANOD MULLION FINISH  
 METAL PANEL 4 (THIN BANDING SECTIONS)  
 METAL PANEL 5 (THICK BANDING SECTIONS)

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SOUTH ELEVATION



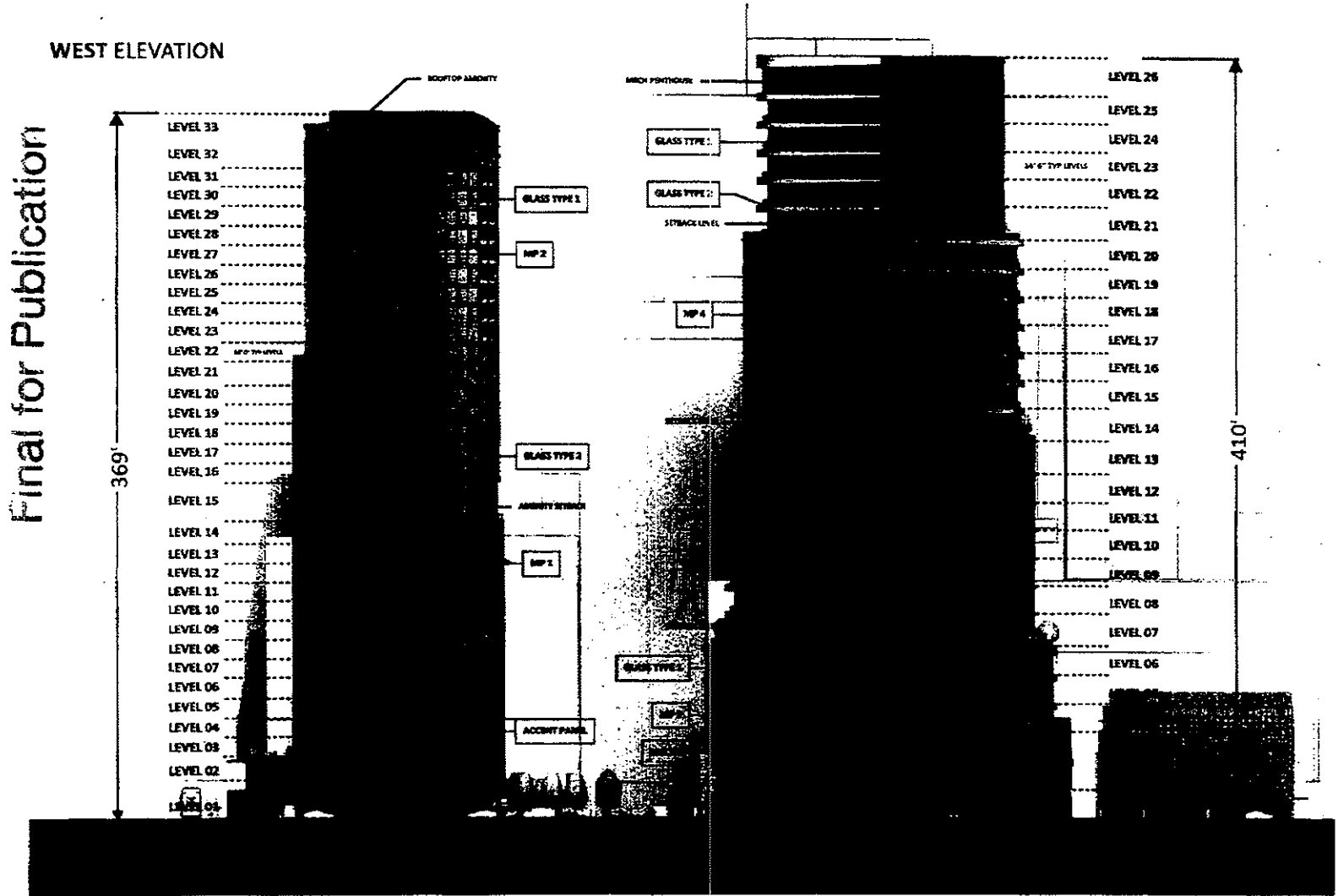
APPLICANT: TRAMMELL CROW CHICAGO DEVELOPMENT, INC.  
 ADDRESS: 315 N MAY | 1112 W CARROLL  
 INTRODUCED: MAY 26, 2021  
 PLANNING COMMISSION: OCT 21, 2021

1112 West Carroll - Residential  
 STRUTTED OR SCABBED CONCRETE/PANEL  
 WEATHERED STEEL LOOK @ LEVEL 1-2  
 CLEAR ANOD MULLION FINISH  
 METAL PANEL 1 LEVELS 2-16

METAL PANEL 2 (LEVEL 17-30)  
 GLAZING TYPE 1  
 GLAZING TYPE 2

315 North May - Office  
 BRICK @ LEVELS 1-6  
 METAL PANEL 3 LEVELS 6-9  
 STREET ART @ PORTE COCHERE  
 GLAZING TYPE 1

GLAZING TYPE 2  
 BLACK ANOD MULLION FINISH  
 METAL PANEL 4 (THIN BANDING SECTIONS)  
 METAL PANEL 5 (THICK BANDING SECTIONS)



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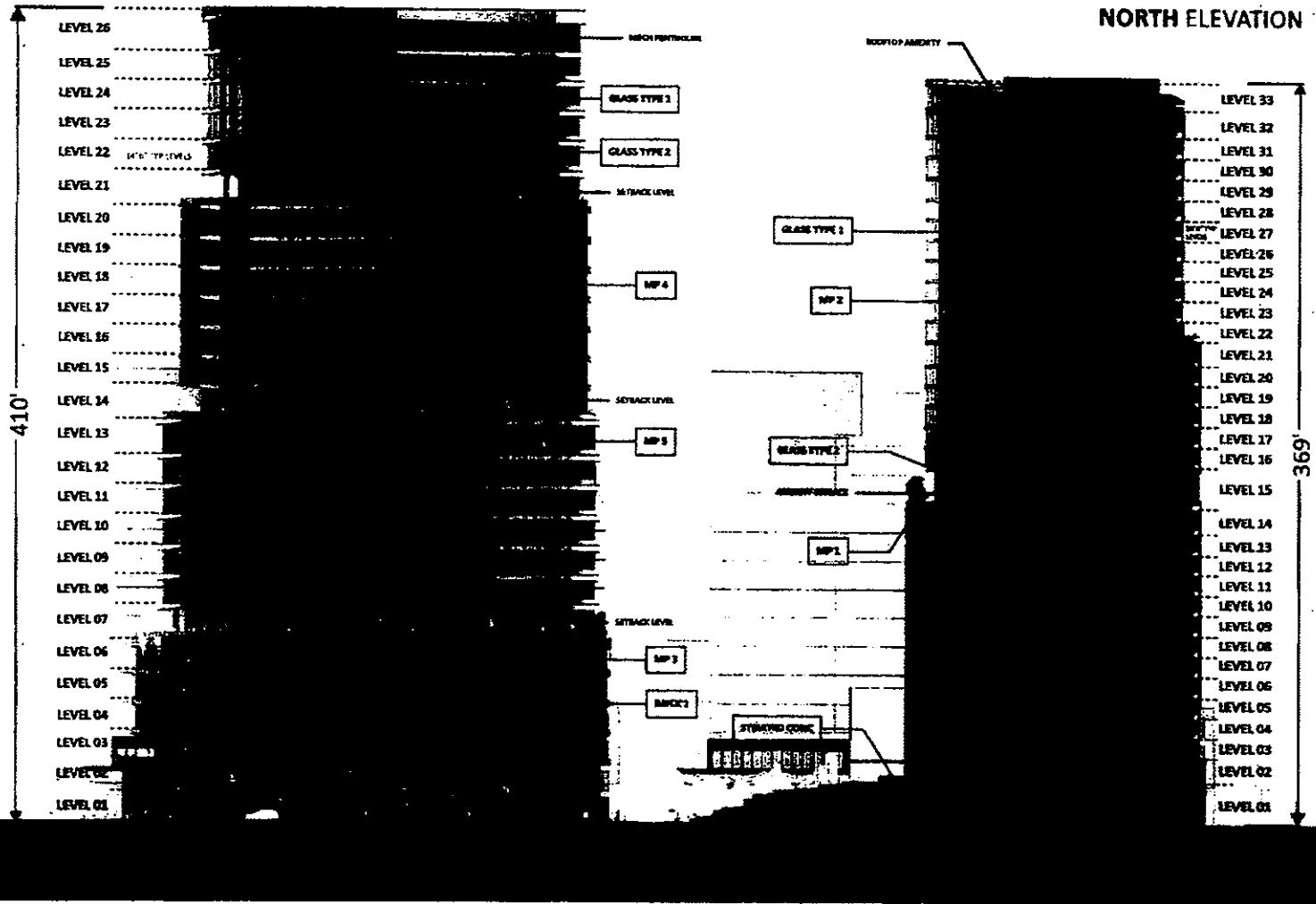
1112 West Carroll - Residential  
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 CLEAR ANOD MULLION FINISH  
 METAL PANEL 1 (LEVELS 2-15)

METAL PANEL 2 (LEVEL 17-30)  
 GLAZING TYPE 1  
 GLAZING TYPE 2

315 North May - Office  
 BRICK @ LEVELS 1-6  
 METAL PANEL 3 (LEVELS 4-6)  
 STREET ART @ PORTE COCHERE  
 GLAZING TYPE 1

GLAZING TYPE 2  
 BLACK ANOD MULLION FINISH  
 METAL PANEL 4 (7TH FLOOR BANISHING SECTIONS)  
 METAL PANEL 5 (THICK BANISHING SECTIONS)

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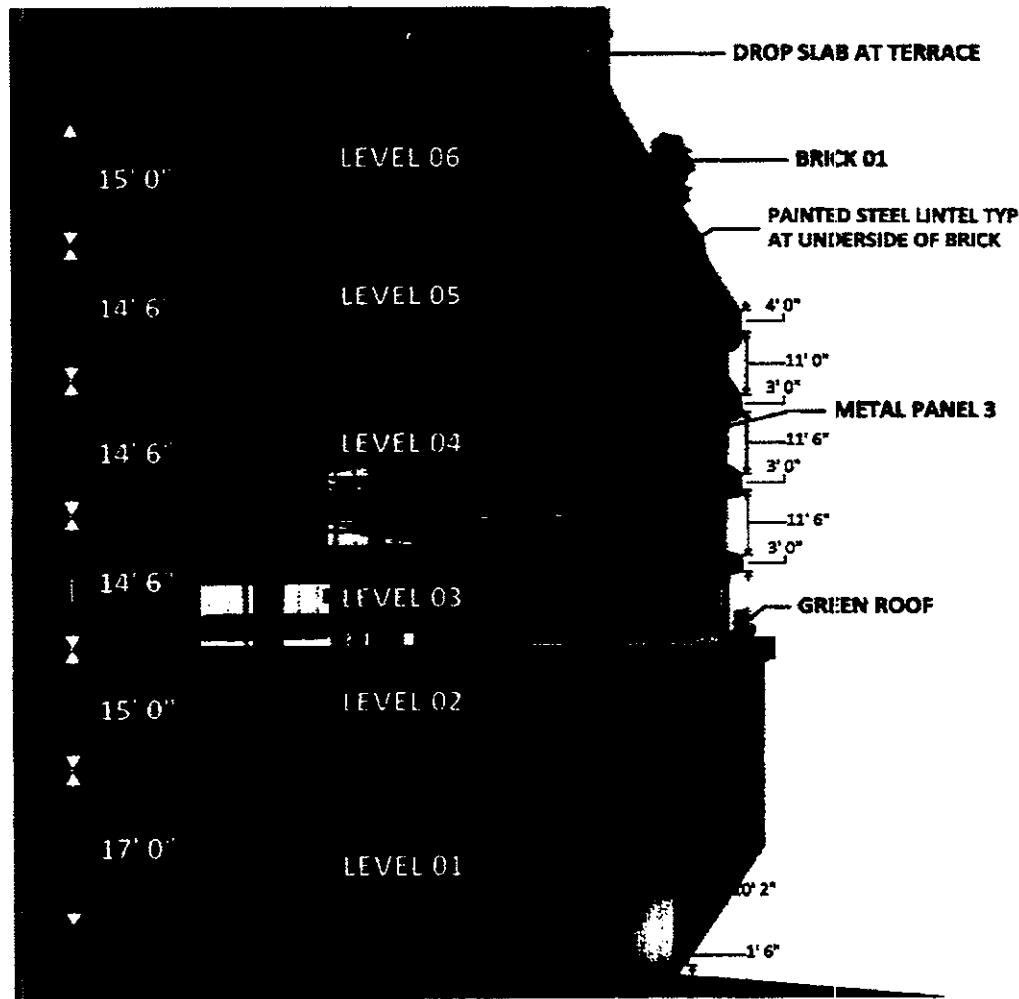
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 WEATHERED STEEL LOCK @ LEVEL 1-2  
 CLEAR ANOD MULLION FINISH  
 METAL PANEL 1 (LEVELS 2-19)

METAL PANEL 2 (LEVEL 17-34)  
 GLAZING TYPE 1  
 GLAZING TYPE 2

315 North May - Office  
 BRICK @ LEVELS 1-4  
 METAL PANEL 3 (LEVELS 4-8)  
 STREET ART @ PORTA COCHERE  
 GLAZING TYPE 1

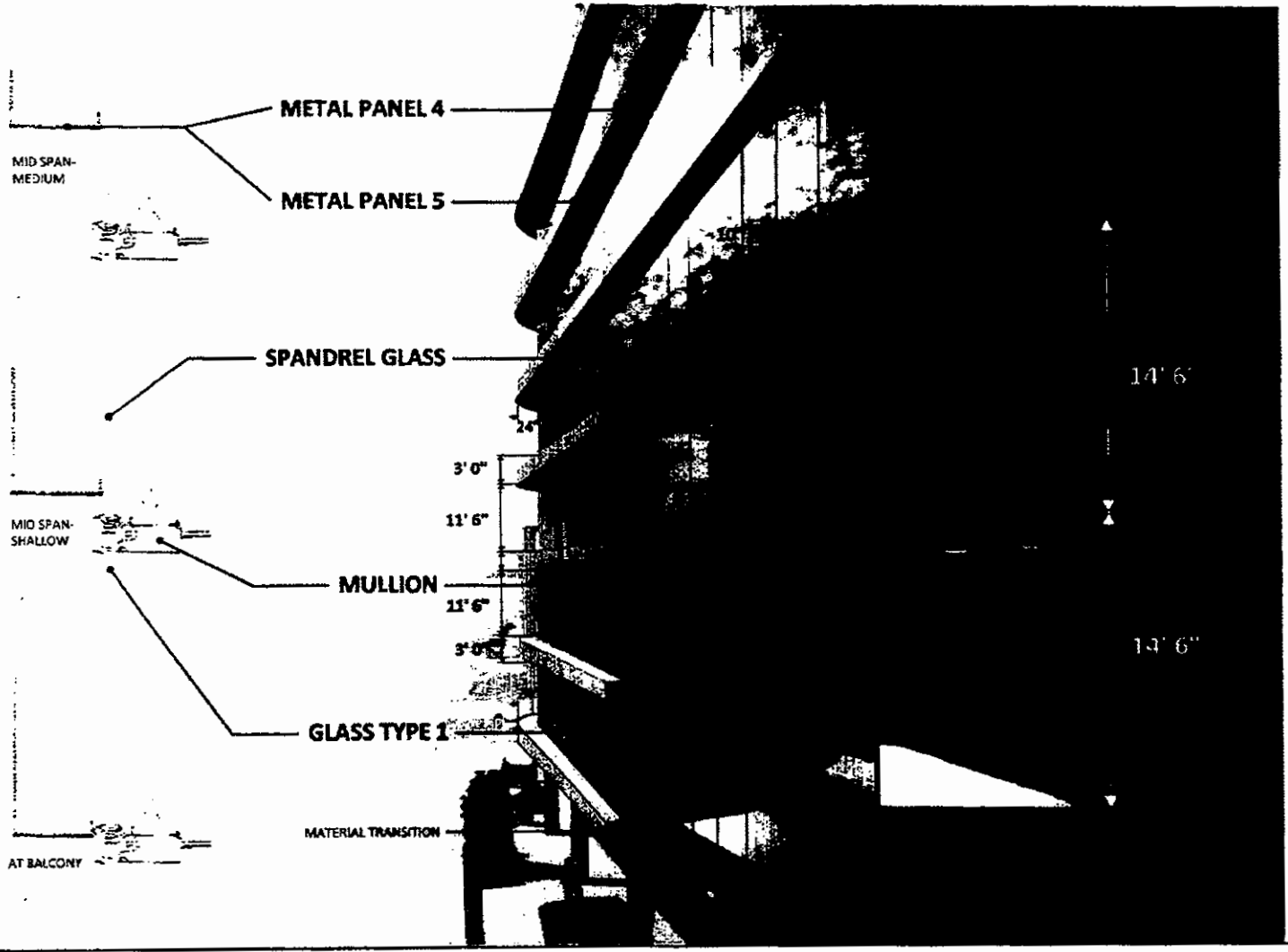
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 BLACK ANOD MULLION FINISH  
 METAL PANEL 4 (THIN BANDING SECTIONS)  
 METAL PANEL 5 (THICK BANDING SECTIONS)

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315 N May Base Section



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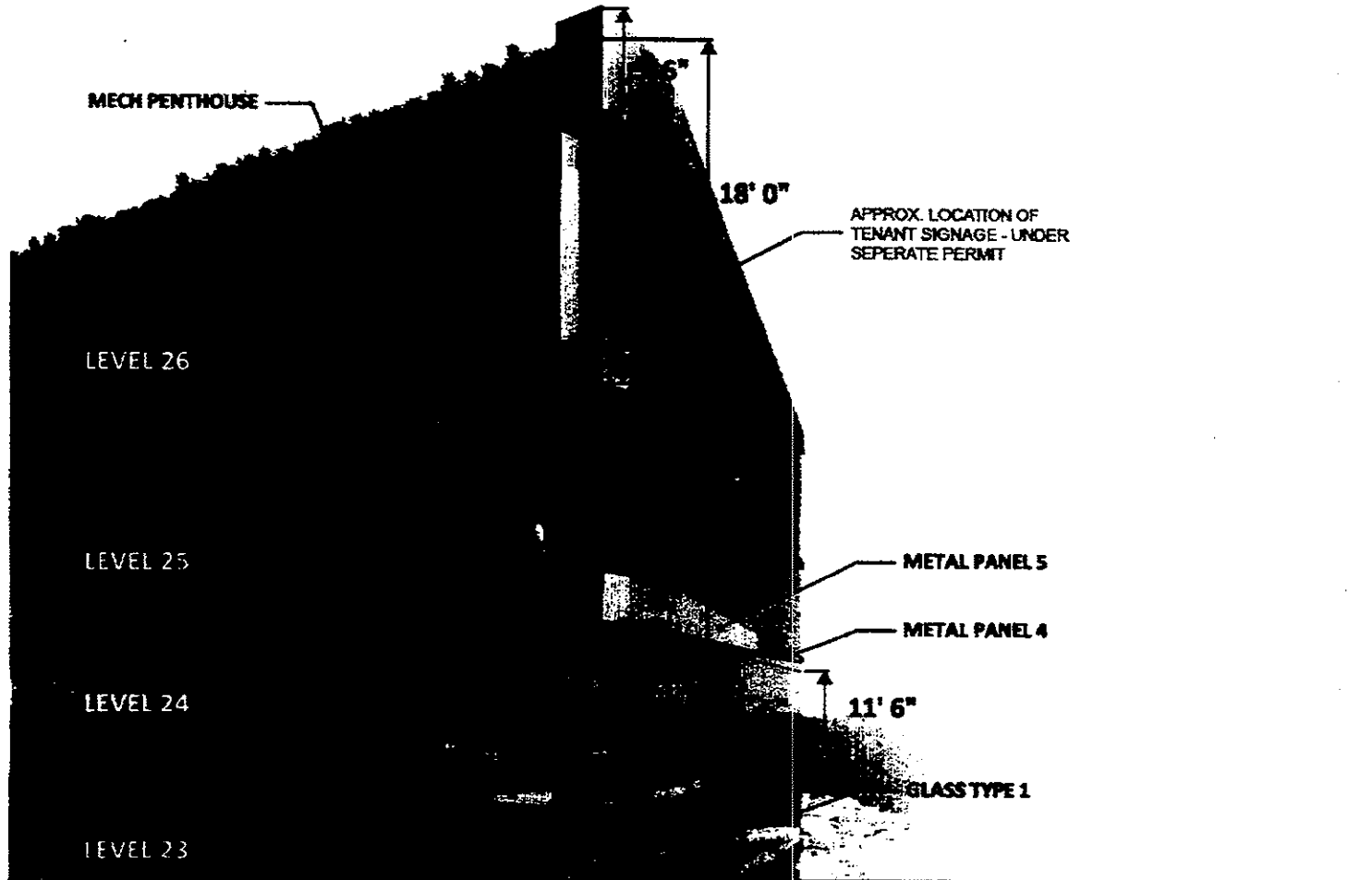
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315 N May Tower Section

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11/17/2021

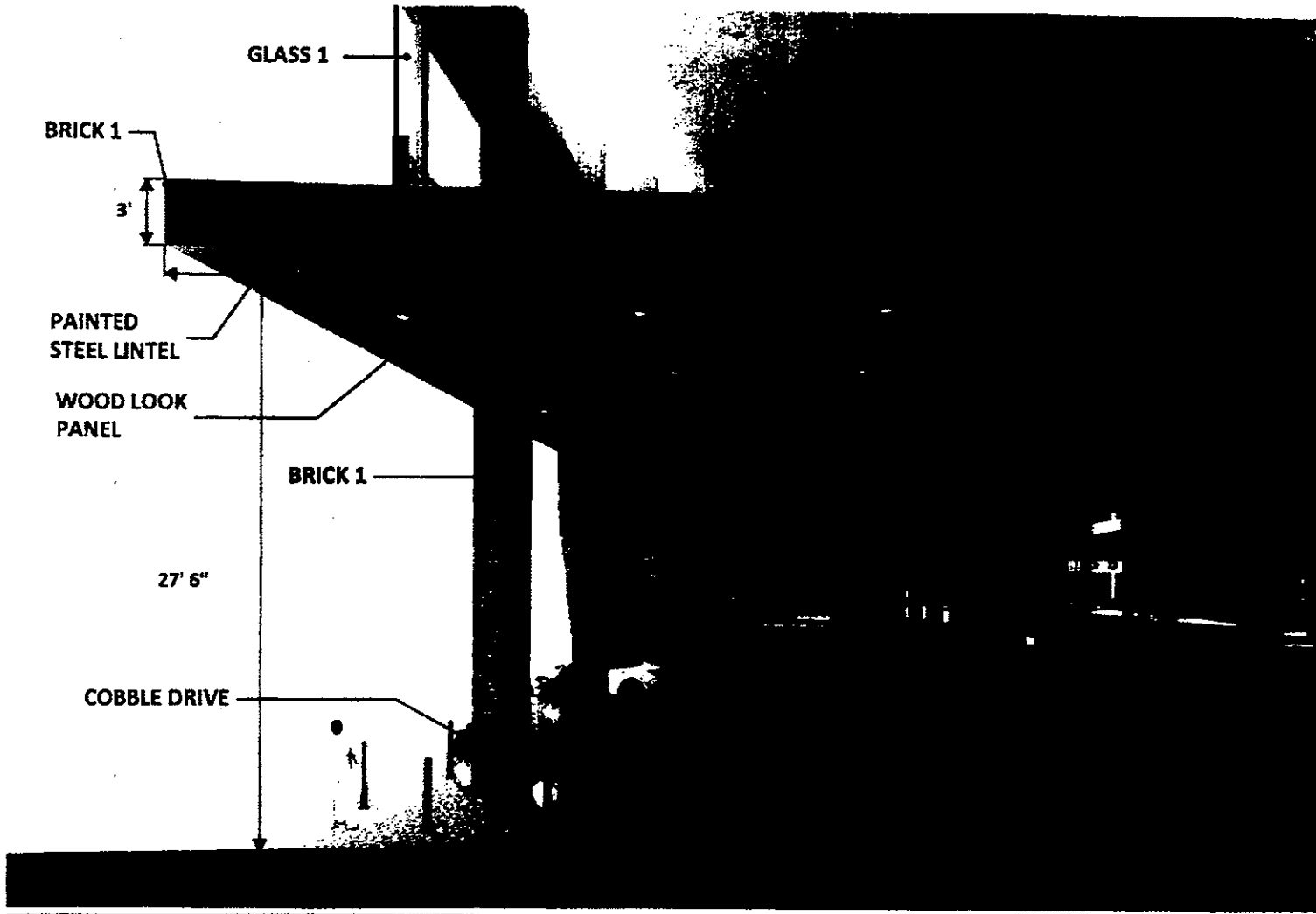
REPORTS OF COMMITTEES



APPLICANT: TRAMMELL CROW CHICAGO DEVELOPMENT, INC.  
ADDRESS: 315 N MAY | 1112 W CARROLL  
INTRODUCED: MAY 26, 2021  
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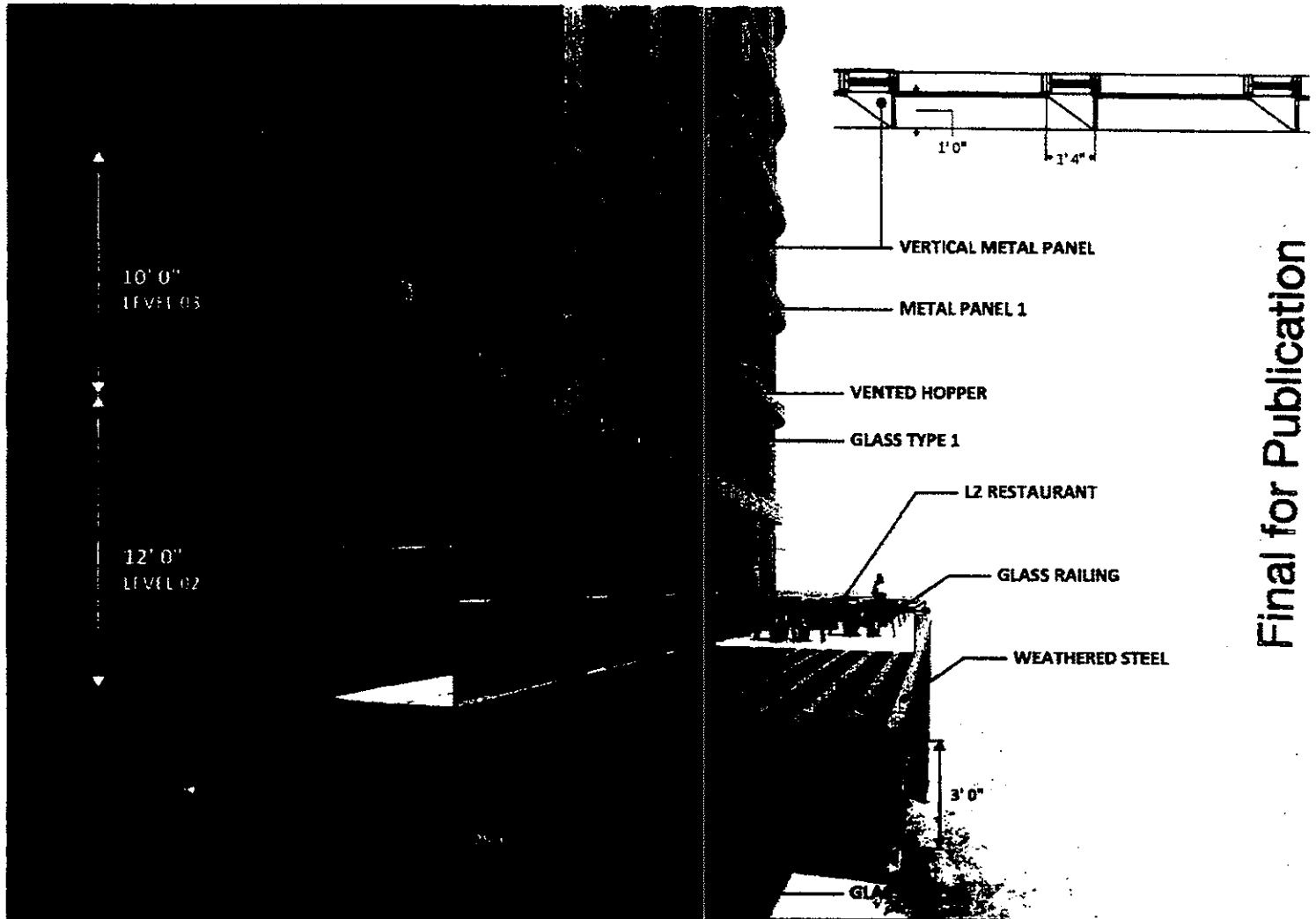
315 N May Top Section

41689



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 INTRODUCED: MAY 26, 2021  
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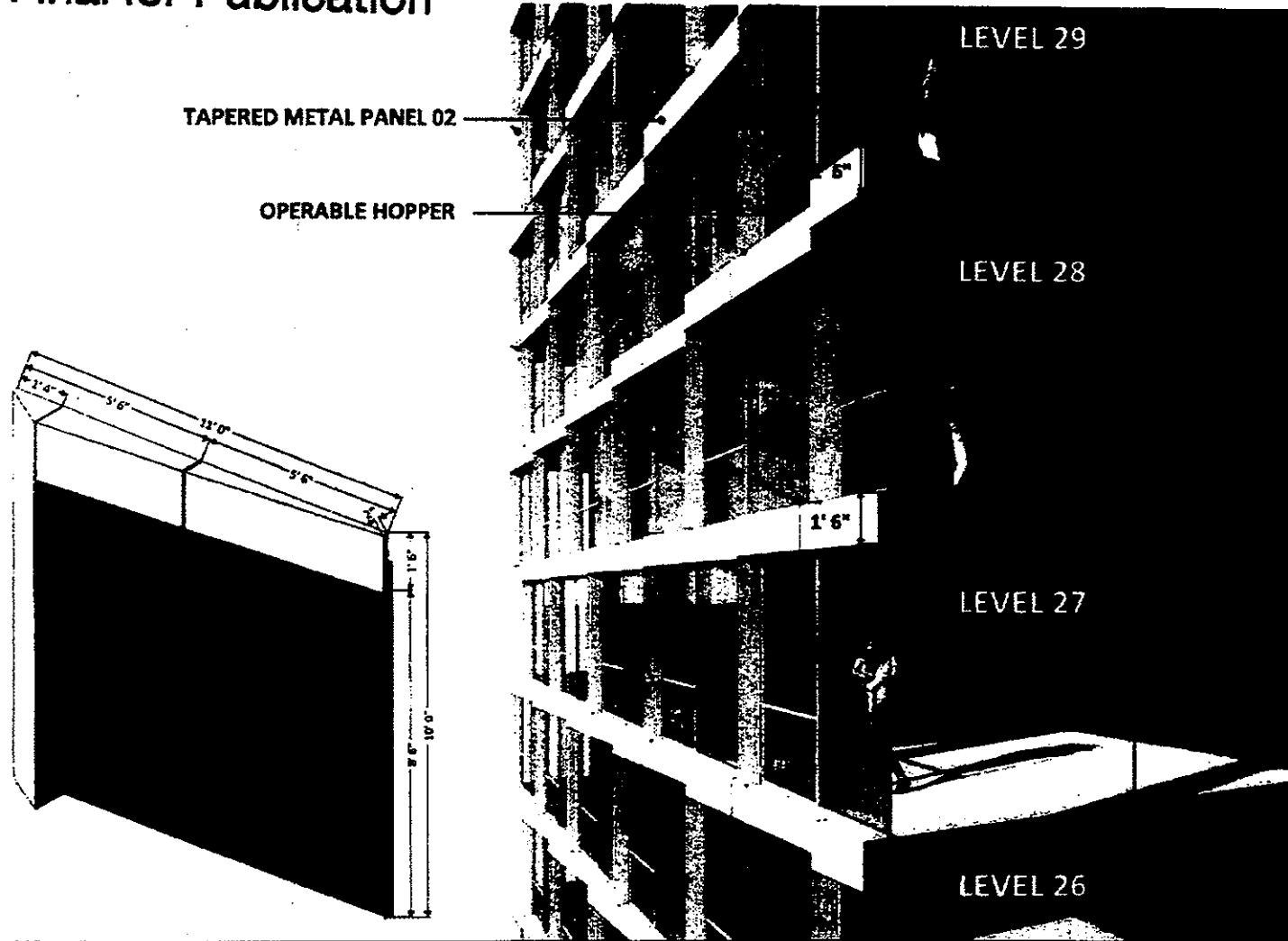
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1112 W Carroll Base Section

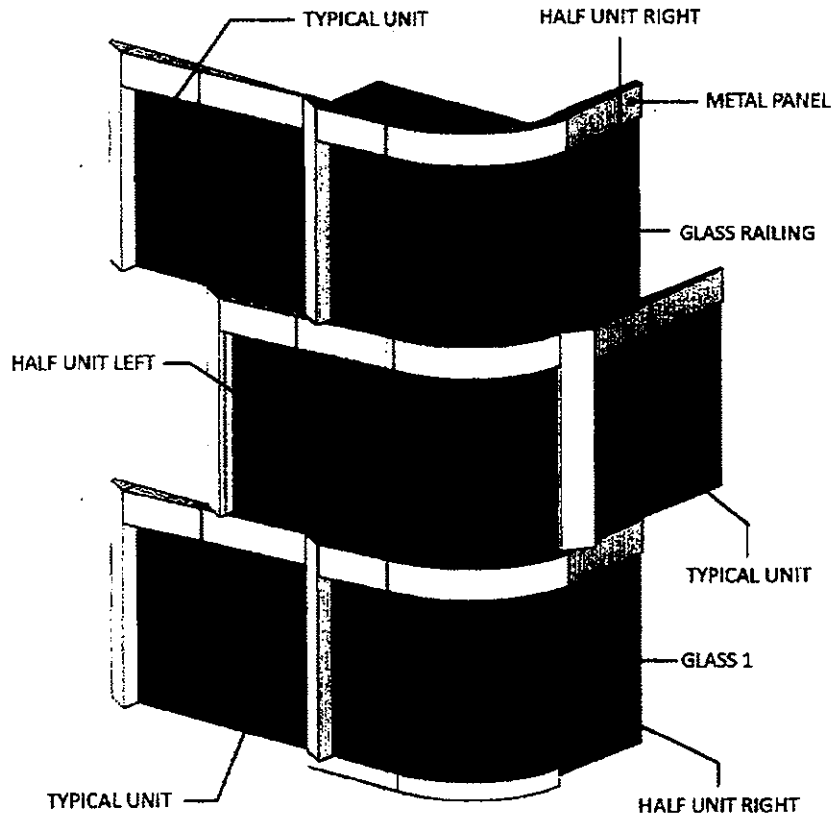
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1112 W Carroll Tower Section

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1/17/2021

REPORTS OF COMMITTEES

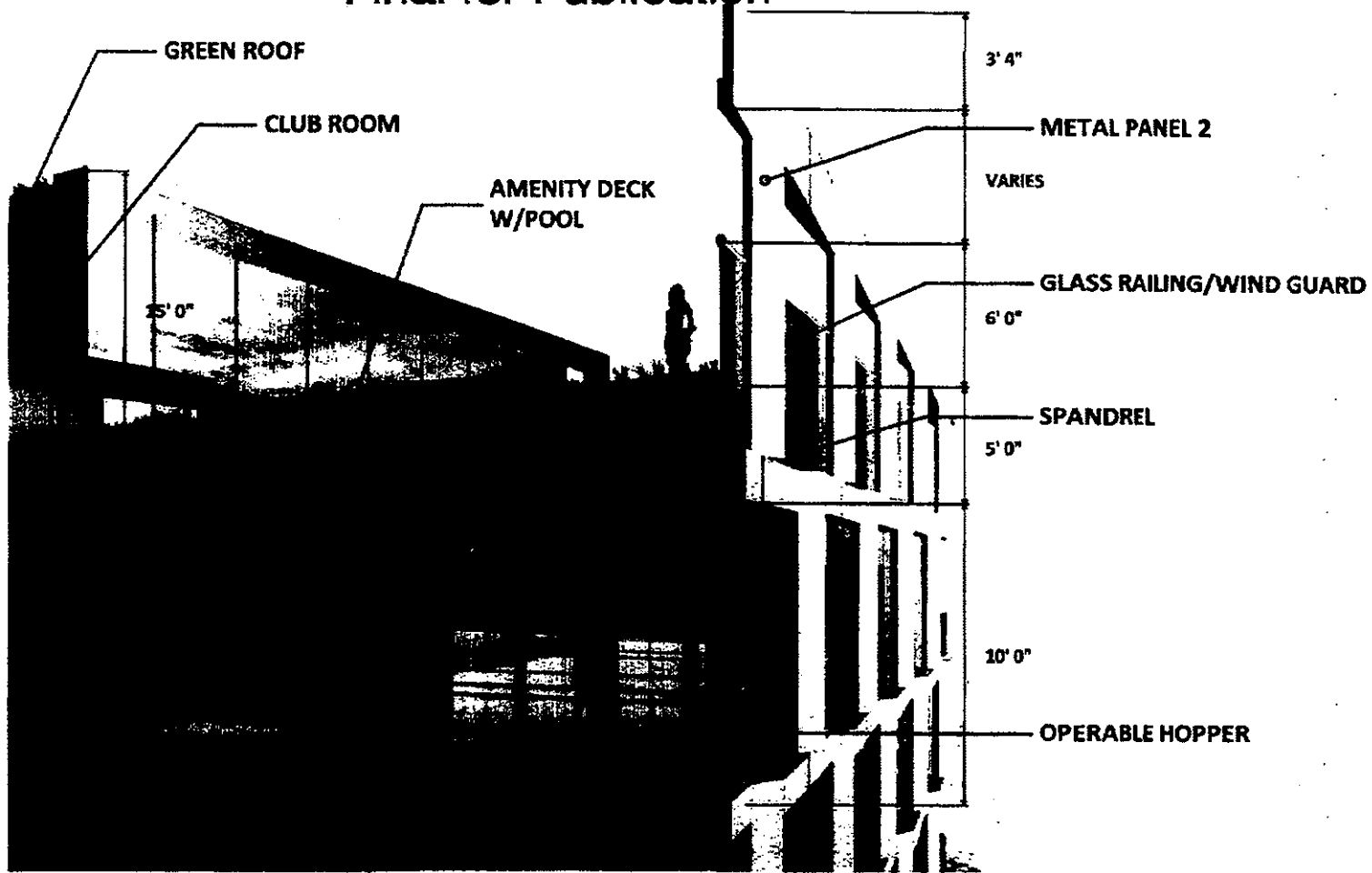
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ADDRESS: 315 N MAY | 1112 W CARROLL  
INTRODUCED: MAY 26, 2021  
PLANNING COMMISSION: OCT 21, 2021

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1112 W Carroll Tower Section

41693

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 INTRODUCED: MAY 26, 2021  
 PLANNING COMMISSION: OCT 21, 2021

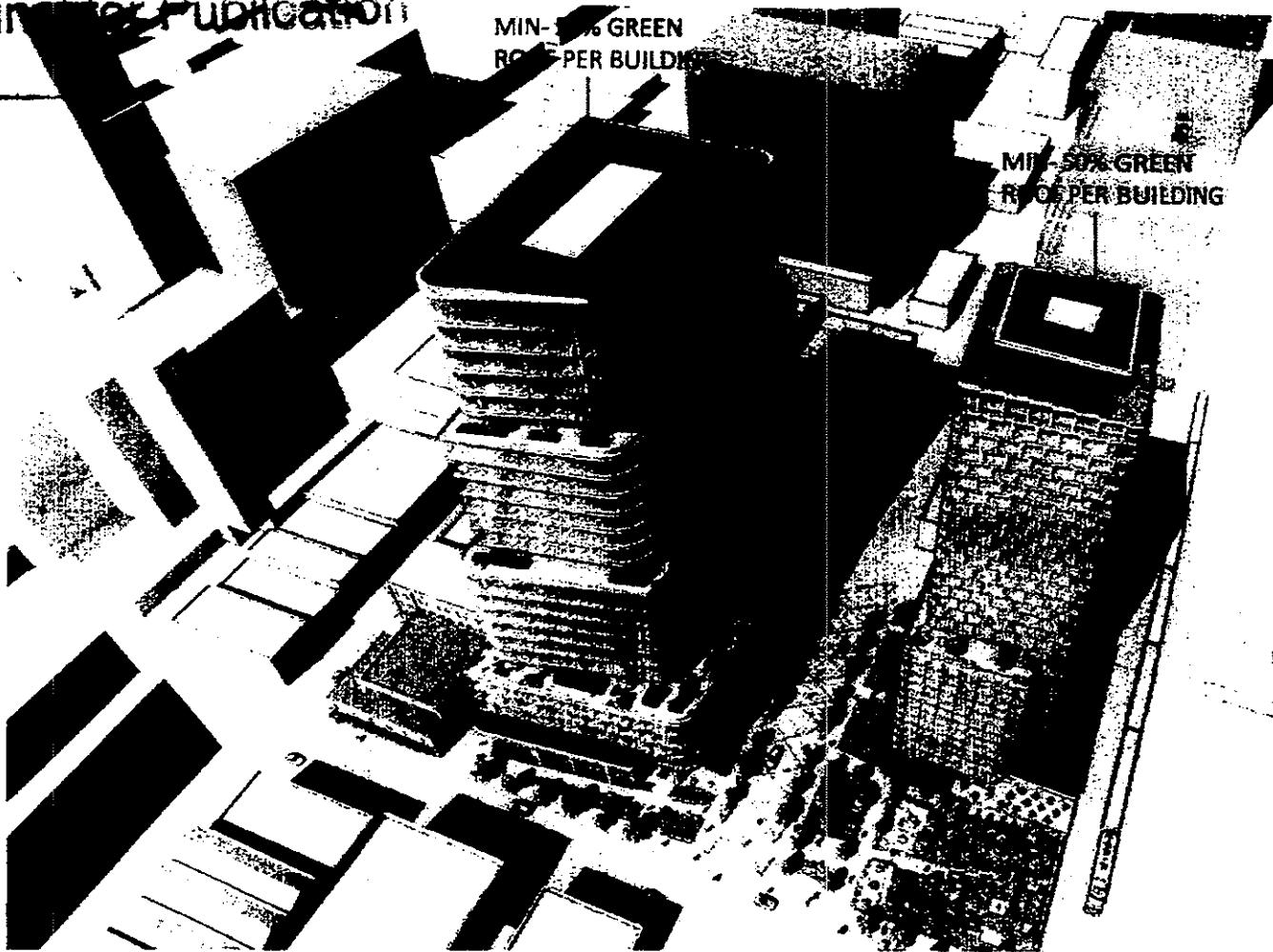
Final for Publication

1112 W Carroll Top Section

Final for Publication

MIN- 25% GREEN  
ROOF PER BUILDING

MIN- 50% GREEN  
ROOF PER BUILDING



APPLICANT: TRAMMELL CROW CHICAGO DEVELOPMENT, INC.  
 ADDRESS: 315 N MAY | 1112 W CARROLL  
 INTRODUCED: MAY 26, 2021  
 PLANNING COMMISSION: OCT 21, 2021

Final for Publication

GREEN ROOF DIAGRAM

11/17/2021

REPORTS OF COMMITTEES

41695