

PD 1454

Table of Contents

08/30/2024 Minor Change	2
Exhibits	4
02/02/2023 Minor Change/Site Plan	13
Exhibits	16
04/26/2022 Minor Change/Site Plan	27
Exhibits	29
12/22/2020 Minor Change	45
Exhibits	48
03/13/2019 PD Adoption	50
Ordinance	53
Statements	55
Bulk Table	60
Exhibits	61



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

August 30, 2024

Scott Borstein
Neal and Leroy, LLC
20 S. Clark St, Suite 2050
Chicago IL 60603

Re: Minor Change and Site Plan Approval for Planned Development No. 1454, related to the Proposed Joint Public Safety Training Campus at 4301 W. Chicago Ave.

Dear Mr. Borstein:

Please be advised that your request for a minor change and subsequent site plan approval for Institutional Planned Development No. 1454 ("PD 1454"), as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement and Statement Number 12 of PD 1454.

The City of Chicago Department of Planning and Development (DPD) has reviewed the request for approval submitted for the project identified above. The project consists of the construction of a new EMS/CPD addition of approximately 52,000sf and three stories in height.

The submitted request contained the following modification requests:

- To increase the proposed addition from 15,000sf to 52,000sf, and from 1-story to 3-stories, but the location of the addition would remain consistent at the rear of the facility as indicated in the previous approval, additionally the project would remain compliant with the allowable FAR and Height indicated in the planned development bulk table.
- To replace the previously approved OKO rain screen system with metal panels.

The changes listed below are represented on the following attached documents dated August 8th, 2024, prepared by AECOM:

- Proposed Site Plan
- Enlarged Site Plan
- Site Plan Comparison
- Building Elevations – Overall
- Second Floor Plan
- Third Floor Plan
- Fourth Floor Plan

Upon review of the material submitted, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the previously approved bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1454, I hereby approve the foregoing minor change and revised site plan approval request, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

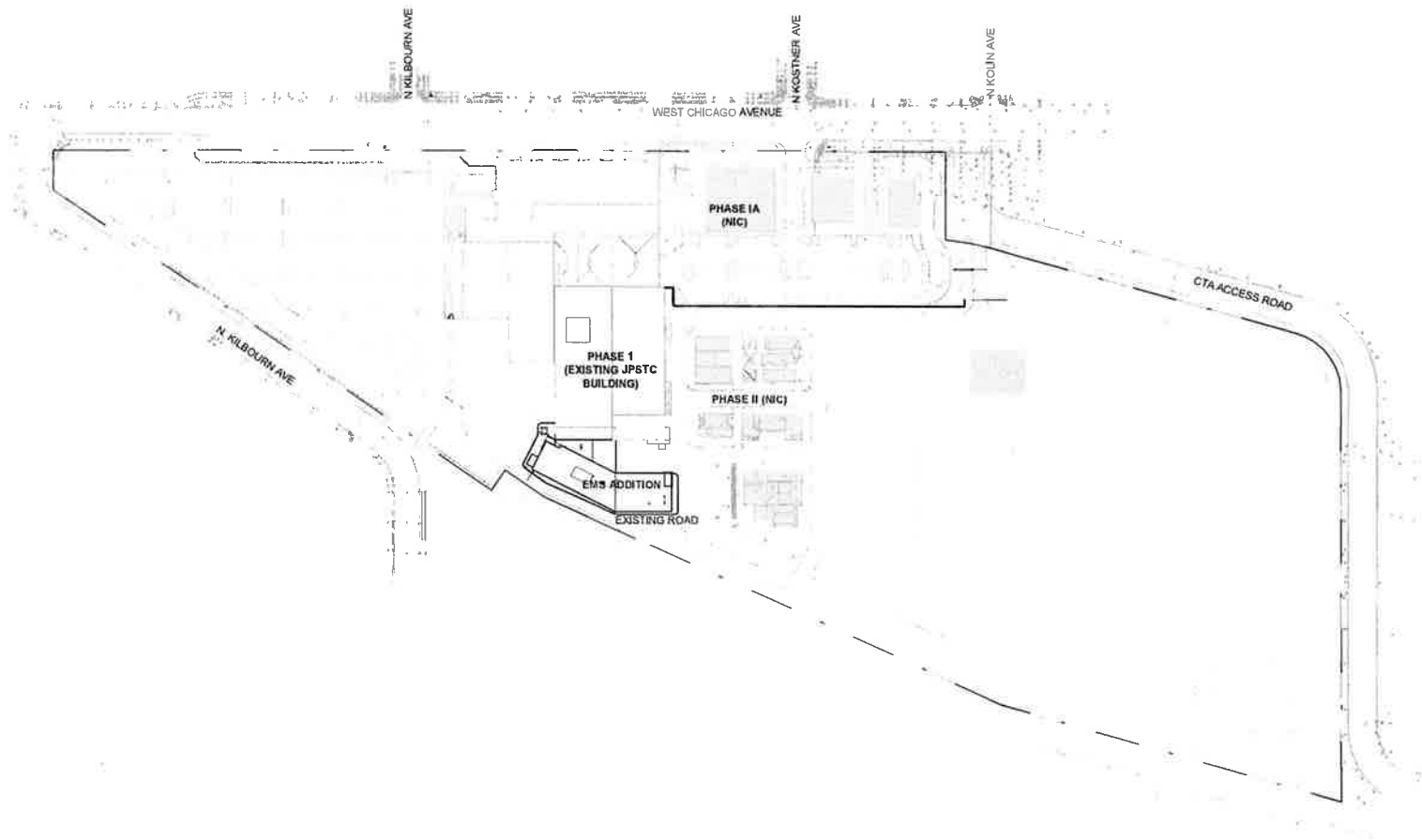
If you have any questions or need further clarification on these comments, please contact Ernest Bellamy at (312) 744-4461 or at Ernest.Bellamy@cityofchicago.org.

Sincerely,



Noah Szafraniec
Assistant Commissioner – Planned Developments and Plan Commission

Cc: Kerl LaJeune
Justin Cafferty
Mike Marmo, DPD
Ernest Bellamy, DPD
Planned Development files



PROPOSED SITE PLAN



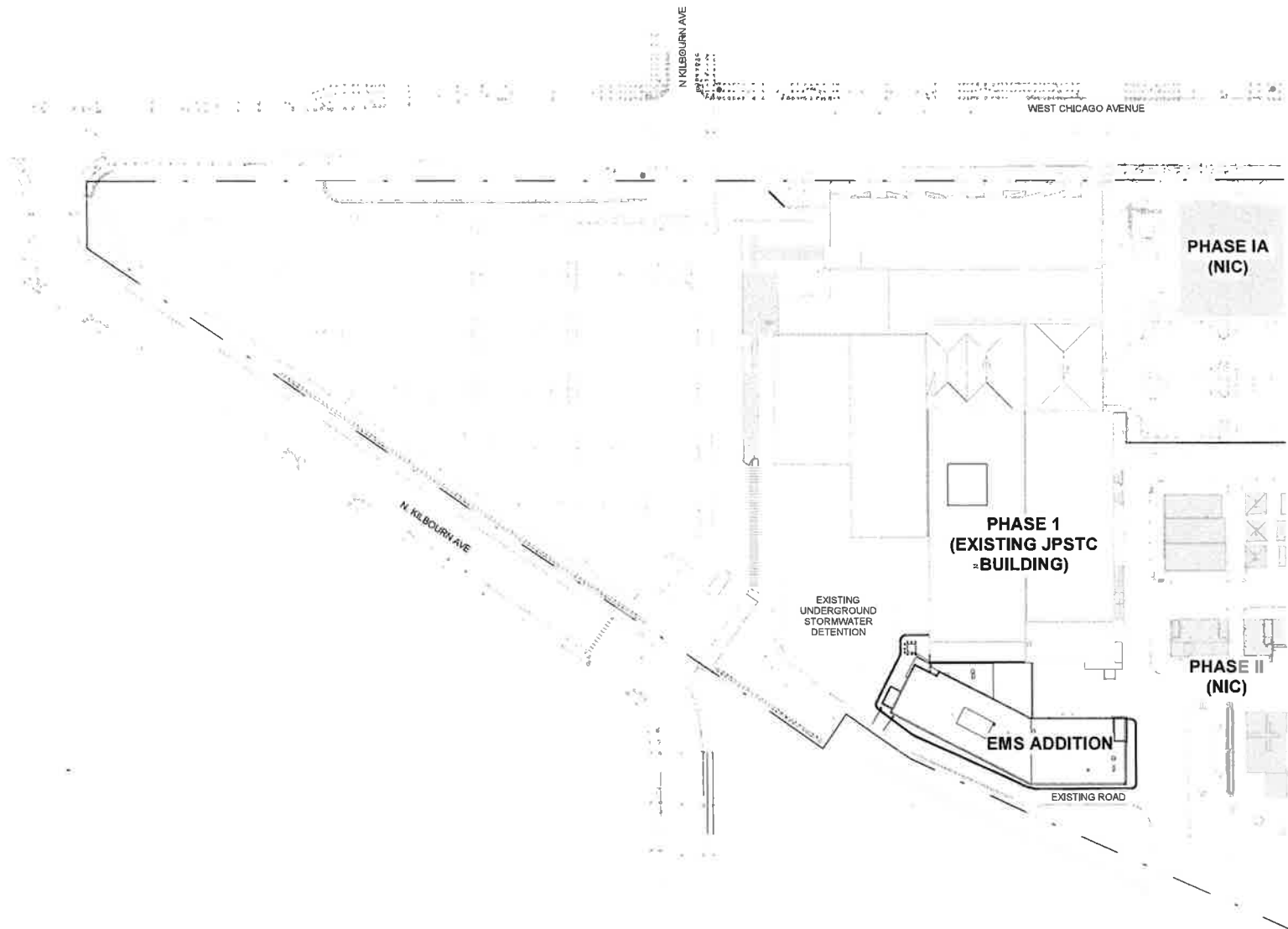
SCALE: 1" = 300'-0"

AECOM



Applicant : Alderman Emma Mitts on behalf of the City of Chicago
Address : 701 N. Kilbourn Avenue, Chicago, IL 60651

Date Filed : 06/19/2024
Plan Commission : 06/19/2024



ENLARGED SITE PLAN



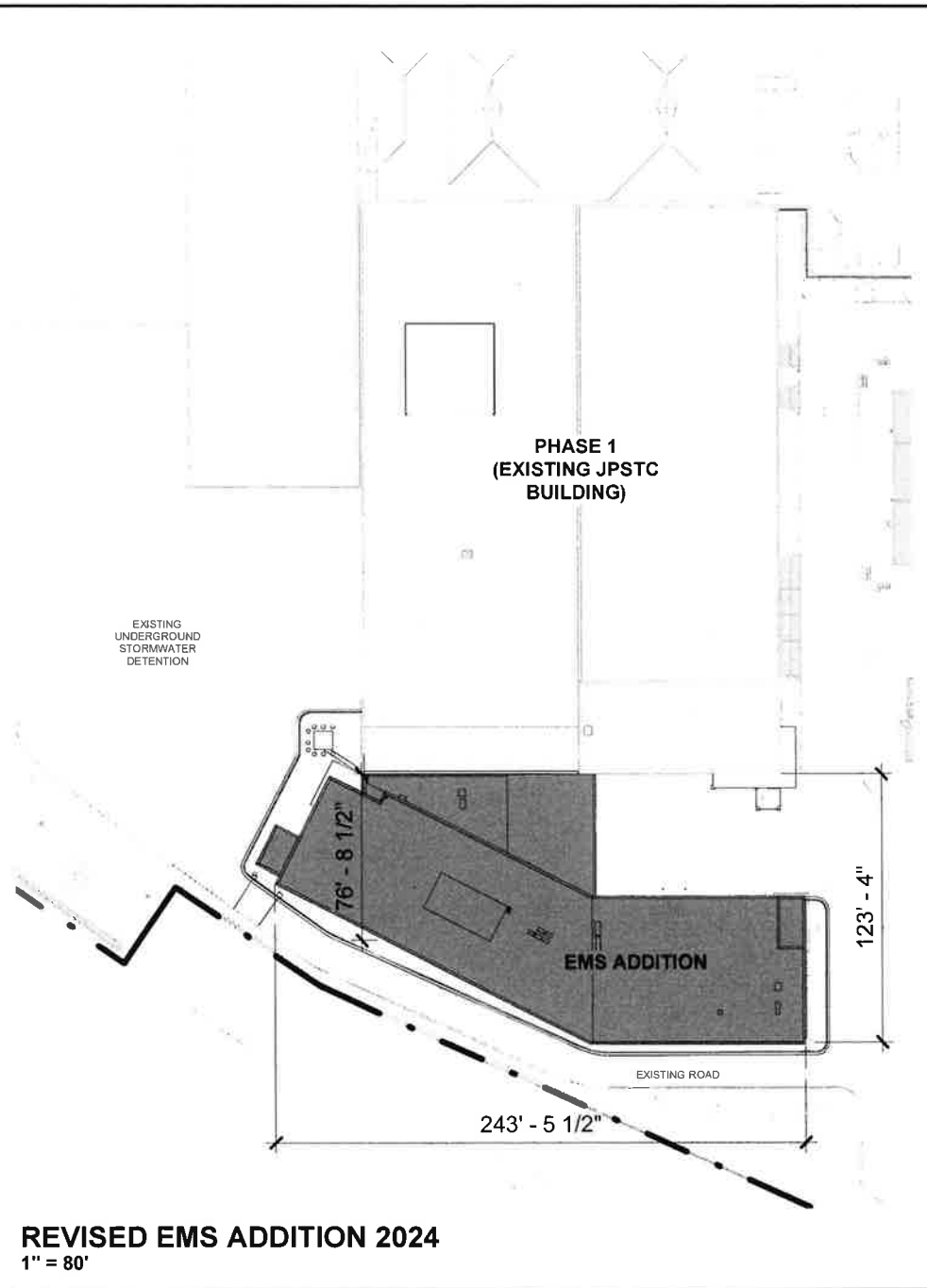
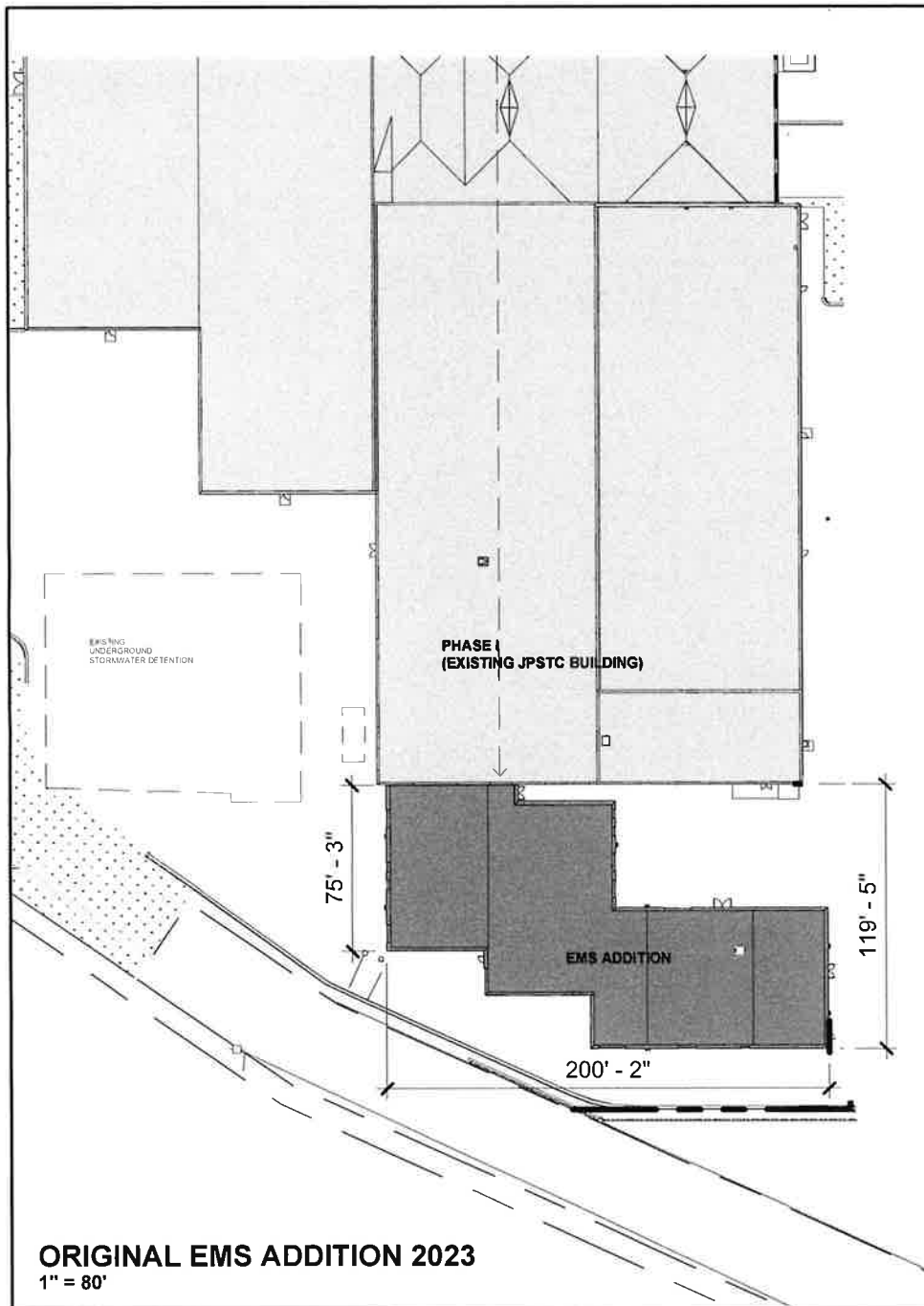
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AECOM



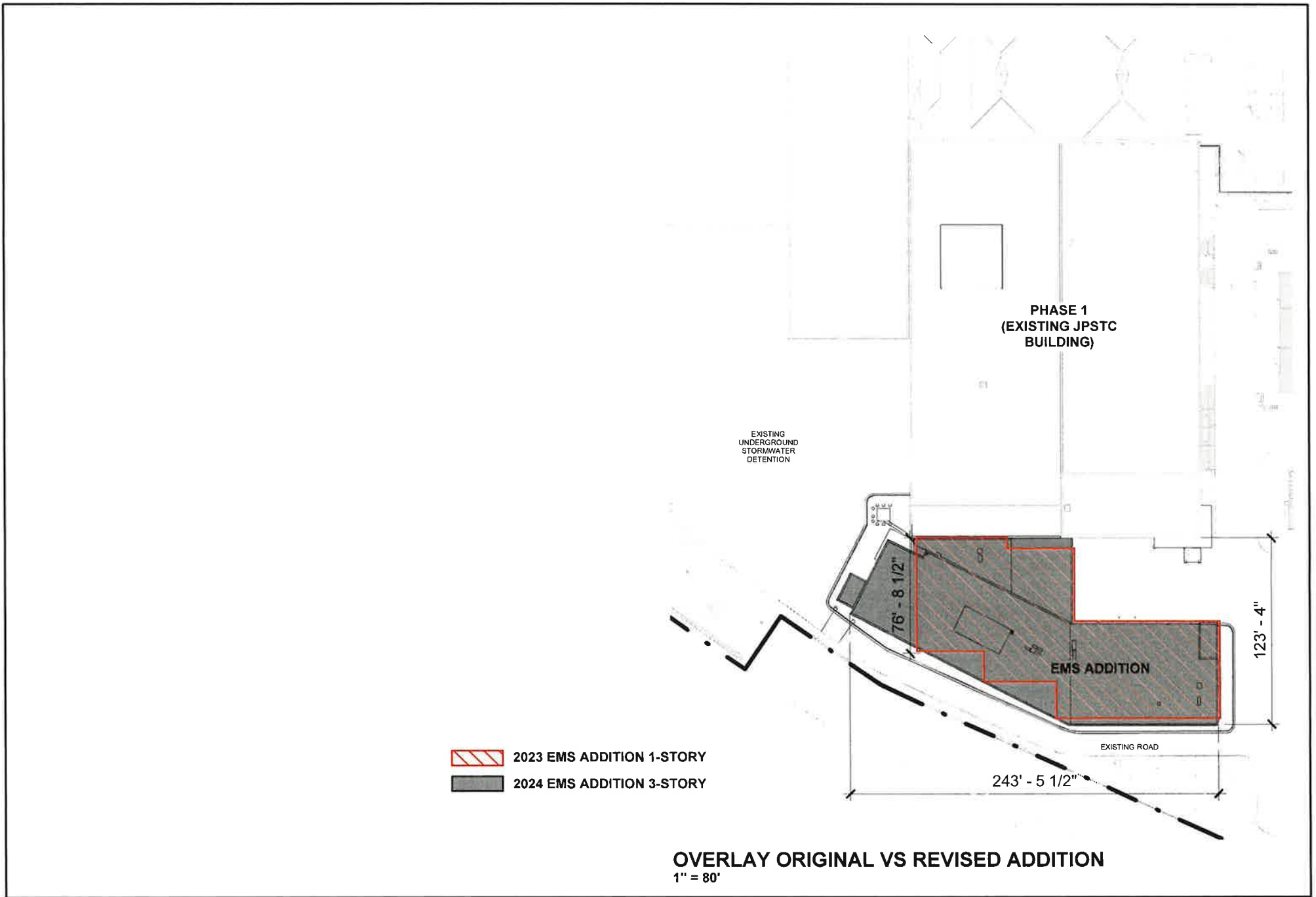
Applicant : Alderman Emma Mitts on behalf of the City of Chicago
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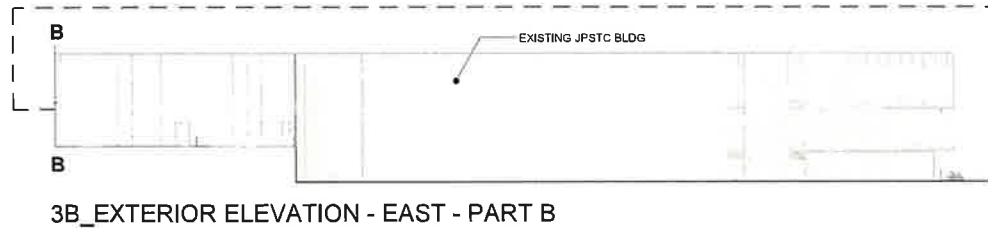
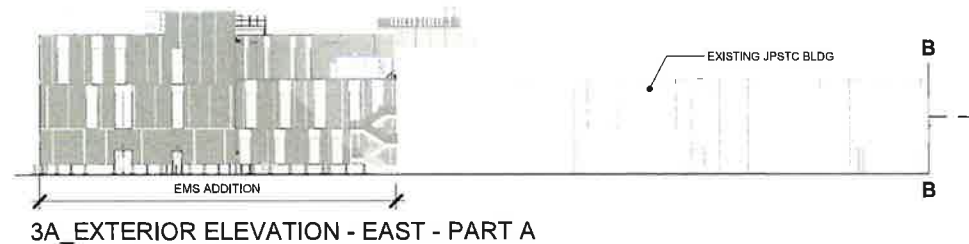
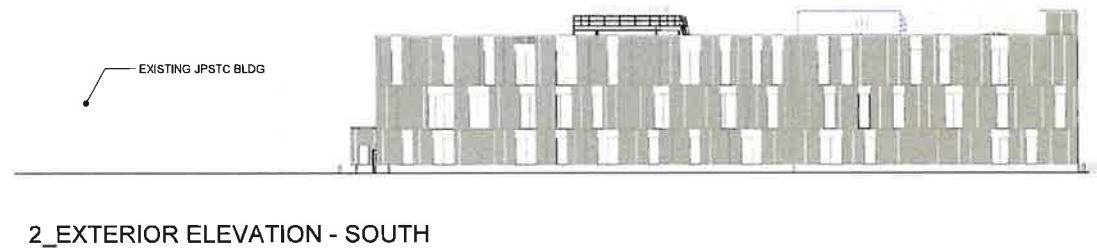
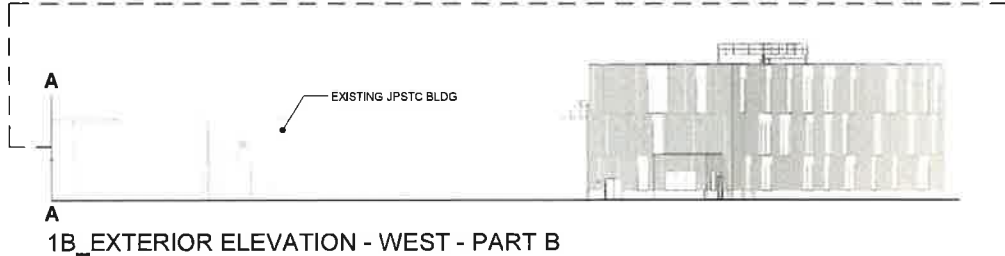
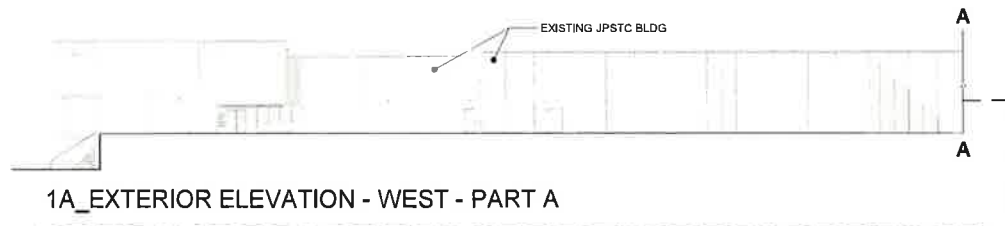
SITE PLAN COMPARISON





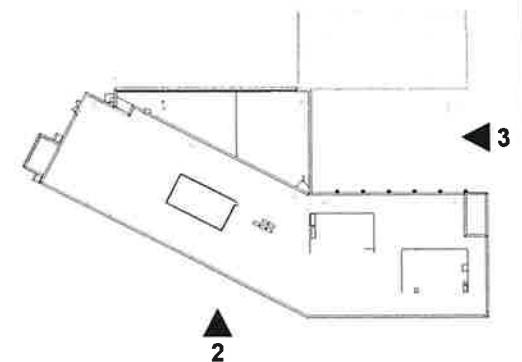
SITE PLAN COMPARISON





1 ►

KEYPLAN



BUILDING ELEVATIONS - OVERALL

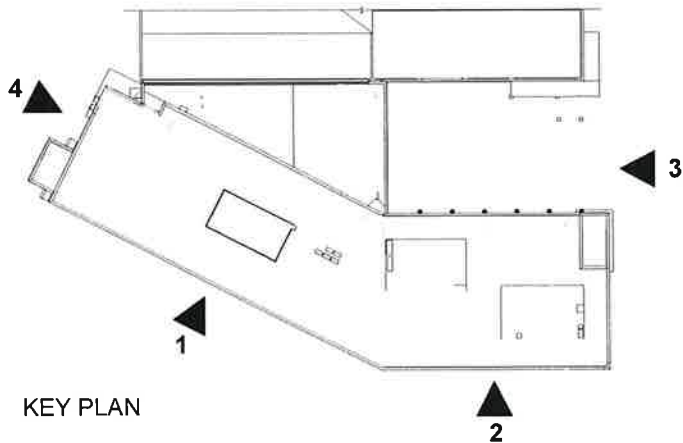


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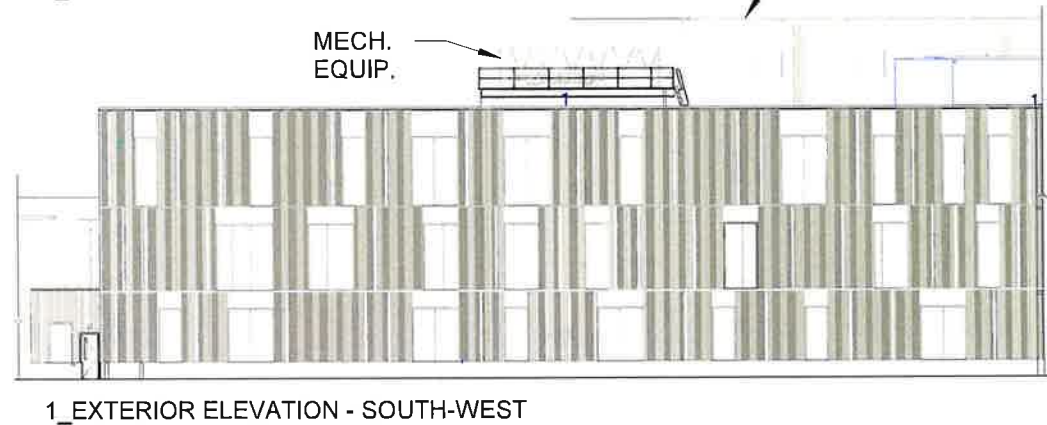
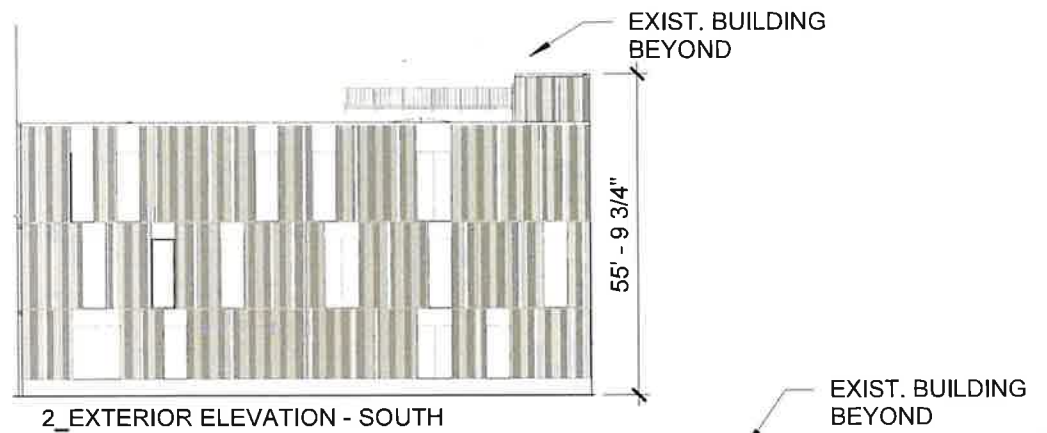
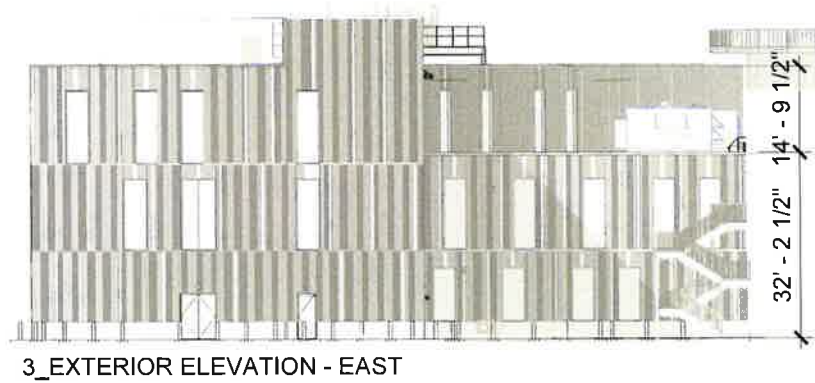
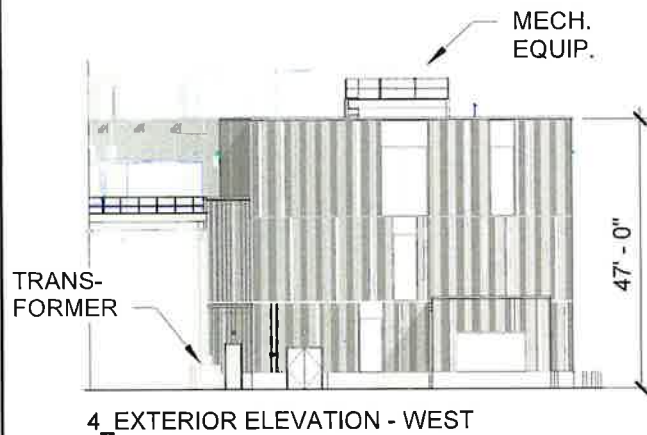
Applicant : Alderman Emma Mitts on behalf of the City of Chicago
Address : 701 N. Kilbourn Avenue, Chicago, IL 60651

Date Filed : 06/19/2024
Plan Commission : 06/19/2024



GENERAL NOTES

1. ALL EXTERIOR CLADDING IS VERTICAL, CONCEALED FASTENER METAL PANELS, UNLESS NOTED OTHERWISE.
2. EXTERIOR HOLLOW METAL DOORS AND FRAMES TO BE PAINTED. COLOR TO BE SELECTED BY A/E.
3. PRE-FINISHED LOUVERS, FASCIA, AND METAL COPING TO MATCH ADJACENT FINISH USING MANUFACTURER'S COLOR EQUIVALENT.



BUILDING ELEVATIONS - OVERALL

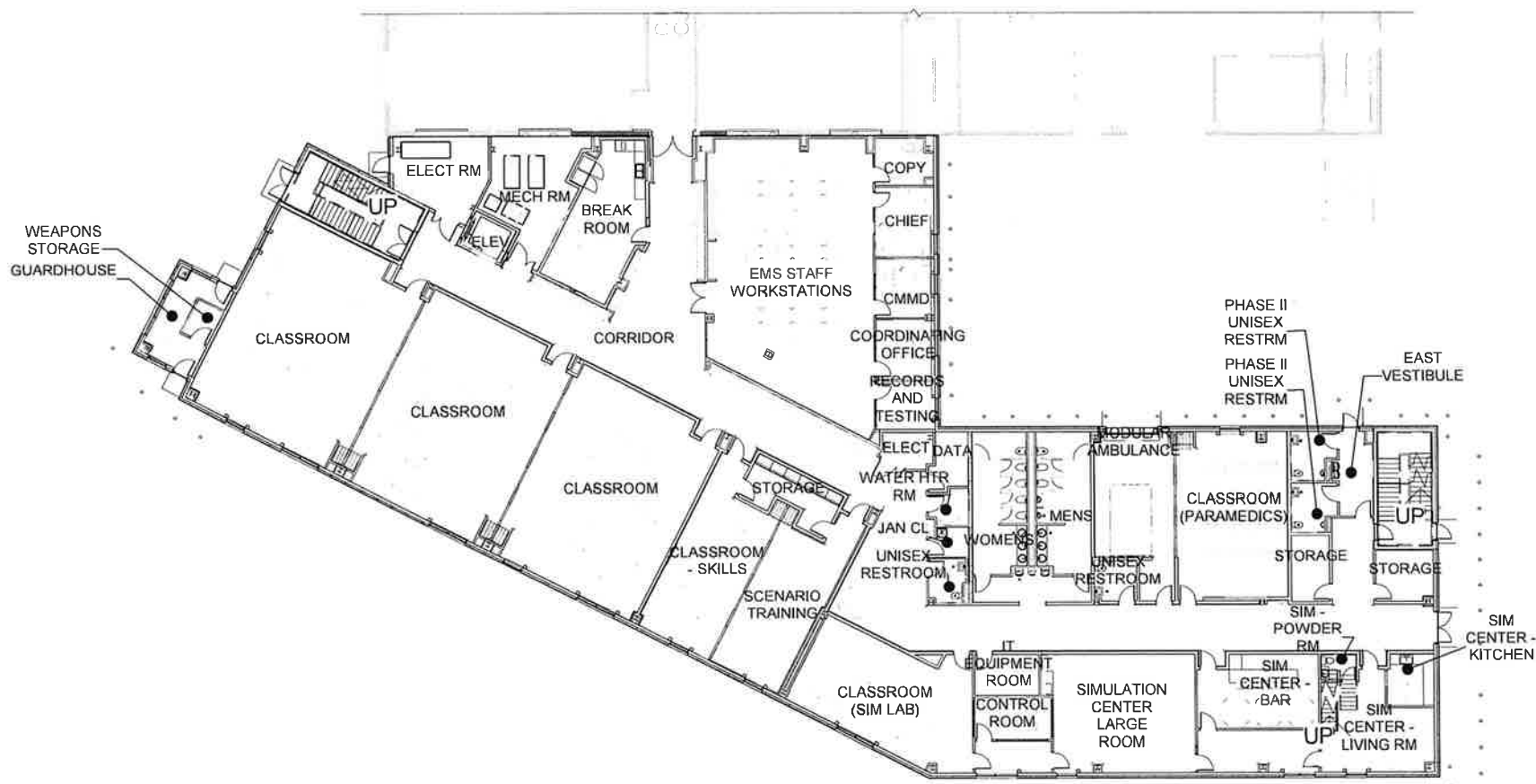


SCALE: 1/64" = 1'0"



Applicant : Alderman Emma Mitts on behalf of the City of Chicago
Address : 701 N. Kilbourn Avenue, Chicago, IL 60651

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SECOND FLOOR PLAN

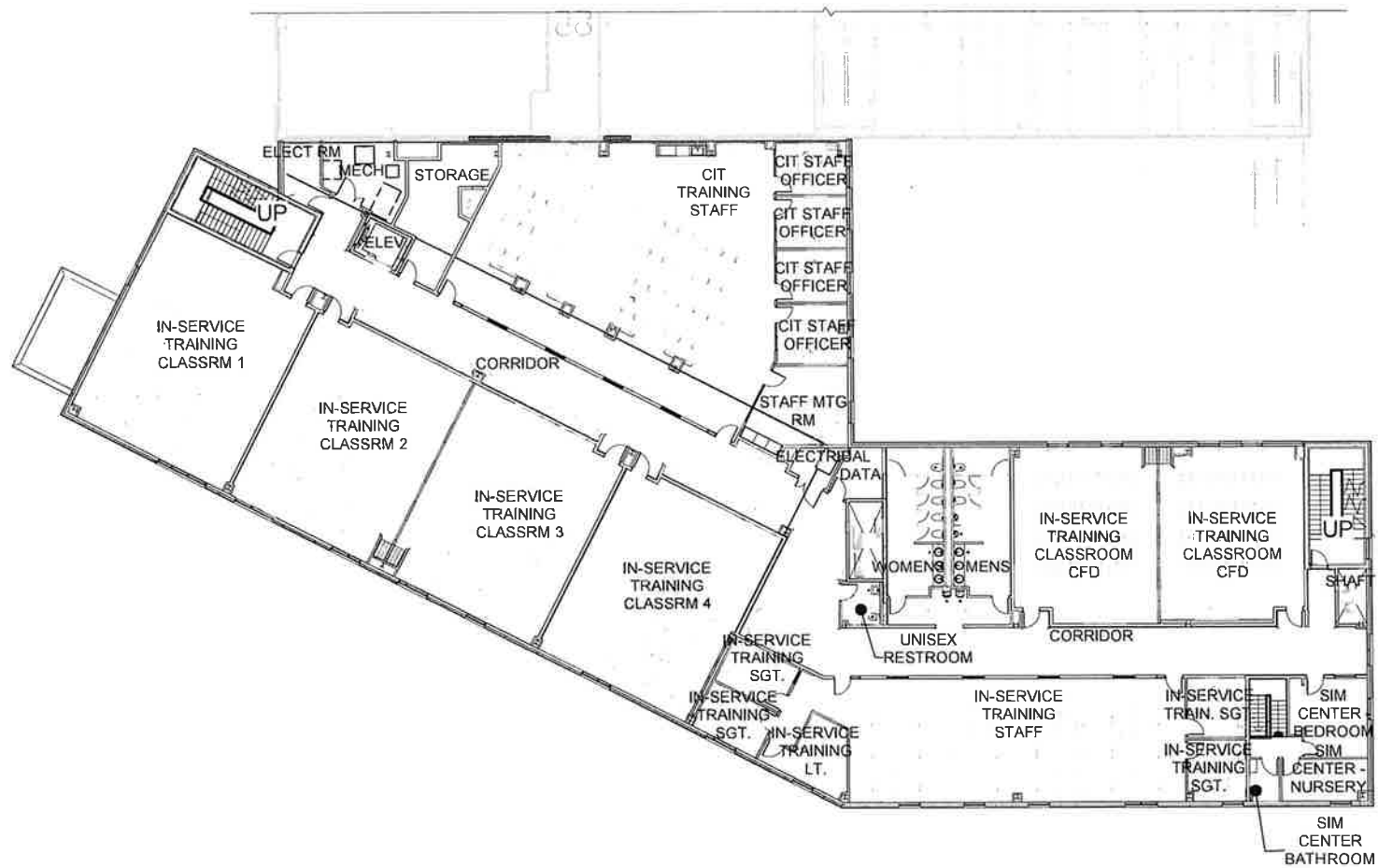


SCALE: 1/32" = 1'0"



Applicant : Alderman Emma Mitts on behalf of the City of Chicago
Address : 701 N. Kilbourn Avenue, Chicago, IL 60651

Date Filed : 06/19/2024
Plan Commission : 06/19/2024



THIRD FLOOR PLAN



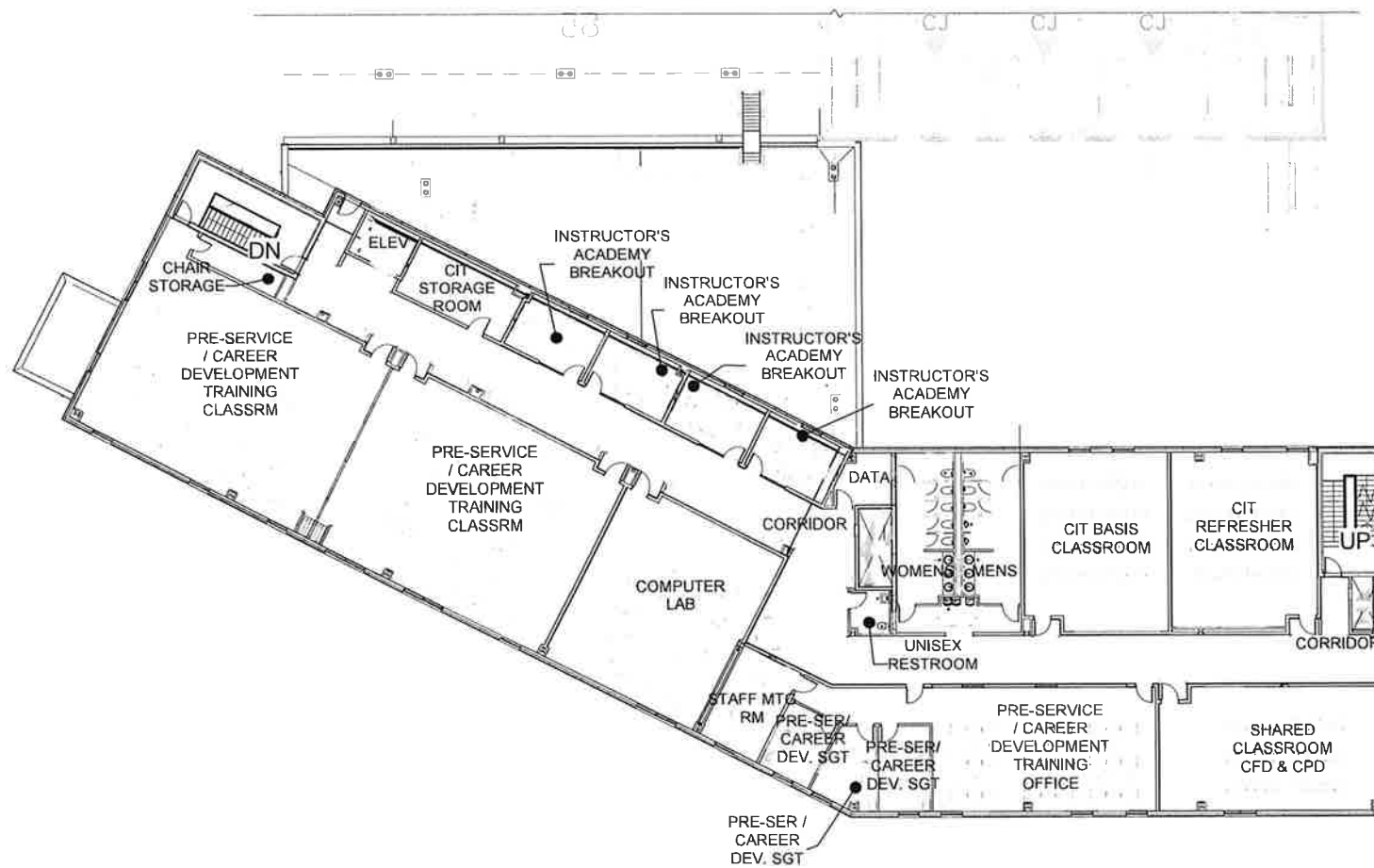
SCALE: 1/32" = 1'0"

AECOM



Applicant : Alderman Emma Mitts on behalf of the City of Chicago
Address : 701 N. Kilbourn Avenue, Chicago, IL 60651

Date Filed : 06/19/2024
Plan Commission : 06/19/2024



FOURTH FLOOR PLAN



SCALE: 1/32" = 1'0"

AECOM



Applicant : Alderman Emma Mitts on behalf of the City of Chicago
Address : 701 N. Kilbourn Avenue, Chicago, IL 60651

Date Filed : 06/19/2024
Plan Commission : 06/19/2024



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

February 2, 2023

Max Riordan, AIA
City of Chicago
Assets, Information & Services (AIS)
Bureau of Architecture, Engineering & Construction (AEC)
2 N. LaSalle St, Suite 200
Chicago IL 60602

Re: Minor Change and Site Plan Approval for Planned Development No. 1454, related to the Proposed Joint Public Safety Training Campus at 4301 W. Chicago Ave.

Dear Mr. Riordan:

Please be advised that your request for a minor change to Institutional Planned Development No. 1454 ("PD 1454") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD No. 1454. The applicant, the City of Chicago, is the sole property owner of PD No. 1454, and is seeking a minor change to the proposed Joint Public Safety Training Campus ("JPSTC") at 4301 W. Chicago Ave.

The planned development states that the building design may evolve at either the request of the City of Chicago or the Department of Planning and Development, pursuant to that allowance and statement No. 12 the following changes are proposed:

Reallocation of Site Area, where:

24,366 s.f. reallocation of site area from the Phase II project area to Phase I to accommodate the EMS addition. As such, Phase I will be responsible for additional pavement, site grading, and stormwater management piping in this area of the new structure.

EMS Addition to Stormwater Management, where:

Additional piping will be added to help route stormwater discharge around the newly configured structure.

EMS Addition to Site Grading, where:

Slight modifications to the southern part of the project site near the EMS addition.
External grades needing to align with internal finished floor elevations, as a result, the

grades surrounding the EMS addition will require a slight increase in elevation. All other conditions will remain as previously approved

EMS Building Addition, where:

The project will add approximately 15,000sf of building area to the southern façade of the previously approved JPSTC building. The building area will not impact the overall allowed FAR for PD No. 1454, the revised proposed overall area will still be significantly less than what is allowed. The building will be a single story which is compliant with the building height limitations established by the original PD. The building façade material will be a combination of metal panel and curtainwall. There will be three metal panel profiles randomly placed within given “panel” sections which will match the random pattern of the Chicago Avenue rainscreen system. The color of the metal panel façade system has not yet been approved by the Owner (City). The curtainwall panels will also be like that of the Chicago Avenue façade as clear glazing units will be incorporated at occupant level and spandrel units incorporate above the ceiling plane.

Further, Pursuant to Statement No. 13 of PD No.1454, which states that the Applicant shall submit a site plan, landscape plan and building elevations for the specific outlot(s) for review and approval.

Phase 1A Sitework:

Grading throughout the site was revised to minimize spoil haul-off, including creating a berm along the northeast corner of the site. Fencing along the east side of the property was removed from the scope of work at the same location. The Public Plaza and Boys and Girls Club future playground area layouts were revised to incorporate public artwork and site furnishings were revised throughout the site to provide more cost-effective solutions while maintaining the project intent. Additionally, the trash enclosure size and detailing were revised to provide a cleaner solution. The trash enclosure material is the same as previously proposed and approved in the previously approved Minor Change.

Phase 2 Mock Street Layout:

Due to the Phase 1 EMS Building addition, the road layout south of the Live Fire training structures was revised to coordinate with the revised Phase 1 access point. All other roads remain unchanged.

Phase 2 Sitework:

Grading throughout the southern half of the site was revised to minimize spoil haul-off and maintain proper elevation for connection to the Phase 1 EMS addition and existing rail line to the south.

Phase 2 Urban Tactical Rescue Trainer Reorientation:

To coordinate with the revised road layout, the Urban Tactical Rescue Trainer, was reoriented (rotated and mirrored) to fit properly. Since the structure is in roughly the same location, setbacks to property lines were not largely affected and the sizing of all structure remains unchanged. The accessory components to this structure (Metra/CTA trains, training platform, and hazmat area) were also reorganized within the block to better coordinate with the revised street layout.



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

Phase 2 Stormwater Management:

The revised road layout did require a revision of the stormwater calculations. Revised stormwater drawings and calculations have been submitted to the Department of buildings for review.

DPD has completed a full review of the proposed plans for the development site, which have also been approved by all required City departments. Details of the operations of this facility are included in your request letter submitted on December 8, 2022, and the approved plans are in accordance with the following exhibits attached to this letter: overall proposed site phasing plan, enlarged EMS addition site plan, EMS addition floor plan, EMS addition elevations, Phase 1A Lot Lines, Proposed PH1A Site Plan, proposed street scape site plan, proposed landscape plan, Enlarged Phase 2 Site Plan, Enlarged Urban Tactical Rescue Trainer Floor Plan, and Urban Tactical Rescue Trainer Elevations. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD #No. 1454, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

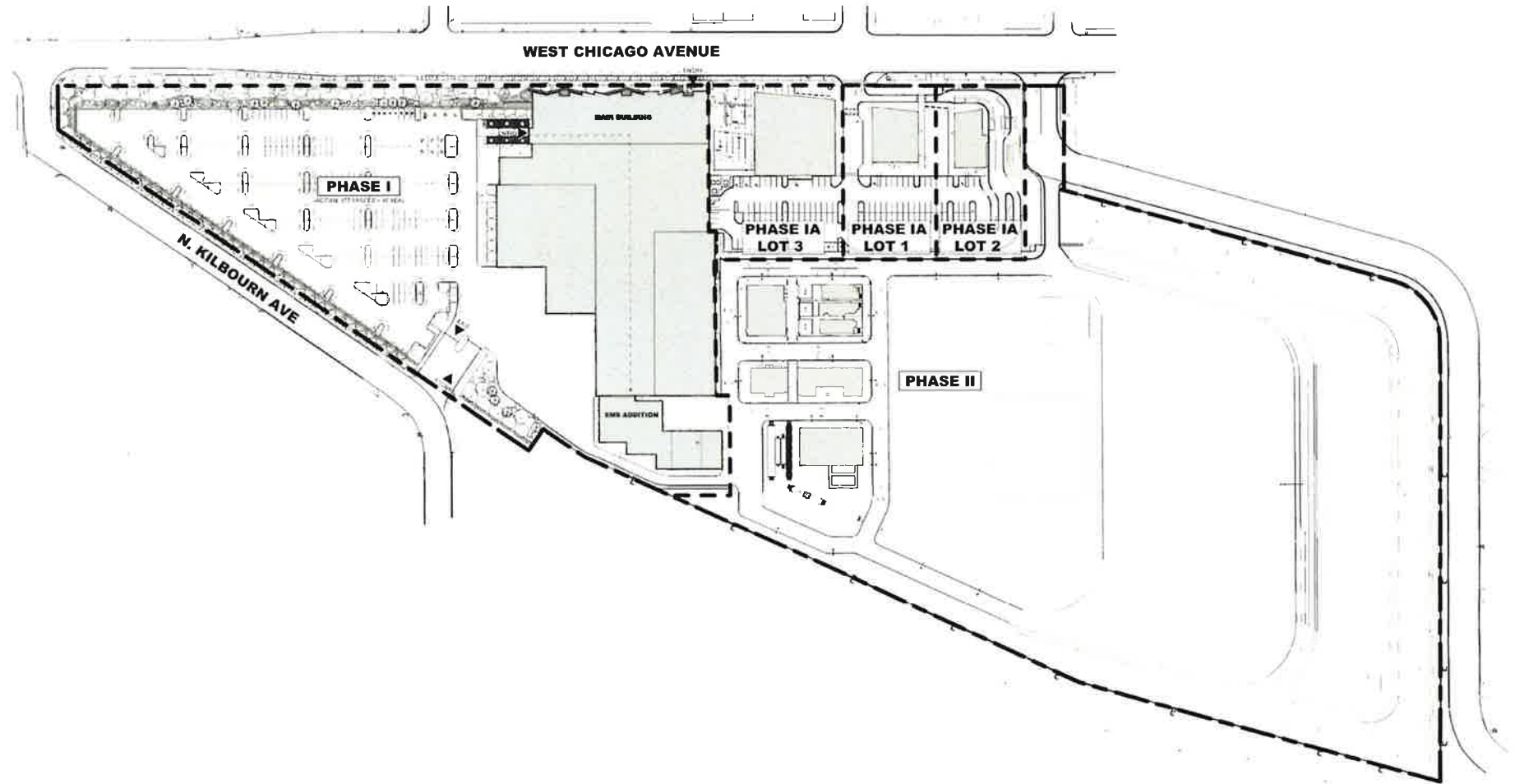
Additionally, the applicant has requested site plan approval for the proposal at 4301 W. Chicago Avenue. The Department of Planning and Development confirms the attached plan exhibits are in accordance with and satisfy the requirements of the Chicago Zoning Ordinance and PD No. 1454. Accordingly, this site plan approval request is hereby approved.

Sincerely,

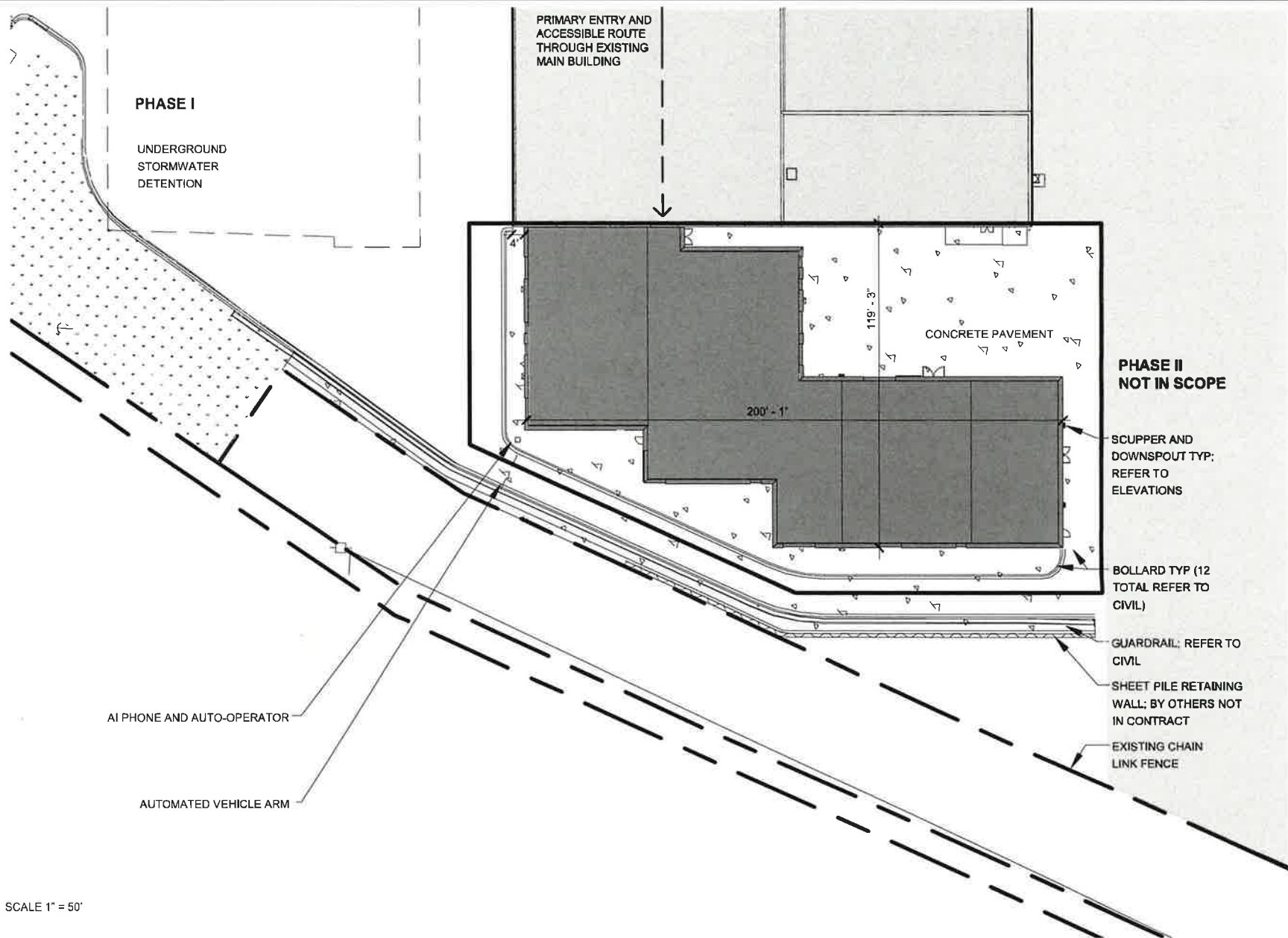
Noah Szafraniec
Assistant Commissioner - Planned Developments and Plan Commission

C: Gerardo Garcia, Mike Marmo, Erik Glass, Ron Daye, Main file

OVERALL PROPOSED SITE PHASING PLAN

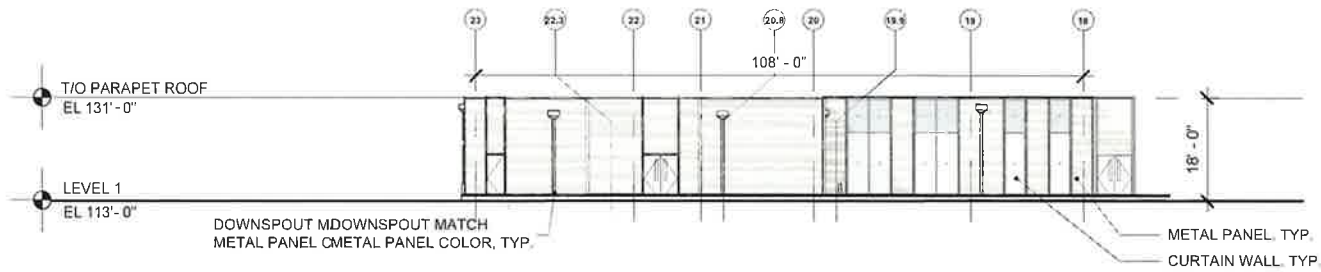


ENLARGED EMS ADDITION SITE PLAN



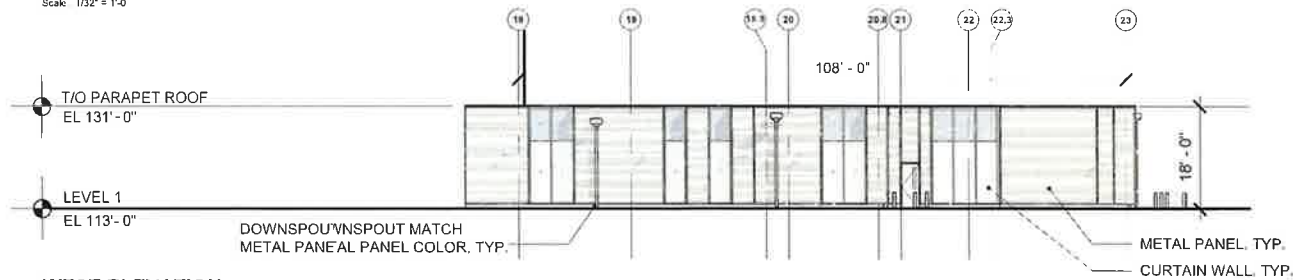


EMS ADDITION ELEVATIONS



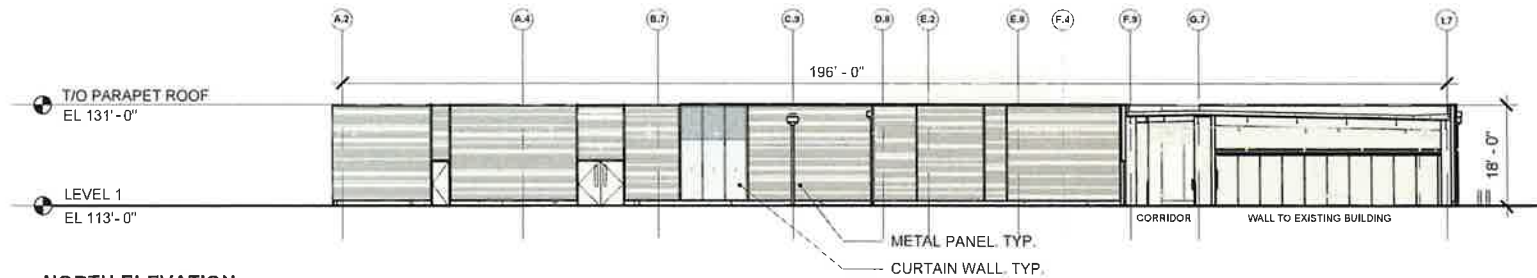
EAST ELEVATION

Scale: 1/32" = 1'-0"



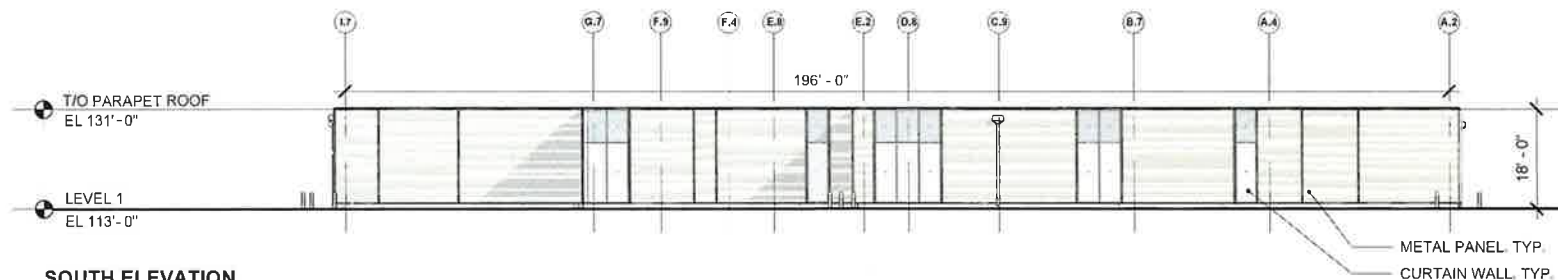
WEST ELEVATION

Scale: 1/32" = 1'-0"



NORTH ELEVATION

Scale: 1/32" = 1'-0"



SOUTH ELEVATION

Scale: 1/32" = 1'-0"

JOINT PUBLIC SAFETY TRAINING CAMPUS

PD 1454

08/23/2022

PHASE 1A LOT LINES

SITE LEGEND

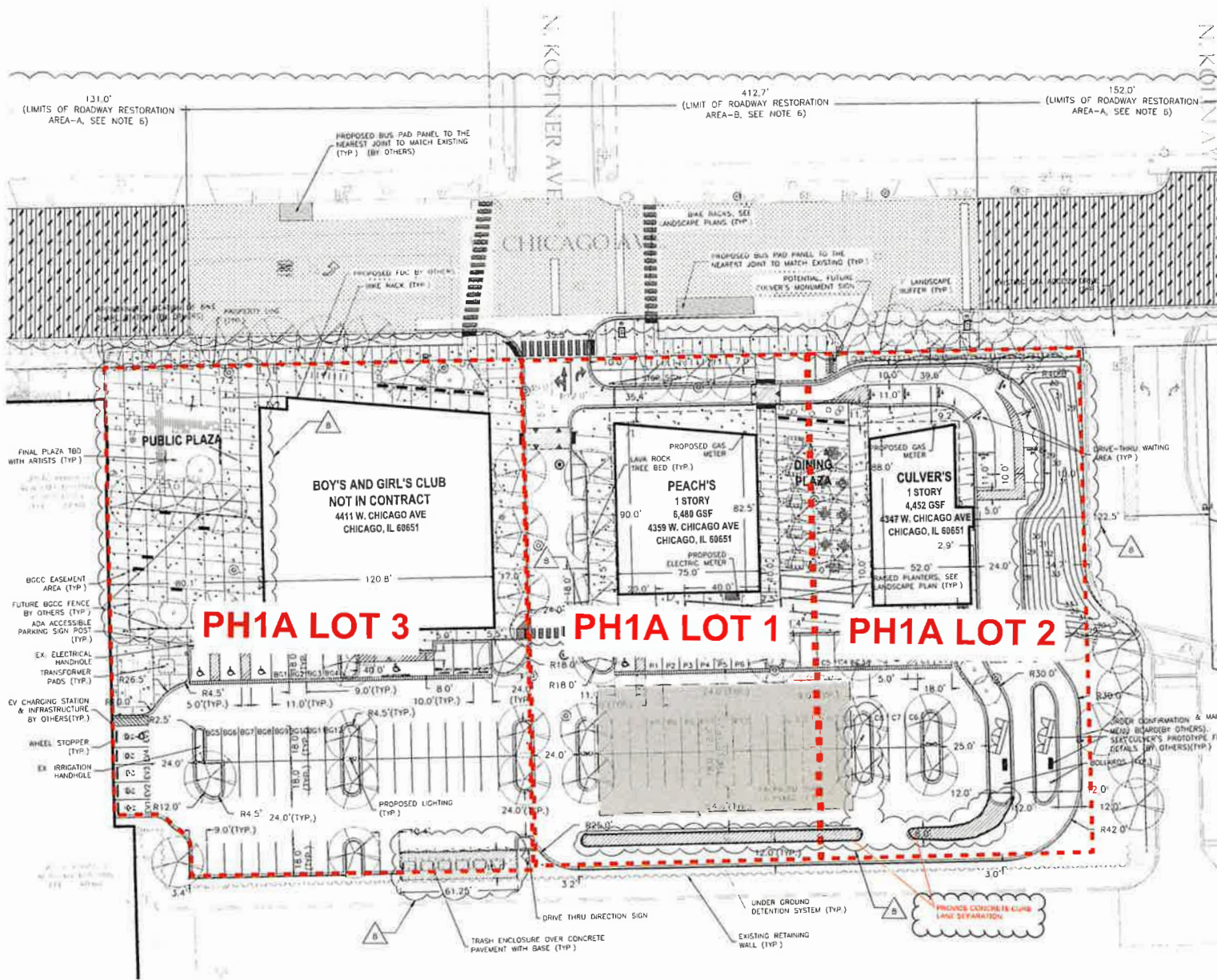
- PROPERTY LINE
- BUILDING (SEE ARCHITECTURAL PLANS)
- CONCRETE PAVEMENT & BASE (SEE DETAIL 4 SHEET CB-0-1)
- CONCRETE SIDEWALK & BASE (SEE DETAIL 2 SHEET CB-0-1)
- ADA ACCESSIBLE RAMP (CONCRETE SIDEWALK & BASE) (SEE DETAIL 1 SHEET CB-0-1)
- ASPHALT PAVEMENT & BASE (SEE DETAIL 1 SHEET CB-0-1)
- HMA RESURFACING (SEE DETAIL 1 SHEET CB-0-1)
- CONCRETE SPEED TABLE (SEE DETAIL 9 SHEET CB-0-1)
- LAWN, PLANTING & TREES (SEE LANDSCAPE PLANS)
- MULCH LANDSCAPE BED (SEE LANDSCAPE PLANS)
- CONCRETE BUS PAD
- LAVA ROCK TREE BED (SEE LANDSCAPE PLANS)
- CONCRETE CURB & GUTTER
- CONCRETE DEPRESSED CURB & GUTTER
- SEAT WALL (SEE LANDSCAPE PLANS)
- ORNAMENTAL FENCE (SEE LANDSCAPE PLANS)
- CATCH BASIN (SEE DETAIL 7 SHEET CB-1-1)
- MANHOLE
- CLEANOUT (SEE DETAIL 5 SHEET CB-1-1)
- GREASE TRAP (SEE MEP PLANS)
- TRENCH DRAIN (SEE DETAIL 3 SHEET CB-2-1)
- BUFFALO BOX (SEE DETAIL 2 SHEET CB-2-1)
- WATER METER VAULT (SEE DETAIL 2 SHEET CB-2-1)

NOTES

1. ALL NON-PAVED GRADED AREAS SHALL BE PROVIDED WITH TOPSOIL AND LAWN OR PLANTINGS PER LANDSCAPE PLANS/PROJECT SPECIFICATIONS
2. STANDARD PARKING STALLS SHALL BE STRIPPED WITH 4" WHITE PAINT MARKING
3. FOR PROPOSED LAWN/PLANTINGS AND TREE DETAILS, SEE LANDSCAPE PLANS
4. DIMENSIONS AND RADII SHOWN AT CURBS ARE TO THE FACE OF CURB
5. ARCHITECT CAN PROVIDE ELECTRONIC CAD FILES OF SITE PAVING PLANS FOR CONSTRUCTION STAKING AND LAYOUT ON SITE, IF REQUIRED BY THE CONTRACTOR
6. CONTRACTOR TO PROVIDE A BREAKOUT COST FOR ALL PUBLIC RIGHT OF WAY RESTORATION WORK INCLUDING SIDEWALKS, CURBS, CURB CUTS, ADA CURBS, ASPHALT, ETC. CONTRACTOR TO ALSO PROVIDE UNIT COST FOR ASPHALT AND CONCRETE SIDEWALKS
7. FENCE ALONG EAST SLIDE OF PROPERTY REMOVED FROM PROJECT AS DISCUSSED WITH DPD.



1/8" = 1'-0" SCALE



PROPOSED PH1A SITE PLAN

SITE LEGEND

- PROPERTY LINE
- BUILDING (SEE ARCHITECTURAL PLANS)
- CONCRETE PAVEMENT & BASE (SEE DETAIL 4 SHEET CB-0-1)
- CONCRETE SIDEWALK & BASE (SEE DETAIL 2 SHEET CB-0-1)
- ADA ACCESSIBLE RAMP (SEE DETAIL 1 SHEET CB-0-1)
- HMA RESURFACING (SEE DETAIL 1 SHEET CB-0-1)
- CONCRETE SPEED TABLE (SEE DETAIL 9 SHEET CB-0-1)
- LAWN, PLANTING & TREES (SEE LANDSCAPE PLANS)
- MULCH LANDSCAPE BED (SEE LANDSCAPE PLANS)
- CONCRETE BUS PAD
- LAVA ROCK TREE BED (SEE LANDSCAPE PLANS)
- CONCRETE CURB & GUTTER
- CONCRETE DEPRESSIONED CURB & GUTTER
- SEAT WALL (SEE LANDSCAPE PLANS)
- ORNAMENTAL FENCE (SEE LANDSCAPE PLANS)
- CATCH BASIN (SEE DETAIL 7 SHEET CB-1-1)
- MANHOLE (SEE DETAIL 5 SHEET CB-1-1)
- CLEANOUT (SEE DETAIL 3 SHEET CB-2-1)
- GREASE TRAP (SEE MEP PLANS)
- TRENCH DRAIN (SEE DETAIL 3 SHEET CB-2-1)
- BUFFALO BOX (SEE DETAIL 2 SHEET CB-2-1)
- WATER METER VAULT (SEE DETAIL 2 SHEET CB-2-1)

NOTES

1. ALL NON-PAVED GRADED AREAS SHALL BE PROVIDED WITH TOPSOIL AND LAWN OR PLANTINGS PER LANDSCAPE PLANS/PROJECT SPECIFICATIONS.
2. STANDARD PARKING STALLS SHALL BE STRIPED WITH 4" WHITE PAINT MARKING.
3. FOR PROPOSED LAWN/PLANTINGS AND TREE DETAILS, SEE LANDSCAPE PLANS.
4. DIMENSIONS AND RADII SHOWN AT CURBS ARE TO THE FACE OF CURB.
5. ARCHITECT CAN PROVIDE ELECTRONIC CAD FILES OF SITE PAVING PLANS FOR CONSTRUCTION STAKING AND LAYOUT ON SITE, IF REQUIRED BY THE CONTRACTOR.
6. CONTRACTOR TO PROVIDE A BREAKOUT COST FOR ALL PUBLIC RIGHT OF WAY RESTORATION WORK INCLUDING SIDEWALKS, CURBS, CURB CUTS, ADA CURBS, ASPHALT, ETC. CONTRACTOR TO ALSO PROVIDE UNIT COST FOR ASPHALT AND CONCRETE SIDEWALKS.
7. FENCE ALONG EAST SLIDE OF PROPERTY REMOVED FROM PROJECT AS DISCUSSED WITH DPO.



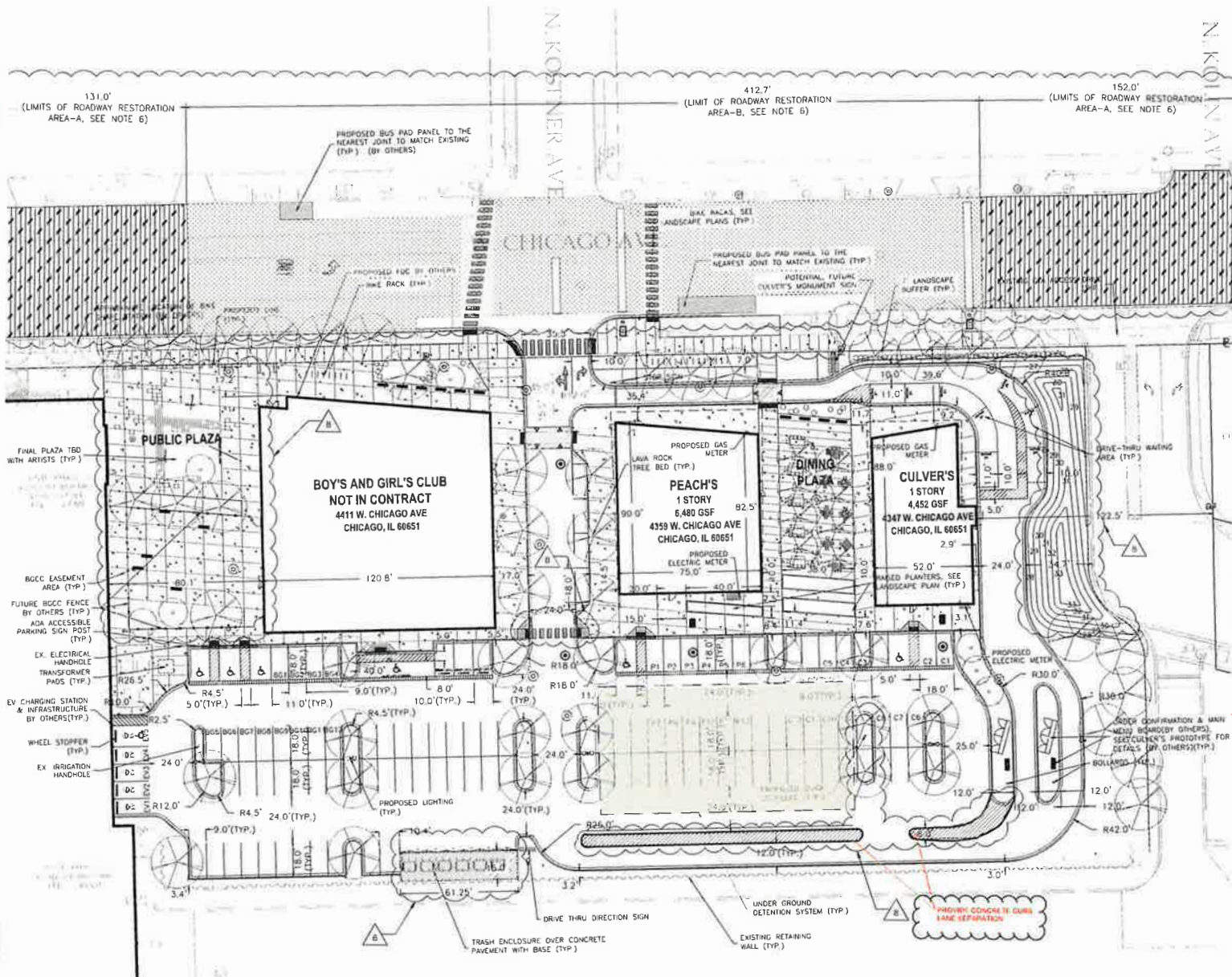
1"=30' SCALE

BOWA
CONSTRUCTION

fgma

4347 / 4359 W. Chicago Avenue
(PD 1454: Lot-1 & Lot-2)

Revised: 09/14/2022
Date Filed: 08/22/2022
Page 9



PROPOSED STREETSCAPE SITE PLAN

CE

CTA ACCESS ROAD

KOSTNER AVE

CHICAGO AVE

BOY'S AND GIRL'S CLUB
4411 W CHICAGO
NOT IN CONTRACT

PEACH'S
4359 W CHICAGO
1 STORY
6,480 GSF

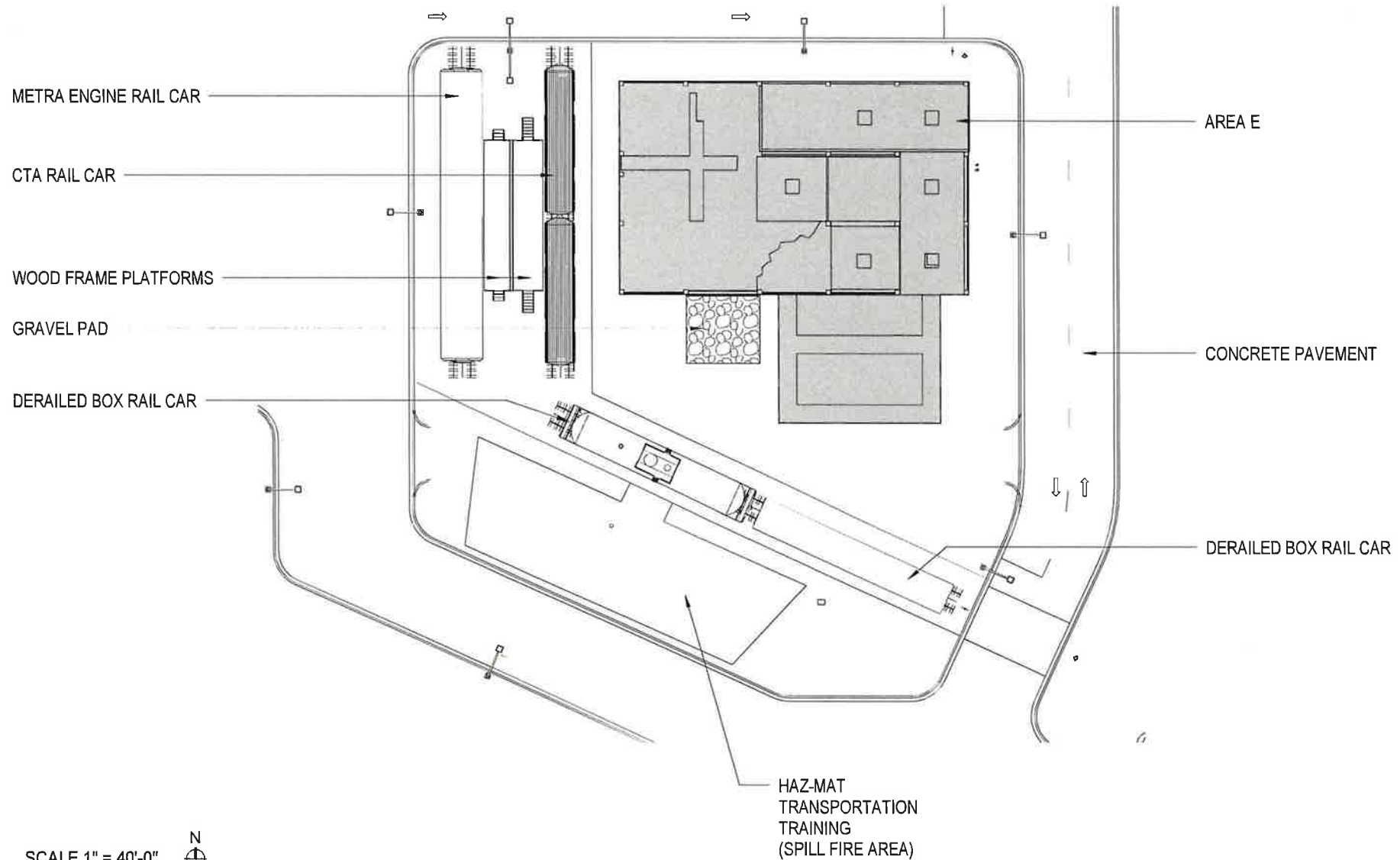
CULVER'S
4347 W CHICAGO
1 STORY
4,352 GSF

EXISTING
TRAINING
FACILITY

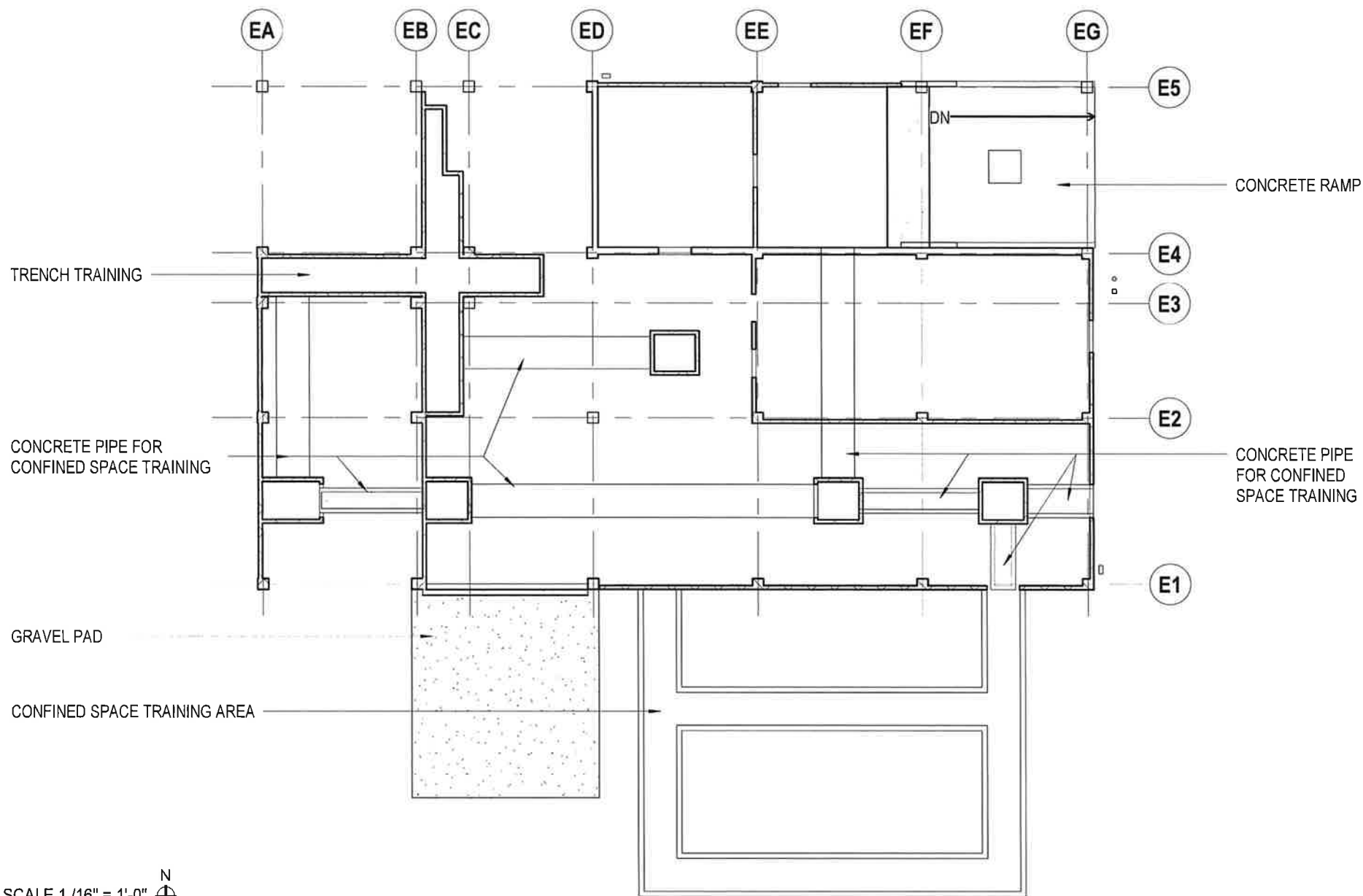
PROVIDE CONCRETE CURB
LANE SEPARATION




ENLARGED PHASE 2 SITE PLAN



ENLARGED URBAN TACTICAL RESCUE TRAINER FLOOR PLAN



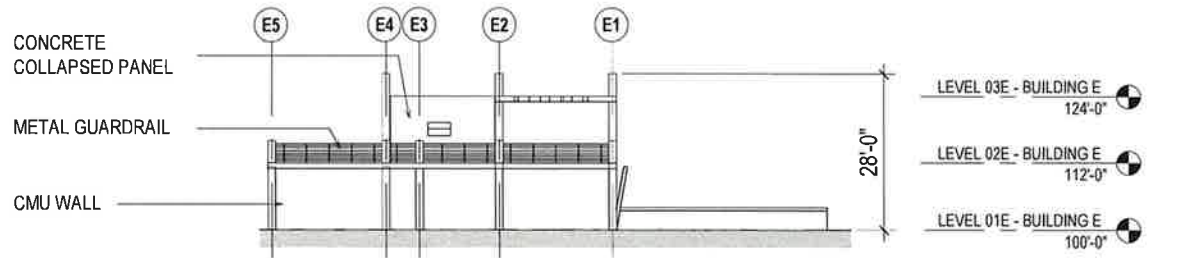
SCALE 1/16" = 1'-0" 

JOINT PUBLIC SAFETY TRAINING CAMPUS

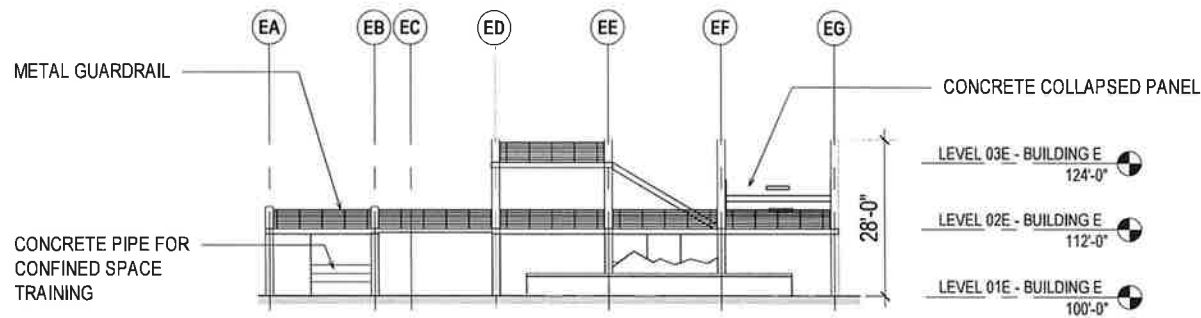
PD 1454

12/07/2022

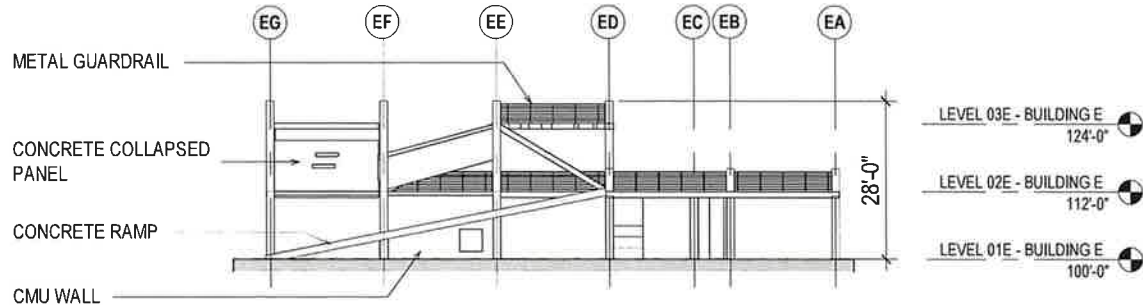
URBAN TACTICAL RESCUE TRAINER ELEVATIONS



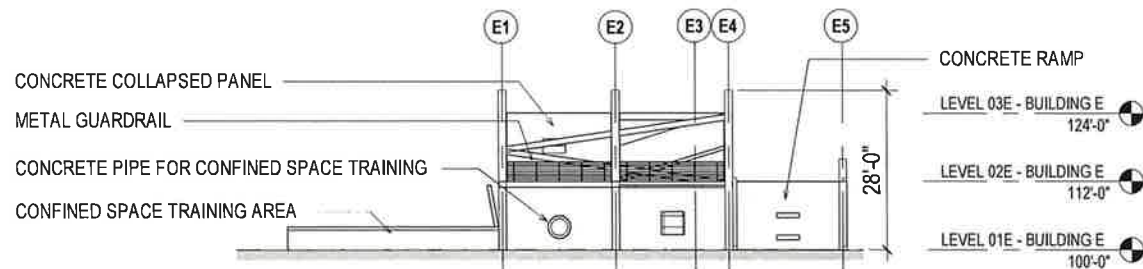
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

SCALE 1/32" = 1'-0"

JOINT PUBLIC SAFETY TRAINING CAMPUS

PD 1454

12/07/2022



DEPARTMENT OF PLANNING AND DEVELOPMENT

CITY OF CHICAGO

April 26, 2022

Sean Neuert
City of Chicago
Office of Public Safety Administration (OPSA)
3510 S. Michigan Avenue
Chicago, IL 60653

Re: Minor Change to PD 1454 and Site Plan Approval
4301 W. Chicago Avenue

Dear Mr. Neuert:

Please be advised that your request for a minor change to Institutional Planned Development No. 1454 ("PD 1454") has been considered by the Department of Planning and Development ("Department") pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1454.

On behalf of the City of Chicago, the sole property owner of PD 1454, you are requesting a minor change to allow for design changes to the proposed Joint Public Safety Training Campus ("JPSTC") at 4301 W. Chicago Avenue. In addition, pursuant to Statement No. 13 of PD 1454, you are seeking site plan approval for specific outlots. Due to the evolution of the project design the following changes are proposed:

- Phase 1A, Lot-1 will be retitled Phase 1A, Lot 3.
- Phase 1A, Lot-2 will be retitled Phase 1A, Lot 1 and Lot 2.
- Phase 1A, Lot 3 will be improved with a three-story, accessory community meeting room building and accessory parking lot as illustrated on the attached exhibits.
- Phase 1A Lot-1 will be improved with a one-story restaurant building, outdoor dining plaza and accessory parking lot as illustrated on the attached exhibits.
- Phase 1A, Lot 2 will be improved with a one-story restaurant building with a double drive-through lane, outdoor dining plaza, and accessory parking lot as illustrated on the attached exhibits.


Regarding these proposed design modifications, the Department has determined that they will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Accordingly, pursuant to the authority granted by the Zoning Ordinance and PD 1454, I hereby approve these changes, but no other changes to this Planned Development.

Regarding your site plan approval request the Department has determined the attached exhibits satisfy the requirements of PD 1454 and therefore approves the site plan review request. This approval allows OPSA to proceed with all building permit applications. However, no permits may be issued except those that the Zoning Administrator determines to be consistent with the approved exhibits dated April 20, 2022. The following approved exhibits are attached:

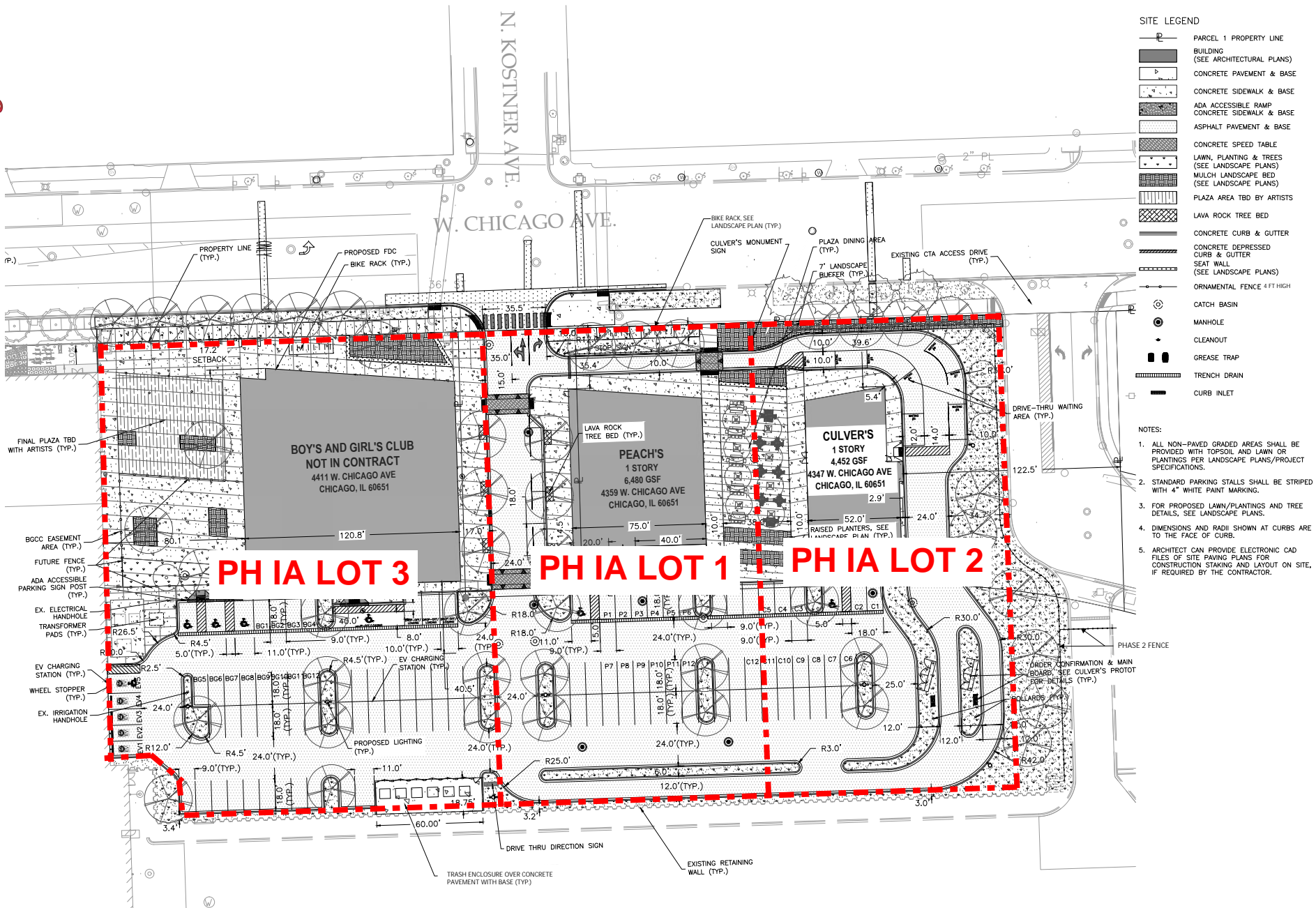
- Phase 1A Lot Lines
- Proposed PH1A Site Plan
- Proposed Streetscape Site Plan
- Proposed Landscape Plan
- Streetscape Elevation
- Boys and Girls Club Floor Plan - First Floor Plan
- Boys and Girls Club Floor Plan - Second Floor Plan
- Boys and Girls Club Floor Plan - Third Floor Plan
- Boys and Girls Club Elevations - North and South Elevation
- Boys and Girls Club Elevations - West and East Elevation
- Peach's Floor Plan
- Peach's Elevations - North and South Elevation
- Peach's Elevations - West and East Elevation
- Culver's Floor Plan
- Culver's Elevations - North and South Elevation
- Culver's Elevations - West and East Elevation

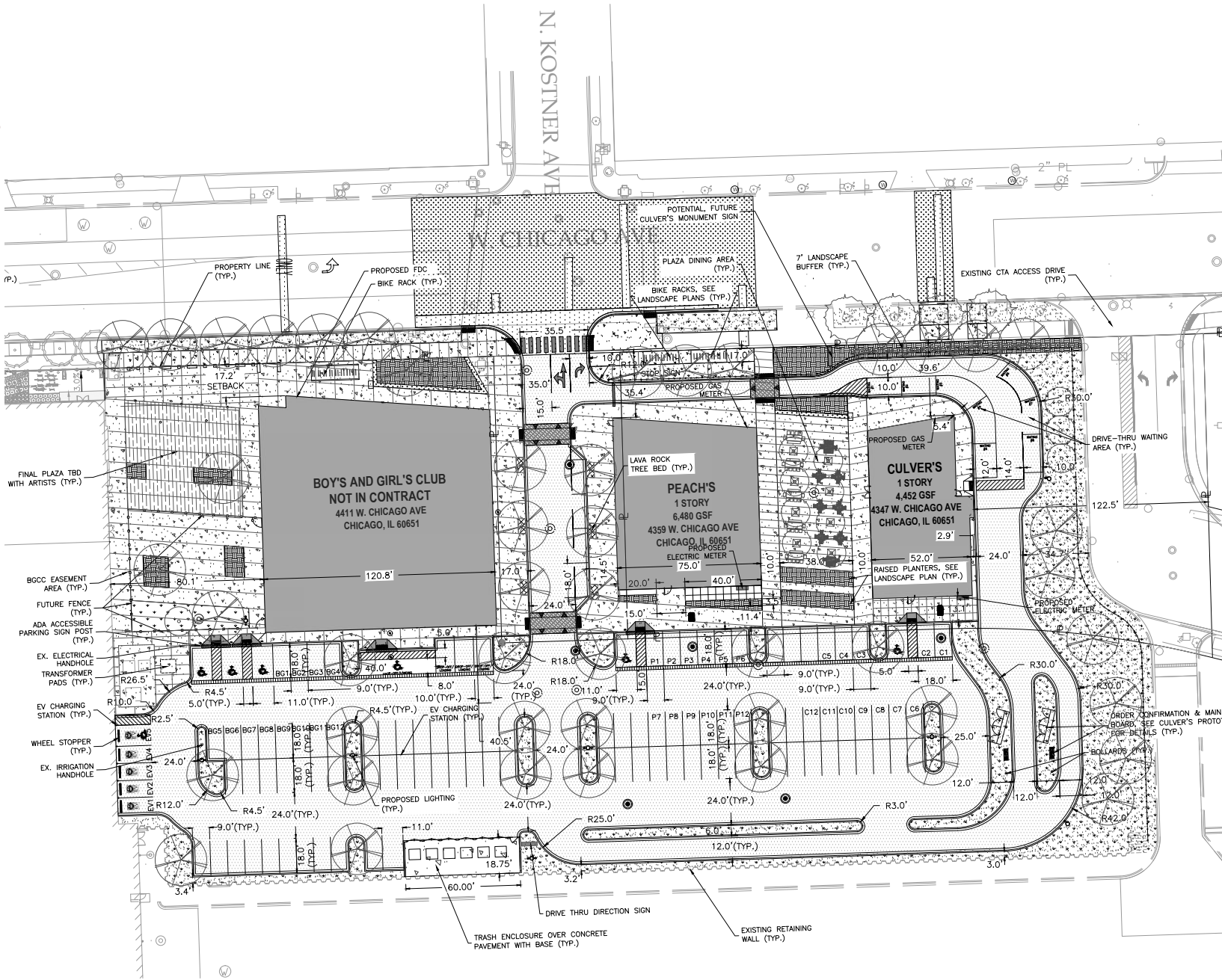
This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Steven Valenziano
Assistant Zoning Administrator





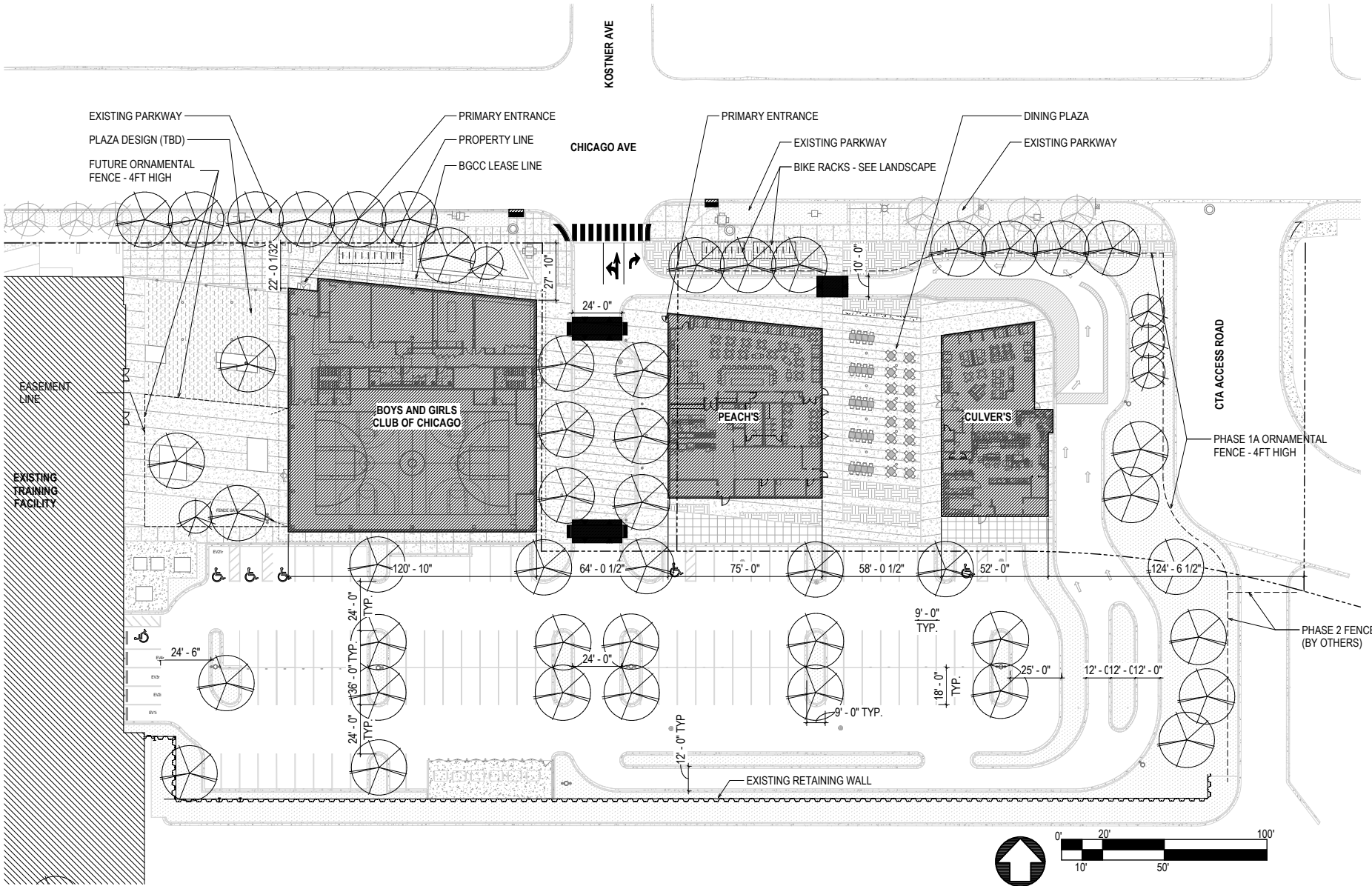
SITE LEGEND

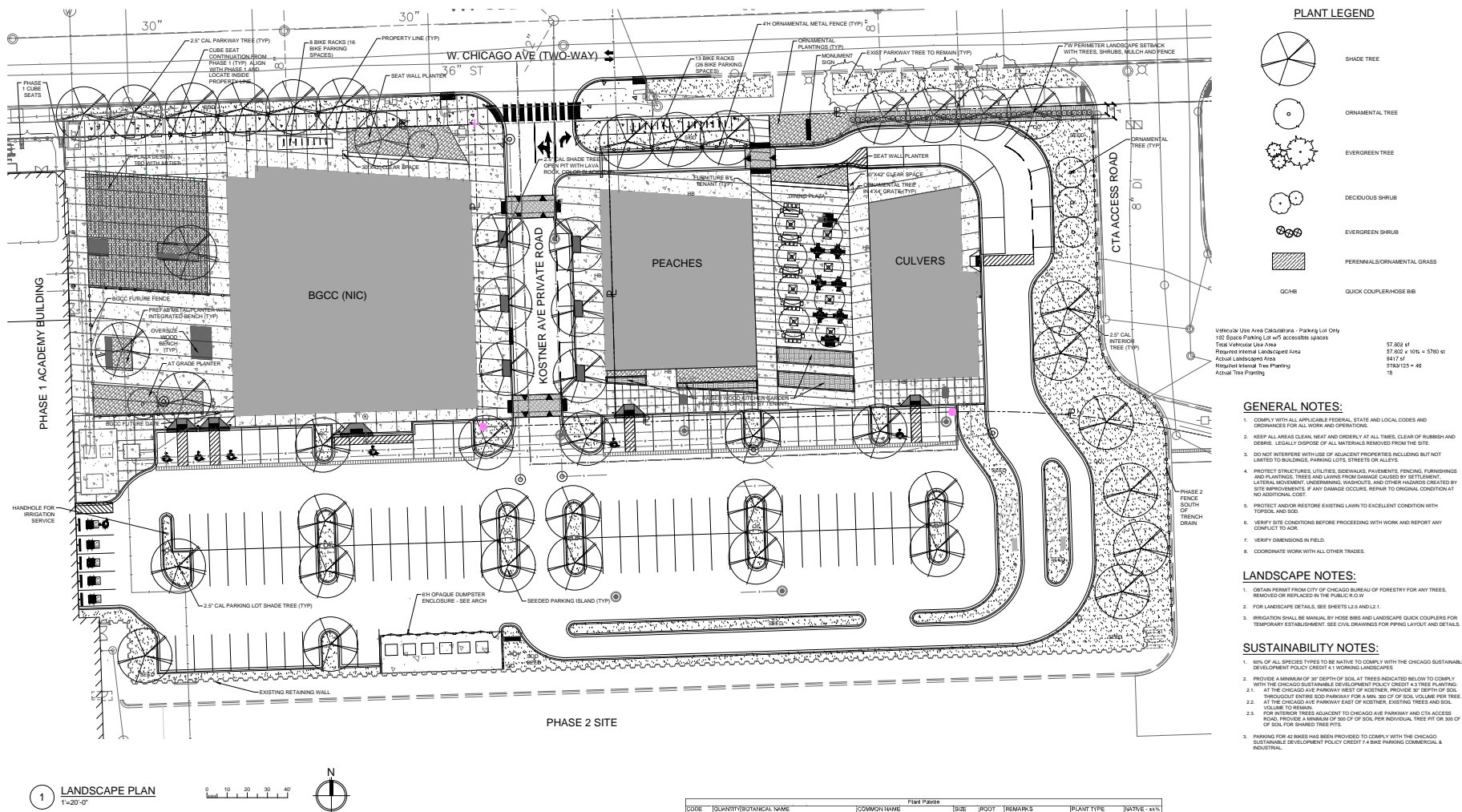
- PARCEL 1 PROPERTY LINE
- BUILDING (SEE ARCHITECTURAL PLANS)
- CONCRETE PAVEMENT & BASE
- CONCRETE SIDEWALK & BASE
- ADA ACCESSIBLE RAMP
- CONCRETE SIDEWALK & BASE
- ASPHALT PAVEMENT & BASE
- HMA RESURFACING
- CONCRETE SPEED TABLE
- LAWN, PLANTING & TREES (SEE LANDSCAPE PLANS)
- MULCH LANDSCAPE BED (SEE LANDSCAPE PLANS)
- PLAZA AREA TBD BY ARTISTS
- LAVA ROCK TREE BED
- CONCRETE CURB & GUTTER
- CONCRETE DEPRESSED CURB & GUTTER
- SEAT WALL (SEE LANDSCAPE PLANS)
- ORNAMENTAL FENCE
- CATCH BASIN
- MANHOLE
- CLEANOUT
- GREASE TRAP
- TRENCH DRAIN

NOTES:

1. ALL NON-PAVED GRADED AREAS SHALL BE PROVIDED WITH TOPSOIL AND LAWN OR PLANTINGS PER LANDSCAPE PLANS/PROJECT SPECIFICATIONS.
2. STANDARD PARKING STALLS SHALL BE STRIPED WITH 4" WHITE PAINT MARKING.
3. FOR PROPOSED LAWN/PLANTINGS AND TREE DETAILS, SEE LANDSCAPE PLANS.
4. DIMENSIONS AND RADI shown AT CURBS ARE TO THE FACE OF CURB.
5. ARCHITECT CAN PROVIDE ELECTRONIC CAD FILES OF SITE PAVING PLANS FOR CONSTRUCTION STAKING AND LAYOUT ON SITE, IF REQUIRED BY THE CONTRACTOR.

PROPOSED STREETSCAPE SITE PLAN



[illegible]

OWNER	DATE
-------	------

PLANTING TIME BY DECEMBER 15, 2022

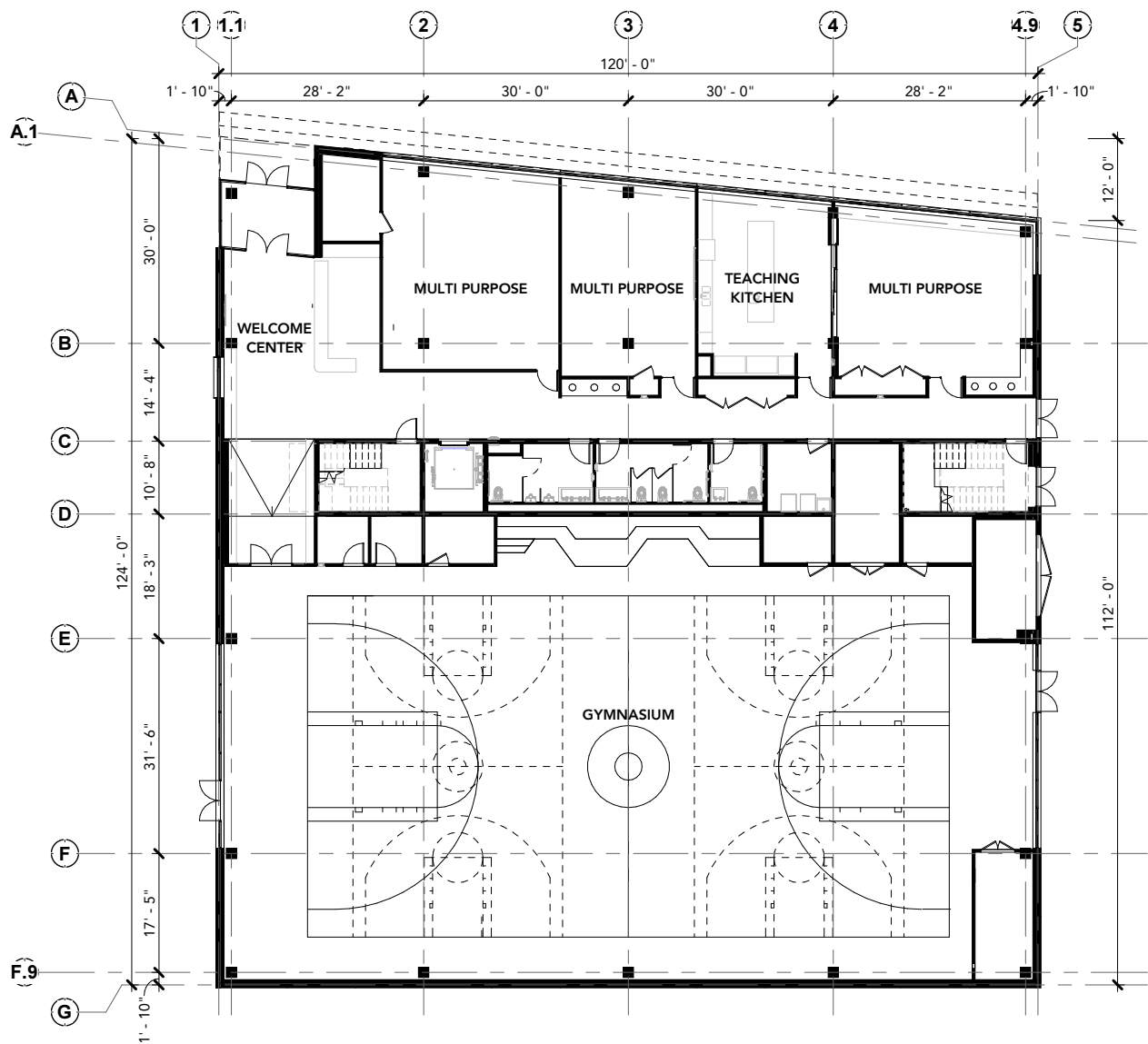
The undersigned landscape architect, registered in the State of Illinois, acknowledges that the landscape planning plan and construction details shown on the attached landscape plan(s) for the property at 4400 W. Chicago Ave., Chicago, Illinois 60651 has, to the best of the undersigned applicant's knowledge, been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the "Guide to the Chicago Landscape Ordinance".

<http://dx.doi.org/10.1017/S0022292412001000>

STREETSCAPE ELEVATION

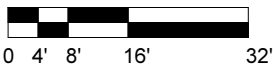


BOYS AND GIRLS CLUB FLOOR PLAN

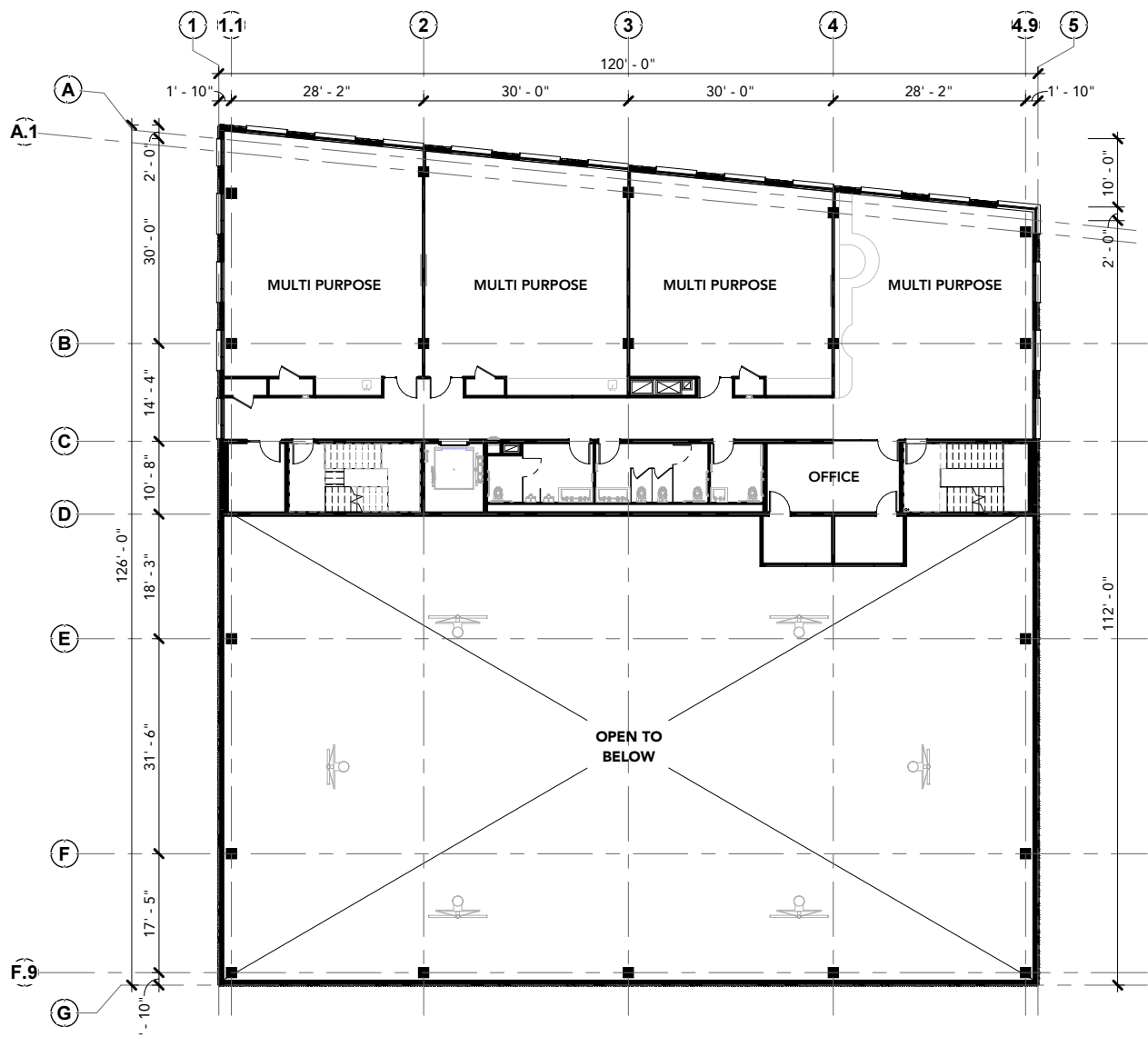


Boys and Girls Clubs of Chicago
Near West Side Club
4411 W. Chicago Ave

FIRST FLOOR PLAN

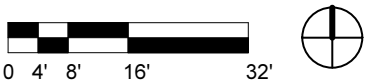


BOYS AND GIRLS CLUB FLOOR PLAN

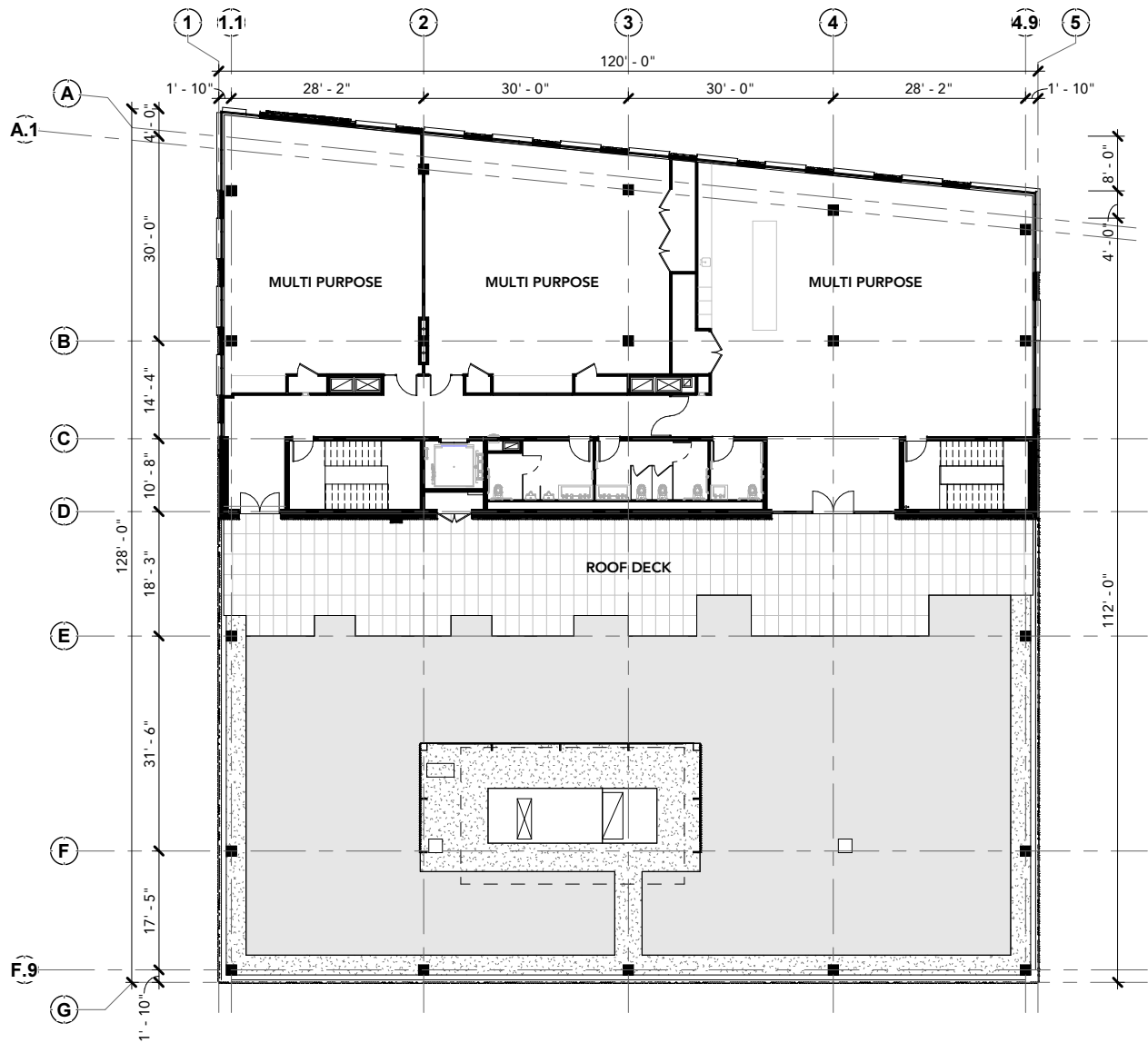


Boys and Girls Clubs of Chicago
Near West Side Club
4411 W. Chicago Ave

SECOND FLOOR PLAN

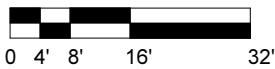


BOYS AND GIRLS CLUB FLOOR PLAN



Boys and Girls Clubs of Chicago
Near West Side Club
4411 W. Chicago Ave






THIRD FLOOR PLAN



BOYS AND GIRLS CLUB ELEVATIONS

Boys and Girls Clubs of Chicago
Near West Side Club
4411 W. Chicago Ave

NORTH ELEVATION

MATERIAL LEGEND	
	Painted Perforated Corrugated Metal Panel
	Painted Solid Corrugated Metal Panel
	Glazing
	Painted Concrete
	Exposed Board Formed Concrete



Boys and Girls Clubs of Chicago
Near West Side Club
4411 W. Chicago Ave

SOUTH ELEVATION



BOYS AND GIRLS CLUB ELEVATIONS

Boys and Girls Clubs of Chicago
Near West Side Club
4411 W. Chicago Ave

WEST ELEVATION

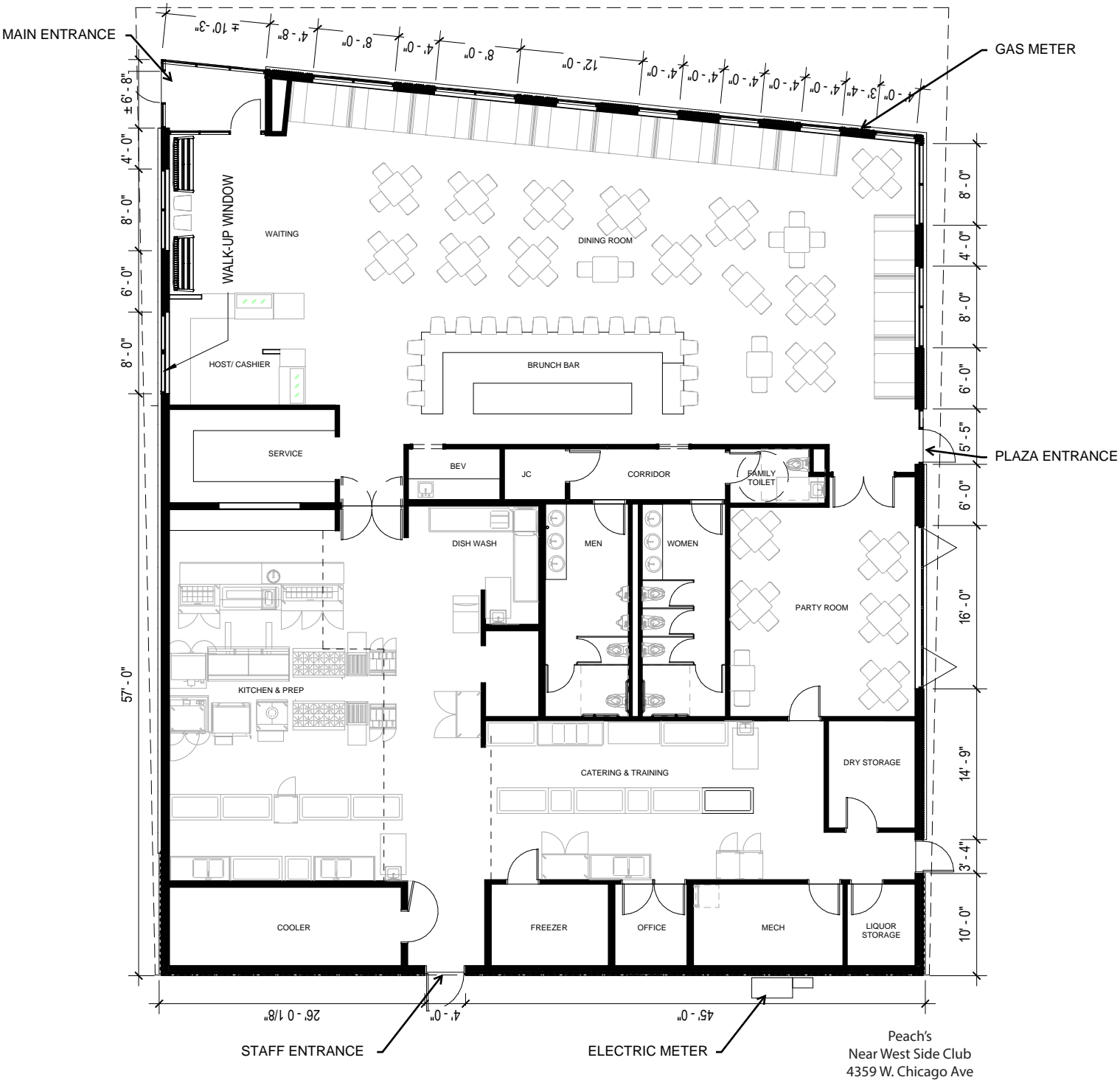


Boys and Girls Clubs of Chicago
Near West Side Club
4411 W. Chicago Ave

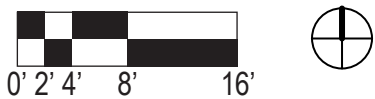
EAST ELEVATION



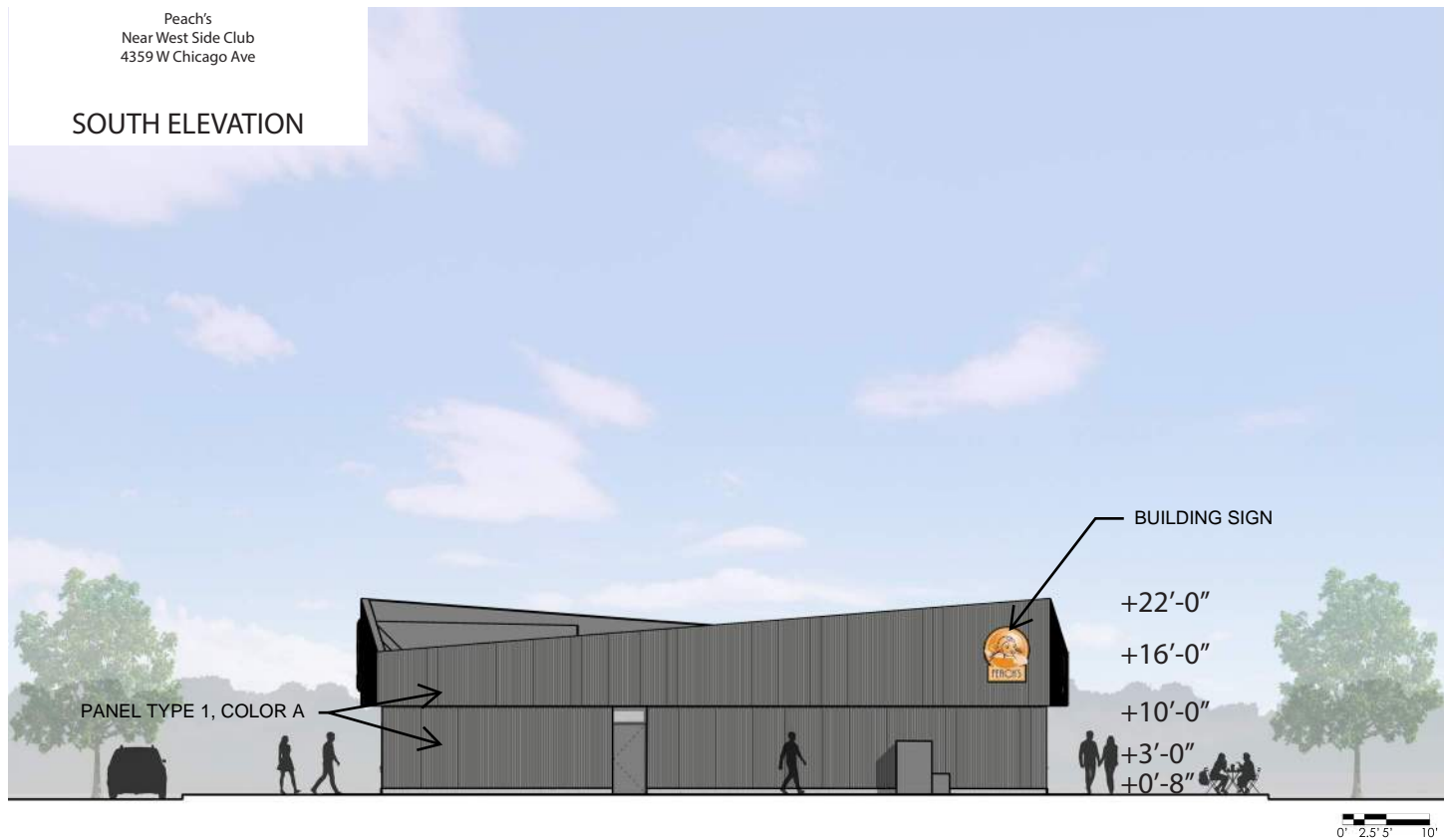
PEACH'S FLOOR PLAN



FIRST FLOOR PLAN



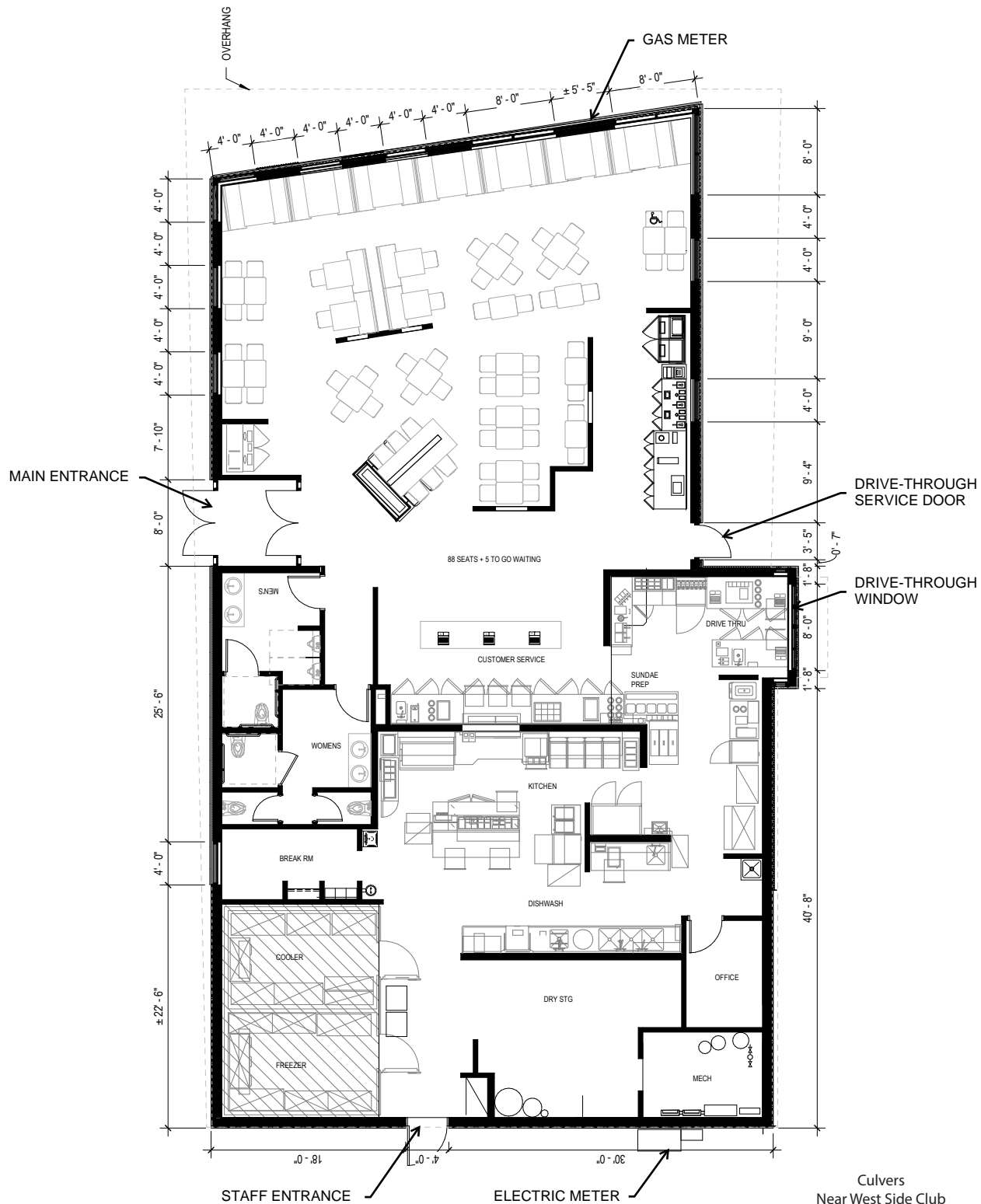
PEACH'S ELEVATIONS



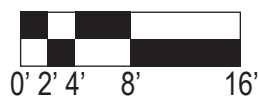
PEACH'S ELEVATIONS



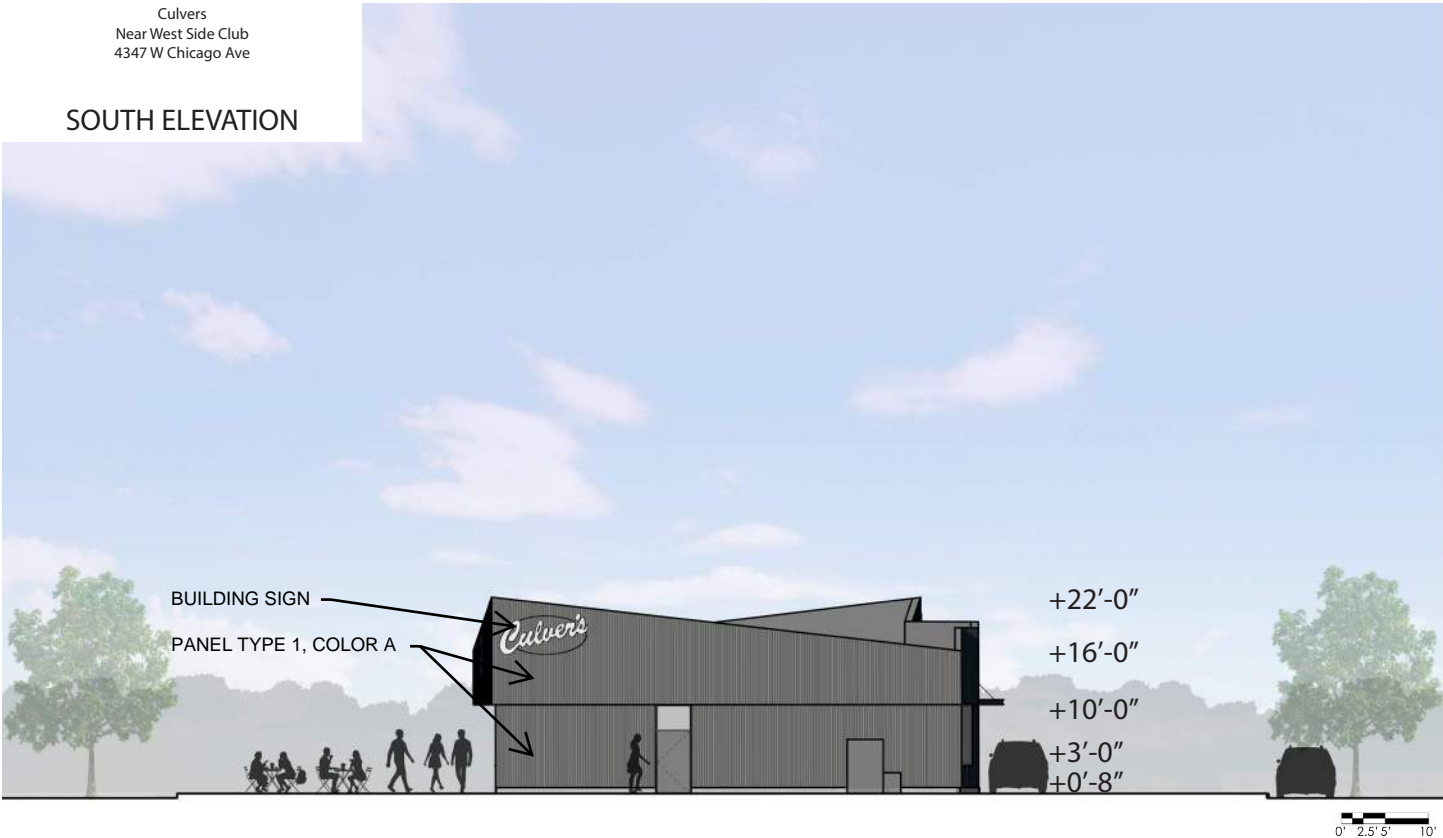
CULVER'S FLOOR PLAN



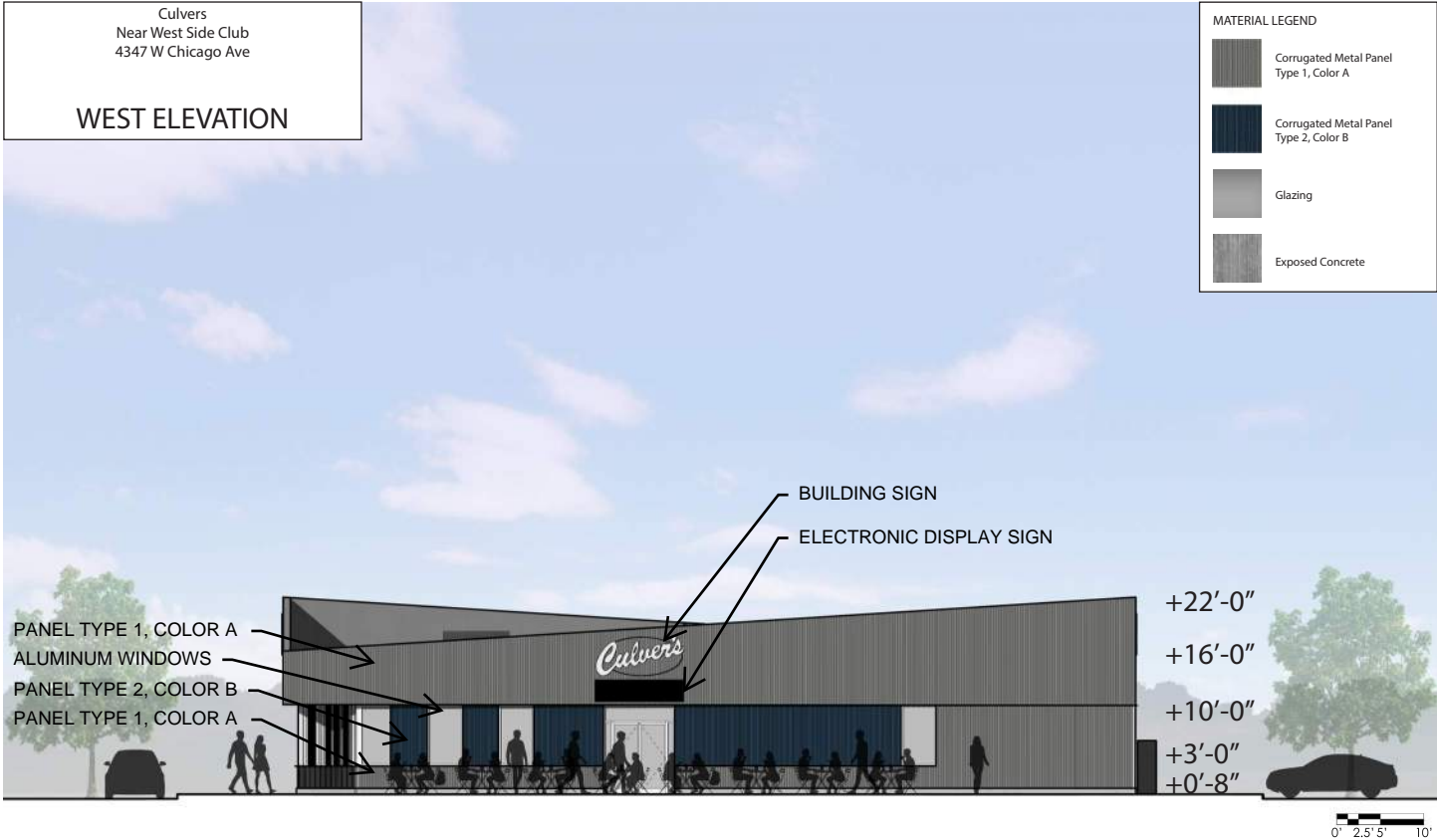
FIRST FLOOR PLAN



CULVER'S ELEVATIONS



CULVER'S ELEVATIONS





DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 22, 2020

Sean Neuert
City of Chicago
Department of Assets, Information and Services (AIS)
Bureau of Architecture, Engineering & Construction
30 N. LaSalle St., Suite 1610
Chicago, IL 60602

Re: Minor change to PD 1454
4301 W. Chicago Avenue

Dear Mr. Neuert:

Please be advised that your request for a minor change to Institutional Planned Development No. 1454 ("PD 1454") has been considered by the Department of Planning and Development ("DPD") pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1454.

On behalf of the City of Chicago you are requesting a minor change to allow for design changes to the proposed Joint Public Safety Training Campus ("JPSTC") at 4301 W. Chicago Avenue.

Pursuant to Statement No. 12 of PD 1454 regarding the evolution of building design, the following changes are being proposed:

1. Stormwater Management
Stormwater for the outdoor scenario training will be captured in an underground vault as opposed to a detention pond; freeing up area for additional training.
2. Site Grading
A vegetated berm has been added along the northeastern and eastern property lines. This landscape feature provides two primary benefits for the site; first, it creates a visual barrier to training exercises and second, it can be used by the staff for physical training of the candidates and cadets.
3. Parking
The visitor parking area, previously located between the primary JPSTC training building and the two adjacent outlots, has been omitted at the direction of DPD. This land has been incorporated into the outlots. DPD is working with an alternate design team to design the outlots with an emphasis on community use.



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

4. Site Fencing

The existing 6'-0" chainlink fence separating the JPSTC and the neighboring CTA facility will remain in place as it has been deemed to be in good condition and is along a private drive. Whereas the previously proposed precast wall was intended to provide a visual barrier this is now being accomplished through the placement of the vegetated berm. To the south and southeast a chainlink fence is being proposed as grading requirements for the site have resulting in the placement of a 5'-0" retaining wall. The elevation of the project site provides the visual buffer needed for the training exercises.

5. Kilbourne Avenue Sidewalk

Due to grading constraints and the requirement to comply with both the respective stormwater and landscape ordinances the width of the sidewalk in this area will be 6'-0". This will be maintained at all streetlights/obstructions.

6. Outdoor Scenario Village

The layout of the scenario village and driver training pad has been modified due to changes in grading, stormwater and feedback on training from the CFD and CPD. The apparatus bay building has been eliminated.

7. Chicago Avenue Façade Design (North Elevation)

The Northeast, North, and Northwest building elevations have been updated to take into account feedback and direction from the local community, the building end users, DPD, and the Mayor. This feedback has resulted in a dynamic façade which promotes literal and figurative transparency while incorporating CFD and CPD symbolism. Whereas in the original design, brick-faced precast panels were proposed the project team has now proposed a GFRC rainscreen panel with a color and varied textured selected with the community (refer to attached building renderings and elevations). The other elevations will remain as originally proposed, constructed out of insulated precast panels.

8. Building Height Adjustments:

The heights of all primary building elements have decreased from the previous submission.

- a. The height of the Chicago Avenue façade, North Elevation, has decreased from +50'-0" above grade to +46'-0".
- b. The height of the general second floor indoor scenario component has decreased from +40'-0" above grade to +30'-0".
- c. The height of the Drill Hall component, East and South Elevations, has also decreased from + 65'-0" above grade to +60'-0".

With regard to these proposed design modifications, the Department of Planning and Development has determined that they will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development.



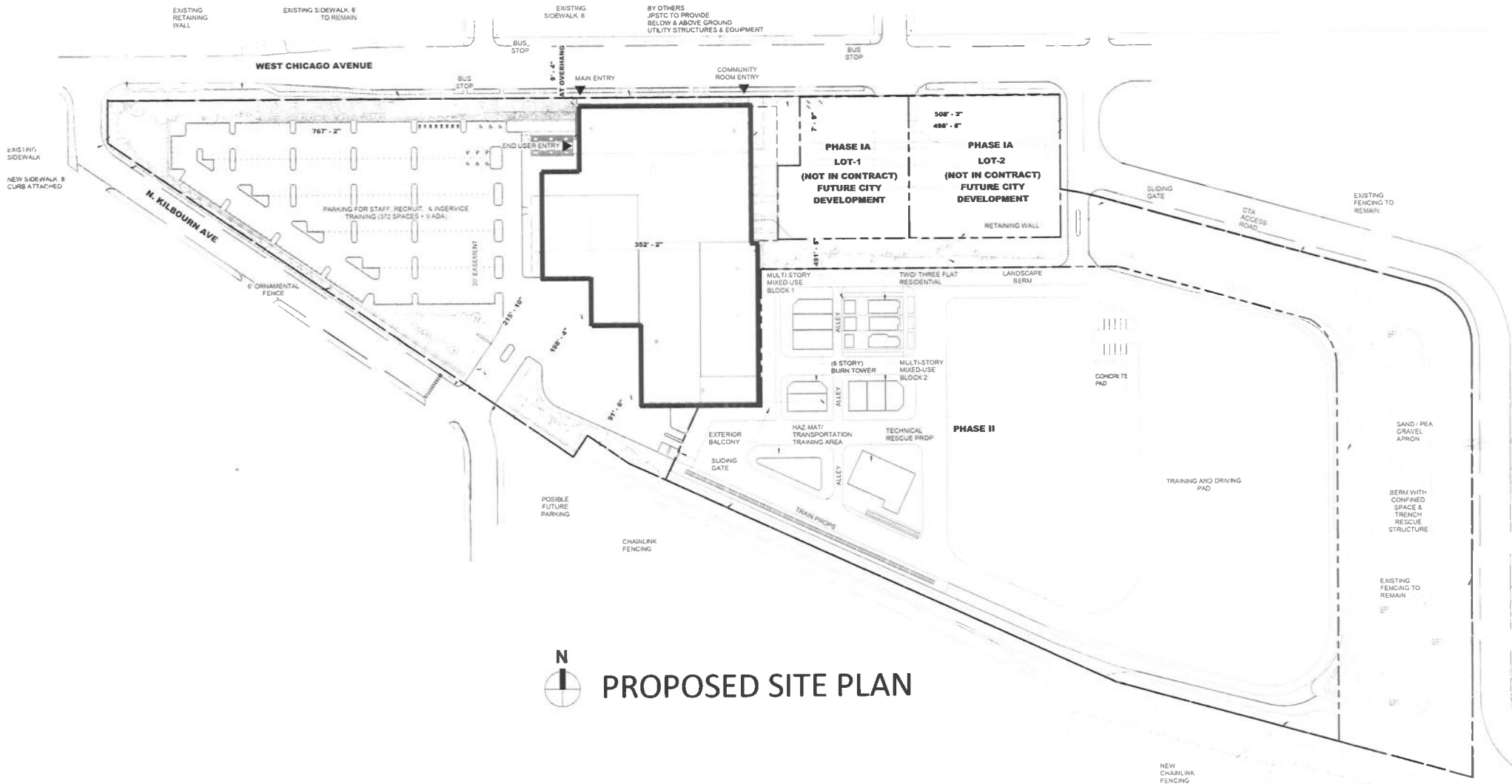
DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

Therefore, pursuant to the authority granted by the Zoning Ordinance and PD 1454, I hereby approve these changes, but no other changes to this Planned Development. This approval will allow you to proceed with a foundation permit application. Landscape plans, including any remaining site work, will need to be included with your full building permit application. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

Steven Valenziano
Assistant Zoning Administrator

C: Gerardo Garcia, Mike Marmo, Erik Glass, Noah Szafraniec, Ron Daye, Main file

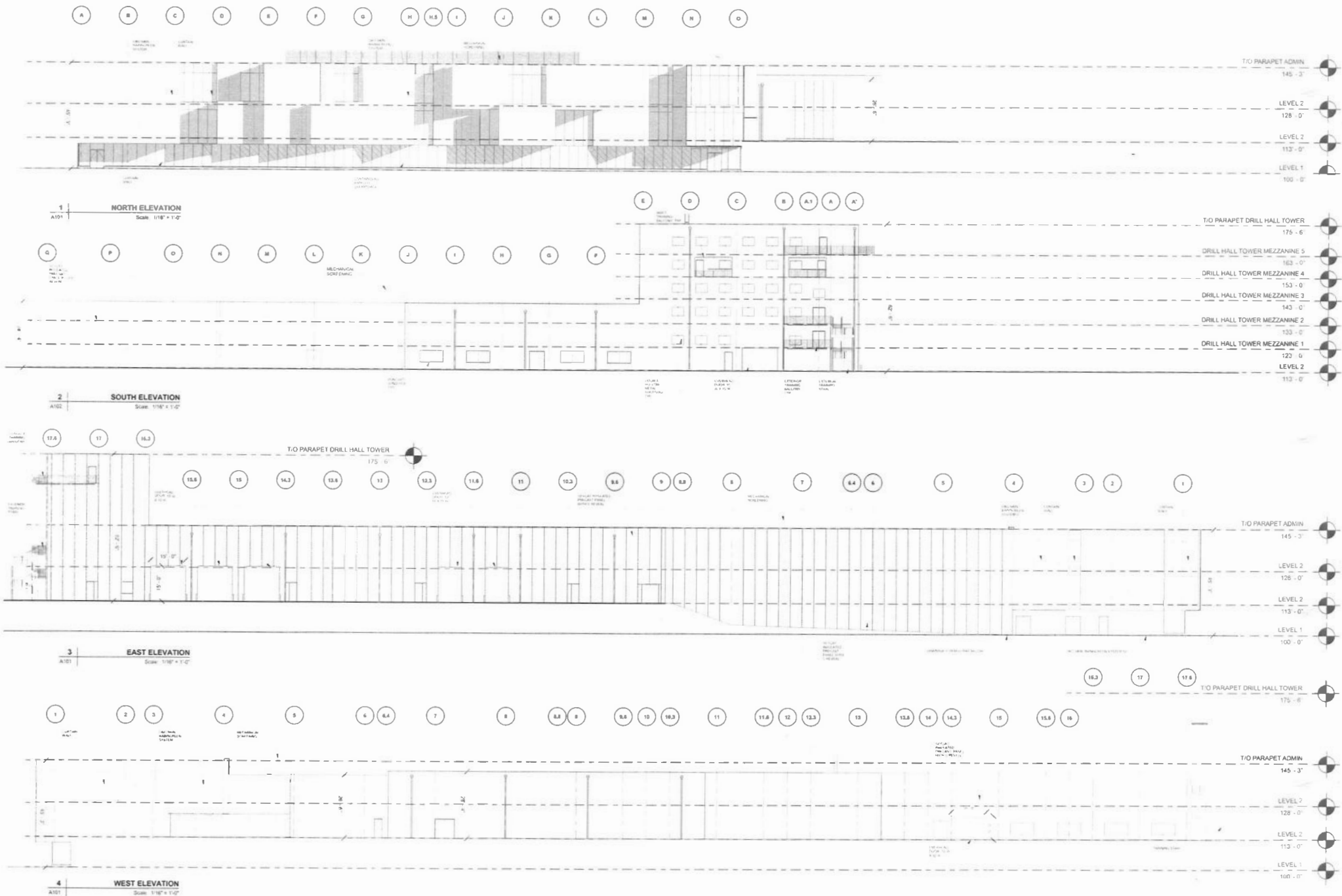


PROPOSED SITE PLAN

APPLICANT:
PROJECT ADDRESS
PLAN COMMISSION
REVISED

CITY OF CHICAGO
4301 W. CHICAGO
2/21/19
11/10/20





APPLICANT:
PROJECT ADDRESS
PLAN COMMISSION
REVISED

CITY OF CHICAGO
4301 W. CHICAGO
2/21/19
11/10/20

PROPOSED ELEVATIONS



A-8469

3/13/2019

REPORTS OF COMMITTEES

97349

Also, on February 28, 2019, a proposed ordinance designating the Chicago Municipal Tuberculosis Sanitarium Complex at 5801 North Pulaski Road as a Historical Landmark, Ward 39 (Alderman Laurino).

Further, on February 28, 2019 and March 7, 2019, various routine items.

I hereby move for approval of the appointment of Farzin Parang as a member and chair of the Zoning Board of Appeals.

Respectfully submitted,

(Signed) JAMES CAPPLEMAN,
Vice-Chairman.

On motion of Alderman Cappleman, the committee's recommendation was *Concurred In* and the said proposed appointment of Farzin Parang as a member and chair of the Zoning Board of Appeals was Approved by yeas and nays as follows:

Yeas -- Aldermen Moreno, Hopkins, Dowell, King, Hairston, Sawyer, Mitchell, Harris, Beale, Sadlowski Garza, Thompson, Cárdenas, Quinn, Burke, Lopez, Foulkes, D. Moore, Curtis, O'Shea, Brookins, Muñoz, Tabares, Scott, Maldonado, Burnett, Ervin, Taliaferro, Reboyras, Santiago, Waguespack, Mell, Austin, Ramirez-Rosa, Villegas, Mitts, Sposato, Laurino, O'Connor, Napolitano, Reilly, Smith, Tunney, Arena, Cappleman, Pawar, Osterman, J. Moore, Silverstein -- 48.

Nays -- None.

Alderman Beale moved to reconsider the foregoing vote. The motion was lost.

AMENDMENT OF TITLE 17 OF MUNICIPAL CODE BY RECLASSIFICATION OF
AREA SHOWN ON MAP NO. 90-B.

(As Amended)
(Application No. A-8469)
(Common Address: 4301 W. Chicago Ave.)

IPD 1454

[SO2019-374]

(Committee Meeting Held February 28, 2019)

The Committee on Zoning, Landmarks and Building Standards submitted the following report:

CHICAGO, March 13, 2019.

To the President and Members of the City Council:

Presenting a series of reports for your Committee on Zoning, Landmarks and Building Standards which held a meeting on February 28 and March 7, 2019, the following items were passed by a majority of the members present:

On February 28, 2019, a communication from the Office of the Mayor appointing Farzin Parang as chair and member of the Zoning Board of Appeals.

I hereby move for passage by the last most favorable roll call vote of the Committee on Finance and associated unsuccessful motion to reconsider.

Also, on February 28, 2019, a communication from the Office of the Mayor appointing Sylvia Garcia as a member of the Zoning Board of Appeals.

I hereby move for passage by the last most favorable roll call vote of the Committee on Finance and associated unsuccessful motion to reconsider.

On February 28, 2019, a proposed substitute ordinance amending Zoning Map Number 90-B at 4301 West Chicago Avenue from Planned Manufacturing District Number 9 to an Institutional Planned Development, Ward 37 (Alderman Mitts).

I hereby move for passage by the last most favorable roll call vote of the Committee on Finance and associated unsuccessful motion to reconsider.

I move for passage of the next two items by the same vote, because they both pertain to the Lincoln Yards proposal. On March 7, 2019, a proposed ordinance reclassifying Map Number 5-G at 1300 -- 1328, 1301 -- 1349 West Concord Place, 1624 -- 1698, 1653 -- 1727 North Throop Street, 1696 -- 1698, 1627 -- 1649, 1663 -- 1699 North Ada Street and 1301 -- 1405 West Wabansia Avenue from an M3-3 Heavy Industry District to a C2-3 Motor Vehicle-Related Commercial District (Lincoln Yards), Ward 2 (Alderman Hopkins).

On March 7, 2019, a proposed ordinance reclassifying Map Number 5-G at 1306 -- 1422, 1301 -- 1511 West Cortland Street, 1972 -- 2076 North Kingsbury Street, 1952 -- 2068, 1953 -- 2047 North Southport Avenue, 1401 -- 1443 West Dickens Avenue, 1400 -- 1430, 1401 -- 1427 West McLean Avenue, 2040 -- 2068, 2033 -- 2077 North Dominick Street and 1801 -- 1853 North Elston Avenue from an M2-2 Light and M3-3 Heavy Industry District to a C2-3 Motor Vehicle-Related Commercial District (Lincoln Yards), Ward 2 (Alderman Hopkins).

I hereby move for passage by the last most favorable roll call vote of the Committee on Finance and associated unsuccessful motion to reconsider.

On February 28, 2019, a proposed ordinance amending Zoning Map Number 224-B at 11814 -- 11858 South Morgan Street and 1000 -- 1028 West 119th Street from Planned Manufacturing District Number 10 to an Institutional Planned Development, Ward 34 (Alderman Austin).

Also, on February 28, 2019, a communication from the Department of Planning and Development recommending a proposed ordinance approving the demolition of a building in a Chicago Landmark District at 1342 North Hoyne Avenue, Ward 2 (Alderman Hopkins).

Also, on February 28, 2019, a communication from the Department of Planning and Development recommending a proposed ordinance approving the partial demolition of a Chicago Landmark Building at 1546 -- 1550 North Clark Street, Ward 2 (Alderman Hopkins).

Also, on February 28, 2019, a proposed ordinance designating the Chicago Municipal Tuberculosis Sanitarium Complex at 5801 North Pulaski Road as a Historical Landmark, Ward 39 (Alderman Laurino).

Further, on February 28, 2019 and March 7, 2019, various routine items.

I hereby move for passage of the proposed substitute ordinance transmitted herewith.

Respectfully submitted,

(Signed) JAMES CAPPLEMAN,
Vice-Chairman.

On motion of Alderman Capplemann, the said proposed substitute ordinance transmitted with the foregoing committee report was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Moreno, Hopkins, Dowell, King, Hairston, Sawyer, Mitchell, Harris, Beale, Sadlowski Garza, Thompson, Cárdenas, Quinn, Burke, Lopez, Foulkes, D. Moore, Curtis, O'Shea, Brookins, Muñoz, Tabares, Scott, Maldonado, Burnett, Ervin, Taliaferro, Reboyras, Santiago, Waguespack, Mell, Austin, Ramirez-Rosa, Villegas, Mitts, Sposato, Laurino, O'Connor, Napolitano, Reilly, Smith, Tunney, Arena, Capplemann, Pawar, Osterman, J. Moore, Silverstein -- 48.

Nays -- None.

Alderman Beale moved to reconsider the foregoing vote. The motion was lost.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all of Planned Manufacturing District Number 9 symbols and indications as shown on Map Number 90-B in the area legally described as:

that part of the northeast quarter and the northwest quarter of Section 10, Township 39 North, Range 13, East of the Third Principal Meridian bounded and described as follows: commencing at the northeast corner of said northeast quarter; thence south 88 degree, 10 minutes, 37 seconds west along the north line of said northeast quarter, 2,350.00 feet; thence south 01 degree, 36 minutes, 04 seconds east, 50.00 feet to the south right-of-way line of West Chicago Avenue, as monumented and equipped, for a point of beginning; thence south 88 degrees, 10 minutes, 37 seconds west continuing along said south right-of-way line, 1,626.29 feet to the east right-of-way line of North Kilbourn Avenue, deeded to the City of Chicago per Document Number 20302748; thence south 01 degree, 52 minutes, 12 seconds east along said east right-of-way line, 69.47 feet to the northeasterly right-of-way of North Kilbourn Avenue, deeded to the City of Chicago per said Document Number 20302748; thence south 57 degrees, 26 minutes, 57 seconds east along said northeasterly right-of-way line, 782.25 feet to the northeasterly corner of North Kilbourn Avenue, also, being the northwest corner of Lot 14 in Northwestern Center Industrial District recorded July 1, 1971 as Document 21532046; thence along northeasterly line of said Lot 14, south 57 degrees, 28 minutes, 11 seconds east, 137.55 feet; thence north 32 degrees, 31 minutes, 49 seconds east, 42.00 feet; thence south 57 degrees, 28 minutes, 11 seconds east along a line that is 42.00 feet northeasterly of and parallel with the most northerly line of said Lot 14, 81.34 feet to the point of intersection with the said parallel line and the line that is 42 feet northeast of and parallel with the northerly line of Lots 14 and 15 in said Northwestern Center Industrial District; thence south 67 degrees, 14 minutes, 29 seconds east along said parallel line with the northerly line of Lots 14 and 15, 875.26 feet to the point of intersection with a line that is 42.00 feet northeast of and parallel with the northerly line of Lot 16 in said Northwestern Center Industrial District; thence south 76 degrees, 12 minutes, 09 seconds east along said parallel line, 605.00 feet to a line that is 1,743.23 feet west of and parallel with the east line of said northeast quarter; thence north 01 degree, 36 minutes, 04 seconds west along said parallel line, 711.97 feet to a point of curvature which is 465.01 feet south of the north line of the aforesaid northeast quarter as measured along said parallel line; thence northerly along a tangent curve to the left, having a radius of 100.00 feet, having a chord bearing of north 38 degrees, 54 minutes, 25 seconds west, a chord distance of 121.21 feet, for an arc length of 130.22 feet; thence north 76 degrees, 12 minutes, 46 seconds west, 553.14 feet; thence north 01 degree, 36 minutes, 04 seconds west, 169.46 feet to the point of beginning, all in Cook County, Illinois,

to the designation of an Institutional Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development and made a part thereof and to no others.

SECTION 2. Section 17-6-0400 of Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by inserting the underscored language, as follows:

17-6-0403-F Use Table And Standards.

(Omitted text is unaffected by this ordinance.)

17-6-0403-F Use Table And Standards.																			
USE GROUP		PMD (Planned Manufacturing District)															Use Standard		
Use Category	No. 2	No. 3	No. 4		No. 5	No. 6	No. 7		No. 8		No. 9	No. 10	No. 11		No. 12	No. 13		No. 14	No. 15
P = permitted by right S = special use approval required PD = planned development approval required - = not allowed																			
P	Drive Through Facility	-	-	-	-	-	-	S	S	S	S	-	S	S	-	-	-	-	

(Omitted text is unaffected by this ordinance.)

17-6-0403-G Supplemental Use Standards.

(Omitted text is unaffected by this ordinance.)

5. Eating And Drinking Establishments. Eating and drinking establishments shall not be larger than 4,000 square feet and shall not provide entertainment, except that: (a) in PMD 3 and PMD 9, the maximum floor area limit is 8,000 square feet, there is no entertainment restriction, and the Zoning Board of Appeals is authorized to increase the maximum floor area to 12,000 square feet if reviewed and approved in accordance with the special use procedures of Section 17-13-0900; and (b) these floor area and entertainment limits do not apply in B subdistricts, except in PMD 4B.

(Omitted text is unaffected by this ordinance.)

SECTION 3. To the extent that any ordinance, resolution, rule, order or provision of the Municipal Code of Chicago, or any portion thereof, is in conflict with any provision of this ordinance, the provisions of this ordinance shall control. The provisions of this ordinance are declared to be separate and severable. The invalidity of any provision of this ordinance, or the invalidity of the application thereof to any person or circumstance, shall not affect the validity of the remainder of this ordinance, or the validity of its application to other persons or circumstances.

SECTION 4. This ordinance shall take effect upon its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows:

Planned Development Statements.

1. The area delineated herein as Planned Development Number (to be determined) ("Planned Development") consists of approximately 1,369,340 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the Applicant, Alderman Emma Mitts, on behalf of the City of Chicago.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation (CDOT).

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II Review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

Prior to issuance of a certificate of occupancy for any building on the site, the Applicant shall submit a traffic study that contemplates the full extent of the proposed development reflected in the site plan conditionally approved by CDOT, and which details the anticipated vehicular and pedestrian impact of such project on both the subject site and area infrastructure. The traffic study shall be reviewed and approved by CDOT before the adoption of the finalized Site Plan. Further, the Applicant shall cooperate with CDOT to ensure the site plan is consistent with surrounding public way and CDOT plans. The study and site plan shall detail the specific improvements and necessary infrastructure upgrades on or around the site to accommodate anticipated traffic volumes, including the results of traffic signal warrant studies, if necessary. Accordingly, the Applicant or its successors and assigns, agrees to fund the design and installation of the traffic improvements identified by the study at its sole cost.

4. This plan of development consists of 17 Statements; a Bulk Regulations Table; an Existing Zoning Map and Land-Use Map; a Planned Development Boundary Map; Site Plan; Enlarged Site Plan; Landscape Plan; Landscape Plan Typical Section; Site Details -- Ornamental Fence; Site Detail -- Precast Wall; Primary Training Building Elevations (South, North, East and West) and Apparatus Bay Building Elevations (South, East, North and West) prepared by AECOM and dated February 21, 2019, submitted herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.
5. The following uses are permitted in the area delineated herein as a Planned Development: public safety services; office; restaurants (including drive thru restaurants), limited and general (up to 12,000 square feet in aggregate); accessory parking; and all accessory and related uses, including but not limited to, indoor and outdoor public safety scenario training type uses and community meeting room spaces.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 1,369,340 square feet and a base FAR of .5.
9. Upon review and determination, Part II Review, pursuant to Section 17-13-0610, a Part II Review fee shall be assessed by the Department of Planning and Development, if applicable. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.

11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. Applicant and DPD, at either party's request, may continue to evolve the design of the building elevations for the Primary Training Building or the Apparatus Bay Building, and substantial changes to such elevations, if any, shall, if mutually agreed, be approved by DPD administratively as a Minor Change.
13. Prior to the Part II Approval (Section 17-13-0610 of the Chicago Zoning Ordinance) for development proposed in Lots 1 or 2 on the Site Plan (commercial/restaurant outlots), the Applicant shall submit a site plan, landscape plan and building elevations for the specific outlot(s) for review and approval by the Department of Planning and Development (DPD). Review and approval by DPD is intended to assure that specific development components substantially conform with the Planned Development (P.D.) and the Chicago Zoning Ordinance and to assist the City in monitoring ongoing development. Site Plan Approval Submittals (Section 17-13-0800) need only include that portion of the Property for which approval is being sought by the Applicant. The site plan provided shall include all dimensioned and planned street rights-of-way.

No Part II Approval for any portion of the Property shall be granted until Site Plan approval has been granted. Following approval by DPD, the approved Site Plan Approval submittals, supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the P.D.

After approval of the Lot 1 or Lot 2 Site Plans, changes or modifications may be made pursuant to the provisions of Statement 12. In the event of any inconsistency between approved plans and the terms of the P.D., the terms of the P.D. shall govern. Any outlot Site Plan Approval Submittals shall, at a minimum, provide the following information:

- fully-dimensioned site plan (including a footprint of the proposed improvements);
- fully-dimensioned building elevations;
- fully-dimensioned landscape plan(s); and
- statistical information applicable to the subject subarea, including floor area, the applicable floor area ratio, uses to be established, building heights and setbacks.

Outlot Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the P.D.

In addition, at DPD's request, the proposed accessory training buildings (accessory to the Primary Training Building or the Apparatus Bay Building), may also be reviewed in accordance with Section 17-13-0610, as appropriate.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II Review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
16. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and City residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II Permit Review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and City resident participation in the

project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

17. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Zoning Administrator shall initiate a zoning map amendment to rezone the Property to Planned Manufacturing District 9.

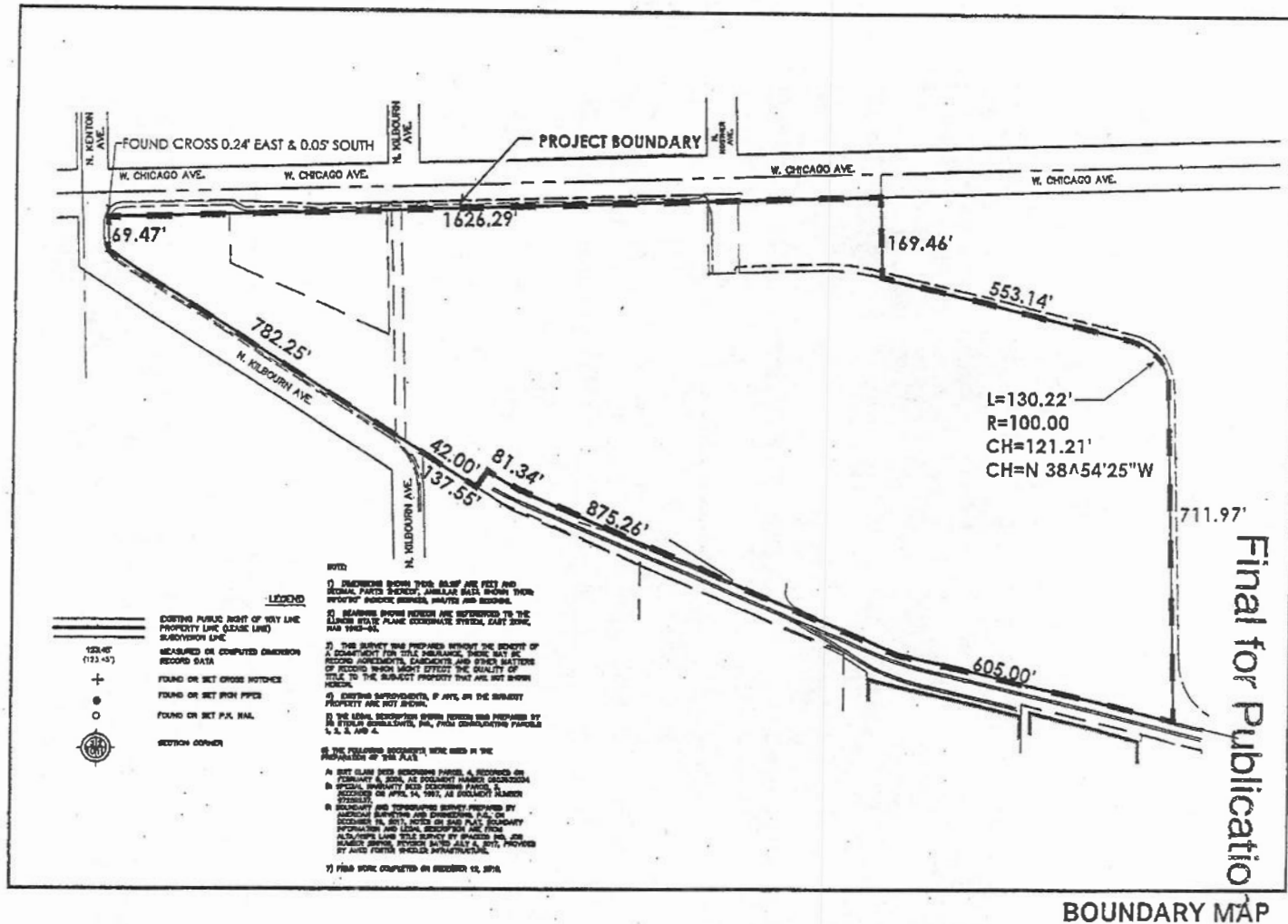
[Boundary Map; Existing Zoning and Land-Use Map; Proposed Site Plan; Enlarged Site Plan; Landscape Plan; Typical Section; Site Details; and North, South, East and West Building Elevations referred to in these Planned Development Statements printed on pages 97360 through 97369 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

Institutional Planned Development No. 1454.

Bulk Regulations And Data Table.

Gross Site Area:	1,495,000 square feet
Net Site Area:	1,369,340 square feet
Area Remaining in the Public Right-of-Way:	125,660 square feet
Maximum Floor Area Ratio:	.5
Minimum Setbacks:	In substantial conformance with Site/Landscape Plans
Minimum Number of Parking Spaces:	380 spaces
Minimum Number of Off-Street Loading:	One berth (10 feet by 25 feet)
Maximum Building Height:	70 feet
Maximum Freestanding Tower Height:	180 feet
Minimum Number of Bicycle Parking Spaces:	25 spaces

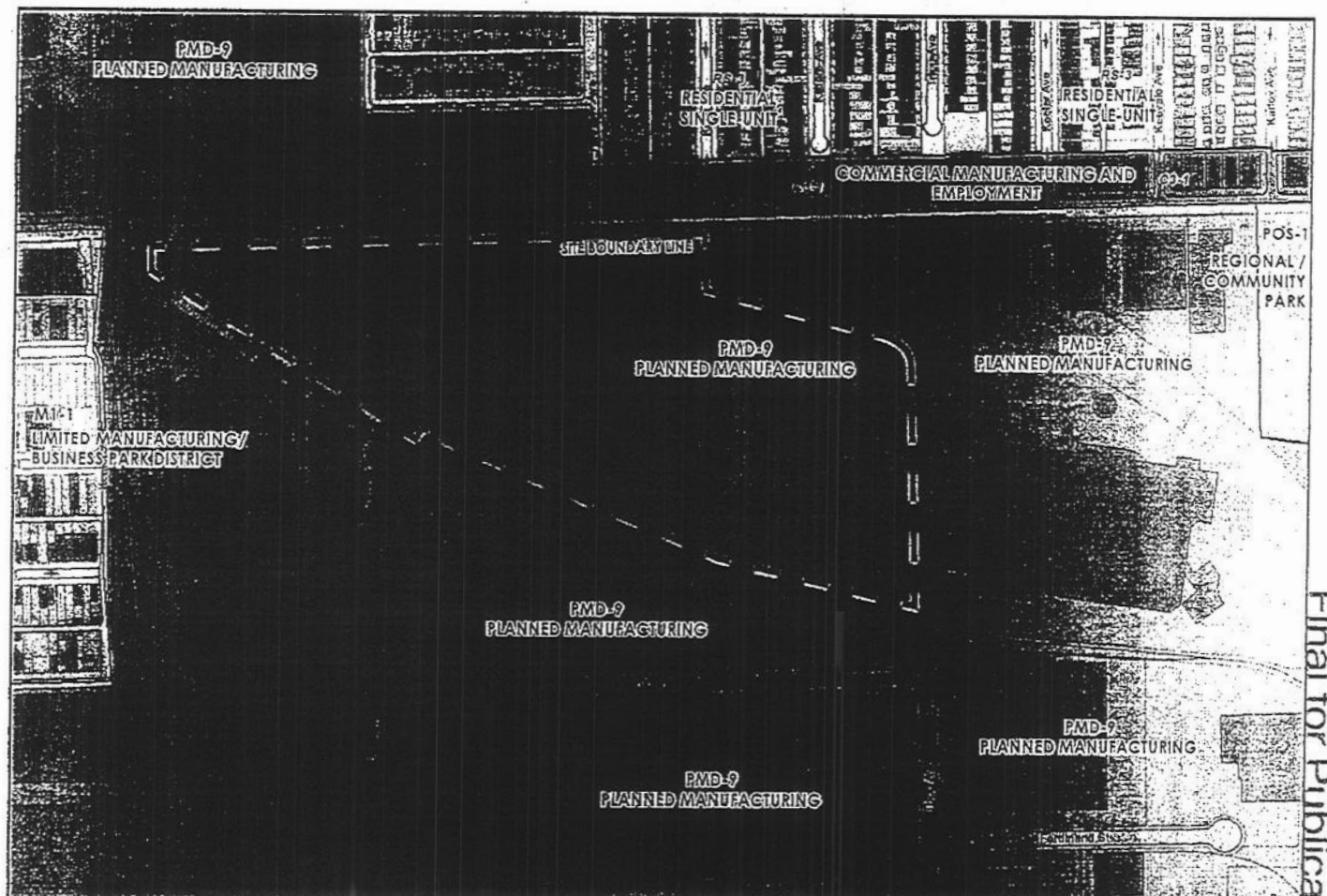


SCALE 1:250



Applicant: Alderman Emma Mitts on behalf of the City of Chicago
 Address: 4301 W. Chicago Avenue

Date Filed: 1/23/2019
 Plan Commission: 2/21/2019



EXISTING ZONING AND LAND USE MAP

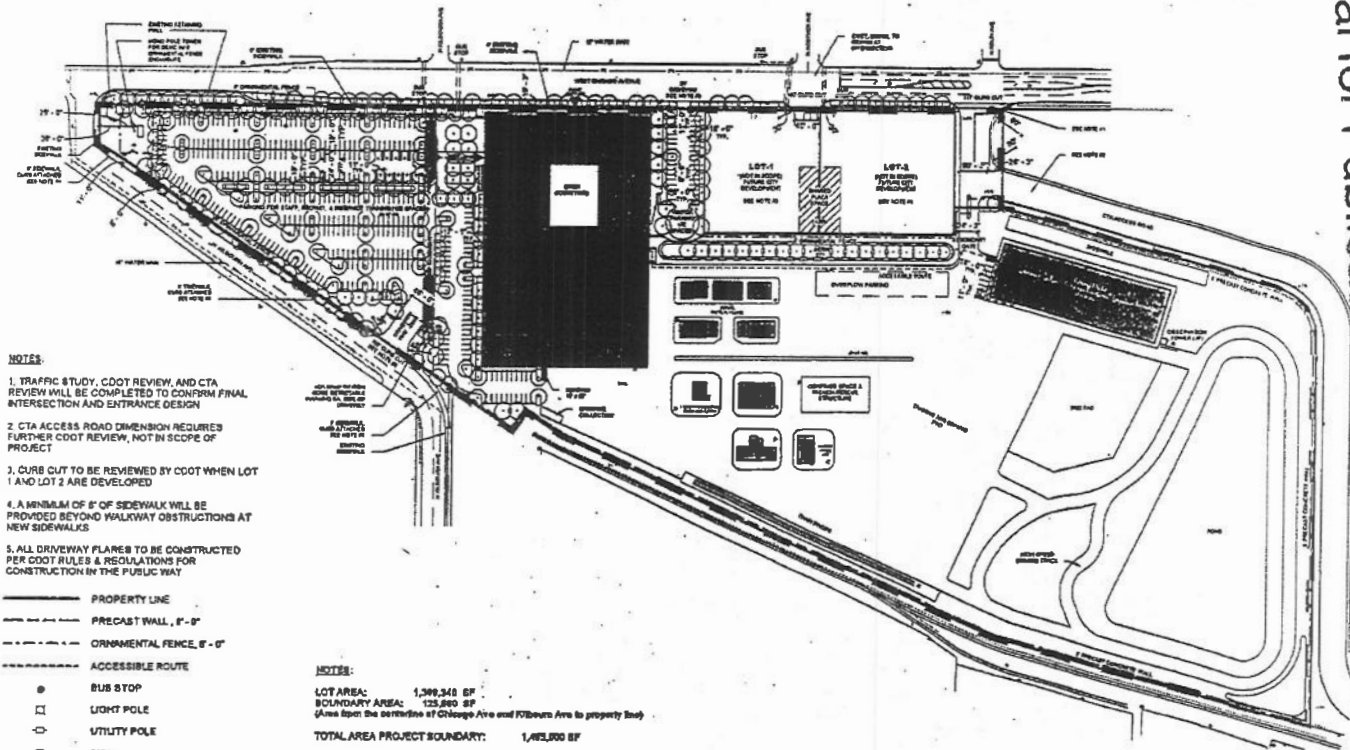


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PROPOSED SITE PLAN

SCALE 1:250

2FM AECOM

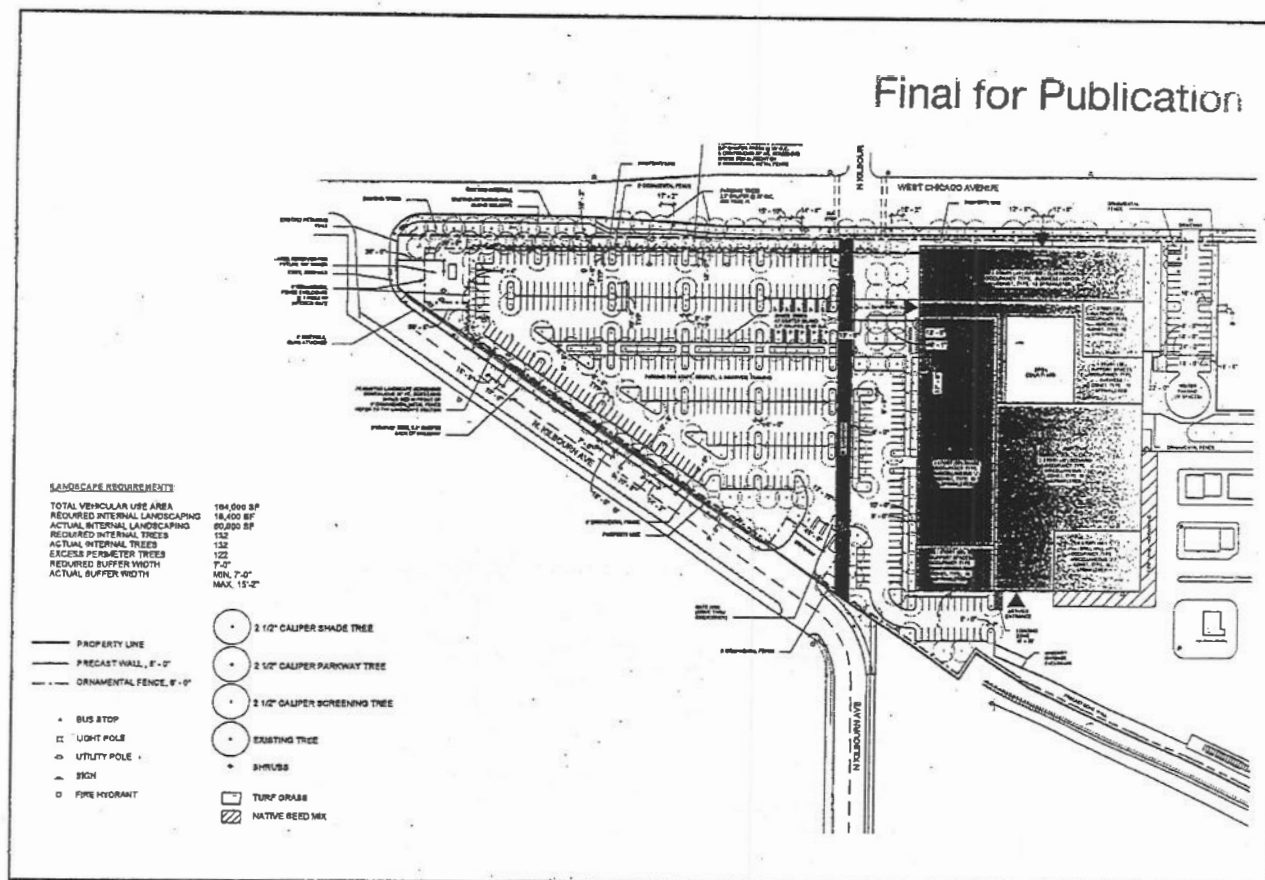
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3/13/2019

REPORTS OF COMMITTEES

97363

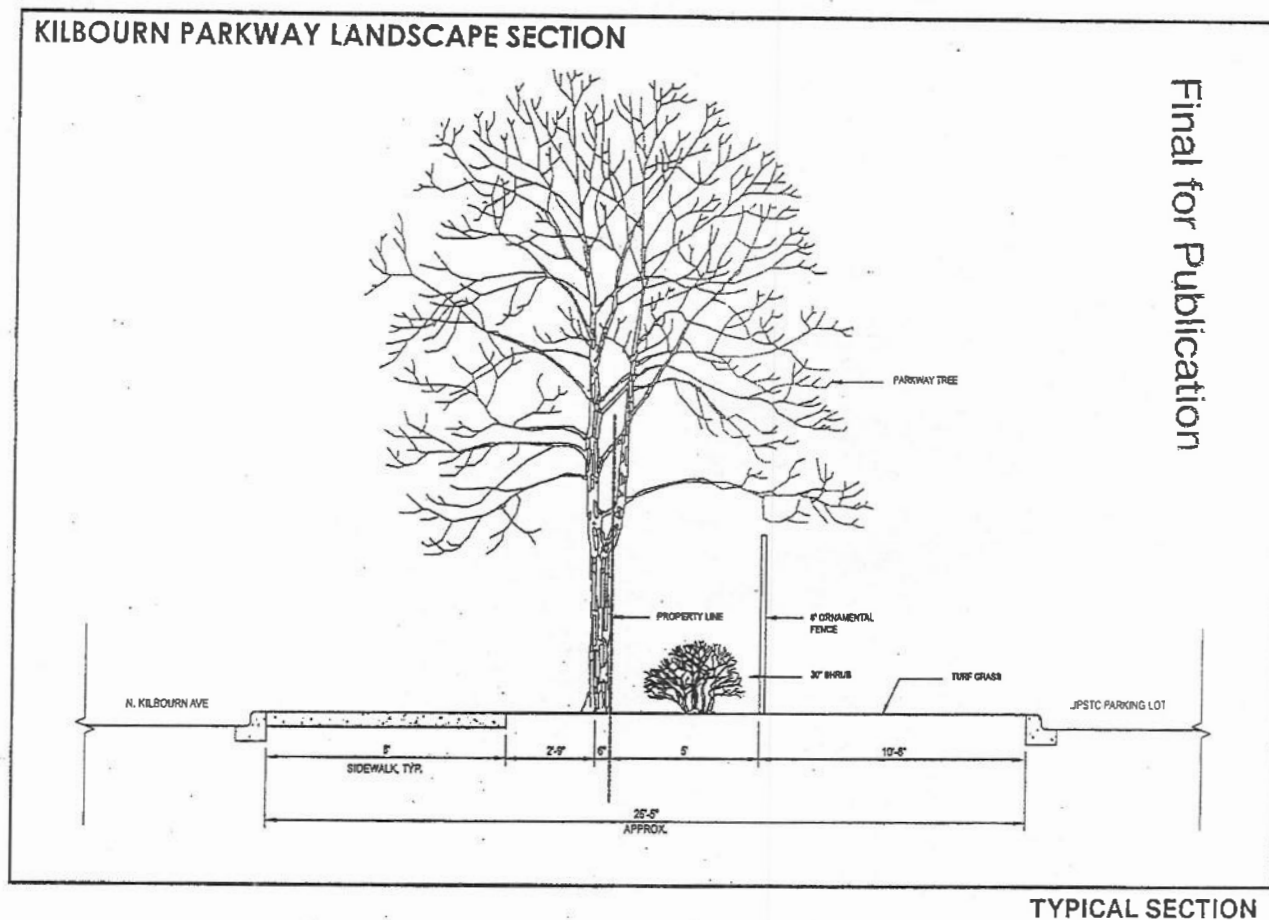


ENLARGED SITE PLAN



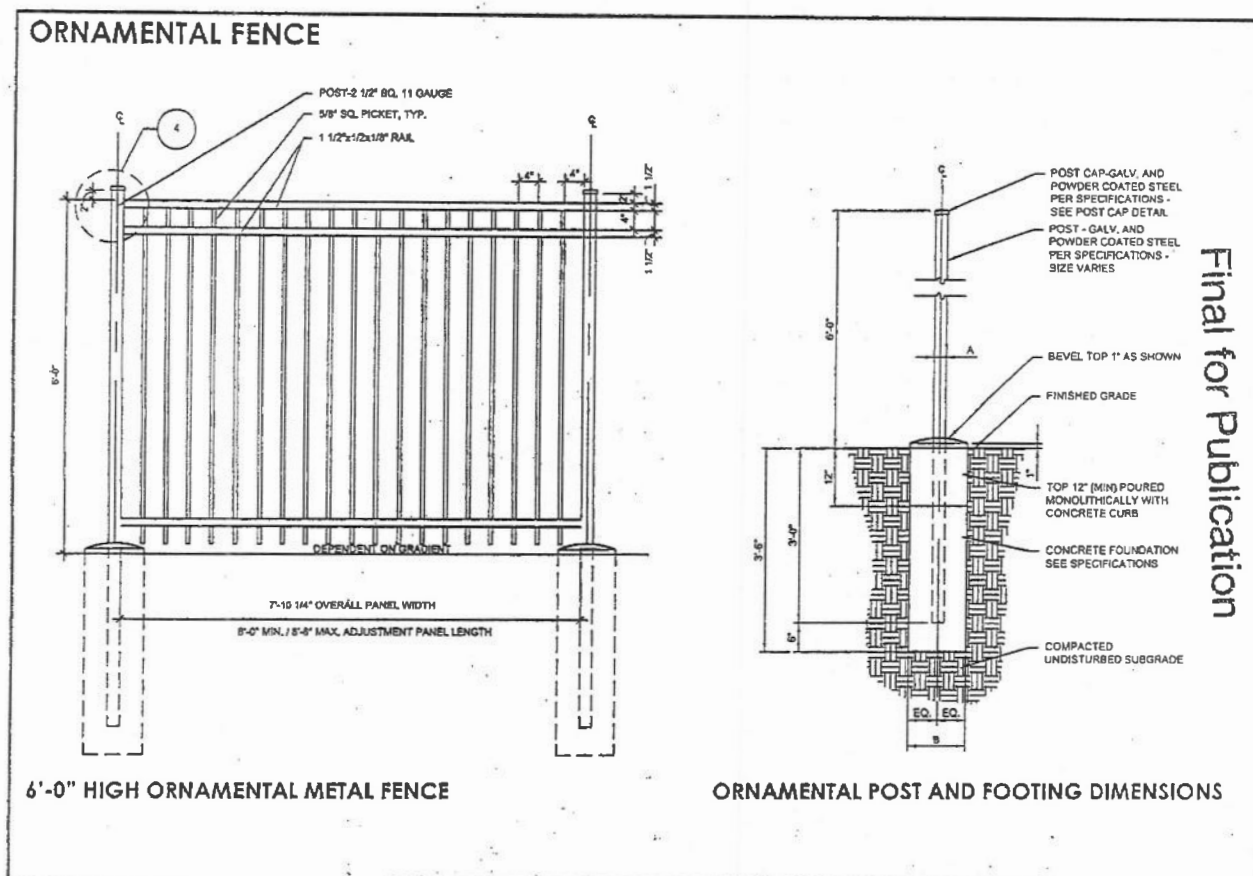
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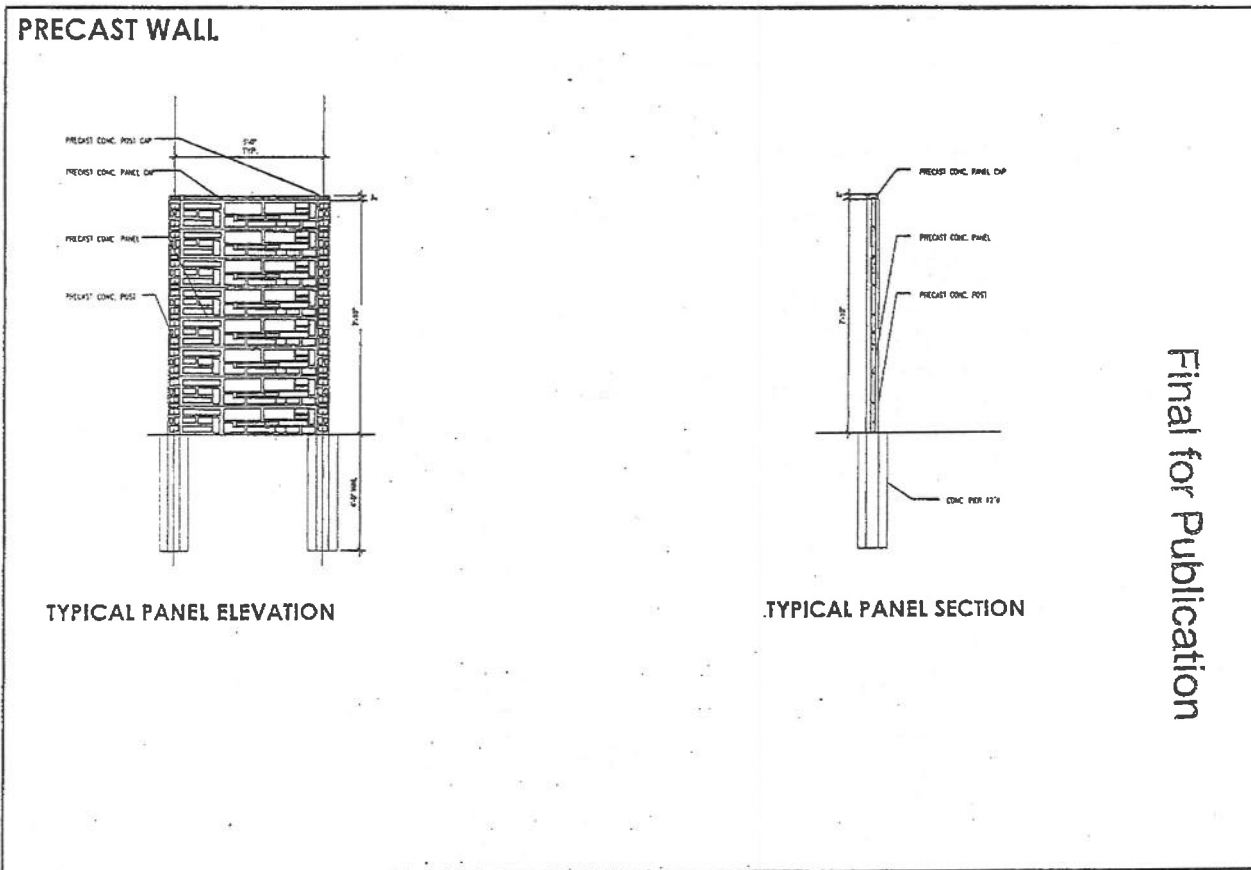
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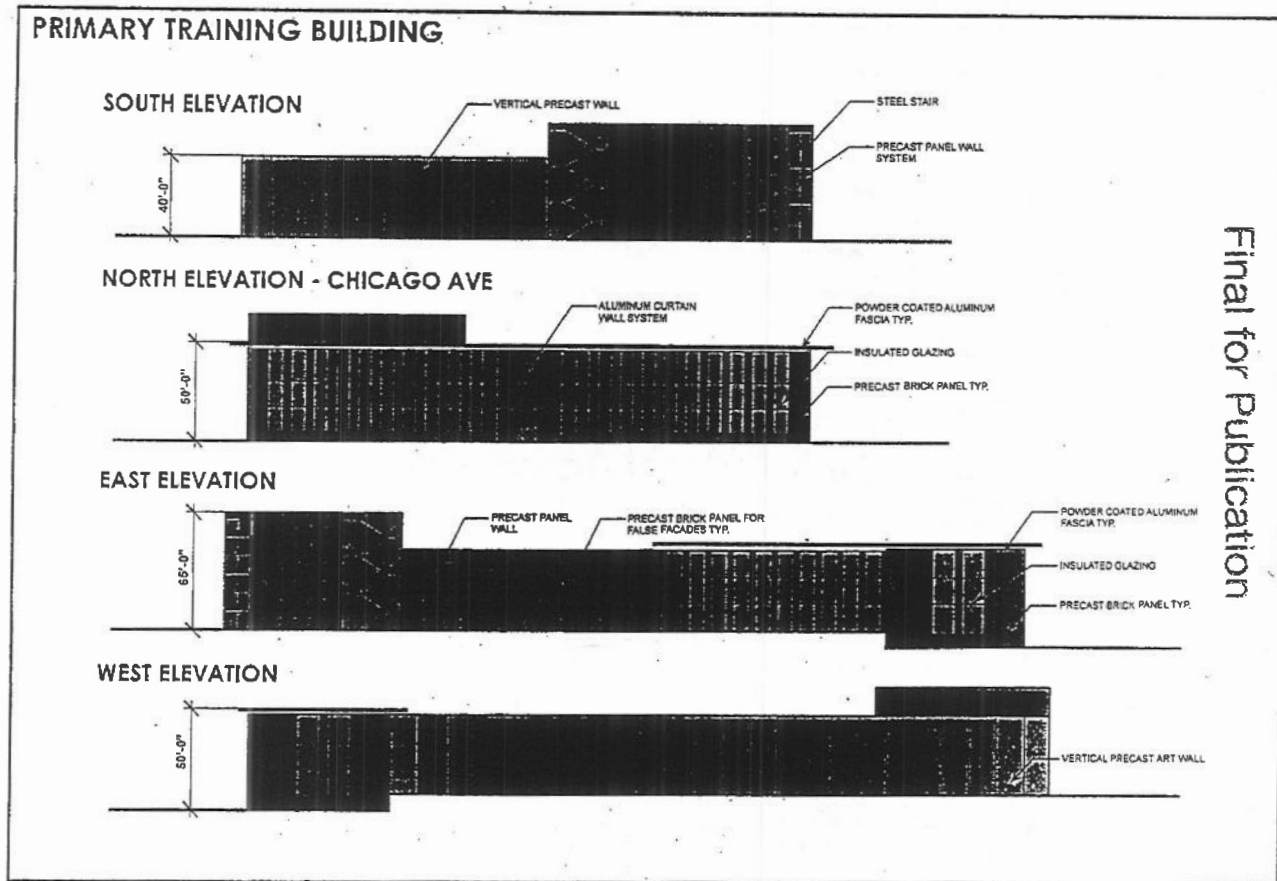


SITE DETAIL



Applicant : Alderman Emma Mitts on behalf of the City of Chicago
Address : 4301 W. Chicago Avenue

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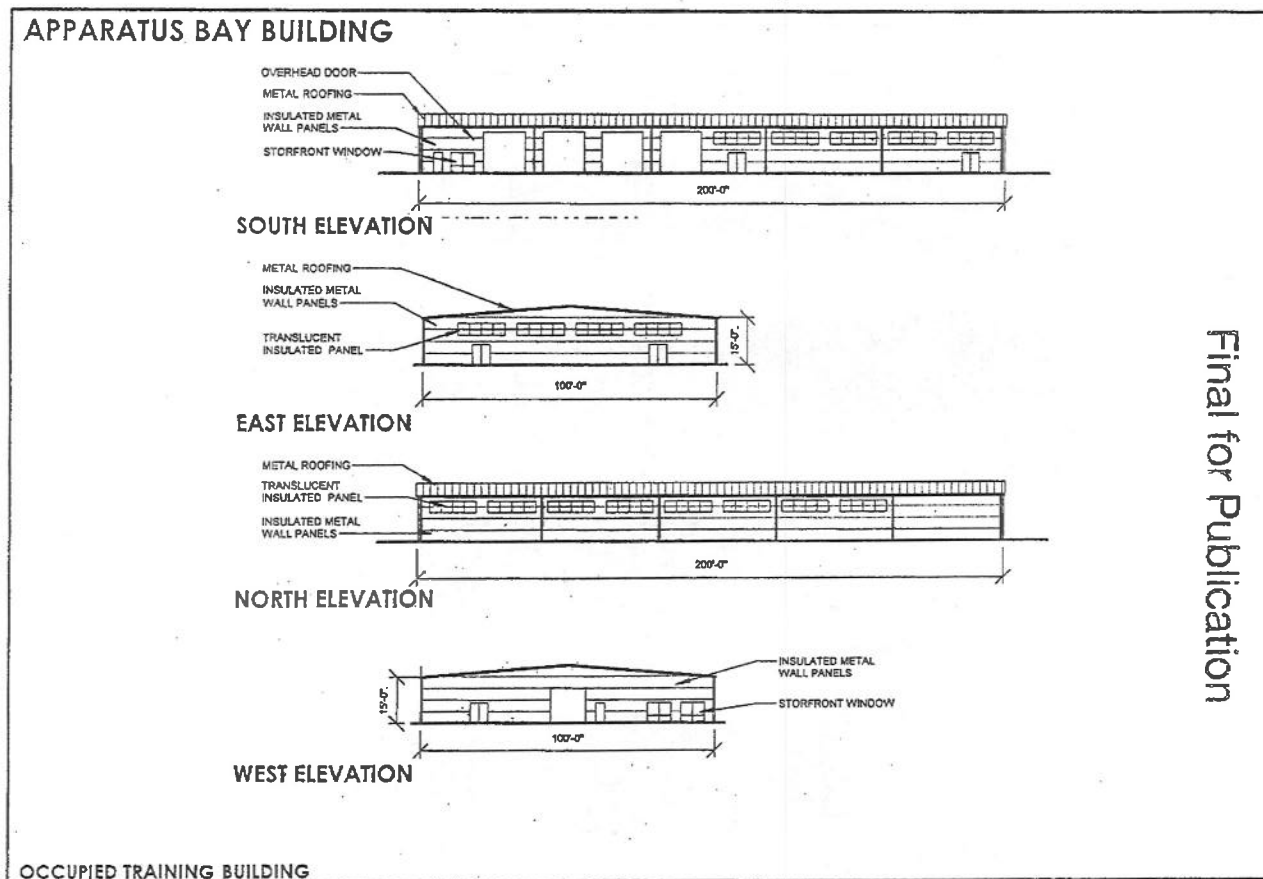
BUILDING ELEVATIONS



AECOM

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 Address: 4301 W. Chicago Avenue

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BUILDING ELEVATIONS



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