

PD 1503

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

October 28, 2024

Katie Jahnke Dale
DLA Piper LLP
444 West Lake Street
Suite 900
Chicago, Illinois 60606

Re: Minor Change Institutional-Residential-Business Planned Development No. 1503 – 220 West Chestnut Street (Subarea E)

Dear Ms. Janke Dale,

Please be advised that your request for a minor change to Institutional-Residential-Business Planned Development No. 1503 (the “PD”) for the proposed development at 220 West Chestnut Street (the “Property”) has been considered by the Department of Planning and Development (“DPD”) pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1503. 220 West Chestnut Land Owner LLC (the “Developer”) owns the Property.

Since approval of the PD, the Developer and its design team have refined plans for the Property. The requested changes are as follows:

- Site/Ground Floor Plan
 - The main entrance was moved east along Chestnut Street, resulting in the house number changing to 220 West Chestnut (from 232 West Chestnut).
 - Residential terraces were added at the corners of the first floor.
 - An enclosed exterior loading zone and curb cut were added at the northwest corner of site.
 - Two (2) trees were added to the Chestnut Street landscaping and one (1) tree was removed from the Franklin Street landscaping.
 - Relocating one required underground off-street loading space to an at-grade enclosed space adjacent to the 871 N. Franklin building.
- Roof Plan
 - The mechanical area on the uppermost roof was increased, resulting in corresponding adjustments to the green roof area.
- Elevations
 - Two (2) additional residential floors were added, and the building height was increased by 15 feet, resulting in a building height of 85’.

- The windows at the ground floor were replaced by a brick and stone base.
- The projecting residential balconies were removed.
- The main entry was adjusted to be centered on the Chestnut façade.
- The architectural details were refined to include arches at the base and top floors and brick skirting and inset terraces at the base.

The height and unit count are still below the approved maximums in Subarea E.

This approval includes the following attached documents prepared by HPA:

- Site/Ground Floor Plan;
- Roof Plan;
- South Elevation;
- East Elevation;
- North Elevation;
- West Elevation; and,
- Franklin Street Loading Enclosure

Regarding your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1503, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

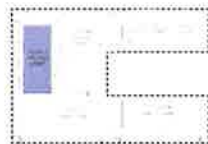
This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



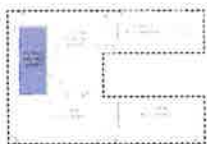
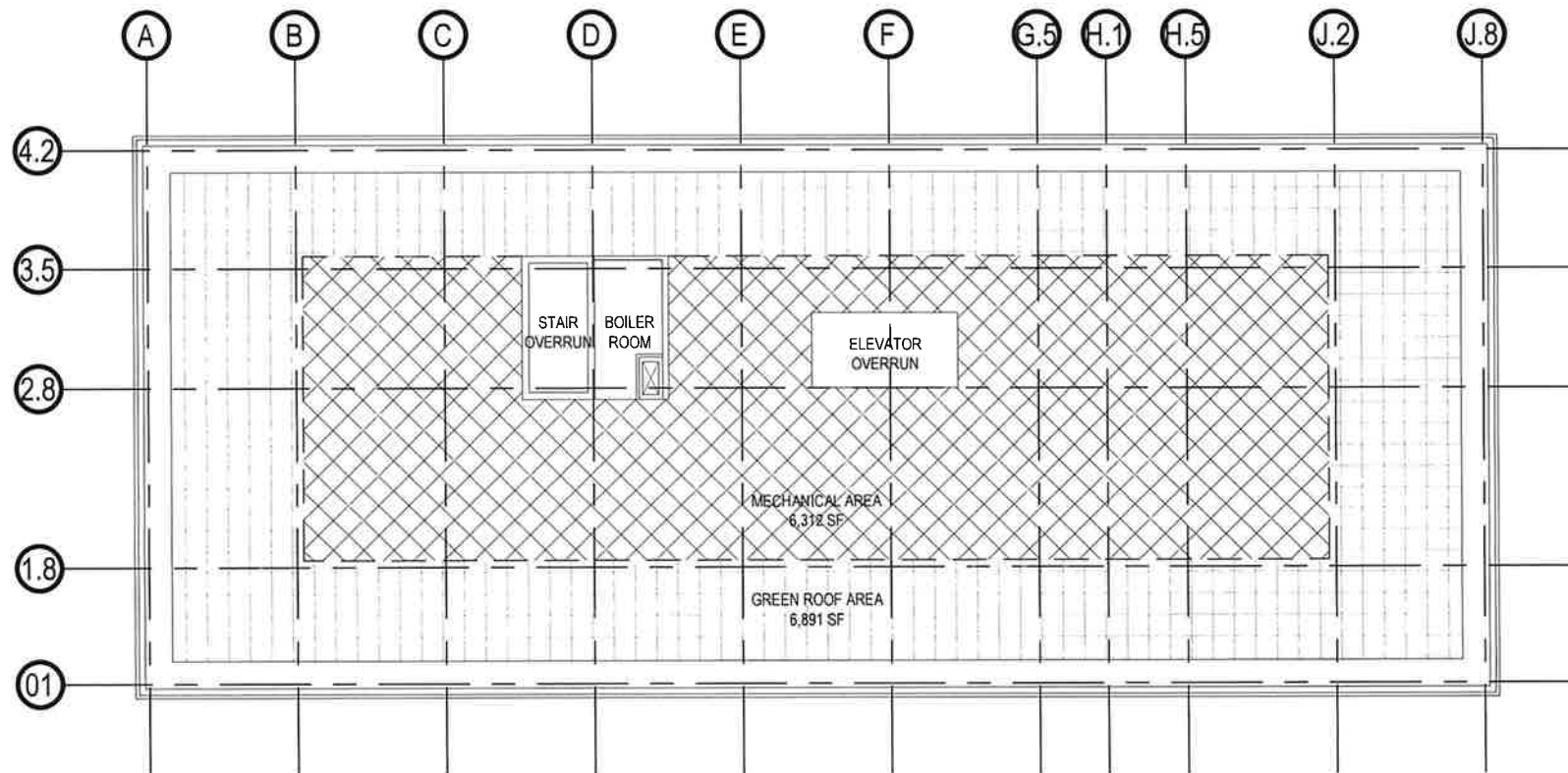
Noah Szafraniec,
Assistant Commissioner

CC: Emily Thrun, Mike Marmo, Main File



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			SITE/GROUND FLOOR PLAN
ADDRESS OF PROJECT: 220 W CHESTNUT ST		PLANNED DEVELOPMENT: 1503	
INTRODUCTION: 03/24/2021	REVISION: 08/28/2024	SCALE: NTS	

PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
220 W CHESTNUT	15786	6312	9474	4737	6891



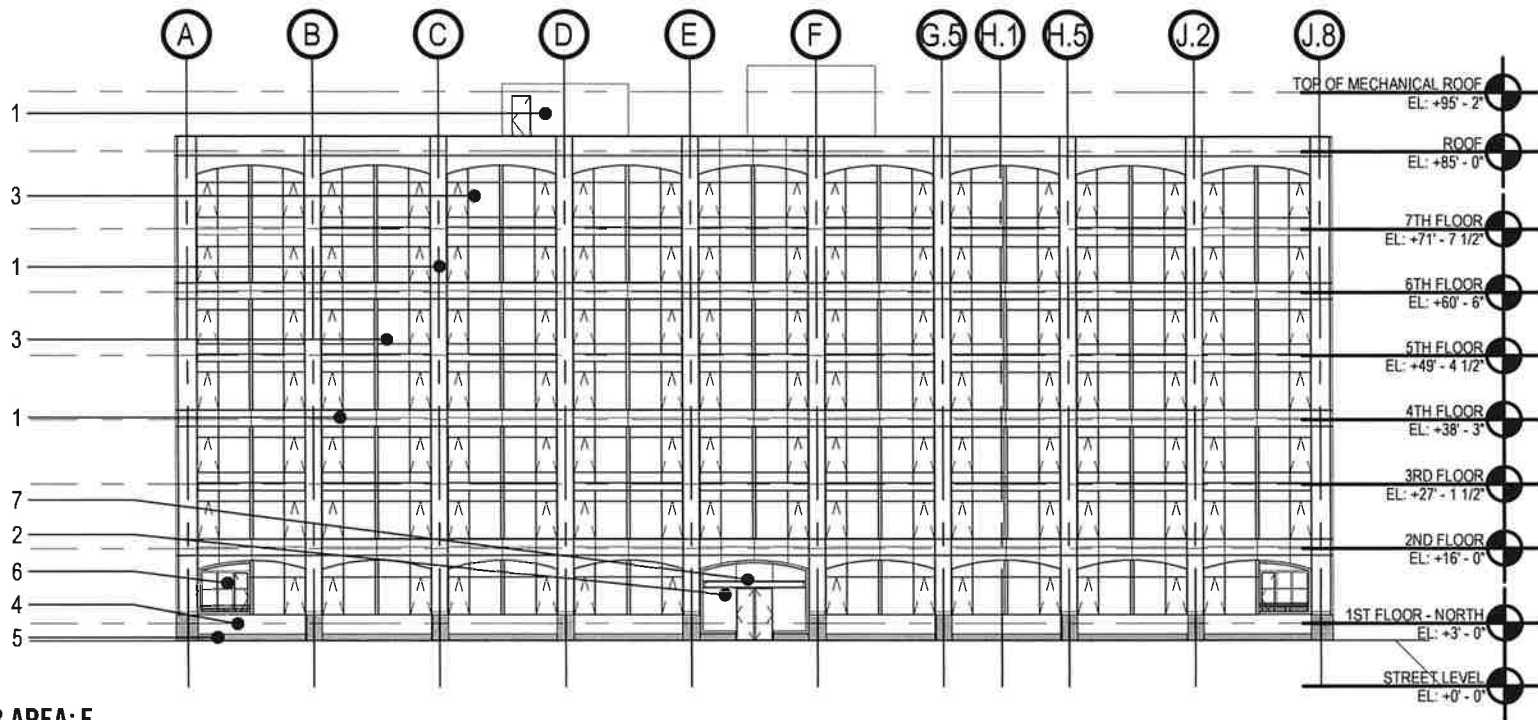
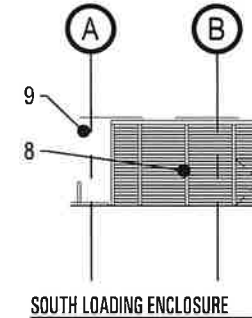
SUB-AREA: E



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			ROOF PLAN
ADDRESS OF PROJECT: 220 W CHESTNUT ST		PLANNED DEVELOPMENT: 1503	
INTRODUCTION: 03/24/2021	REVISION: 08/28/2024	SCALE: NTS	

MATERIAL LEGEND

1. EXTERIOR ALUMINUM PANELS
2. GLASS AND ALUMINUM STOREFRONT WALL SYSTEM
3. GLASS AND ALUMINUM WINDOWS
4. EXTERIOR BRICK CLADDING
5. STONE BASE AT BRICK CLADDING
6. RESIDENTIAL TERRACES WITH ALUMINUM AND BRICK GUARDRAIL AND WINDOWS BEYOND
7. EXTERIOR ALUMINUM CANOPY
8. LOADING ENCLOSURE
9. ADJACENT 871 N FRANKLIN BUILDING

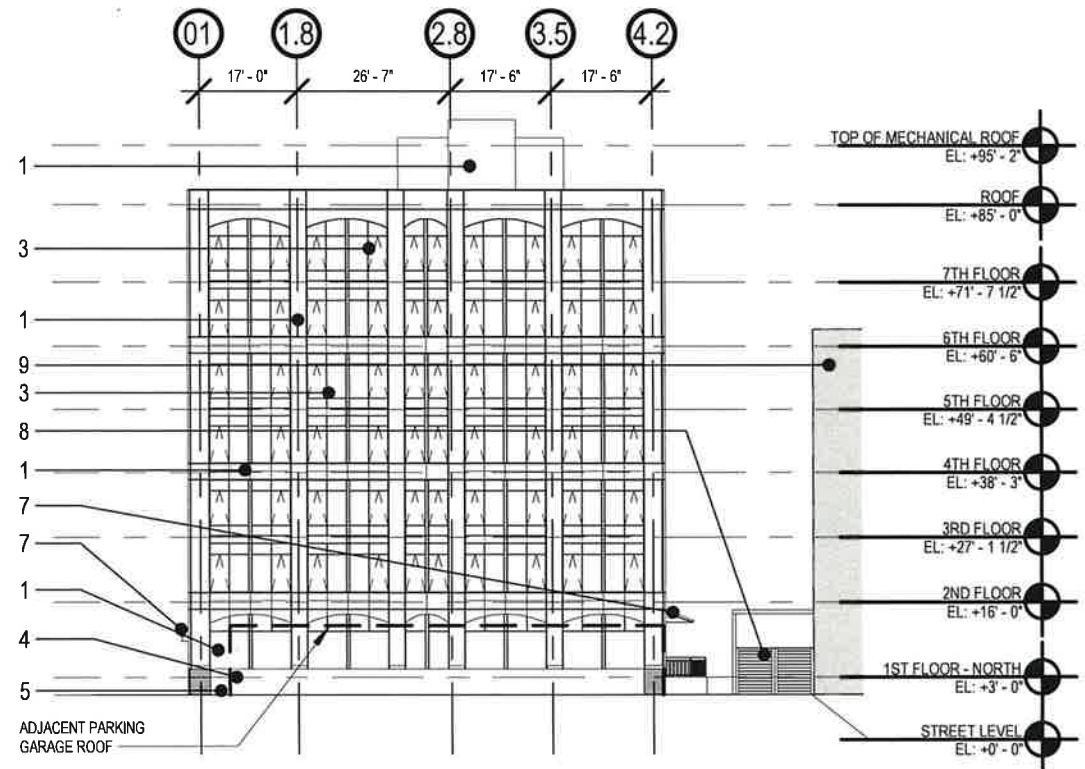


SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			SOUTH ELEVATION
ADDRESS OF PROJECT: 220 W CHESTNUT ST		PLANNED DEVELOPMENT: 1503	
INTRODUCTION: 03/24/2021	REVISION: 08/28/2024	SCALE: 1/32" = 1'-0"	

MATERIAL LEGEND

1. EXTERIOR ALUMINUM PANELS
2. GLASS AND ALUMINUM STOREFRONT WALL SYSTEM
3. GLASS AND ALUMINUM WINDOWS
4. EXTERIOR BRICK CLADDING
5. STONE BASE AT BRICK CLADDING
6. RESIDENTIAL TERRACES WITH ALUMINUM AND BRICK GUARDRAIL AND WINDOWS BEYOND
7. EXTERIOR ALUMINUM CANOPY
8. LOADING ENCLOSURE
9. ADJACENT 871 N FRANKLIN BUILDING



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 220 W CHESTNUT ST

PLANNED DEVELOPMENT: 1503

INTRODUCTION: 12/27/2023

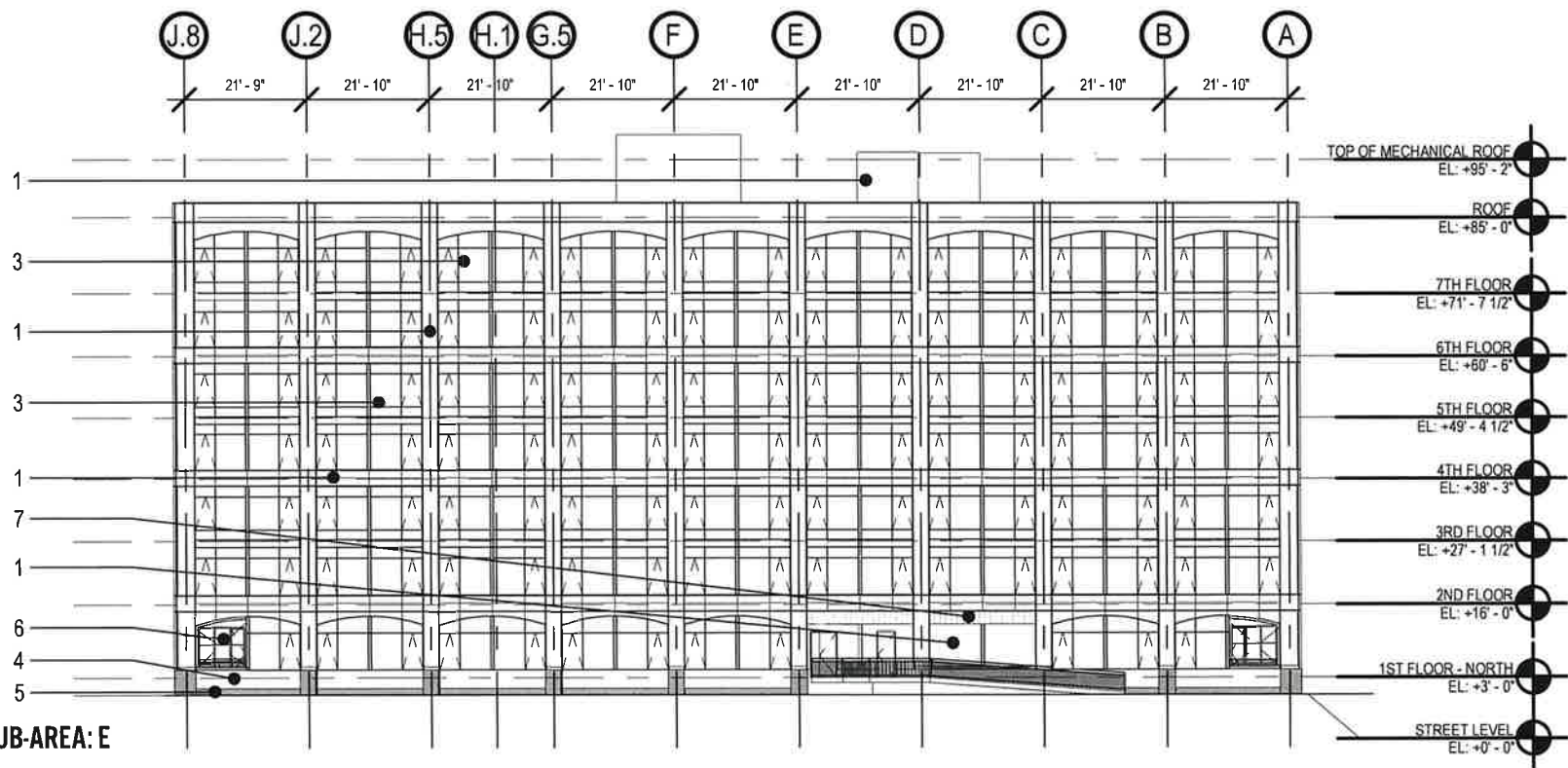
REVISION: 08/28/2024

SCALE: 1/32" = 1'-0"

EAST ELEVATION

MATERIAL LEGEND

1. EXTERIOR ALUMINUM PANELS
2. GLASS AND ALUMINUM STOREFRONT WALL SYSTEM
3. GLASS AND ALUMINUM WINDOWS
4. EXTERIOR BRICK CLADDING
5. STONE BASE AT BRICK CLADDING
6. RESIDENTIAL TERRACES WITH ALUMINUM AND BRICK GUARDRAIL AND WINDOWS BEYOND
7. EXTERIOR ALUMINUM CANOPY
8. LOADING ENCLOSURE
9. ADJACENT 871 N FRANKLIN BUILDING

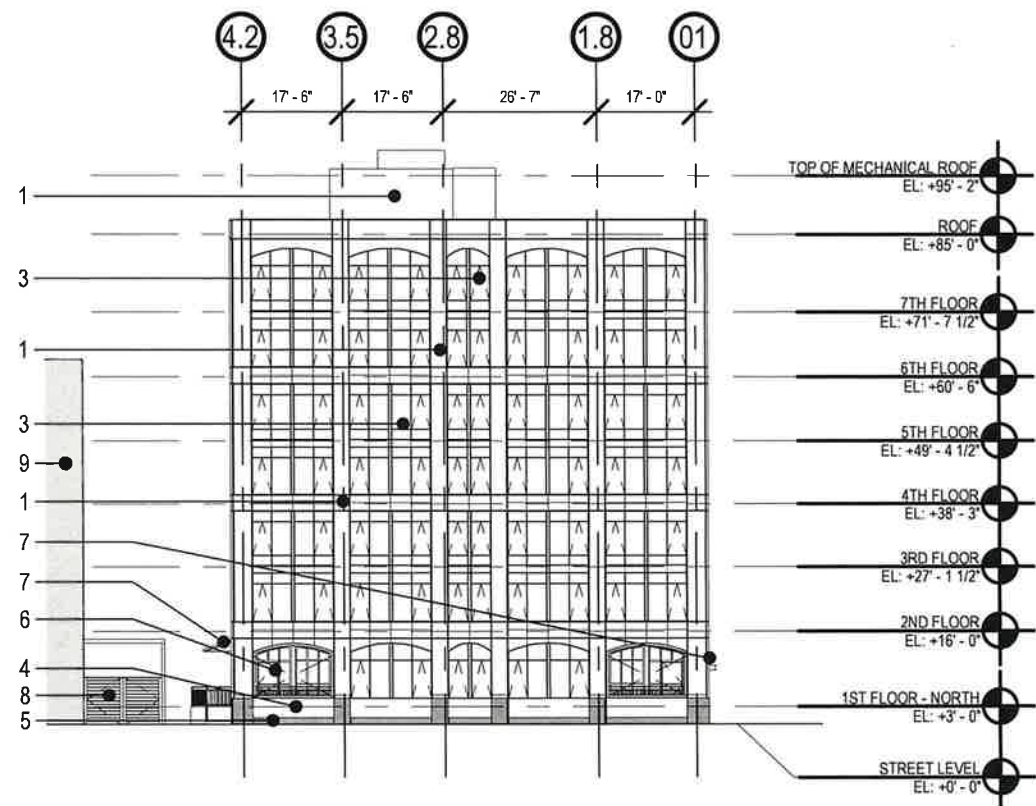


SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			NORTH ELEVATION
ADDRESS OF PROJECT: 220 W CHESTNUT ST		PLANNED DEVELOPMENT: 1503	
INTRODUCTION: 12/27/2023	REVISION: 08/28/2024	SCALE: 1/32" = 1'-0"	

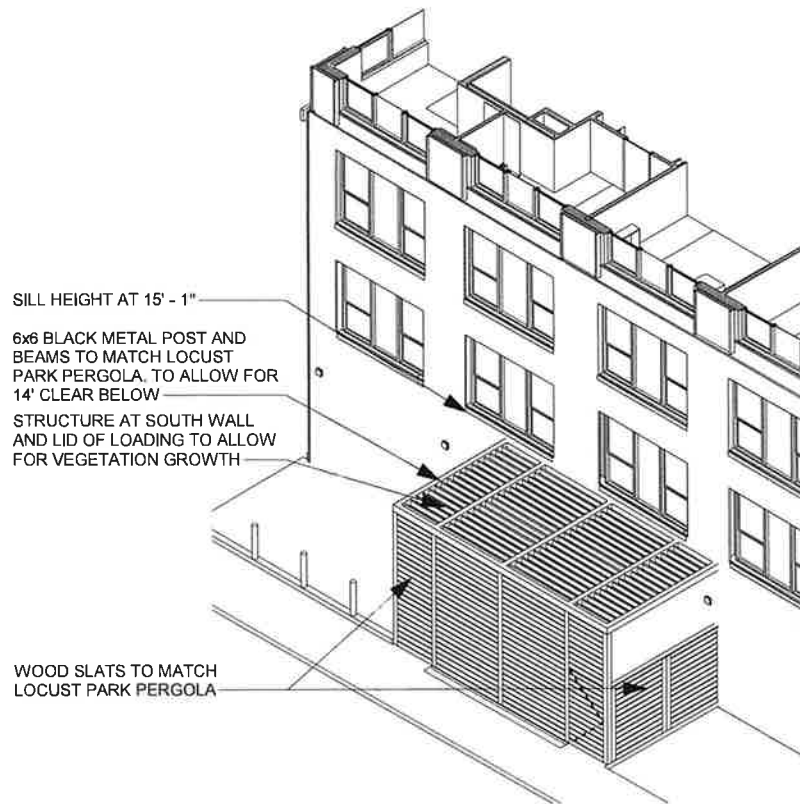
MATERIAL LEGEND

1. EXTERIOR ALUMINUM PANELS
2. GLASS AND ALUMINUM STOREFRONT WALL SYSTEM
3. GLASS AND ALUMINUM WINDOWS
4. EXTERIOR BRICK CLADDING
5. STONE BASE AT BRICK CLADDING
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8. LOADING ENCLOSURE
9. ADJACENT 871 N FRANKLIN BUILDING

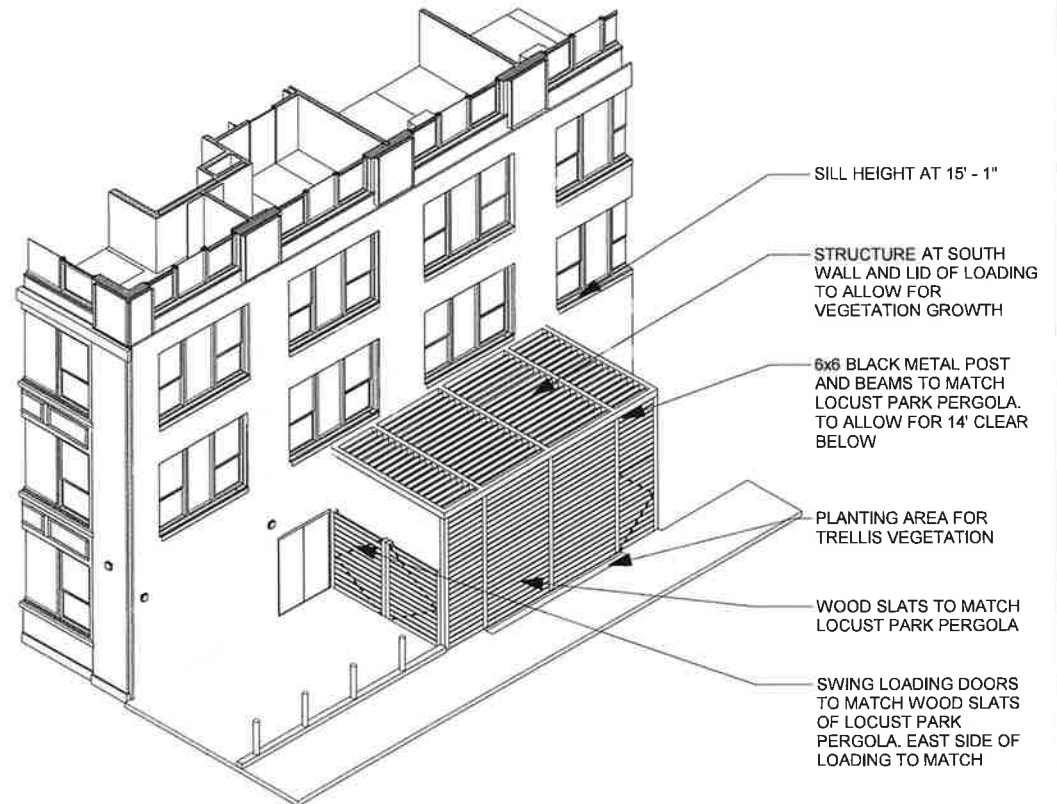


SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			WEST ELEVATION
ADDRESS OF PROJECT: 220 W CHESTNUT ST		PLANNED DEVELOPMENT: 1503	
INTRODUCTION: 03/24/2021	REVISION: 08/28/2024	SCALE: 1/32" = 1'-0"	



PROPOSED LOADING ENCLOSURE - AXON VIEW LOCATING NORTHWEST



PROPOSED LOADING ENCLOSURE - AXON VIEW LOCATING NORTHEAST



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			FRANKLIN ST LOADING ENCLOSURE
ADDRESS OF PROJECT: 220 W CHESTNUT ST		PLANNED DEVELOPMENT: 1503	
INTRODUCTION: 03/24/2021	REVISION: 08/28/2024	SCALE: NTS	



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

November 16, 2023

Katie Jahnke Dale
DLA Piper LLP
444 West Lake Street
Suite 900
Chicago, Illinois 60606

**Re: Minor Change to Institutional-Residential-Business Planned Development No. 1503
(Subarea E) 871 North Franklin**

Dear Ms. Janke Dale,

Please be advised that your request for a minor change to Institutional-Residential-Business Planned Development No. 1503 ("PD 1503") has been considered by the Department of Planning and Development ("DPD") pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1503. 878 North Wells Street Owner, LLC (the "Developer") owns all the property within Subarea E.

Since approval of the PD, the Developer and its design team have refined the design of the proposed building as follows:

Site Plan:

- Revised the footprint of the building to remove the addition along the east façade;
- Rearranged the back of house layout;
- Relocated stairs to existing partial basement and floors above; and,
- Rearranged the doors on the north, east and south facades to coordinate with previous landscape changes.

Green Roof:

- Updated the overall square footage after removing the east addition and revising the 4th and 5th floor setbacks;
- Updated the screened mechanical area square footage; and,
- Added an enclosed boiler room.

Elevations:

- Added an additional residential entry;
- Added the previously omitted elevator/stair overrun;
- Reduced the north and west setbacks along the perimeter of the existing building;

- Removed the east addition;
- Removed the muntin bars at the windows of the existing building; and
- Updated the fenestration of the addition to align with the existing building's arrangement of punched openings.

The height and residential unit count are below the approved maximums in the PD. This approval includes the following attached documents prepared by HPA and dated October 16, 2023:

- Site/Ground Floor Plan;
- Roof Plan;
- Elevations (West, North, East, and South); and,
- Enclosure Diagram.

Regarding your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1503, I hereby approve the foregoing minor change, but no other changes to this Planned Development.

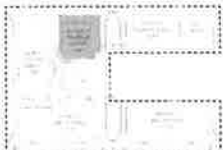
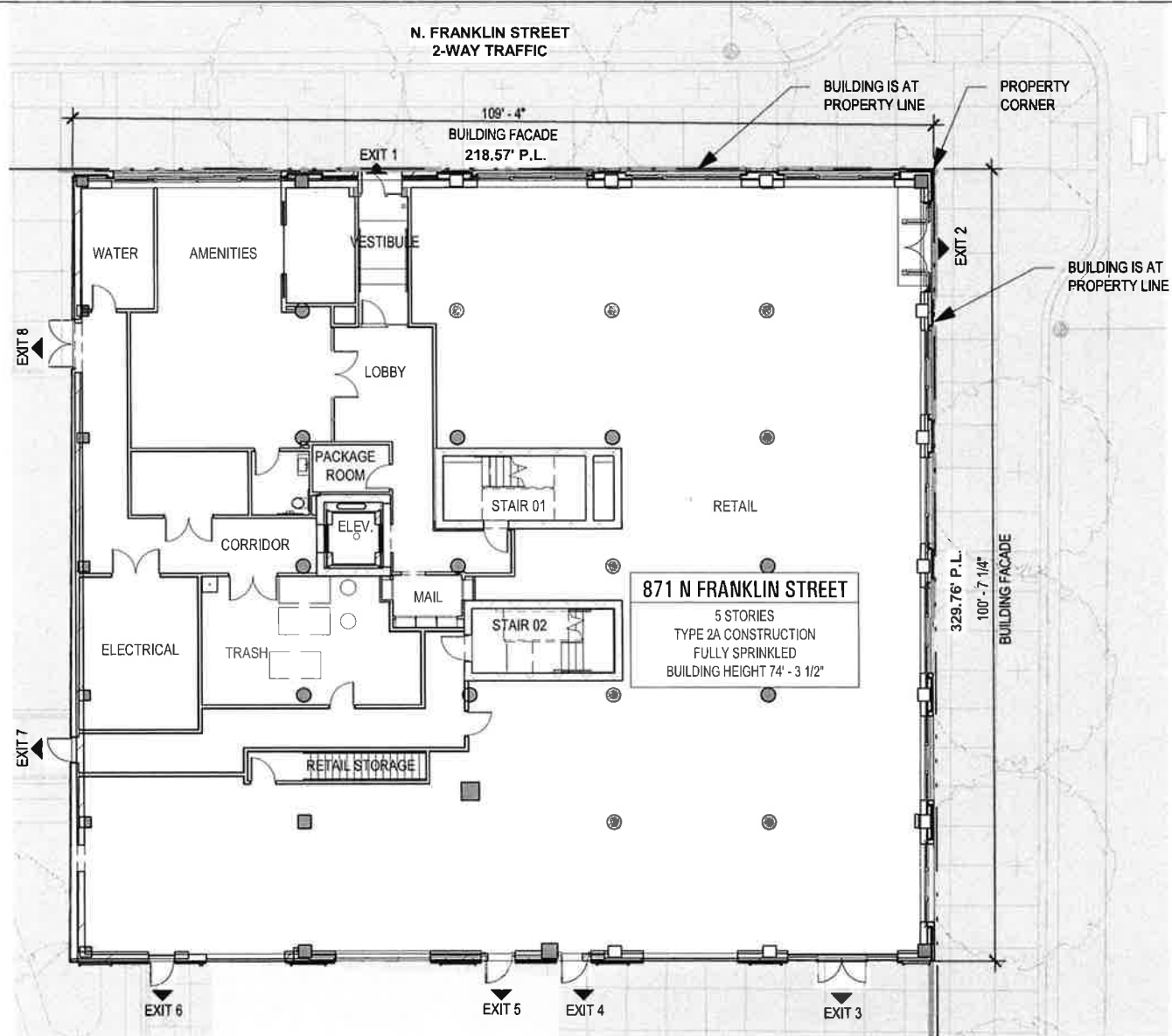
This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



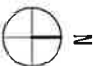
Noah Szafraniec,
Assistant Commissioner

CC: Emily Thrun, Mike Marmo, Erik Glass, Main File



SUB-AREA: E

GREY HATCH INDICATES SIDEWALKS AND LANDSCAPING
PREVIOUSLY APPROVED UNDER PERMIT # 100970099



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 871 N FRANKLIN STREET

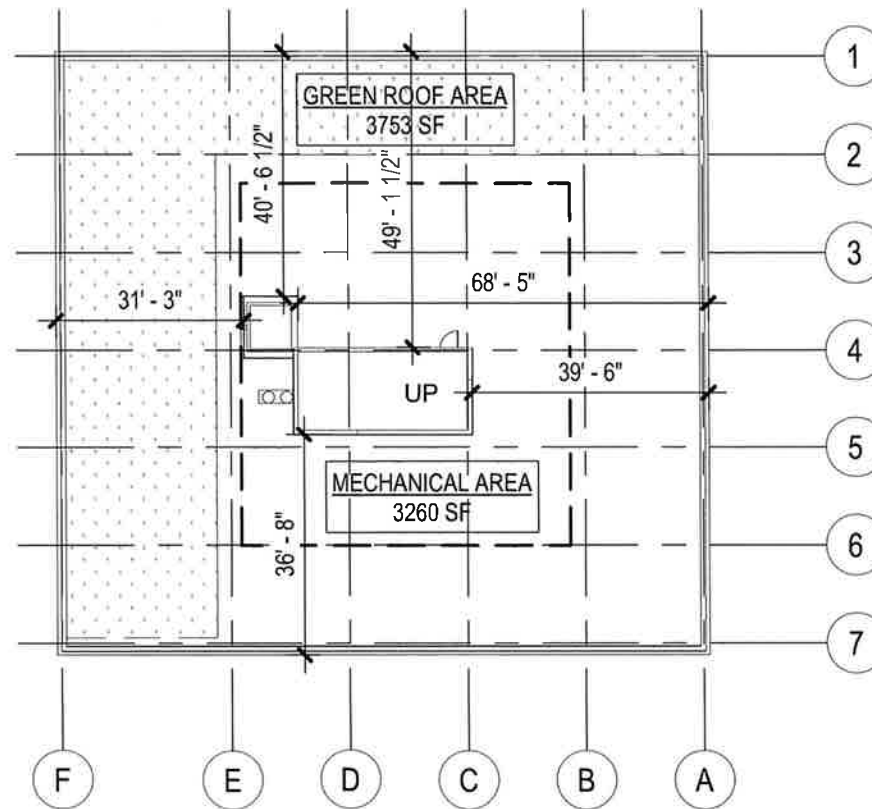
INTRODUCTION: 3.24.2021

REVISION: 10.31.2023

SCALE: 3/64" = 1'

SITE/GROUND FLOOR PLAN

SUB AREA 'E' GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA 50%	PROVIDED GREEN ROOF AREA
871 N FRANKLIN	10765	3260	7505	3753	3753



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 871 N FRANKLIN STREET

INTRODUCTION: 3.24.2021

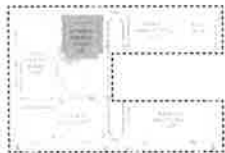
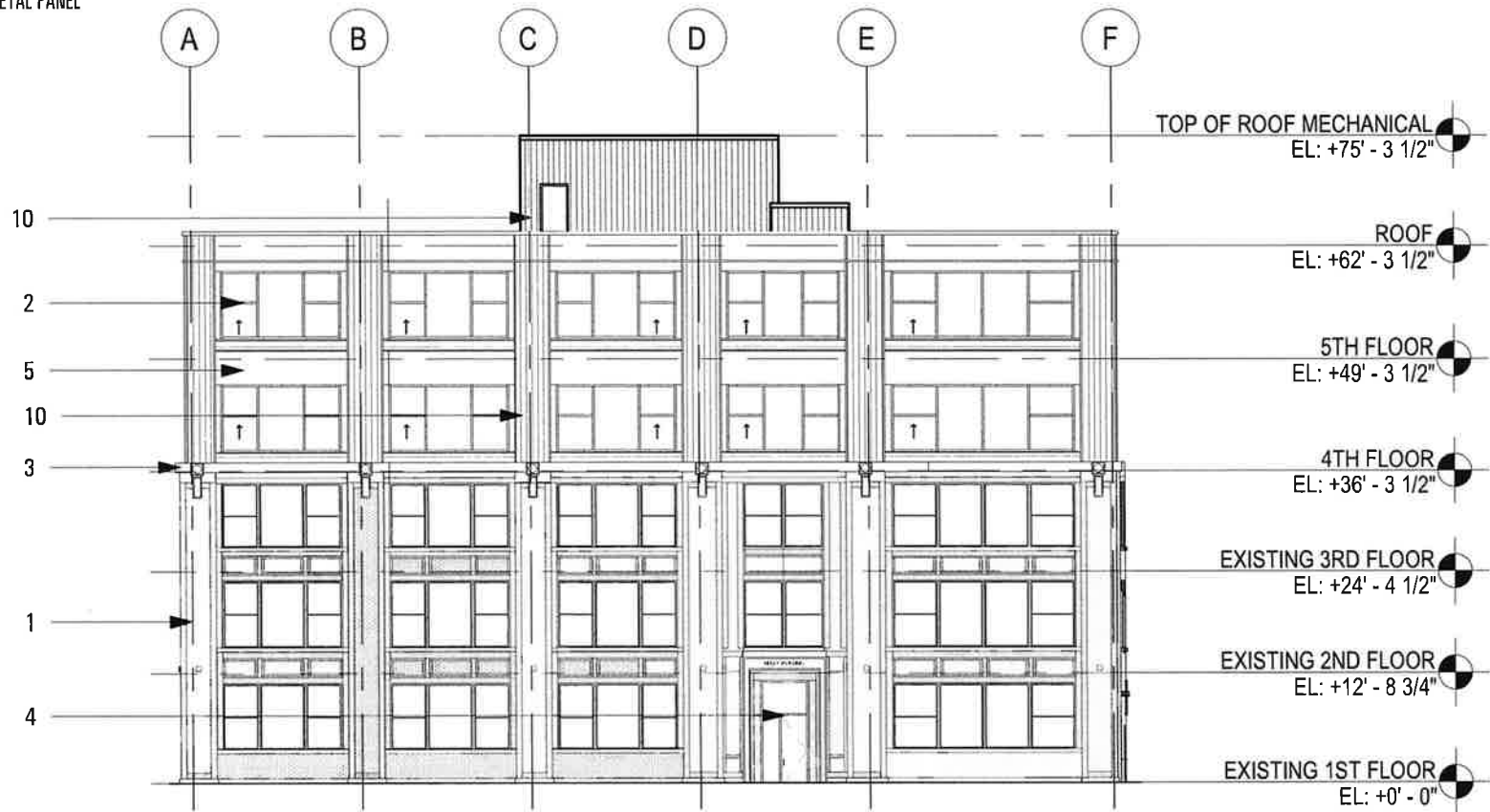
REVISION: 10.16.2023

SCALE: 1/32" = 1'-0"

871 N FRANKLIN - ROOF PLAN

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. NEW ALUMINUM WINDOWS
3. EXISTING CAST STONE WATER TABLE
4. NEW ALUMINUM STOREFRONT
5. METAL PANEL CLADDING
6. METAL COPING
7. GLAZED OVERHEAD DOOR
8. EXTERIOR ALUMINUM DOORS
9. METAL LOUVERS
10. VERTICAL RIBBED METAL PANEL



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 871 N FRANKLIN STREET

INTRODUCTION: 3.24.2021

REVISION: 10.16.2023

SCALE: 3/64" = 1'

WEST ELEVATION

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. NEW ALUMINUM WINDOWS
3. EXISTING CAST STONE WATER TABLE
4. NEW ALUMINUM STOREFRONT
5. METAL PANEL CLADDING
6. METAL COPING
7. GLAZED OVERHEAD DOOR
8. EXTERIOR ALUMINUM DOORS
9. METAL LOUVERS
10. VERTICAL RIBBED METAL PANEL



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 871 N FRANKLIN STREET

INTRODUCTION: 3.24.2021

REVISION: 10.16.2023

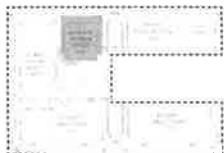
SCALE: 3/64" = 1'

NORTH ELEVATION

1. EXISTING MASONRY CLADDING
2. NEW ALUMINUM WINDOWS
3. EXISTING CAST STONE WATER TABLE
4. NEW ALUMINUM STOREFRONT
5. METAL PANEL CLADDING
6. METAL COPING
7. GLAZED OVERHEAD DOOR
8. EXTERIOR ALUMINUM DOORS
9. METAL LOUVERS
10. VERTICAL RIBBED METAL PANEL



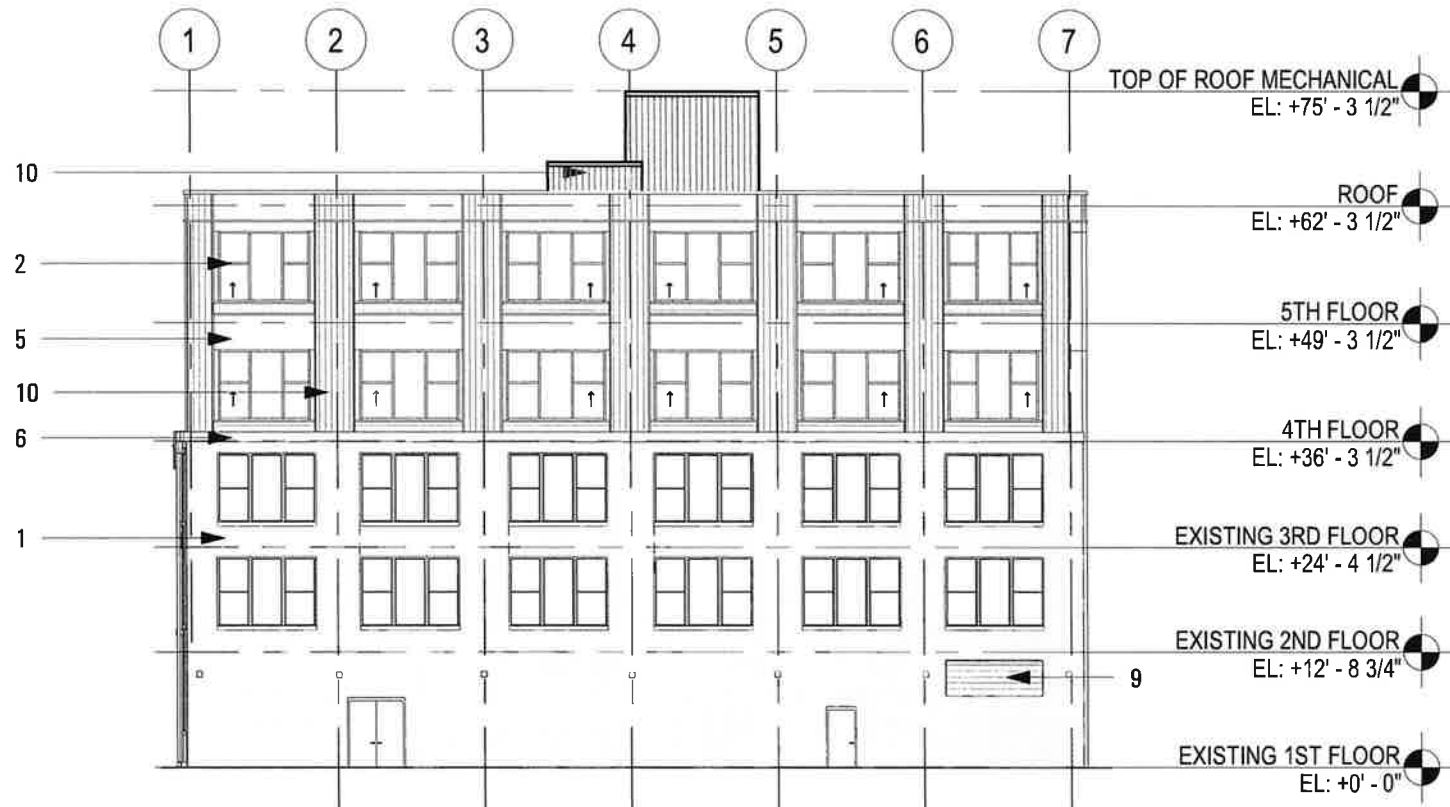
SUB-AREA: E



EAST ELEVATION

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. NEW ALUMINUM WINDOWS
3. EXISTING CAST STONE WATER TABLE
4. NEW ALUMINUM STOREFRONT
5. METAL PANEL CLADDING
6. METAL COPING
7. GLAZED OVERHEAD DOOR
8. EXTERIOR ALUMINUM DOORS
9. METAL LOUVERS
10. VERTICAL RIBBED METAL PANEL



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

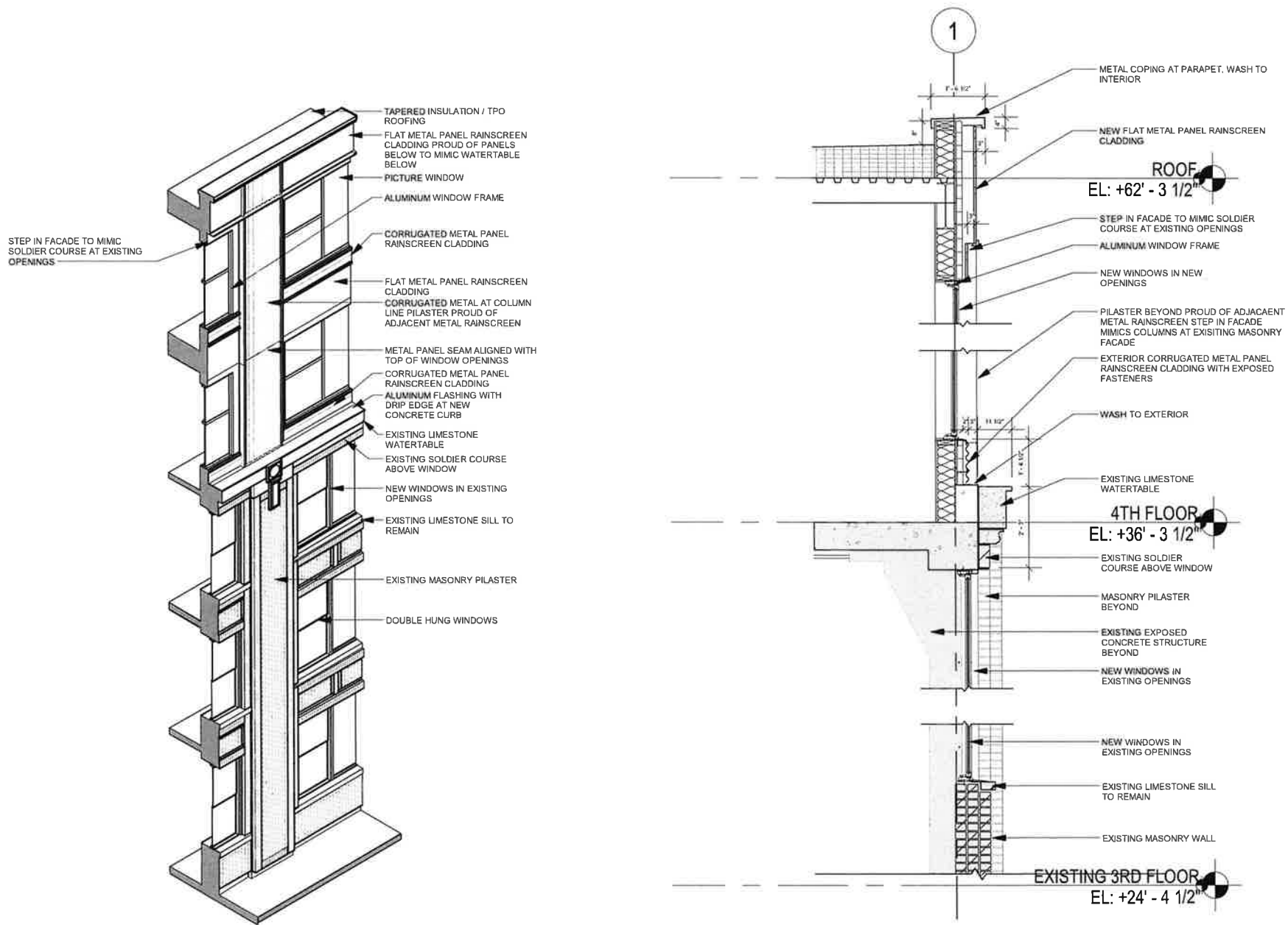
ADDRESS OF PROJECT: 871 N FRANKLIN STREET

INTRODUCTION: 3.24.2021

REVISION: 10.16.2023

SCALE: 3/64" = 1'

SOUTH ELEVATION



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 871 N FRANKLIN STREET

INTRODUCTION: 3.24.2021

REVISION: 10.16.2023

SCALE: 1/4" = 1'-0"

ENCLOSURE DIAGRAM

20650

Reclassification Of Area Shown On Map No. 3-F.

RB1PD 1503

(As Amended)

(Application No. 20650)

(Common Address: 142 -- 172 W. Chicago Ave./800 -- 934 N. LaSalle St./152 -- 314 W.

Walton St./801 -- 921 And 828 -- 950 N. Wells St./201 -- 315 And 230 -- 314 W.

Oak St./859 -- 1037 And 930 -- 1036 N. Franklin St./210 -- 232 W.

Chestnut St./200 -- 210 W. Institute Pl.)

[SO2021-1024]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the Institutional Planned Development Number 477 and C1-3 Neighborhood Commercial District symbols and indications as shown on Map Number 3-F in the area bounded by:

a line 370 feet north of and parallel with the north line of West Oak Street; a line 29.87 feet east of and parallel with the east line of North Franklin Street (vacated); West Oak Street; North Wells Street; the north line of West Walton Street (vacated); a line 100.21 feet west of and parallel with the west line of North LaSalle Street; a line 87.82 feet north of and parallel with the north line of West Walton Street (vacated); North LaSalle Street; West Chicago Avenue; North Wells Street; West Institute Place; a line 124 feet west of and parallel with the west line of North Wells Street; West Chestnut Street; North Franklin Street; West Walton Street; the east line of the right-of-way of the Chicago Transit Authority; West Wendell Street (vacated); and the east line of the right-of-way of the Chicago Transit Authority,

to those of a DX-5 Downtown Mixed-Use District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the DX-5 Downtown Mixed-Use District symbols and indications as shown on Map Number 3-F in the area bounded by:

a line 370 feet north of and parallel with the north line of West Oak Street; a line 29.87 feet east of and parallel with the east line of North Franklin Street (vacated); West Oak Street; North Wells Street; the north line of West Walton Street (vacated); a line 100.21 feet west of and parallel with the west line of North LaSalle Street; a line 87.82 feet north of and parallel with the north line of West Walton Street (vacated); North LaSalle Street; West Chicago Avenue; North Wells Street; West Institute Place; a line 124 feet west of and parallel with the west line of North Wells Street; West Chestnut Street; North Franklin Street; West Walton Street; the east line of the right-of-way of the Chicago Transit Authority; West Wendell Street (vacated); and the east line of the right-of-way of the Chicago Transit Authority,

to those of an Institutional-Residential-Business Planned Development, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business-Institutional Planned Development No. 1503.

Planned Development Statements.

1. The area delineated herein as Planned Development Number 1503 ("Planned Development") consists of approximately 749,186.1 square feet of property which is depicted on the attached Planned Development Property Line and Boundary Map (the "Property"). North Union LLC and The Moody Bible Institute of Chicago are the "Applicant" for this Planned Development with the authorization of the remaining property owners.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation ("CDOT") on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Department of Planning and Development ("DPD") and CDOT. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT.

The following improvements shall be installed prior to issuance of a Certificate of Occupancy for the first building in the following subareas:

-- Subarea B:

- LaSalle Drive with Division Street -- Traffic signal timing modifications
- Wells Street with Hill Street -- Install a traffic signal; provide pedestrian countdown signals

-- Subarea C:

- Wells Street with Oak Street -- Traffic signal timing modifications

-- Subarea E:

- Wells Street with Chicago Avenue -- Traffic signal timing modifications
- Orleans Street with Locust Street -- Install a traffic signal; provide pedestrian countdown signals
- Franklin Street with Walton Street -- Install high visibility crosswalks
- Franklin Street with Locust Street -- Install high visibility crosswalks

Updates to the CDOT approved TIS must be prepared for approval concurrent with Subarea A site plan approval and all subsequent development phases.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between CDOT's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the property, which may include, but not be limited to, the following as shall be reviewed and determined by CDOT's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks

- ADA crosswalk ramps
- Parkway and landscaping

To improve pedestrian safety, the curb extensions shall be installed by the Applicant wherever possible in conjunction with the construction of the adjacent building, as noted in the traffic study. All necessary perimeter improvements will be completed following the phasing of the adjacent property improvements.

The Agreement must be executed prior to any CDOT and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow CDOT's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by CDOT.

4. This plan of development consists of 21 Statements: a Bulk Regulations Table, an Affordable Housing Profile Form, and the following "Plans":
 - a. Existing Zoning Map
 - b. Existing Land-Use Map
 - c. Property, Planned Development Boundary and Subarea Map
 - d. Site Plan
 - e. Open Space/Landscape Plan
 - f. Street Tree Identification Plan
 - g. Open Space/Landscape Plan with Green Roof Areas
 - h. Site Sections (2)
 - i. Subarea C Plan Enlargement
 - j. Subarea C Sections

- k. 205 West Oak Street (Subarea C) -- Site/Ground Floor Plan
- l. 205 West Oak Street (Subarea C) -- Green Roof Plan
- m. 205 West Oak Street Elevations (Subarea C) (South, East, North, West)
- n. 205 West Oak Street (Subarea C) -- Axons (Base, Middle, Top)
- o. 215 West Walton Street (Subarea F) -- Site/Ground Floor Plan
- p. 215 West Walton Street Elevations (Subarea F) (South, East, North, West)
- q. 216 West Locust Street (Subarea D) -- Site/Ground Floor Plan
- r. 216 West Locust Street (Subarea D) -- Green Roof Plan
- s. 216 West Locust Street Elevations (Subarea D) (South, East, North, West)
- t. 221 West Walton Street (Subarea F) -- Site/Ground Floor Plan
- u. 221 West Walton Street (Subarea F) -- Green Roof Plan
- v. 221 West Walton Street Elevations (Subarea F) (South, East, North, West)
- w. 232 West Chestnut Street (Subarea E) -- Site/Ground Floor Plan
- x. 232 West Chestnut Street (Subarea E) -- Green Roof Plan
- y. 232 West Chestnut Street Elevations (Subarea E) (South, East, North, West)
- z. 300 -- 310 West Oak Street (Subarea B) -- Site/Ground Floor Plan
- aa. 300 -- 310 West Oak Street (Subarea B) -- Green Roof Plan
- bb. 300 -- 310 West Oak Street Elevations (Subarea B) (South, East, North, West)
- cc. 300 -- 310 West Oak Street (Subarea B) -- Axon (Base, Middle, Top)
- dd. 312 West Walton Street (Subarea B) -- Site/Ground Floor Plan
- ee. 312 West Walton Street (Subarea B) -- Green Roof Plan
- ff. 312 West Walton Street Elevations (Subarea B) (South, East, North, West)

- gg. 871 North Franklin Street (Subarea E) -- Site/Ground Floor Plan
- hh. 871 North Franklin Street (Subarea E) -- Green Roof Plan
 - ii. 871 North Franklin Street Elevations (Subarea E) (South, East, North, West)
- jj. 878 North Wells Street (Subarea E) -- Site/Ground Floor Plan
- kk. 878 North Wells Street (Subarea E) -- Green Roof Plan
 - ll. 878 North Wells Street Elevations (Subarea E) (South, East, North, West)
- mm. 909 North Franklin Street (Subarea E) -- Site/Ground Floor Plan
- nn. 909 North Franklin Street (Subarea E) -- Green Roof Plan
- oo. 909 North Franklin Street Elevations (Subarea E) (South, East, North, West)
- pp. 919 North Franklin Street (Subarea E) -- Site/Ground Floor Plan
- qq. 919 North Franklin Street (Subarea E) -- Green Roof Plan
- rr. 919 North Franklin Street Elevations (Subarea E) (South, East, North, West)
- ss. 920 North Wells Street (Subarea E) -- Site/Ground Floor Plan
- tt. 920 North Wells Street (Subarea E) -- Green Roof Plan
- uu. 920 North Wells Street Elevations (Subarea E) (South, East, North, West)
- vv. 235 -- 305 West Oak Street (Subarea C) -- Ground Floor Plan
- ww. 235 -- 305 West Oak Street (Subarea C) -- Overall Elevations
- xx. 235 -- 305 West Oak Street (Subarea C) -- Typical Residence Elevation
- yy. 235 -- 305 West Oak Street (Subarea C) -- Ground Floor Plan/Townhouse Development Compliance

prepared by Hartshorne Plunkard Architects and dated May 20, 2021, submitted herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this

Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.

5. The following uses are permitted in the area delineated herein as Planned Development Number 1503:

Subareas A, C and D:

Religious assembly; communications service establishments (all); wireless communication facilities; retail sales, general; colleges and universities; cultural exhibits and libraries; dwelling units located on and above the ground floor; group living (maximum 800 dormitory rooms); eating and drinking establishments; office; indoor participant sports and recreation; personal service; community centers, recreation buildings and similar assembly use; accessory parking; and accessory and incidental uses including fleet vehicles for students, faculty, and staff and related maintenance without body work.

Subareas B through F:

Dwelling units located on and above the ground floor (including detached houses, multi-unit residential and townhouses); animal services (excluding shelters, boarding kennels and stables); artist work or sales space; business support services; eating and drinking establishments (all); financial services (all, excluding payday/title secured loan store and pawn shop); food and beverage retail sales; liquor sales (as accessory use); medical service; office; personal service (all); retail sales; co-located wireless communication facilities and accessory and incidental uses.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the DPD. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 749,186.1 square feet and a base FAR of 5.0.

The Applicant acknowledges that Subarea B has received a bonus FAR of 2.94, pursuant to Section 17-4-1000 of the Zoning Ordinance. With this bonus FAR, the total

FAR for the Planned Development is 5.57. In exchange for the bonus FAR, the Applicant is only required to make a corresponding payment, pursuant to Sections 17-4-1003-B and C, prior to the issuance of the first building permit for any building in Subarea B; provided, however, if Subarea B is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent new building or phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-4-1003-C.3. Further, the Applicant may reduce the FAR (and bonus) in Subarea B administratively in accordance with Section 17-13-0611-A.

The bonus payment will be split between three separate funds, as follows: 80 percent to the Neighborhoods Opportunity Fund, 10 percent to the Citywide Adopt-a-Landmark Fund and 10 percent to the Local Impact Fund. In lieu of paying the City directly, the department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

9. Upon review and determination, Part II review, pursuant to Section 17-13-0610, a Part II review fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.

The plans are hereby approved in their entirety and no further approvals shall be required under this Planned Development or the Zoning Ordinance for the improvements undertaken in accordance with the Plans, other than Part II approval (per Section 17-13-0610 of the Zoning Ordinance).

10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. The Applicant and DPD, at either party's request, may continue to evolve the design of the buildings located in Subareas B, C, D, E, and F, and

- changes to such elevations, if any, shall, if mutually agreed, be approved by DPD administratively as a minor change.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
 14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
 15. Prior to the Part II approval (Section 17-13-0610 of the Chicago Zoning Ordinance) in Subarea A the Applicant shall submit a site plan, landscape plan and building elevations for the specific subareas for review and approval by the Department of Planning and Development (DPD). Review and approval by DPD is intended to assure that specific development components substantially conform with the Planned Development (P.D.) and to assist the City in monitoring ongoing development. Subarea Site Plan Approval Submittals (Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant. If the Applicant is seeking approval for a portion of the Property that represents less than an entire subarea, the Applicant shall also include a site plan for that area of the Property which is bounded on all sides by either public rights-of-way or the boundary of the nearest subarea. The site plan provided shall include all dimensioned and planned street rights-of-way.

Provided the Site Plan Submittal required hereunder is in general conformance with this Planned Development and provided Applicant has timely provided all Site Plan Submittals, the Commissioner of DPD (the "Commissioner") shall issue such site plan approval. The foregoing notwithstanding, prior to the Commissioner's issuance of such Site Plan approval, (i) the Applicant shall conduct a community meeting in accordance with DPD's Community Meeting Guidelines for Master P.D.s and (ii) the Site Plan must be presented to the Chicago Plan Commission, during a public meeting (for which placement on a Chicago Plan Commission Agenda shall be required, but for which publication, posting and written notice shall not be required). Following approval of a Site Plan Submittal by the Commissioner, the approved plan shall be kept on permanent file with DPD and shall be deemed to be an integral part of this Planned Development.

After approval of the Subarea Site Plan, changes or modifications may be made pursuant to the provisions of Statement 12. In the event of any inconsistency between approved plans and the terms of the P.D., the terms of the P.D. shall govern. Subarea A Site Plan Approval Submittals shall, at a minimum, provide the following information:

- fully-dimensioned site plan (including a footprint of the proposed improvements);
- fully-dimensioned building elevations;
- fully-dimensioned landscape plan(s);
- statistical information applicable to the subject subarea, including floor area, the applicable floor area ratio, uses to be established, building heights and setbacks; and
- an approved Site Plan by CDOT (as provided in Statement 3), Fire Prevention Bureau, Mayor's Office for People with Disabilities, and the Building Department's Division of Storm Water Management.

Subarea Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the P.D. For site plan approvals in Subarea A, the Applicant must also provide Design Guidelines for the entire Subarea A as part of the submission for site plan approval.

16. Subject in all cases to the other statements, terms, regulations and provisions of this Planned Development, the Applicant shall have the right to designate additional subareas within the Planned Development from time to time in order to promote orderly development, to facilitate financing, acquisition, leasing or disposition of the Property or relevant portions thereof, to designate zoning control or to otherwise administer this Planned Development. The designation and re-designation of subareas shall not in and of itself require an amendment to this Planned Development and shall be approved as a minor change, pursuant to Section 17-13-0611; included in such minor change, the Applicant shall provide notice of all material terms of any such designation to DPD, including the designated area and the bulk regulations that will apply therein, for DPD's administrative purposes to facilitate Part II review for any such designated subarea. In furtherance of the foregoing, and in all cases subject to the other statements, terms, regulations and provisions of this Planned Development, the Applicant may allocate or assign the development rights under the Planned Development to and among their designated subareas including, but not limited to, floor area, building height, dwelling units and parking; provided that the overall regulations and limitations set forth in the Bulk Regulations and Data Table and the plans applicable to the entirety of the Planned Development shall not be exceeded or increased as a result of any such allocation(s) or assignment(s), and *(iii) all such allocation(s) or assignment(s) of development rights are subject to the terms of Section 17-13-0611.

* Editor's Note: Numbers (i) and (ii) missing in original document.

17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the city approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.
18. The Applicant acknowledges and agrees that the rezoning of the Property from Institutional Planned Development Number 477 and C1-3 Neighborhood Commercial District to the DX-5 Downtown Mixed-Use District and then to this Institutional-Residential-Business Planned Development, triggers the requirements of Section 2-44-080 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a "residential housing project" within the meaning of the ARO must: (i) set aside 10 percent of the housing units in the residential housing project (ARO Units) as affordable units, or with the approval of the Commissioner of the Department of Housing ("DOH"), in consultation with the Commissioner of the Department of Planning and Development ("DPD") as appropriate; (ii) pay a fee in lieu of the development of the ARO Units ("Cash Payment"); or (iii) any combination of (i) and (ii);

provided, however; that residential housing projects with 20 or more units must provide at least 25 percent of the ARO Units on-site or off-site (Required Units). If the developer elects to provide ARO Units off-site, the off-site ARO Units must be located within a two-mile radius from the residential housing project and in the same or a different higher income area or downtown district.

Subarea A:

Subarea A is located in a "downtown district" within the meaning of the ARO and is approved for a total of 1,372 units. As a result, the Applicant's affordable housing obligation is 137 ARO Units (10 percent of 1,372 rounded down), 34 of which are Required Units (25 percent of 137, rounded down). The Applicant will satisfy its affordable housing obligation by providing 34 ARO Units in the building(s) to be constructed in Subarea A and/or in one or more off-site buildings, to be approved by the Department of Housing in consultation with DPD as appropriate and 103 ARO Units in the building(s) to be constructed in Subarea A and/or in one or more off-site buildings, to be approved by the Department of Housing in consultation with DPD as appropriate and/or by making a Cash Payment to the Affordable Housing Opportunity Fund for such 103 ARO Units, less any constructed ARO Units, in the amount of \$187,939 per unit, as set forth in the Affordable Housing Profile Form attached hereto as an exhibit.

Subareas B, C, E and F:

Subareas B, C, E and F are located in a "downtown district" within the meaning of the ARO and are approved for a total of 2,656 units. As a result, the Applicant's affordable housing obligation for Subareas B, C, E and F is 266 ARO Units (10 percent of 2,656 rounded up), 67 of which are Required Units (25 percent of 266, rounded up). However, due to several factors, including, the scale of this Planned Development, its proximity to the central business district, and its anticipated impact on surrounding neighborhoods, the City and the Applicant have agreed to establish certain modified affordable housing requirements. First, the Applicant has agreed to provide 88 additional ARO Units for a total of 354 ARO Units. As a result, the Applicant will satisfy its affordable housing obligation by providing 236 ARO Units in the buildings to be constructed in Subareas B, C, E and F and 118 ARO Units in one or more off-site buildings, to be approved by the Department of Housing in consultation with DPD as appropriate and/or by making a Cash Payment to the Affordable Housing Opportunity Fund for such 118 ARO Units in the amount of \$187,939 per unit as set forth in the Affordable Housing Profile Form attached hereto as an exhibit. The square footage of affordable units should be within 15 percent of comparable market rate units in the project. Second, 20 percent of the on-site ARO Units will be accessible dwelling units, as that term is defined in Section 17-17-0202 of the Municipal Code and the Applicant will give preference in leasing or selling such units to people with disabilities as specified in the ARO's rules. Third, the Applicant may reduce the number of ARO Units in exchange for units with more bedrooms, according to the equivalency table set

forth in Section 2-44-090(G)(6) of the Municipal Code and the Applicant will give preference in leasing or selling units of two bedrooms or more to multi-person households as specified in the ARO's rules. Finally, the City agrees that the Applicant may provide ARO rental units to households at multiple income levels, provided the weighted average of all income levels is 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually by the City of Chicago and provided further that (a) the maximum income level for any ARO rental unit may not exceed 80 percent of the AMI and (b) all income levels must be multiples of 10 percent of the AMI. Except as modified herein, the requirements of Section 2-44-080 shall remain in full force and effect.

If the Applicant subsequently reduces (or increases) the number of housing units in the Planned Development or elects to build a for-sale project instead, the Applicant shall update and resubmit the Affordable Housing Profile Form to the Department of Housing for review and approval, and DOH may adjust the requirements and number of required ARO Units without amending the Planned Development. Prior to the issuance of any building permits for any residential building in the Planned Development, including, without limitation, excavation or foundation permits, the Applicant must make the required Cash Payment and/or execute and record an affordable housing agreement in accordance with Section 2-44-080(L). The Cash Payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in the consumer price index in accordance with Section 2-44-080. The terms of the affordable housing agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the affordable housing agreement will be recorded against the Planned Development, or the applicable portion thereof, and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 18, including any breach of any affordable housing agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development.

19. Subject to the receipt of all necessary permits and approvals, the Applicant or its successors and assigns, at its sole cost, shall design and construct the open space improvements as depicted on the Open Space Plan (hereinafter the "Park"). The Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders to and any ground lessors of the Property, shall be responsible for maintaining and managing the Park for the purposes set forth herein, including ensuring that the Park's landscaping is well maintained, that the vegetation and plantings are kept in a healthy condition and that the Park facilities are clean, well lit, litter free and clear of snow (hardscaped areas) and debris. The Applicant shall provide sufficient liability insurance coverage for the operation of the Park for public use. The Applicant shall provide informational and wayfinding signage at all entries that the Park is open to the public (subject to occasional partial closure for private use provided that a path providing access during such closures shall be maintained through the Park), free of charge, during normal park hours from 6:00 A.M. to 11:00 P.M. every day of

the year. The maintenance and management obligations contained herein shall continue for the life of this Planned Development subject to and in accordance with the DEMA (defined below).

Prior to issuance of building permits for the first building, the Applicant will enter into a development and maintenance agreement (the "DEMA") with the City for the construction, maintenance, and management of the Park. The DEMA obligations shall be binding upon the Applicant, its successors and assigns, including but not limited to a homeowners or master association whose purpose includes maintaining the Park. Upon completion of the Park, the public access provided for herein shall be memorialized in a public access easement agreement (which may be included in the DEMA) with and for the benefit of the City. The recording and other costs associated with establishing the easement shall be the responsibility of the Applicant. A copy of said public access easement agreement shall be on file with the Department of Planning and Development. Each Park is required to be substantially completed in accordance with the following timing:

- Subarea B prior to Certificate of Occupancy for 300 West Oak Street or 310 West Oak Street
- Subarea C prior to Certificate of Occupancy for the West Oak Street Row Homes or 205 West Oak Street
- Subarea E prior to Certificate of Occupancy for 232 West Chestnut or 878 North Wells

The Applicant shall coordinate with the Department of Cultural Affairs and Special Events to install public art within each of the Park spaces.

The commissioner is hereby authorized to enter into the DEMA (or more than one DEMA if the commissioner deems necessary depending on the phasing of the development) and all other documents contemplated by the statement and, in his/her sole discretion, may modify by minor change the foregoing requirements, without further City Council approval, for the DEMA(s) and public access easement agreement(s) so as to permit alternate forms of achieving compliance with the Applicant's construction, maintenance and management obligations and public access rights, such as, by means of example and not limitation, one or more restrictive covenants or owners' reciprocal easement and operation agreements in form and substance acceptable to the City which expressly grant the City necessary enforcement, self-help and lien rights as may be necessary to assure compliance with this statement.

20. The Applicants acknowledge that the Planned Development (P.D.) includes the buildings commonly known as 221 West Walton Street, 820 North LaSalle Street (Crowell Hall -- Administration Building), 830 North LaSalle Street (Smith Hall), and 840 North LaSalle Street (Torrey-Gray Auditorium Chapel) and are identified as potentially significant in the Chicago Historic Resources Survey. Pursuant to the Municipal Code of Chicago, Sections 17-8-0911 and 13-32-230, the Applicants acknowledge that P.D.s should give priority to the adaptive reuse of historic buildings

which are color-coded red or orange in the Chicago Historic Resources Survey. Therefore, the Applicants agree to retain and preserve the character-defining features of the buildings. For the 221 West Walton Street building, the character-defining features are identified as all exteriors and rooflines consisting of brick with decorative brickwork and terra cotta elements, with the primary facade being the north facade that faces Walton Street. For the 820 North LaSalle Street, 830 North LaSalle Street, and the 840 North LaSalle Street buildings the character-defining features are identified as all facades and rooflines of the buildings. In general, original features and materials of the character-defining features should be retained and preserved as much as reasonably possible, while any changes should be compatible with the buildings' historic character. Such work to the character-defining features shall be subject to the review and approval of the Department of Planning and Development as a part of the Part II review and depending on the scope of work may be subject to the demolition delay ordinance (14A-4-407.6-7).

21. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Zoning Administrator shall initiate a zoning map amendment to rezone the Property to the DX-5 Downtown Mixed-Use District.

[Existing Zoning Map; Existing Land-Use Map; Property, Boundary and Subarea Map; Site Plan; Open Space/Landscape Plan; Street Tree Identification Plan; Site Sections; Subarea C Plan Enlargement; Subarea C Sections; Site/Ground Floor Plan; Green Roof Plan; South, East, North and West Building Elevations; Axons (Base, Middle and Top) for 205 West Oak Street, 215 West Walton Street, 216 West Locust Street, 221 West Walton Street, 232 West Chestnut Street, 300 -- 310 West Oak Street, 312 West Walton Street, 871 North Franklin Street, 878 North Wells Street, 909 North Franklin Street, 919 North Franklin Street and 920 North Wells Street; and Overall Elevations -- Typical Residence Elevation, Ground Floor Plan/Townhouse Development Compliance for 235 -- 305 West Oak Street referred to in these Plan of Development Statements printed on pages 31043 through 31135 of this *Journal*.]

Bulk Regulations and Data Table, ARO Affordable Housing Profile Form (AHP) and ARO Web Form referred to in these Plan of Development Statements read as follows:

Residential-Business-Institutional Planned Development No. 1503.

Bulk Regulations And Data Table.

Gross Site Area:	1,048,552.5
Area in Public Right-of-Way:	299,366.4

Net Site Area (square feet):	749,186.1
Subarea A:	394,035.9
Subarea B:	145,325.4
Subarea C:	72,016.7
Subarea D:	10,957.8
Subarea E:	115,892.2
Subarea F:	10,958.1

Maximum Floor Area Ratio:	5.57
Subarea A:	3.1723
Subarea B:	10.7216
Subarea C:	5.8334
Subarea D:	2.2815
Subarea E:	7.5421
Subarea F:	4.35489

Maximum Number of Dwelling Units:	4,028
Subarea A:	1,372
Subarea B:	1,588
Subarea C:	248
Subarea D:	0
Subarea E:	809
Subarea F:	11

Maximum Group Living Units:	
Subarea A:	800

Subareas B, C, D, E
And F:

0

Minimum Parking:

Subarea A:	Existing: 623 (existing to remain) Future Improvements: per Site Plan approval
Subarea B:	0.51 spaces per dwelling unit
Subarea C:	0.88 spaces per dwelling unit
Subarea D:	Not applicable
Subarea E:	0.48 spaces per dwelling unit
Subarea F:	13

Maximum Height:

Subarea A:	350 feet
Subarea B:	695 feet
Subarea C:	500 feet
Subarea D:	130 feet
Subarea E:	330 feet
Subarea F:	130 feet

Minimum Loading:

Subarea A:	2 (10 feet by 25 feet) (existing to remain) Future Improvements: per Site Plan approval
All other Subareas:	Per note 1

Minimum Bicycle Parking:

Residential:	1 per 2 auto spaces
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Non-Residential: 1 per 10 auto spaces

Note: Per 17-10-0102-B-3 one bike parking space will be provided for each auto parking space that is eliminated utilizing transit-served location reductions

Minimum Setbacks: Per plans

1. Loading Requirements -- All other Subareas:

Address	Loading Spaces (10 feet by 25 feet) Provided
205 West Oak Street	2
216 West Locust Street	0
221 West Walton Street	0
232 West Chestnut Street	1
300 -- 310 West Oak Street	4
312 West Walton Street	2
871 North Franklin Street	0
878 North Wells Street	2
909 North Franklin Street	1
919 North Franklin Street	0
920 North Wells Street	2
Townhouses	0

FINAL FOR
PUBLICATION**ARO Affordable Housing Profile Form (AHP)**

Submit this form for projects that are subject to the 2015 ARO, Near North/Near West Pilot, Milwaukee Pilot or Pilsen/Little Village Pilot Ordinances (all projects submitted to City Council after October 13, 2015). More information is online at www.cityofchicago.gov/ARO. Submit the completed form to the Department of Housing (DOH), 121 N LaSalle Street, 10th Floor, Chicago, IL 60602. E-mail: denise.roman@cityofchicago.org or justin.root@cityofchicago.org. Applications that include off-site units should submit documentation listed on page two.

Date: April 13, 2021

DEVELOPMENT INFORMATION

Development Name: North Union / Moody

Development Address: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315 and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

Zoning Application Number, if applicable: 20650

Ward: 2 / 27

If you are working with a Planner at the City, what is his/her name?

Type of City Involvement
check all that apply☐

City Land

☒

Planned Development (PD)

☐

Financial Assistance

☐

Transit Served Location (TSL) project

☒

Zoning increase

REQUIRED ATTACHMENTS: the AHP will not be reviewed until all required docs are received☒

ARO Web Form completed and attached - or submitted online on

☒ARO "Affordable Unit Details and Square Footage" worksheet completed and attached (*Excel*)☐If ARO units proposed, Dimensioned Floor Plans with affordable units highlighted are attached (*pdf*)☐

If ARO units proposed are off-site, required attachments are included (see next page)

☐If ARO units are CHA/Authorized Agency units, signed acceptance letter is attached (*pdf*)**DEVELOPER INFORMATION**

Developer Name North Union LLC / The Moody Bible Institute of Chicago

Developer Contact Jim Letchinger / Erik Hultquist

Developer Address 908 North Halsted / 820 N LaSalle

Email jim@jdlcorp.com / erik.hultquist@moody.edu

Developer Phone 312-642-7005 / 312-329-4232

Attorney Name Paul Shadle / Katie Jahnke Dale

Attorney Phone 312-368-3493 / -2153

TIMING

Estimated date marketing will begin TBD

Estimated date of building permit TBD

Estimated date ARO units will be complete TBD

*the in-lieu fee, recorded covenant and \$5,000 per unit administration fee (for off-site units) are required prior to the issuance of any building permits, including the foundation permit.

PROPOSED UNITS MEET REQUIREMENTS (to be executed by Developer & ARO Project Manager)

Developer or their agent

Justin Root or Denise Roman, DOH

May 11, 2021

Date

5/12/2021

Date

Mark Wagner

5.11.2021

The Moody Bible Institute of Chicago



ARO Web Form

FINAL FOR
PUBLICATION**Applicant Contact Information**

Name: Moody JDL

Email: jim@jdlcorp.com

Development Information

Are you rezoning to downtown?: Yes

Is your project subject to the ARO Pilots?: 2015 ARO REQUIREMENTS APPLY

Address**Submitted Date: 04/19/2021**

Number From :310 Number To: N/A Direction: W

Street Number:Oak

Postal Code: 60610

Development Name

Moody/North Union

Information

Ward :27

ARO Zone: Downtown

Details

ARO trigger :Downtown Planned Development

Total units: 4028

Development type: Rent

TSL Project : TSL-or FAR doesn't exceed 3.5

Submitted date: 03/24/2021

Requirements	FINAL FOR PUBLICATION
Affordable units :403 *On-site aff. Units: 101	
How do you intend to meet your required obligation	
On-Site: 270 Off-Site: 0	
On-Site to CHA or Authorized agency: 0 Off-Site to CHA or Authorized agency: 0	
Total Units: 270 In-Lieu Fee Owed: 24,995,887 plus 88 additional units at \$187,939 each equals a total in lieu fee of \$41,534,519.	

All ARO units are to be approved by DOH prior to the execution of the Affordable Housing Agreement, which precedes construction at either the Triggering Project or any Off-site project, if applicable.
THIS IS A PRELIMINARILY APPROVED AHP, subject to final approval by DOH staff.

Moody/North Union PD ARO Summary:

4,028 Total Residential Units in PD

- Moody (Subarea A): 1,372 Units
- North Union (Subarea B, C, E, and F): 2,656 Units

403 Total ARO Units (10% of 4,028, rounded up)

- Moody: 137 ARO Units (10% of 1,372, rounded down)
- North Union: 266 ARO Units (10% of 2,656, rounded up)

88 Additional Affordable units due to the size and scale of the residential development.

Sum Total Affordable Units: 491 (403 + 88)

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All projects with proposed ARO units must complete this tab

			Summary							
	Market Rate Units	Affordable Units	unit type	how many?	% of total	avg. square footage	how many?*	% of total	avg. square footage	affordable market square footage*
Parking	rented separately	rented separately	studio	217	9%	504	19	8%	500	99%
Laundry	yes	yes	one-bed	1235	52%	755	119	50%	755	100%
Appliances			two-bed	602	25%	1,184	63	27%	1,197	101%
Refrigerator age/EnergyStar/make/model/color	New, energy star	New Energy star	three-bed	341	14%	1,488	35	15%	1,494	100%
Dishwasher age/EnergyStar/make/model/color	New, energy star	New Energy star								
Stove/Oven age/EnergyStar/make/model/color	New, energy star	New Energy star								
Microwave age/EnergyStar/make/model/color	new energy star	New Energy star								
Bathroom(s) how many? Half bath? Full bath?	1 Bed/1 Bath; 2 Bed/2 Bath or 1.5 Bath	1 Bed/1 Bath; 2 Bed/2 Bath or 1.5 Bath								
Kitchen countertops material	quartz	comparable								
Flooring material	luxury vinyl	luxury vinyl								
HVAC	heat pump	heat pump								
Other										

Note: This unit mix covers a total of 2,634 of the 4,028 total units in the project.

Project Name	North Union
Zoning Application number, if applicable	
Address	232 W. Chestnut; 920 N. Wells; 909 N. Franklin; 878 N. Wells; 871 N. Franklin; 205 W. Oak; 310 W. Oak; 312 W. Walton; 300 W Oak.
Is this a For Sale or Rental Project?	
Anticipated average psf rent/price?*	

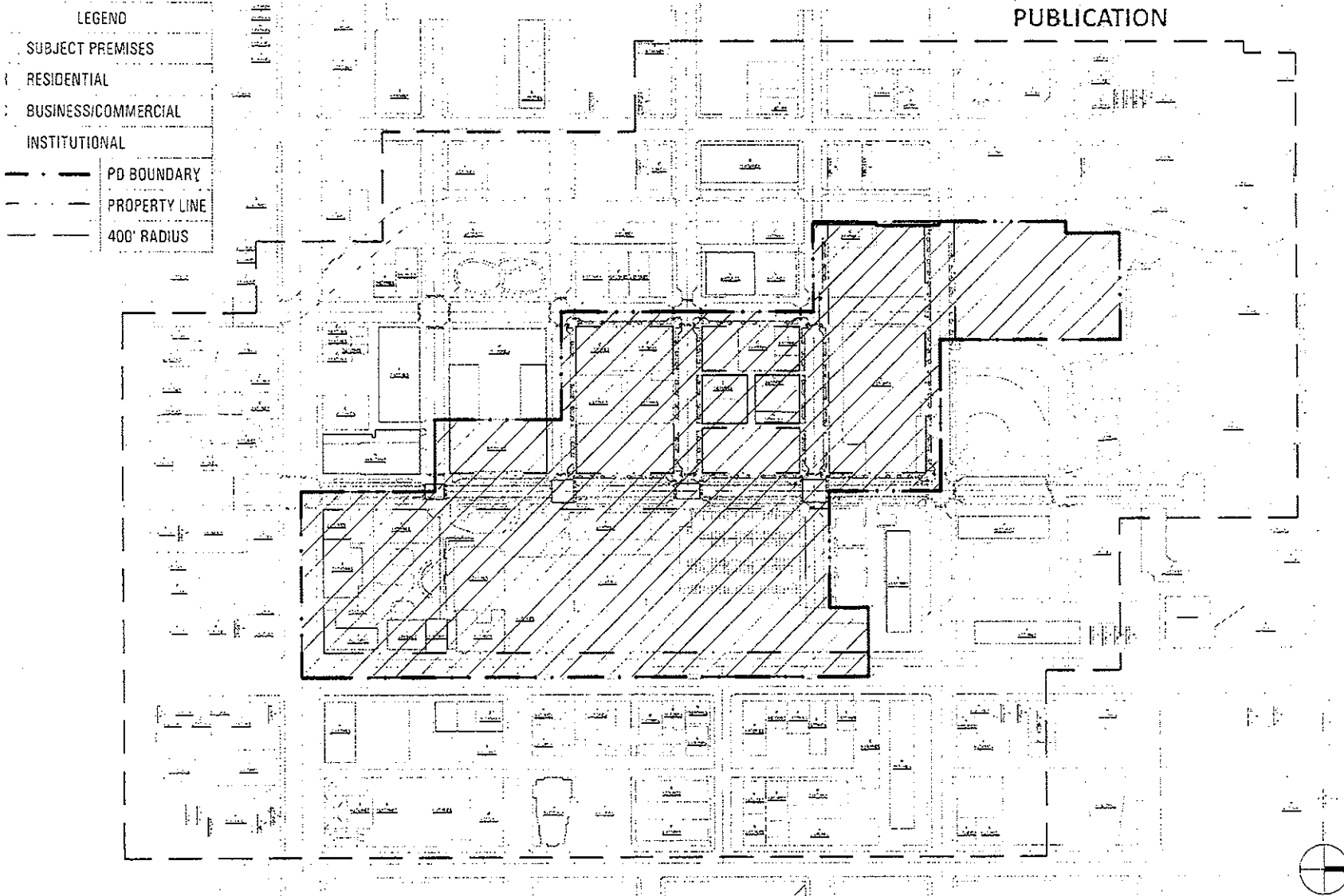
Total Units in Project	2634
Total Affordable units	236

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APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1" = 300'-0"


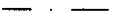

EXISTING LAND
USE MAP

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PUBLICATION

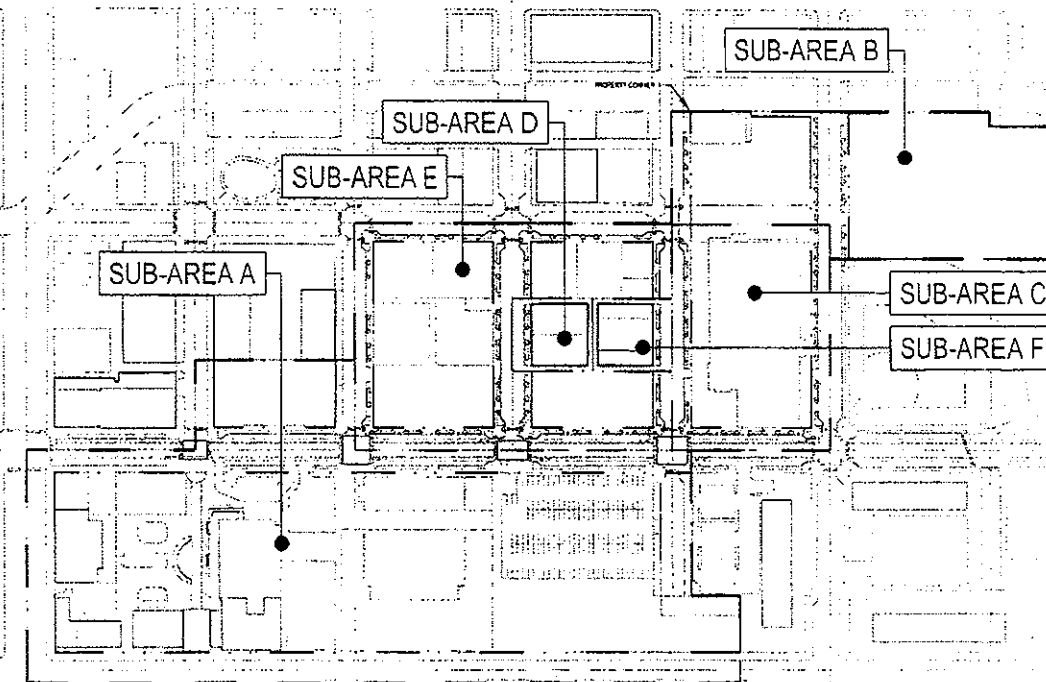
5/26/2021

REPORTS OF COMMITTEES

31045

LEGEND	
SUBJECT PREMISES	
	PD BOUNDARY
	PD SUB BOUNDARY
	PROPERTY LINE

AREA LEGEND	
ROSS SITE AREA	1,048,552.5 SF
REA IN R.O.W.	299,366.4 SF
ITE AREA	749,186.1 SF



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1" = 300'-0"




PROPERTY, PLANNED DEVELOPMENT
BOUNDARY AND SUBAREA MAP

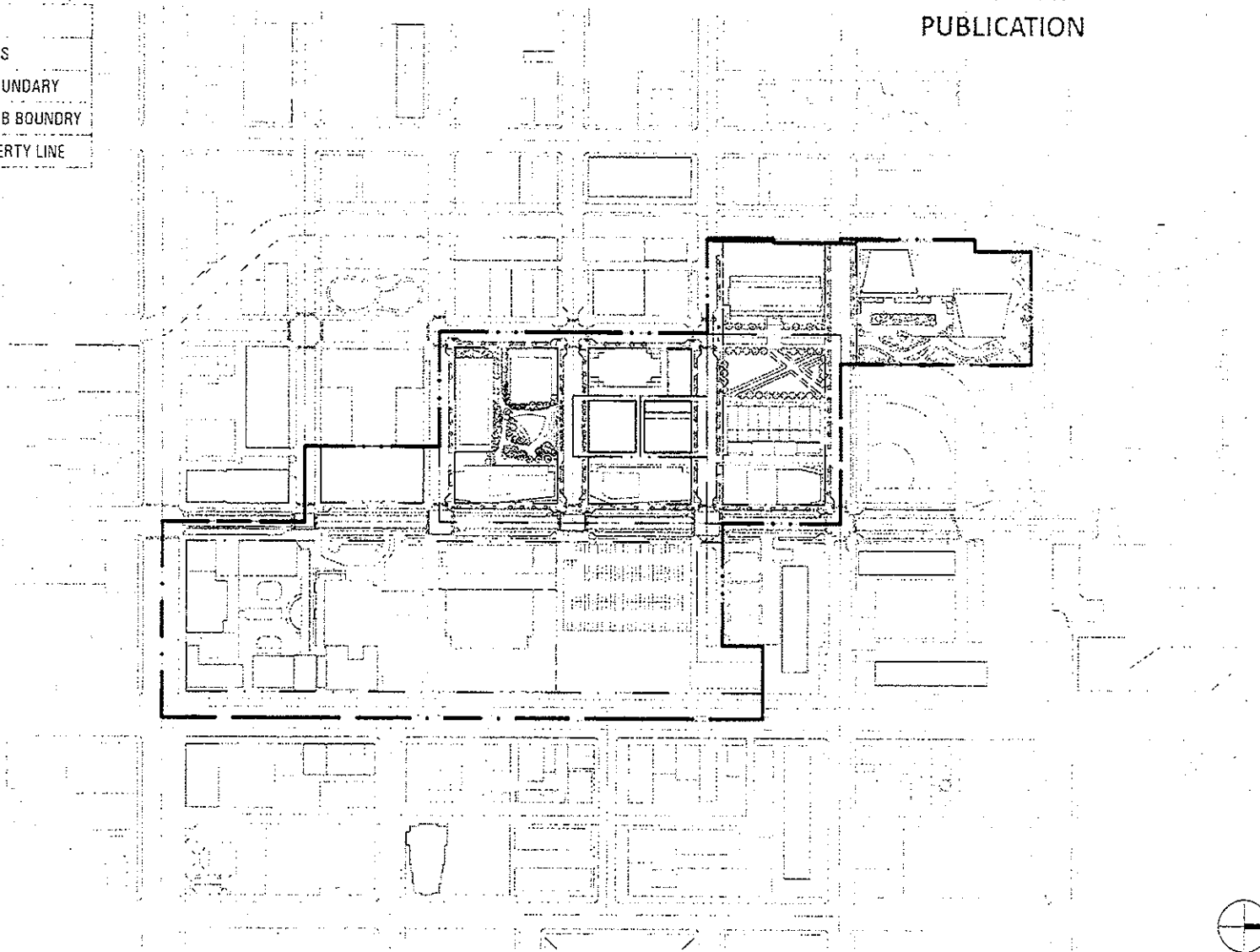
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LEGEND	
SUBJECT PREMISES	
	PD BOUNDARY
	PD SUB BOUNDARY
	PROPERTY LINE



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			SITE PLAN
ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315 and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute			
INTRODUCTION: 03-24-2021	PLAN COMMISSION: 05-20-2021	SCALE: 1' = 300'-0"	

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5/26/2021

REPORTS OF COMMITTEES

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KEY
--- P.D. BOUNDARY
- - - SUB AREA BOUNDARY
- OPEN SPACE BOUNDARY

OPEN SPACE AREA KEY

SUB AREA B OPEN AREA

51,500 SF

SUB AREA C OPEN AREA

36,000 SF

SUB AREA D OPEN AREA

0 SF

SUB AREA E OPEN AREA

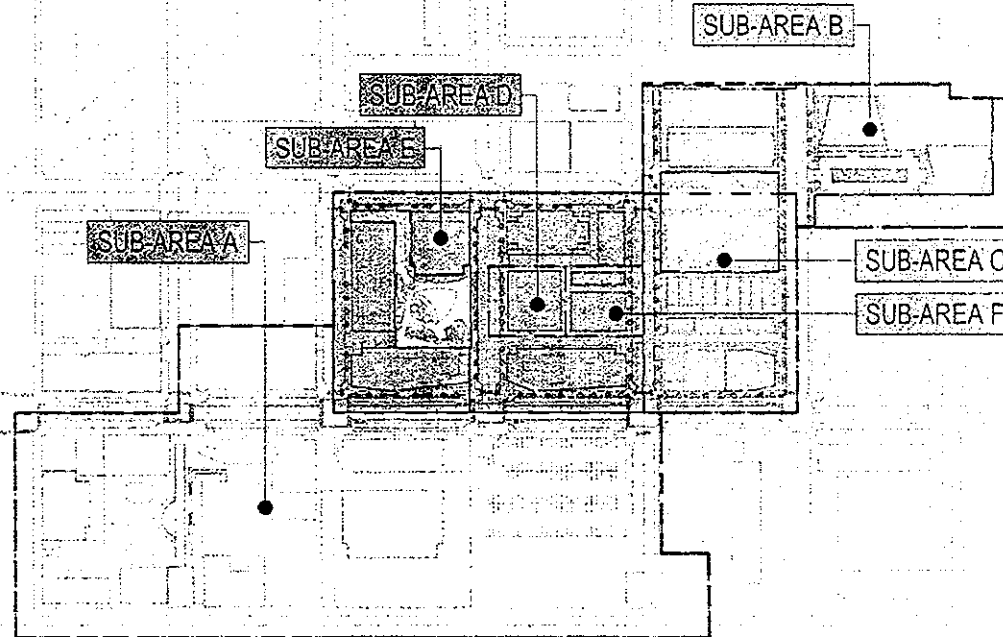
23,000 SF

SUB AREA F OPEN AREA

0 SF

SUB AREA TOTAL OPEN AREA

110,500 SF



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION 03-24-2021

PLAN COMMISSION 05-20-2021

SCALE 1"= 300'-0"

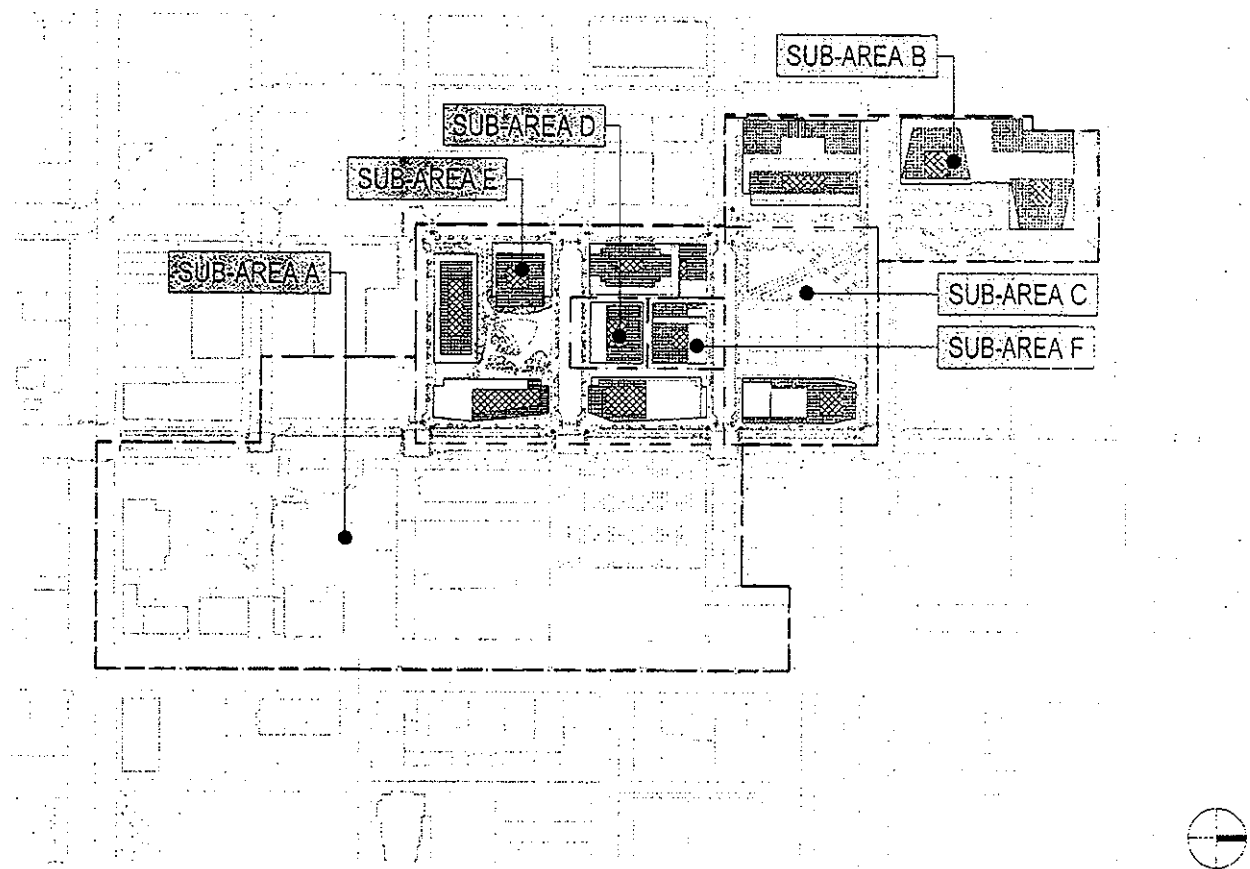
OPEN SPACE / LANDSCAPE PLAN



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NORTH UNION - GREEN ROOF AREAS					
	OVERALL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	GREEN ROOF AREA PROVIDED
SUB AREA - B	78790	5766	73024	36512	36522
SUB AREA - C	17041	1934	15107	7554	7879
SUB AREA - D	10620	1833	8787	4394	4567
SUB AREA - E	80872	14460	66412	33206	33274
SUB AREA - F	10862	1165	9697	4849	5252

KEY	
---	P.D. BOUNDARY
- - -	SUB AREA BOUNDARY
---	ROOF BOUNDARY
[Pattern]	MECHANICAL ROOF AREA
[Pattern]	GREEN ROOF AREA



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Crestnut / 200-210 W Institute

INTRODUCTION 03-24-2021

PLAN COMMISSION 05-20-2021

SCALE 1" = 300'-0"

OPEN SPACE / LANDSCAPE PLAN

5/26/2021

REPORTS OF COMMITTEES

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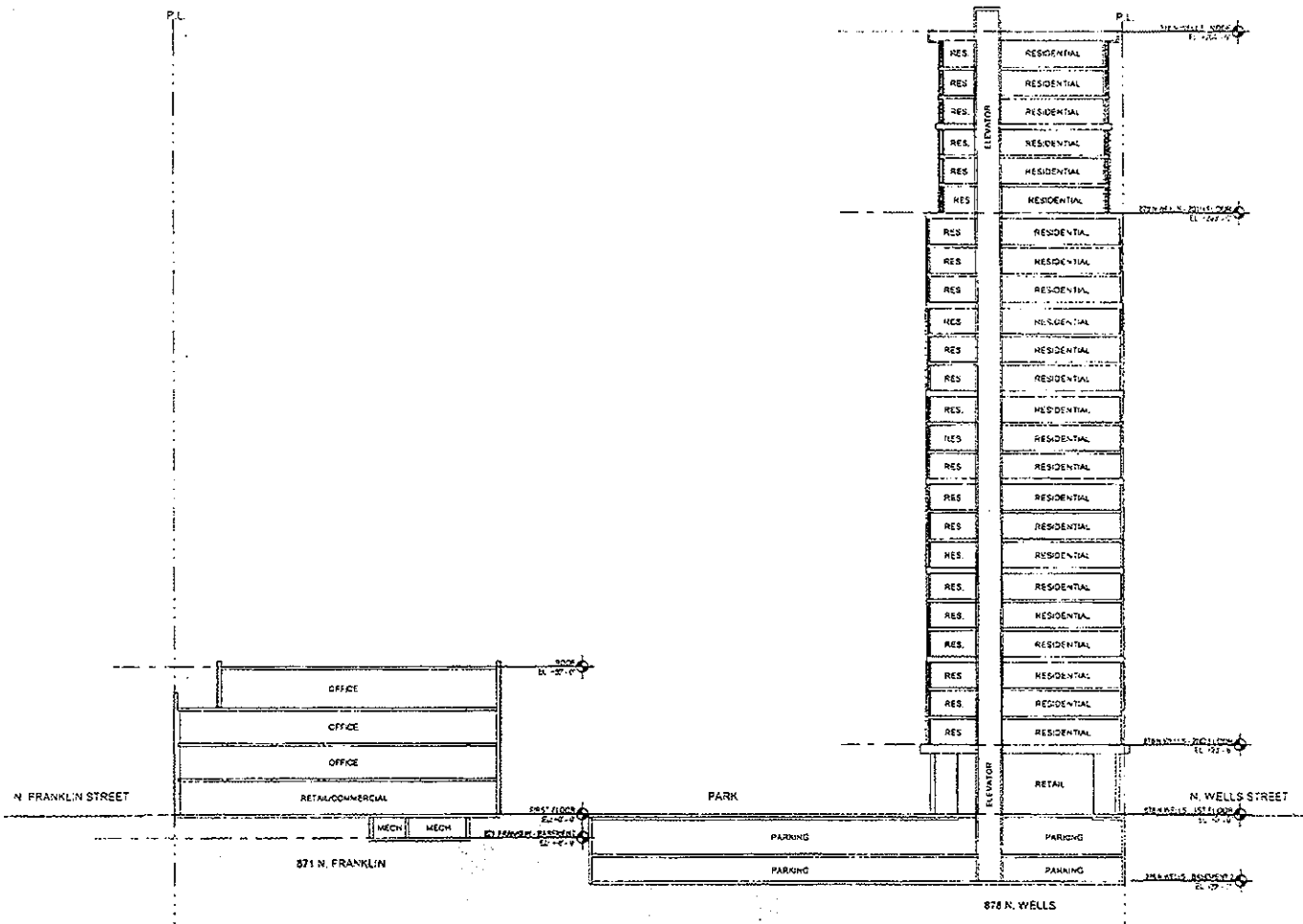
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31050

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5/26/2021

KEY PLAN



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315 and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=40'

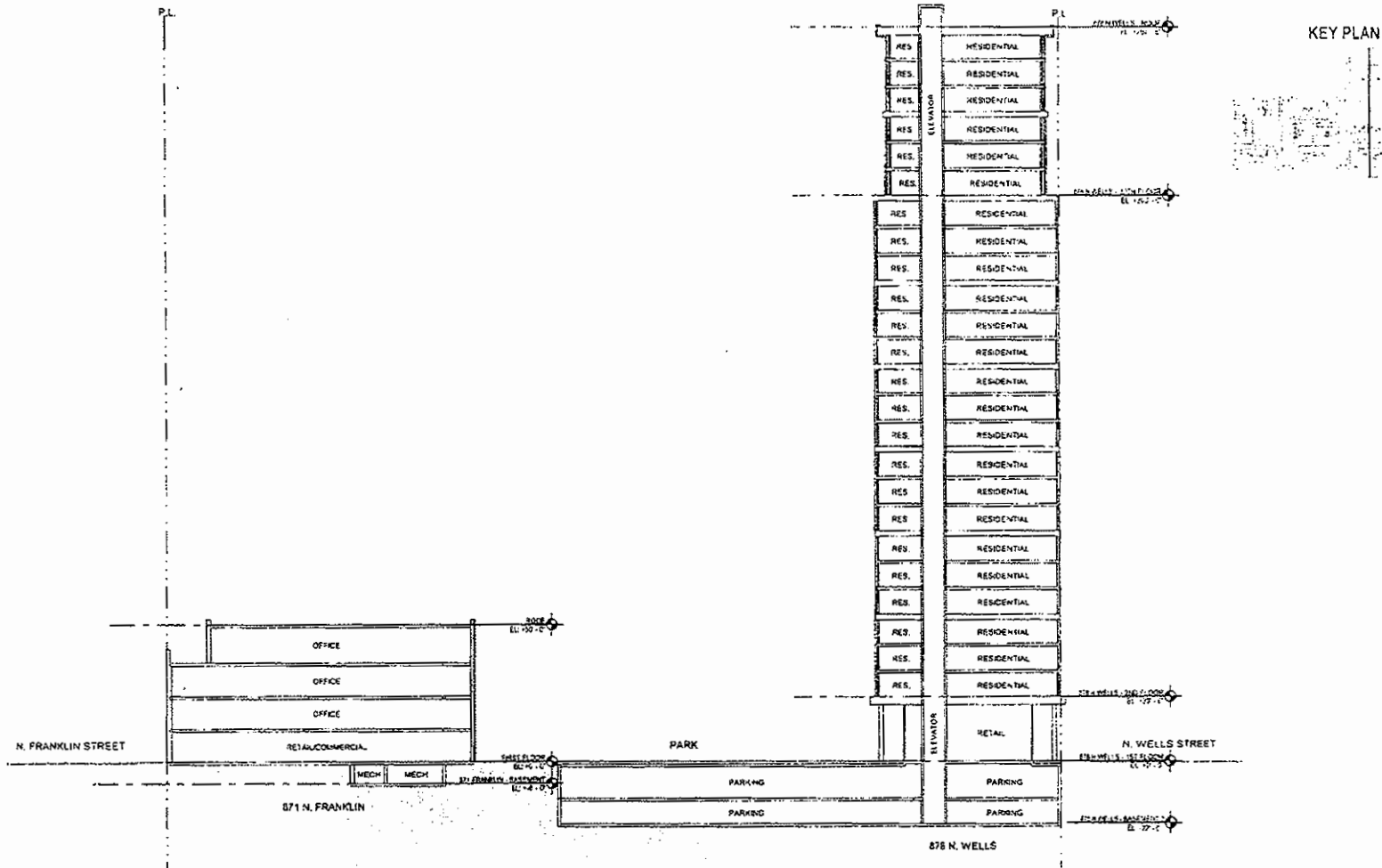
SITE SECTION

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5/26/2021

REPORTS OF COMMITTEES

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APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

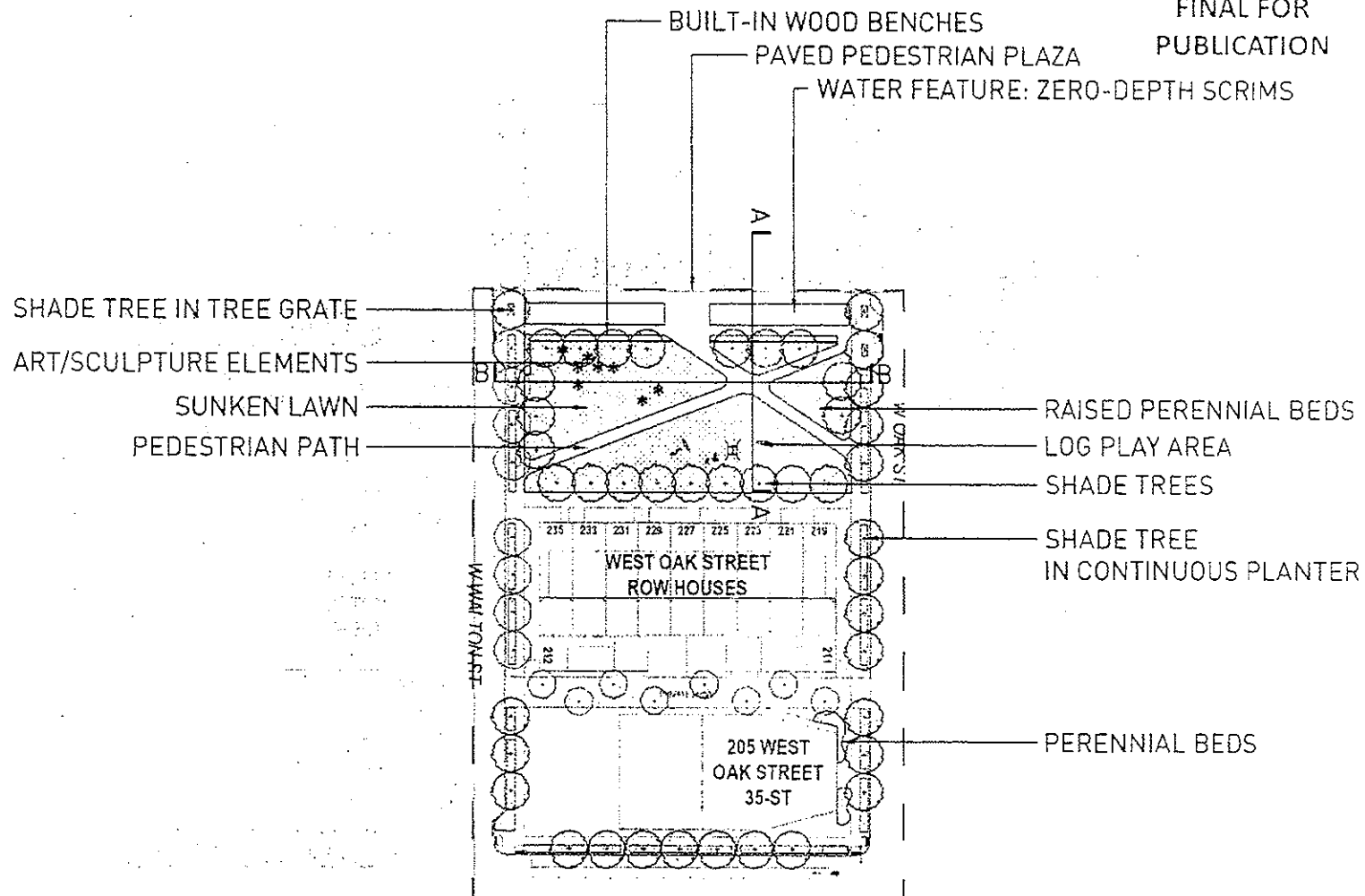
INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=40'

SITE SECTION

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APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315 and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

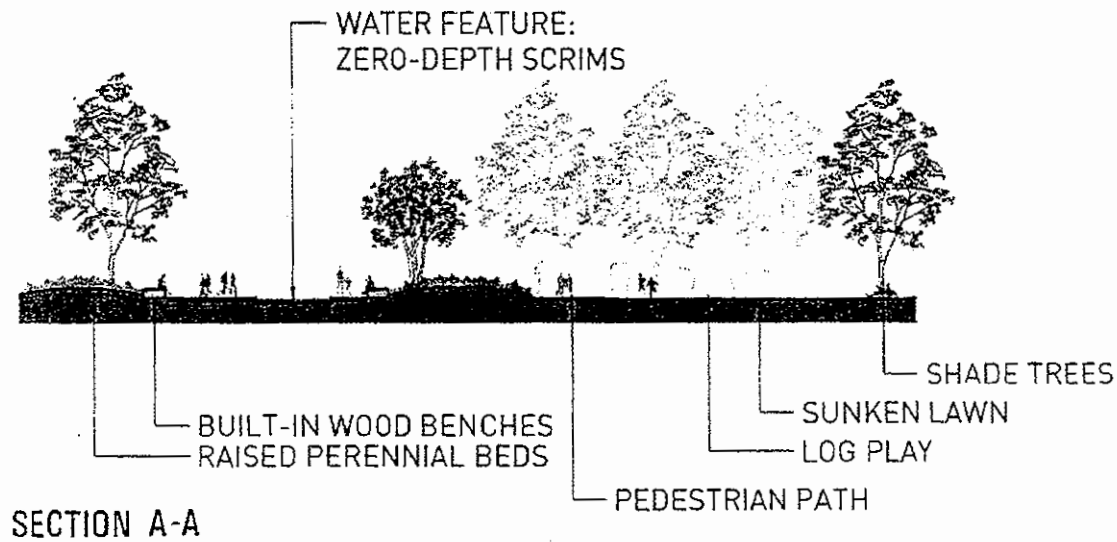
INTRODUCTION: 03/24/2021

PLAN COMMISSION: 05-20-2021

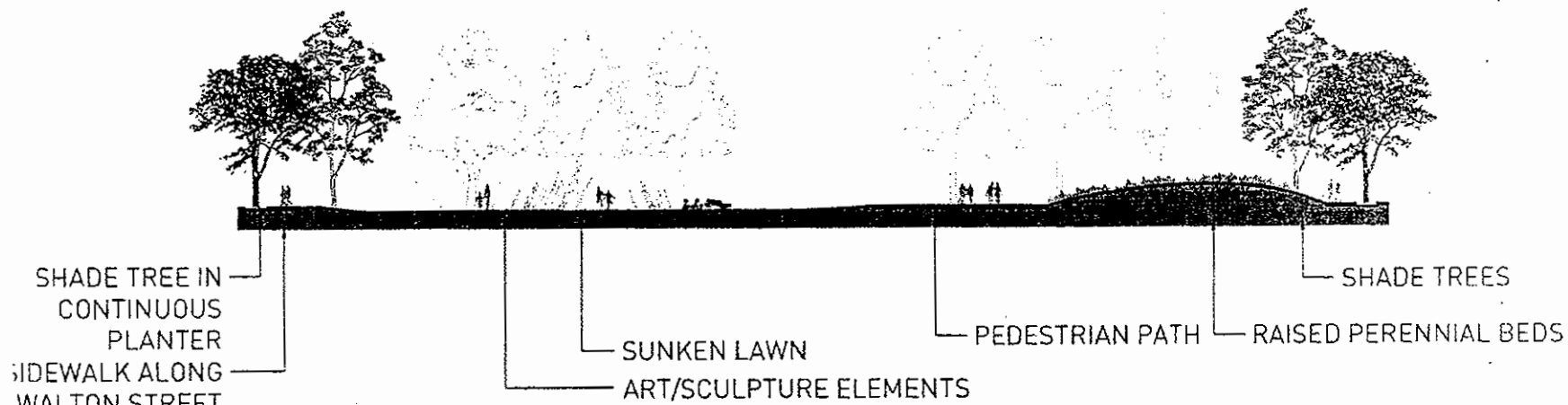
SCALE: 1"=100'-0"

SUB-AREA C PLAN ENLARGEMENT

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SECTION A-A



SECTION B-B

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315 and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03/24/2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'-0"

SUB-AREA C SECTIONS

5/26/2021

REPORTS OF COMMITTEES

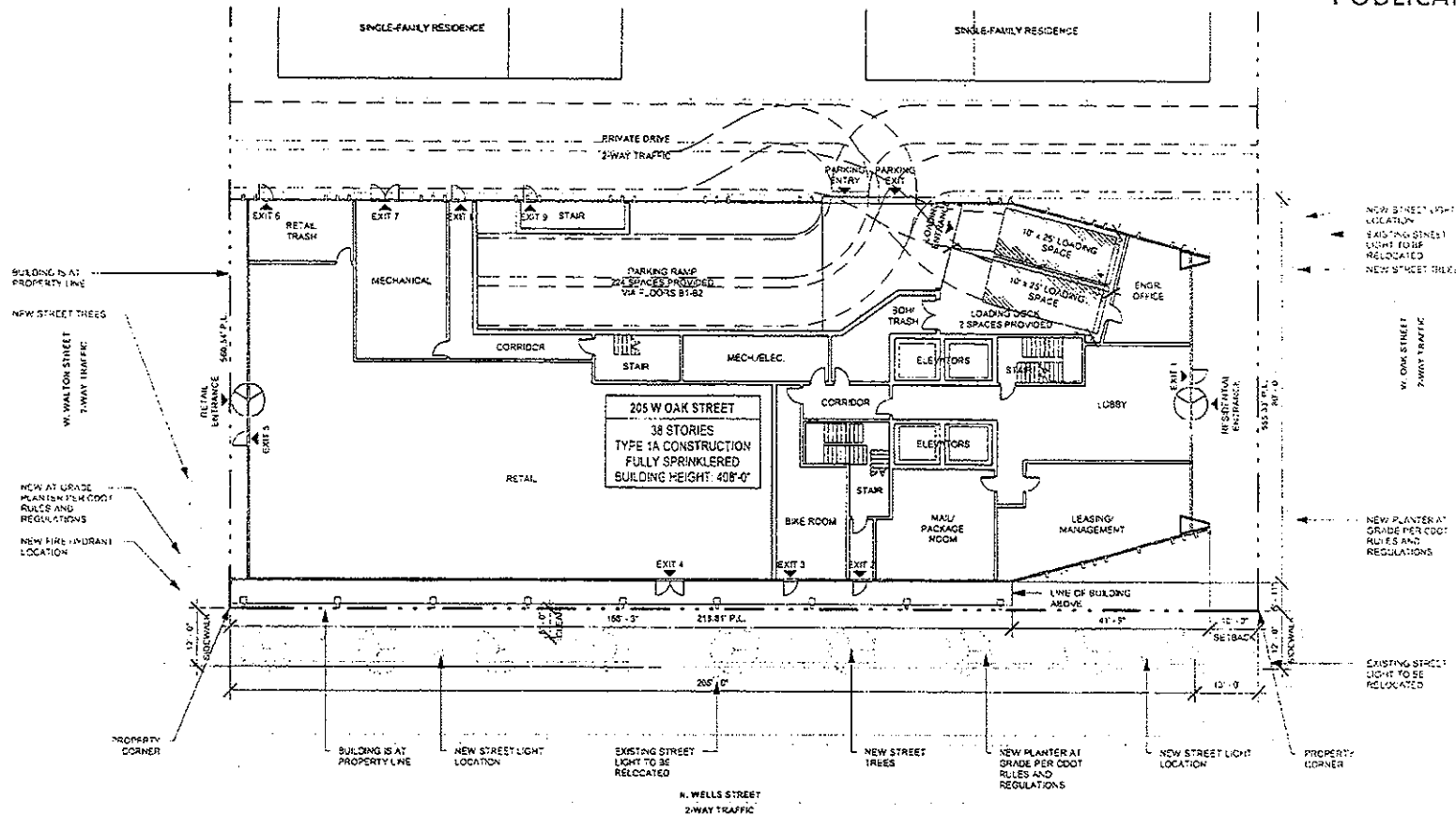
31053

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31054

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021



SUB-AREA: C

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 205 W OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

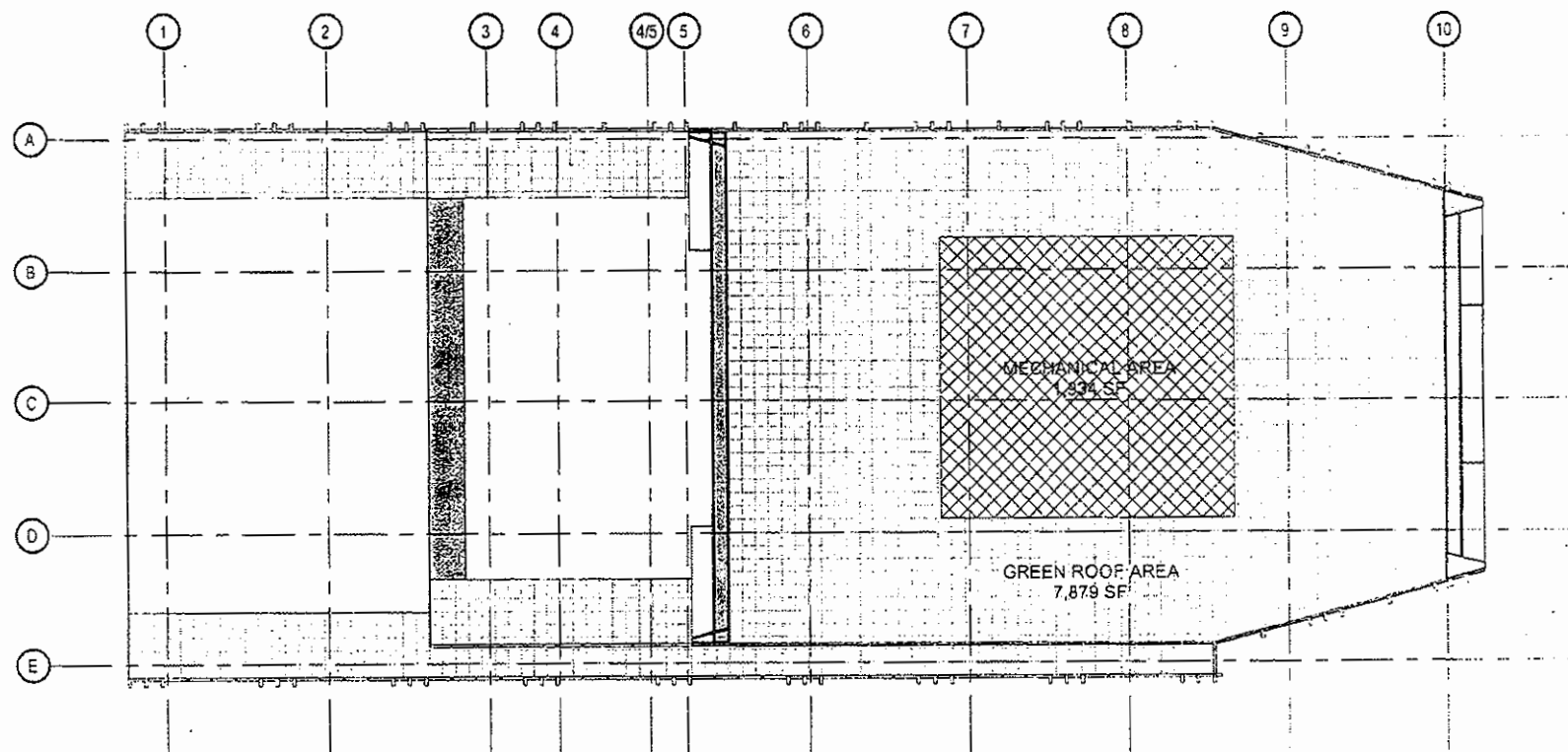
SITE/GROUND FLOOR PLAN

5/26/2021

REPORTS OF COMMITTEES

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SUB AREA 'C' GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
205 W OAK	17041	1934	15107	7554	7879

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APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

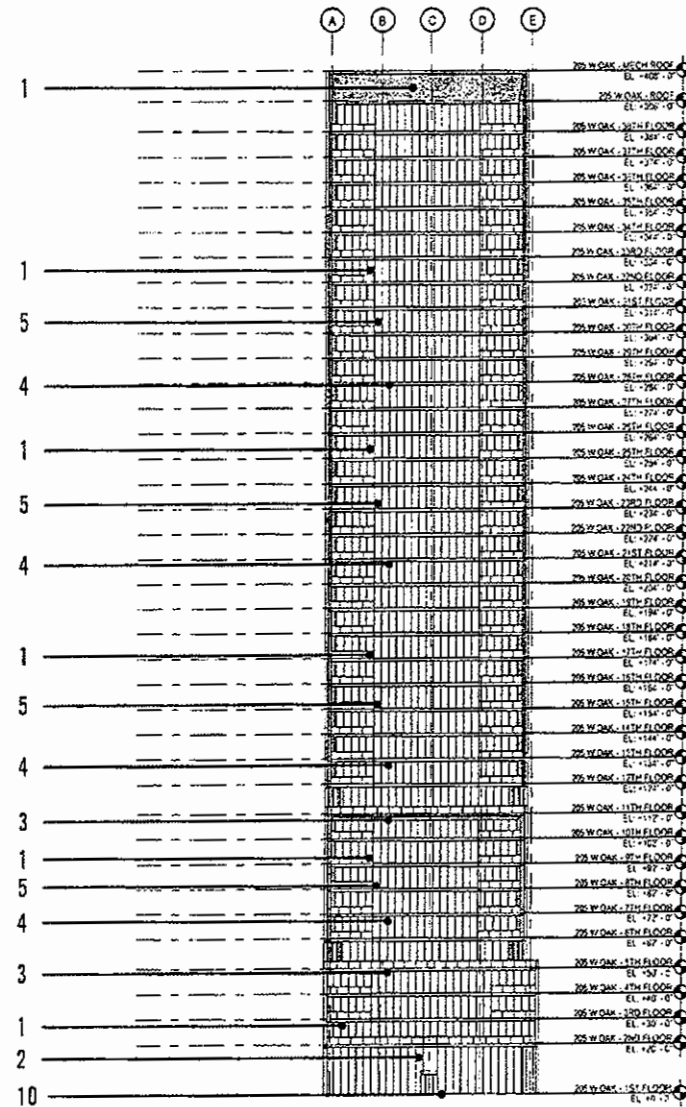
PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

205 W. OAK - GREEN ROOF PLAN

SUB-AREA: C

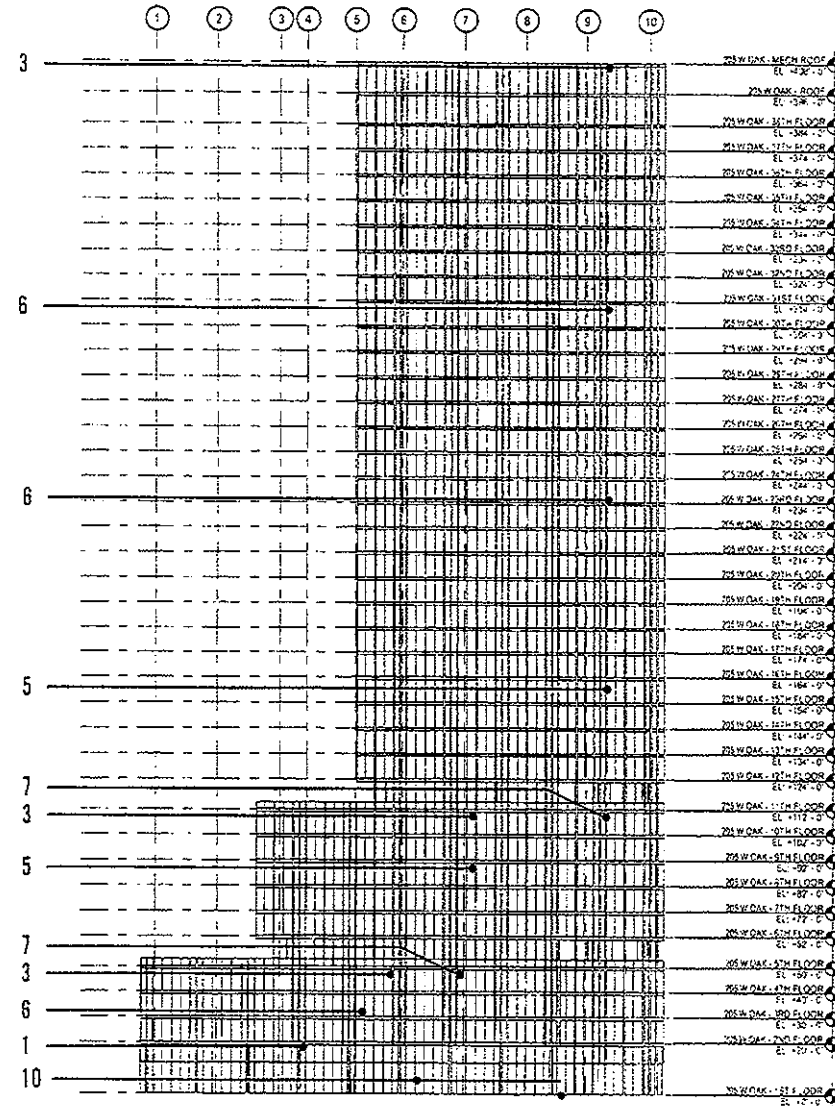
SUB-AREA: C



SOUTH ELEVATION

MATERIAL LEGEND

- ARCHITECTURAL SPANDREL GLASS
- PODIUM N/S GLASS AND ALUMINUM WALL SYSTEM
- AND OPAQUE SPANDREL GLASS PANELS
- AMENITY AND/OR RESIDENTIAL TERRACE WITH
- ALUMINUM AND GLASS GUARDRAIL
- GLASS AND ALUMINUM WALL SYSTEM & RESIDENTIAL
- BALCONY WITH ALUMINUM AND GLASS GUARDRAIL
- GLASS AND ALUMINUM WALL SYSTEM AND OPAQUE
- SPANDREL GLASS PANELS
- WINDOW WALL SYSTEM WITH GLASS AND ALUMINUM
- WINDOW AND OPAQUE SPANDREL GLASS PANELS,
- WITH METAL FINIS (6"-8" PROJECTION)
- ALUMINUM/METAL FINIS (16"X6" APPROX.)
- MECHANICAL SCREEN
- EXTERIOR ALUMINUM PANELS
- STRUCTURALLY GLAZED RETAIL STOREFRONT WITH
- CANOPY ABOVE



SUB-AREA: C

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 205 W OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=80'

EAST ELEVATION

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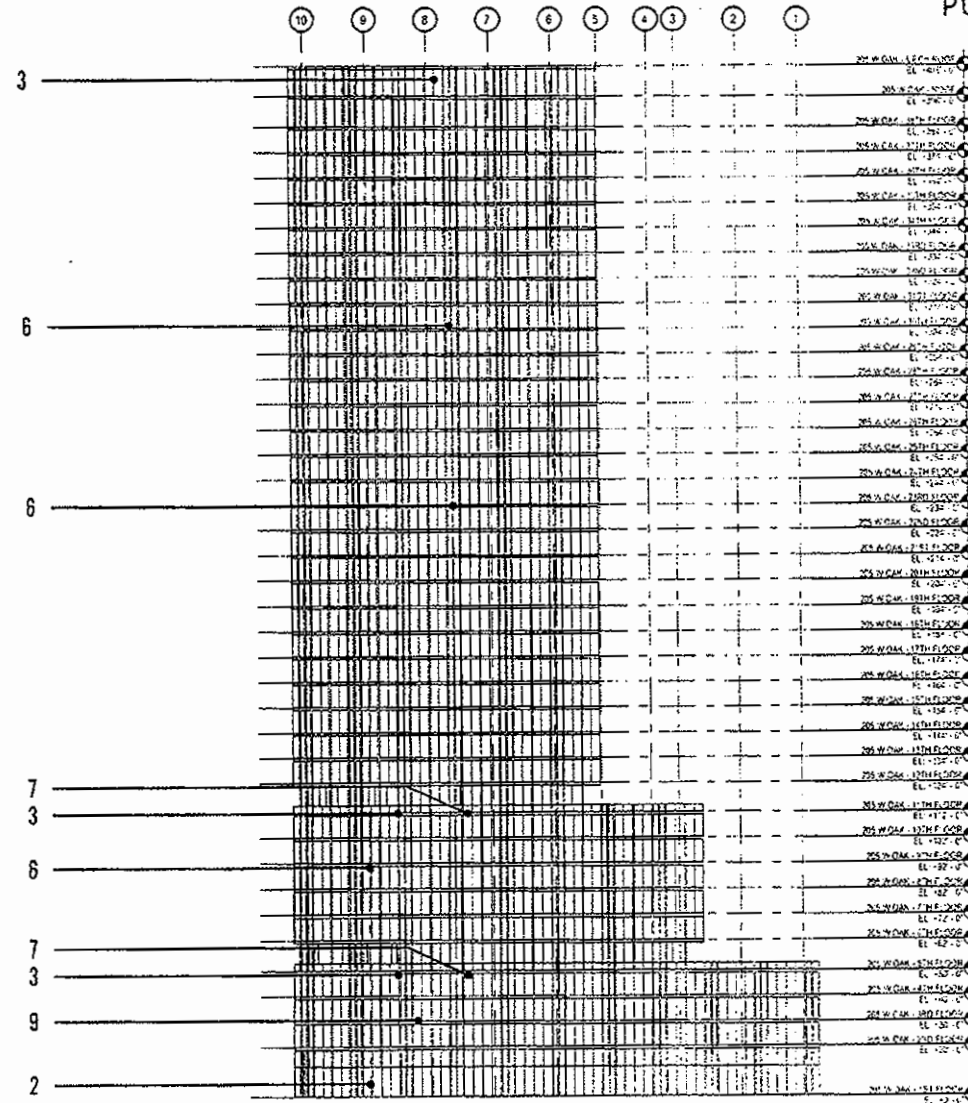
5/26/2021

REPORTS OF COMMITTEES

31059

MATERIAL LEGEND

ARCHITECTURAL SPANDREL GLASS
PODIUM N/S GLASS AND ALUMINUM WALL SYSTEM
AND OPAQUE SPANDREL GLASS PANELS
AMENITY AND/OR RESIDENTIAL TERRACE WITH
ALUMINUM AND GLASS GUARDRAIL
GLASS AND ALUMINUM WALL SYSTEM & RESIDENTIAL
BALCONY WITH ALUMINUM AND GLASS GUARDRAIL
GLASS AND ALUMINUM WALL SYSTEM AND OPAQUE
SPANDREL GLASS PANELS
WINDOW WALL SYSTEM WITH GLASS AND ALUMINUM
WINDOW AND OPAQUE SPANDREL GLASS PANELS,
WITH METAL FIN (6"-8" PROJECTION)
ALUMINUM/METAL FIN (16"X6" APPROX.)
MECHANICAL SCREEN
EXTERIOR ALUMINUM PANELS
STRUCTURALLY GLAZED RETAIL STOREFRONT WITH
CANOPY ABOVE



SUB-AREA: C

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 205 W OAK STREET

INTRODUCTION: 03-24-2021

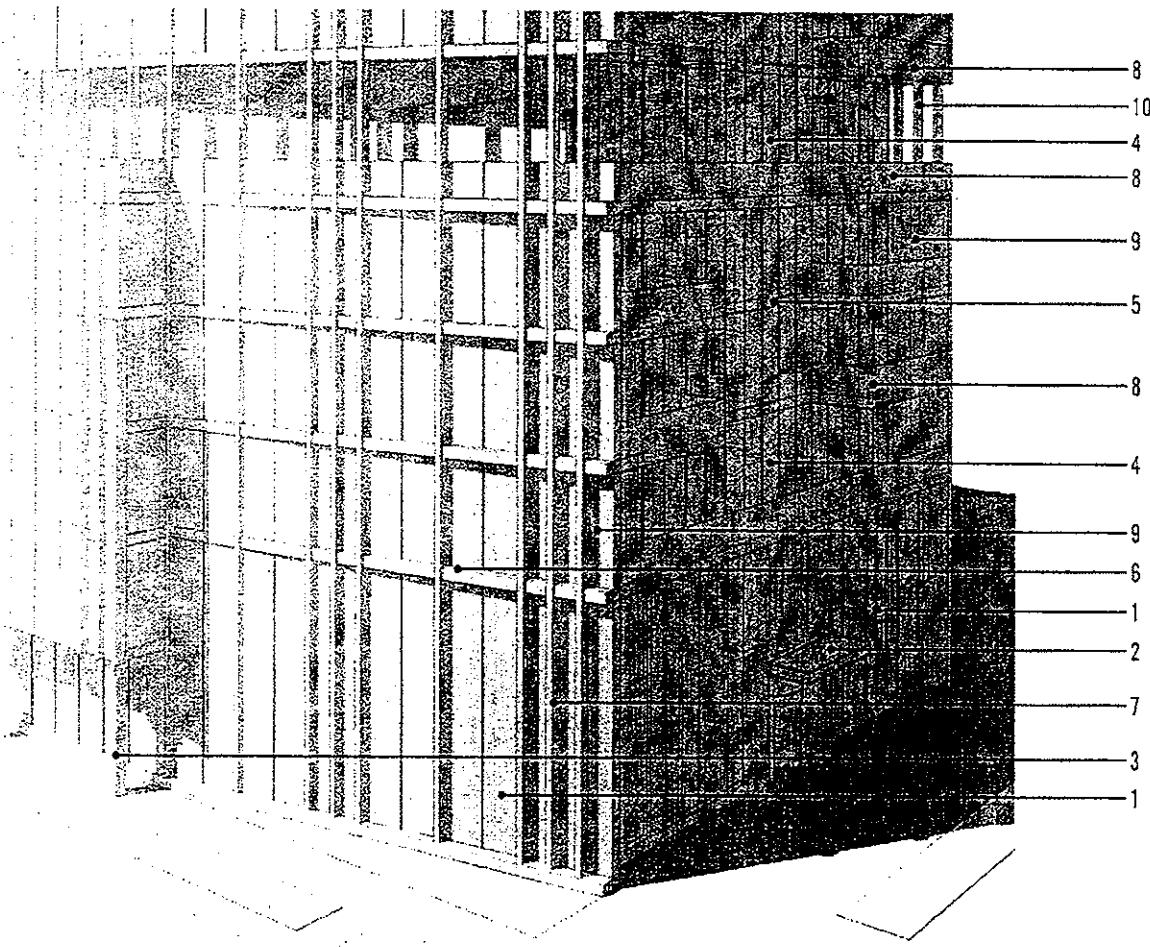
PLAN COMMISSION: 05-20-2021

SCALE: 1"=80'

WEST ELEVATION

MATERIAL LEGEND

- 1. STRUCTURALLY GLAZED RETAIL STOREFRONT
- 2. METAL CANOPY
- 3. METAL CLAD COLUMNS
- 4. CLEAR VISION GLASS AT WINDOW WALL SYSTEM
- 5. OPAQUE SPANDREL GLASS AT WINDOW WALL SYSTEM
- 6. EXTRUDED SLAB EDGE COVER
- 7. EXTRUDED METAL MULLION AT WINDOW WALL SYSTEM
- 8. GLASS AND ALUMINUM GUARDRAIL TO MATCH WINDOW WALL SYSTEM
- 9. BALCONY WING WALLS TO MATCH WINDOW WALL SYSTEM
- 10. EXTENDED MULLIONS AT INSET BALCONY
- 11. GLASS AND ALUMINUM SCREEN TO MATCH WINDOW WALL
- 12. ROOF AND MECHANICAL EQUIPMENT TO BE CONCEALED BY GLASS AND ALUMINUM SCREEN



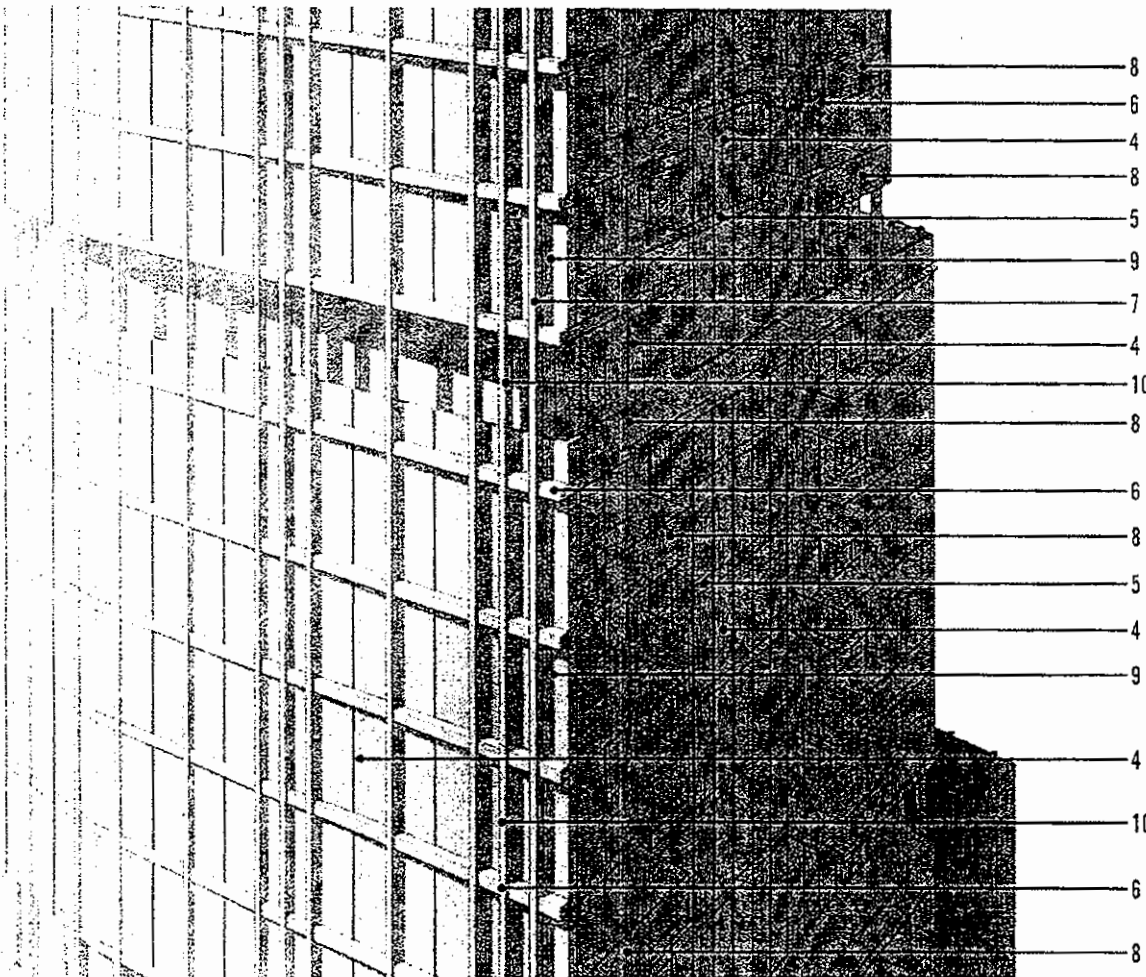
SUB-AREA: C

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			AXON - BASE
ADDRESS OF PROJECT: 205 W OAK STREET			
INTRODUCTION: 03-24-2021	PLAN COMMISSION: 05-20-2021	SCALE: N.T.S.	

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PUBLICATION

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. METAL CANOPY
3. METAL CLAD COLUMNS
4. CLEAR VISION GLASS AT WINDOW WALL SYSTEM
5. OPAQUE SPANDREL GLASS AT WINDOW WALL SYSTEM
6. EXTRUDED SLAB EDGE COVER
7. EXTRUDED METAL MULLION AT WINDOW WALL SYSTEM
8. GLASS AND ALUMINUM GUARDRAIL TO MATCH WINDOW WALL SYSTEM
9. BALCONY WING WALLS TO MATCH WINDOW WALL SYSTEM
10. EXTENDED MULLIONS AT INSET BALCONY
11. GLASS AND ALUMINUM SCREEN TO MATCH WINDOW WALL
12. ROOF AND MECHANICAL EQUIPMENT TO BE CONCEALED BY GLASS AND ALUMINUM SCREEN



SUB-AREA: C

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 205 W OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

AXON - MIDDLE

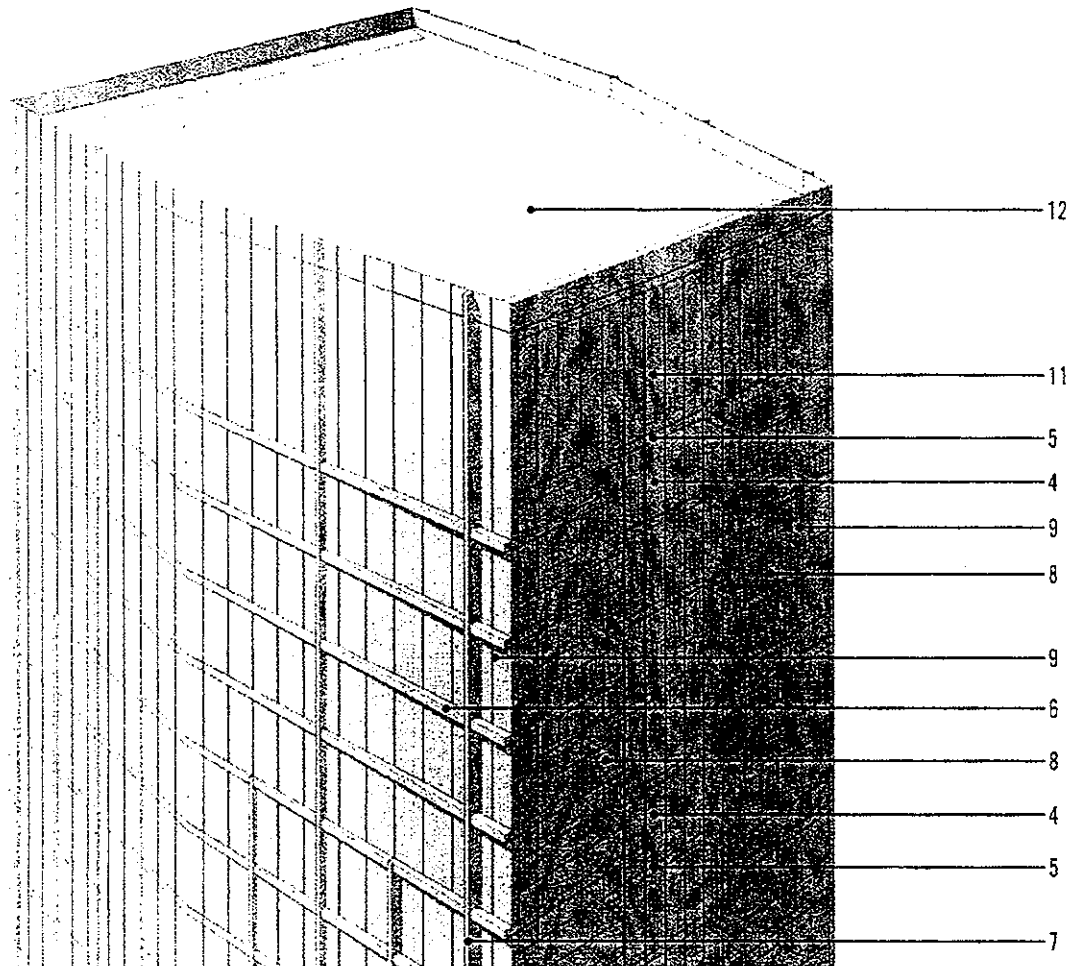
5/26/2021

REPORTS OF COMMITTEES

31061

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MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. METAL CANOPY
3. METAL CLAD COLUMNS
4. CLEAR VISION GLASS AT WINDOW WALL SYSTEM
5. OPAQUE SPANDREL GLASS AT WINDOW WALL SYSTEM
6. EXTRUDED SLAB EDGE COVER
7. EXTRUDED METAL MULLION AT WINDOW WALL SYSTEM
8. GLASS AND ALUMINUM GUARDRAIL TO MATCH WINDOW WALL SYSTEM
9. BALCONY WING WALLS TO MATCH WINDOW WALL SYSTEM
10. EXTENDED MULLIONS AT INSET BALCONY
11. GLASS AND ALUMINUM SCREEN TO MATCH WINDOW WALL
12. ROOF AND MECHANICAL EQUIPMENT TO BE CONCEALED BY GLASS AND ALUMINUM SCREEN



SUB-AREA: C

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 205 W OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

AXON-TOP

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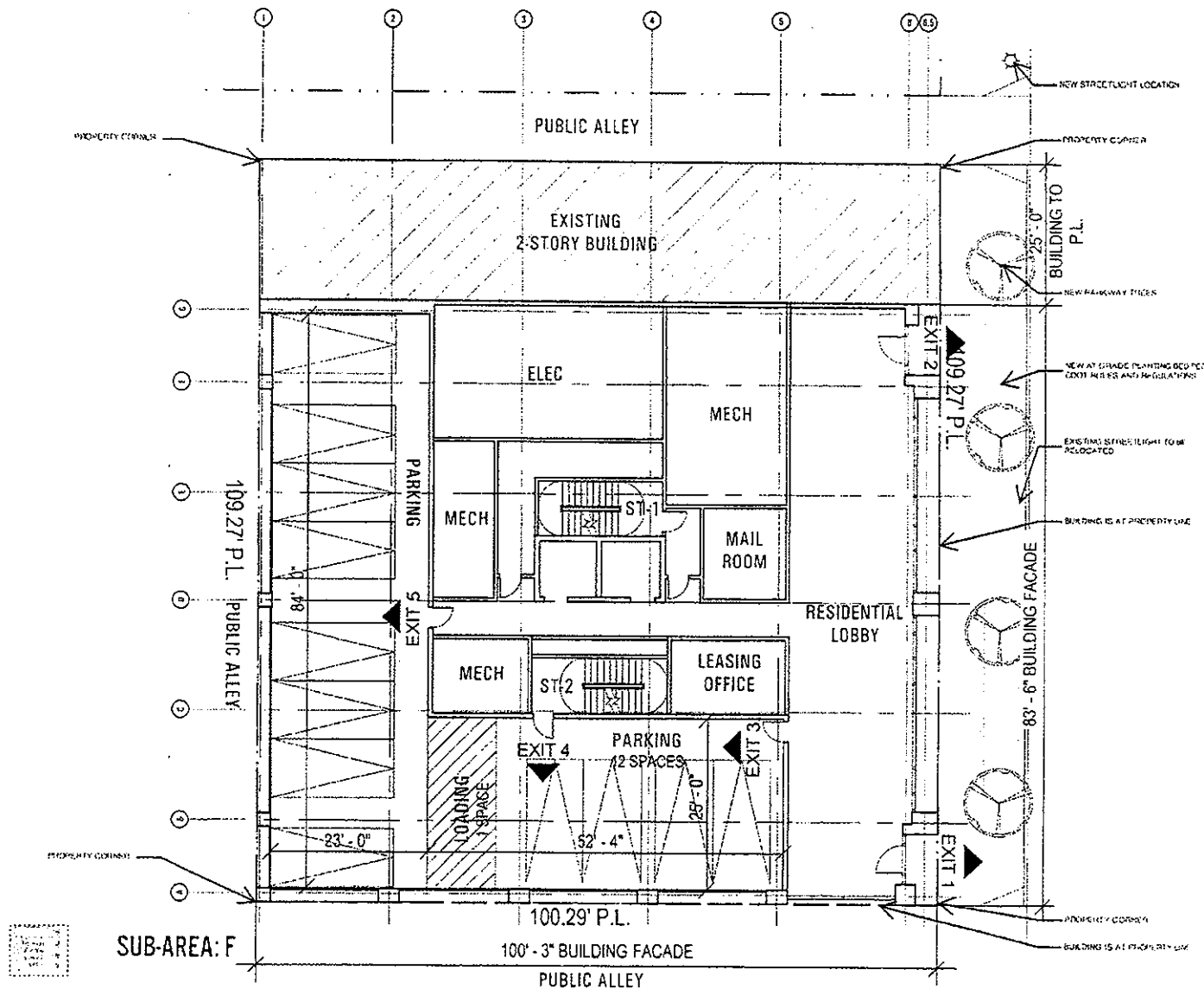
5/26/2021

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PUBLICATION

5/26/2021

REPORTS OF COMMITTEES

31063



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 215 W WALTON STREET

INTRODUCTION: 03/24/2021

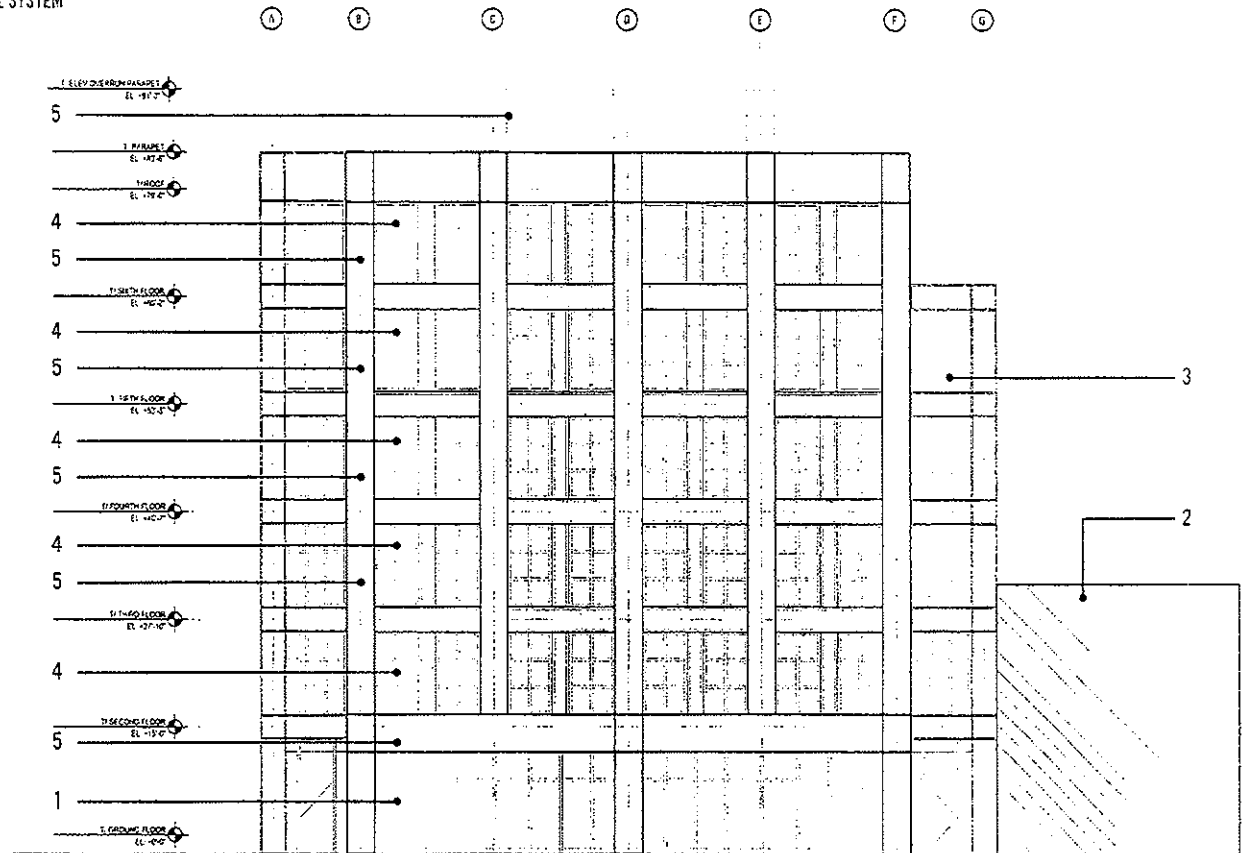
PLAN COMMISSION: 05-20-2021

SCALE: 1"=20'-0"

SITE/GROUND FLOOR PLAN

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. MASONRY FACE BRICK CLADDING
3. RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS
GUARDRAIL
4. GLASS AND ALUMINUM WINDOW WALL SYSTEM
5. METAL FRAME CLADDING
6. METAL OVERHEAD COILING DOOR



SUB-AREA: F

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 215 W WALTON STREET

INTRODUCTION: 03/24/2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=20'-0"

NORTH ELEVATION

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PUBLICATION

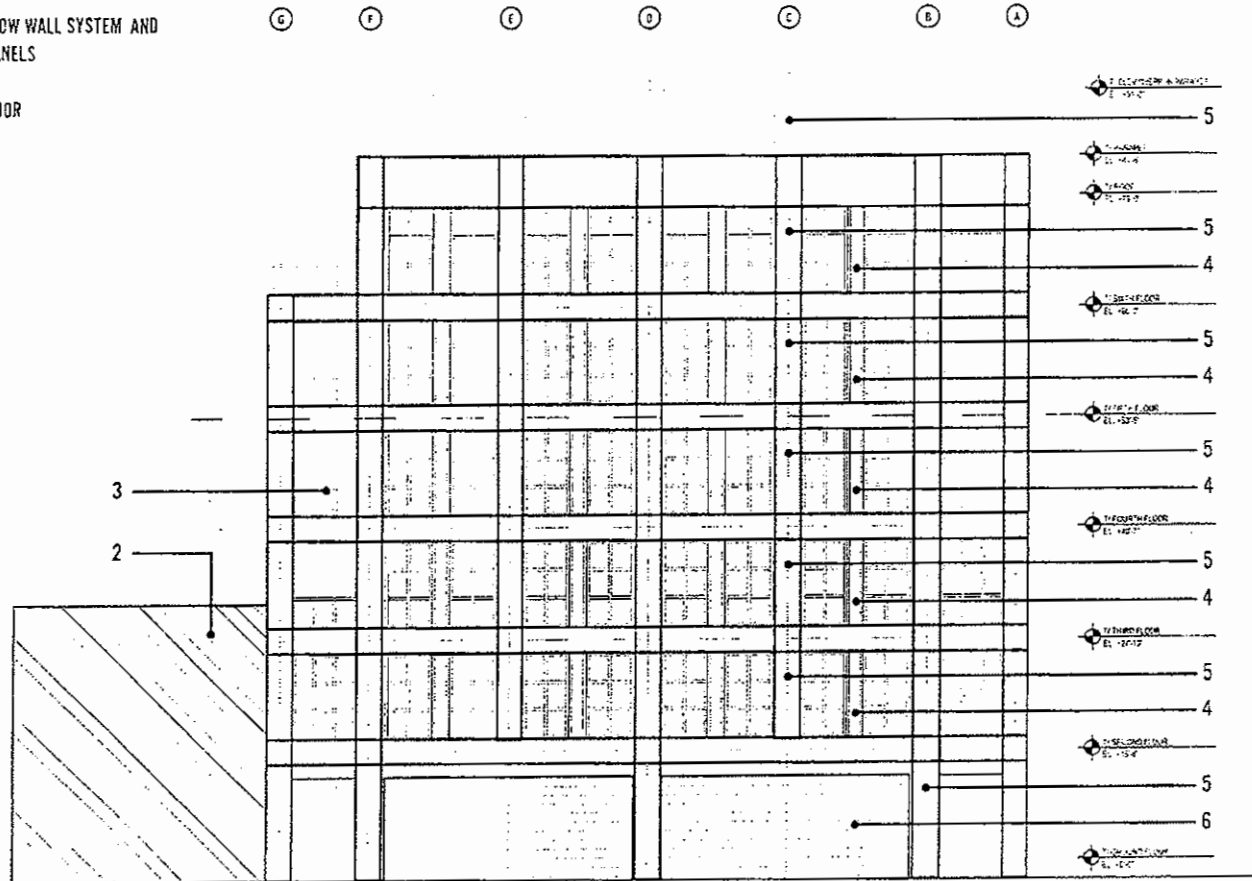
5/26/2021

REPORTS OF COMMITTEES

31065

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. MASONRY FACE BRICK CLADDING
3. RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS GUARDRAIL
4. GLASS AND ALUMINUM WINDOW WALL SYSTEM AND OPAQUE SPANDREL GLASS PANELS
5. METAL FRAME CLADDING
6. METAL OVERHEAD COILING DOOR



SUB-AREA: F

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 215 W WALTON STREET

INTRODUCTION: 03/24/2021

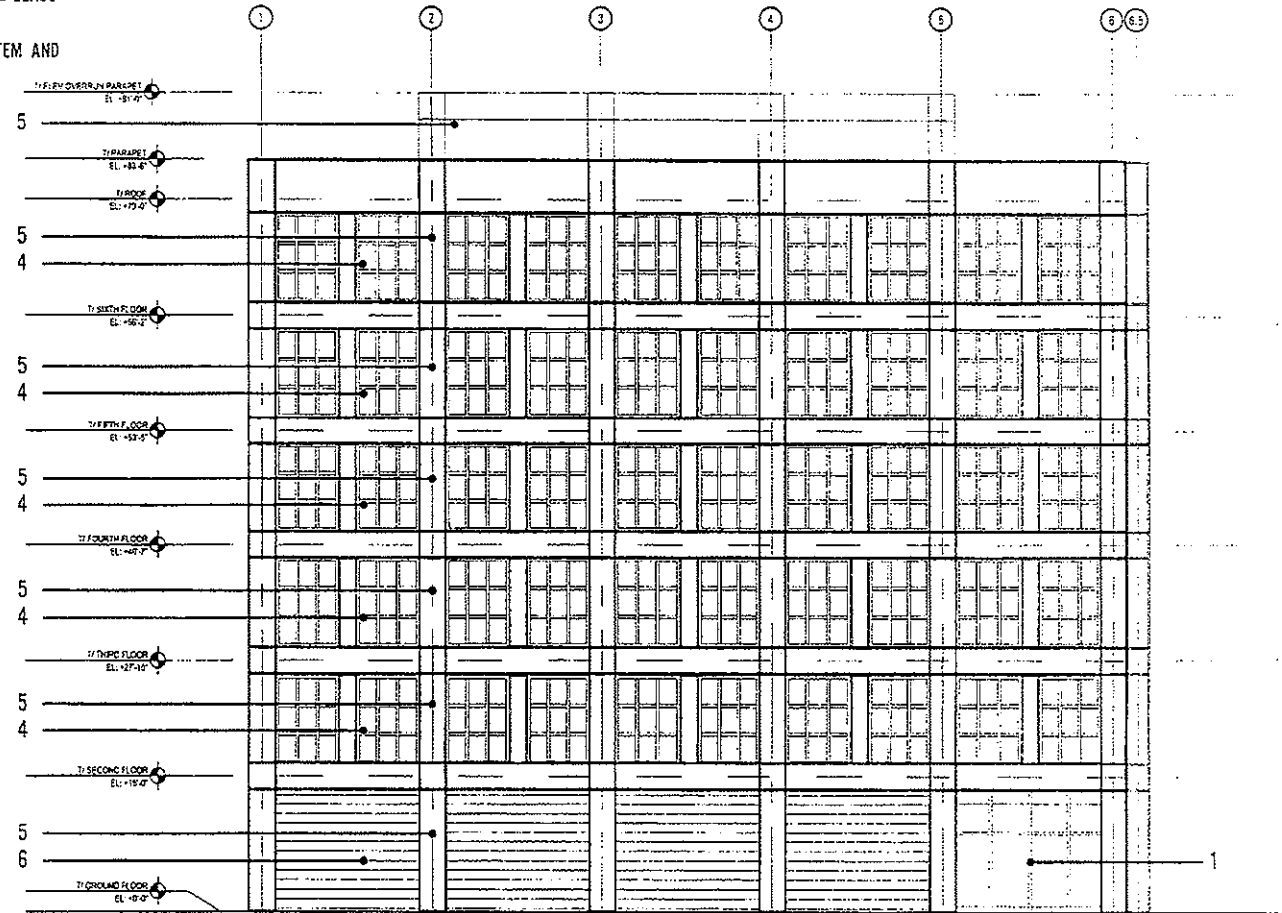
PLAN COMMISSION: 05-20-2021

SCALE: 1"=20'-0"

SOUTH ELEVATION

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. MASONRY FACE BRICK CLADDING
3. RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS GUARDRAIL
4. GLASS AND ALUMINUM WINDOW WALL SYSTEM AND OPAQUE SPANDREL GLASS PANELS
5. METAL FRAME CLADDING
6. METAL OVERHEAD COILING DOOR



SUB-AREA: F

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 215 W WALTON STREET

INTRODUCTION: 03/24/2021

PLAN COMMISSION: 05-20-2021

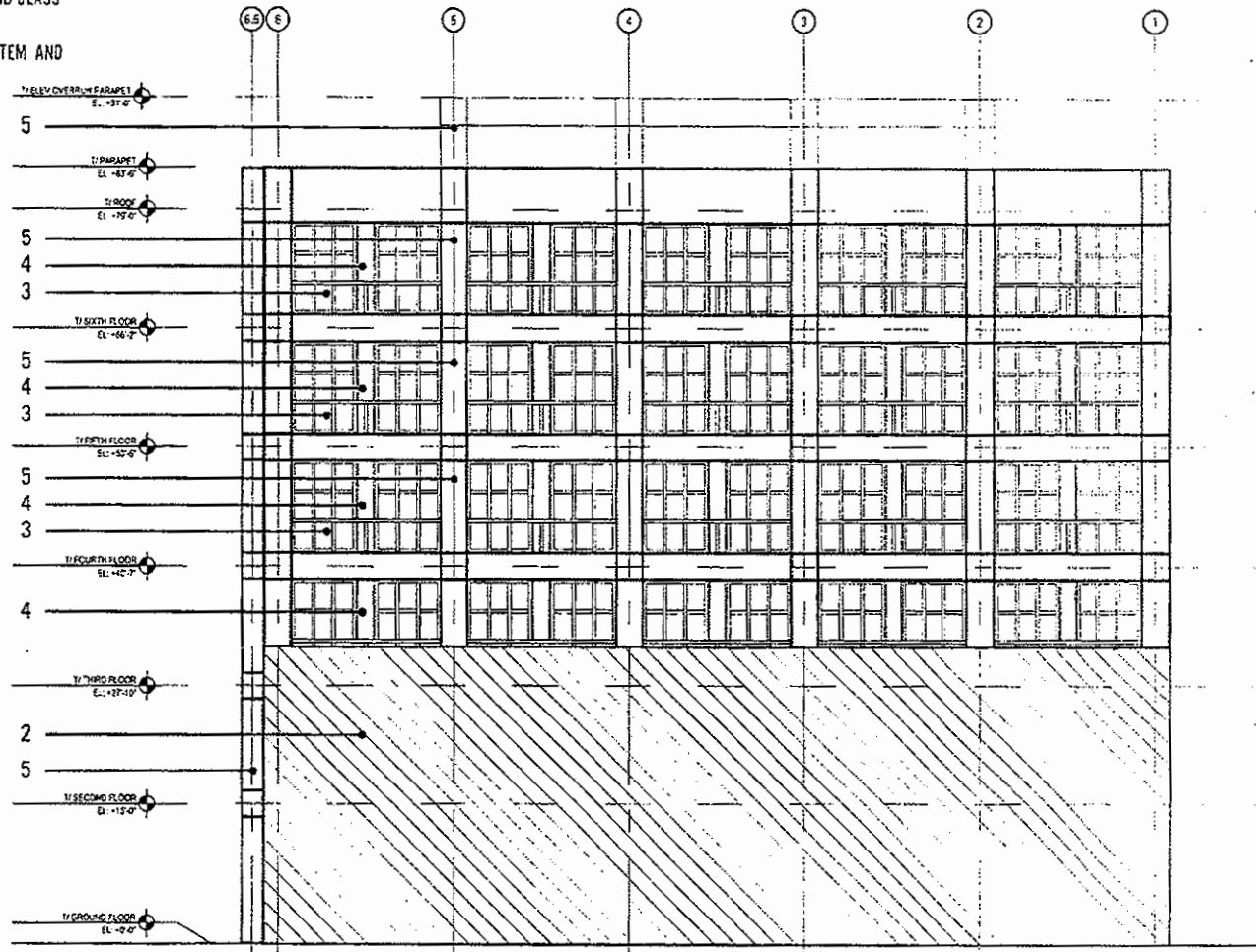
SCALE: 1"=20'-0"

EAST ELEVATION

FINAL FOR
PUBLICATION

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. MASONRY FACE BRICK CLADDING
3. RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS GUARDRAIL
4. GLASS AND ALUMINUM WINDOW WALL SYSTEM AND OPAQUE SPANDREL GLASS PANELS
5. METAL FRAME CLADDING
6. METAL OVERHEAD COILING DOOR



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 215 W WALTON STREET

INTRODUCTION: 03/24/2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=20'-0"

WEST ELEVATION

5/26/2021

REPORTS OF COMMITTEES

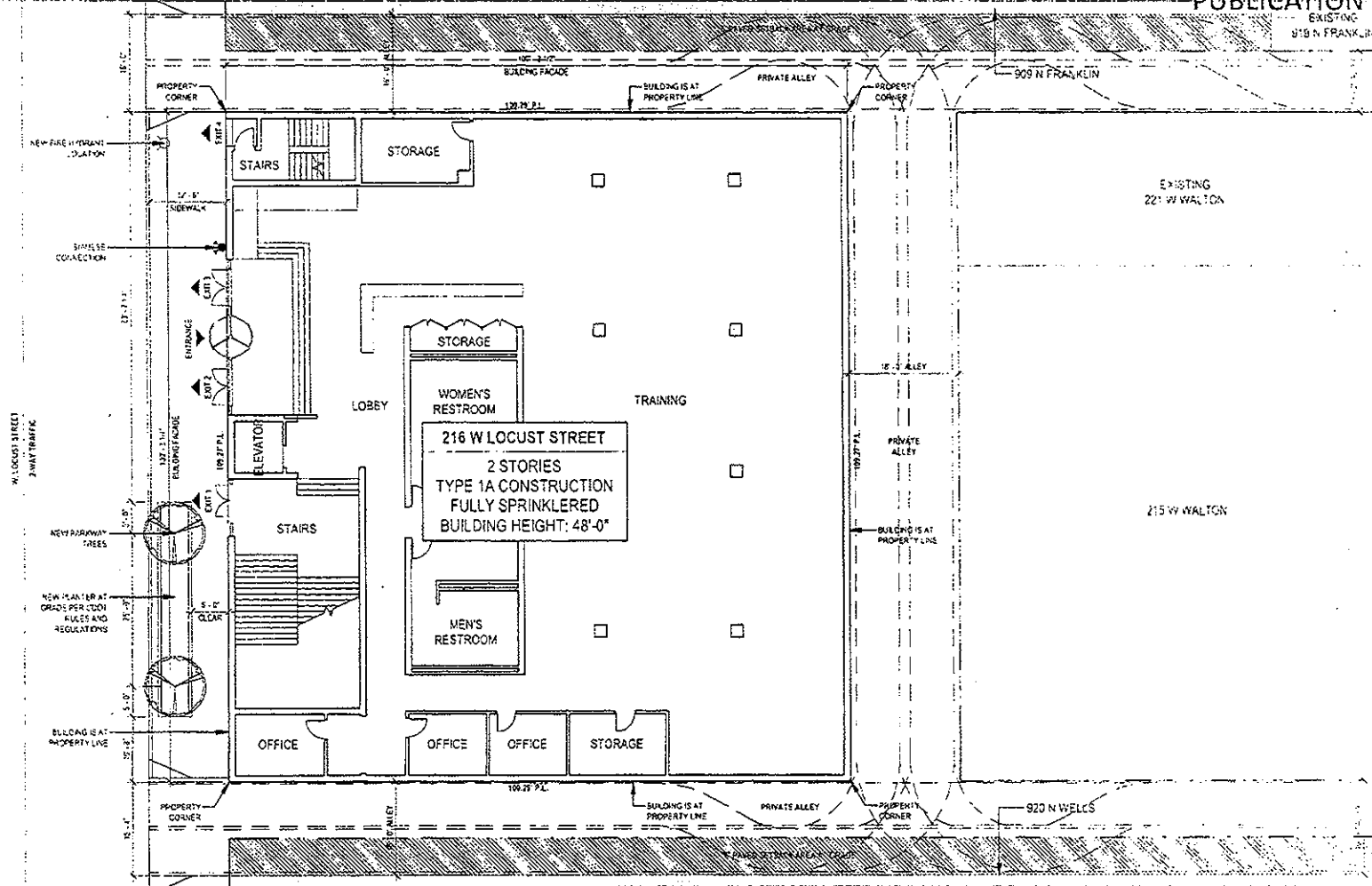
31067

FINAL FOR
PUBLICATION

31068

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021



SUB-AREA: D

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 216 W LOCUST STREET

INTRODUCTION: 03/24/2021

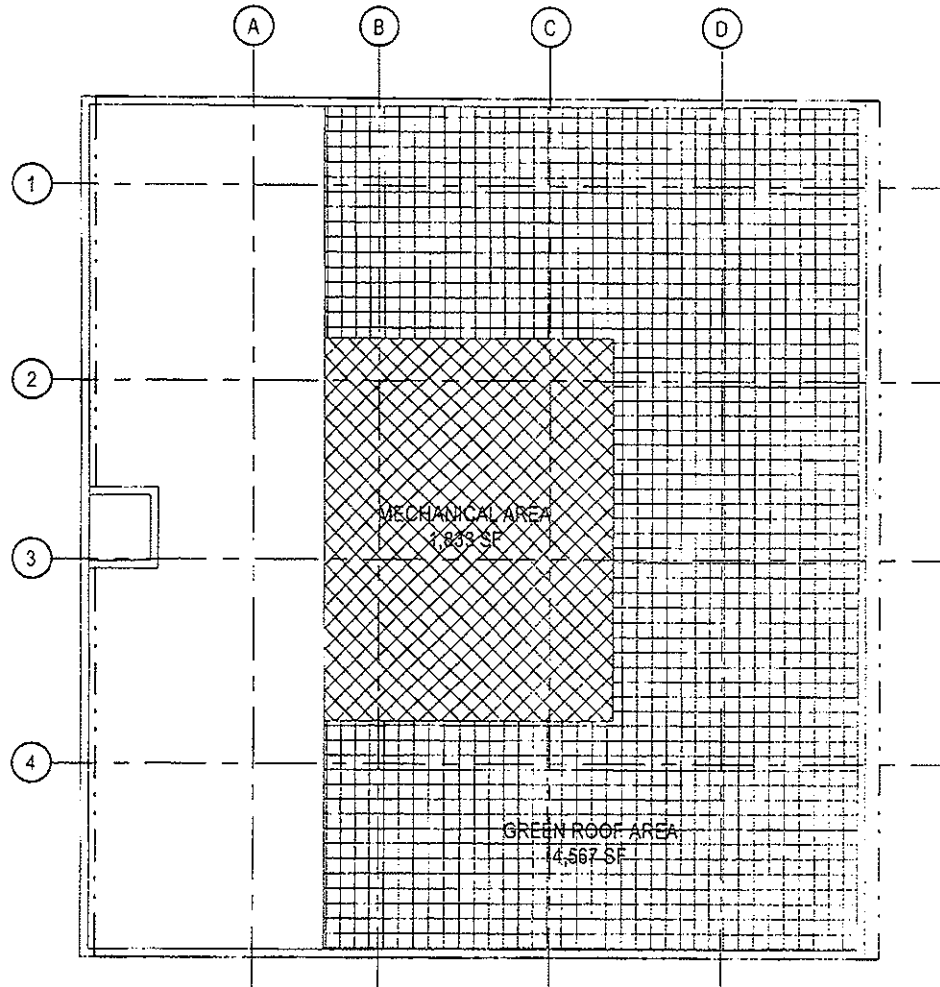
PLAN COMMISSION: 05-20-2021

SCALE: 1"=25'-0"

SITE/GROUND FLOOR PLAN

SUB AREA 'D' GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
216 W LOCUST	10620	1833	8787	4394	4567

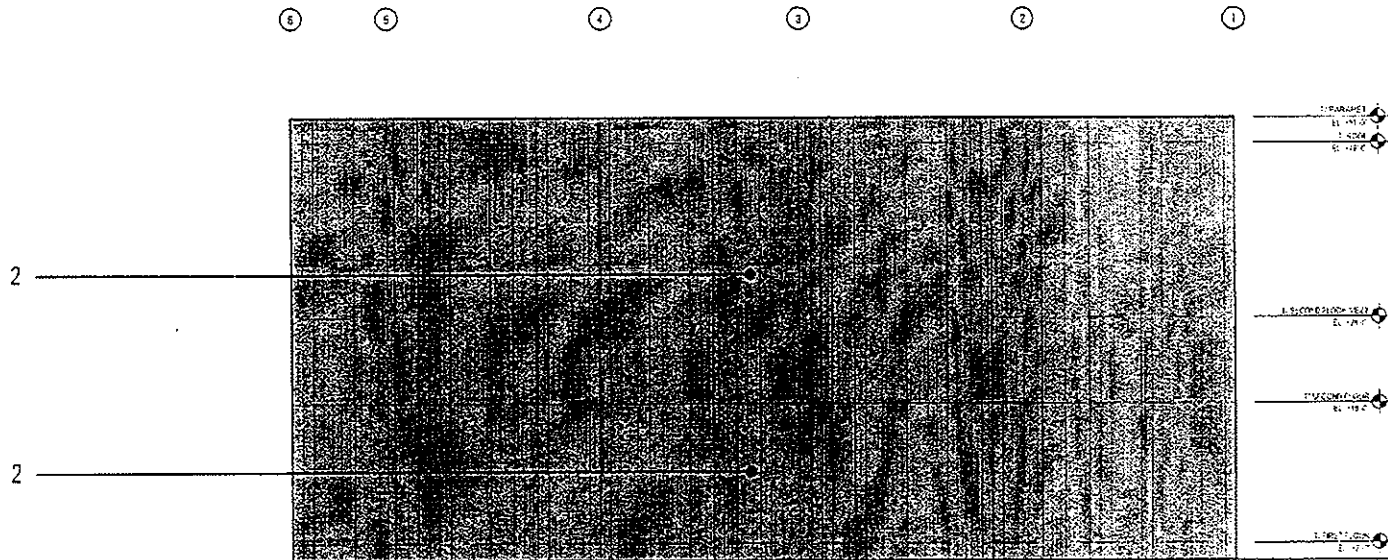
FINAL FOR
PUBLICATION



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			216 W LOCUST - GREEN ROOF PLAN
ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315 and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute			
INTRODUCTION: 03-24-2021	PLAN COMMISSION: 05-20-2021	SCALE: N.T.S.	

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. GLASS AND ALUMINUM WINDOW WALL SYSTEM WITH OPAQUE FRIT PATTERN
3. GLASS AND ALUMINUM WINDOW WALL SYSTEM WITH GRADIENT FRIT PATTERN
4. TRANSPARENT GLASS AND ALUMINUM WINDOW WALL SYSTEM
5. GLASS AND ALUMINUM WINDOW PUNCHED WINDOW



SUB-AREA: D

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 216 W LOCUST STREET

INTRODUCTION: 03/24/2021

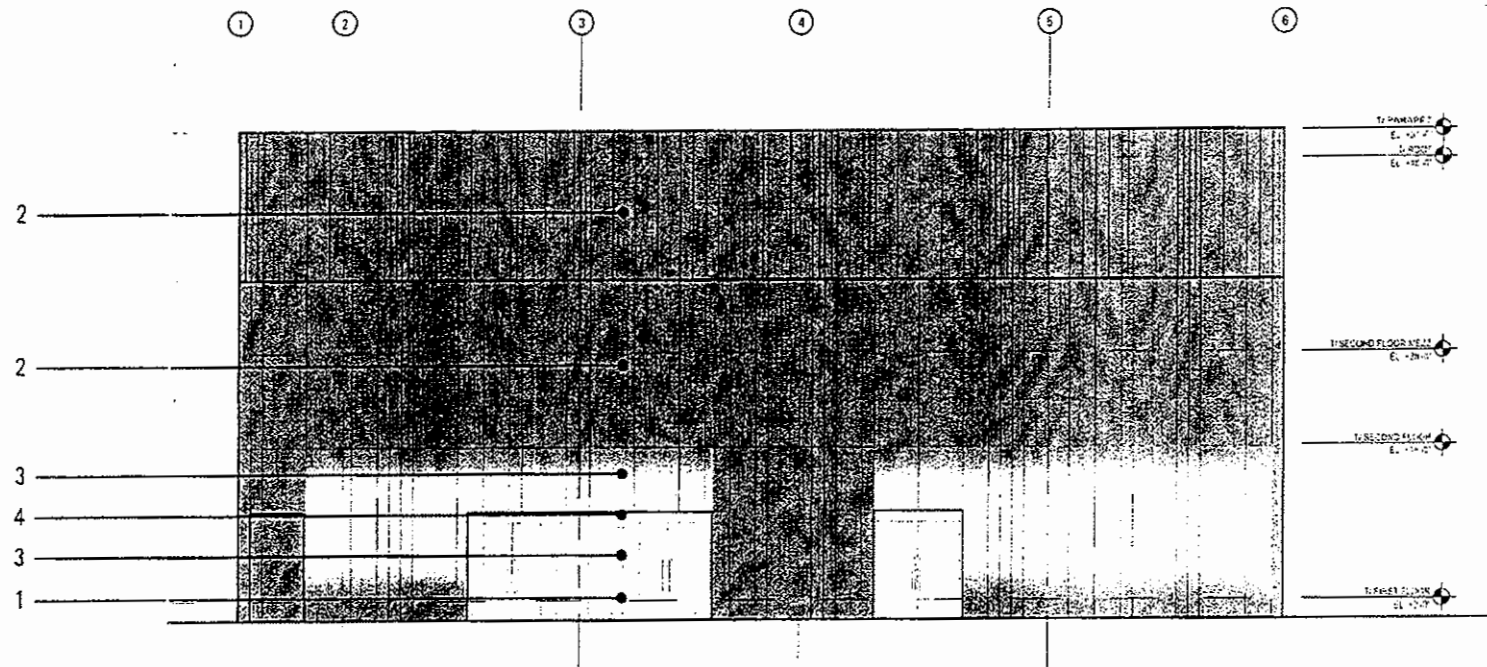
PLAN COMMISSION: 05-20-2021

SCALE: 1"=20'-0"

NORTH ELEVATION

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. GLASS AND ALUMINUM WINDOW WALL SYSTEM WITH OPAQUE FRIT PATTERN
3. GLASS AND ALUMINUM WINDOW WALL SYSTEM WITH GRADIENT FRIT PATTERN
4. TRANSPARENT GLASS AND ALUMINUM WINDOW WALL SYSTEM
5. GLASS AND ALUMINUM WINDOW PUNCHED WINDOW



SUB-AREA: D

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 216 W LOCUST STREET

INTRODUCTION: 03/24/2021

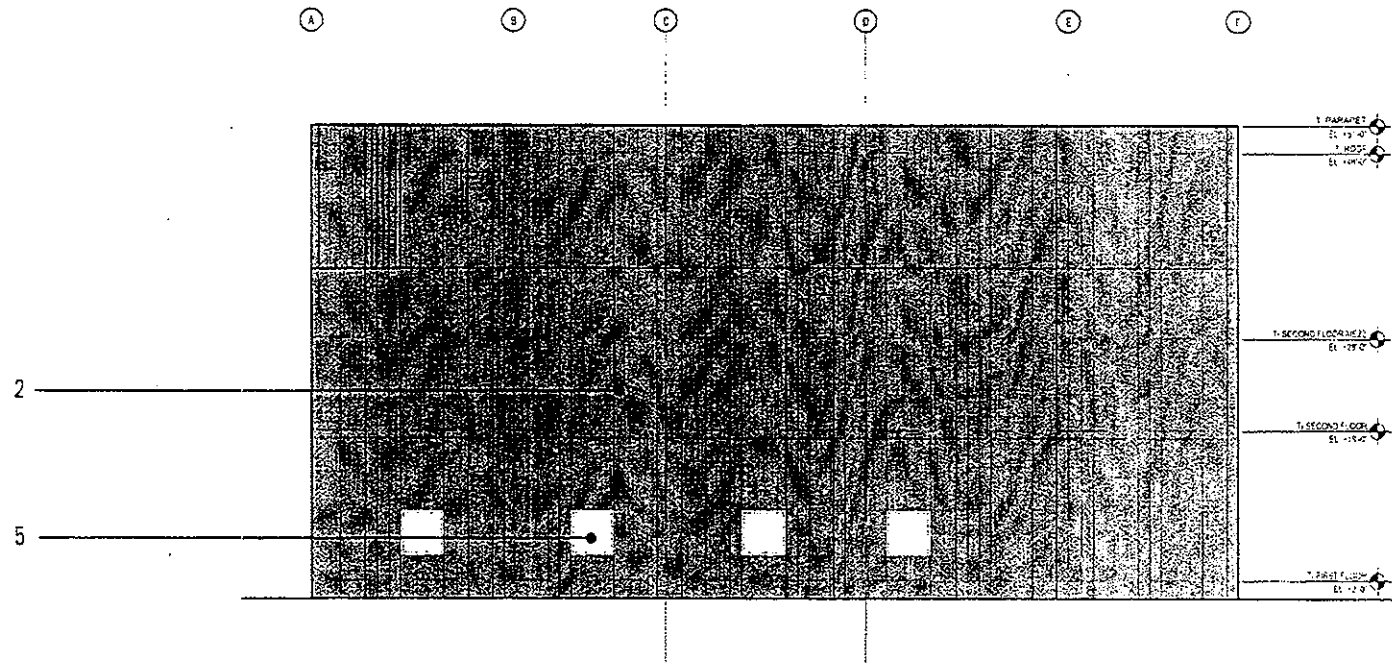
PLAN COMMISSION: 05-20-2021

SCALE: 1"=20'-0"

SOUTH ELEVATION

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. GLASS AND ALUMINUM WINDOW WALL SYSTEM WITH OPAQUE FRIT PATTERN
3. GLASS AND ALUMINUM WINDOW WALL SYSTEM WITH GRADIENT FRIT PATTERN
4. TRANSPARENT GLASS AND ALUMINUM WINDOW WALL SYSTEM
5. GLASS AND ALUMINUM WINDOW PUNCHED WINDOW



SUB-AREA: D

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 216 W LOCUST STREET

INTRODUCTION: 03/24/2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=20'-0"

EAST ELEVATION

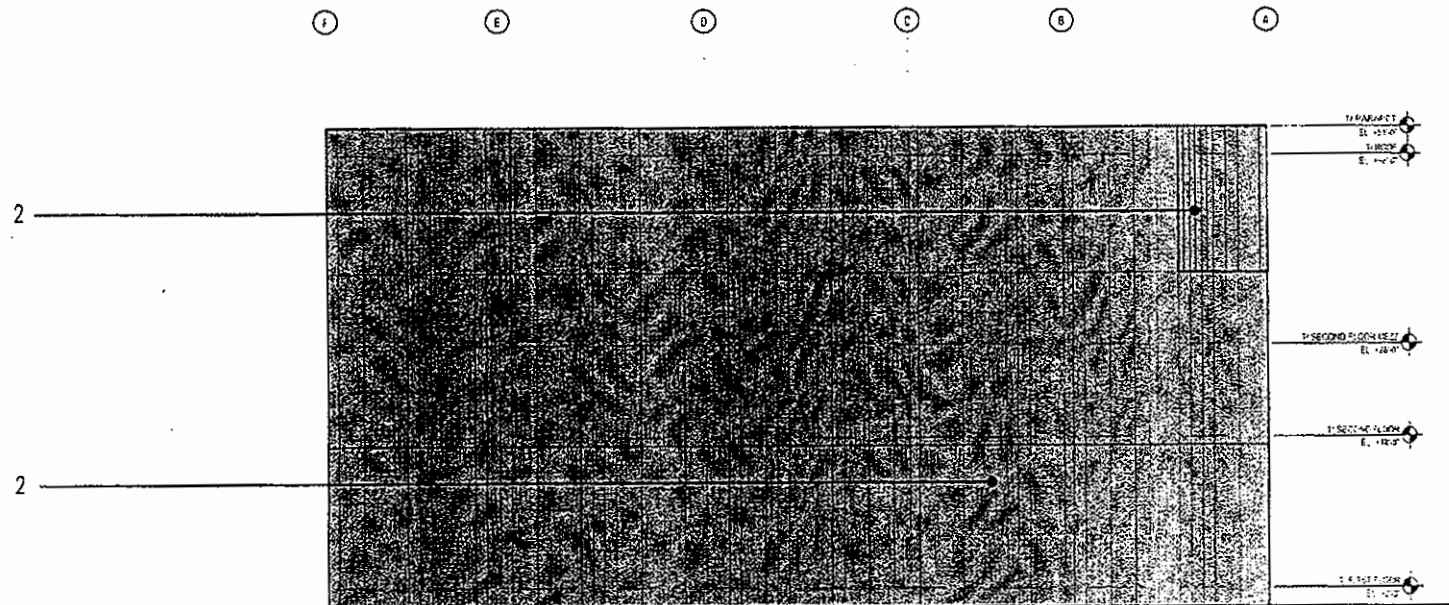
5/26/2021

REPORTS OF COMMITTEES

31073

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. GLASS AND ALUMINUM WINDOW WALL SYSTEM WITH OPAQUE FRIT PATTERN
3. GLASS AND ALUMINUM WINDOW WALL SYSTEM WITH GRADIENT FRIT PATTERN
4. TRANSPARENT GLASS AND ALUMINUM WINDOW WALL SYSTEM
5. GLASS AND ALUMINUM WINDOW PUNCHED WINDOW



SUB-AREA: D

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

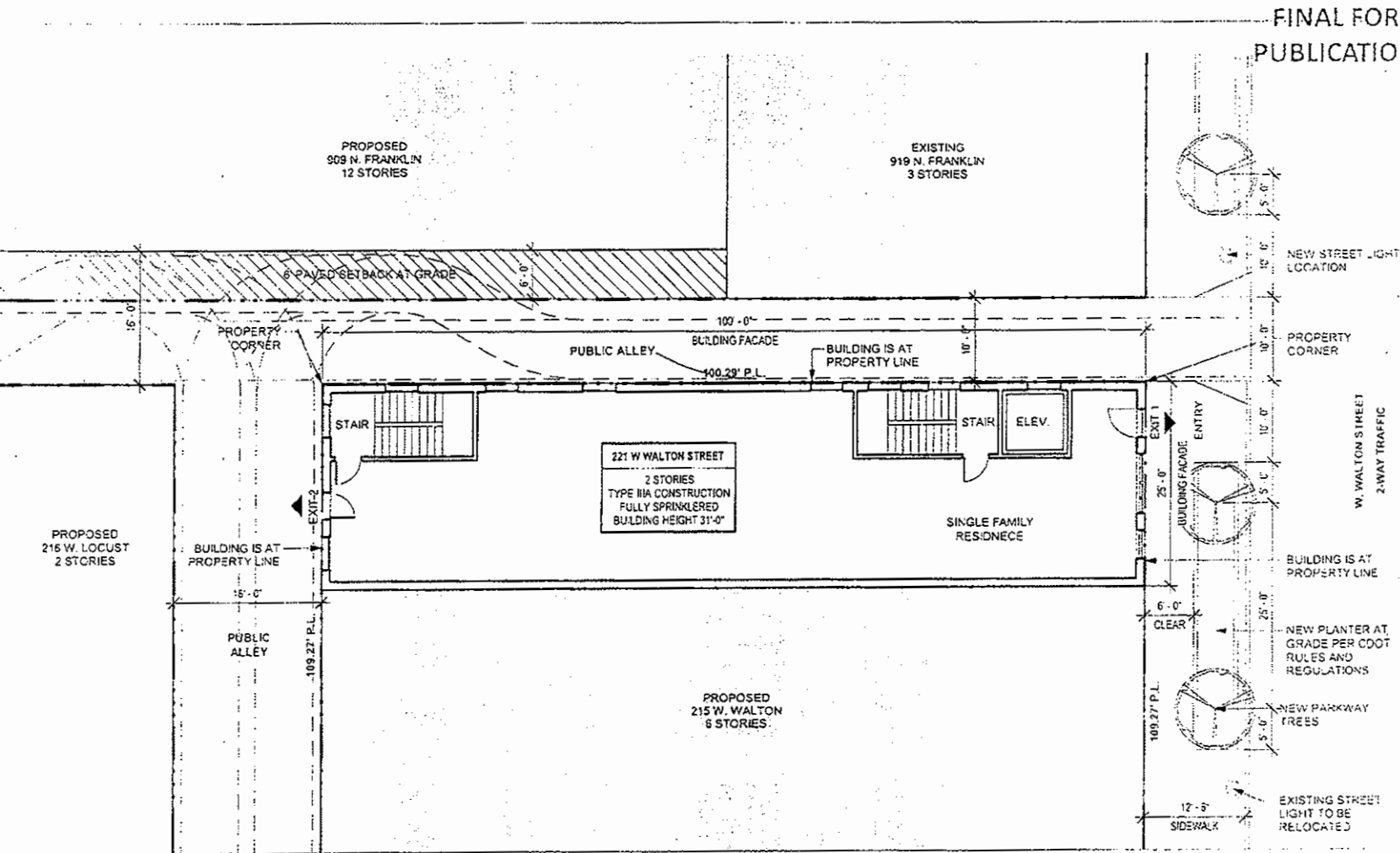
ADDRESS OF PROJECT: 216 W LOCUST STREET

INTRODUCTION: 03/24/2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=20'-0"

WEST ELEVATION

FINAL FOR
PUBLICATION

SUB-AREA: F



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 221 W WALTON STREET

INTRODUCTION: 03-24-2021

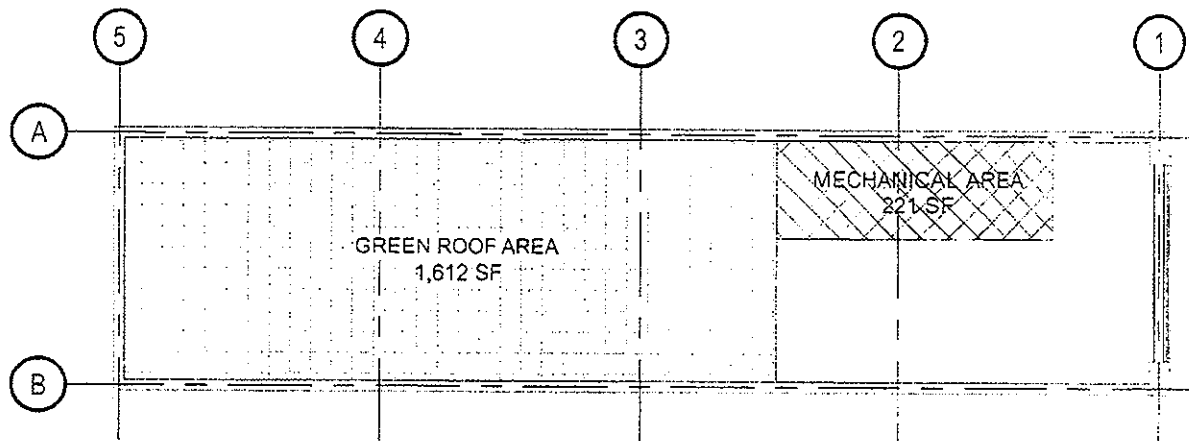
PLAN COMMISSION: 05-20-2021

SCALE: 3/64"=1'

SITE/GROUND FLOOR PLAN

SUB AREA B GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
221 W WALTON	2502	221	2281		1612
215 W WALTON	8360	944	7416		3640
TOTAL	10862	1165	9697	4849	5252

FINAL FOR
PUBLICATION



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

221 W. WALTON - GREEN ROOF PLAN

5/26/2021

REPORTS OF COMMITTEES

31075

FINAL FOR
PUBLICATION

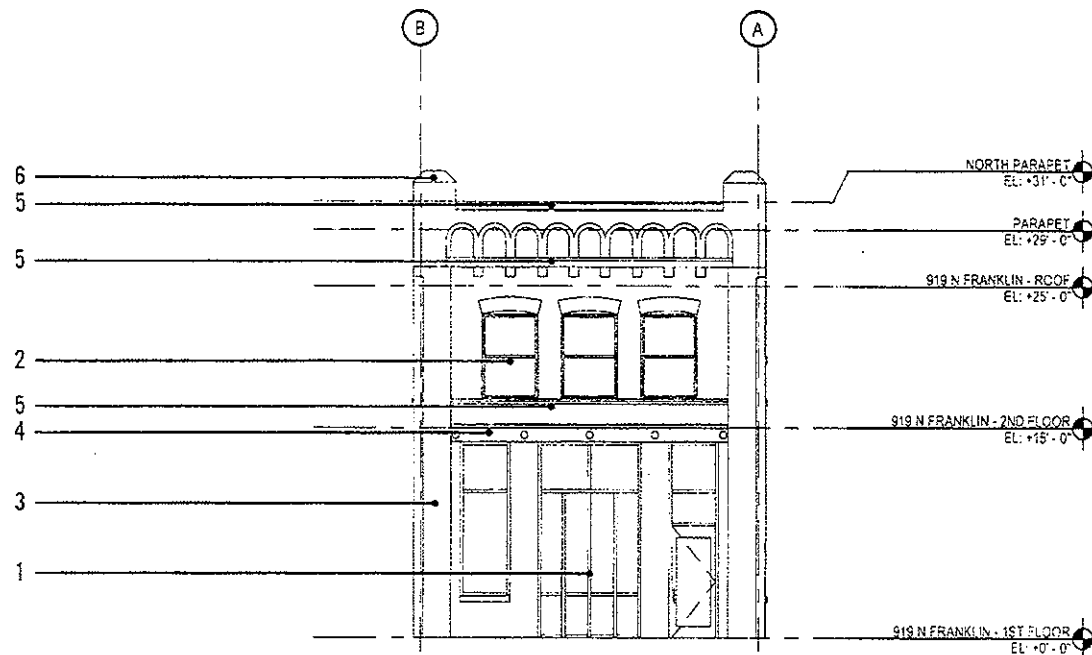
31076

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

MATERIAL LEGEND

1. GLASS AND ALUMINUM STOREFRONT
2. NEW PUNCHED WINDOW IN EXISTING OPENING
3. EXISTING MASONRY
4. EXISTING STEEL LINTEL
5. EXISTING TERRA COTTA TILE DETAILING
6. PARAPET CAP
7. METAL DOOR



SUB-AREA: F

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 221 W WALTON STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

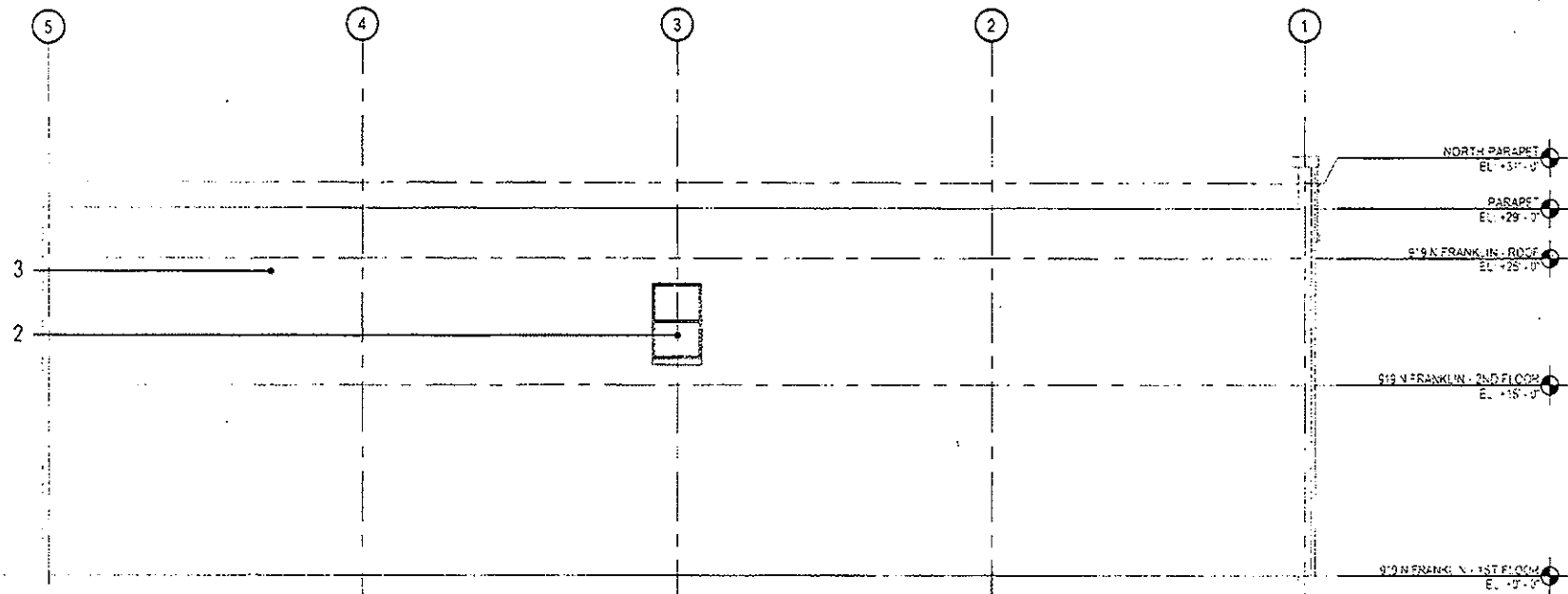
SCALE: 1/16"=1'

NORTH ELEVATION

FINAL FOR
PUBLICATION

MATERIAL LEGEND

1. GLASS AND ALUMINUM STOREFRON
2. NEW PUNCHED WINDOW IN EXISTING OPENING
3. EXISTING MASONRY
4. EXISTING STEEL LINTEL
5. EXISTING TERRA COTTA TILE DETAILING
6. PARAPET CAP
7. METAL DOOR



SUB-AREA: F

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 221 W WALTON STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

EAST ELEVATION

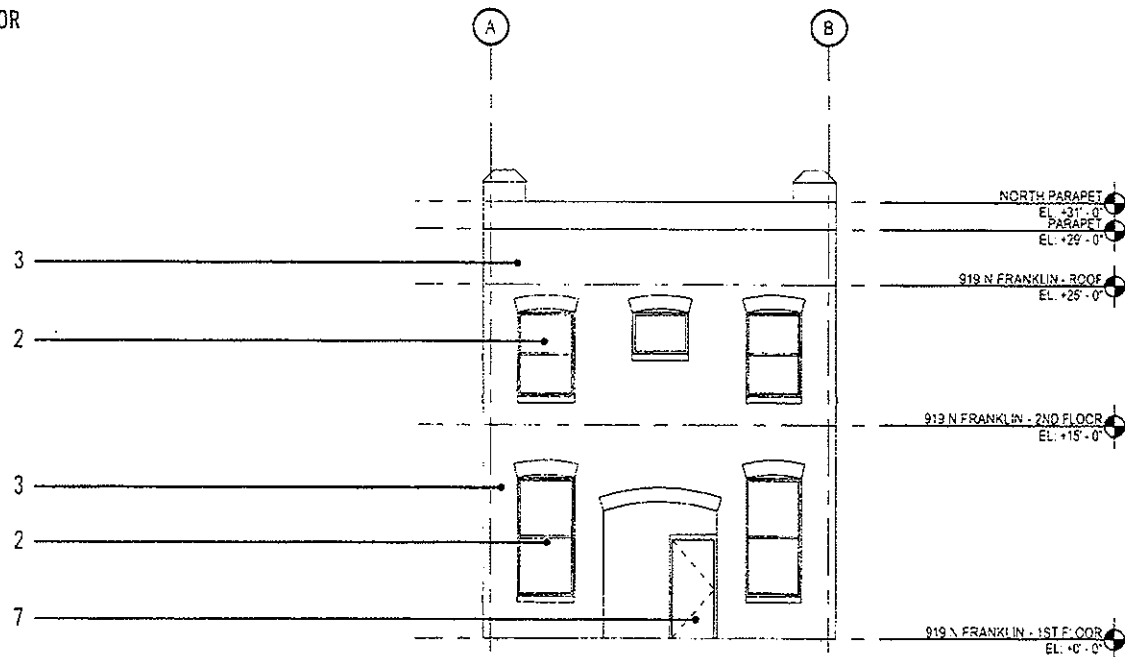
5/26/2021

REPORTS OF COMMITTEES

31077

MATERIAL LEGEND

1. GLASS AND ALUMINUM STOREFRONT
2. NEW PUNCHED WINDOW IN EXISTING OPENING
3. EXISTING MASONRY
4. EXISTING STEEL LINTEL
5. EXISTING TERRA COTTA TILE DETAILING
6. PARAPET CAP
7. METAL DOOR



SUB-AREA: F

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 221 W WALTON STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

SOUTH ELEVATION

FINAL FOR
PUBLICATION

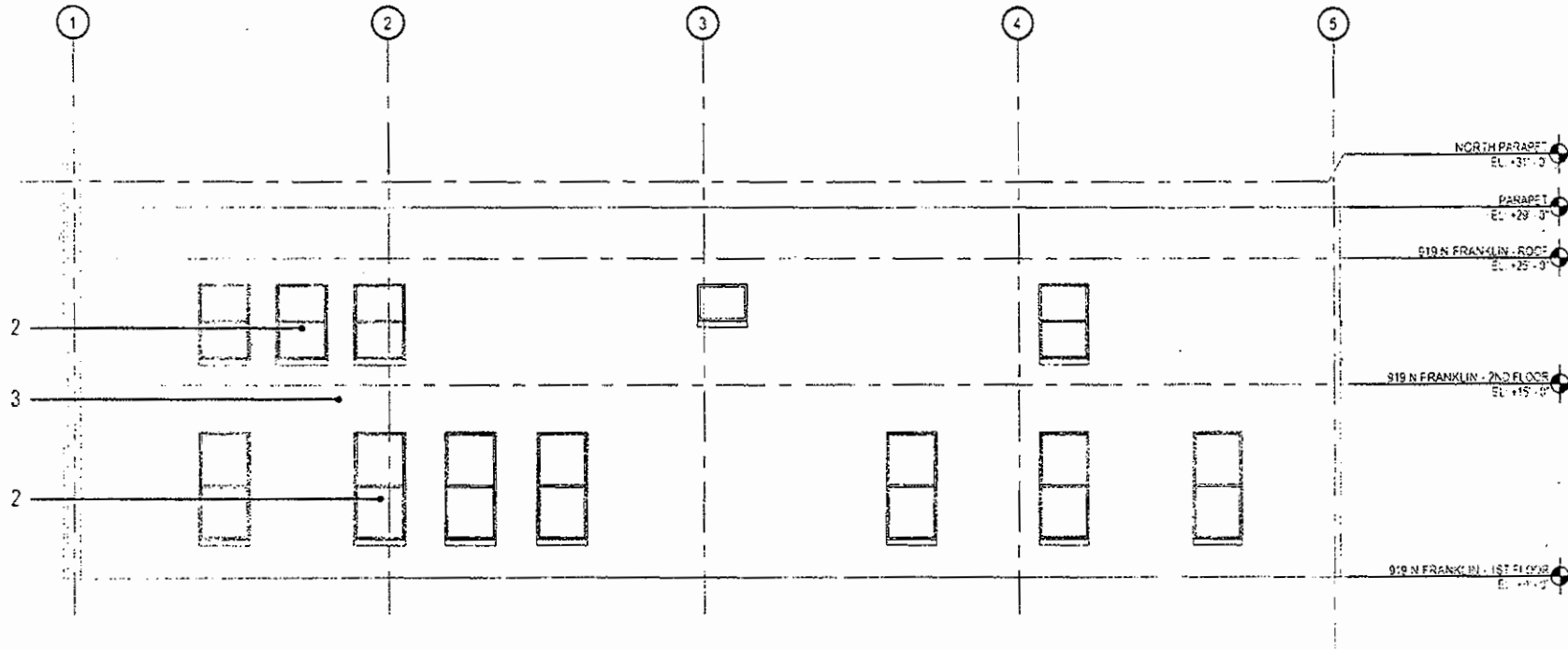
5/26/2021

REPORTS OF COMMITTEES

31079

MATERIAL LEGEND

1. GLASS AND ALUMINUM STOREFRONT
2. NEW PUNCHED WINDOW IN EXISTING OPENING
3. EXISTING MASONRY
4. EXISTING STEEL LINTEL
5. EXISTING TERRA COTTA TILE DETAILING
6. PARAPET CAP
7. METAL DOOR



SUB-AREA: F

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 221 W WALTON STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

WEST ELEVATION

SITE/GROUND FLOOR PLAN

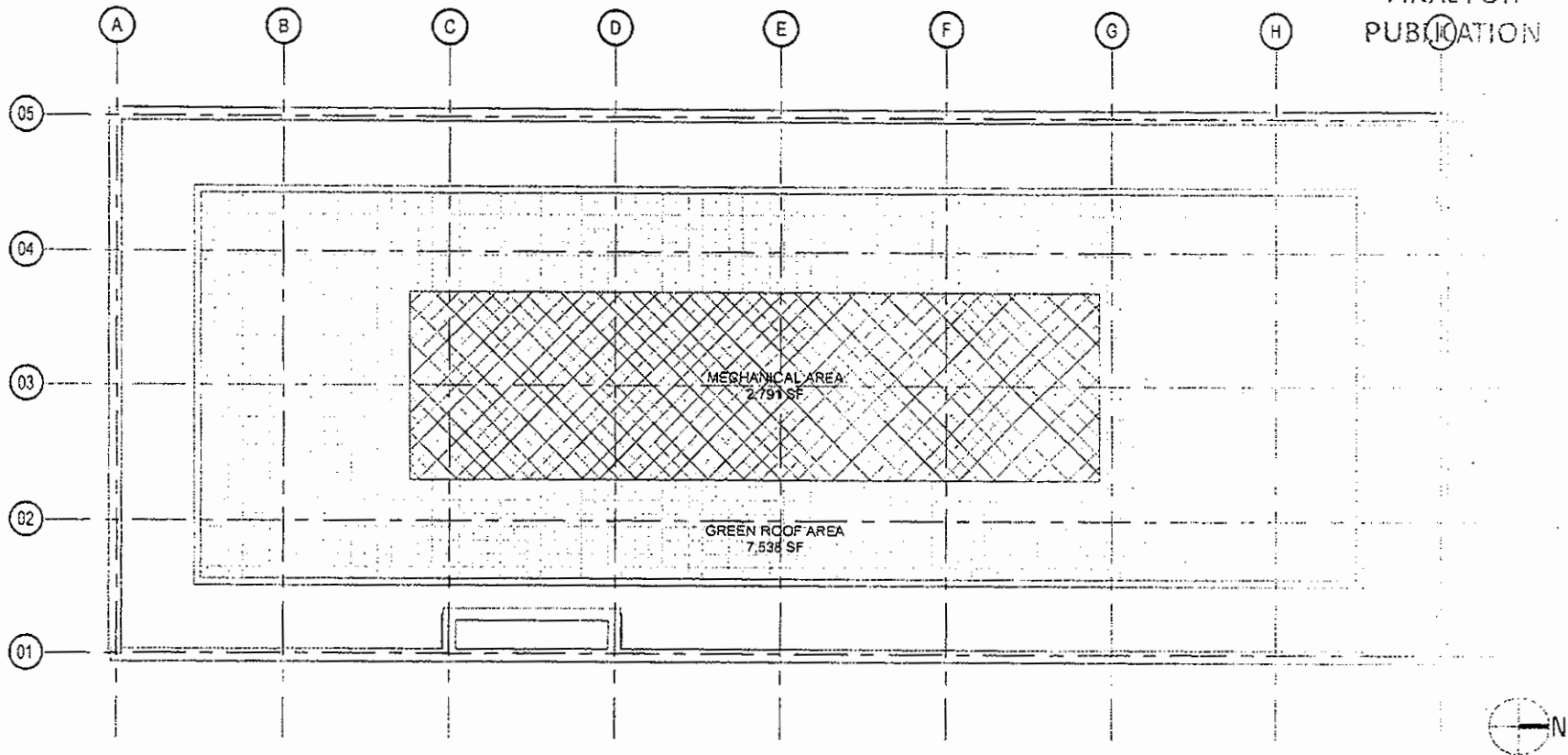
5/26/2021

REPORTS OF COMMITTEES

31081

SUBAREA GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
878 N WELLS	15054	4577	10477		3245
232 W CHESTNUT	15932	2791	13141		7538
871 N FRANKLIN	12370	1540	10830		6965
920 N WELLS	16769	4006	12769		3559
909 N FRANKLIN	15645	4078	11567		9009
919 N FRANKLIN	5102	1574	3528		2958
TOTAL	80822	18460	65412	33206	33274

FINAL FOR
PUBLICATION



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315 and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

232 W CHESTNUT - GREEN ROOF PLAN

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PUBLICATION

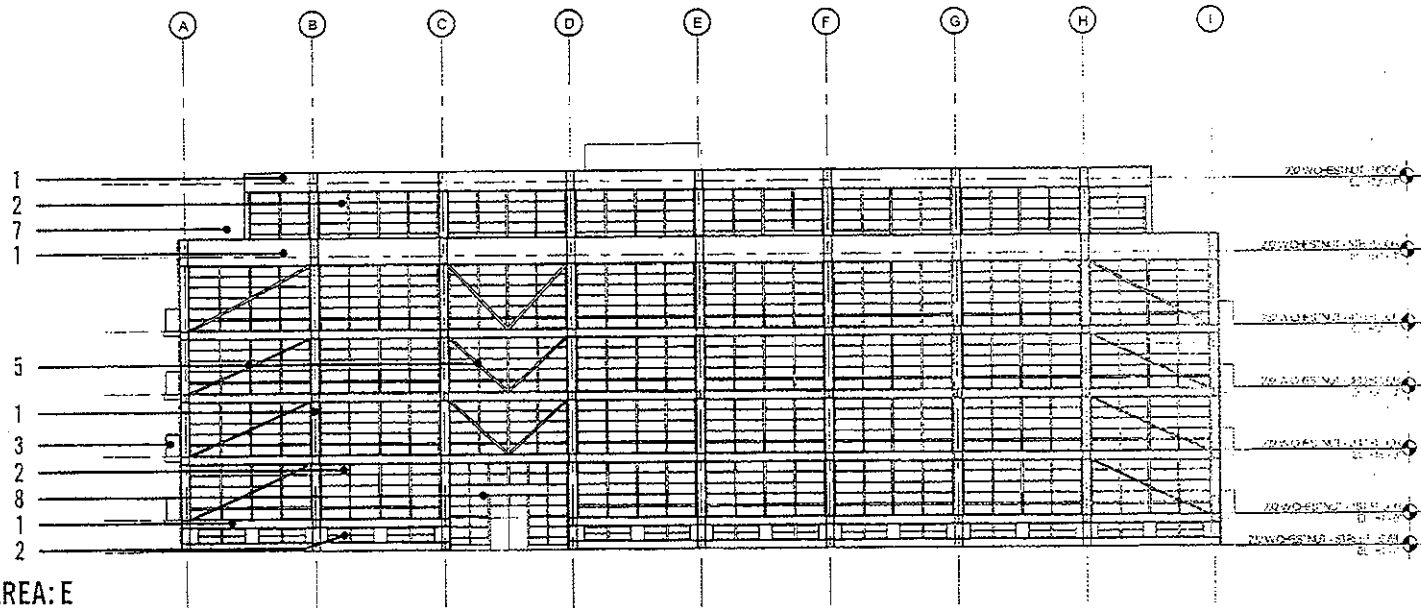
31082

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

ATERIAL LEGEND

- EXTERIOR ALUMINUM PANELS
- GLASS AND ALUMINUM WINDOW WALL SYSTEM AND OPAQUE
- SPANDREL GLASS PANELS WITH ALUMINUM AND GLASS
- GUARDRAIL
- RESIDENTIAL BALCONY WITH ALUMINUM AND GLASS GUARD-
RAIL
- EXTERIOR ALUMINUM PANELS
- ALUMINUM CLAD ARCHITECTURAL STEEL BRACING
- MECHANICAL SCREEN TO MATCH WINDOW WALL SYSTEM
- RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS GUARDRAIL
- EXTERIOR ALUMINUM CANOPY



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 232 W CHESTNUT STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

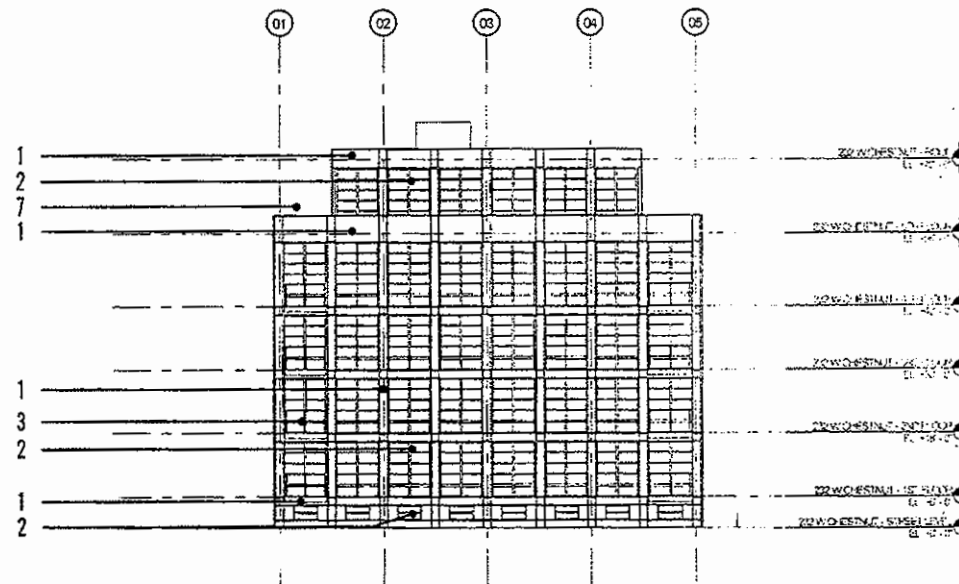
SCALE: 1/32"=1'

SOUTH ELEVATION

5/26/2021

31083

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO ADDRESS OF PROJECT: 232 W CHESTNUT STREET INTRODUCTION: 03-24-2021 PLAN COMMISSION: 05-20-2021 SCALE: 1/32"=1'			EAST ELEVATION
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EAST ELEVATION

FINAL FOR
PUBLICATION

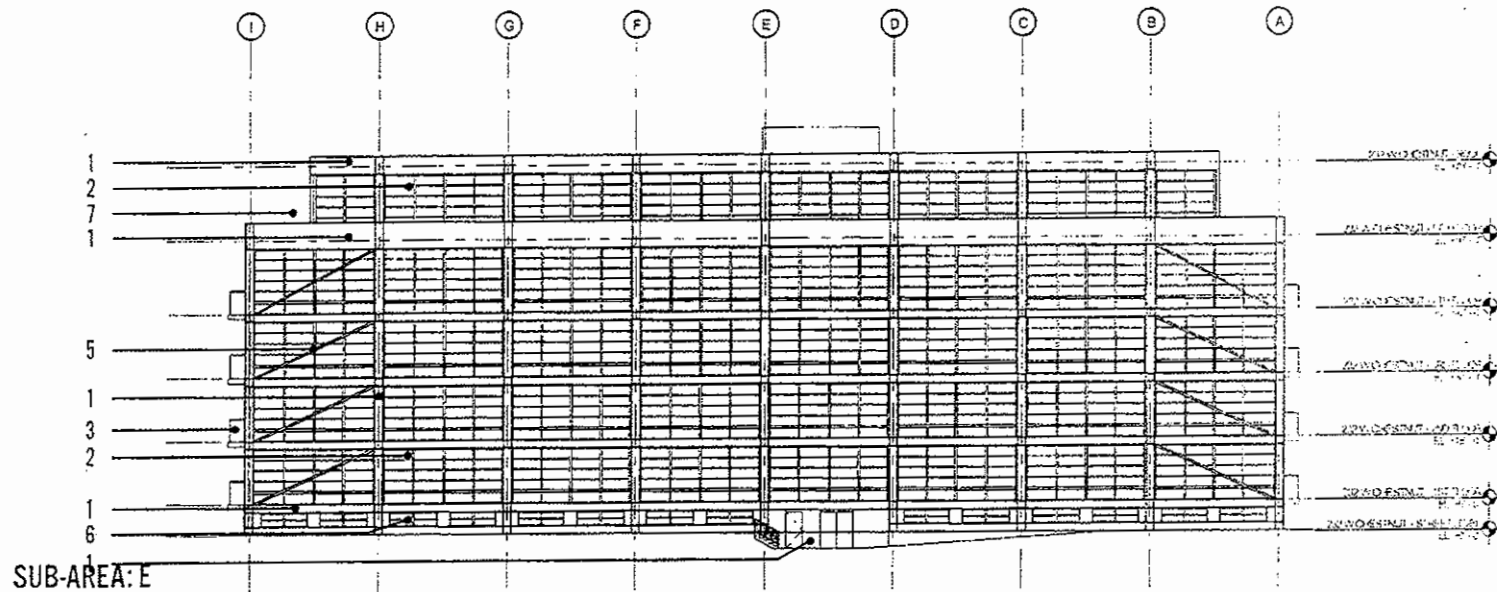
31084

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

MATERIAL LEGEND

- EXTERIOR ALUMINUM PANELS
- GLASS AND ALUMINUM WINDOW WALL SYSTEM AND OPAQUE
- SPANDREL GLASS PANELS WITH ALUMINUM AND GLASS
- GUARDRAIL
- RESIDENTIAL BALCONY WITH ALUMINUM AND GLASS GUARDRAIL
- EXTERIOR ALUMINUM PANELS
- ALUMINUM CLAD ARCHITECTURAL STEEL BRACING
- MECHANICAL SCREEN TO MATCH WINDOW WALL SYSTEM
- RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS GUARDRAIL
- EXTERIOR ALUMINUM CANOPY



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 232 W CHESTNUT STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

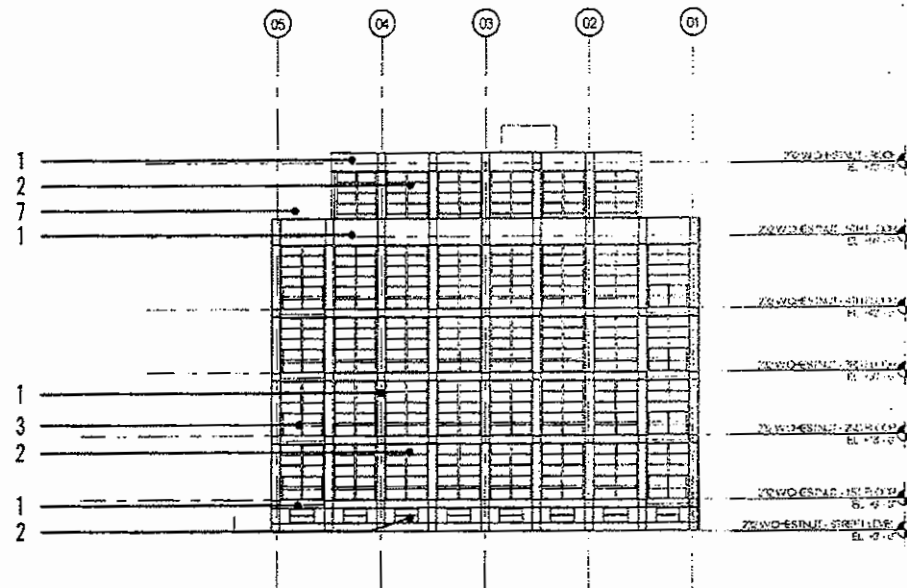
NORTH ELEVATION

5/26/2021

REPORTS OF COMMITTEES

31085

EXTERIOR ALUMINUM PANELS
GLASS AND ALUMINUM WINDOW WALL SYSTEM AND OPAQUE
SPANDREL GLASS PANELS WITH ALUMINUM AND GLASS
GUARDRAIL
RESIDENTIAL BALCONY WITH ALUMINUM AND GLASS GUARD-
RAIL
EXTERIOR ALUMINUM PANELS
ALUMINUM CLAD ARCHITECTURAL STEEL BRACING
MECHANICAL SCREEN TO MATCH WINDOW WALL SYSTEM
RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS GUARDRAIL
EXTERIOR ALUMINUM CANOPY



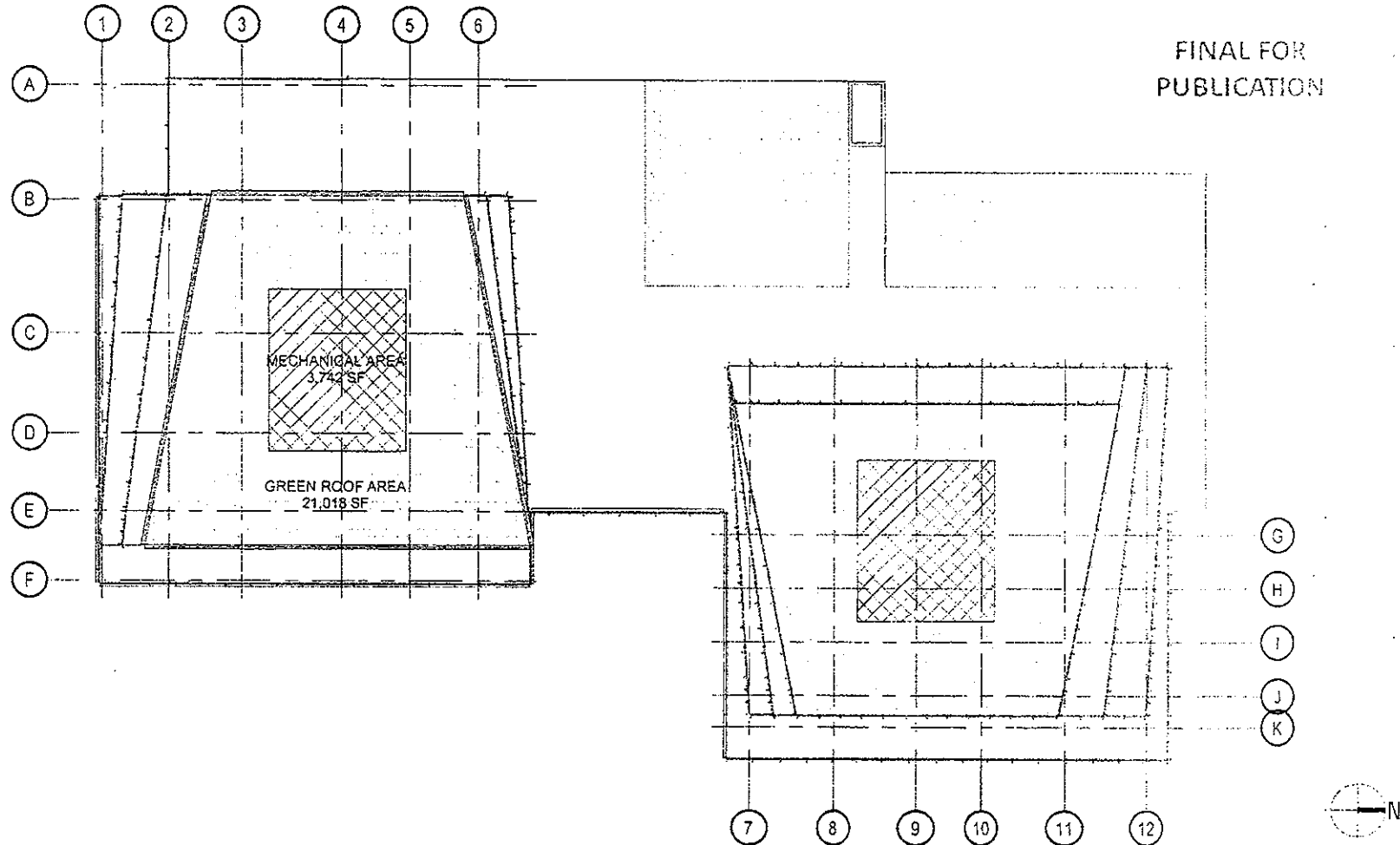
SUB-AREA: E

WEST ELEVATION



SITE/GROUND FLOOR PLAN

SUB AREA B GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
312 W WALTON	33156	37024	31132		15504
300-310 W OAK	45634	3742	41892		21018
TOTAL	78790	5766	73024	36512	36522



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315 and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

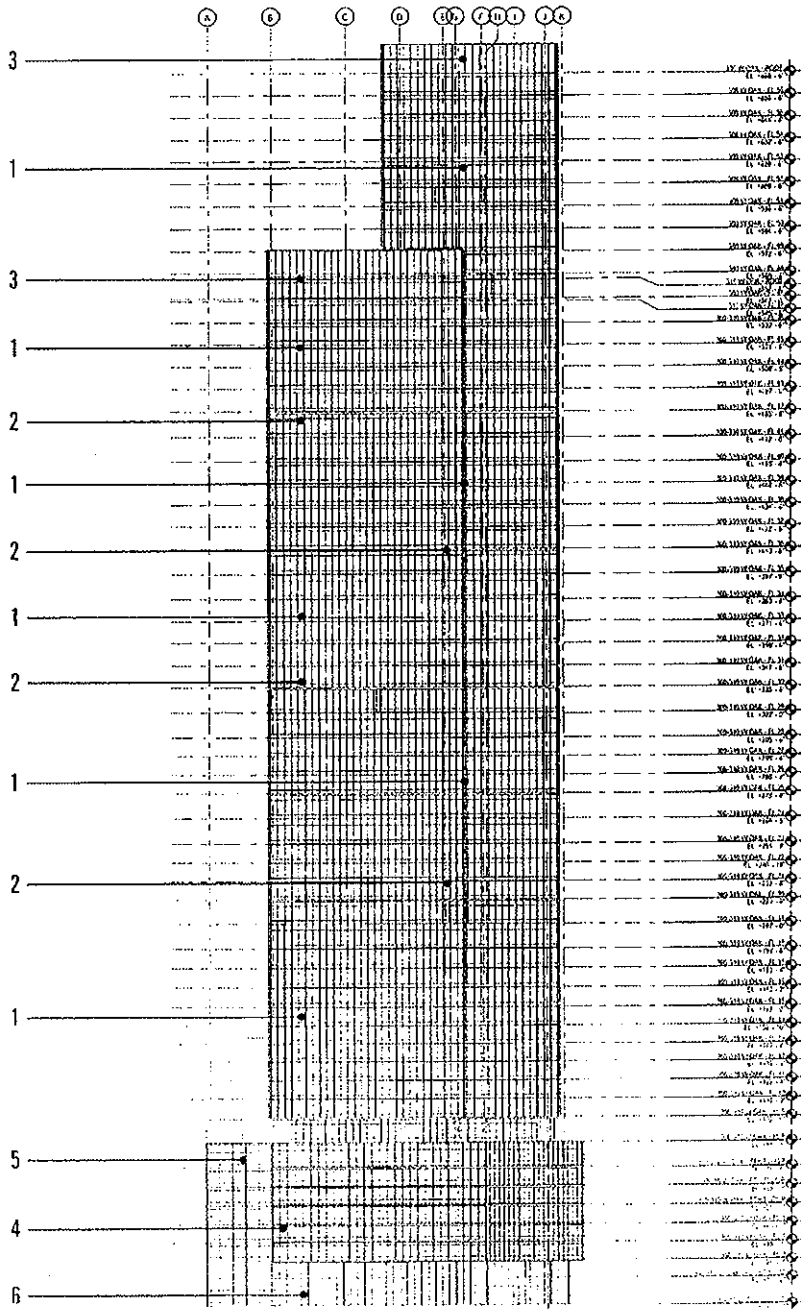
300-310 W. OAK - GREEN ROOF PLAN

5/26/2021

REPORTS OF COMMITTEES

31087

SERIAL LEGEND
GLASS AND ALUMINUM WINDOW WALL SYSTEM
AND OPAQUE SPANDREL GLASS PANELS
RESIDENTIAL TERRACE WITH ALUMINUM AND
GLASS GUARDRAIL
MECHANICAL SCREEN TO MATCH WINDOW WALL
PODIUM GLASS AND ALUMINUM WINDOW WALL
SYSTEM AND OPAQUE SPANDREL GLASS PANELS
AMENITY TERRACE WITH ALUMINUM AND GLASS
STRUCTURALLY GLAZED RETAIL STOREFRONT
METAL PANEL CLAD WALL
PERFORATED METAL SCREEN WITH VARYING
DENSITY



SUB-AREA: B

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 300-310 W. OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

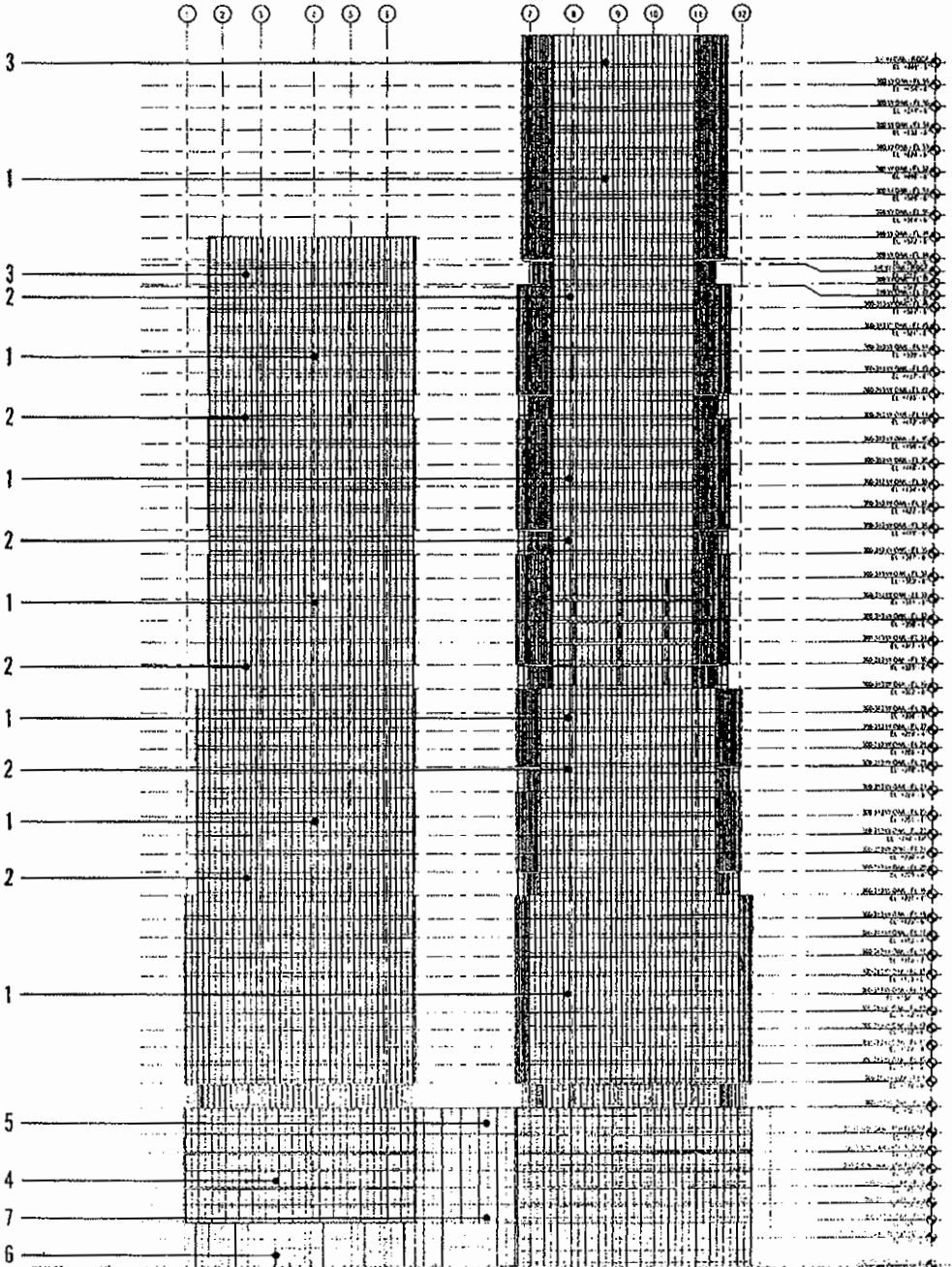
SCALE: 1/32"=1'

SOUTHELEVATION

ATERIAL LEGEND

GLASS AND ALUMINUM WINDOW WALL SYSTEM
AND OPAQUE SPANDREL GLASS PANELS
RESIDENTIAL TERRACE WITH ALUMINUM AND
GLASS GUARDRAIL
MECHANICAL SCREEN TO MATCH WINDOW WALL
PODIUM GLASS AND ALUMINUM WINDOW WALL
SYSTEM AND OPAQUE SPANDREL GLASS PANELS
AMENITY TERRACE WITH ALUMINUM AND GLASS
STRUCTURALLY GLAZED RETAIL STOREFRONT
METAL PANEL CLAD WALL
PERFORATED METAL SCREEN WITH VARYING
DENSITY

FINAL FOR
PUBLICATION



SUB-AREA: B

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO
ADDRESS OF PROJECT: 300-310 W. OAK STREET
INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

EAST ELEVATION

ERIAL LEGEND

GLASS AND ALUMINUM WINDOW WALL SYSTEM
AND OPAQUE SPANDREL GLASS PANELS
RESIDENTIAL TERRACE WITH ALUMINUM AND
GLASS GARDEN
MECHANICAL SCREEN TO MATCH WINDOW WALL
PODIUM GLASS AND ALUMINUM WINDOW WALL
SYSTEM AND OPAQUE SPANDREL GLASS PANELS
AMENITY TERRACE WITH ALUMINUM AND GLASS
STRUCTURALLY GLAZED RETAIL STOREFRONT
METAL PANEL CLAD WALL
PERFORATED METAL SCREEN WITH VARYING
DENSITY

FINAL FOR
PUBLICATION



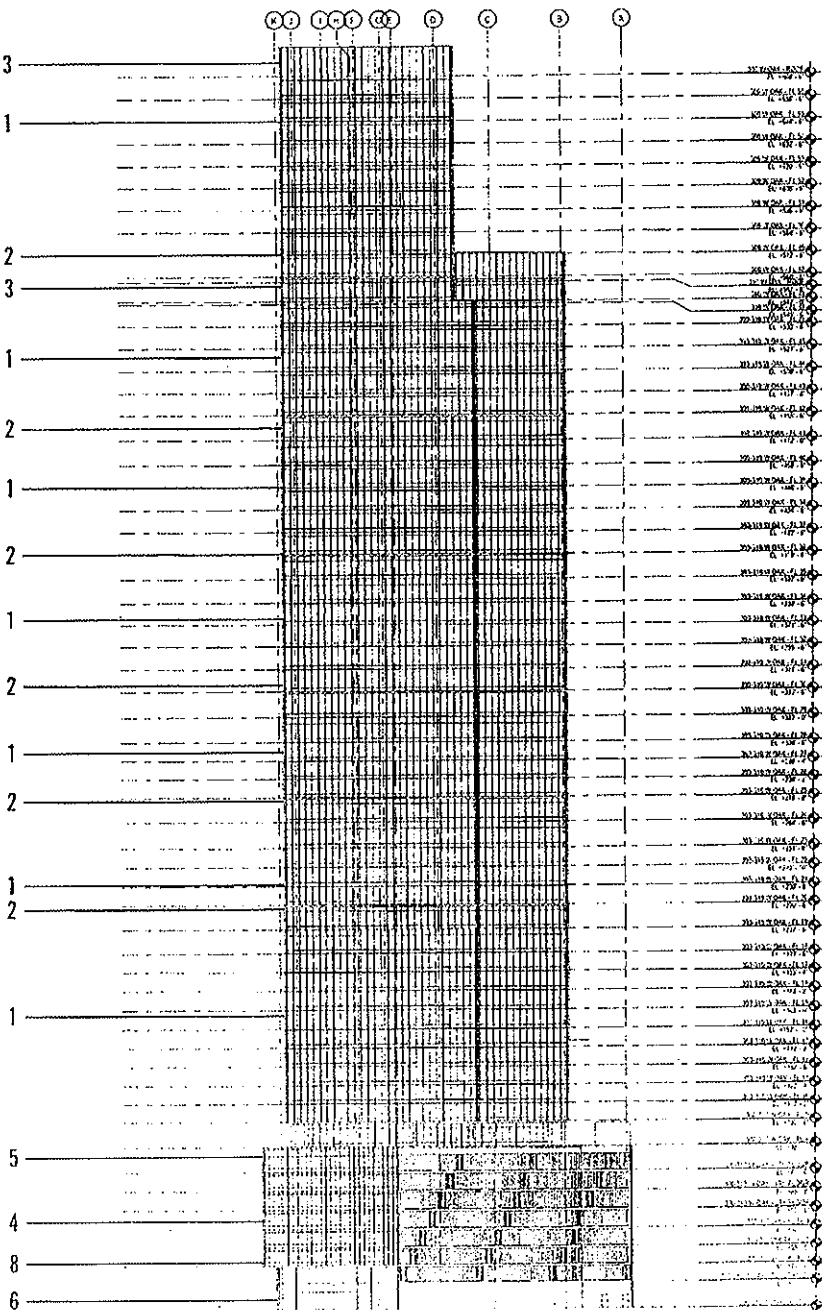
SUB-AREA: B

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO
ADDRESS OF PROJECT: 300-310 W. OAK STREET
INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

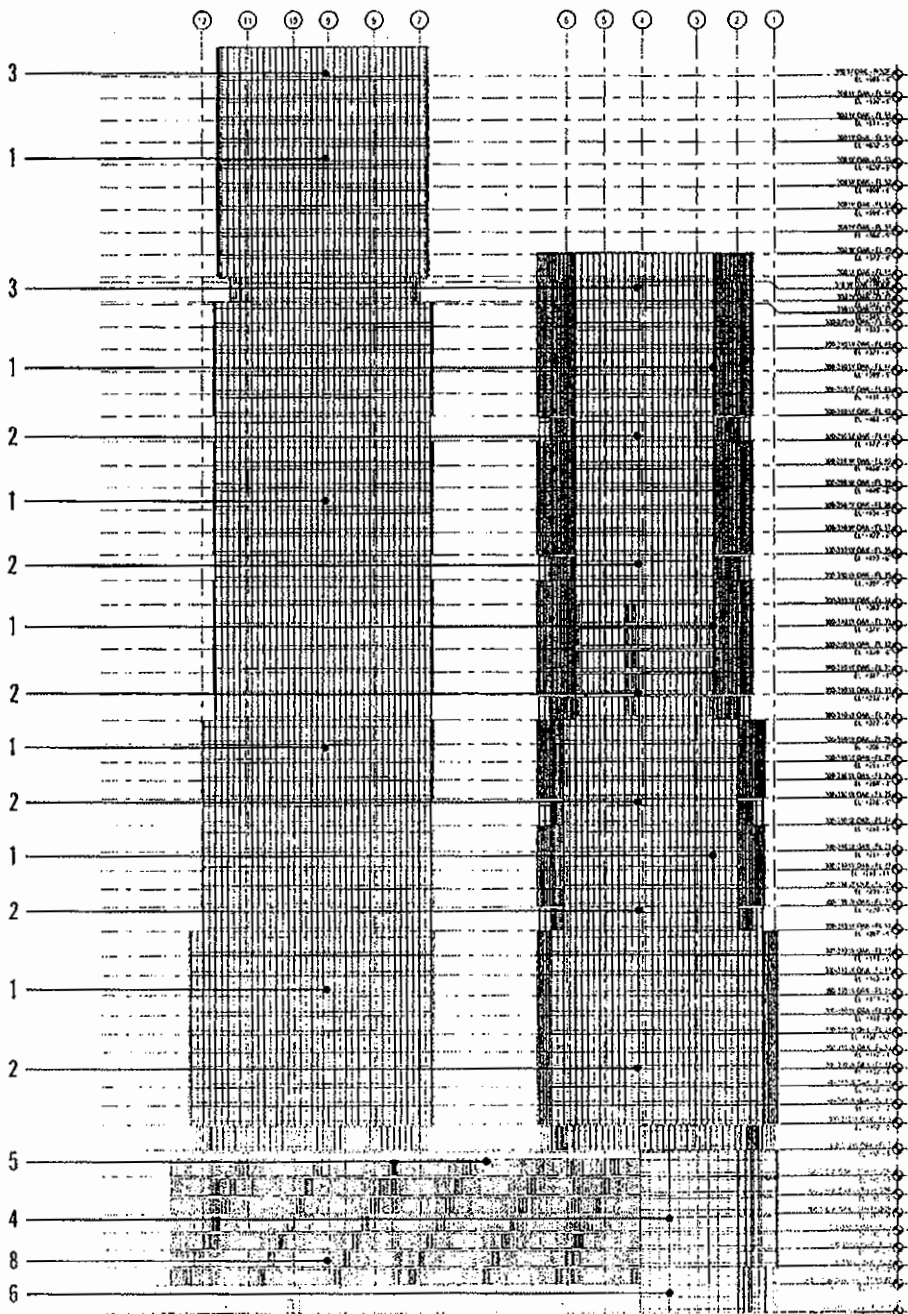
NORTH ELEVATION



MATERIAL LEGEND

- GLASS AND ALUMINUM WINDOW WALL SYSTEM
- AND OPAQUE SPANDREL GLASS PANELS
- RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS GUARDRAIL
- MECHANICAL SCREEN TO MATCH WINDOW WALL
- PODIUM GLASS AND ALUMINUM WINDOW WALL SYSTEM AND OPAQUE SPANDREL GLASS PANELS
- AMENITY TERRACE WITH ALUMINUM AND GLASS STRUCTURALLY GLAZED RETAIL STOREFRONT
- METAL PANEL CLAD WALL
- PERFORATED METAL SCREEN WITH VARYING DENSITY

FINAL FOR
PUBLICATION



SUB-AREA: B

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO
ADDRESS OF PROJECT: 300-310 W. OAK STREET
INTRODUCTION: 03-24-2021

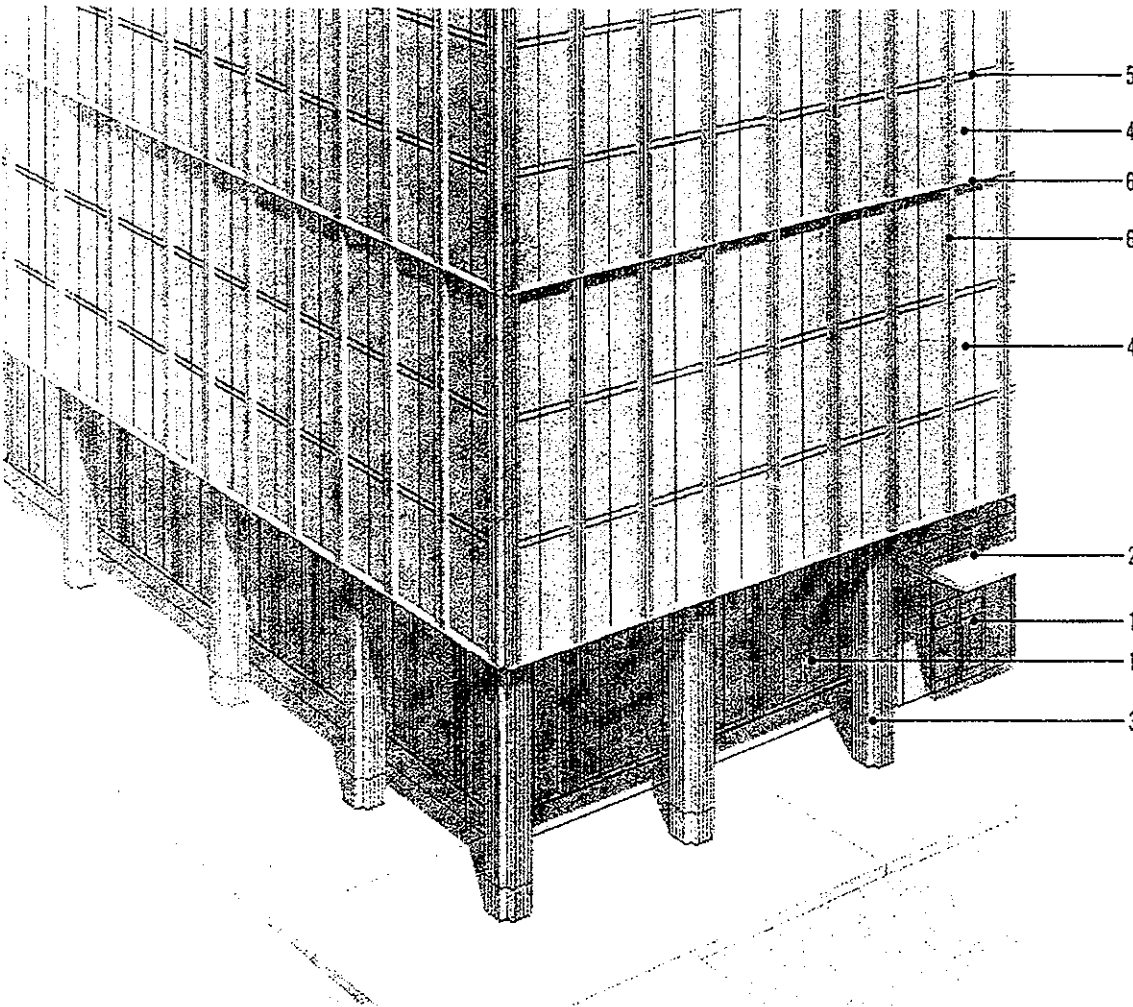
PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

WEST ELEVATION

MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. METAL CANOPY
3. METAL CLAD COLUMNS
4. CLEAR VISION GLASS AT WINDOW WALL SYSTEM
5. OPAQUE SPANDREL GLASS AT WINDOW WALL SYSTEM
6. EXTRUDED METAL MULLION AT WINDOW WALL SYSTEM
7. GLASS AND ALUMINUM GUARDRAIL TO MATCH WINDOW WALL SYSTEM
8. TERRACE WING WALLS TO MATCH WINDOW WALL SYSTEM
9. EXTENDED MULLIONS AT INSET TERRACE
10. GLASS AND ALUMINUM SCREEN TO MATCH WINDOW WALL
11. ROOF AND MECHANICAL EQUIPMENT TO BE CONCEALED BY GLASS AND ALUMINUM SCREEN



SUB-AREA: B

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 300-310 W. OAK STREET

INTRODUCTION: 03-24-2021

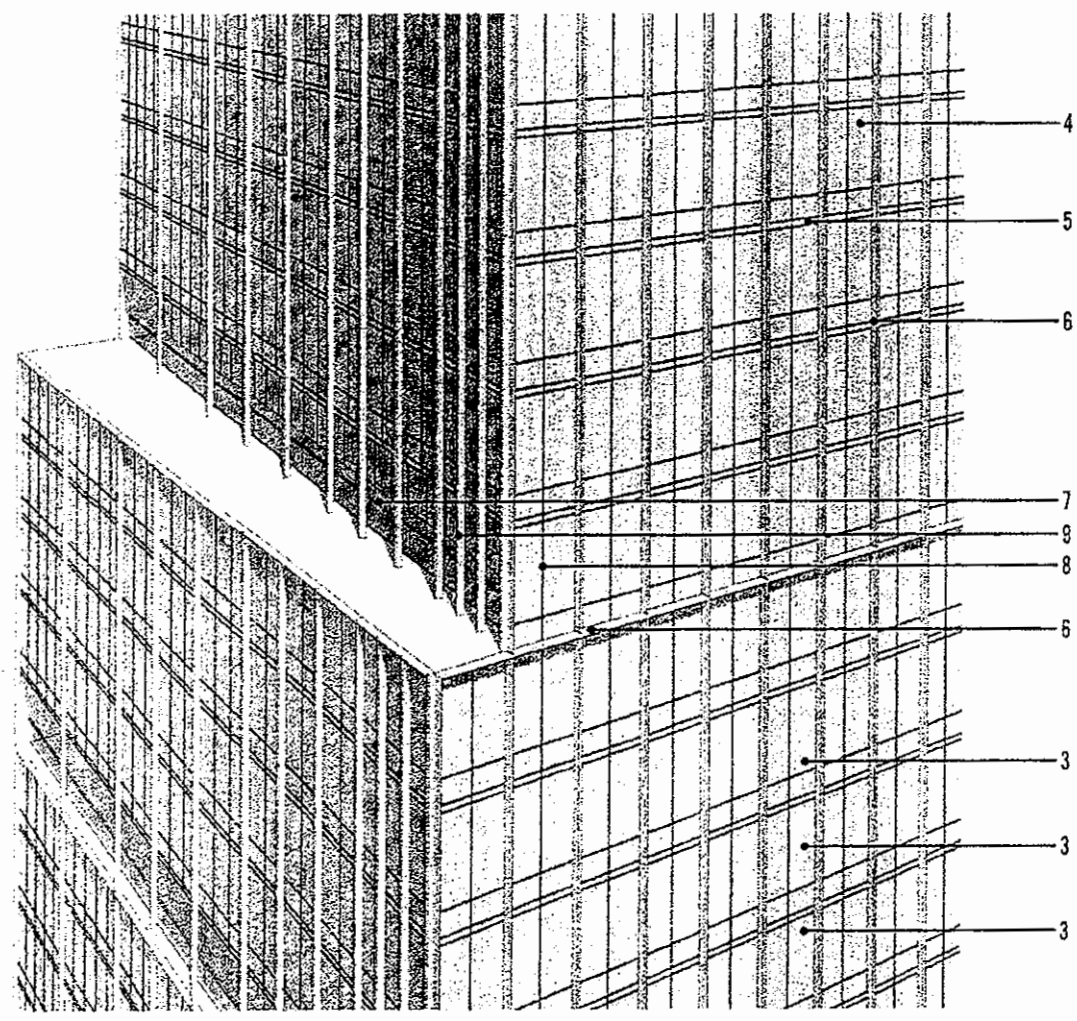
PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

AXON-BASE

MATERIAL LEGEND

- 1. STRUCTURALLY GLAZED RETAIL STOREFRONT
- 2. METAL CANOPY
- 3. METAL CLAD COLUMNS
- 4. CLEAR VISION GLASS AT WINDOW WALL SYSTEM
- 5. OPAQUE SPANDREL GLASS AT WINDOW WALL SYSTEM
- 6. EXTRUDED METAL MULLION AT WINDOW WALL SYSTEM
- 7. GLASS AND ALUMINUM GUARDRAIL TO MATCH WINDOW WALL SYSTEM
- 8. TERRACE WING WALLS TO MATCH WINDOW WALL SYSTEM
- 9. EXTENDED MULLIONS AT INSET TERRACE
- 10. GLASS AND ALUMINUM SCREEN TO MATCH WINDOW WALL
- 11. ROOF AND MECHANICAL EQUIPMENT TO BE CONCEALED BY GLASS AND ALUMINUM SCREEN



SUB-AREA: B

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			AXON - MIDDLE
ADDRESS OF PROJECT: 300-310 W. OAK STREET			
INTRODUCTION: 03-24-2021	PLAN COMMISSION: 05-20-2021	SCALE: N.T.S.	

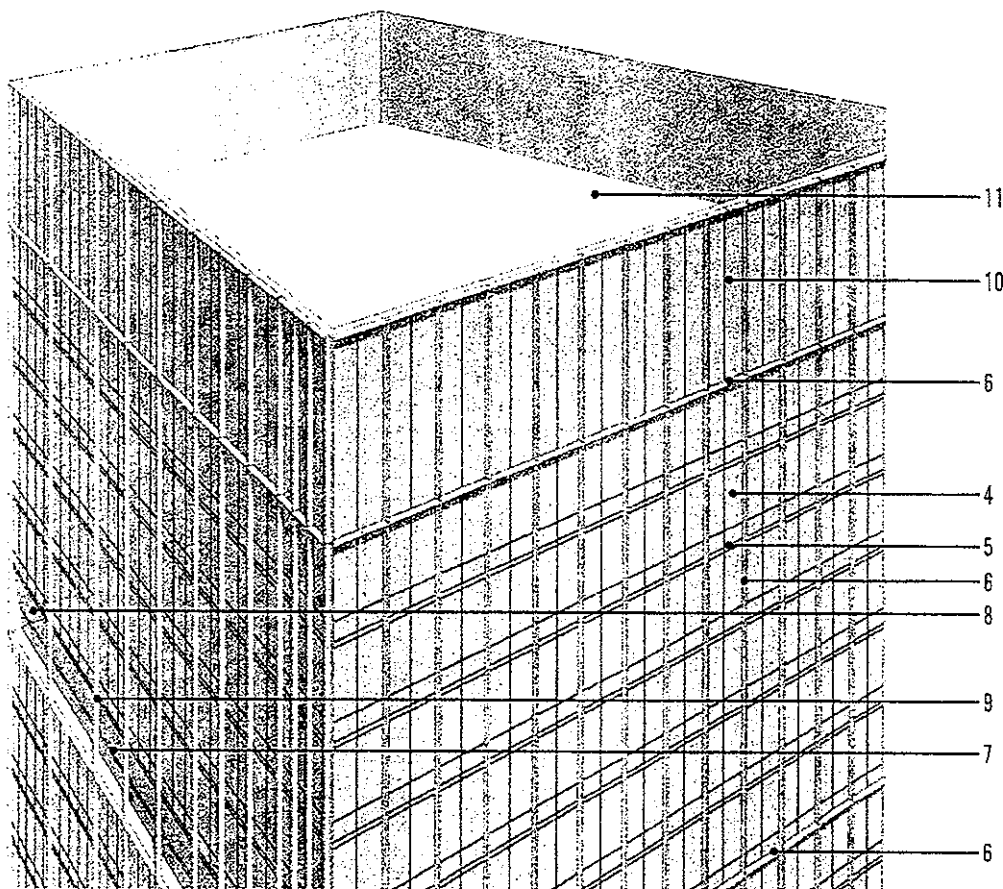
5/26/2021

REPORTS OF COMMITTEES

31093

FINAL FOR
PUBLICATION
MATERIAL LEGEND

1. STRUCTURALLY GLAZED RETAIL STOREFRONT
2. METAL CANOPY
3. METAL CLAD COLUMNS
4. CLEAR VISION GLASS AT WINDOW WALL SYSTEM
5. OPAQUE SPANDREL GLASS AT WINDOW WALL SYSTEM
6. EXTRUDED METAL MULLION AT WINDOW WALL SYSTEM
7. GLASS AND ALUMINUM GUARDRAIL TO MATCH WINDOW WALL SYSTEM
8. TERRACE WING WALLS TO MATCH WINDOW WALL SYSTEM
9. EXTENDED MULLIONS AT INSET TERRACE
10. GLASS AND ALUMINUM SCREEN TO MATCH WINDOW WALL
11. ROOF AND MECHANICAL EQUIPMENT TO BE CONCEALED BY GLASS AND ALUMINUM SCREEN



SUB-AREA: B

31094

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

AXON · TOP

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 300-310 W. OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

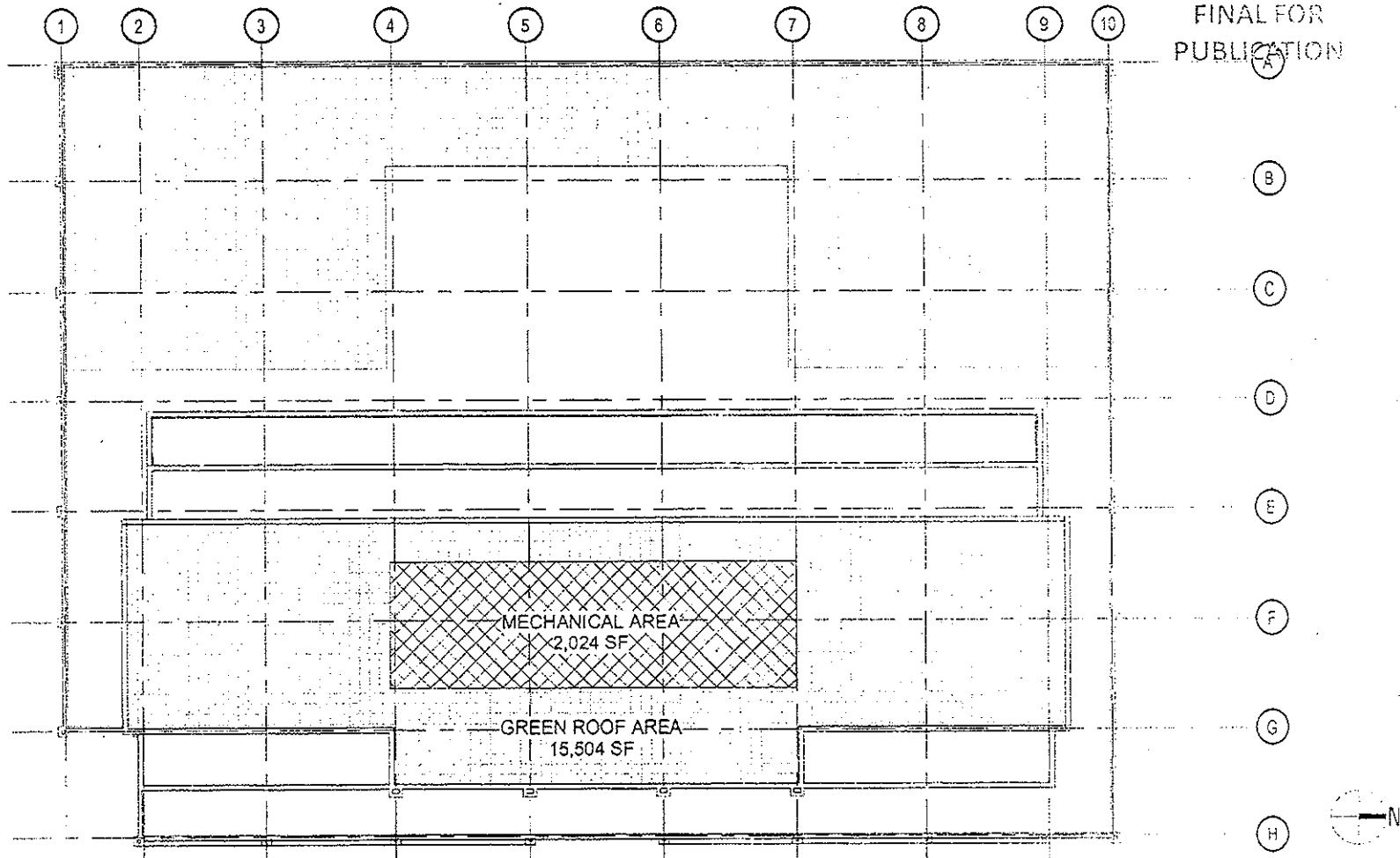
SCALE: N.T.S.

REPORTS OF COMMITTEES



31095

SUB AREA B GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
312 W WALTON	33156	2024	31132		15504
300-310 W OAK	45654	3742	41892		21018
TOTAL	78790	5766	73024	36512	36522



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

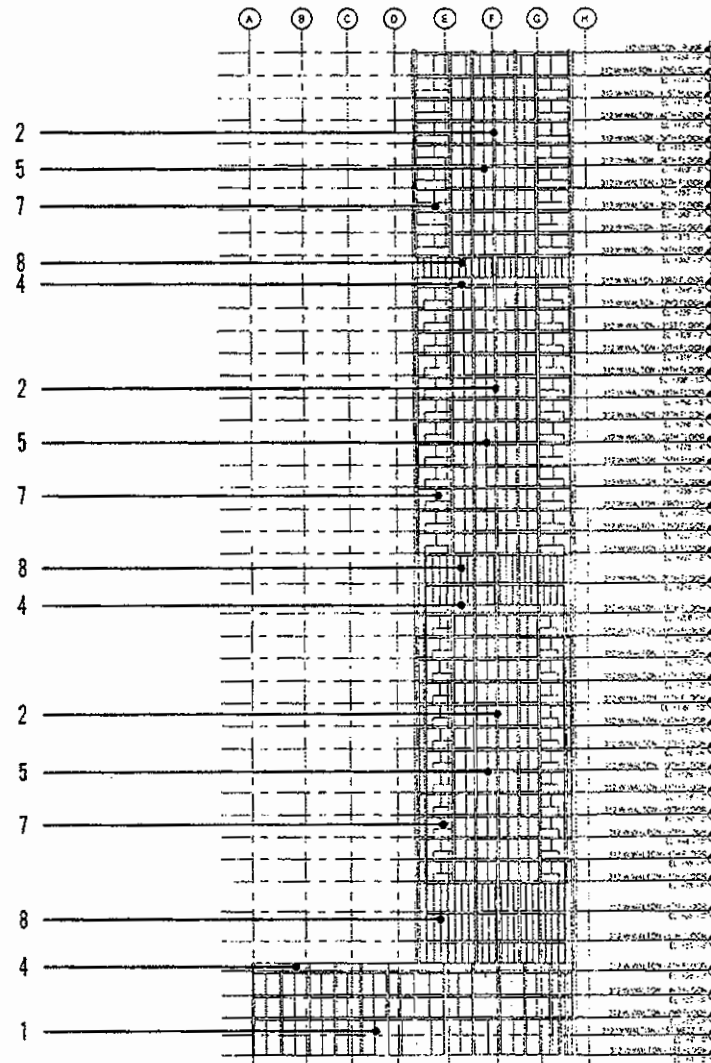
SCALE: N.T.S.

312 W. WALTON - GREEN ROOF PLAN

MATERIAL LEGEND

- PODIUM GLASS AND ALUMINUM WINDOW WALL SYSTEM AND OPAQUE SPANDREL GLASS PANELS
- METAL CLAD COLUMNS
- METAL PANELS
- AMENITY TERRACE WITH ALUMINUM AND GLASS GUARDRAIL
- GLASS AND ALUMINUM WINDOW WALL SYSTEM AND OPAQUE SPANDREL GLASS PANELS
- ALUMINUM CLAD ARCHITECTURAL STEEL BRACING
- RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS GUARDRAIL
- OUTDOOR AMENITY WITH TERRACE SETBACK WITH WALL SYSTEM

SUB-AREA: B



FINAL FOR
PUBLICATION

5/26/2021

REPORTS OF COMMITTEES

31097

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 312 W WALTON STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=60'

SOUTH ELEVATION

FINAL FOR
PUBLICATION

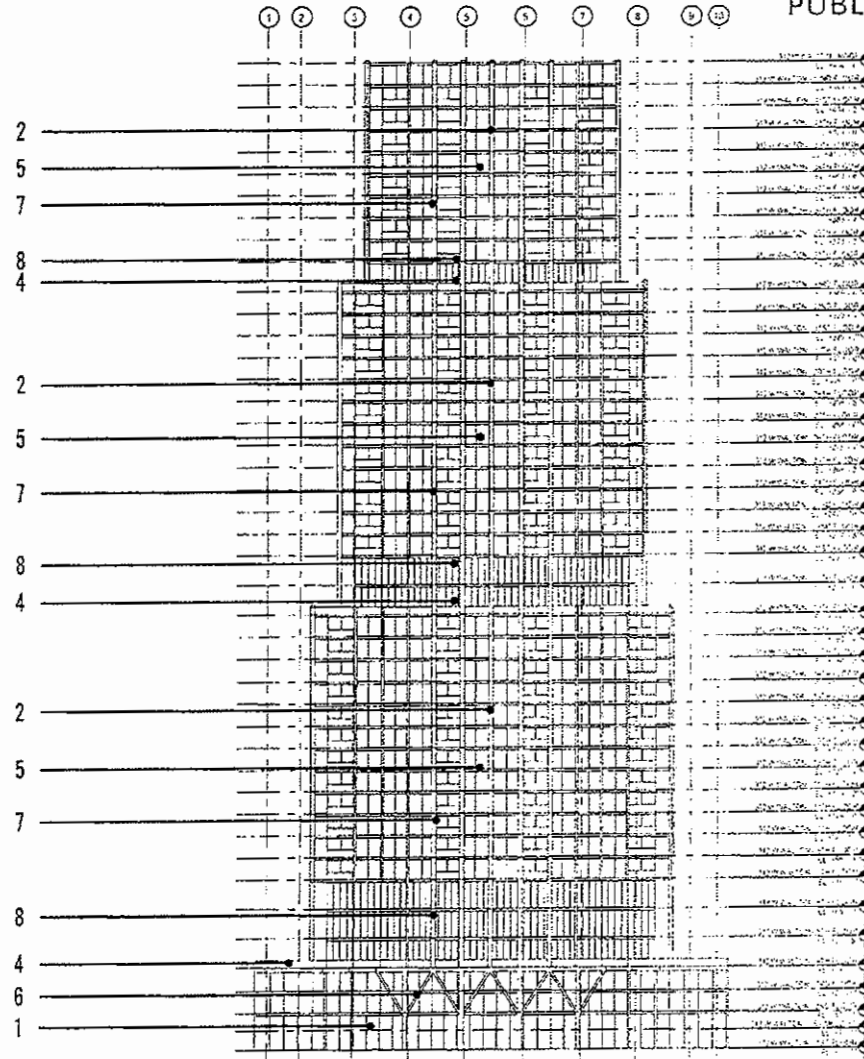
31098

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

SERIAL LEGEND

PODIUM GLASS AND ALUMINUM WINDOW WALL
SYSTEM AND OPAQUE SPANDREL GLASS PANELS
METAL CLAD COLUMNS
METAL PANELS
AMENITY TERRACE WITH ALUMINUM AND GLASS
GUARDRAIL
GLASS AND ALUMINUM WINDOW WALL SYSTEM AND
OPAQUE SPANDREL GLASS PANELS
ALUMINUM CLAD ARCHITECTURAL STEEL BRACING
RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS
GUARDRAIL
OUTDOOR AMENITY WITH TERRACE SETBACK WITH
WALL SYSTEM



SUB-AREA: B

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 312 W WALTON STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

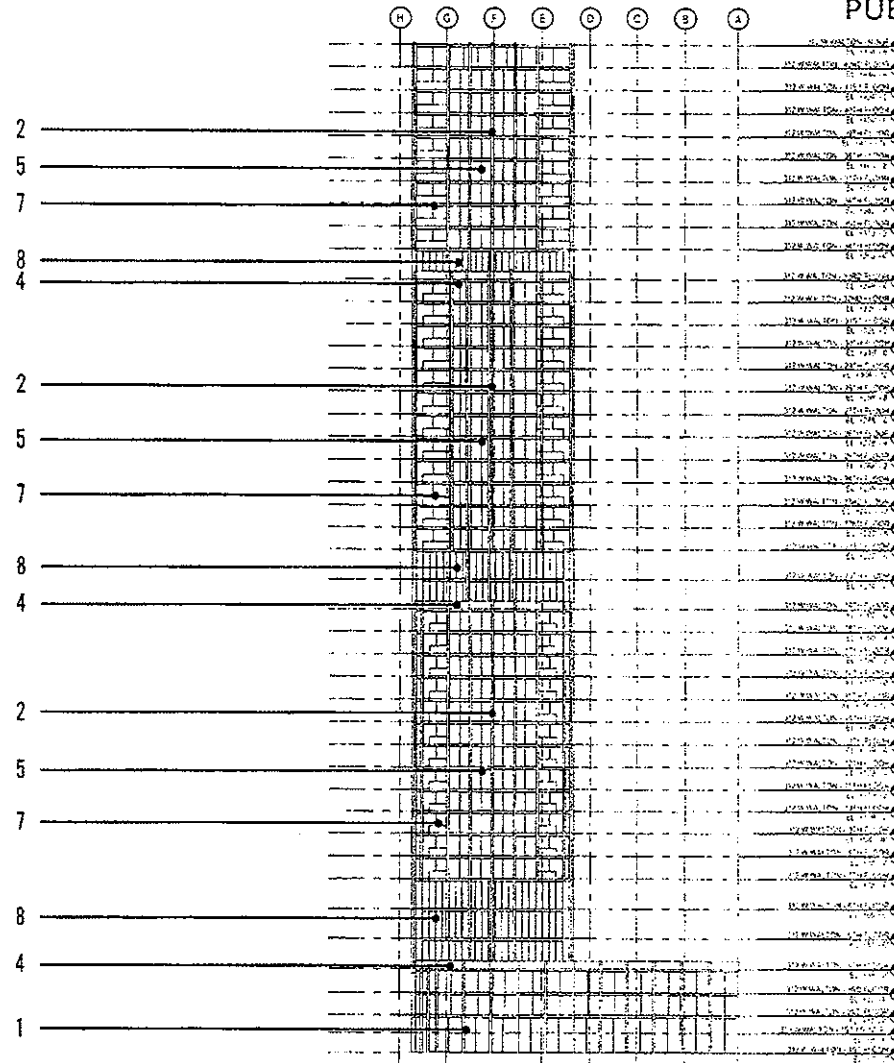
SCALE: 1"=60'

EAST ELEVATION

ATERIAL LEGEND

PODIUM GLASS AND ALUMINUM WINDOW WALL
SYSTEM AND OPAQUE SPANDREL GLASS PANELS
METAL CLAD COLUMNS
METAL PANELS
AMENITY TERRACE WITH ALUMINUM AND GLASS
GUARDRAIL
GLASS AND ALUMINUM WINDOW WALL SYSTEM AND
OPAQUE SPANDREL GLASS PANELS
ALUMINUM CLAD ARCHITECTURAL STEEL BRACING
RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS
GUARDRAIL
OUTDOOR AMENITY WITH TERRACE SETBACK WITH
WALL SYSTEM

SUB-AREA: B



FINAL FOR
PUBLICATION

5/26/2021

REPORTS OF COMMITTEES

31099

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 312 W WALTON STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=60'

NORTH ELEVATION

FINAL FOR
PUBLICATION

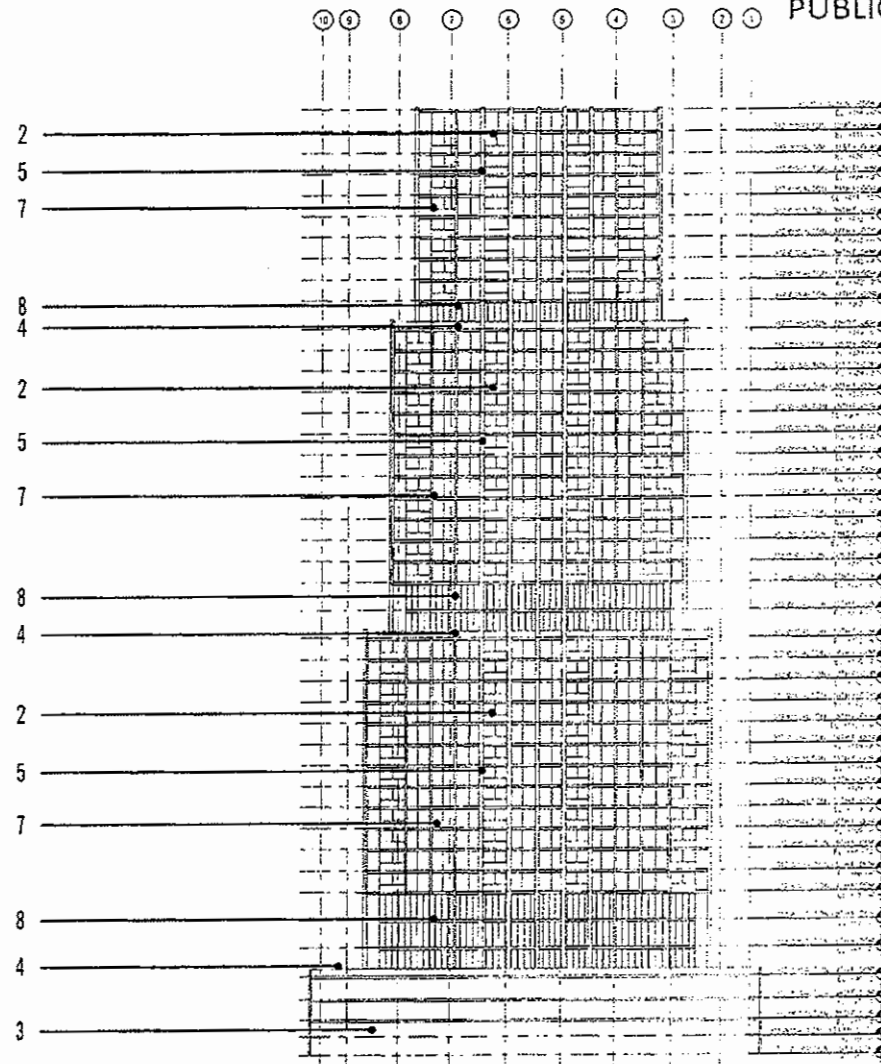
31100

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

MATERIAL LEGEND

PODIUM GLASS AND ALUMINUM WINDOW WALL
SYSTEM AND OPAQUE SPANDREL GLASS PANELS
METAL CLAD COLUMNS
METAL PANELS
AMENITY TERRACE WITH ALUMINUM AND GLASS
GUARDRAIL
GLASS AND ALUMINUM WINDOW WALL SYSTEM AND
OPAQUE SPANDREL GLASS PANELS
ALUMINUM CLAD ARCHITECTURAL STEEL BRACING
RESIDENTIAL TERRACE WITH ALUMINUM AND GLASS
GUARDRAIL
OUTDOOR AMENITY WITH TERRACE SETBACK WITH
WALL SYSTEM



SUB-AREA: B

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 312 W WALTON STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

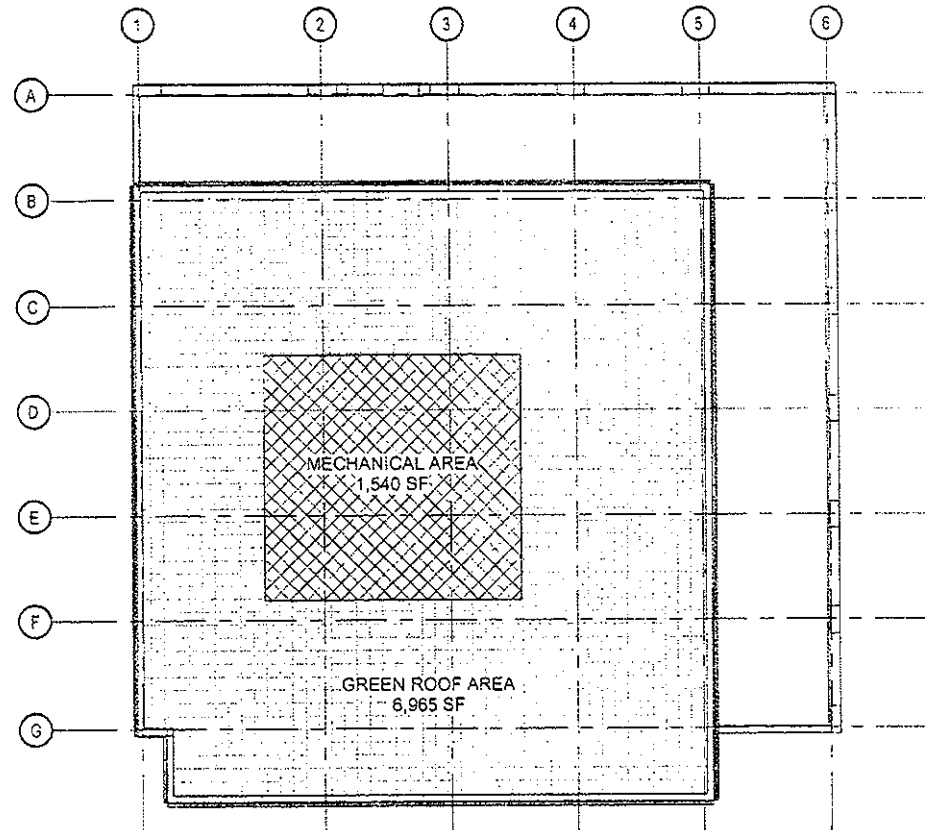
SCALE: 1"=60'

WEST ELEVATION

REPORTS OF COMMITTEES

SITE/GROUND FLOOR PLAN

SUB AREA E GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
878 N WELLS	15054	4577	10477		3245
232 W CHESTNUT	15932	2791	13141		7538
871 N FRANKLIN	12370	1540	10830		6965
920 N WELLS	16769	4000	12769		3559
909 N FRANKLIN	15645	1078	14567		9009
919 N FRANKLIN	5102	474	4628		2958
TOTAL	80872	14460	66412	33206	33274



FINAL FOR
PUBLICATION

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

871 N FRANKLIN - GREEN ROOF PLAN

FINAL FOR
PUBLICATION

5/26/2021

REPORTS OF COMMITTEES

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. NEW ALUMINUM WINDOWS WITH EXTERIOR APPLIED HISTORIC MUNTINS
3. CAST STONE COPING
4. NEW ALUMINUM STOREFRONT
5. METAL PANEL CLADDING
6. OVERHEAD METAL DOOR



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 871 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

WEST ELEVATION

31103

- MATERIAL LEGEND
- 1. EXISTING MASONRY CLADDING
 - 2. NEW ALUMINUM WINDOWS WITH EXTERIOR APPLIED HISTORIC MUNTINS
 - 3. CAST STONE COPING
 - 4. NEW ALUMINUM STOREFRONT
 - 5. METAL PANEL CLADDING
 - 6. OVERHEAD METAL DOOR



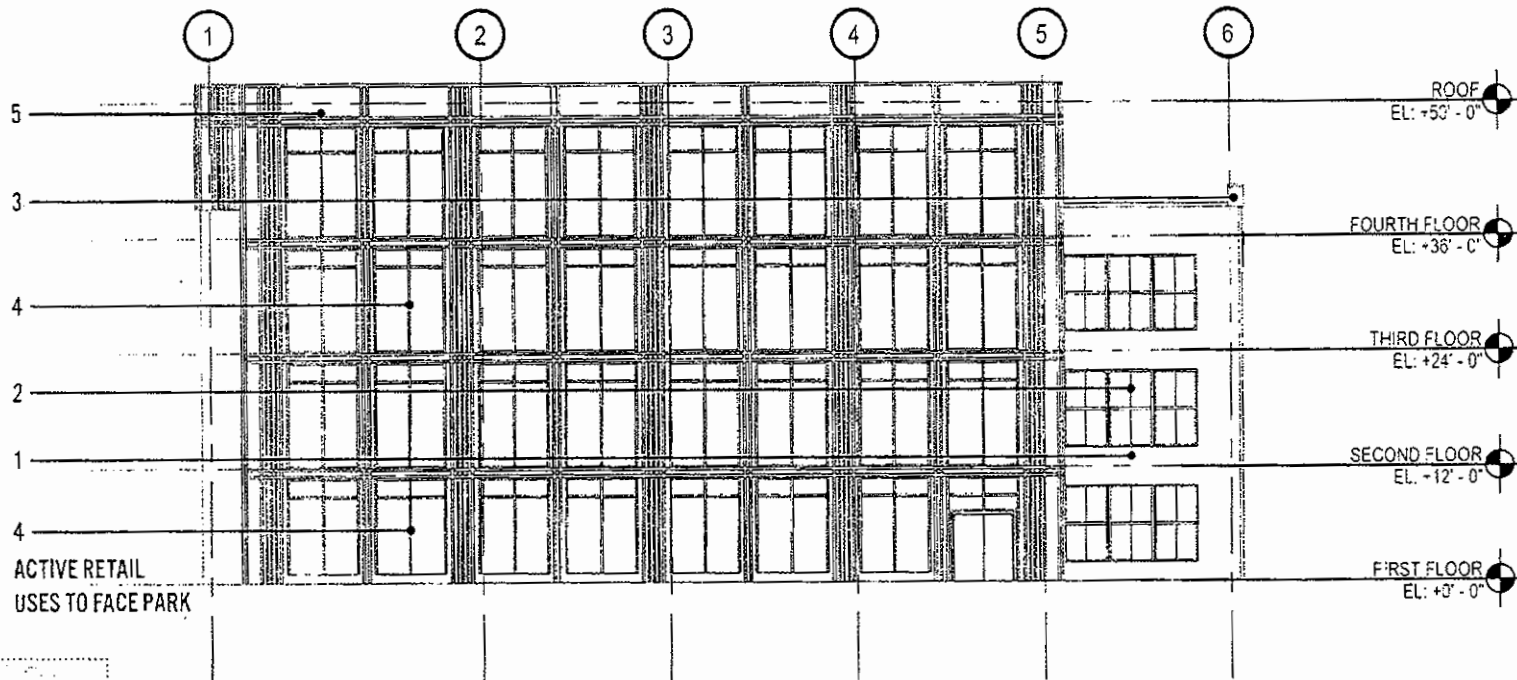
SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO			NORTH ELEVATION
ADDRESS OF PROJECT: 871 N FRANKLIN STREET			
INTRODUCTION: 03-24-2021	PLAN COMMISSION: 05-20-2021	SCALE: 1/16"=1'	

FINAL FOR
PUBLICATION

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. NEW ALUMINUM WINDOWS WITH EXTERIOR APPLIED HISTORIC MUNTINS
3. CAST STONE COPING
4. NEW ALUMINUM STOREFRONT
5. METAL PANEL CLADDING
6. OVERHEAD METAL DOOR



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 871 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

EAST ELEVATION

5/26/2021

REPORTS OF COMMITTEES

31105

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. NEW ALUMINUM WINDOWS WITH EXTERIOR APPLIED HISTORIC MUNTINS
3. CAST STONE COPING
4. NEW ALUMINUM STOREFRONT
5. METAL PANEL CLADDING
6. OVERHEAD METAL DOOR



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

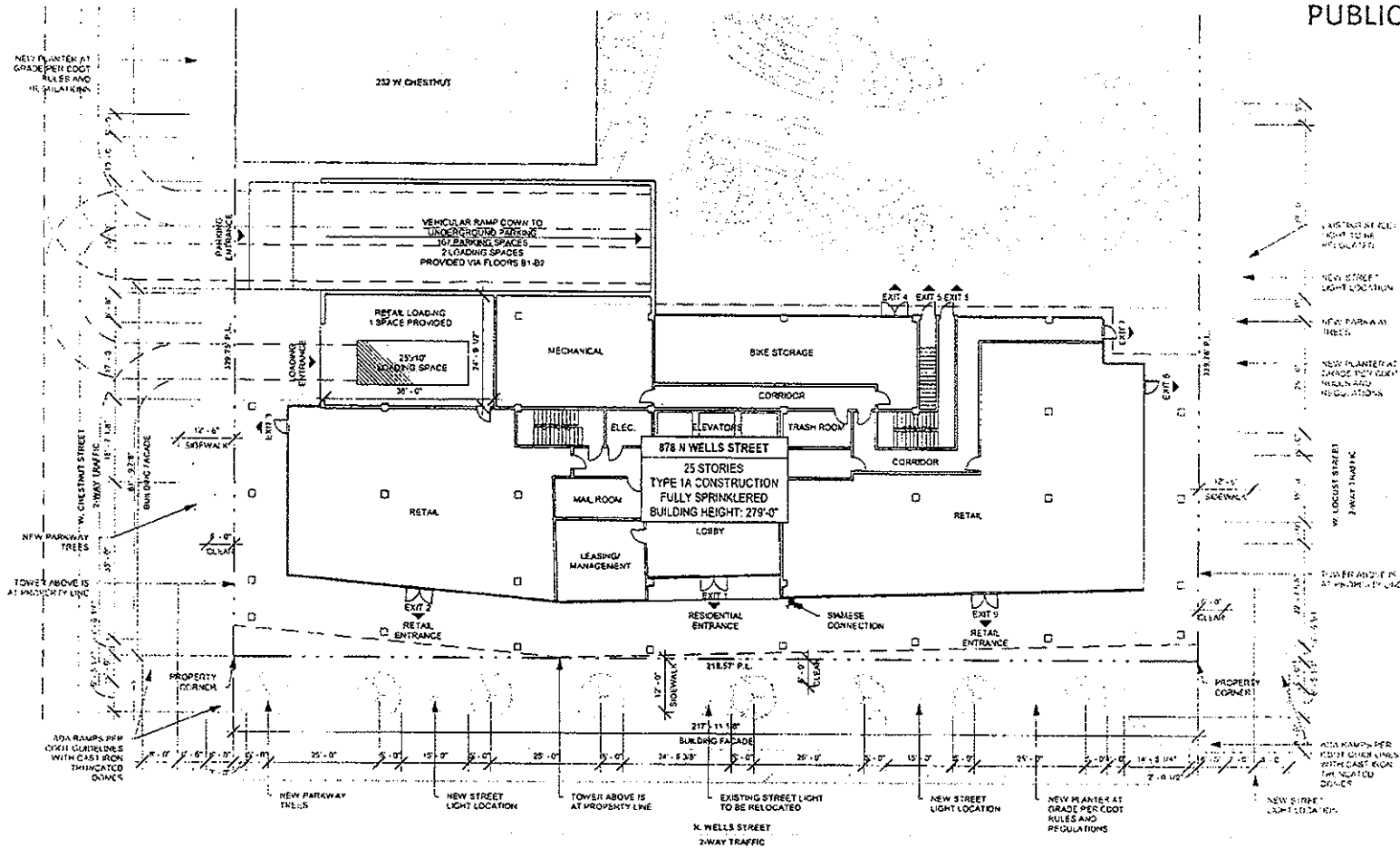
ADDRESS OF PROJECT: 871 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

SOUTH ELEVATION



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 878 N WELLS STREET

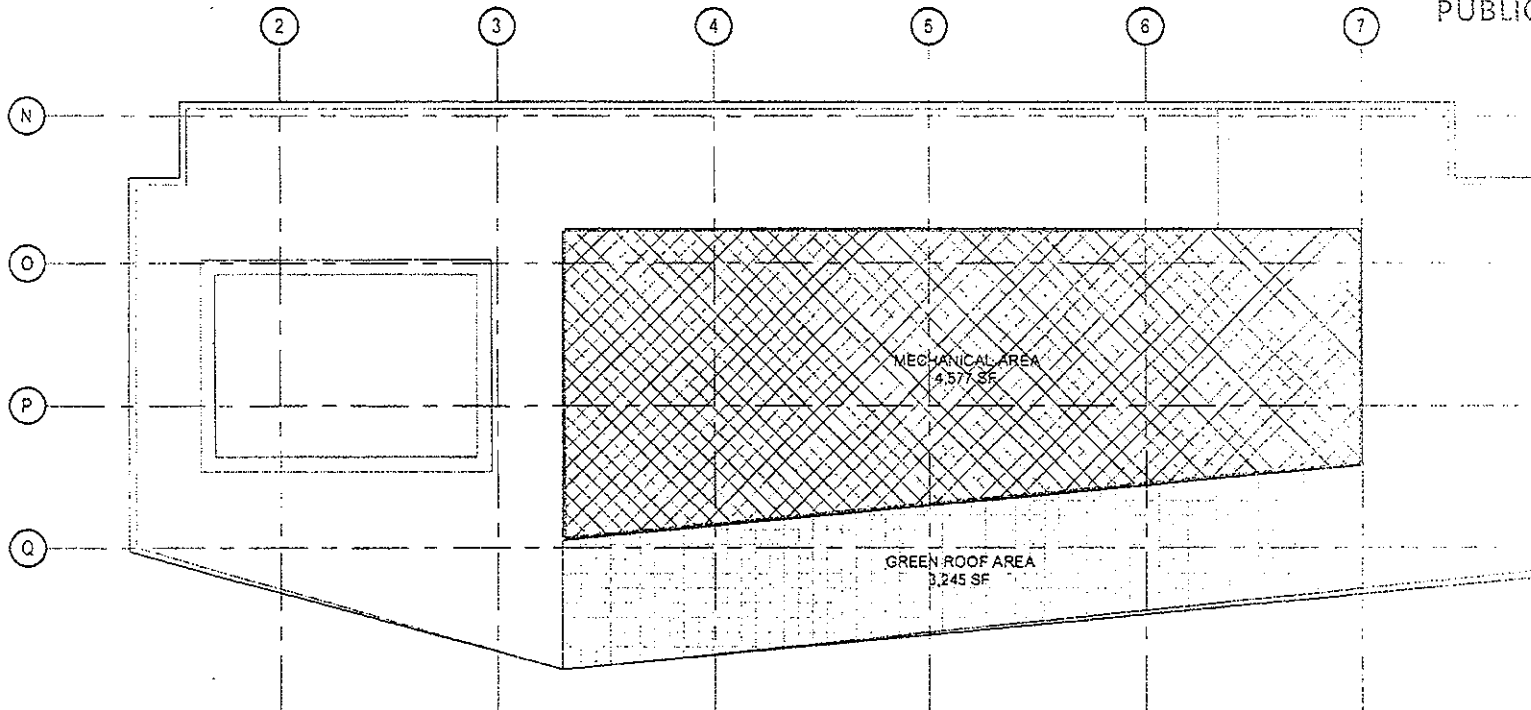
INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=40'

SITE/GROUND FLOOR PLAN

SUB-AREA GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
878 N WELLS	15054	4577	10477		3245
232 W CHESTNUT	15932	2781	13141		7538
871 N FRANKLIN	12370	5154	10830		6965
920 N WELLS	16769	4000	12769		3559
909 N FRANKLIN	15645	1078	14567		9009
919 N FRANKLIN	5102	474	4628		2958
TOTAL	80872	14460	66412	33206	33274



FINAL FOR
PUBLICATION

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

878 N. WELLS - GREEN ROOF PLAN

31108

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

FINAL FOR
PUBLICATION

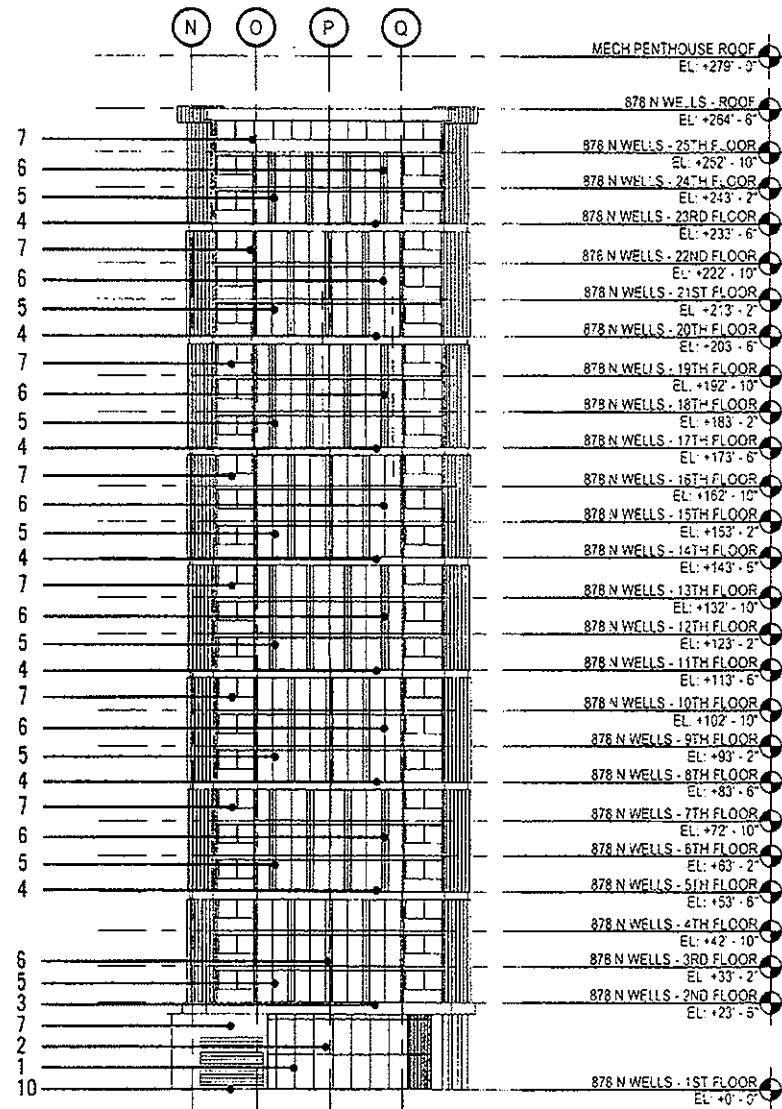
5/26/2021

REPORTS OF COMMITTEES

31109

MATERIAL LEGEND

- STRUCTURALLY GLAZED RETAIL STOREFRONT
- METAL CLAD COLUMNS
- SLAB EDGE OVERHANG
- METAL SLAB EDGE COVER
- WINDOW WALL SYSTEM
- EXTRUDED METAL MULLIONS
- GLASS AND ALUMINUM RAILING
- MULLIONS WRAPPING SLAB EDGE
- PAINTED CONCRETE WALL
- METAL OVERHEAD DOOR
- RETAIL STOREFRONT WITH FROSTED GLASS



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 878 N WELLS STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=40'

SOUTH ELEVATION

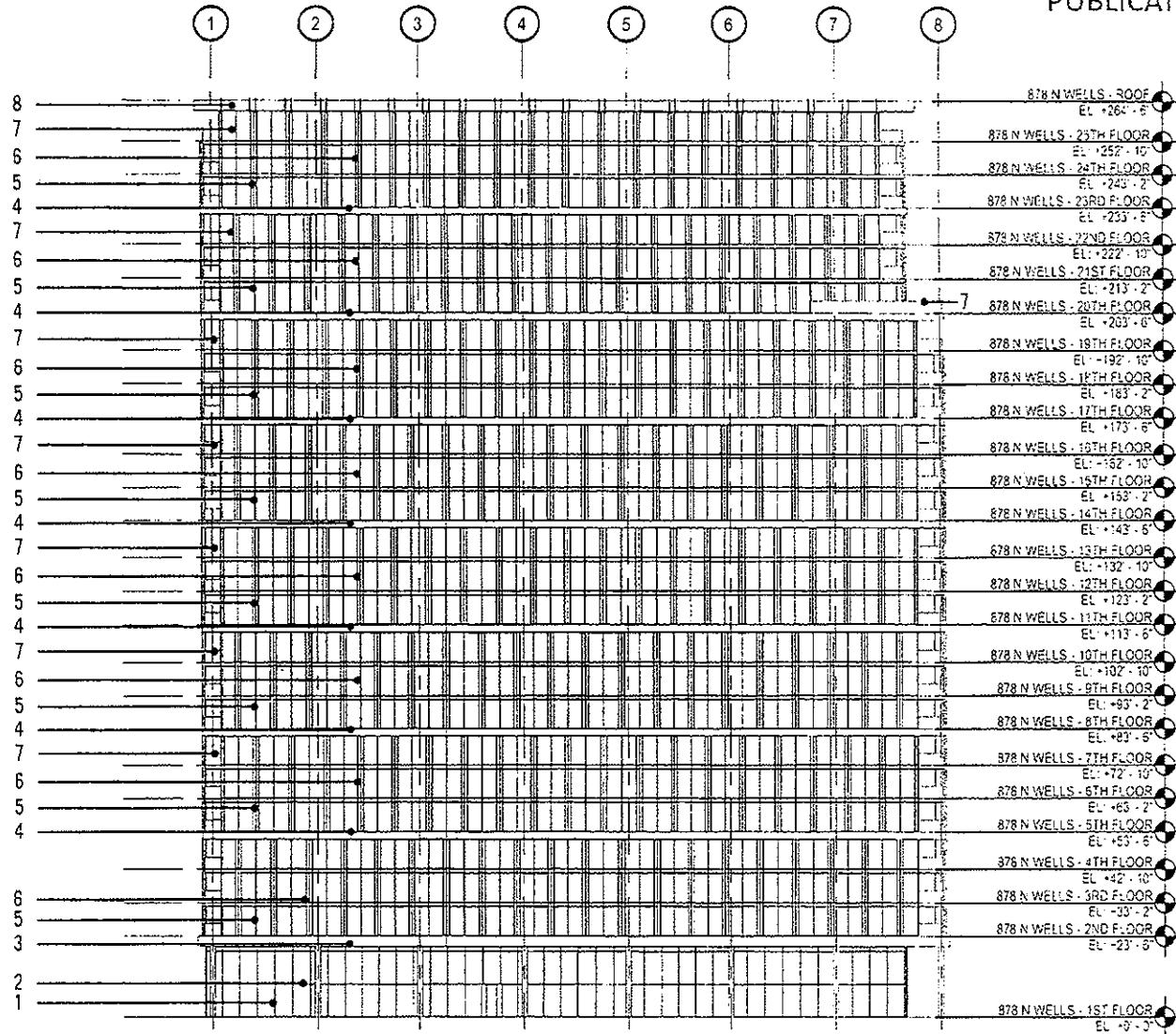
FINAL FOR
PUBLICATION

31110

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

- MATERIAL LEGEND**
- STRUCTURALLY GLAZED RETAIL STOREFRONT
 - METAL CLAD COLUMNS
 - SLAB EDGE OVERHANG
 - METAL SLAB EDGE COVER
 - WINDOW WALL SYSTEM
 - EXTRUDED METAL MULLIONS
 - GLASS AND ALUMINUM RAILING
 - MULLIONS WRAPPING SLAB EDGE
 - PAINTED CONCRETE WALL
 - METAL OVERHEAD DOOR
 - RETAIL STOREFRONT WITH FROSTED GLASS



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 878 N WELLS STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

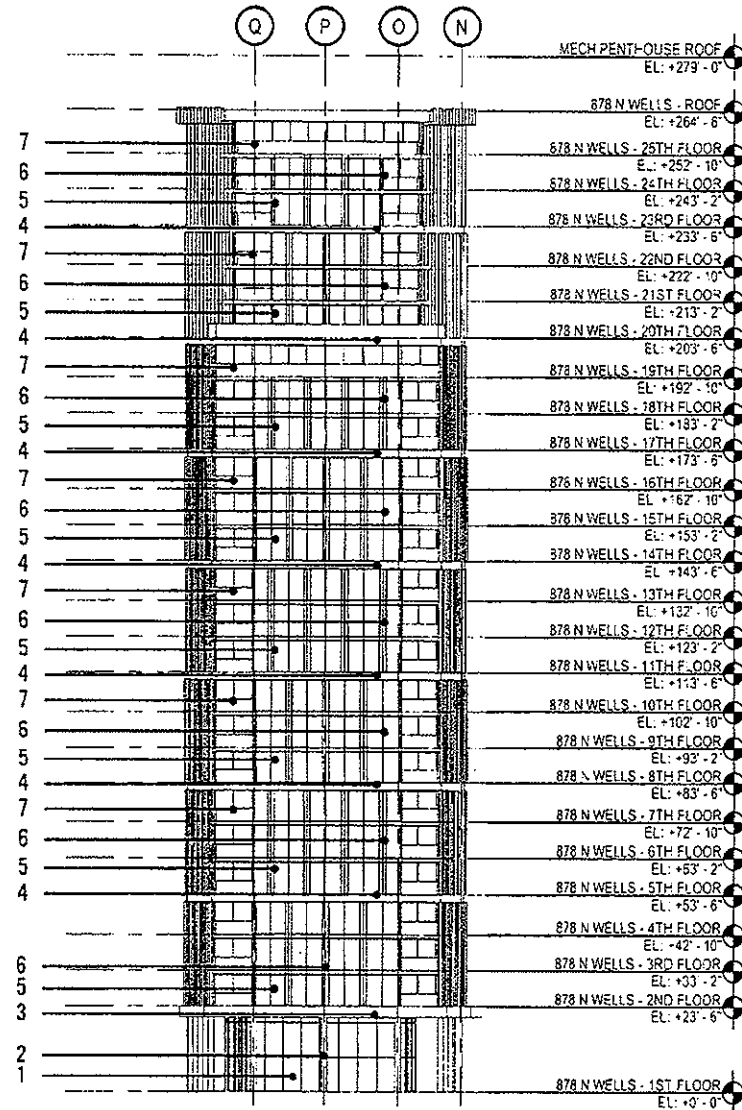
SCALE: 1"=40'

EAST ELEVATION

FINAL FOR
PUBLICATION

MATERIAL LEGEND

STRUCTURALLY GLAZED RETAIL STOREFRONT
METAL CLAD COLUMNS
SLAB EDGE OVERHANG
METAL SLAB EDGE COVER
WINDOW WALL SYSTEM
EXTRUDED METAL MULLIONS
GLASS AND ALUMINUM RAILING
MULLIONS WRAPPING SLAB EDGE
PAINTED CONCRETE WALL
METAL OVERHEAD DOOR
RETAIL STOREFRONT WITH FROSTED GLASS



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 878 N WELLS STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=40'

NORTH ELEVATION

5/26/2021

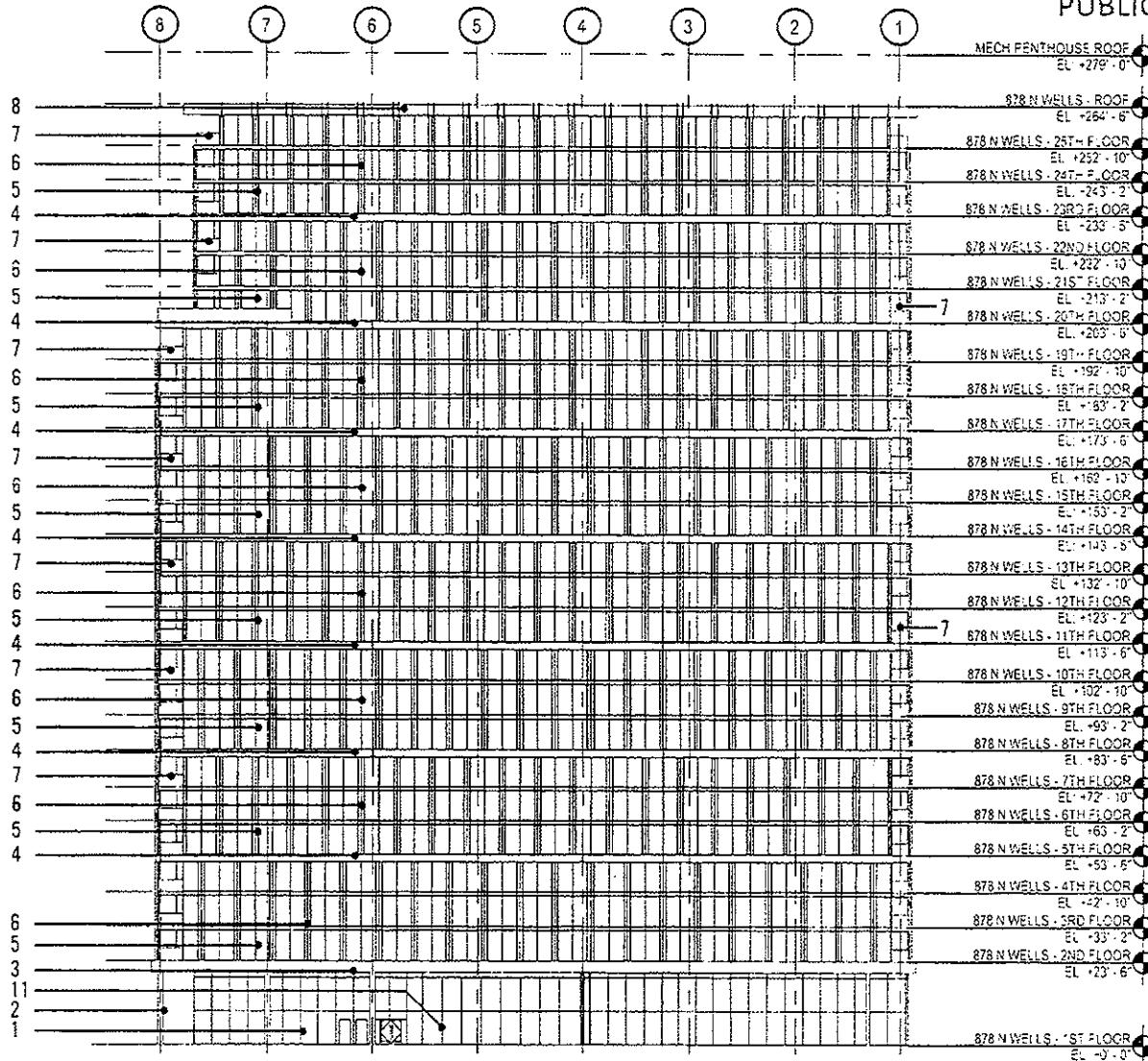
REPORTS OF COMMITTEES

31111

FINAL FOR
PUBLICATION

ATERIAL LEGEND

- STRUCTURALLY GLAZED RETAIL STOREFRONT
- METAL CLAD COLUMNS
- SLAB EDGE OVERHANG
- METAL SLAB EDGE COVER
- WINDOW WALL SYSTEM
- EXTRUDED METAL MULLIONS
- GLASS AND ALUMINUM RAILING
- MULLIONS WRAPPING SLAB EDGE
- PAINTED CONCRETE WALL
- METAL OVERHEAD DOOR
- RETAIL STOREFRONT WITH FROSTED GLASS



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 878 N WELLS STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1"=40'

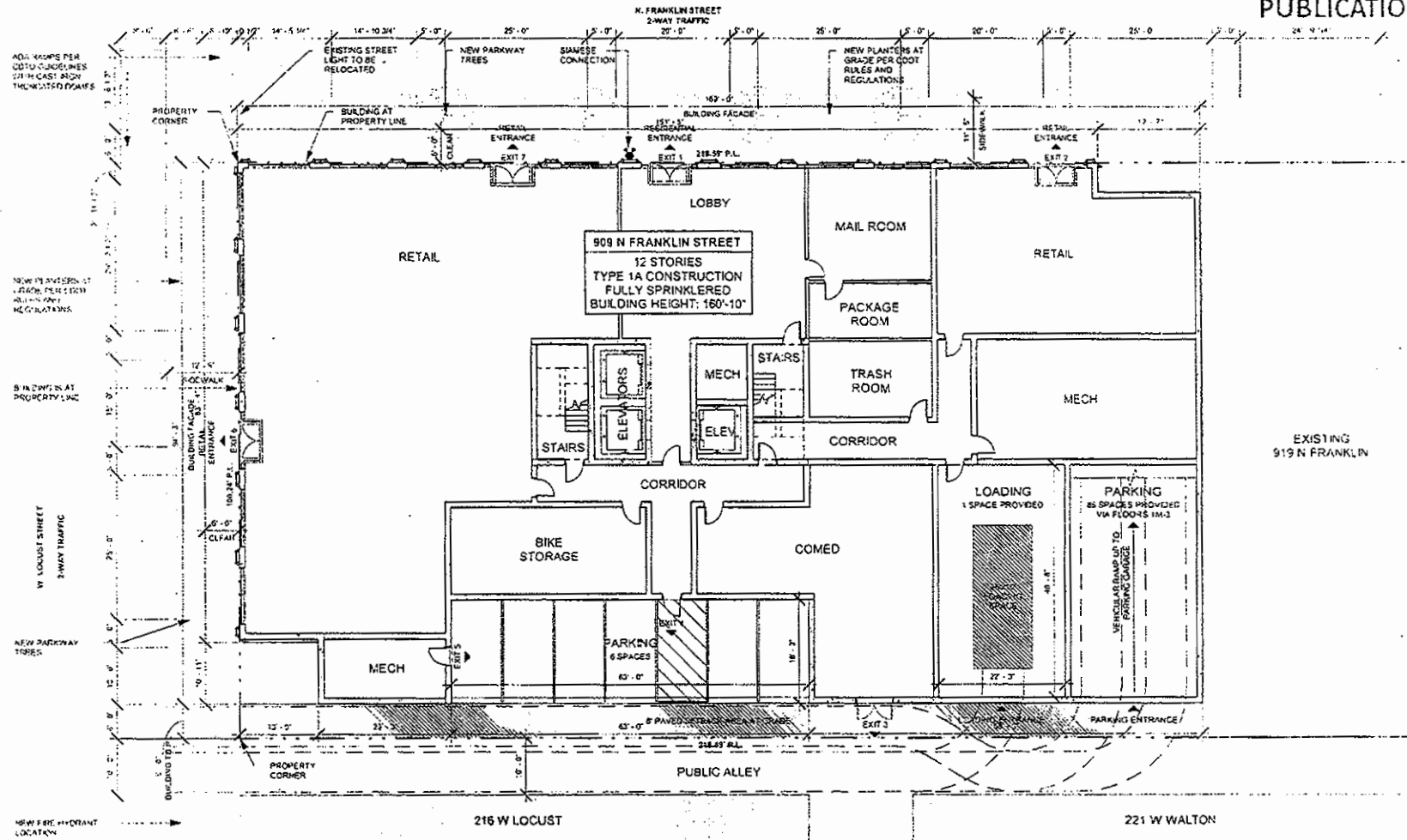
WEST ELEVATION

31112

JOURNAL-CITY COUNCIL--CHICAGO

5/26/2021

FINAL FOR
PUBLICATION



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 909 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 3/64"=1'

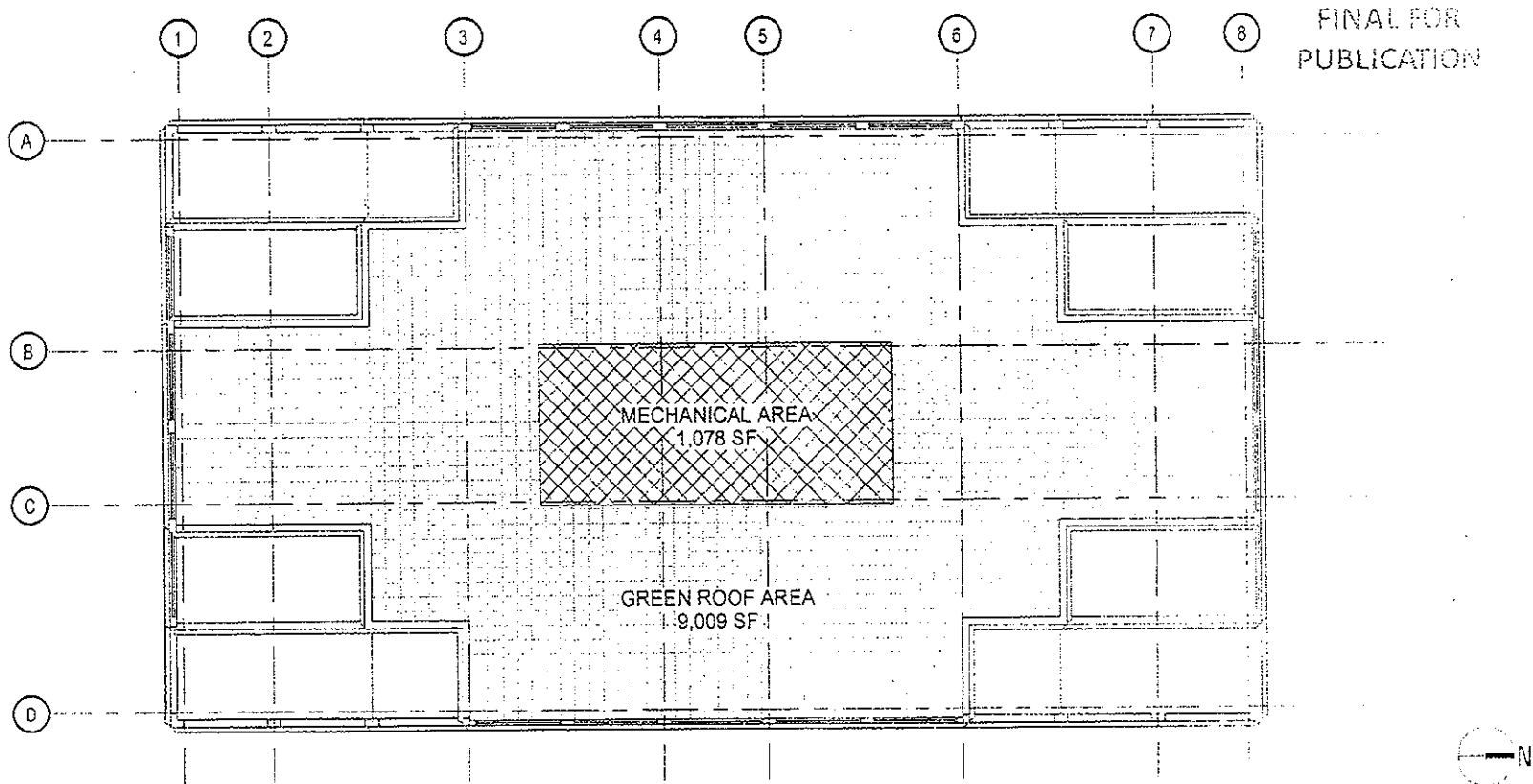
SITE/GROUND FLOOR PLAN

5/26/2021

REPORTS OF COMMITTEES

31113

SUB AREA F- GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
878 N WELLS	15054	4577	10477		3245
232 W CHESTNUT	15932	2790	13141		7538
871 N FRANKLIN	12370	1540	10830		6965
920 N WELLS	16769	4000	12769		3559
909 N FRANKLIN	15645	1078	14567		9009
919 N FRANKLIN	5102	474	4628		2958
TOTAL	80872	14460	66412	33206	33274



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315 and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

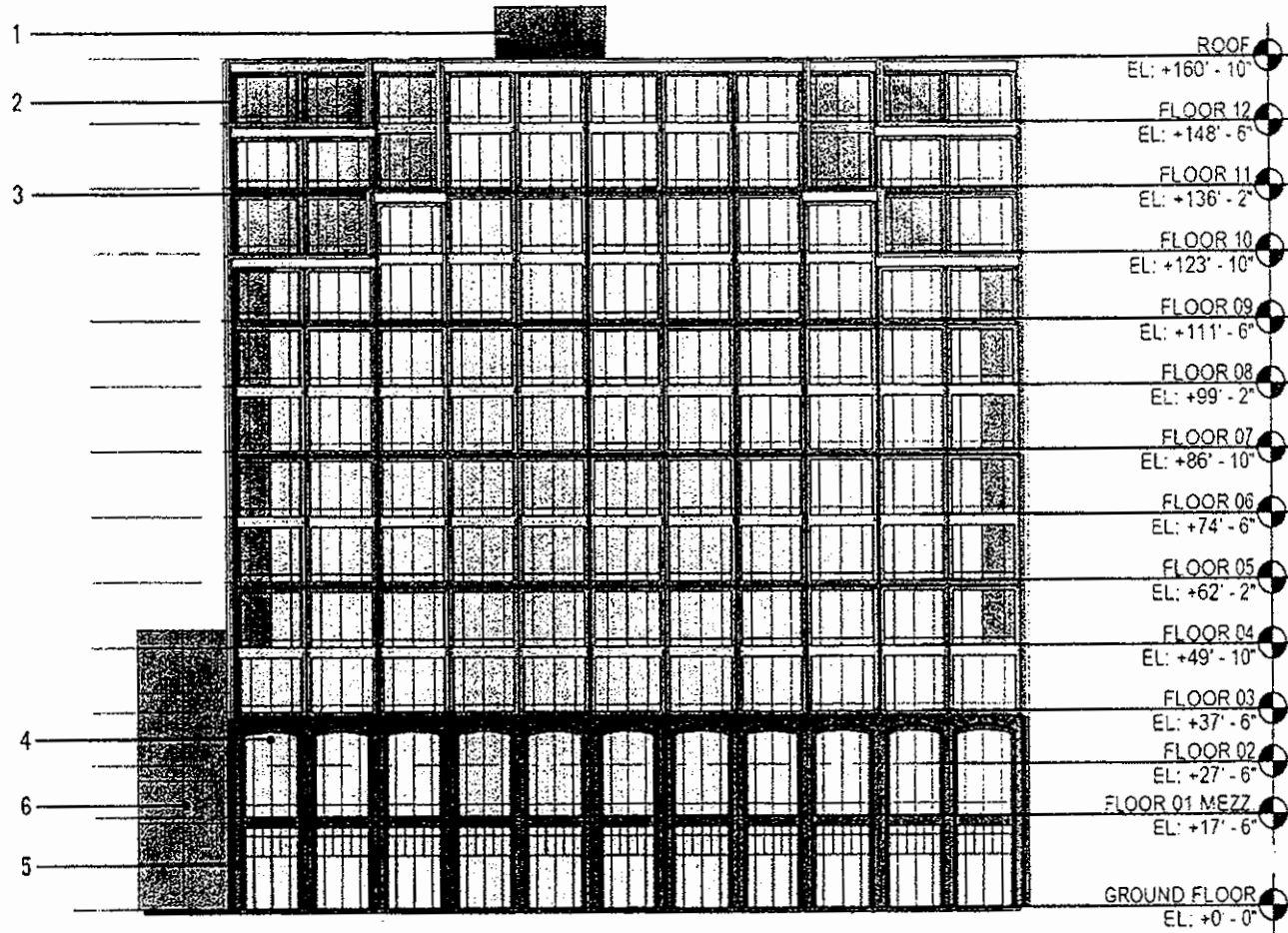
SCALE: N.T.S.

909 N. FRANKLIN - GREEN ROOF PLAN

FINAL FOR
PUBLICATION

MATERIAL LEGEND

- METAL PANEL CLADDING AT ELEVATOR
OVERRUN
- ALUMINUM AND GLASS WINDOW WALL
- ARTICULATED PRE-CAST CLADDING AT
WITH SCULPTED DETAILING AT EDGES
- ARTICULATED METAL PANEL CLADDING
WITH SCALLOPED/BEVELED DETAILS AT
WINDOWS
- ALUMINUM AND GLASS STOREFRONT WITH
EXTERIOR APPLIED MUNTINS
- FIBER CEMENT BOARD EXTERIOR
CLADDING
- WATERPROOF CMU AT PARTY WALL WITH
ABUTTING BUILDING



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 909 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

WEST ELEVATION

5/26/2021

REPORTS OF COMMITTEES

31115

ERIAL LEGEND

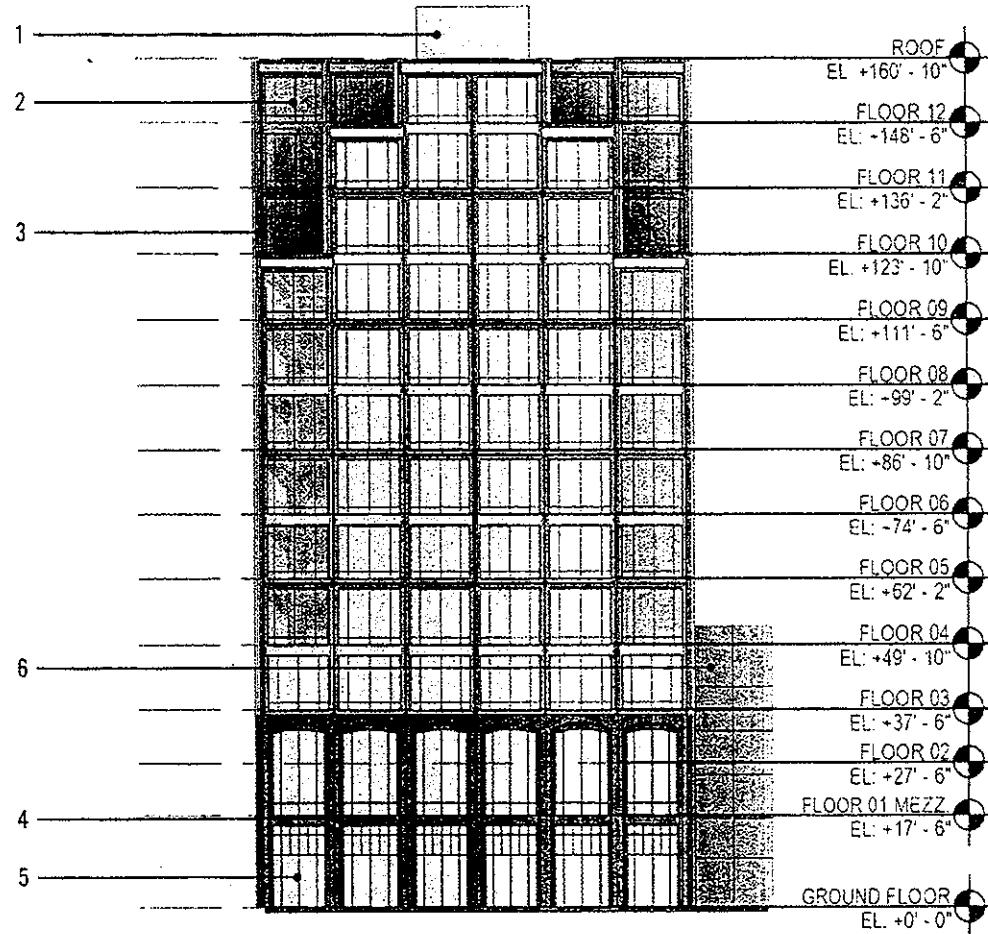
METAL PANEL CLADDING AT ELEVATOR
OVERRUN
ALUMINUM AND GLASS WINDOW WALL
ARTICULATED PRE-CAST CLADDING AT
WITH SCULPTED DETAILING AT EDGES
ARTICULATED METAL PANEL CLADDING
WITH SCALLOPED/BEVELED DETAILS AT
WINDOWS
ALUMINUM AND GLASS STOREFRONT WITH
EXTERIOR APPLIED MUNTINS
FIBER CEMENT BOARD EXTERIOR
CLADDING
WATERPROOF CMU AT PARTY WALL WITH
ABUTTING BUILDING

FINAL FOR
PUBLICATION

31116

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 909 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

SOUTH ELEVATION

FINAL FOR
PUBLICATION

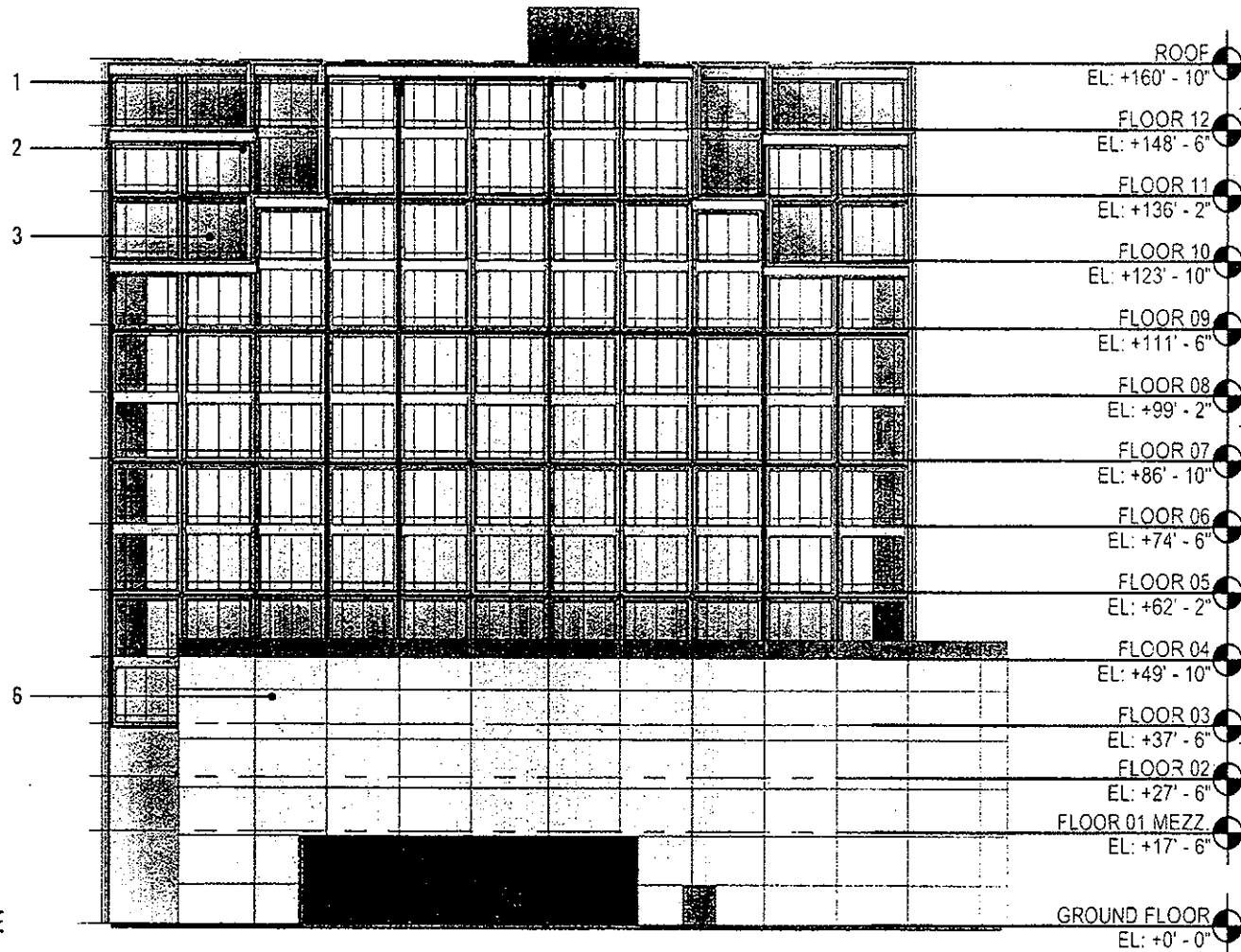
5/26/2021

REPORTS OF COMMITTEES

31117

MATERIAL LEGEND

METAL PANEL CLADDING AT ELEVATOR
OVERRUN
ALUMINUM AND GLASS WINDOW WALL
ARTICULATED PRE-CAST CLADDING AT
WITH SCULPTED DETAILING AT EDGES
ARTICULATED METAL PANEL CLADDING
WITH SCALLOPED/BEEVELED DETAILS AT
WINDOWS
ALUMINUM AND GLASS STOREFRONT WITH
EXTERIOR APPLIED MUNTINS
FIBER CEMENT BOARD EXTERIOR
CLADDING
WATERPROOF CMU AT PARTY WALL WITH
ABUTTING BUILDING



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 909 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

EAST ELEVATION

FINAL FOR
PUBLICATION

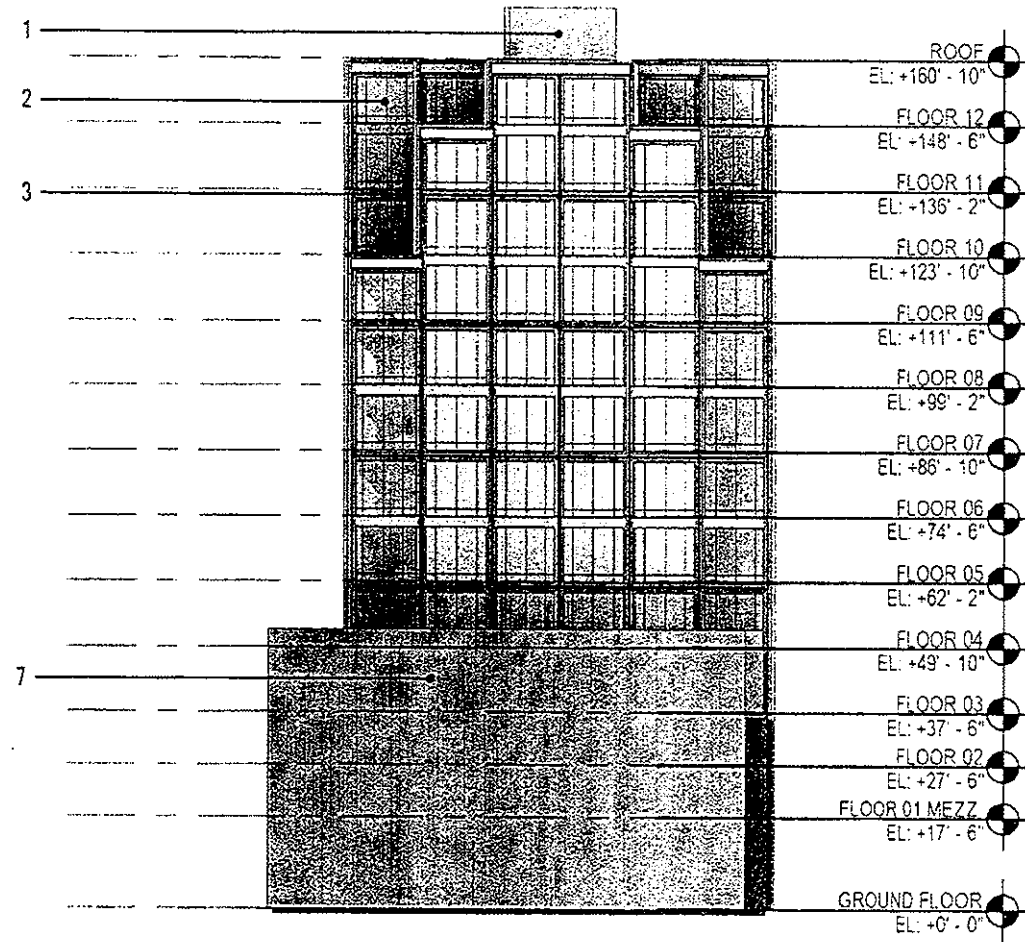
31118

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

SERIAL LEGEND

- METAL PANEL CLADDING AT ELEVATOR
OVERRUN
- ALUMINUM AND GLASS WINDOW WALL
- ARTICULATED PRE-CAST CLADDING AT
WITH SCULPTED DETAILING AT EDGES
- ARTICULATED METAL PANEL CLADDING
WITH SCALLOPED/BEVELED DETAILS AT
WINDOWS
- ALUMINUM AND GLASS STOREFRONT WITH
EXTERIOR APPLIED MUNTINS
- FIBER CEMENT BOARD EXTERIOR
CLADDING
- WATERPROOF CMU AT PARTY WALL WITH
ABUTTING BUILDING



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 909 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

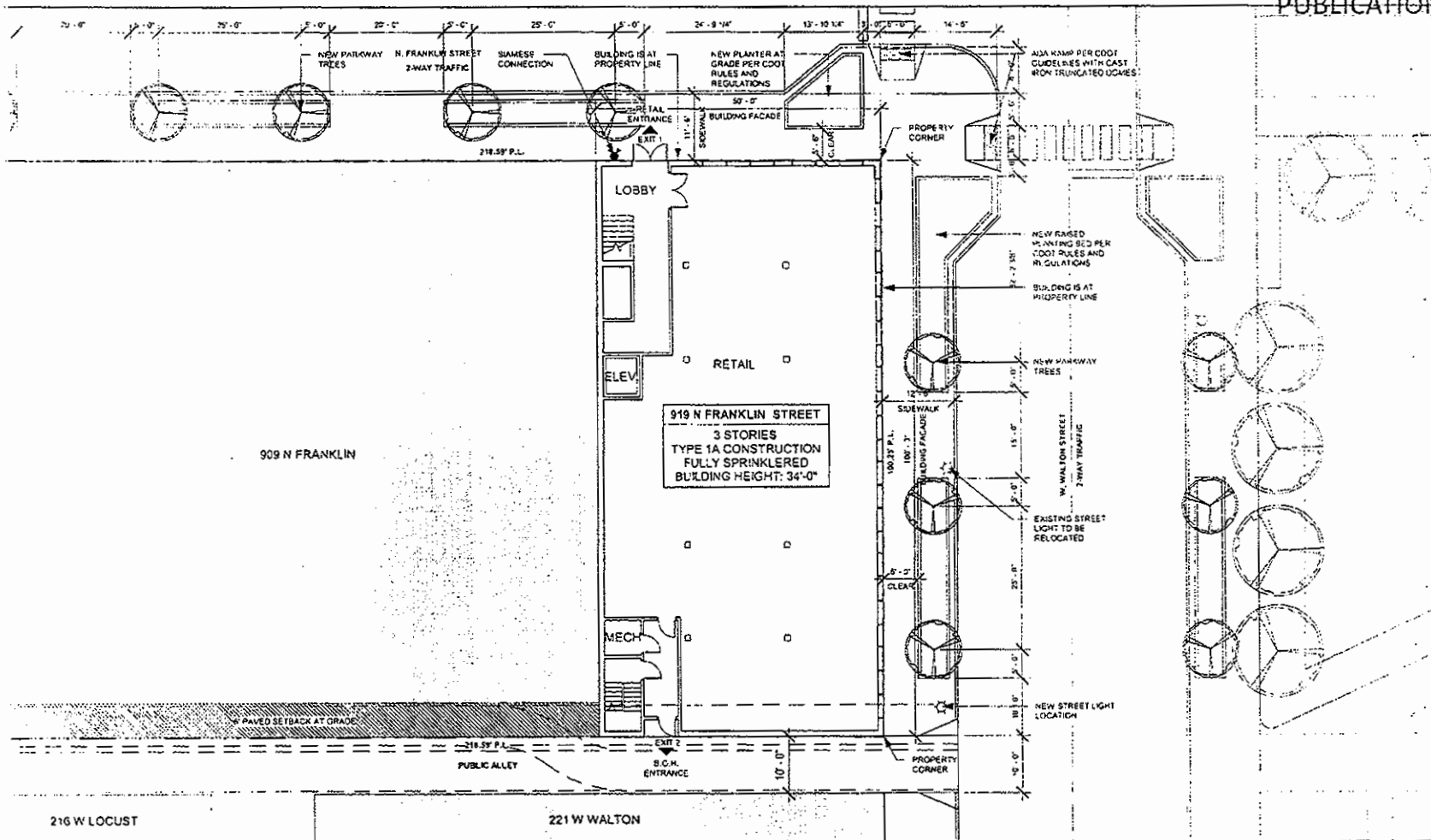
NORTH ELEVATION

FINAL FOR
PUBLICATION

5/26/2021

REPORTS OF COMMITTEES

31119



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 919 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

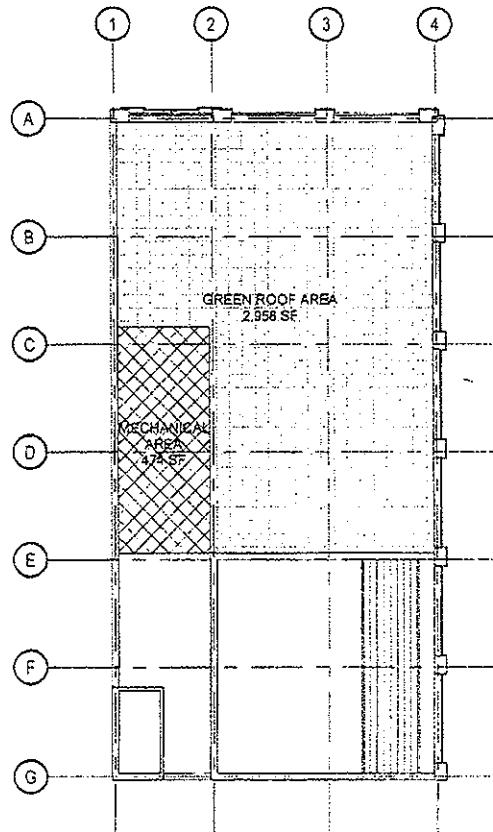
PLAN COMMISSION: 05-20-2021

SCALE: 3/64"=1'

SITE/GROUND FLOOR PLAN

SUB AREA E GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
878 N WELLS	15054	4577	10477		3245
232 W CHESTNUT	15932	2791	13141		7538
871 N FRANKLIN	12370	1540	10830		6965
920 N WELLS	16769	4000	12769		3559
909 N FRANKLIN	15645	1078	14567		9009
919 N FRANKLIN	5102	474	4628		2958
TOTAL	80872	14460	66412	33206	33274

FINAL FOR
PUBLICATION



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-292 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: N.T.S.

919 N. FRANKLIN - GREEN ROOF PLAN

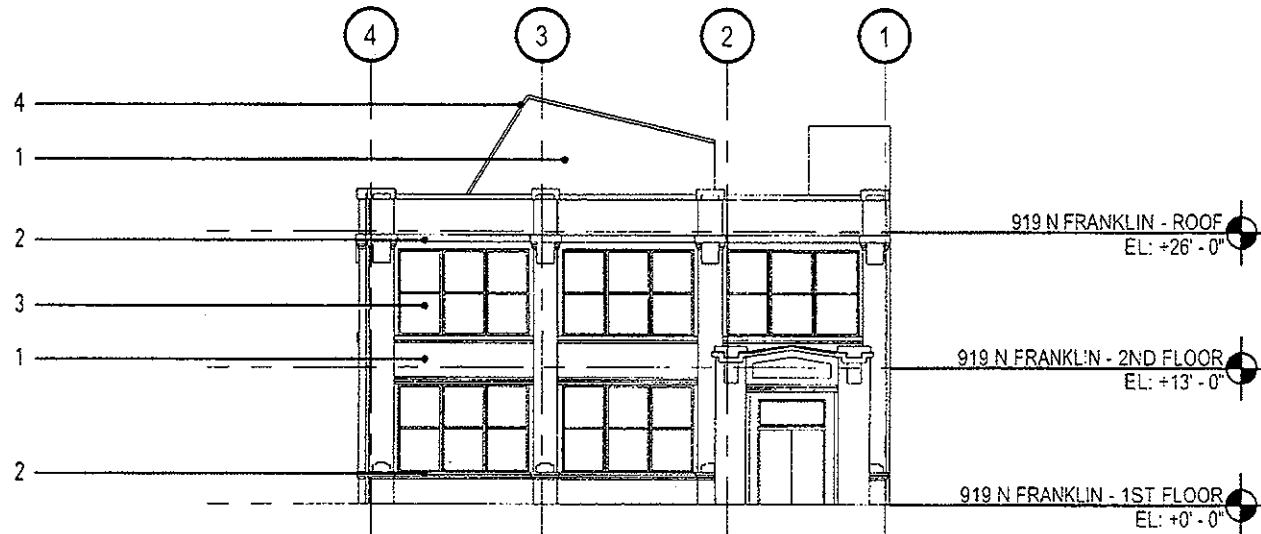
5/26/2021

REPORTS OF COMMITTEES

31121

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. CAST STONE COPING/BANDING
3. NEW ALUMINUM WINDOWS WITH EXTERIOR APPLIED HISTORIC MUNTINS
4. METAL SEAMED ROOFING



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 919 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

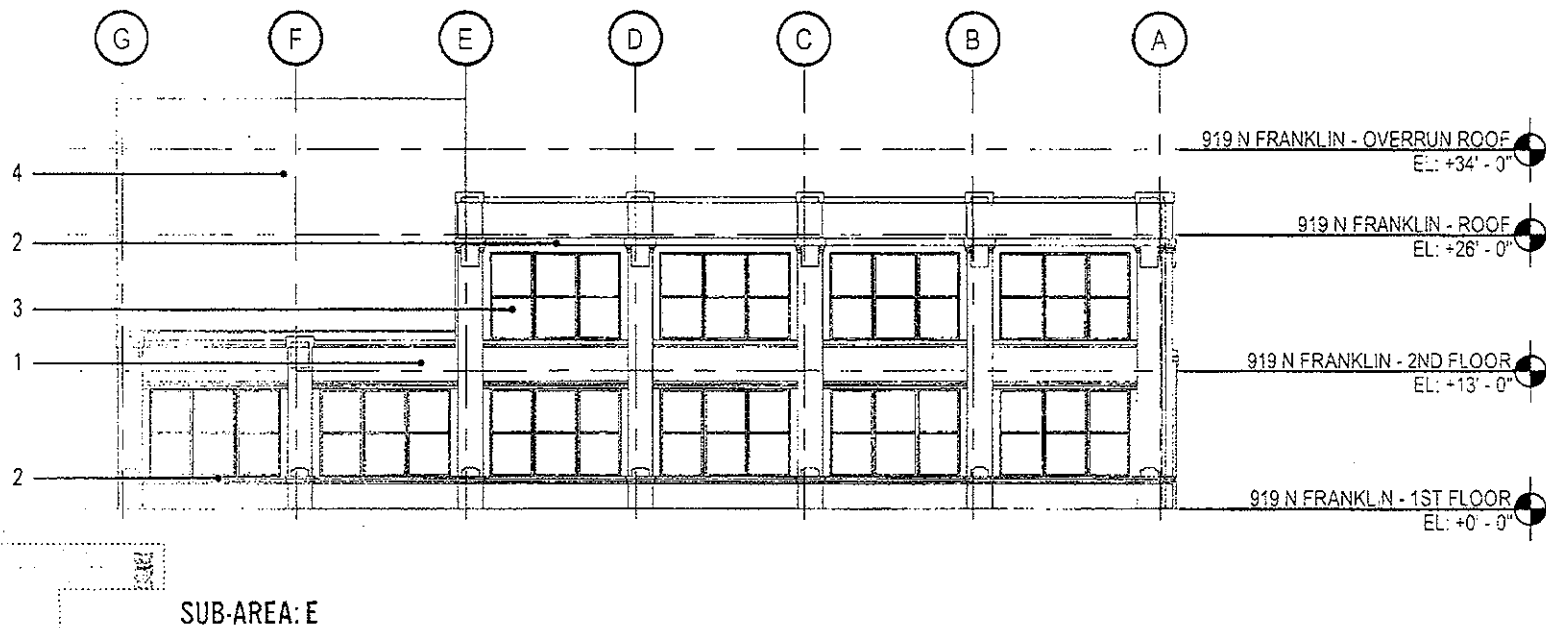
PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

SOUTH ELEVATION

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. CAST STONE COPING/BANDING
3. NEW ALUMINUM WINDOWS WITH EXTERIOR APPLIED HISTORIC MUNTINS
4. METAL SEAMED ROOFING



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 919 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

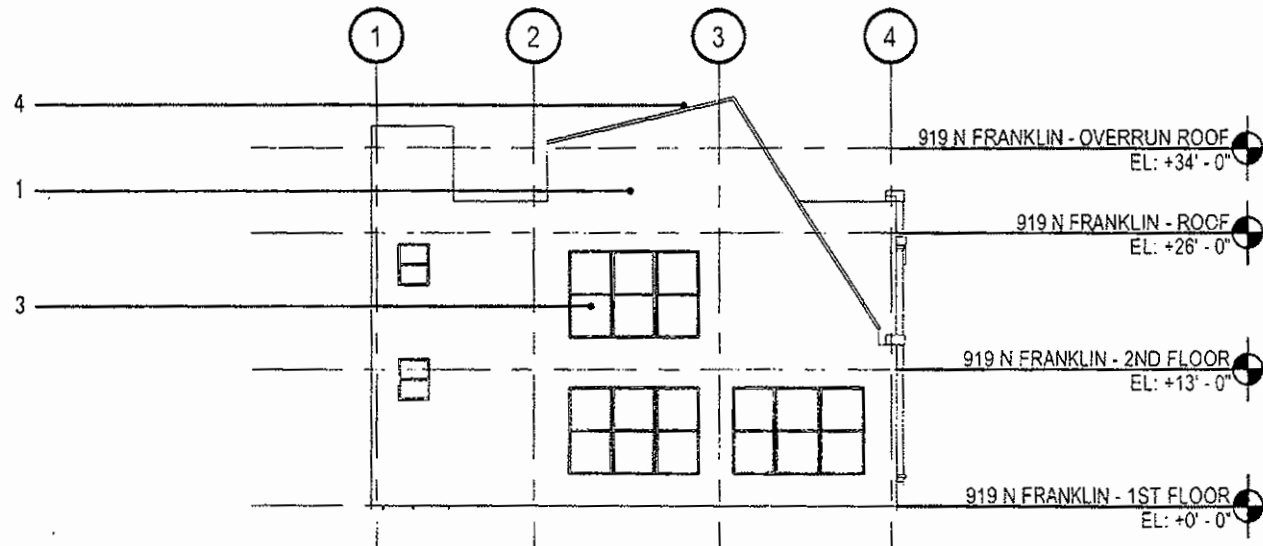
PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

EAST ELEVATION

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. CAST STONE COPING/BANDING
3. NEW ALUMINUM WINDOWS WITH EXTERIOR APPLIED HISTORIC MUNTINS
4. METAL SEAMED ROOFING



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 919 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

NORTH ELEVATION

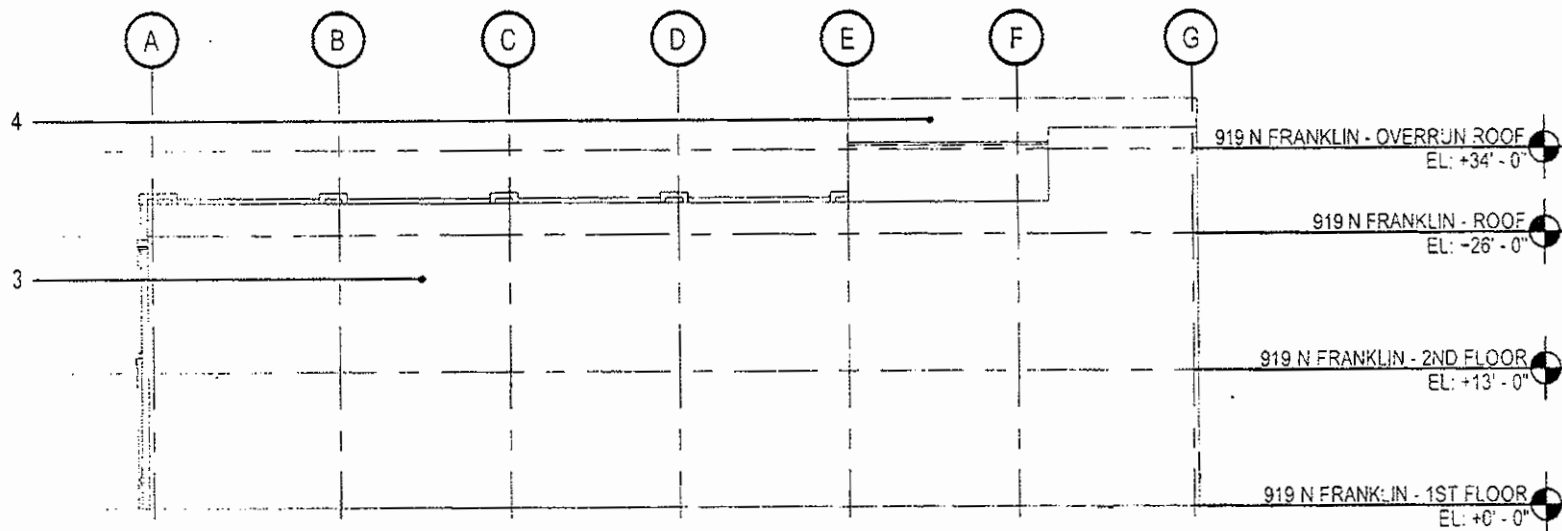
5/26/2021

REPORTS OF COMMITTEES

31123

MATERIAL LEGEND

1. EXISTING MASONRY CLADDING
2. CAST STONE COPING/BANDING
3. NEW ALUMINUM WINDOWS WITH EXTERIOR APPLIED HISTORIC MUNTINS
4. METAL SEAMED ROOFING



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 919 N FRANKLIN STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

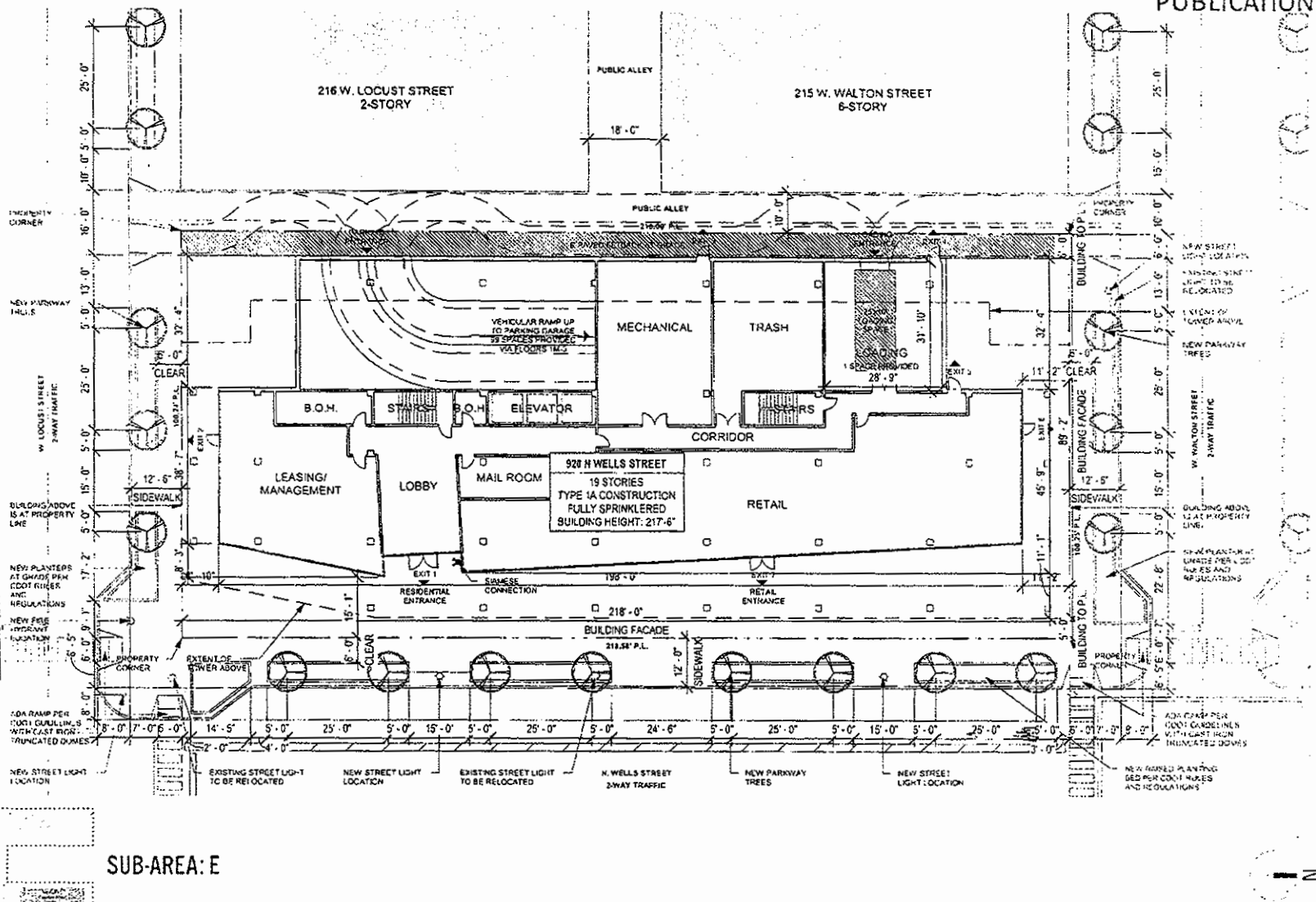
WEST ELEVATION

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PUBLICATION

5/26/2021

REPORTS OF COMMITTEES

31125



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 920 N WELLS STREET

INTRODUCTION: 03-24-2021

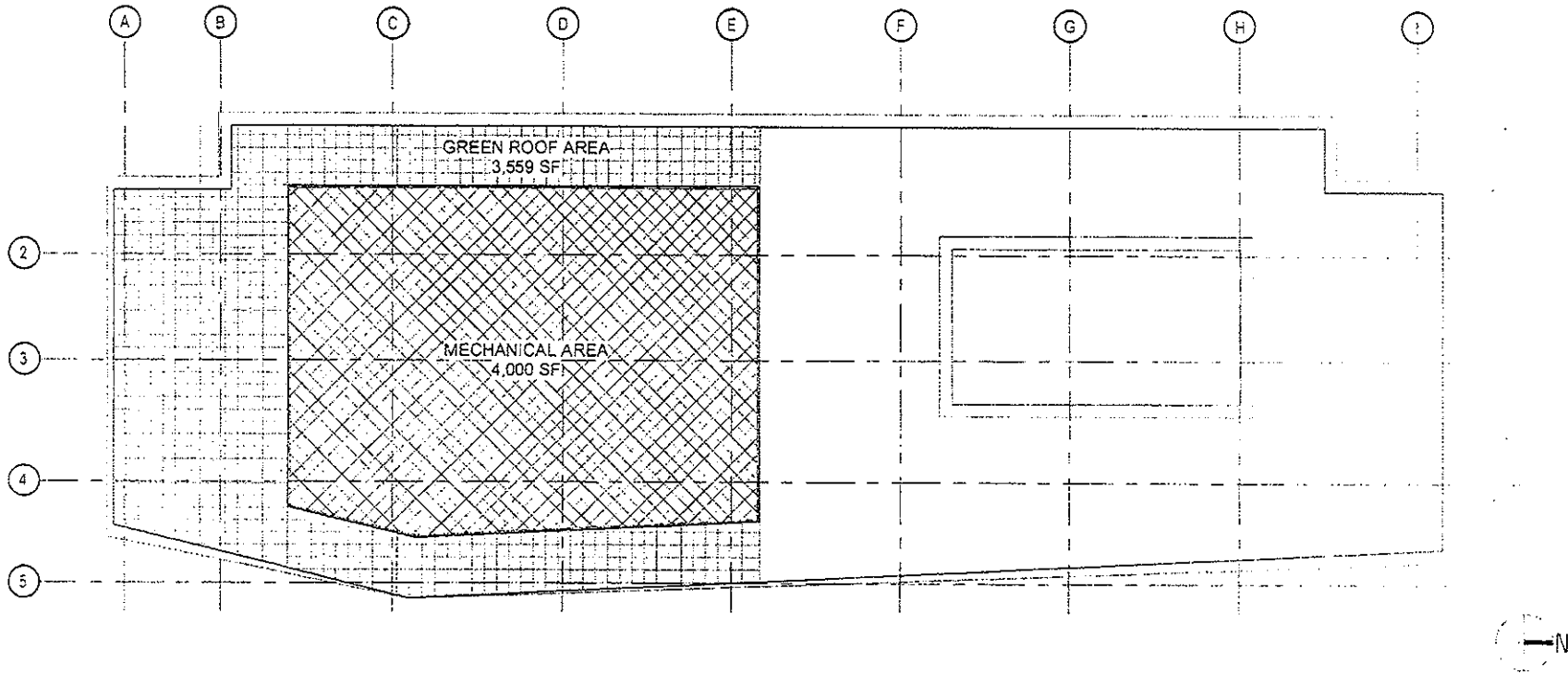
PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

SITE/GROUND FLOOR PLAN

SUB-AREA 'E' GREEN ROOF AREA DATA					
PROPERTY	TOTAL ROOF AREA	MECHANICAL ROOF AREA	APPLICABLE ROOF AREA	REQUIRED GREEN ROOF AREA	PROVIDED GREEN ROOF AREA
878 N WELLS	15054	4577	10477		3245
232 W CHESTNUT	15932	2791	13141		7538
871 N FRANKLIN	12370	1540	10830		6965
920 N WELLS	16769	4000	12769		3559
909 N FRANKLIN	15645	1078	14567		9009
919 N FRANKLIN	5102	474	4628		2958
TOTAL	80872	14460	66412	33206	33274

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APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 142-172 W Chicago / 800-934 N LaSalle / 152-314 W Walton / 801-921 and 828-950 N Wells / 201-315
and 230-314 W Oak / 859-1037 and 930-1036 N Franklin / 210-232 W Chestnut / 200-210 W Institute

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

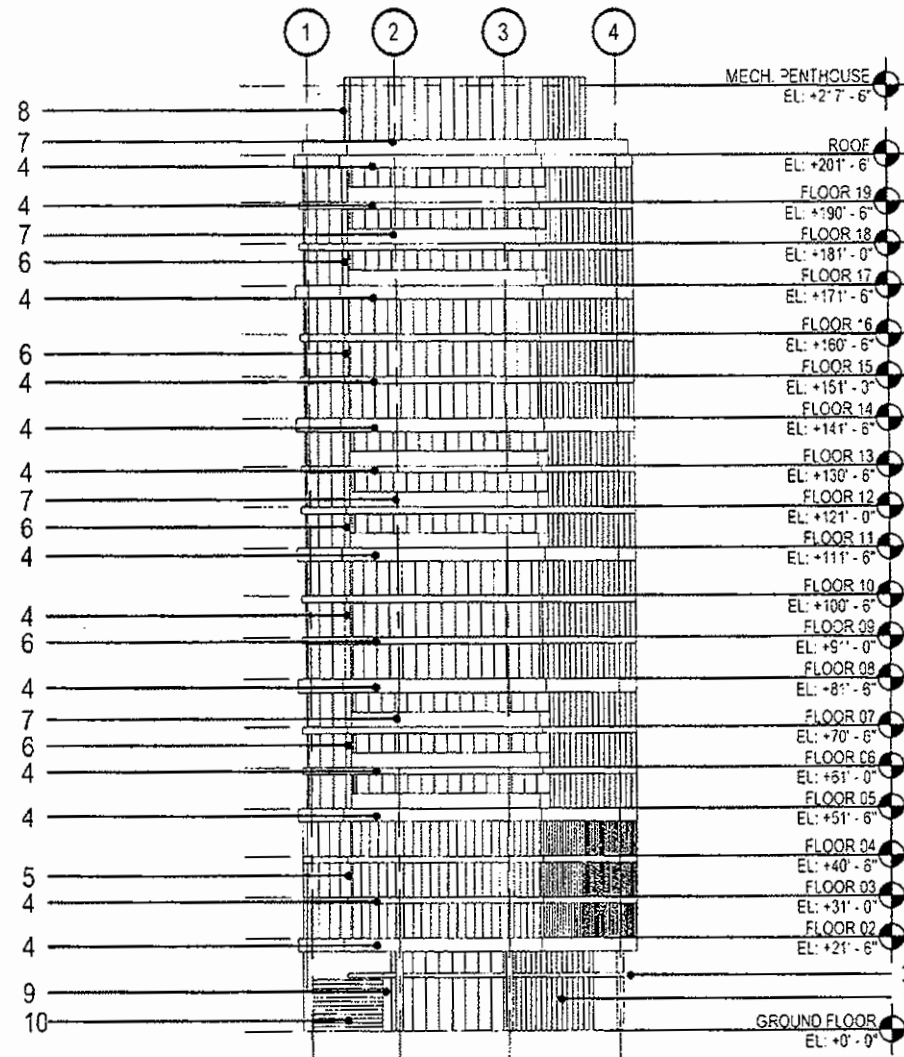
SCALE: N.T.S.

920 N. WELLS - GREEN ROOF PLAN

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PUBLICATION

MATERIAL LEGEND

- . STRUCTURALLY GLAZED STOREFRONT
- . METAL CLAD COLUMNS
- . METAL CANOPY
- . METAL SLAB EDGE COVER
- . SCALLOPED METAL PANELS
- . WINDOW WALL SYSTEM
- . GLASS AND ALUMINUM RAILING
- . METAL SCREEN SYSTEM TO MATCH WINDOW WALL
- . CONCRETE WALL
- Q. METAL OVERHEAD DOOR



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 920 N WELLS STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

SOUTH ELEVATION

5/26/2021

REPORTS OF COMMITTEES

31127

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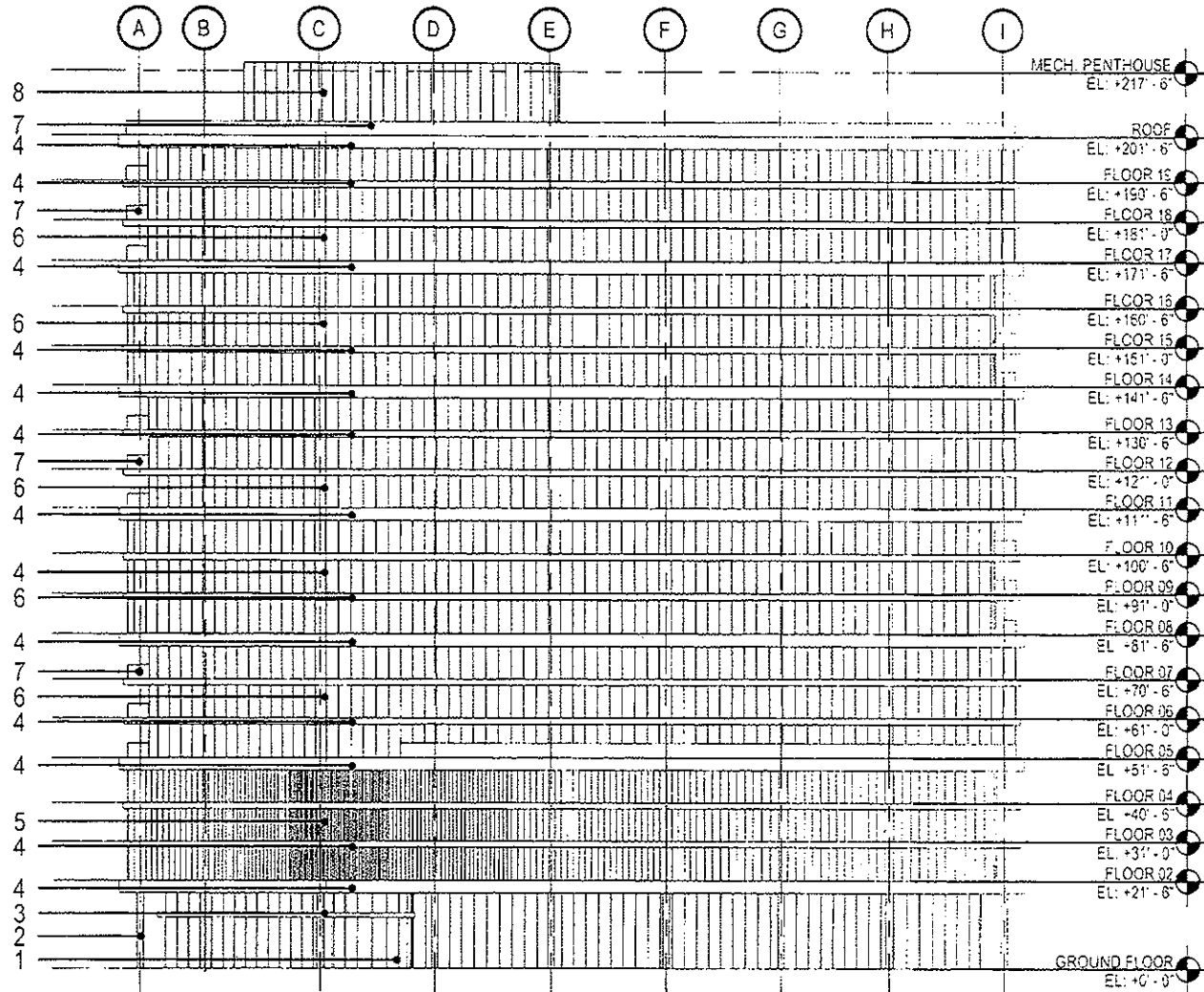
31128

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

MATERIAL LEGEND

- STRUCTURALLY GLAZED STOREFRONT
- METAL CLAD COLUMNS
- METAL CANOPY
- METAL SLAB EDGE COVER
- SCALLOPED METAL PANELS
- WINDOW WALL SYSTEM
- GLASS AND ALUMINUM RAILING
- METAL SCREEN SYSTEM TO MATCH WINDOW WALL
- CONCRETE WALL
- METAL OVERHEAD DOOR



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 920 N WELLS STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

EAST ELEVATION

FINAL FOR
PUBLICATION

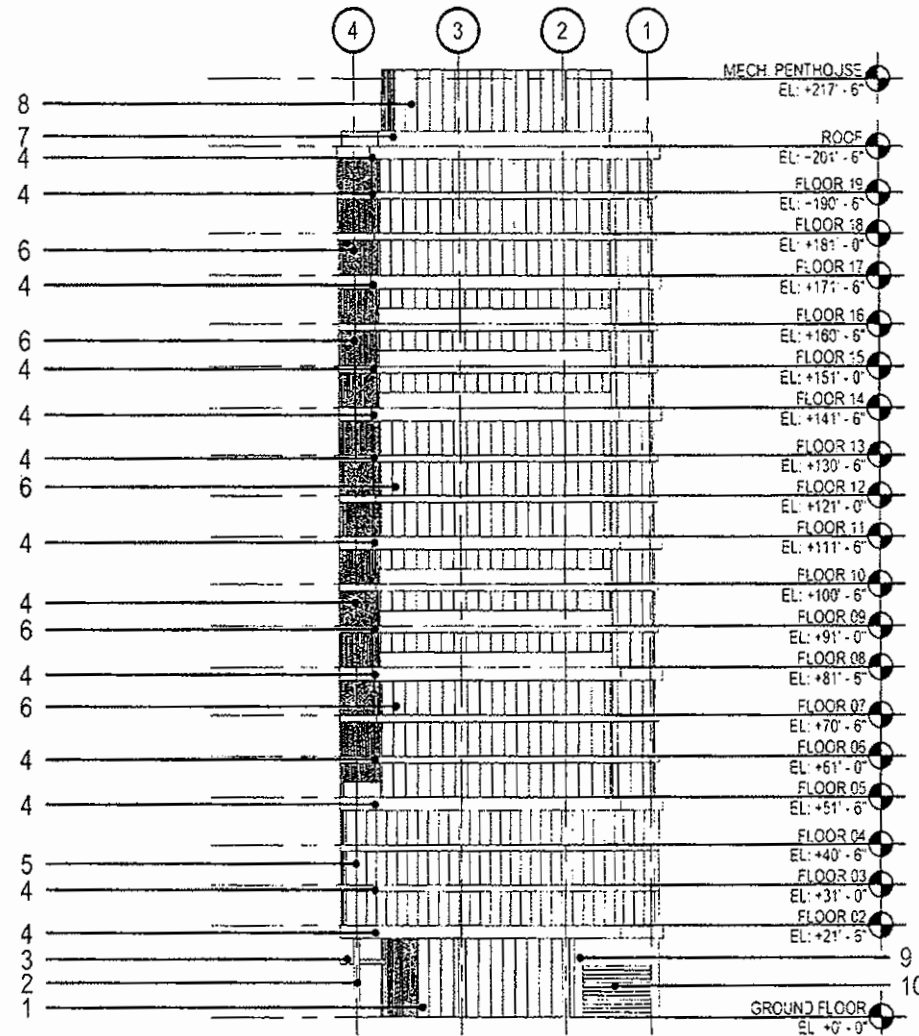
5/26/2021

REPORTS OF COMMITTEES

31129

ATERIAL LEGEND

- STRUCTURALLY GLAZED STOREFRONT
- METAL CLAD COLUMNS
- METAL CANOPY
- METAL SLAB EDGE COVER
- SCALLOPED METAL PANELS
- WINDOW WALL SYSTEM
- GLASS AND ALUMINUM RAILING
- METAL SCREEN SYSTEM TO MATCH WINDOW WALL
- CONCRETE WALL
- METAL OVERHEAD DOOR



SUB-AREA: E

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 920 N WELLS STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

NORTH ELEVATION

FINAL FOR
PUBLICATION

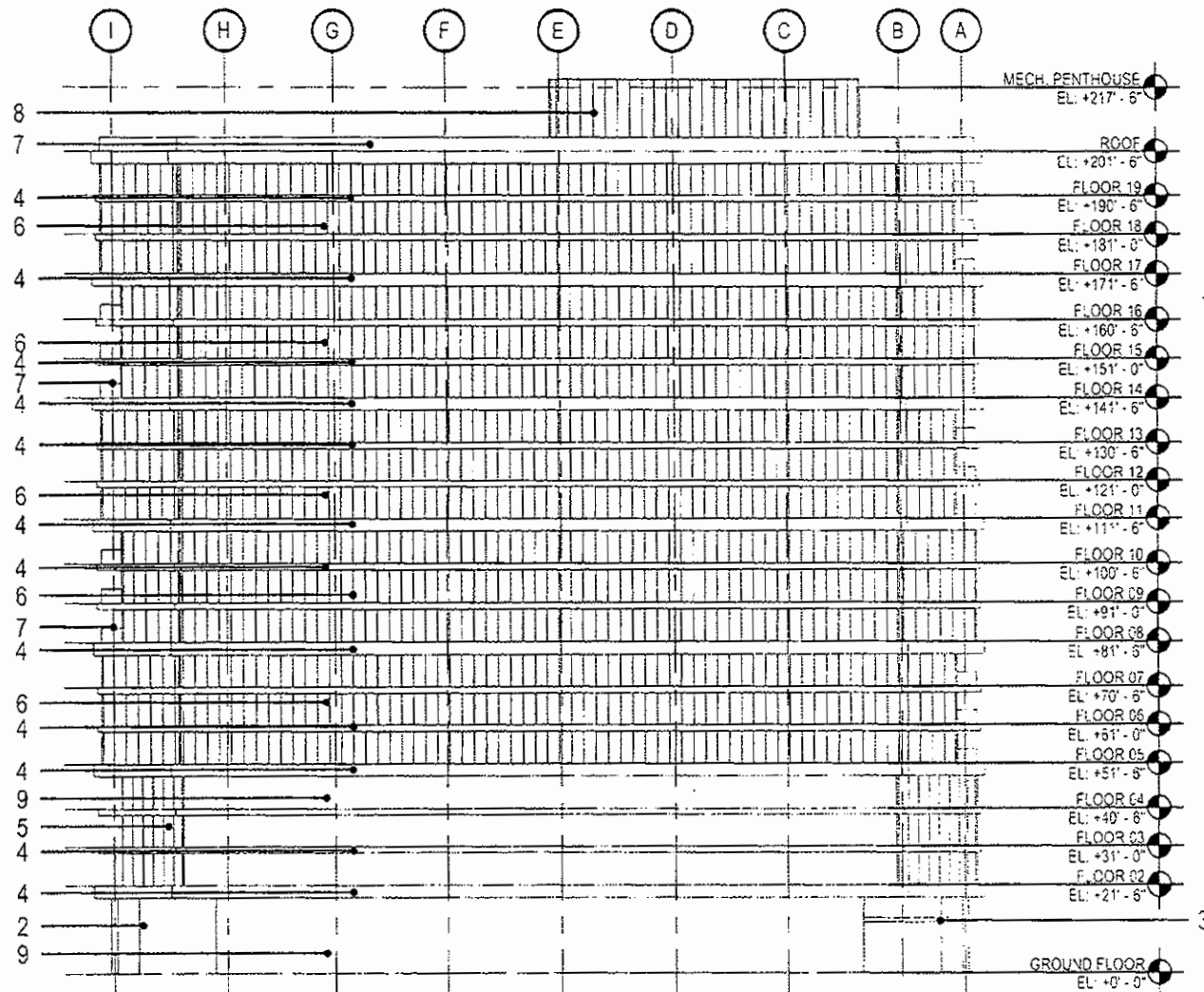
31130

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

ATERIAL LEGEND

- STRUCTURALLY GLAZED STOREFRONT
- METAL CLAD COLUMNS
- METAL CANOPY
- METAL SLAB EDGE COVER
- SCALLOPED METAL PANELS
- WINDOW WALL SYSTEM
- GLASS AND ALUMINUM RAILING
- METAL SCREEN SYSTEM TO MATCH WINDOW WALL
- CONCRETE WALL
- I. METAL OVERHEAD DOOR



APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 920 N WELLS STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/32"=1'

WEST ELEVATION

REPORTS OF COMMITTEES

GROUND FLOOR PLAN

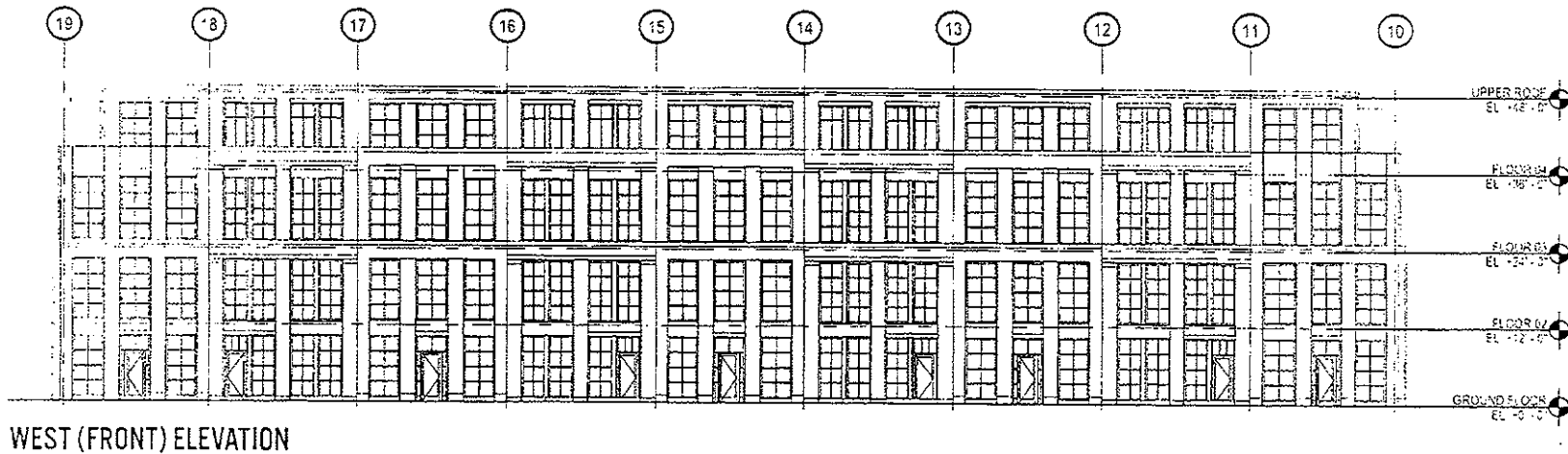
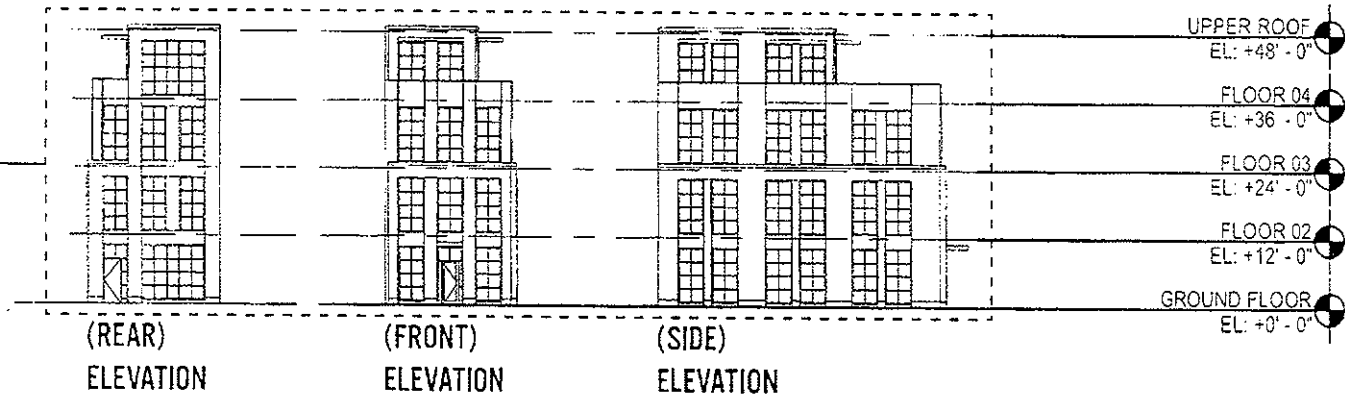
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31132

JOURNAL--CITY COUNCIL--CHICAGO

5/26/2021

SEE TYPICAL
RESIDENCE
ELEVATION
SHEET FOR
DETAILS



SUB-AREA: C

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 235-305 W OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16" = 1'

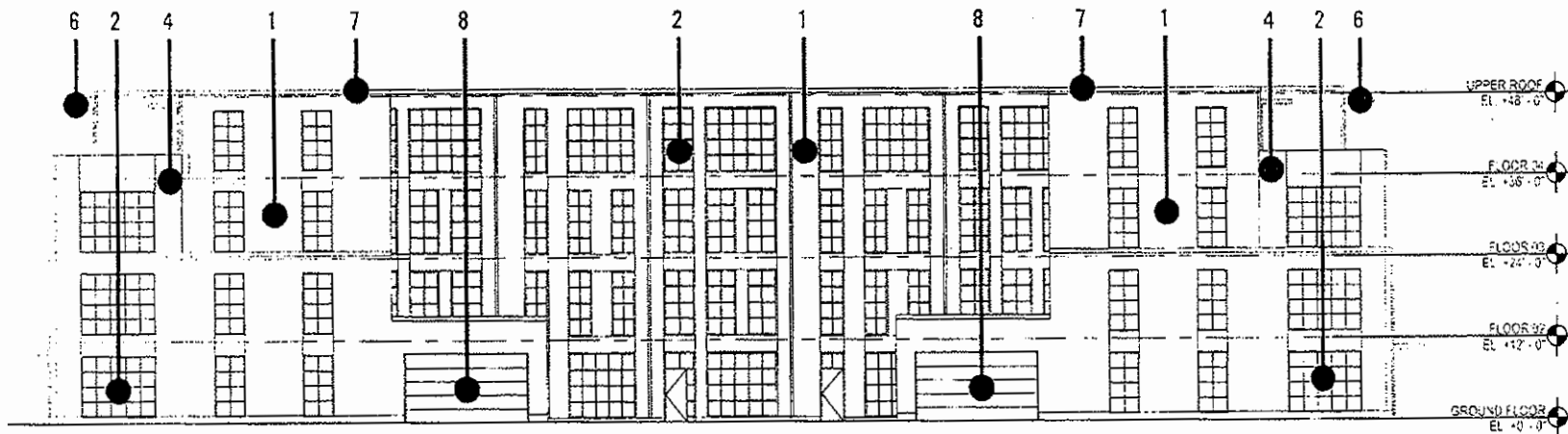
OVERALL ELEVATIONS

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PUBLICATION

5/26/2021

REPORTS OF COMMITTEES

- MATERIAL LEGEND
- 1. MASONRY CLADDING
 - 2. PUNCHED WINDOW
 - 3. GLASS SIDE LITES AND TRANSOM
 - 4. METAL PANEL CLADDING
 - 5. EXTRUDED METAL FRAME
 - 6. OPEN METAL CANOPY
 - 7. CAST STONE
 - 8. METAL GARAGE DOOR



EAST (REAR) ELEVATION



SUB-AREA: C

N
↑

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 235-305 W OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

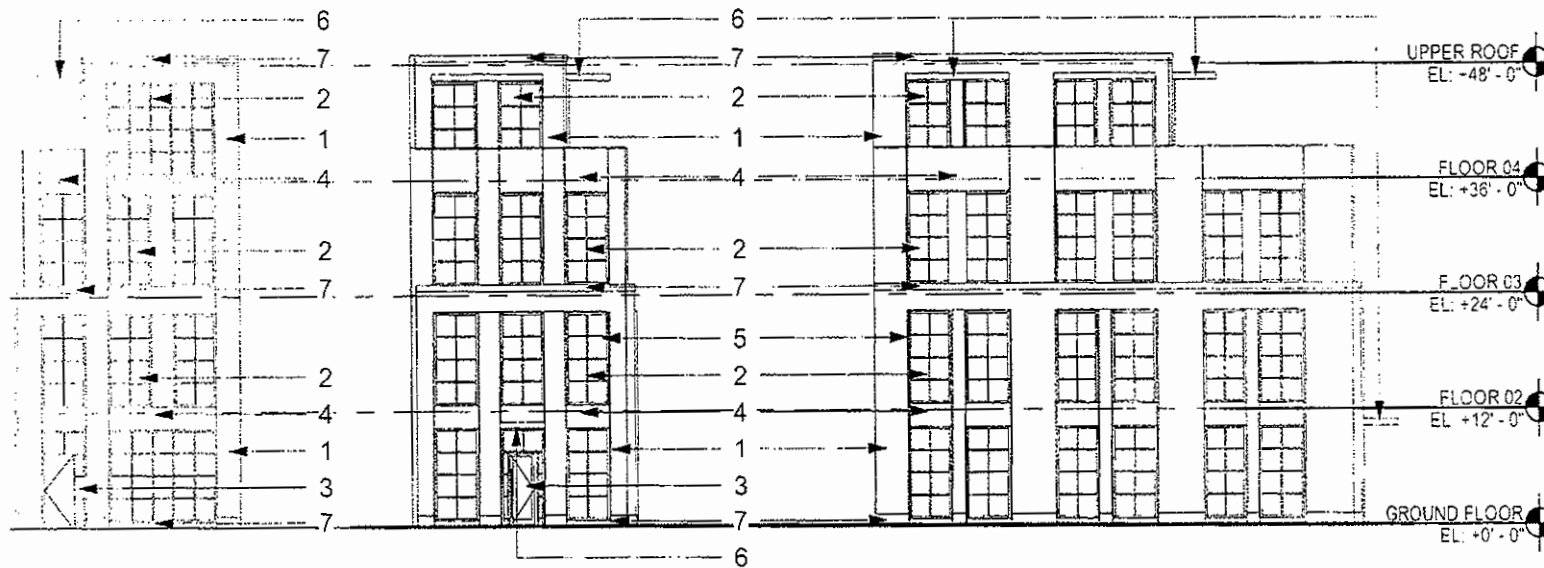
SCALE: 1/16" = 1'

OVERALL ELEVATIONS

31133

MATERIAL LEGEND

1. MASONRY CLADDING
2. PUNCHED WINDOW
3. GLASS SIDE LITES AND TRANSOM
4. METAL PANEL CLADDING
5. EXTRUDED METAL FRAME
6. OPEN METAL CANOPY
7. CAST STONE
8. METAL GARAGE DOOR



SUB-AREA: C

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 235-305 W OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/8"=1'

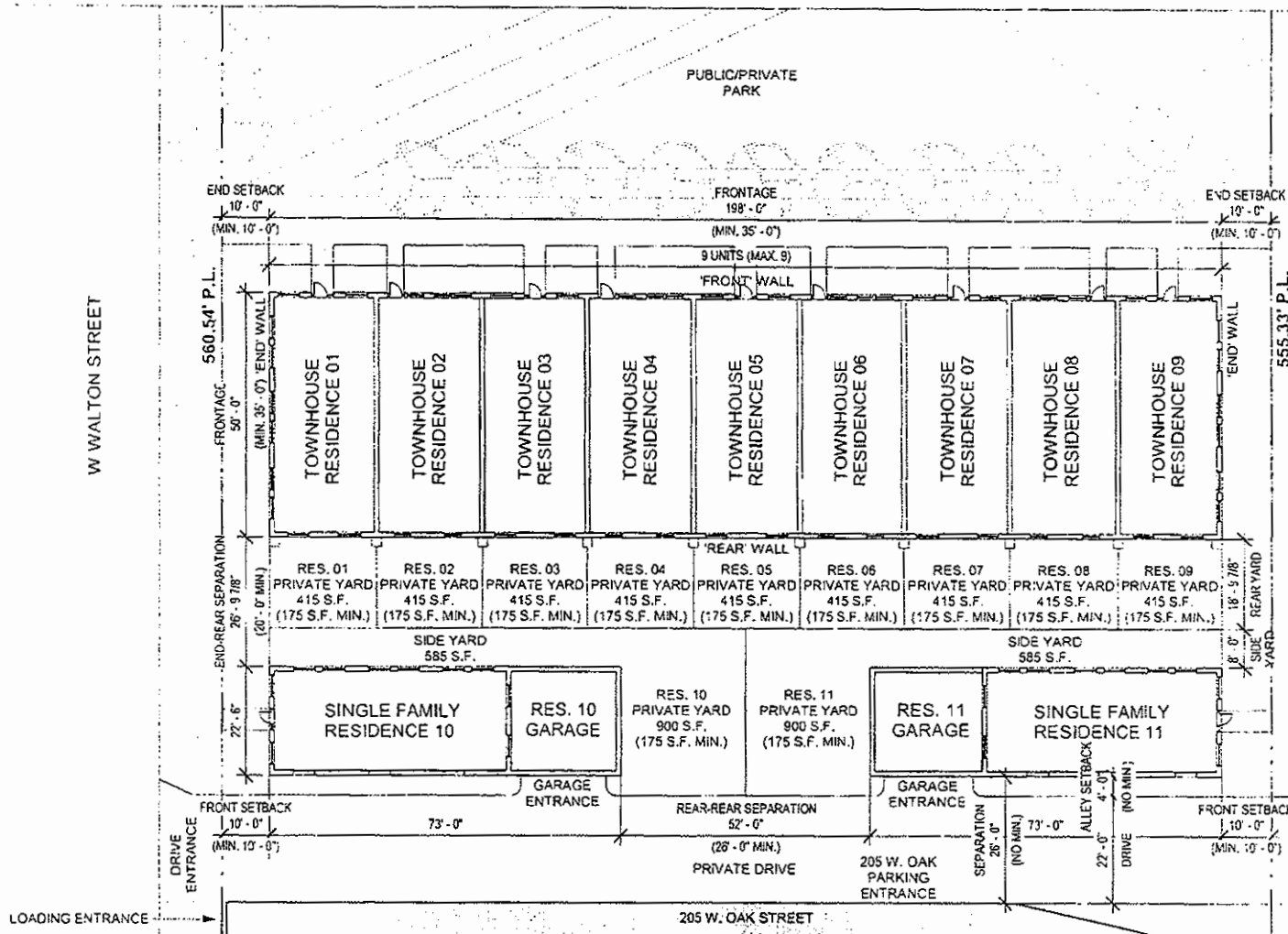
TYPICAL RESIDENCE ELEVATION

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PUBLICATION

5/26/2021

REPORTS OF COMMITTEES

31135



NOTES

- DEVELOPMENT IS LESS THAN 40 UNITS. NO DEDICATED COMMON OPEN SPACE IS REQUIRED
- 2 DEDICATED PARKING SPACES FOR RESIDENCES 1-9 ARE TO BE PROVIDED BE LOW GRADE. DIRECT CONNECTION BETWEEN 2 PARKING SPACES AND INDIVIDUAL RESIDENCES TO BE PROVIDED

SUB-AREA: C

APPLICANT: NORTH UNION LLC / THE MOODY BIBLE INSTITUTE OF CHICAGO

ADDRESS OF PROJECT: 235-305 W OAK STREET

INTRODUCTION: 03-24-2021

PLAN COMMISSION: 05-20-2021

SCALE: 1/16"=1'

GROUND FLOOR PLAN
TOWNHOUSE DEVELOPMENT COMPLIANCE