

PD 1451

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April 16, 2021

Chris Leach
Akerman LLP
71 S. Wacker Drive
47th Floor
Chicago, IL 60606

**Re: Minor change to PD No. 1451, Subarea A
1043-57 W. Fulton Market**

Dear Mr. Leach:

Please be advised that your request for a minor change to Planned Development No. 1451 ("PD 1451"), Subarea A, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement Number 12 of PD 1451.

1043-1055 WEST FULTON MARKET STREET OWNER, LLC, the sole property owner of Subarea A, is seeking a minor change to allow windows along an interior lot line on the 8th floor of the east façade of the proposed building in Subarea A located at 1043-57 W. Fulton Market and 225-233 N. Aberdeen Street. The proposed windows match the aesthetic of the windows on the primary facades, and are shown on the attached, revised East Elevation exhibit.

Regarding your request, the Department of Planning and Development has determined that allowing the proposed windows will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1451, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

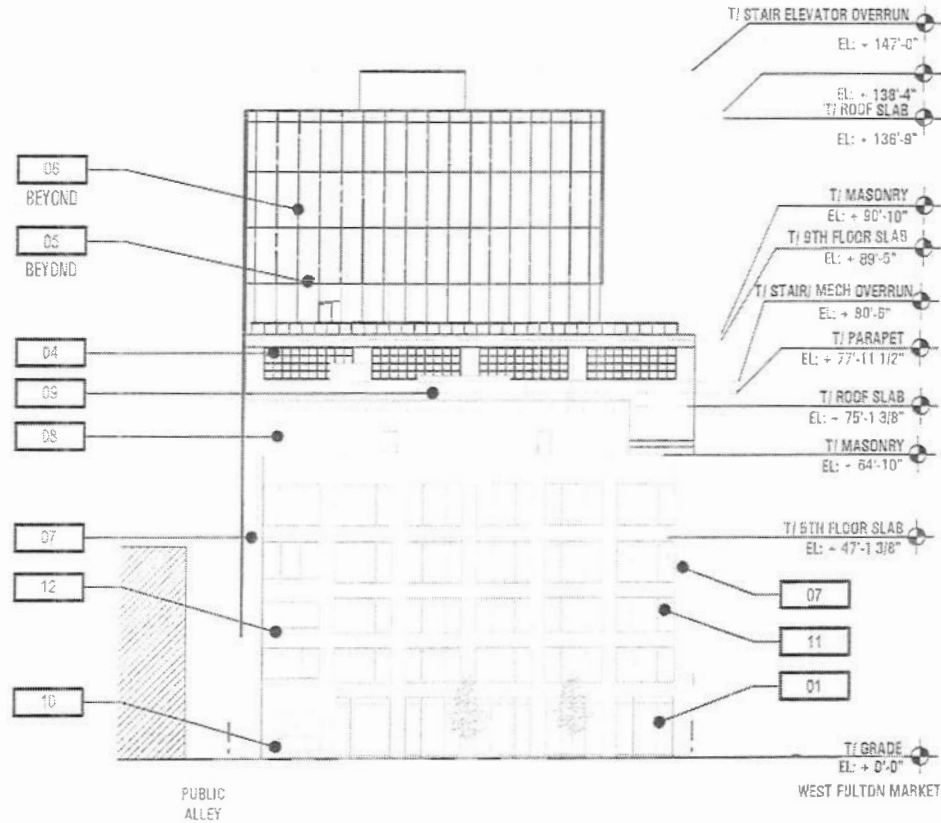


Steven Valenziano
Assistant Zoning Administrator

SV:tm

C: Mike Marmo, Erik Glass, Cindy Roubik, Larry Shure, Noah Szafraniec, Main file

PROPOSED PLANS



MATERIAL LEGEND	
01	METAL STOREFRONT SYSTEM
02	CAST STONE BASE
03	OPERABLE DOOR/ WINDOW SYSTEM
04	DIVIDED LIGHT WINDOW SYSTEM
05	METAL MULLION CAP
06	METAL FRAME AWNING
07	MODULAR BRICK
08	WINDOW WALL SYSTEM
09	METAL PANEL SYSTEM
10	METAL COLLING DOOR
11	WINDOW SYSTEM
12	GLASS HANDRAIL
13	COVERED LOADING AREA

1 EAST ELEVATION
SCALE: 1" = 40'-0"

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	03/25/2021

EAST ELEVATION



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

September 15, 2020

Chris Leach
Akerman LLP
71 S. Wacker Dr., 47th Floor
Chicago, IL 60606

Re: Minor change for PD No. 1451, Sub area A and B, 1041-43 W. Fulton Market

Dear Mr. Leach:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1451 ("PD 1451") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 12 of PD 1451.

On behalf of 1043-1055 WEST FULTON MARKET STREET OWNER, LLC, the owner of Sub area A, and 232 CARPENTER LLC, the owner of Sub area B, you are seeking the following design changes to the proposed Sub area A and B buildings:

Sub area A (1043 W. Fulton Market):

- Change the masonry color and bay spacing on the north and west facades to a red tone that is more typical of the Fulton Market District and increase the bay spacing to reflect the office space use. The hotel use has been eliminated.
- Extend the masonry on the west facade one bay toward the alley.
- Move the main entry from Fulton Market St. to Aberdeen St.
- Relocate the existing Aberdeen curb cut to line up with the new parking garage entrance

Sub area B (1041 W. Fulton Market):

- Relocate the terrace from the perimeter of the 5th floor to the 6th floor, and change the glazing/enclosure location at the 5th floor.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed design modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would

constitute a minor change. The Department of Transportation has approved the revised curb cut and site plan. The following revised drawings, dated June 12, 2020, are attached: Site Plan/Landscape Plan, North Elevation, South Elevation, East Elevation, West Elevation, Axonometric Diagrams (6)-1041 Fulton Market-Base, Middle, Top, 1043 W Fulton Market-Base, Middle, Top.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1451, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

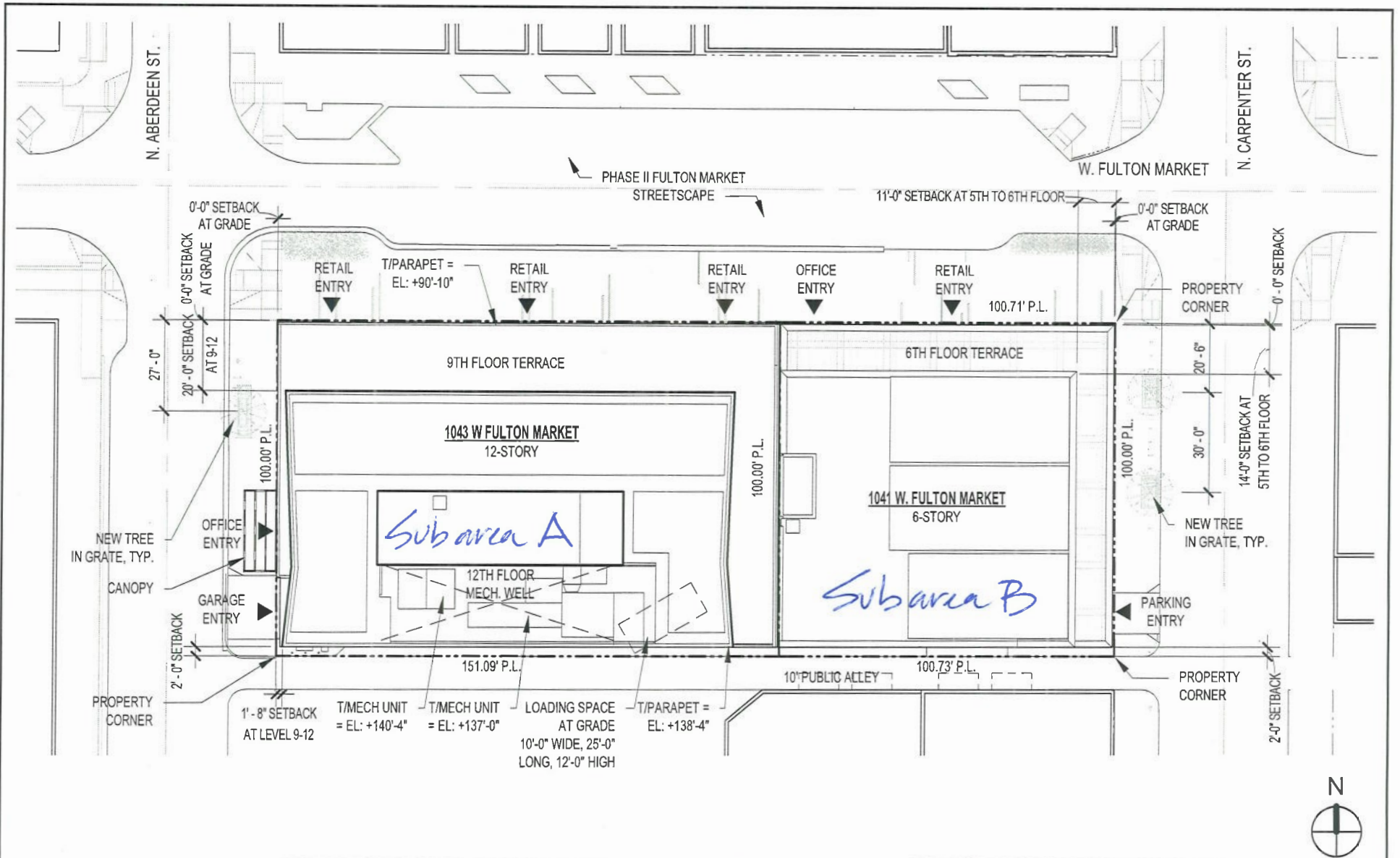
Sincerely,



Steven Valenziano
Assistant Zoning Administrator

SV:tm

C: Mike Marmo, Erik Glass, Noah Szafraniec, Main file



APPLICANT: SILVER QUEEN LLC;
232 CARPENTER LLC

ADDRESS: 1043 W. FULTON MARKET;
1041 W. FULTON MARKET

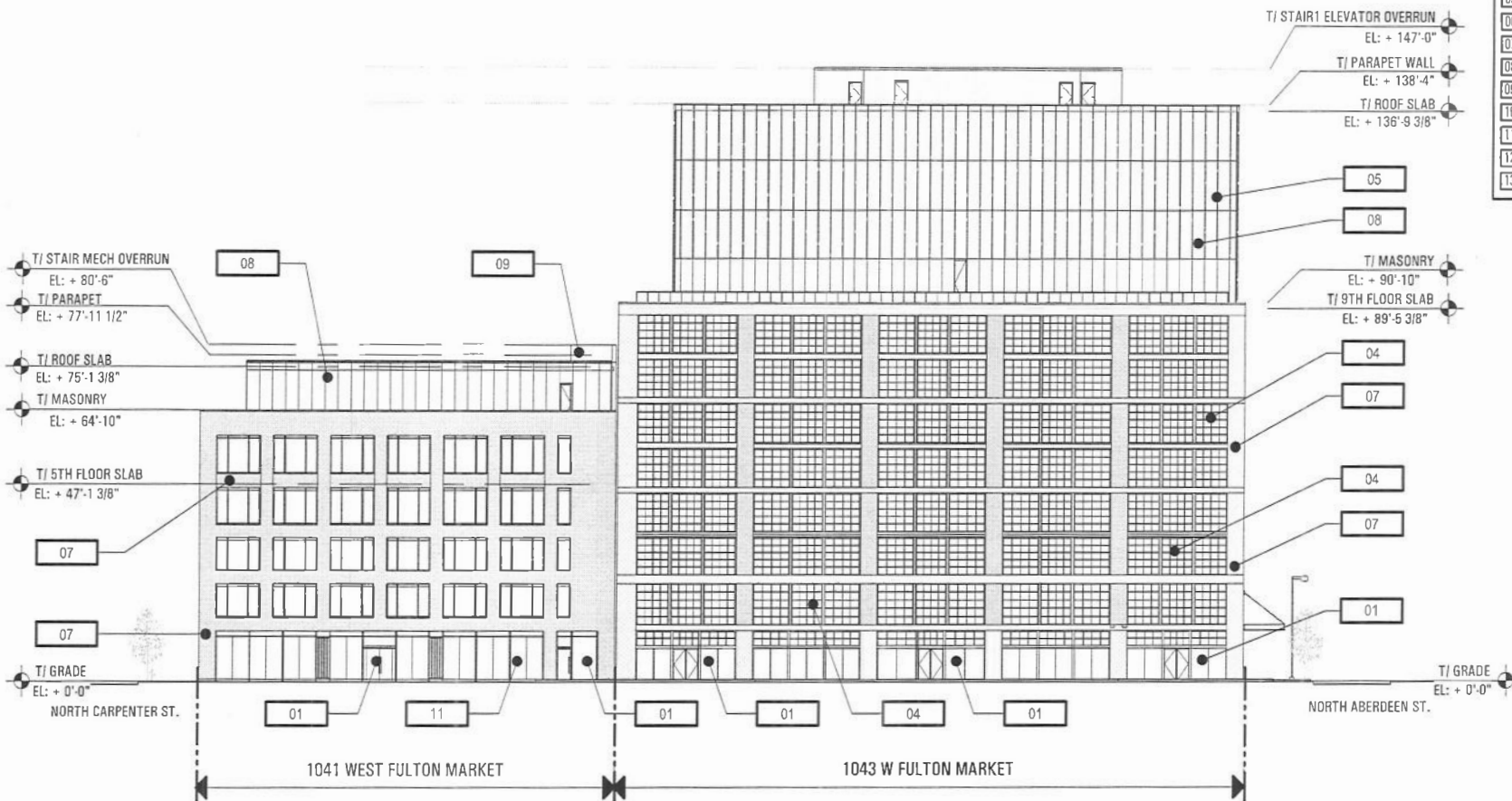
DATE: 07/18/2019

REVISED: 06/12/2020

SITE PLAN /
LANDSCAPE PLAN

MATERIAL LEGEND:

- 01 METAL STOREFRONT SYSTEM
- 02 CAST STONE BASE
- 03 OPERABLE DOOR/ WINDOW SYSTEM
- 04 DIVIDED LIGHT WINDOW SYSTEM
- 05 METAL MULLION CAP
- 06 METAL FRAME AWNING
- 07 MODULAR BRICK
- 08 WINDOW WALL SYSTEM
- 09 METAL PANEL SYSTEM
- 10 METAL COILING DOOR
- 11 WINDOW SYSTEM
- 12 GLASS HANDRAIL
- 13 COVERED LOADING AREA



1 NORTH ELEVATION
SCALE: 1" = 40'-0"

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

NORTH ELEVATION

MATERIAL LEGEND:

- 01 METAL STOREFRONT SYSTEM
- 02 CAST STONE BASE
- 03 OPERABLE DOOR/ WINDOW SYSTEM
- 04 DIVIDED LIGHT WINDOW SYSTEM
- 05 METAL MULLION CAP
- 06 METAL FRAME AWNING
- 07 MODULAR BRICK
- 08 WINDOW WALL SYSTEM
- 09 METAL PANEL SYSTEM
- 10 METAL COILING DOOR
- 11 WINDOW SYSTEM
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- 13 COVERED LOADING AREA

T/ STAIR1 ELEVATOR OVERRUN
EL: + 147'-0"

T/ PARAPET WALL
EL: + 138'-4"

T/ ROOF SLAB
EL: + 136'-9 3/8"

T/ STAIR MECH OVERRUN
EL: + 80'-6"

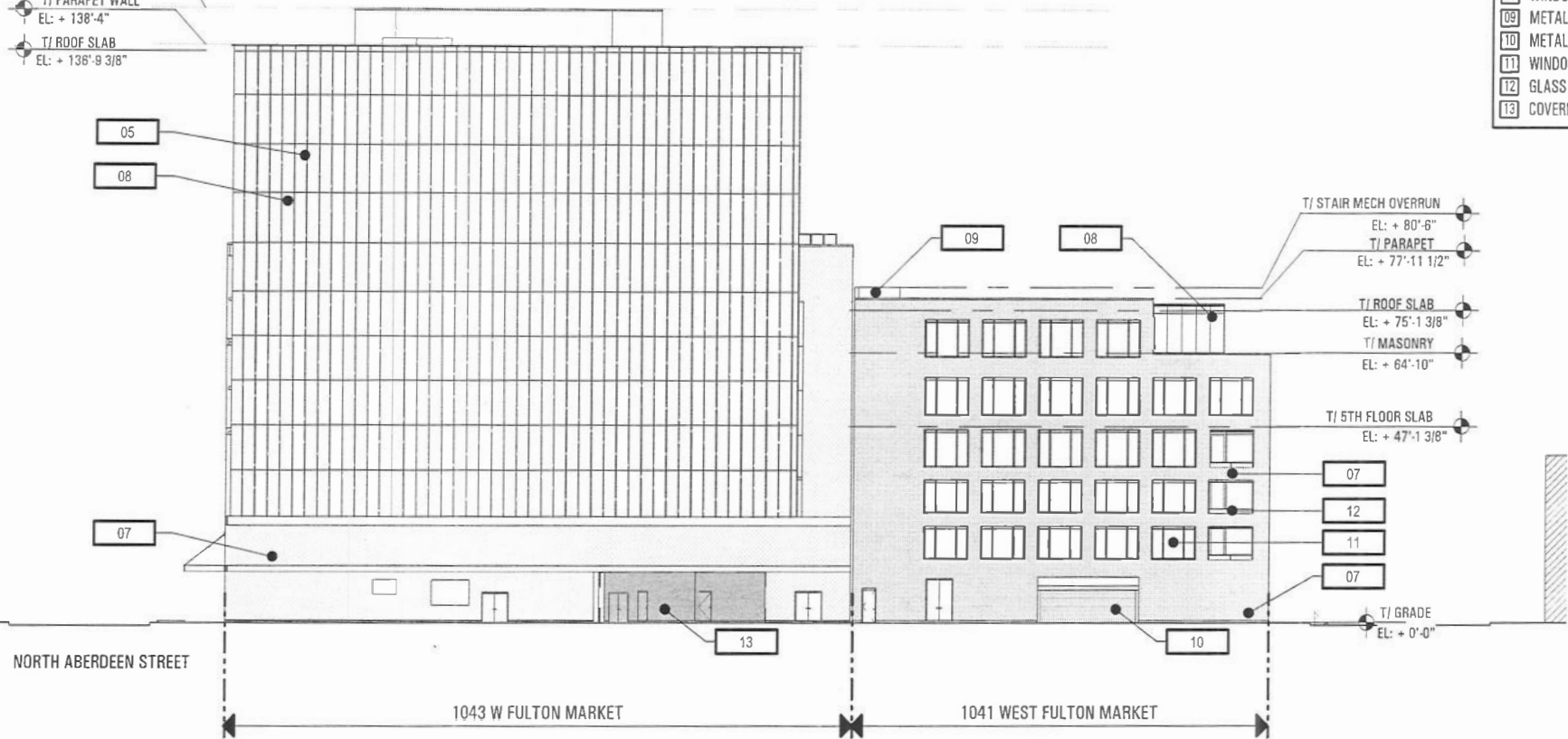
T/ PARAPET
EL: + 77'-11 1/2"

T/ ROOF SLAB
EL: + 75'-1 3/8"

T/ MASONRY
EL: + 64'-10"

T/ 5TH FLOOR SLAB
EL: + 47'-1 3/8"

T/ GRADE
EL: + 0'-0"



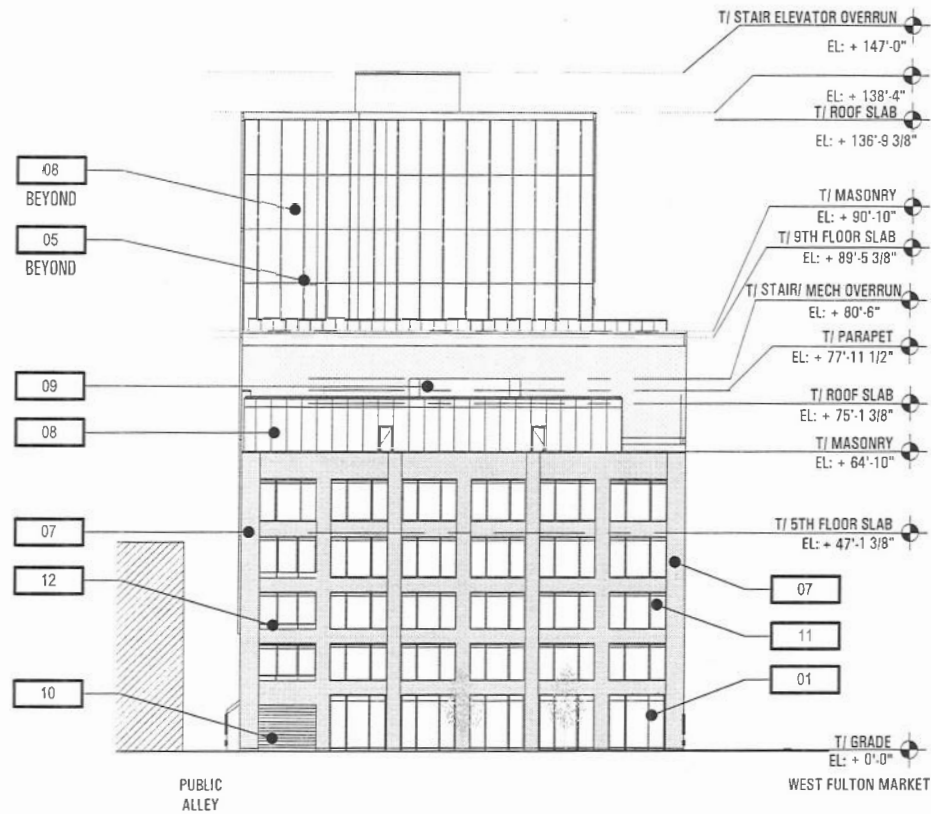
1 SOUTH ELEVATION
SCALE: 1" = 40'-0"

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

SOUTH ELEVATION

MATERIAL LEGEND:

- 01 METAL STOREFRONT SYSTEM
- 02 CAST STONE BASE
- 03 OPERABLE DOOR/ WINDOW SYSTEM
- 04 DIVIDED LIGHT WINDOW SYSTEM
- 05 METAL MULLION CAP
- 06 METAL FRAME AWNING
- 07 MODULAR BRICK
- 08 WINDOW WALL SYSTEM
- 09 METAL PANEL SYSTEM
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- 11 WINDOW SYSTEM
- 12 GLASS HANDRAIL
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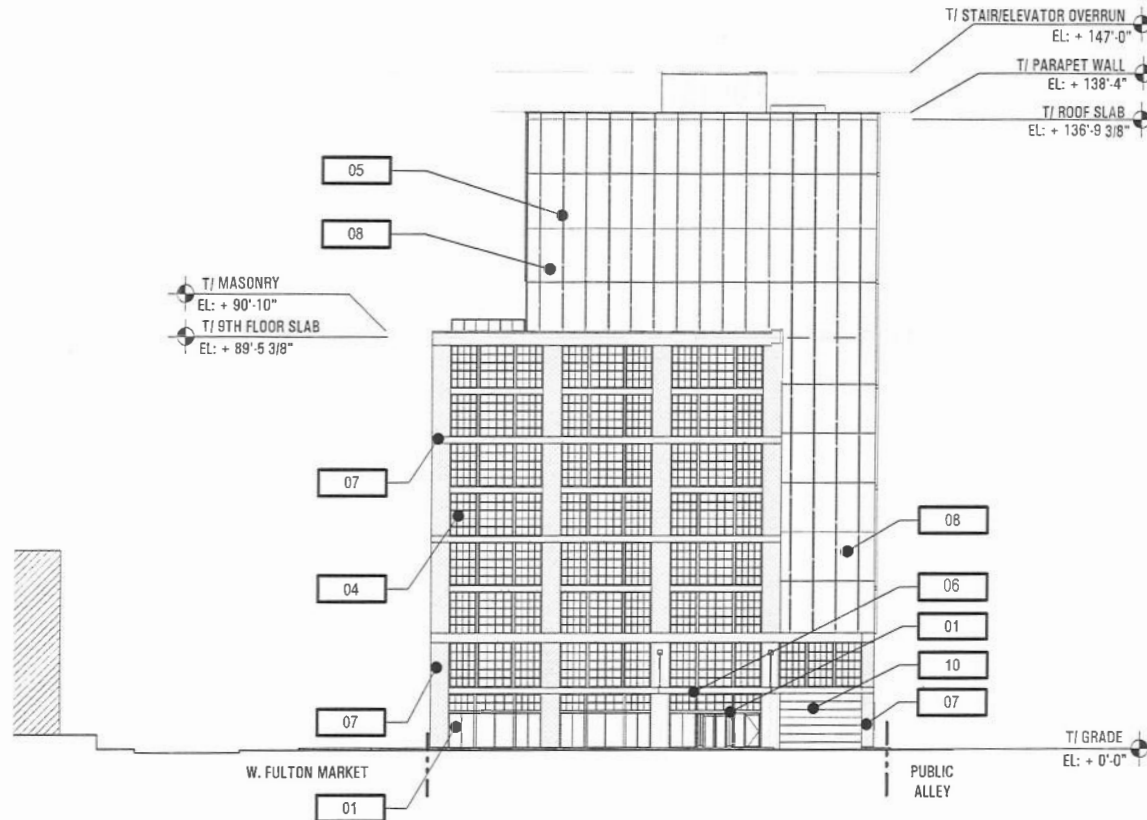
1 EAST ELEVATION
SCALE: 1" = 40'-0"

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

EAST ELEVATION

MATERIAL LEGEND:

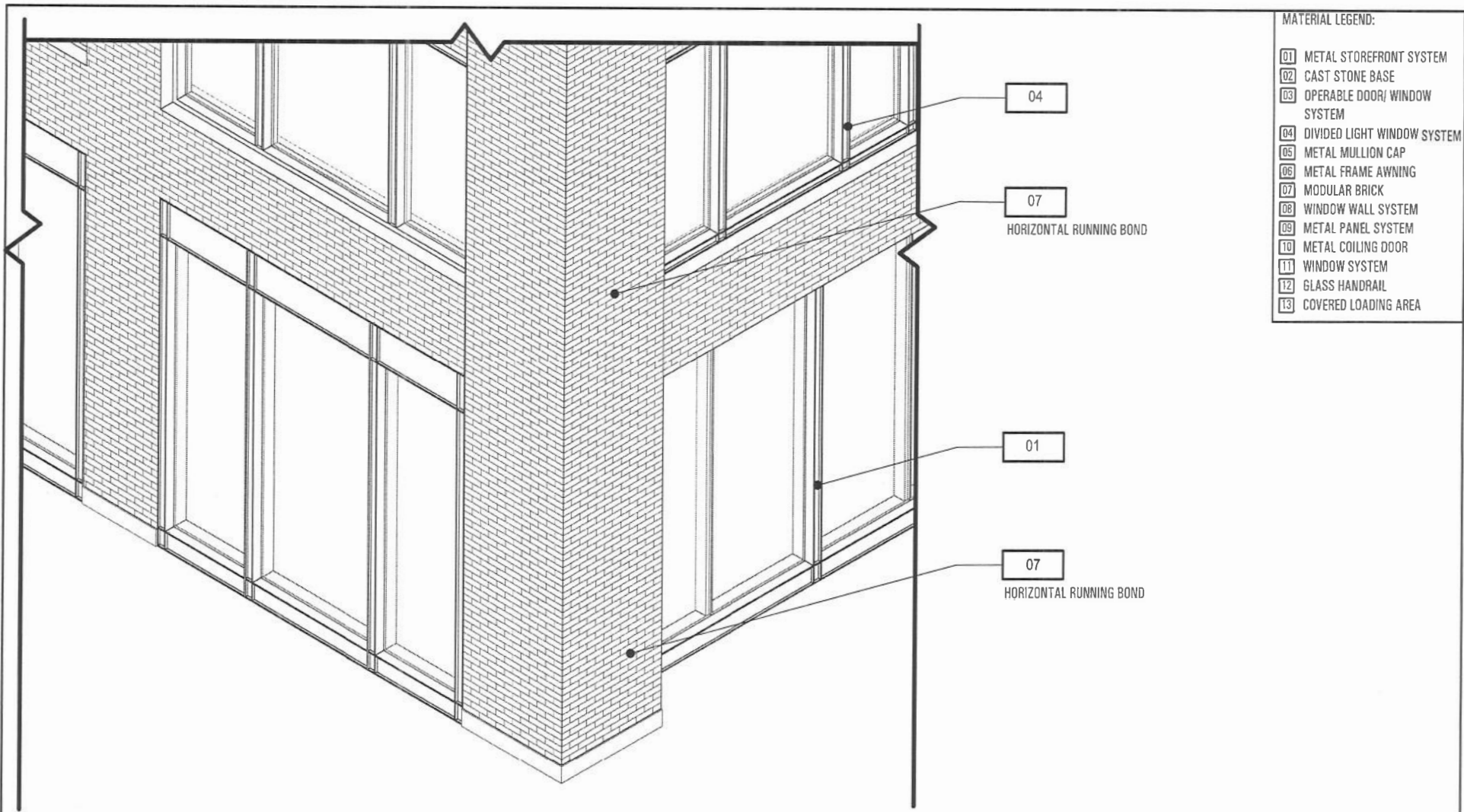
- [01] METAL STOREFRONT SYSTEM
- [02] CAST STONE BASE
- [03] OPERABLE DOOR/ WINDOW SYSTEM
- [04] DIVIDED LIGHT WINDOW SYSTEM
- [05] METAL MULLION CAP
- [06] METAL FRAME AWNING
- [07] MODULAR BRICK
- [08] WINDOW WALL SYSTEM
- [09] METAL PANEL SYSTEM
- [10] METAL COILING DOOR
- [11] WINDOW SYSTEM
- [12] GLASS HANDRAIL
- [13] COVERED LOADING AREA



1 WEST ELEVATION
SCALE: 1" = 40'-0"

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

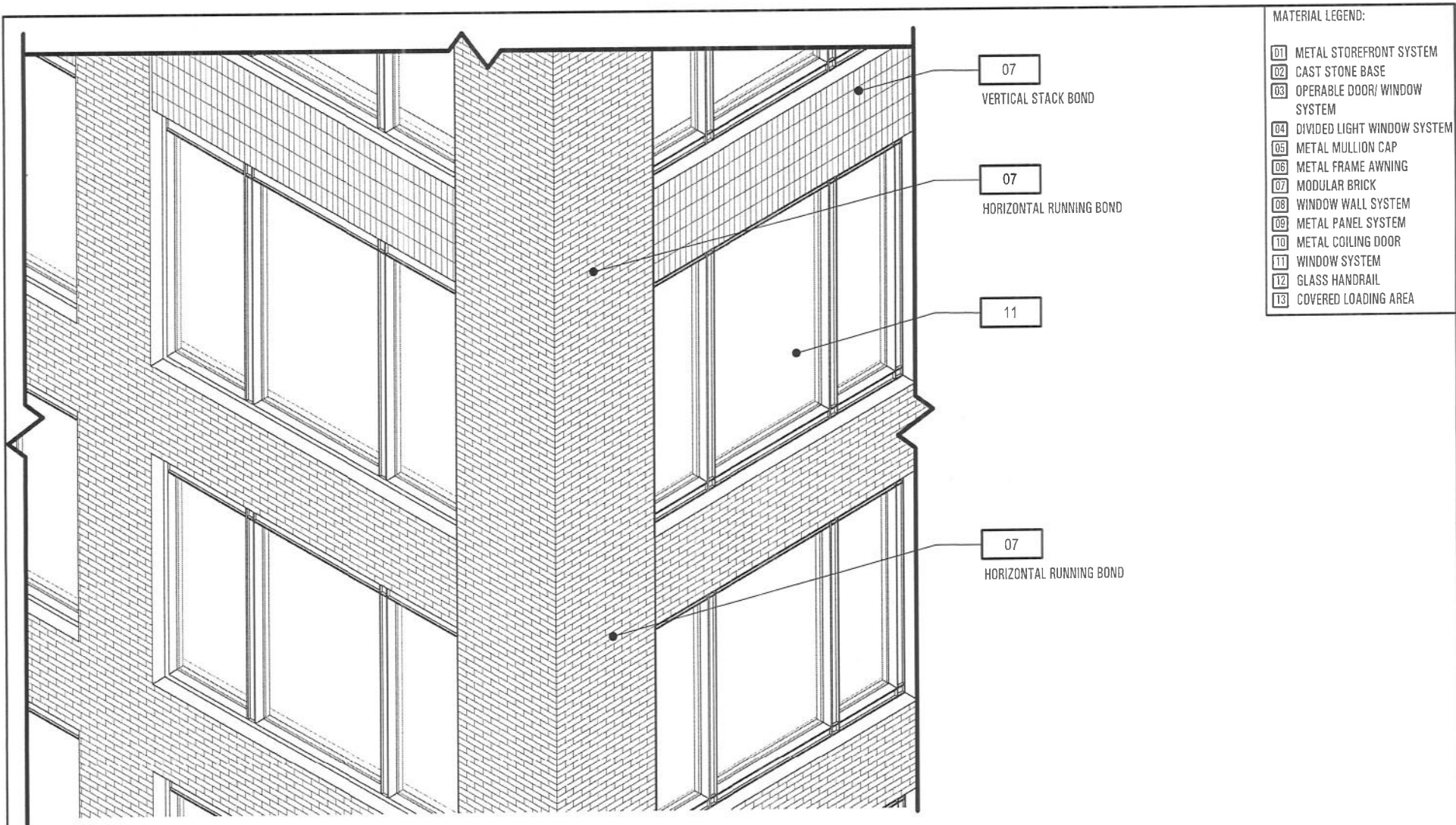
WEST ELEVATION



1 1041 FULTON MARKET - BASE

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

AXONOMETRIC
DIAGRAM

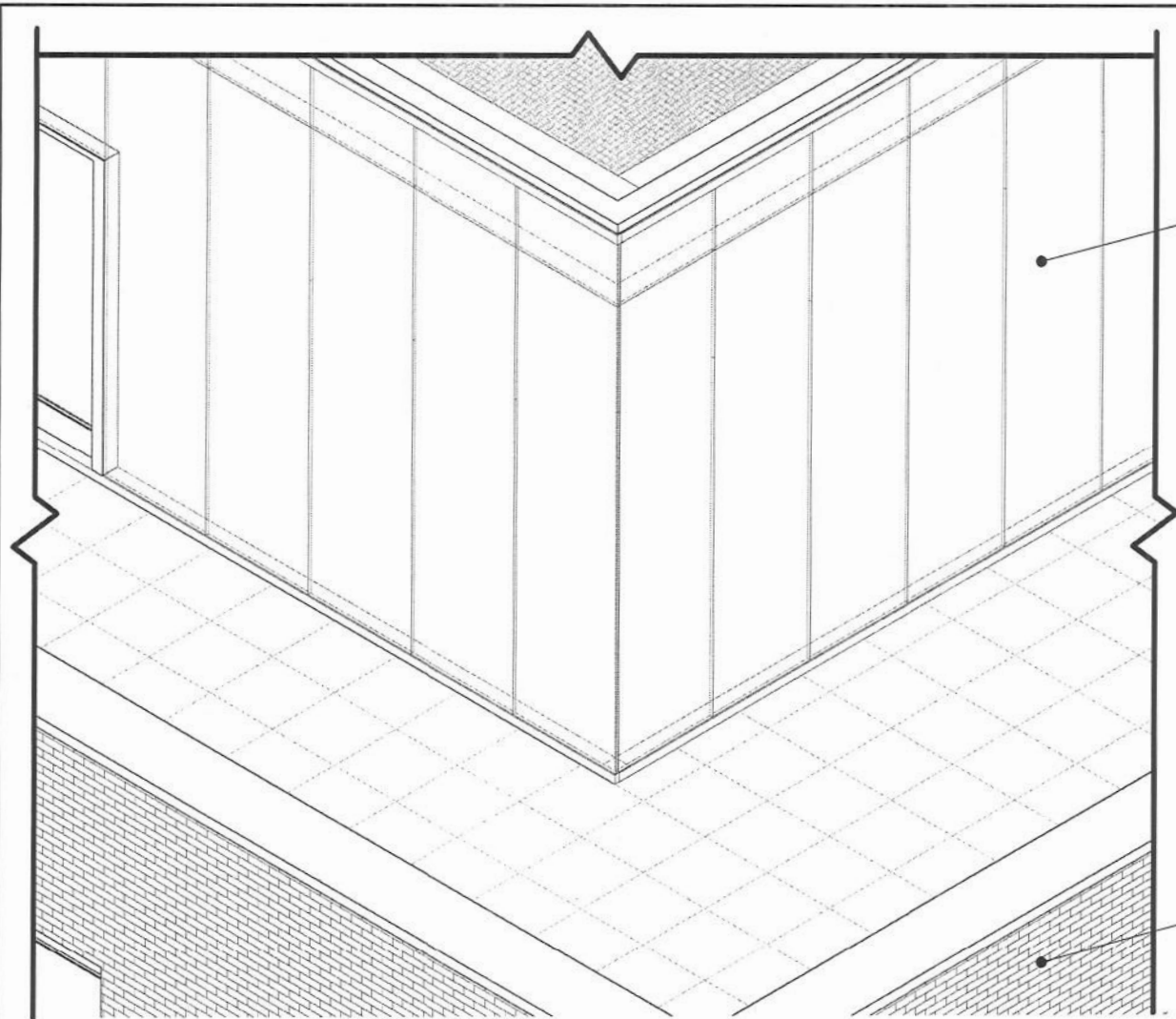


- MATERIAL LEGEND:
- 01 METAL STOREFRONT SYSTEM
 - 02 CAST STONE BASE
 - 03 OPERABLE DOOR/ WINDOW SYSTEM
 - 04 DIVIDED LIGHT WINDOW SYSTEM
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 - 09 METAL PANEL SYSTEM
 - 10 METAL COILING DOOR
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 - 13 COVERED LOADING AREA

1 1041 FULTON MARKET - MIDDLE

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

AXONOMETRIC
DIAGRAM



- MATERIAL LEGEND:
- 01 METAL STOREFRONT SYSTEM
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 - 08 WINDOW WALL SYSTEM
 - 09 METAL PANEL SYSTEM
 - 10 METAL COILING DOOR
 - 11 WINDOW SYSTEM
 - 12 GLASS HANDRAIL
 - 13 COVERED LOADING AREA

08

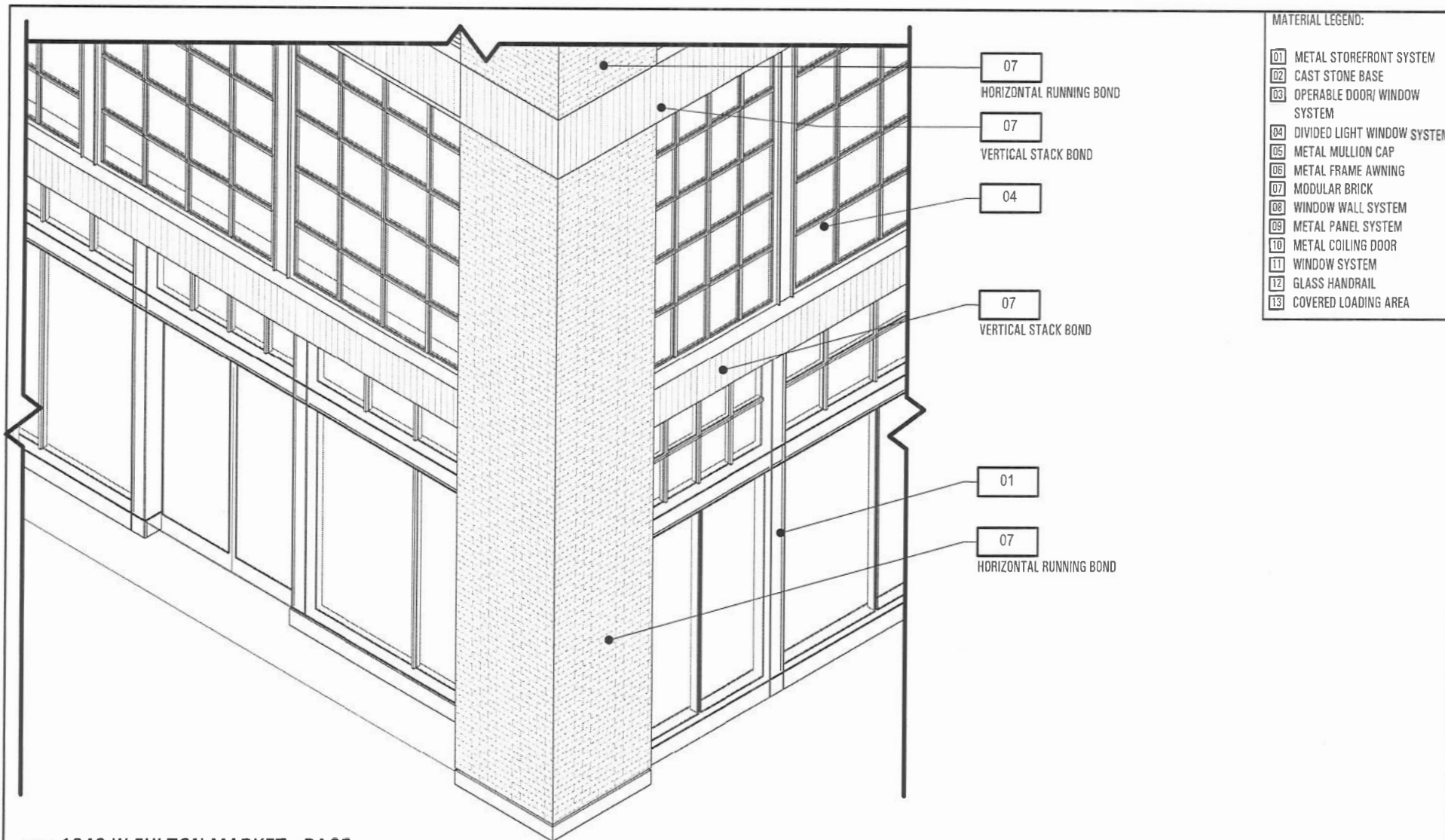
07

HORIZONTAL RUNNING BOND

1 1041 FULTON MARKET - TOP

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

AXONOMETRIC
DIAGRAM

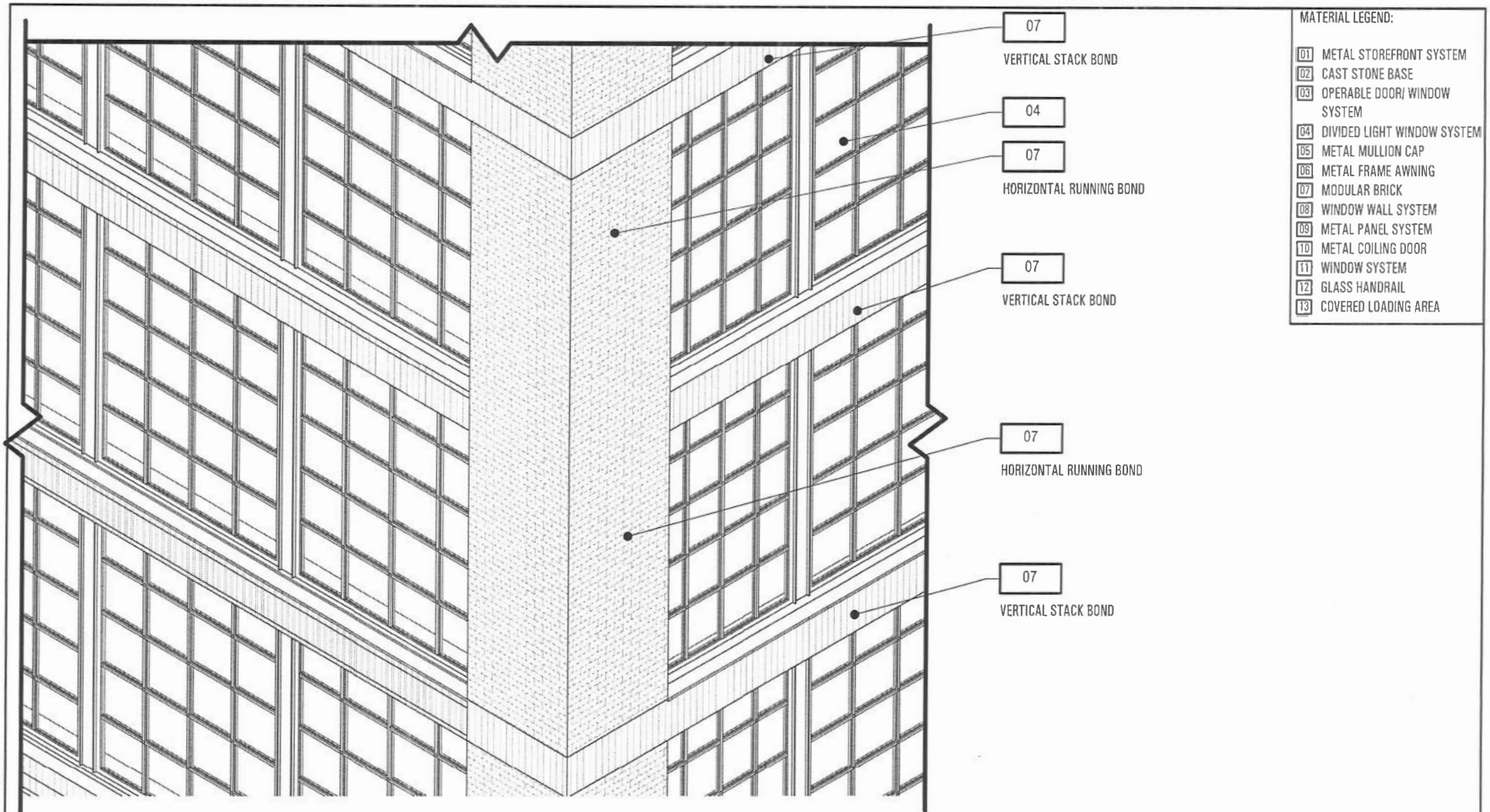


- MATERIAL LEGEND:
- 01 METAL STOREFRONT SYSTEM
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 - 04 DIVIDED LIGHT WINDOW SYSTEM
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 - 08 WINDOW WALL SYSTEM
 - 09 METAL PANEL SYSTEM
 - 10 METAL COILING DOOR
 - 11 WINDOW SYSTEM
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 - 13 COVERED LOADING AREA

1 1043 W FULTON MARKET - BASE

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

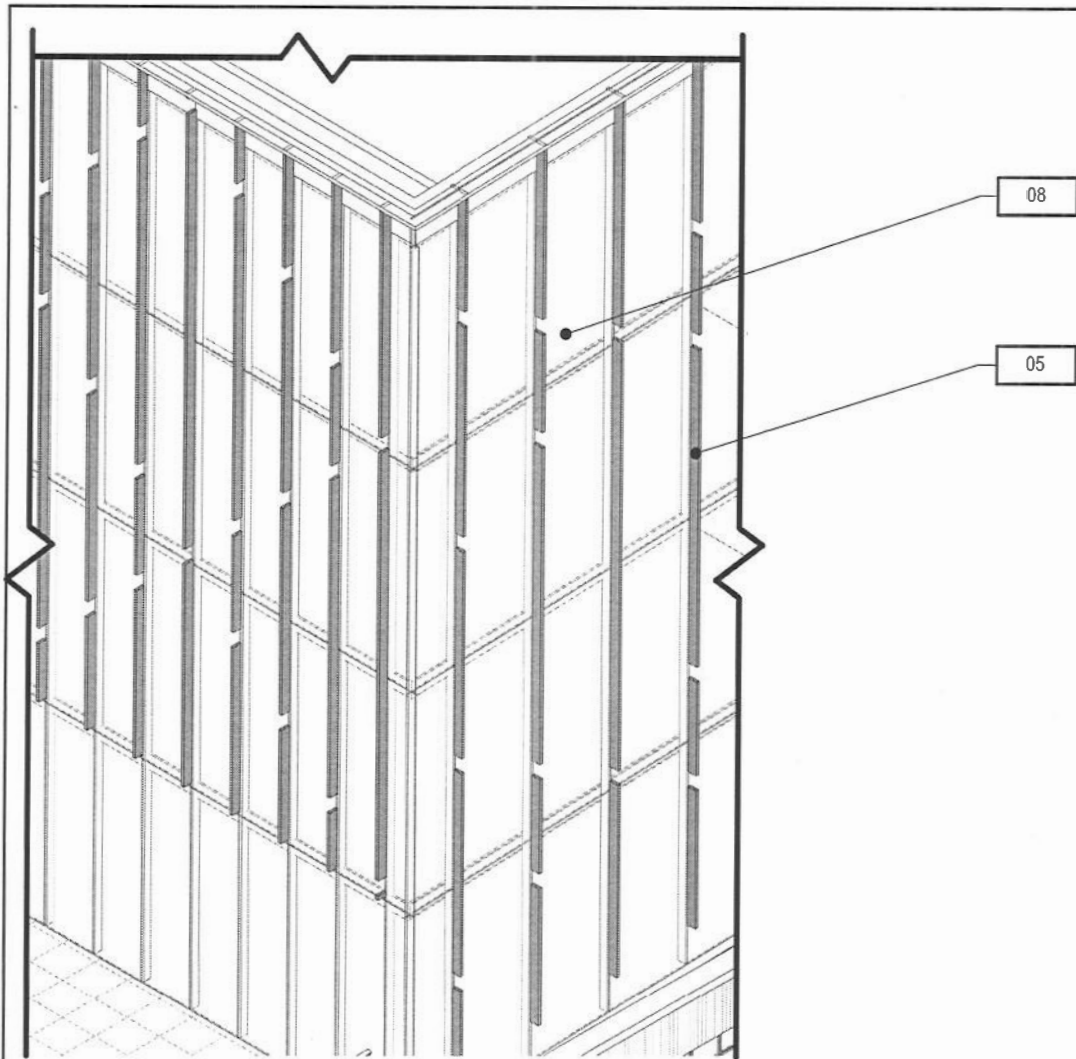
AXONOMETRIC
DIAGRAM



1 1043 W FULTON MARKET - MIDDLE

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

AXONOMETRIC
DIAGRAM



- MATERIAL LEGEND:
- 01 METAL STOREFRONT SYSTEM
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 - 11 WINDOW SYSTEM
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 - 13 COVERED LOADING AREA

1 1043 W FULTON MARKET - TOP

APPLICANT:	SILVER QUEEN LLC; 232 CARPENTER LLC
ADDRESS:	1043 W. FULTON MARKET; 1041 W. FULTON MARKET
DATE:	07/18/2019
REVISED:	06/12/2020

AXONOMETRIC
DIAGRAM

*Reclassification Of Area Shown On Map No. 1-G.
(As Amended)*

(Application No. 20010)

(Common Address: 1033 -- 1057 W. Fulton Market, 225 -- 233 N. Aberdeen St.
And 224 -- 232 N. Carpenter St.)

RBPDI451

[SO2019-2728]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the C1-1 Neighborhood Commercial District and C3-5 Commercial, Manufacturing and Employment District symbols and designations as shown on Map Number 1-G in the area bounded by:

West Fulton Market; North Carpenter Street; the public alley next south of and parallel to West Fulton Market; and North Aberdeen Street,

to the designation of a DX-5 Downtown Mixed-Use District and a corresponding use district is hereby established in the area above described.

SECTION 2. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the DX-5 Downtown Mixed-Use District symbols and designations as shown on Map Number 1-G in the area bounded by:

West Fulton Market; North Carpenter Street; the public alley next south of and parallel to West Fulton Market; and North Aberdeen Street,

to the designation of a Business Planned Development, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 3. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 1451.

Planned Development Statements.

1. The area delineated herein as Planned Development Number 1451, as amended ("Planned Development"), consists of approximately 25,180 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). Silver Queen LLC is the "Applicant" and owner of Subarea A of the Property for this Planned Development. 232 Carpenter LLC is the owner of

Subarea B of the Property for this Planned Development and have provided proper consent.

2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All colorized concrete, cobblestone, or other non-standard treatment, and street furniture and/or hardware shall be restored to current condition or replaced per the Fulton Market Streetscape Section 2 Contract Plans.

Pursuant to a negotiated and executed Perimeter Restoration Agreement by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Curb and gutter
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II Review permitting. The Perimeter Restoration Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of said improvements should follow Department of Transportation's Rules and Regulations for Construction in the Public Way as well as the Street and Site Plan Design Standards. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

4. This plan of development consists of 17 Statements; a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary, Property Line and Subarea Map; Site Plan; Landscape Plan; Axonometric Diagrams; and Building Elevations (North, East, South and West) prepared by Hartshorne Plunkard Architecture and Planning dated July 18, 2019 and submitted herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.
5. In each of the following Subareas, the following uses shall be permitted in this Planned Development:
 - Subarea A:

Hotel, office, general retail sales, food and beverage retail sales; eating and drinking establishments including incidental liquor sales; financial services; personal services; co-located wireless communications facilities; and incidental and accessory uses.
 - Subarea B:

Office, general retail sales, food and beverage retail sales; eating and drinking establishments including incidental liquor sales; financial services; business equipment sales and services; business support services; accessory parking; personal services; co-located wireless communications facilities; and incidental and accessory uses.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.

7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 25,180 square feet and a base FAR of 5.0 and a Neighborhood Opportunity Bonus of 3.1 for a total FAR of 8.1.
9. Upon review and determination, Part II Review, pursuant to Section 17-13-0610, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct, renovate, and maintain all buildings in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources.

The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II Review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.

15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and City residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to the Department of Planning and Development ("DPD"), as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and *(ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II Permit Review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof, (c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and City resident participation in the project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

* Editor's Note: Numbering sequence error; (i) missing in original document.

16. The Planned Development includes the property commonly known as 1033 -- 1057 West Fulton Market, 225 -- 233 North Aberdeen Street and 224 -- 232 North Carpenter Street, which is within a district designated as a Chicago landmark. The plans for this Planned Development have been reviewed and approved by the Commission on Chicago Landmarks pursuant to the Chicago Landmarks Ordinance, Section 2-120-740. Any variation in the plans for this Planned Development may be subject to the approval of Commission on Chicago Landmarks.
17. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to the DX-5 Downtown Mixed-Use District.

[Existing Zoning Map; Existing Land-Use Map; Boundary and Subarea Map; Site/Landscape Plan; North, South, East and West Building Elevations; and Axonometric Diagrams referred to in these Plan of Development Statements printed on pages 3716 through 3729 of this *Journal*.]

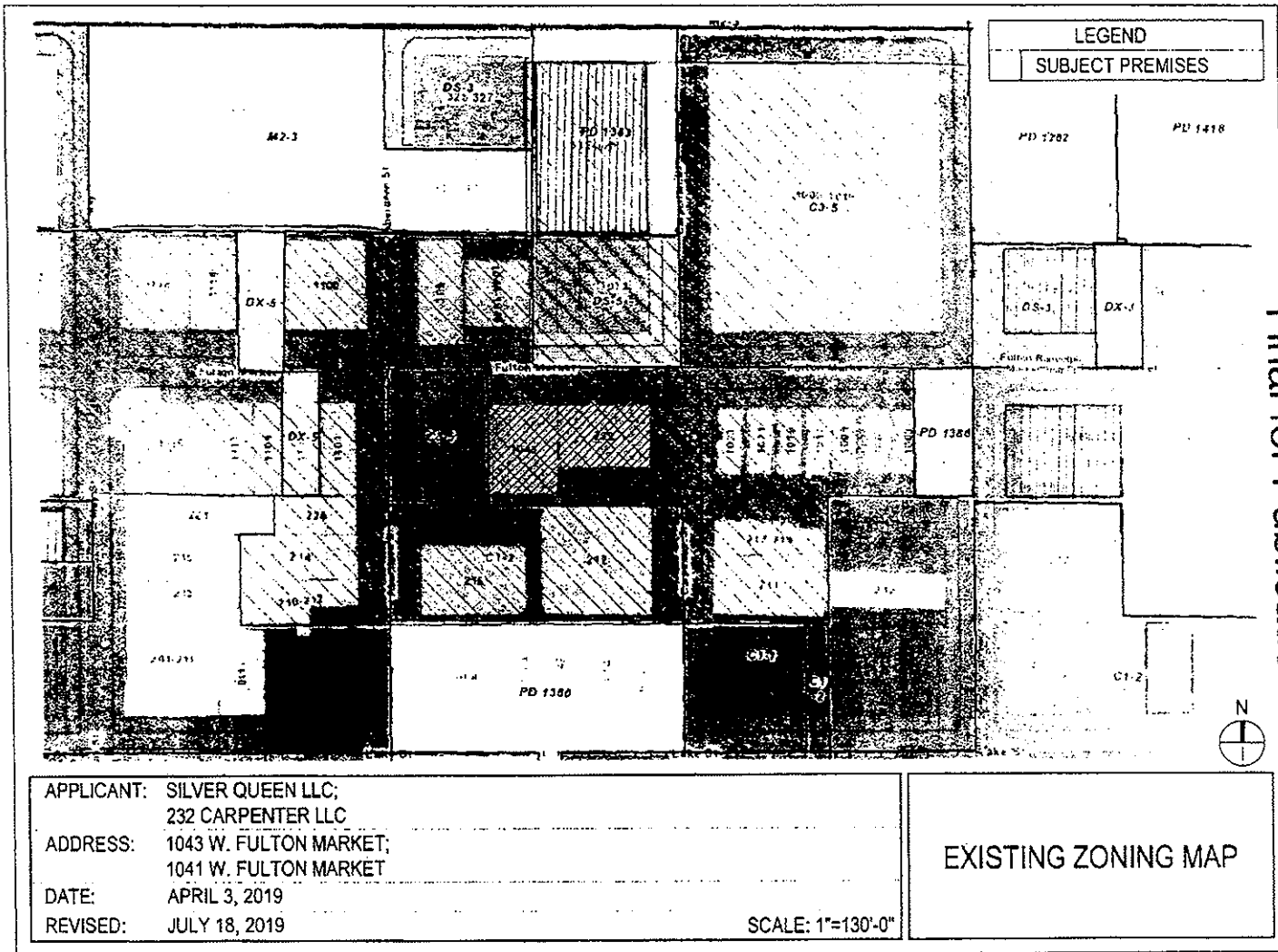
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential-Business Planned Development No. 1451.

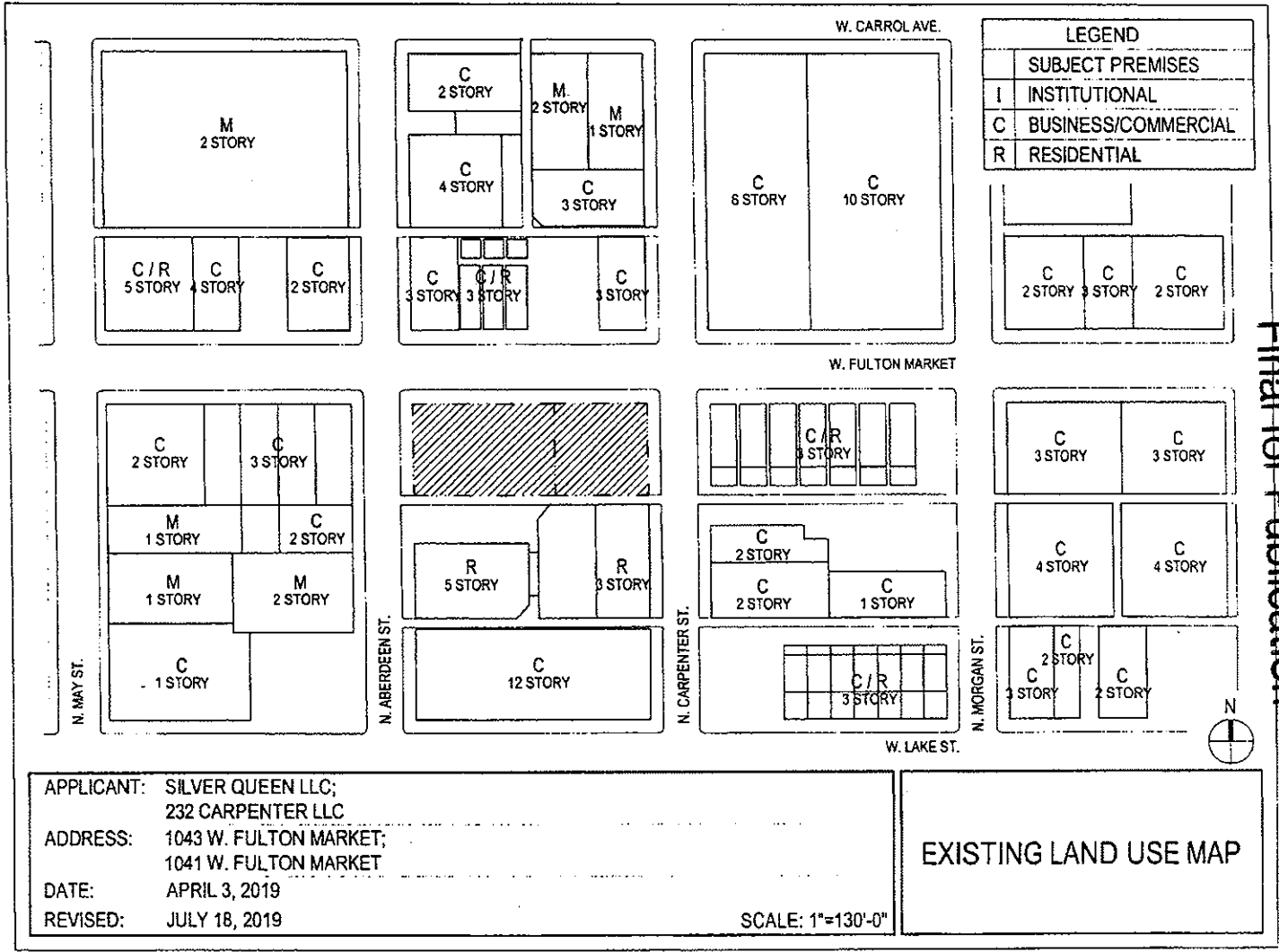
Bulk Regulations And Data Table.

Gross Site Area (square feet):	46,079
Subarea A:	26,721
Subarea B:	19,358
Net Site Area (square feet):	25,180
Subarea A:	15,108
Subarea B:	10,072
Base Floor Area Ratio:	5.00
Bonus Floor Area Ratio:	3.1

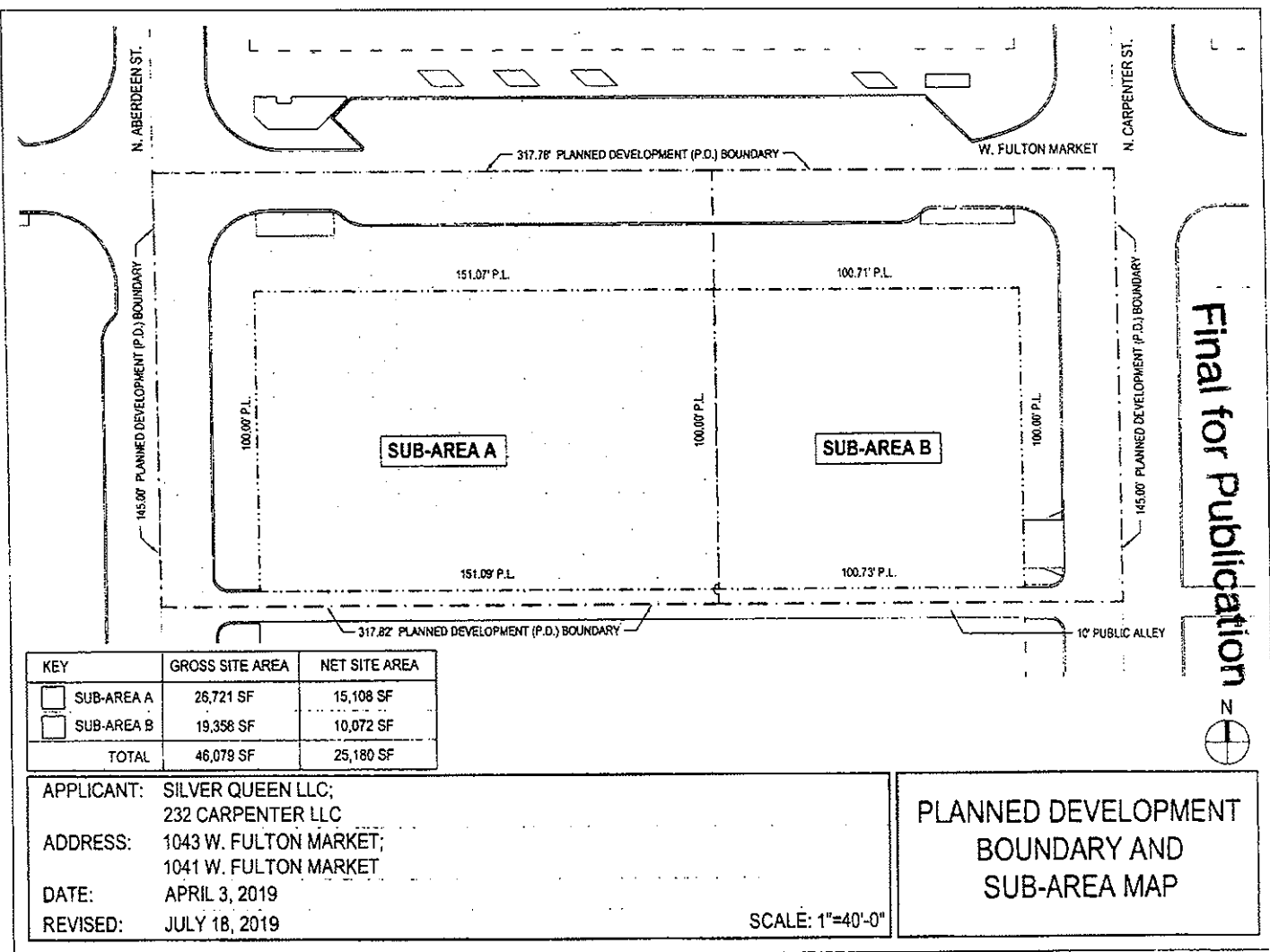
Maximum Floor Area Ratio:	
203,958 square feet	8.1
Subarea A: 151,584 square feet	10.03
Subarea B: 52,374 square feet	5.19
Minimum Accessory Off-Street Parking Spaces:	
Subarea A:	0
Subarea B:	15
Maximum Non-Accessory Off-Street Parking Spaces:	0
Minimum Bicycle Parking Spaces:	
Subarea A:	36
Subarea B:	20
Minimum Off-Street Loading Spaces:	
Subarea A:	1 (10 feet width by 25 feet length by 12 feet height)
Subarea B:	0
Maximum Building Height (feet):	
Subarea A:	147
Subarea B:	88
Minimum Setbacks:	Per Plans



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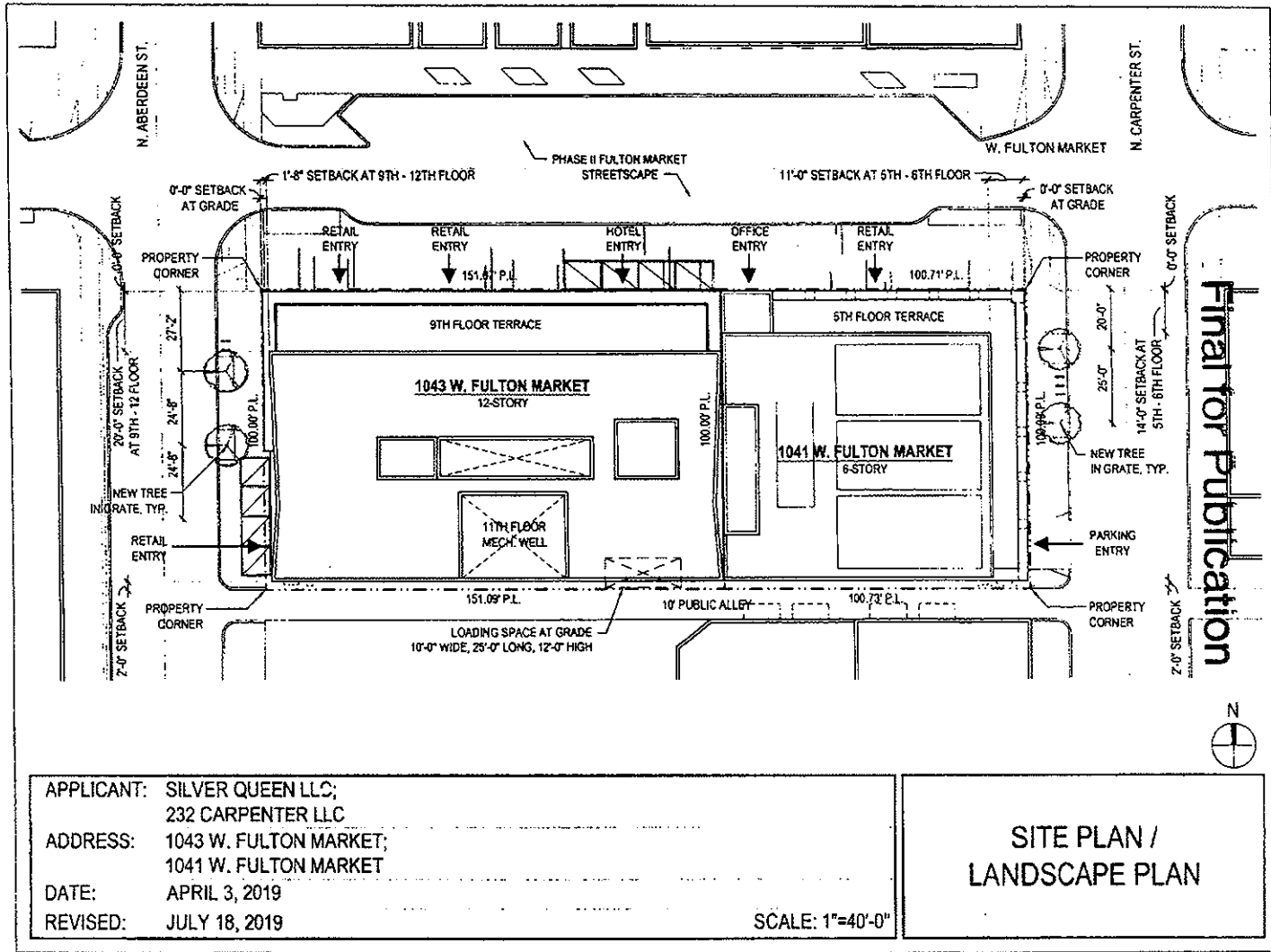


KEY	GROSS SITE AREA	NET SITE AREA
<input type="checkbox"/> SUB-AREA A	28,721 SF	15,108 SF
<input type="checkbox"/> SUB-AREA B	19,358 SF	10,072 SF
TOTAL	46,079 SF	25,180 SF

APPLICANT: SILVER QUEEN LLC;
 232 CARPENTER LLC
 ADDRESS: 1043 W. FULTON MARKET;
 1041 W. FULTON MARKET
 DATE: APRIL 3, 2019
 REVISED: JULY 18, 2019

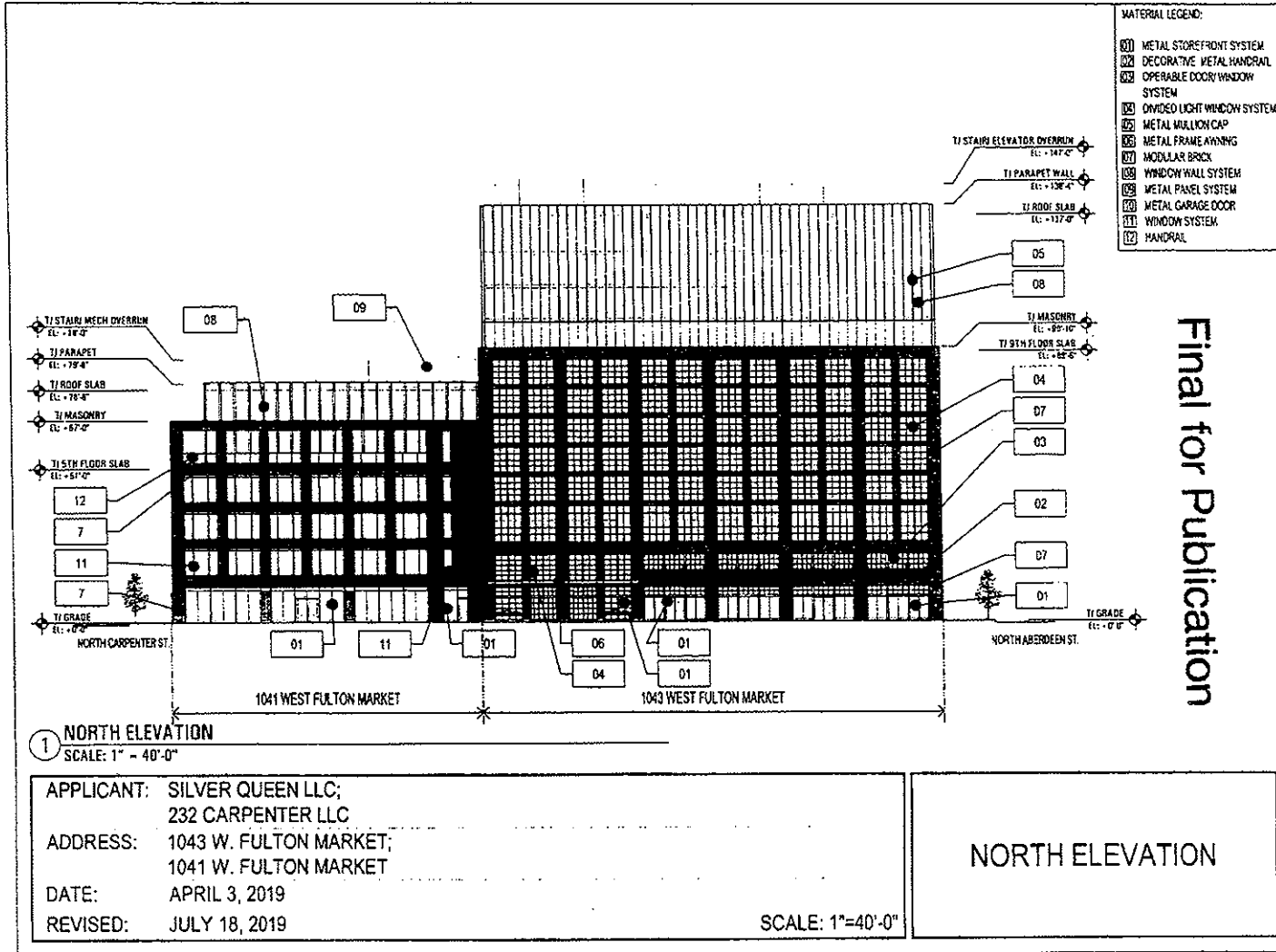
SCALE: 1"=40'-0"

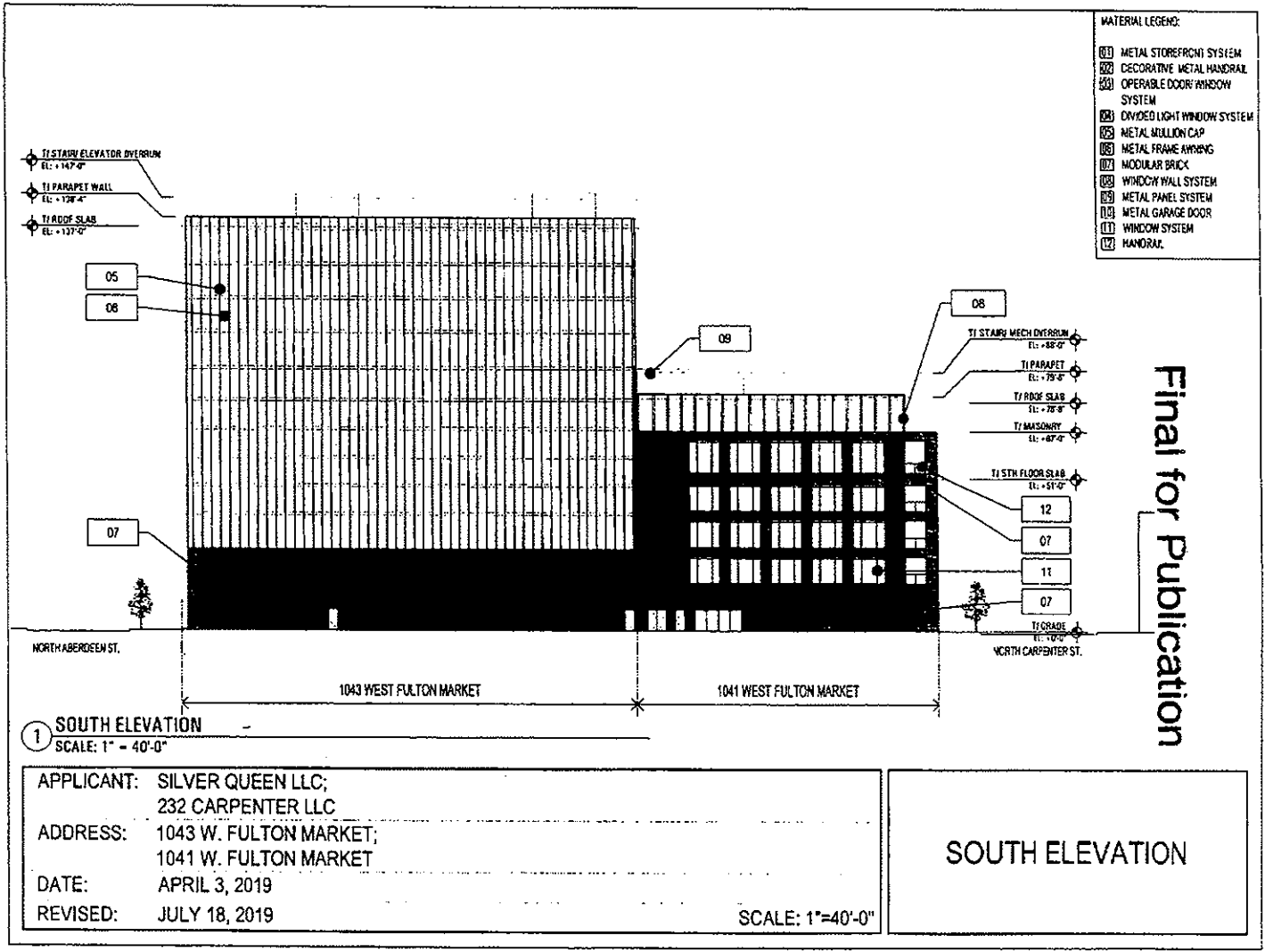
**PLANNED DEVELOPMENT
 BOUNDARY AND
 SUB-AREA MAP**



APPLICANT: SILVER QUEEN LLC;
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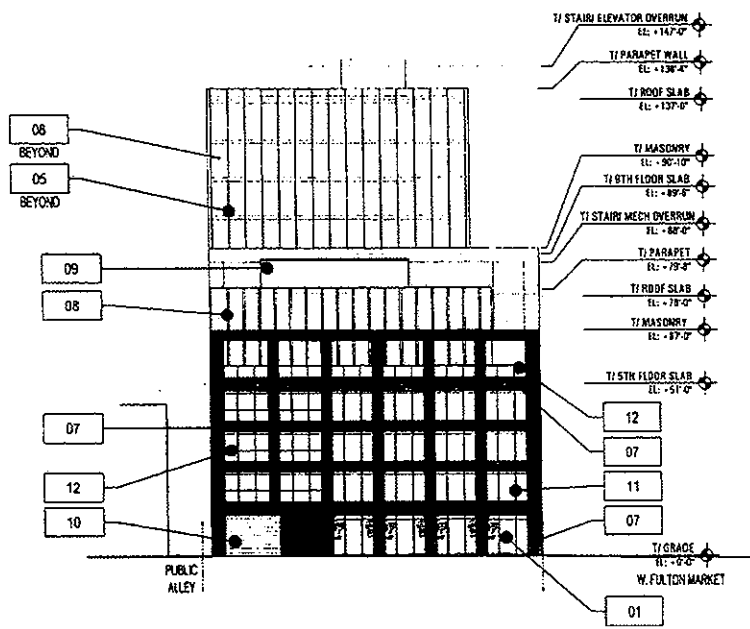
SITE PLAN /
 LANDSCAPE PLAN
 SCALE: 1"=40'-0"





MATERIAL LEGEND:

01	METAL STOREFRONT SYSTEM
02	DECORATIVE METAL HANDRAIL
03	OPERABLE DOOR/WINDOW SYSTEM
04	DIVIDED LIGHT WINDOW SYSTEM
05	METAL MULLION CAP
06	METAL FRAME AWNING
07	MODULAR BRICK
08	WINDOW WALL SYSTEM
09	METAL PANEL SYSTEM
10	METAL GARAGE DOOR
11	WINDOW SYSTEM
12	HANDRAIL



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1 EAST ELEVATION
SCALE: 1" = 40'-0"

APPLICANT: SILVER QUEEN LLC;
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ADDRESS: 1043 W. FULTON MARKET;
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DATE: APRIL 3, 2019

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SCALE: 1"=40'-0"

EAST ELEVATION

