

5/22/2024

REPORTS OF COMMITTEES

22374
12301

*Reclassification Of Area Shown On Map No. 3-F.
(As Amended)*

PD136,99

(Application No. 22374)

(Common Address: 303 W. Division St./1140 N. Wells St./202 W. Hill St.)

[SO2024-0008372]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Planned Development Number 136 symbols as shown on Map Number 3-F for the property located in the area generally bounded by:

West Division Street; a line 285.93 feet east of the CTA right-of-way; a line 95.20 feet south of and parallel to West Division Street, extended in a southeasterly direction to a point 95.37 feet south of and parallel to West Division Street; a line 209.92 feet west of and parallel to North Wells Street; West Division Street; North Wells Street; West Elm Street; a line 76 feet east of and parallel to North Wells Street; a line 68 feet south of and parallel to West Elm Street; a line 100 feet east of and parallel to North Wells Street; a line 218 feet south of and parallel to West Elm Street; a line 215.41 feet east of and parallel to North Wells Street, extended south for 115.95 feet to a radius of 71.87 feet; the alley next south of and parallel to West Elm Street; a line 393.89 feet south of and parallel to West Elm Street; North Wells Street; West Hill Street; and the CTA right-of-way,

to the designation of Planned Development Number 136, as amended, subject to the use and bulk regulations set forth in the Plan of Development attached hereto and made a part hereof.

SECTION 2. This ordinance takes effect after its passage and publication.

Plan of Development Statements referred to in this ordinance read as follows:

Planned Development No. 136, As Amended.

1. The area delineated herein as Planned Development Number 136, as amended ("Planned Development"), consists of approximately 370,789 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). The Planned Development includes two subareas -- Subarea A and Subarea B. It is the intent of this ordinance to amend Subarea A only. Subarea A is under the single-designated control and ownership of the Applicant, Onni Atrium Development Number 1 Limited Partnership.

2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the Property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of the improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

The Applicant acknowledges that the site traffic impact study completed by KLOA, Inc. on behalf of the Applicant identifies the need for certain traffic control improvements in the immediate vicinity. Accordingly, the Applicant agrees, subject to approval of CDOT, to fund the design and installation of left-turn arrows on the east and west approaches of West Division Street at North Wells Street; to fund the installation of countdown pedestrian signals at the intersections of West Division Street and North Wells Street; and West Division Street and North Orleans Street; and to fund the modification of pavement markings on West Division Street necessary to provide left-turn lanes at North Wells Street. This work must be completed prior to the completion of Phase I. Additionally, the Applicant agrees, subject to the approval of CDOT, to fund the design and installation of a new traffic signal at the intersection of North Orleans Street and West Hill Street. This work must be completed prior to the completion of Phase II.

Applicant agrees to update the traffic impact study prior to starting each subsequent phase and acknowledges that additional traffic control improvements may be identified by CDOT during the subsequent phases. Accordingly, subject to the approval of CDOT, Applicant agrees to fund the design and installation of traffic control improvements as identified by CDOT in the subsequent phases.

4. This plan of development consists of 19 Statements and a Bulk Regulations Table. Incorporated by reference herein is Planned Development Number 136, as amended, approved by the City Council on September 18, 2019 and all exhibits published in the *Journal of the Proceedings of the City Council of the City of Chicago* at pages 6327 -- 6353, including an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; Subarea Lot Lines; Site Plan; CTA Easement Area Map; Floor Plans for Phase 3/Subarea A4; Landscape Plan for Phase 3/Subarea A4; a Green Roof Plan for Phase 3/Subarea A4; Building Elevations (North, South, East and West) for Phase 3/Subarea A4; and Axonometric Sections and Enlarged Typical Details for Phase 3/Subarea 4 prepared by Hartshorne Plunkard Architecture and dated December 20, 2018. Also incorporated by reference herein are the Minor Change Approvals dated May 27, 2015, and July 20, 2017 and all exhibits thereto. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and

purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.

5. The following uses are permitted in the area delineated herein as Subarea A of Planned Development Number 136, as amended: multi-unit buildings with residential units on and above the ground floor; townhouses; daycare; eating and drinking establishments; office; personal service; retail sales; grocery stores; hotel; shared housing; medical service; animal services (excluding kenneling); accessory parking; non-accessory parking if located below-grade; financial services; public transit-related uses; accessory and related uses.

The following uses shall be permitted within Subarea B of Planned Development Number 136, as amended: residential dwelling units; community centers; daycare facilities; accessory church offices; accessory parking; and other accessory church-related facilities; and accessory uses.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 313,379 square feet for Subarea A and a base FAR of 5.0. The permitted FAR in Subarea B is 4.94 based upon a net site area of 57,410 square feet.

The Applicant acknowledges that the project has received a bonus FAR of 1.35 for Subarea A4, pursuant to Section 17-4-1000 of the Zoning Ordinance and based upon a net site area of 60,064 square feet in Subarea A4. In exchange for the bonus FAR, the Applicant is required to make a corresponding payment, pursuant to Sections 17-4-1003-B and C, prior to the issuance of the first building permit for any building in Subarea A4; provided, however, if Subarea A4 is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-4-1003-C.3.

The bonus payment will be split between three separate funds, as follows: 80 percent to the Neighborhoods Opportunity Fund, 10 percent to the Citywide Adopt-a-Landmark Fund and 10 percent to the Local Impact Fund. In lieu of paying the City directly, the department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

9. Upon review and determination, Part II review, pursuant to Section 17-13-0610, a Part II review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.

15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD: (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the Alderperson in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.
16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development Number 136, as amended 1992, to Planned Development Number 136 as amended July 25, 2012, for the construction of the Residential Project triggers the requirements of Section 2-45-110 of the Municipal Code ("The Affordable Housing Ordinance"). Any developer of a "residential housing project" within the meaning of the Affordable Housing Ordinance must: (i) develop affordable housing units as part of the residential housing project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). In accordance with these requirements, the Applicant has agreed to provide 10 percent affordable housing units in the Residential Project for households earning up to 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (the "Affordable Units"), or make

a cash payment to the Affordable Housing Opportunity Fund in the amount of \$100,000 per unit ("Cash Payment"). At the time of each Part II review for the Residential Project, Applicant shall update and resubmit an Affordable Housing Profile Form to the Department of Planning and Development for review and approval. If the Applicant subsequently reduces the number of dwelling units in the Residential Project, the Department of Planning and Development may adjust the requirements of this statement (i.e., number of Affordable Units and/or amount of Cash Payment) accordingly without amending this Planned Development. The terms of the Affordable Housing Agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the Affordable Housing Agreement will be recorded against the Property and will constitute a lien against each Affordable Unit. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of the Department of Planning and Development may enforce remedies for breach of the Affordable Housing Agreement and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development ordinance.

The Applicant acknowledges and agrees that this Planned Development is subject to that certain Affordable Housing Covenant and Agreement dated February 27, 2017, and recorded in the Office of the Cook County Recorder of Deeds as Document Number 1705822156; and by that certain Memorandum of Agreement Regarding Phase 2, dated October 23, 2017, and recorded in the Office of the Cook County Recorder of Deeds as Document Number 1729744033.

17. The development of Subarea B is located adjacent to a Chicago Landmark Building (the Sexton School). Accordingly, the owner of Subarea B shall provide a landscaped pedestrian walkway within the buffer zone between the landmark building and the apartment building as a means of increasing visual access to the west and north facades of the landmark building. The apartment building shall be set back from the southern boundary of Subarea B as depicted on the Subarea B Site Plan. The owner of Subarea B shall install and maintain an illuminated, paved pedestrian walkway no less than six (6) feet in width within this setback area. The pedestrian walkway shall not be closed off by any gate or other obstruction unless the owner of Subarea B determines that public safety requires otherwise; any such decision to restrict access for public safety reasons shall be subject to approval by the commander of the local district of the Chicago Police Department, with notice of any such decision provided to the Department of Planning and Development.
18. The Applicant acknowledges that the City of Chicago and the Chicago Transit Authority ("CTA") are studying the possibility of a future CTA station near the intersection of West Division Street and North Orleans Street in accordance with the "Central Area Action Plan" adopted by the Chicago Plan Commission on

August 20, 2009. The Applicant recognizes the value that convenient access to public transportation would offer the residents of this Planned Development and agrees to grant the CTA a permanent easement (the "Station Easement") in, on, over and under the area labeled "Future Transit Station" as generally depicted on the Site Plan and on the CTA Easement Areas exhibit (the "CTA Exhibit") for the purpose of constructing, operating and maintaining a rail station and related public transportation facilities. The Applicant must record the Station Easement prior to the issuance of any Part II approval for the Project. The transit station has not been fully designed as of the date of this Planned Development. Accordingly, prior to the issuance of Part II approval for the transit station, the CTA shall submit a site plan ("Transit Station Site Plan") to the Commissioner of the Department of Planning and Development (the "Commissioner") for approval. Review and approval of the Transit Station Site Plan by the Commissioner is intended to assure that specific development proposals substantially conform to this Planned Development and to assist the City in monitoring on-going development. The CTA shall share copies of the Transit Station Site Plan with the Applicant for informational purposes only. The department shall convene meetings between the CTA and the Applicant, if necessary and at the department's own discretion, to discuss the station plans prior to final site plan approval of the station. Following approval of the Transit Station Site Plan by the Commissioner, the plan and such supporting data and materials as the Commissioner had requested shall be kept on permanent file with the Commissioner and shall be deemed to be an integral part of this Planned Development. The approved Transit Station Site Plan may be changed or modified pursuant to the provisions of Statement 12 hereof. In the event of any inconsistency between the approved Transit Station Site Plan and the terms of this Planned Development in effect at the time of approval of such plan or of the modifications or changes thereto, the terms of this Planned Development shall govern. Applicant shall bear no costs associated with the proposed transit station.

The Applicant acknowledges and agrees that this Planned Development is subject to that certain grant of easements and release of easement dated November 8, 2013, and recorded in the Office of the Cook County Recorder of Deeds as Document Number 1401444043, by and between the Applicant and the Chicago Transit Authority ("CTA"), a municipal corporation. The grant of easement is a permanent, non-exclusive easement (the "Maintenance Easement") in, on, over, under, through and across the western portion of the Property to the extent necessary to create a buffer (clear zone) of at least 14 feet along, and parallel to, the eastern edge of the CTA elevated track structures for access to, and maintenance, repair, renovation and replacement of any CTA transit facilities now or hereafter located within the CTA's Brown Line right-of-way, and for safety reasons.

19. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to Planned Development Number 136, as amended September 18, 2019, and as modified administratively thereafter.

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Planned Development No. 136, As Amended.

Bulk Regulations And Data Table.

Total Gross Site Area:	453,189 square feet
Subarea A:	375,455 square feet
Subarea B:	77,734 square feet
Area of Public Right-of-Way (Total):	82,400 square feet
Total Net Site Area:	370,789 square feet
Subarea A (Total):	313,379 square feet
Subarea A1:	48,277 square feet
Subarea A2:	31,494 square feet
Subarea A3:	51,762 square feet
Subarea A4:	60,064 square feet
Subarea A5:	121,782 square feet
Subarea B:	57,410 square feet
Maximum Floor Area Ratio:	5.0
Subarea A:	5.0 (overall)
Subarea A4:	FAR Bonus of 1.35**
Subarea B:	4.94

Total Maximum Number of Dwelling Units:	1,844
Subarea A (Total):	1,500
Subarea A1:	405
Subarea A2:	0
Subarea A3:	428
Subarea A4:	456
Subarea A5:	211
Subarea B:	344
Maximum Number of Hotel Rooms (Subarea A):	60
Minimum Number of Off-Street Parking Spaces:	1,122
Subarea A (Total):	1,007
Subarea A1:	400
Subarea A2:	Not Applicable
Subarea A3:	413
Subarea A4:	194
Subarea A5:	0
Subarea B:	115
Minimum Number of Loading Berths:	6
Subarea A1:	1
Subarea A2:	Not Applicable
Subarea A3:	1

Subarea A4:	2
Subarea A5:	0
Subarea B:	2

Maximum Building Height:

Subarea A1:	341 feet, 8 inches
Subarea A2:	Not Applicable
Subarea A3:	430 feet, 0 inches
Subarea A4:	447 feet, 2 inches
Subarea A5:	As built
Subarea B:	As built

Bicycle Storage Spaces:

Subarea A1:	88
Subarea A2:	Not Applicable
Subarea A3:	62
Subarea A4:	185
Subarea A5:	0
Subarea B:	As built

Minimum Setbacks: Per site plan

Notes:

* Residential Units, parking spaces and FAR may be allocated among the five subareas in Subarea A through the Minor Change process in accord with Section 17-13-0611 of the Chicago Zoning Ordinance.

** The FAR Bonus in Subarea A4 is based upon a net site area of 60,064 square feet. The total floor area bonus is 81,086 square feet.

Reclassification Of Area Shown On Map No. 4-G.
(Application No. 22424T1)
(Common Address: 1145 W. 17th St.)

[O2024-0008974]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 4-G in the area bounded by:

West 17th Street; a line 331.0 feet east of and parallel to South Racine Avenue; the alley next south of and parallel to West 17th Street; and a line 307.0 feet east of and parallel to South Racine Avenue,

to those of an RM4.5 Residential Multi-Unit District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

[Site Plan; Proposed Basement, First, Second, Third and
Fourth Floor Plans; and Front, East, West, Rear
Garage and Rear Yard Building Elevations
attached to this ordinance printed on
pages 12314 through 12319
of this *Journal*.]

Type 1 Narrative Rezoning Analysis attached to this ordinance reads as follows:

FINAL FOR PUBLICATION

NARRATIVE AND PLANS
TYPE I Rezoning Attachment
1145 West 17th Street
From RT-4 to RM-4.5

The Property

The subject property is a substandard sized lot (24 x 124) improved with a dilapidated and vacant two-story residential building with two dwelling units and two surface parking spaces.

The property is located in the Multi-Unit Preservation (Pilsen) District. The district requires new construction on the blockface to include a minimum of three dwelling units.

The property also is situated in a Transit Served Location to the Halsted Street METRA Train and is approximately 2,350.0' from the entrance.

The Project

CAROLINA & EVAN'S DREAM HOUSE, LLC (the "Applicant") seeks to rezone the property to reduce the Minimum Lot Area per Unit and allow for the construction of a new four-story residential building with three dwelling units and a detached two car garage. The proposed zoning height of the building will be 44'-11".

In addition, the subject rezoning seeks Type I administrative relief pursuant to section 17-13-0303-D and 17-13-1003-I as follows: 1) to reduce the west side yard setback from 2.0' to 1.0' (east side yard setback to be 3.0') and 2) and to reduce the combined side yard setback from 4.8' to 4.0'.

To allow the proposed project, the Applicant seeks a change in zoning classification for the subject property from an RT-4, Residential Two-Flat, Townhouse and Multi-Unit District to an RM-4.5, Residential Multi-Unit District.

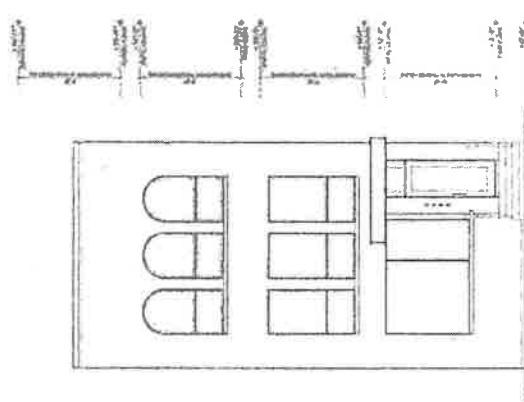
The following are the relevant zoning parameters for the proposed project:

Lot Area:	2,976 square feet
FAR:	1.70
Floor Area:	5,056.86 square feet
Residential Dwelling Units:	3
MLA Density:	992.0 square feet
Zoning Height:	44'-11"
Automobile Parking:	2*
Rear Yard Open Space:	317.0 square feet
Setbacks Proposed:	Front (17 th Street): 8.0' East: 3.0' West: 1.0' South (rear): 40.0'

A set of plans is attached.

*The property is located in a Transit Served Location to the Halsted Street METRA Train entrance and meets the minimum 50% required parking as of right.

FINAL FOR PUBLICATION

<p>Project No. 12316 Date: 5/22/2024 Scale: 1/8" = 1'-0"</p>	<p>1145 WEST 17TH STREET CHICAGO, ILLINOIS</p>	<p>MICHAEL J. LEARY ARCHITECT 345 North LaSalle Street Chicago, Illinois 60610 312.467.4477</p>	<p>Proposed by: Applicant Name: Mr. Submission File Number: 12316</p>	<p>A2.1 <small>© Copyright Michael J. Leary, Architect</small></p>
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;">  <p>FRONT ELEVATION</p> </div> <div style="text-align: right;"> <p>PROPOSED ELEVATIONS <small>1145 WEST 17TH STREET CHICAGO, ILLINOIS MICHAEL J. LEARY ARCHITECT</small></p> </div> </div>				

FINAL FOR PUBLICATION

EAST ELEVATION

PROPOSED ELEVATIONS
BY ARCHITECT
 MICHAEL J. LEAHY
 ARCHITECT
 311 North LaSalle Street
 Chicago, Illinois 60602
 TEL: 312.467.1107

<p style="font-size: small;">Project No. 17-1145 Date: 05/22/2024 Scale: AS SHOWN</p>	<p>1145 WEST 17TH STREET CHICAGO, ILLINOIS</p> <p>MICHAEL J. LEAHY ARCHITECT 311 North LaSalle Street Chicago, Illinois 60602 TEL: 312.467.1107</p> <p style="font-size: x-small;">© Copyright Michael J. Leahy, 2024</p>
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FINAL FOR PUBLICATION

<p>DATE: 05-20-2024 TIME: 10:00 AM DRAWN BY: [Signature]</p>		<p>1145 WEST 17TH STREET CHICAGO, ILLINOIS</p>	<p>MICHAEL J. LEBORE ARCHITECT 1836 3RD 312 NORTH LA Salle Street CHICAGO, ILLINOIS 60610 312.467.9373</p>	<p>The good of the City is paramount. I will not compromise on this. MICHAEL J. LEBORE, ARCHITECT</p> <p>A2.3</p> <p>© Copyright Michael J. LeBore Architects</p>
		<p>WEST ELEVATION</p>	<p>PROPOSED ELEVATIONS Scale: 1/8" = 1'-0" 5/20/24</p>	

FINAL FOR PUBLICATION

<p>Project Name: 1145 West 17th Street Date: 5/22/2024 Scale: 1/4" = 1'-0"</p>		<p>1145 WEST 17TH STREET CHICAGO, ILLINOIS</p>	<p>MICHAEL J. LEARY ARCHITECT 1515 North LaSalle Street Chicago, Illinois 60610 312.467.1177</p>	<p>Project No.: Prepared For: Date: A2.4</p>
<p>REAR GARAGE ELEVATION</p>				
<p>REAR YARD ELEVATION</p>				
<p>PROPOSED ELEVATIONS SCALE: 1/4" = 1'-0"</p>				

20118

9/18/2019

REPORTS OF COMMITTEES

6315

~~Reclassification Of Area Shown On Map No. 1-H.
(Application No. 20074)
(Common Address: 2337 -- 2345 W. Lake St.)~~

[O2019-5521]

~~Be It Ordained by the City Council of the City of Chicago:~~

~~SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the C1-2 Neighborhood Commercial District symbols as shown on Map Number 1-H in the area bounded by:~~

~~West Lake Street; a line 233.41 feet east of and parallel to North Western Avenue; the public alley next south of and parallel to West Lake Street; and a line 130.50 feet east of and parallel to North Western Avenue,~~

~~to those of a C2-2 Motor Vehicle-Related Commercial District.~~

~~SECTION 2. This ordinance takes effect after its passage and due publication.~~

Reclassification Of Area Shown On Map No. 3-F.
(As Amended)
(Application No. 20118)

PD136,99

(Common Address: 303 W. Division St./1140 N. Wells St./202 W. Hill St.)

[SO2019-5519]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Planned Development Number 136 symbols in Subarea A as shown on Map Number 3-F for the property located in the area generally bounded by:

West Division Street; a line 285.93 feet east of the CTA right-of-way; a line 95.20 feet south of and parallel to West Division Street extended in a southeasterly direction to a point 95.37 feet south of and parallel to West Division Street; a line 209.92 feet west of and parallel to North Wells Street; West Division Street; North Wells Street; West Hill Street; and the CTA right-of-way,

to the designation of Planned Development Number 136, as amended, subject to the use and bulk regulations set forth in the Plan of Development attached hereto and made a part hereof.

SECTION 2. This ordinance takes effect after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Planned Development No. 136, As Amended.

Planned Development Statements.

1. The area delineated herein as Planned Development Number 136, as amended ("Planned Development") consists of approximately 370,789 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). The Planned Development includes two subareas -- Subarea A and Subarea B. It is the intent of this ordinance to amend Subarea A only. Subarea A is under the single-designated control of the Applicant, Onni Atrium Apartments Limited Partnership.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the rights-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide

improvements and restoration of all public way adjacent to the property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II Review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of the improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

The Applicant acknowledges that the site traffic impact study completed by KLOA, Inc. on behalf of the Applicant identifies the need for certain traffic control improvements in the immediate vicinity. Accordingly, the Applicant agrees, subject to approval of CDOT, to fund the design and installation of left-turn arrows on the east and west approaches of West Division Street at North Wells Street; to fund the installation of countdown pedestrian signals at the intersections of Division Street and Wells Street; and Division Street and Orleans Street; and to fund the modification of pavement markings on Division Street necessary to provide left-turn lanes at Wells Street. This work must be completed prior to the completion of Phase I. Additionally, the Applicant agrees, subject to the approval of CDOT, to fund the design and installation of a new traffic signal at the intersection of North Orleans Street and West Hill Street. This work must be completed prior to the completion of Phase II.

Applicant agrees to update the traffic impact study prior to starting each subsequent phase and acknowledges that additional traffic control improvements may be identified by CDOT during the subsequent phases. Accordingly, subject to the

approval of CDOT, Applicant agrees to fund the design and installation of traffic control improvements as identified by CDOT in the subsequent phases.

4. This plan of development consists of 19 Statements; a Bulk Regulations Table; and the following exhibits published in the *City Council Journal of the Proceedings* dated April 10, 2019, at pages 100825 -- 100851 and incorporated herein by reference: Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; Site Plan; a Subarea A Map; CTA Easement Area Map; Floor Plans for Phase 3/Subarea A4; Landscape Plan for Phase 3/Subarea A4; a Green Roof Plan for Phase 3/Subarea A4; Building Elevations (North, South, East and West) for Phase 3/Subarea A4, prepared by Hartshorne Plunkard Architecture and dated December 20, 2018; and copies of Minor Change Approvals dated May 27, 2015 and July 20, 2017. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.
5. The following uses are permitted in the area delineated herein as Subarea A of Planned Development 136, as amended: multi-unit buildings with residential units on and above the ground floor; townhouses; day care; eating and drinking establishments; office; personal service; retail sales; grocery stores; hotel; shared housing; accessory parking; non-accessory parking if located below-grade; financial services; public transit-related uses; accessory and related uses.

The following uses shall be permitted within Subarea B of Planned Development 136, as amended: residential dwelling units; community centers; daycare facilities; accessory church offices; accessory parking; and other accessory church-related facilities; and accessory uses.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations and Data Table has

been determined using a net site area of 313,379 square feet for Subarea A and a base FAR of 5.0. The permitted FAR in Subarea B is 4.94 based upon a net site area of 57,410 square feet.

The Applicant acknowledges that the project has received a bonus FAR of 1.35 for Subarea A4, pursuant to Section 17-4-1000 of the Zoning Ordinance and based upon a net site area of 60,064 square feet in Subarea A4. In exchange for the bonus FAR, the Applicant is required to make a corresponding payment, pursuant to Sections 17-4-1003-B and -C, prior to the issuance of the first building permit for any building in Subarea A4; provided, however, if Subarea A4 is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-41003-C.3.

The bonus payment will be split between three separate funds, as follows: 80 percent to the Neighborhoods Opportunity Fund, 10 percent to the Citywide Adopt-a-Landmark Fund and 10 percent to the Local Impact Fund. In lieu of paying the City directly, the Department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or, (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

9. Upon review and determination, Part II Review, pursuant to Section 17-13-0610, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II Approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by the Zoning Administrator upon the application for such a modification by the

Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and City residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and *(ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II Permit Review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof;

* Editor's Note: Numbering sequence error; (i) missing in original document.

(c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and City resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development Number 136, as amended 1992, to Planned Development Number 136 as amended July 25, 2012, for the construction of the Residential Project triggers the requirements of Section 2-45-110 of the Municipal Code ("The Affordable Housing Ordinance"). Any developer of a "residential housing project" within the meaning of the Affordable Housing Ordinance must (i) develop affordable housing units as part of the residential housing project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). In accordance with these requirements, the Applicant has agreed to provide 10 percent affordable housing units in the Residential Project for households earning up to 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (the "Affordable Units"), or make a cash payment to the Affordable Housing Opportunity Fund in the amount of \$100,000 per unit ("Cash Payment"). At the time of each Part II Review for the Residential Project, Applicant shall update and resubmit an Affordable Housing Profile Form to the Department of Planning and Development for review and approval. If the Applicant subsequently reduces the number of dwelling units in the Residential Project, the Department of Planning and Development may adjust the requirements of this statement (i.e., number of Affordable Units and/or amount of Cash Payment) accordingly without amending this Planned Development. The terms of the Affordable Housing Agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the Affordable Housing Agreement will be recorded against the Property and will constitute a lien against each Affordable Unit.

The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of the Department of Planning and Development may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the planned development ordinance.

The Applicant acknowledges and agrees that this Planned Development is subject to that certain Affordable Housing Covenant and Agreement dated February 27, 2017, and recorded in the Office of the Cook County Recorder of Deeds as Document Number 1705822156; and by that certain Memorandum of Agreement Regarding Phase 2, dated October 23, 2017, and recorded in the Office of the Cook County Recorder of Deeds as Document Number 1729744033.

17. The development of Subarea B is located adjacent to a Chicago Landmark Building (the Sexton School). Accordingly, the owner of Subarea B shall provide a landscaped pedestrian walkway within the buffer zone between the landmark building and the apartment building as a means of increasing visual access to the west and north facades of the landmark building. The apartment building shall be set back from the southern boundary of Subarea B as depicted on the Subarea B Site Plan. The owner of Subarea B shall install and maintain an illuminated, paved pedestrian walkway no less than six (6) feet in width within this setback area. The pedestrian walkway shall not be closed off by any gate or other obstruction unless the owner of Subarea B determines that public safety requires otherwise; any such decision to restrict access for public safety reasons shall be subject to approval by the commander of the local district of the Chicago Police Department, with notice of any such decision provided to the Department of Planning and Development.
18. The Applicant acknowledges that the City of Chicago and the Chicago Transit Authority ("CTA") are studying the possibility of a future CTA station near the intersection of West Division Street and North Orleans Street in accordance with the "Central Area Action Plan" adopted by the Chicago Plan Commission on August 20, 2009. The Applicant recognizes the value that convenient access to public transportation would offer the residents of this Planned Development and agrees to grant the CTA a permanent easement (the "Station Easement") in, on, over and under the area labeled "Future Transit Station" as generally depicted on the Site Plan and on the CTA Easement Areas exhibit (the "CTA Exhibit") for the purpose of constructing, operating and maintaining a rail station and related public transportation facilities. The Applicant must record the Station Easement prior to the issuance of any Part II Approval for the Project. The transit station has not been fully designed as of the date of this Planned Development. Accordingly, prior to the issuance of Part II Approval for the transit station, the CTA shall submit a site plan ("Transit Station Site Plan") to the Commissioner of the Department of Planning and Development (the "Commissioner") for approval. Review and approval of the Transit Station Site Plan by the Commissioner is intended to assure that specific development proposals substantially conform to this Planned Development and to assist the City in monitoring on-going development. The CTA shall share copies of the Transit Station Site Plan with the Applicant for informational purposes only. The Department shall convene meetings between the CTA and the Applicant, if necessary and at the Department's own discretion, to discuss the station plans prior to final site plan approval of the station. Following approval of the Transit Station Site Plan by the Commissioner, the plan and such supporting data and materials as the

Commissioner had requested shall be kept on permanent file with the Commissioner and shall be deemed to be an integral part of this Planned Development. The approved Transit Station Site Plan may be changed or modified pursuant to the provisions of Statement 12 hereof. In the event of any inconsistency between the approved Transit Station Site Plan and the terms of this Planned Development in effect at the time of approval of such plan or of the modifications or changes thereto, the terms of this Planned Development shall govern. Applicant shall bear no costs associated with the proposed transit station.

The Applicant acknowledges and agrees that this Planned Development is subject to that certain Grant of Easements and Release of Easement dated November 8, 2013, and recorded in the Office of the Cook County Recorder of Deeds as Document Number 1401444043, by and between the Applicant and the Chicago Transit Authority ("CTA"), a municipal corporation. The grant of easement is a permanent, non-exclusive easement (the "Maintenance Easement") in, on, over, under, through and across the western portion of the Property to the extent necessary to create a buffer (clear zone) of at least 14 feet along, and parallel to, the eastern edge of the CTA elevated track structures for access to, and maintenance, repair, renovation and replacement of any CTA transit facilities now or hereafter located within the CTA's Brown Line right-of-way, and for safety reasons.

19. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to Planned Development Number 136, as amended April 10, 2019, and as modified administratively thereafter.

[Zoning Map; Land-Use Map; Boundary/Property Line Map; Subarea Lot Lines; Site Plan; CTA Easement Areas (Site Plan); Overall Landscape Plan; Landscape Plan; Plant List; Shade, Evergreen and Ornamental Trees; Shade Tree in Tree Grate; Green Roof Plan -- Phase III; Parking Plan -- Phase III; First, Fourth, Fifth and Sixth Floor Plans -- Phase III; North, South, East and West Building Elevations; Enlarged Typical Bay, Office and Retail Entry -- Phase III; and Enlarged Typical Bay, Window Wall and Terrace -- Phase III referred to in these Plan of Development Statements printed on pages 6327 through 6353 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Planned Development No. 136, As Amended.**Bulk Regulations And Data Table.*

Total Gross Site Area:	453,189 square feet
Subarea A:	375,455 square feet
Subarea B:	77.734 square feet
Area of Public Right-of-Way (Total):	82,400 square feet
Total Net Site Area:	370,789 square feet
Subarea A (Total):	313,379 square feet
Subarea A1:	48,277 square feet
Subarea A2:	31,494 square feet
Subarea A3:	51,762 square feet
Subarea A4:	60,064 square feet
Subarea A5:	121,782 square feet
Subarea B:	57,410 square feet
Maximum Floor Area Ratio:	5.0
Subarea A:	5.0 (overall)
Subarea A4:	FAR Bonus of 1.35**
Subarea B:	4.94
Total Maximum Number of Dwelling Units:	1,844
Subarea A (Total):	1,500
Subarea A1:	405
Subarea A2:	0

Subarea A3:	428
Subarea A4:	456
Subarea A5:	211
Subarea B:	344
Maximum Number of Hotel Rooms (Subarea A):	60
Minimum Number of Off-Street Parking Spaces:	1,122
Subarea A (Total):	1,007
Subarea A1:	400
Subarea A2:	Not Applicable
Subarea A3:	413
Subarea A4:	194
Subarea A5:	0
Subarea B:	115
Minimum Number of Loading Berths:	6
Subarea A1:	1
Subarea A2:	Not Applicable
Subarea A3:	1
Subarea A4:	2
Subarea A5:	0
Subarea B:	2

Maximum Building Height:

Subarea A1:	341 feet, 8 inches
Subarea A2:	Not Applicable
Subarea A3:	430 feet, 0 inches
Subarea A4:	447 feet, 2 inches
Subarea A5:	As built
Subarea B:	As built

Bicycle Storage Spaces:

Subarea A1:	88
Subarea A2:	Not Applicable
Subarea A3:	62
Subarea A4:	185
Subarea A5:	0
Subarea B:	As built

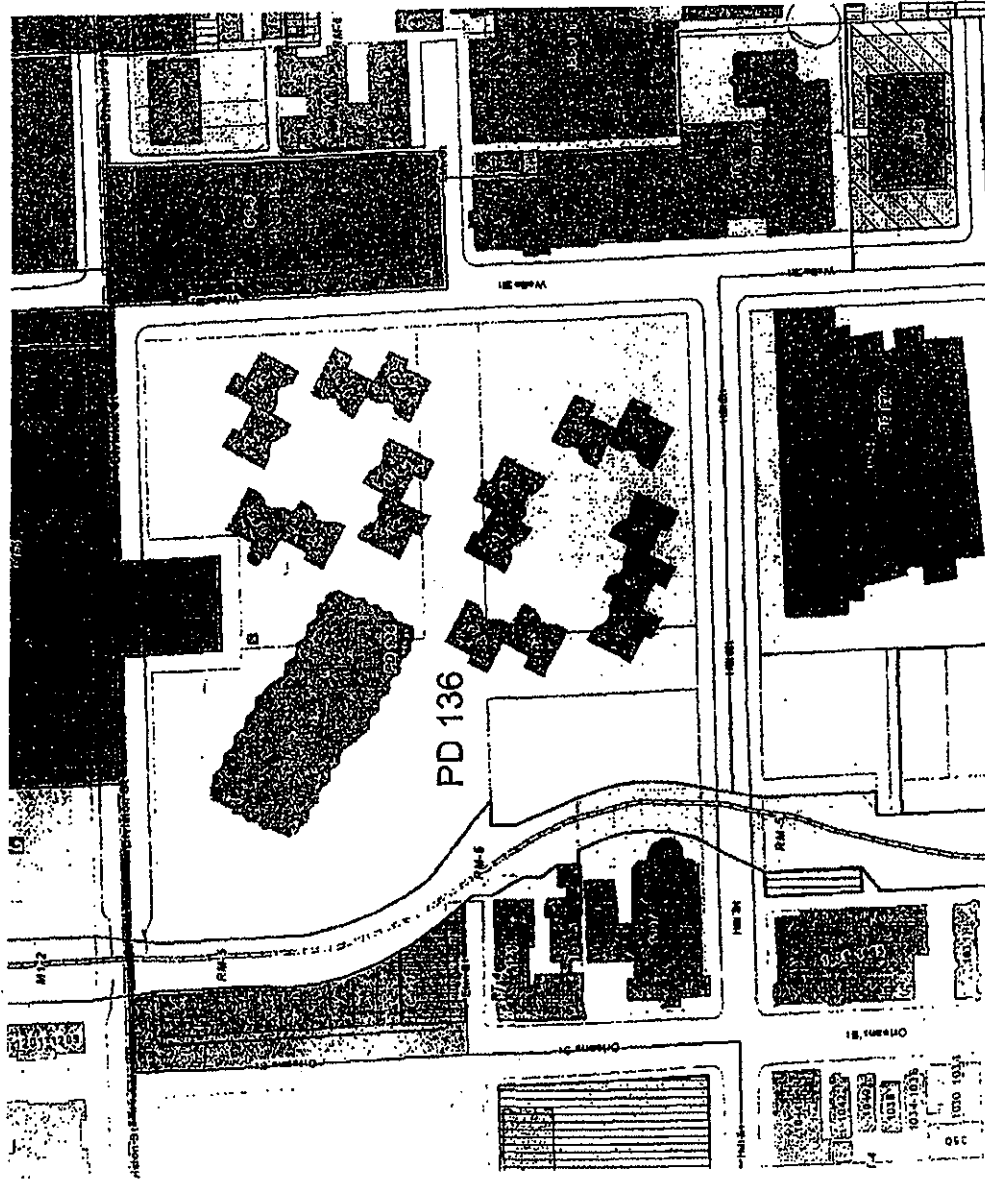
Minimum Setbacks: Per Site Plan

Notes:

* Residential Units, parking spaces and FAR may be allocated among the five subareas in Subarea A through the Minor Change process in accord with Section 17-13-0611 of the Chicago Zoning Ordinance.

** The FAR Bonus in Subarea A4 is based upon a Net Site Area of 60,064 square feet. The total floor area bonus is 81,086 square feet.

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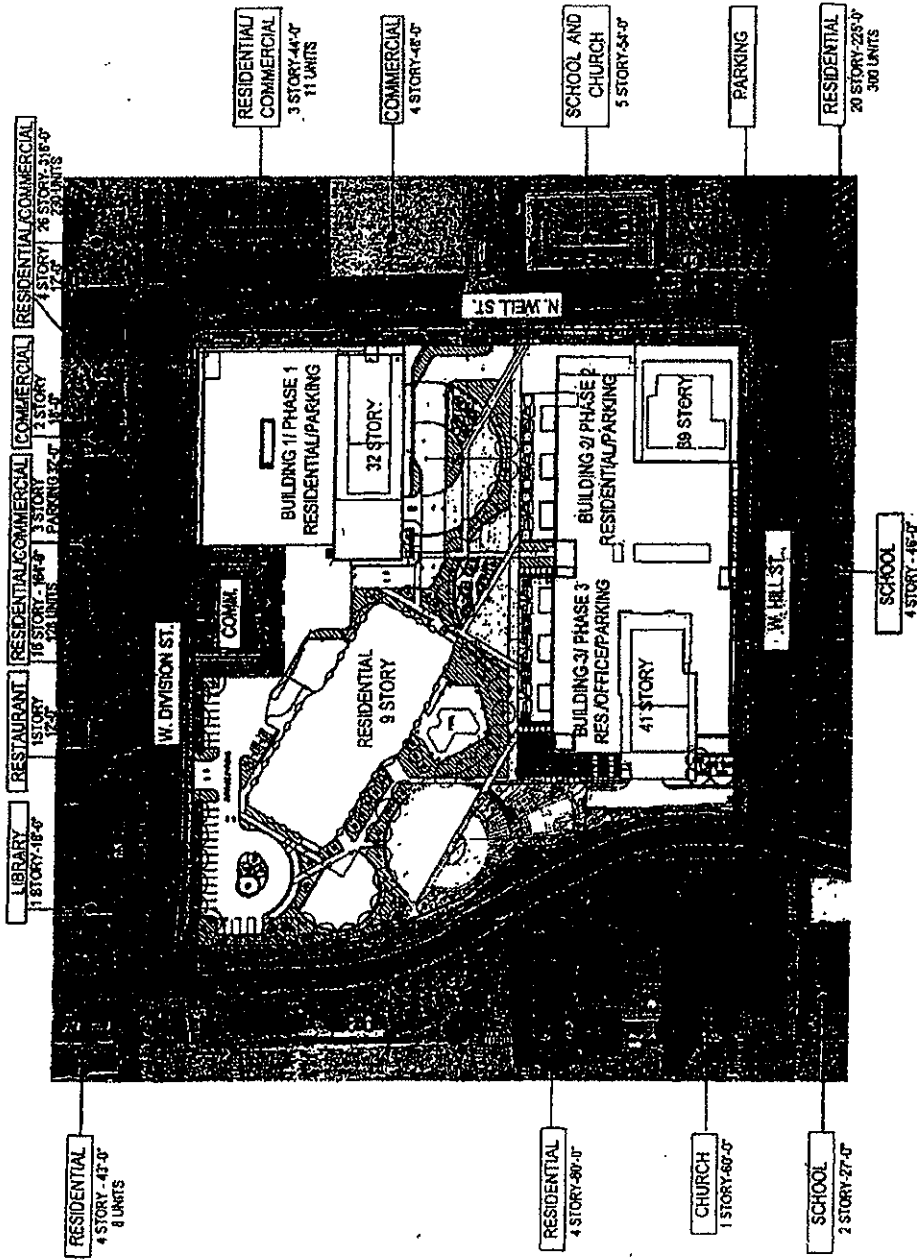
ZONING MAP

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP

ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.

INTRODUCED: 09/20/18 | PLAN COMMISSION: 12/20/18 | SCALE: (NTS)

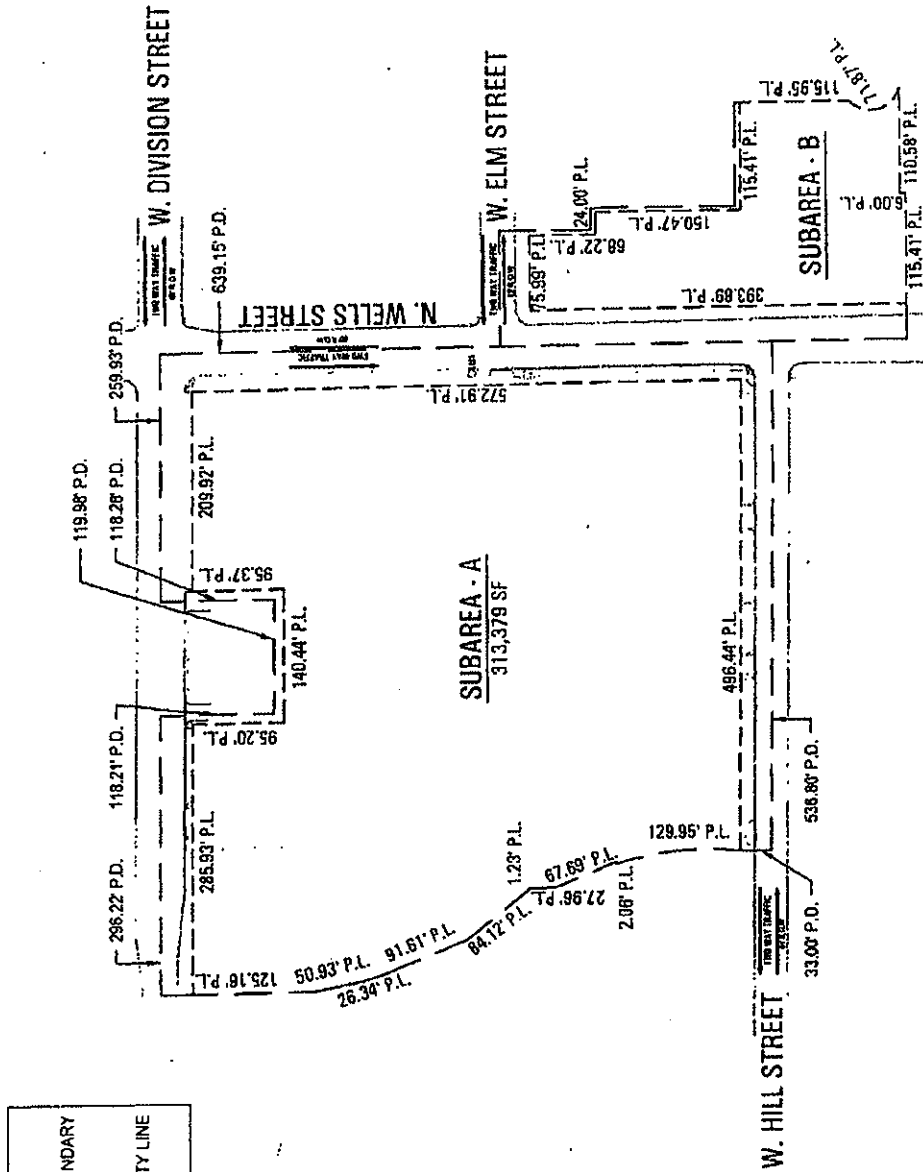
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LAND USE MAP

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP
 ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.
 INTRODUCED: 09/20/18 PLAN COMMISSION: 12/20/18 SCALE: N.T.S.


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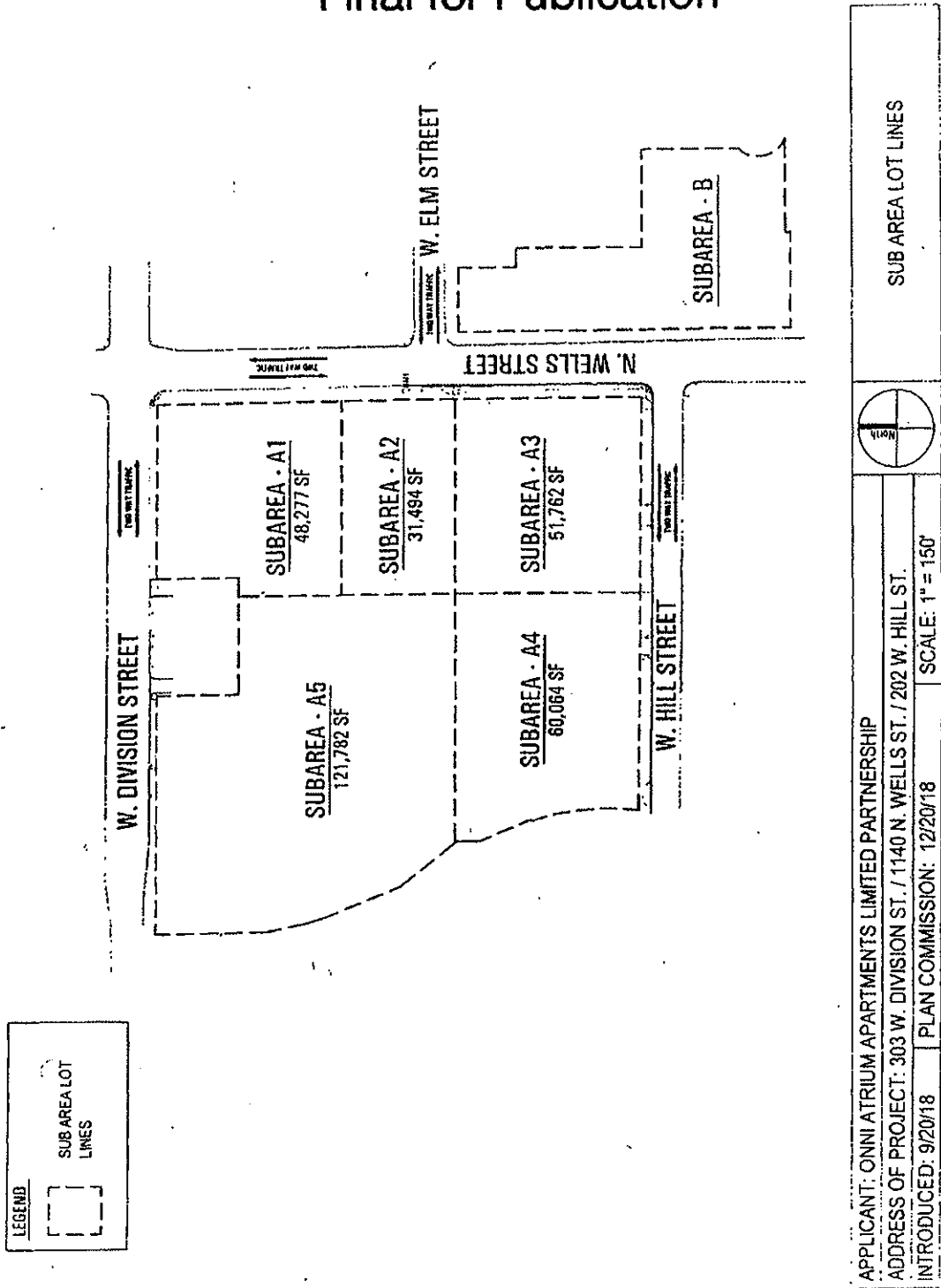
LEGEND

P.D. = P.D. BOUNDARY

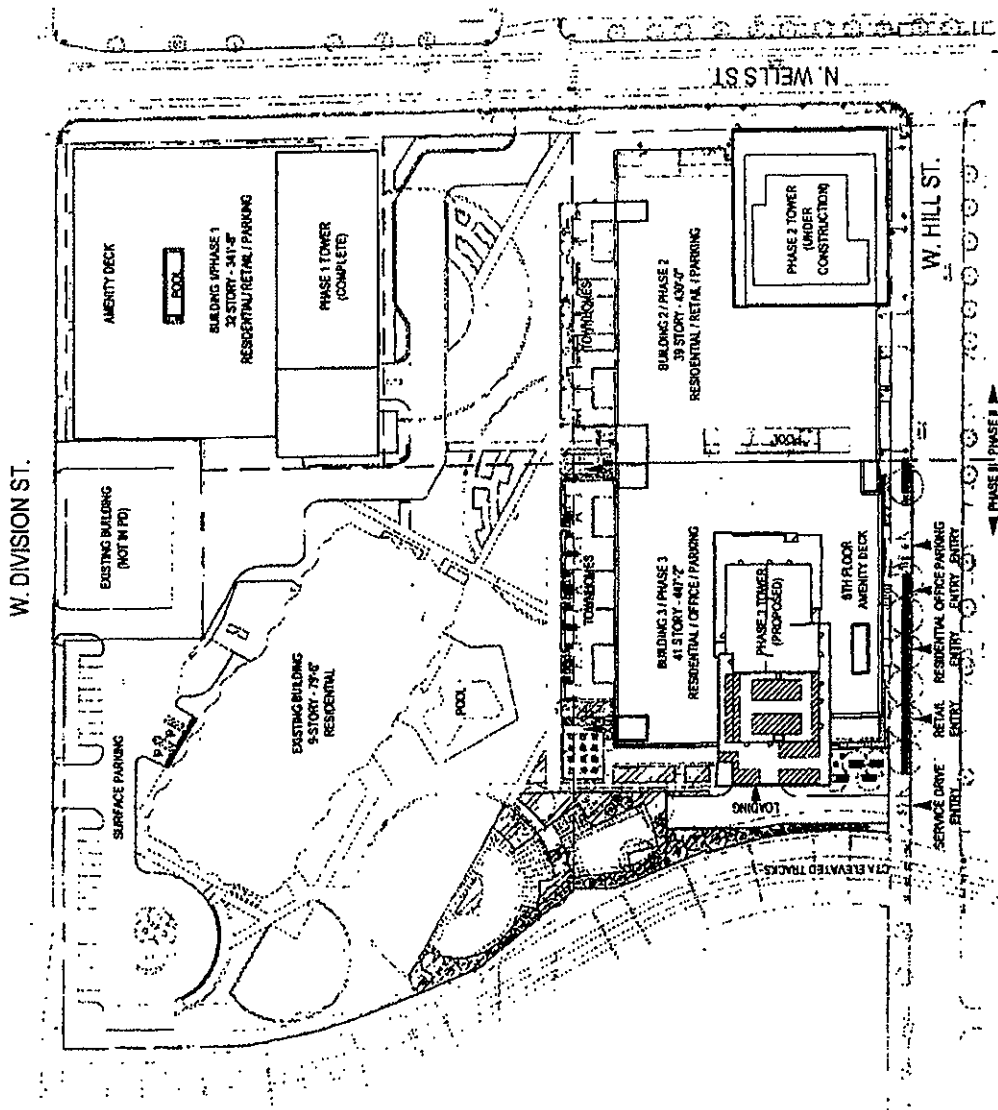
P.L. = PROPERTY LINE

		P.D. BOUNDARY / PROPERTY LINE
APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS OF PROJECT: 303 W. DIVISION ST. / 1140 N. WELLS ST. / 202 W. HILL ST. INTRODUCED: 9/20/18 PLAN COMMISSION: 12/20/18 SCALE: 1" = 150'		

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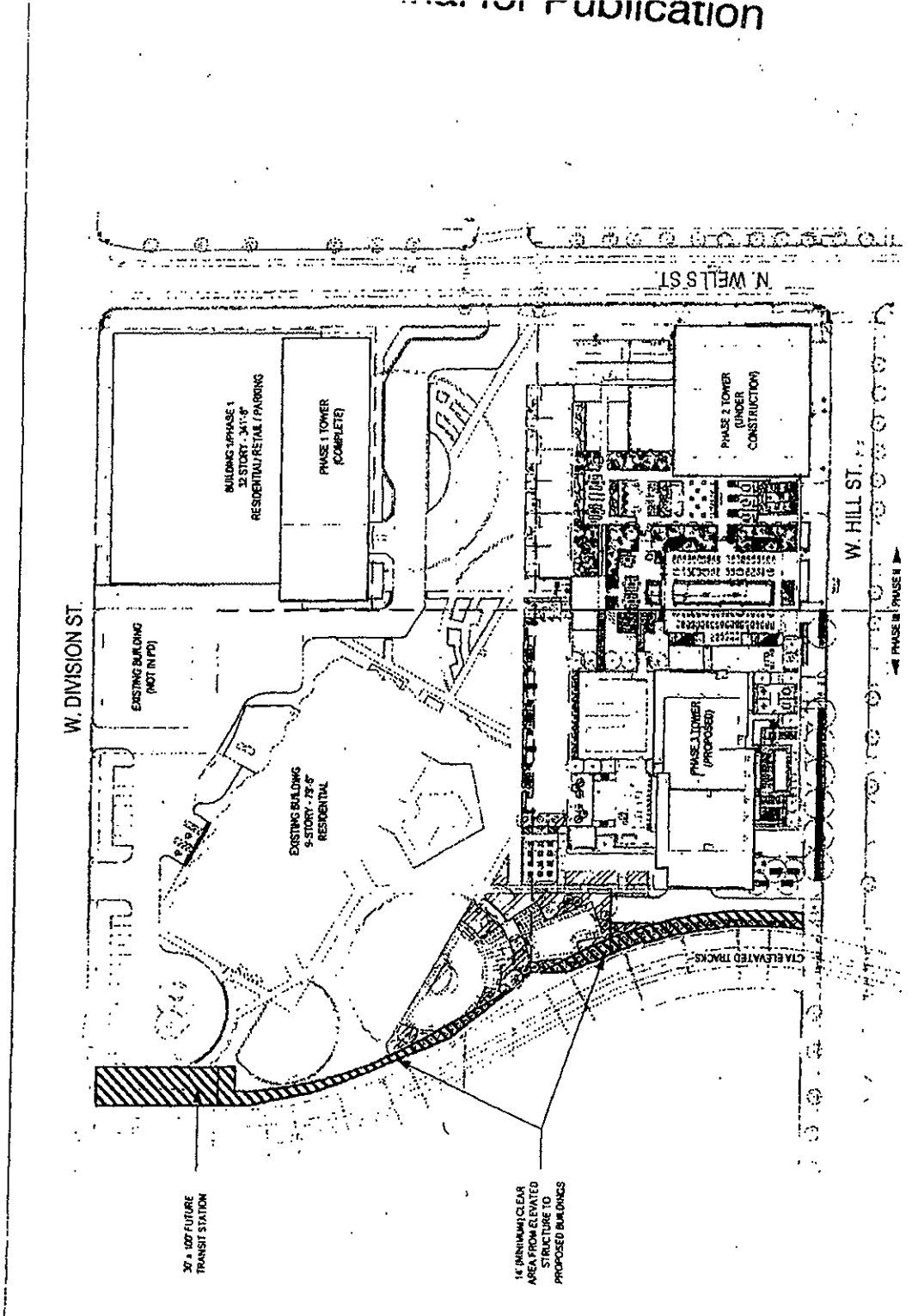
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SITE PLAN

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP
 ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.
 INTRODUCED: 09/20/18 | PLAN COMMISSION: 12/20/18 | SCALE: 1" = 100'-0"

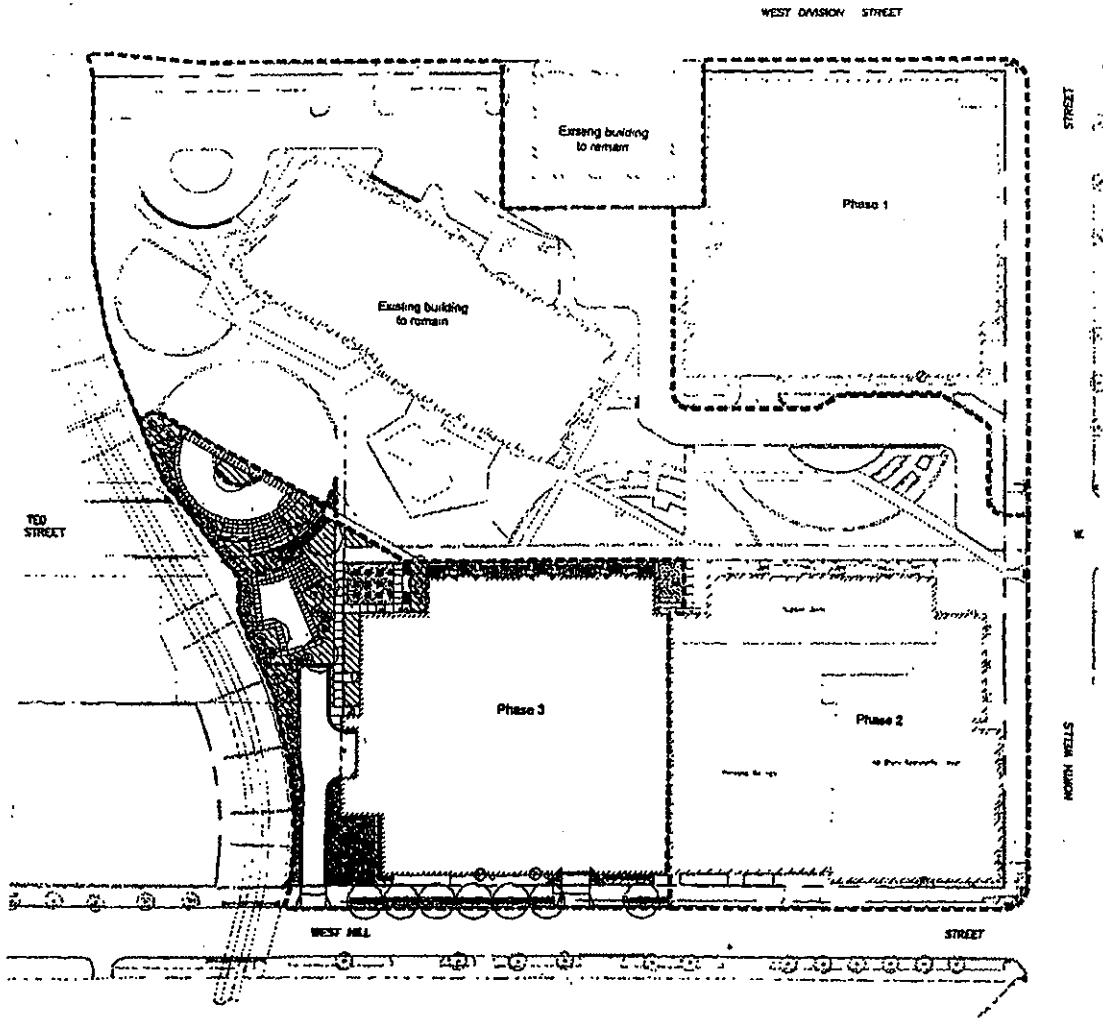
FOR PUBLICATION



APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP
 ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.
 INTRODUCED: 09/20/18 PLAN COMMISSION: 12/20/18 SCALE: 1" = 100'-0"

CTA EASEMENT AREAS.
(SITE PLAN)

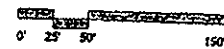
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Overall Landscape Plan

Old Town Park - Phase 3

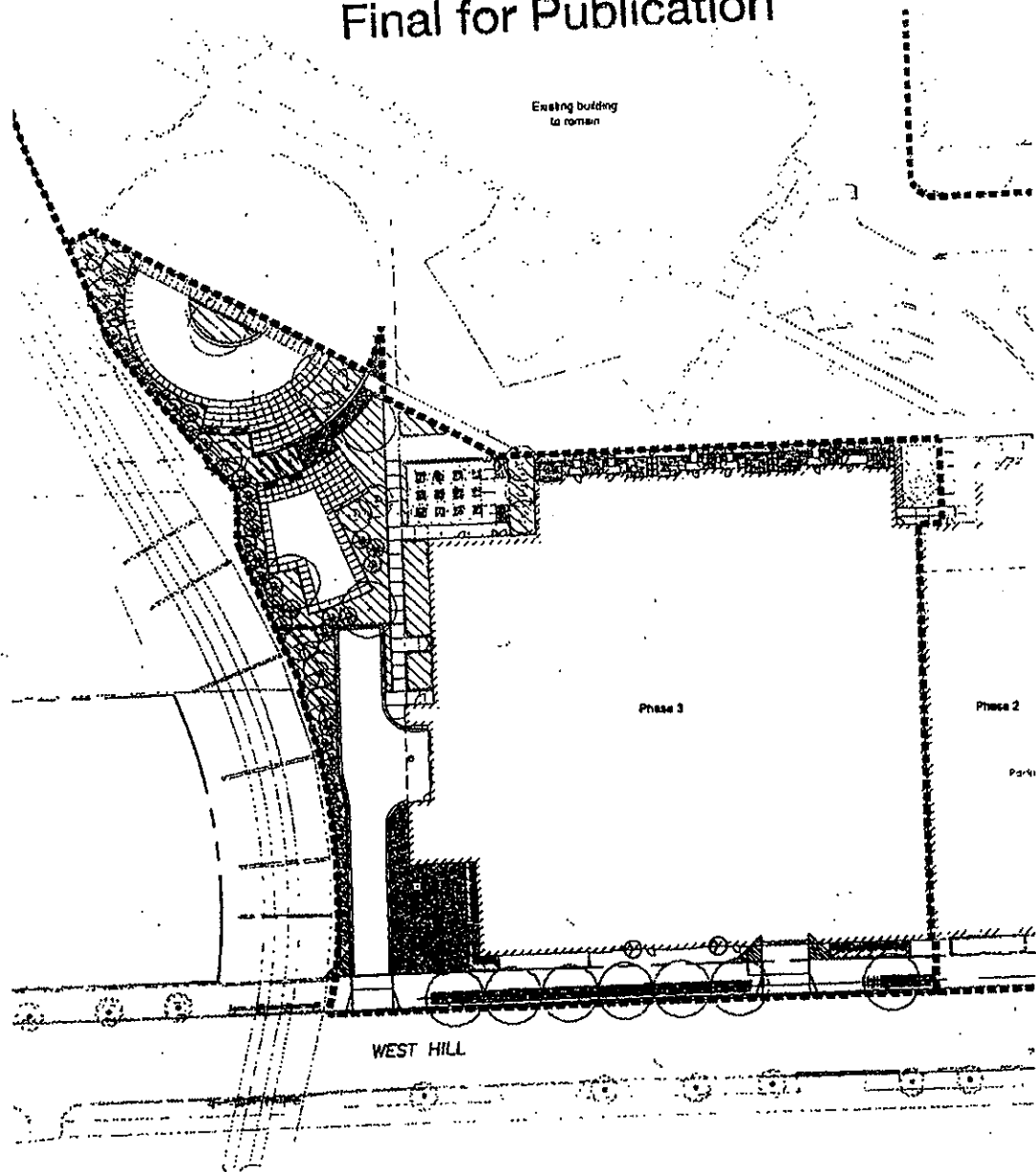
ONNI Group



SCALE: 1" = 100'

ISSUE DATE
12/12/2016
All drawings are preliminary
and subject to change
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Landscape Plan

Old Town Park - Phase 3

ONNI Group



SCALE: 1" = 60'

0' 15' 30' 90'

ISSUE DATE
12/12/2018

All drawings are preliminary
and subject to change.
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Code	Botanical Name	Common Name	Size	Qty	Notes
Shade Trees					
GD14.0	<i>Gymnocladus dioica</i> (male)	Kentucky Coffeetree	4" C		
Ornamental Trees					
APH.06	<i>Acer palmatum</i> 'Hefner's Red Select'	Hefner's Red Select Japanese Maple	6" HT		Multi-stem
AMA.08	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8" HT		Multi-stem
BNH.08	<i>Betula nigra</i> 'Cully'	Heritage Birch	8" HT		Multi-stem
HVM.06	<i>Hamamelis virginiana</i> 'Harvest Moon'	Harvest Moon Common Witch Hazel	6" HT		Multi-stem
Evergreen Trees					
PAB.08	<i>Picea abies</i>	Norway Spruce	8" HT		
PIG.08	<i>Picea glauca</i>	White Spruce	8" HT		
Evergreen Shrubs					
BWN24	<i>Buxus</i> 'Wilson'	Northern Charm Boxwood	24" HT		Plant 3'-0" O.C.
PMU36	<i>Pinus mugo</i>	Mugo Pine	36" HT		Plant 8'-0" O.C.
TMR24	<i>Taxus x media</i> 'Tauntonii'	Taunton Intermediate Yew	24" HT		Plant 3'-0" O.C.
TOW36	<i>Thuja occidentalis</i> 'Woodwardii'	Woodward Arborvitae	36" HT		Plant 8'-0" O.C.
Shrubs					
CSA36	<i>Cornus sericea</i> 'Alleman's Compact'	Alleman's Compact Red-Osier Dogwood	36" HT		Plant 4'-0" O.C.
CSK36	<i>Cornus sericea</i> 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	36" HT		Plant 4'-0" O.C.
HPL36	<i>Hydrangea paniculata</i> 'Jane'	Little Lime Hydrangea	36" HT		Plant 4'-0" O.C.
HYL36	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	36" HT		Plant 5'-0" O.C.
Perennials					
ATS6	<i>Allium tanguticum</i> 'Summer Beauty'	Summer Beauty Ornamental Chive	1 GAL		Plant 12" O.C.
CAK6	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 GAL		Plant 18" O.C.
CBR6	<i>Carex brevior</i>	Plains Oval Sedge	1 GAL		Plant 12" O.C.
CFL6	<i>Carex flacca</i>	Blue Green Sedge	1 GAL		Plant 12" O.C.
CPE6	<i>Carex pensylvanica</i>	Pennsylvania Sedge	1 GAL		Plant 12" O.C.
GSU6	<i>Geranium sanguineum</i> 'Album'	White Bloody Cranesbill Geranium	1 GAL		Plant 12" O.C.
HBS6	<i>Hosta</i> 'Brother Stefan'	Brother Stefan Hosta	1 GAL		Plant 18" O.C.
HRS6	<i>Hosta</i> 'Royal Standard'	Royal Standard Plainlily Lily	1 GAL		Per plan
HMA6	<i>Hakonechloa macra</i> 'Aureola'	Aureola Japanese Forest Grass	1 GAL		Plant 12" O.C.
HPD6	<i>Heuchera</i> 'Plum Pudding'	Plum Pudding Coralbells	1 GAL		Plant 12" O.C.
NFP6	<i>Nepeta x faassenii</i> 'Blue Wonder'	Blue Wonder Catmint	1 GAL		Plant 12" O.C.
POA6	<i>Polystichum acrostichoides</i>	Christmas Fern	1 GAL		Per plan
SES6	<i>Sesleria autumnalis</i>	Autumn Moor Grass	1 GAL		Plant 12" O.C.
SHE6	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 GAL		Plant 18" O.C.
SOH6	<i>Sachys officinalis</i> 'Hummelo'	Alpine Betony	1 GAL		Plant 12" O.C.
Bulbs					
ALM0	<i>Allium moly</i>	Lily Leek	BULB		Per plan
CMQ0	<i>Camassia quamash</i>	Small Camas	BULB		Per plan
NLB0	<i>Narcissus</i> 'Lemon Beauty'	Lemon Beauty Daffodil	BULB		Per plan
NTQ0	<i>Narcissus triandrus</i> 'Quail'	Quail Daffodil	BULB		Per plan



Plant List

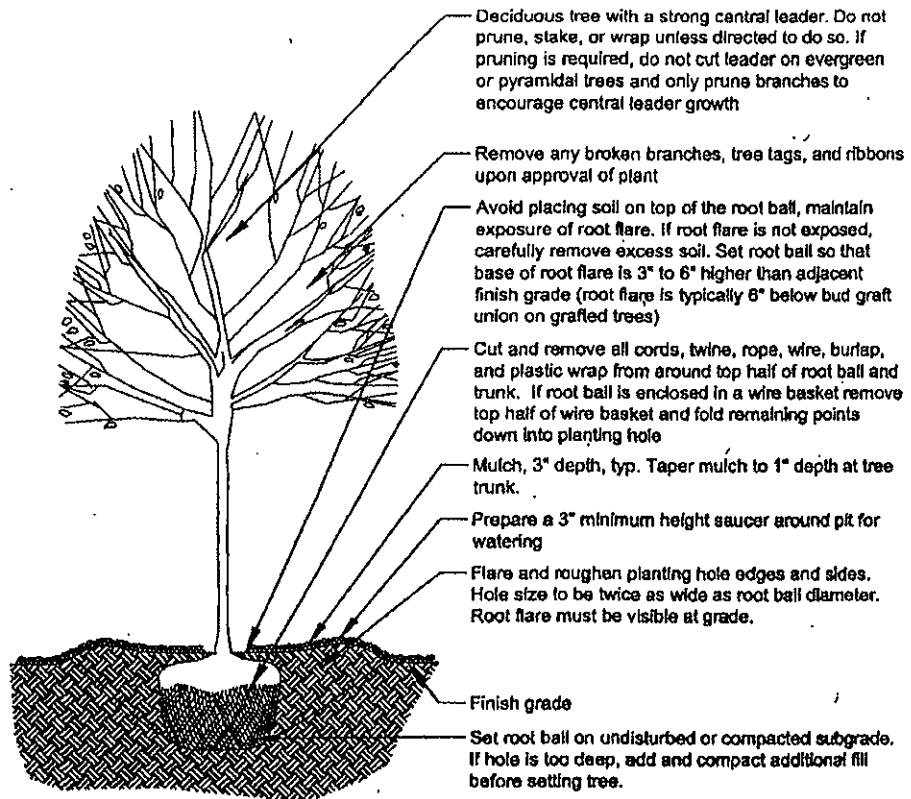
Old Town Park - Phase 3

ONNI Group

ISSUE DATE
12/12/2018

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Shade Tree

Old Town Park - Phase 3

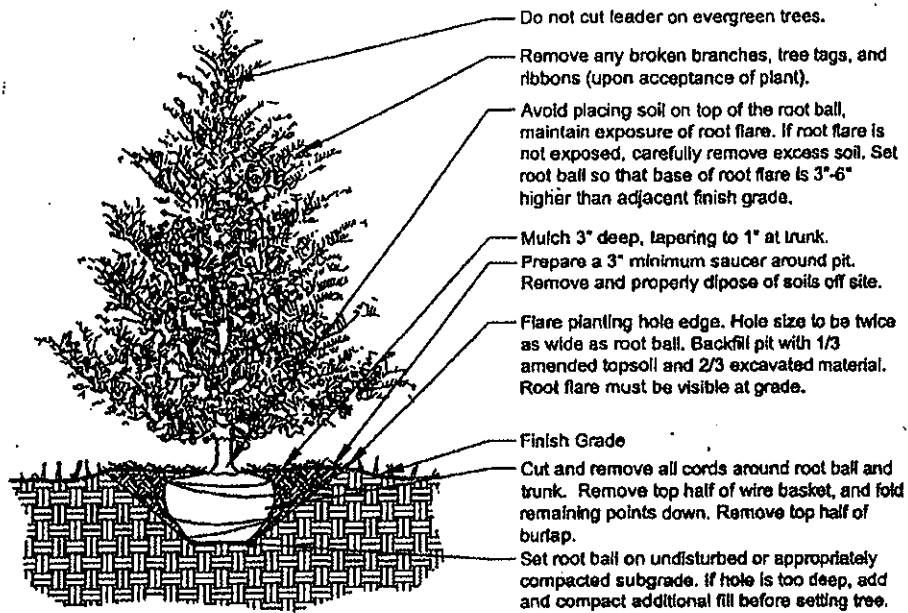
ONNI Group

SCALE: NTS

ISSUE DATE
12/12/2018

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Evergreen Tree

Old Town Park - Phase 3

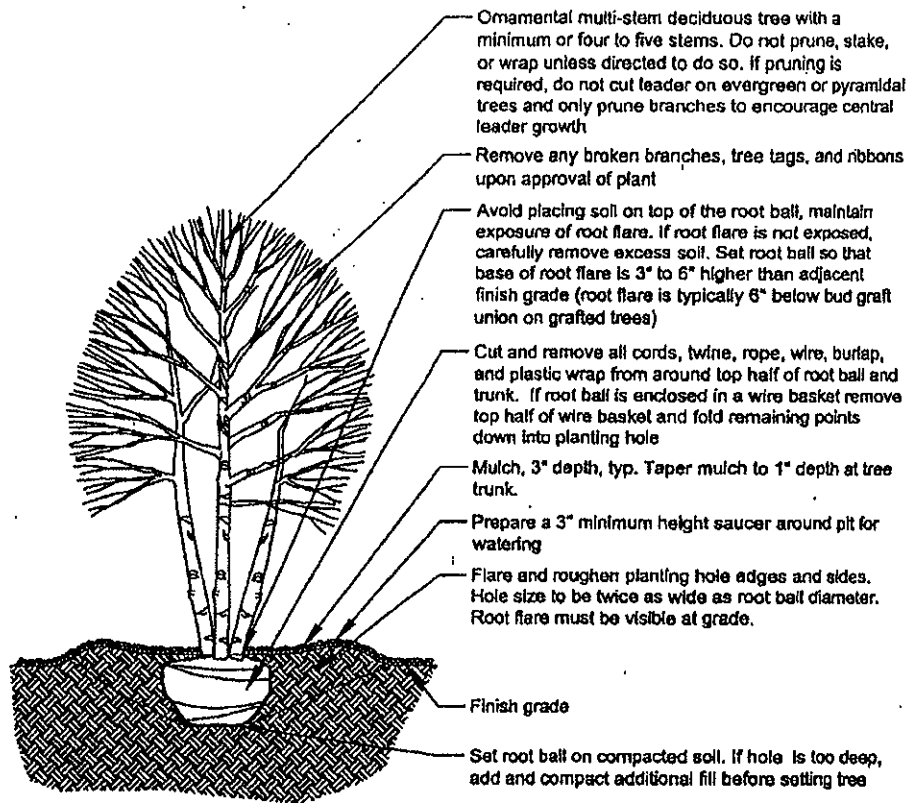
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12/12/2018

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Ornamental Tree

Old Town Park - Phase 3

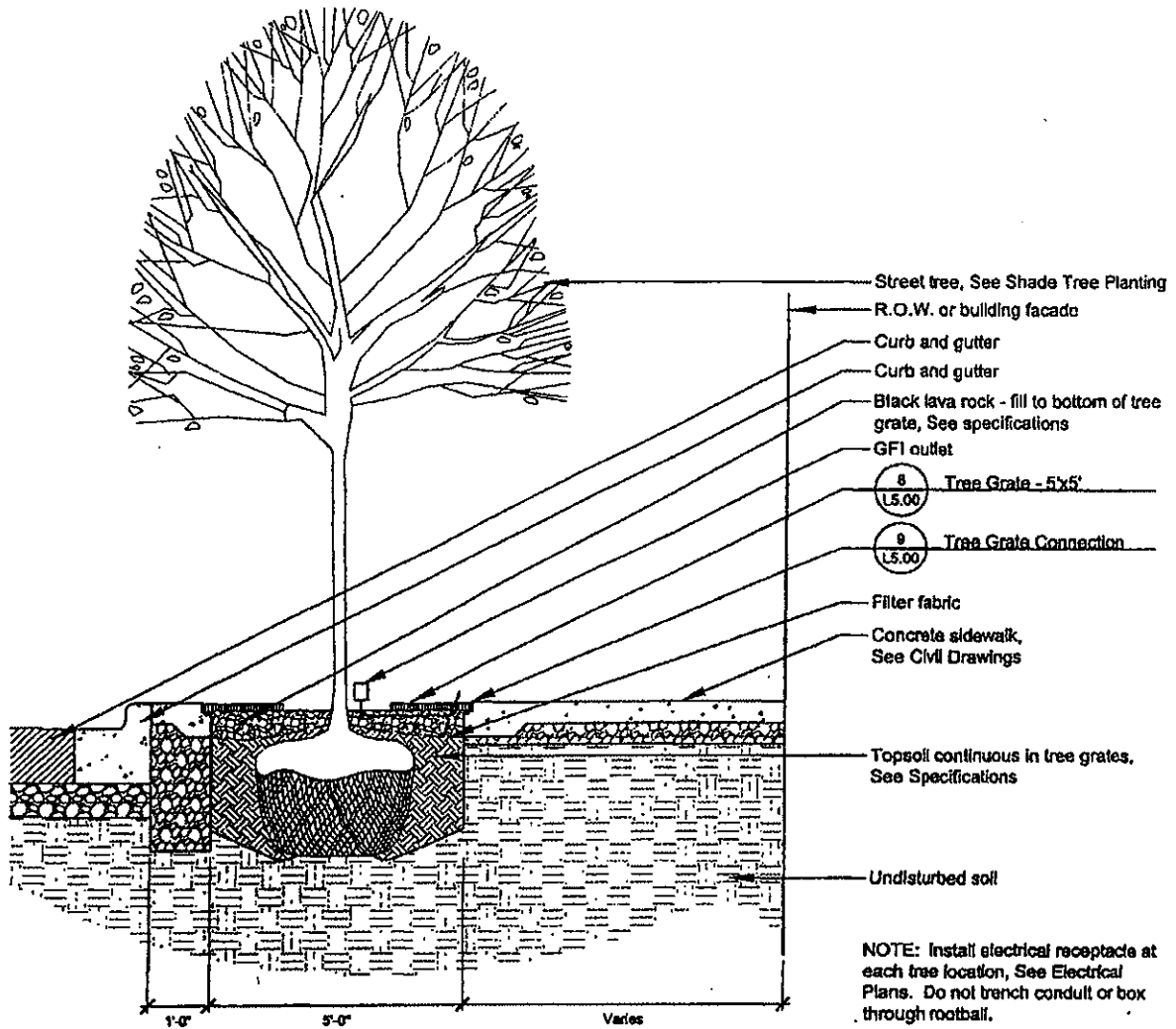
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Shade Tree in Tree Grate

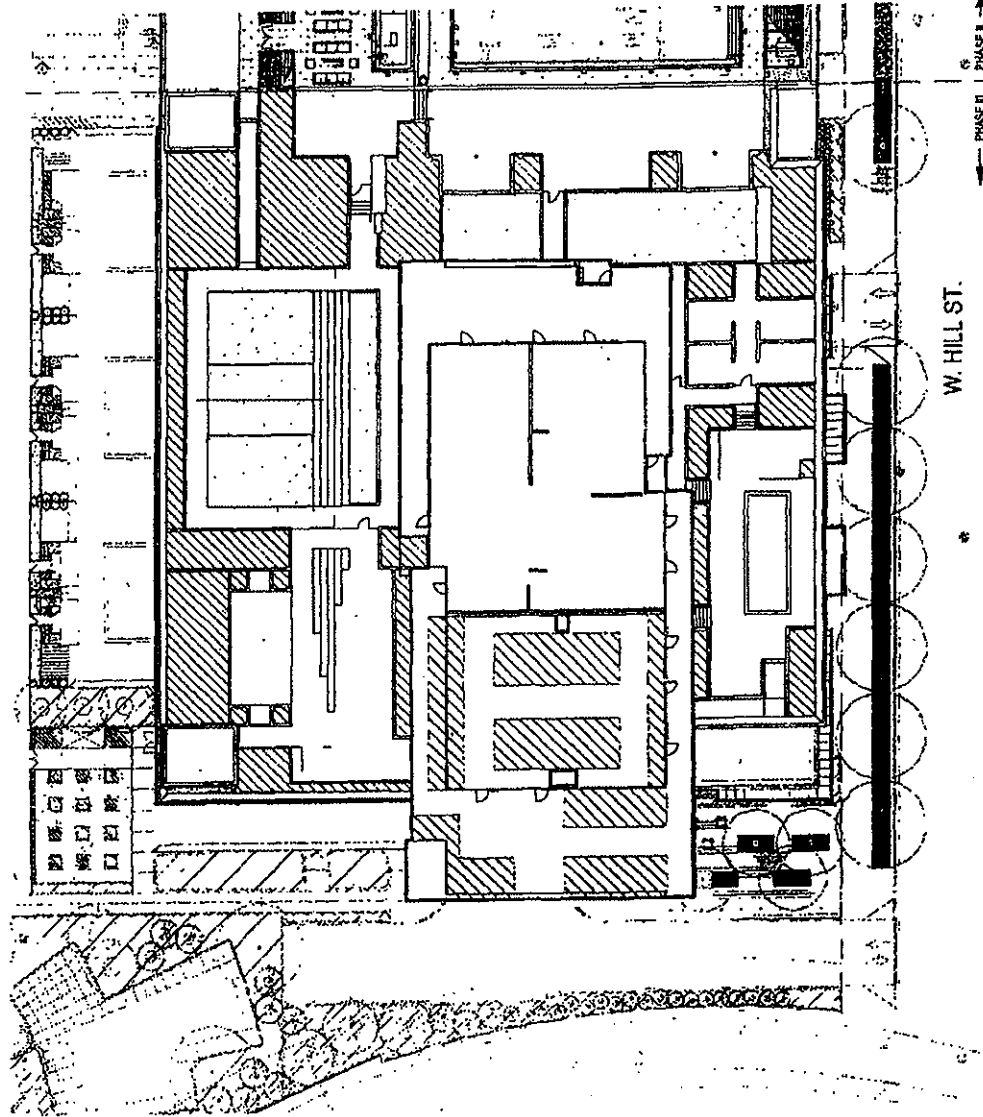
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W. HILL ST.

← PHASE II | PHASE III →

Final for Publication

GREEN ROOF SUMMARY

GROSS ROOF AREA = 4,208 SF.

MECHANICAL EXCLUSION = 5,023 SF.

NET ROOF AREA = 28,165 SF

GREEN ROOF AREA = 10,209 SF

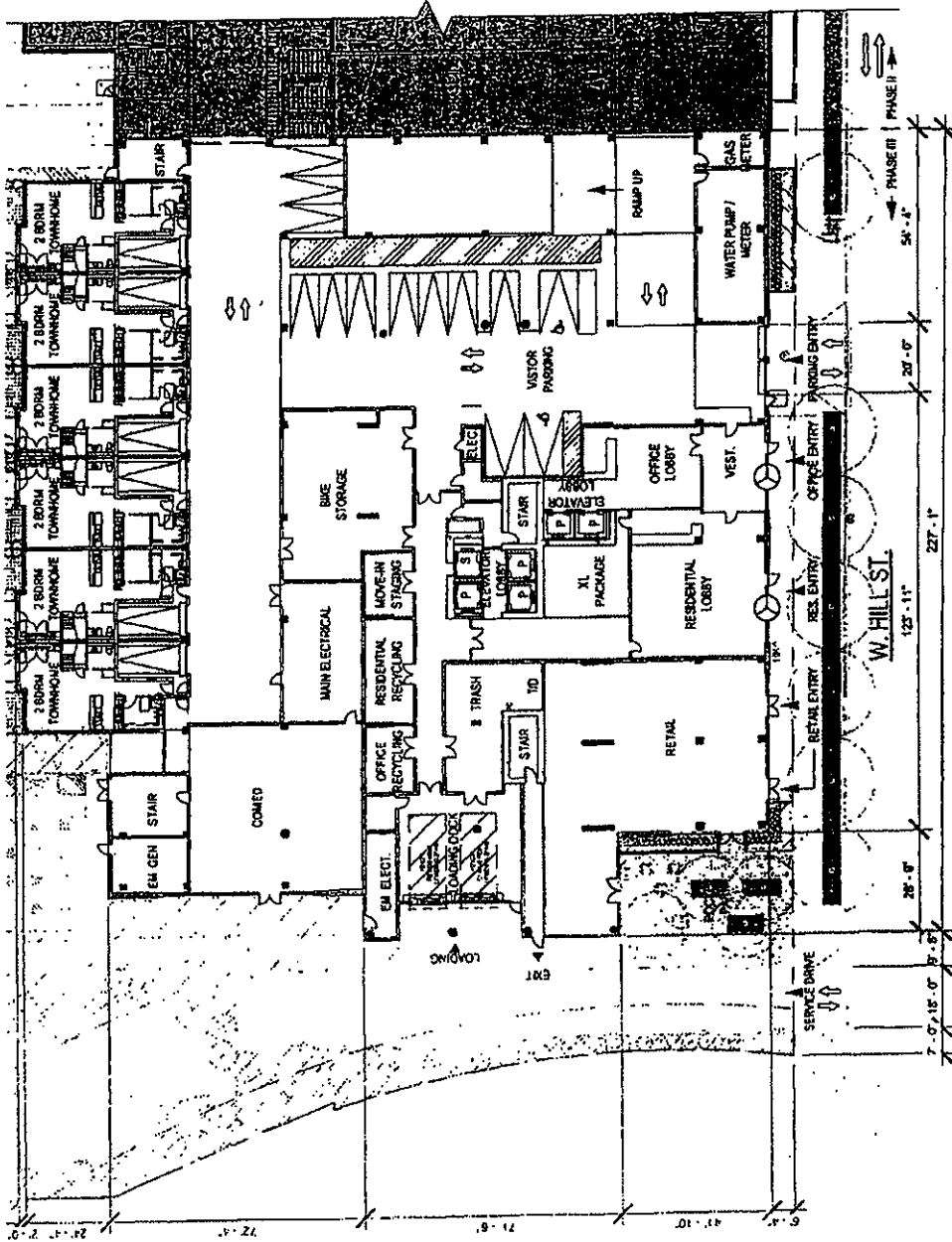
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ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.


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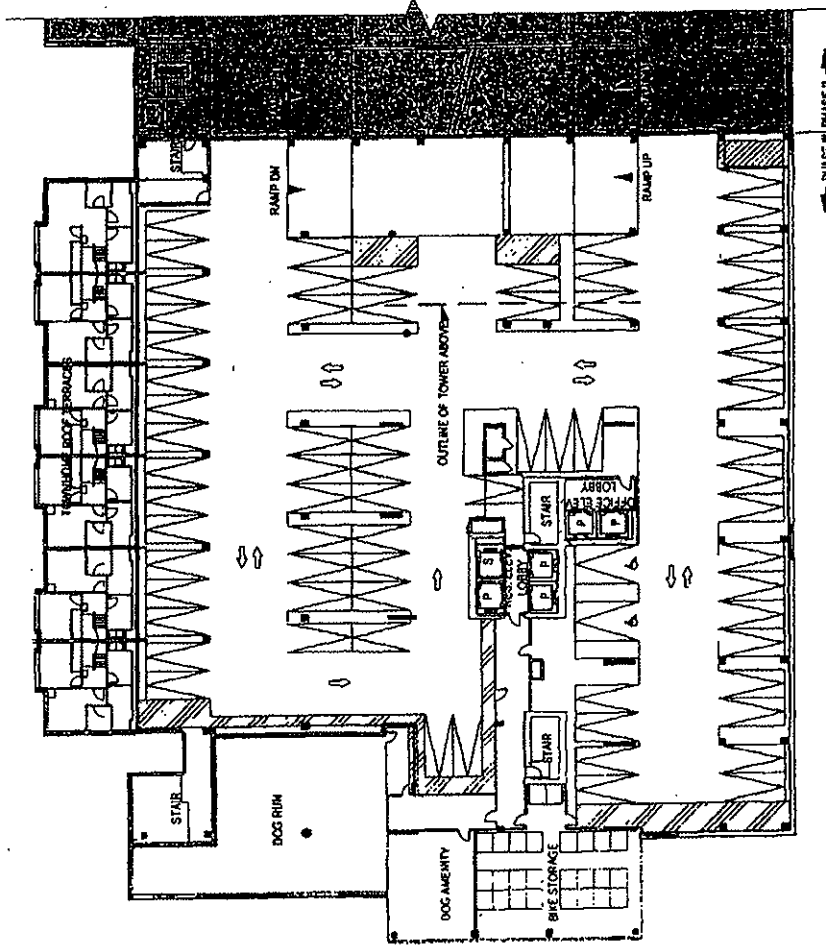


GREEN ROOF PLAN - PHASE III



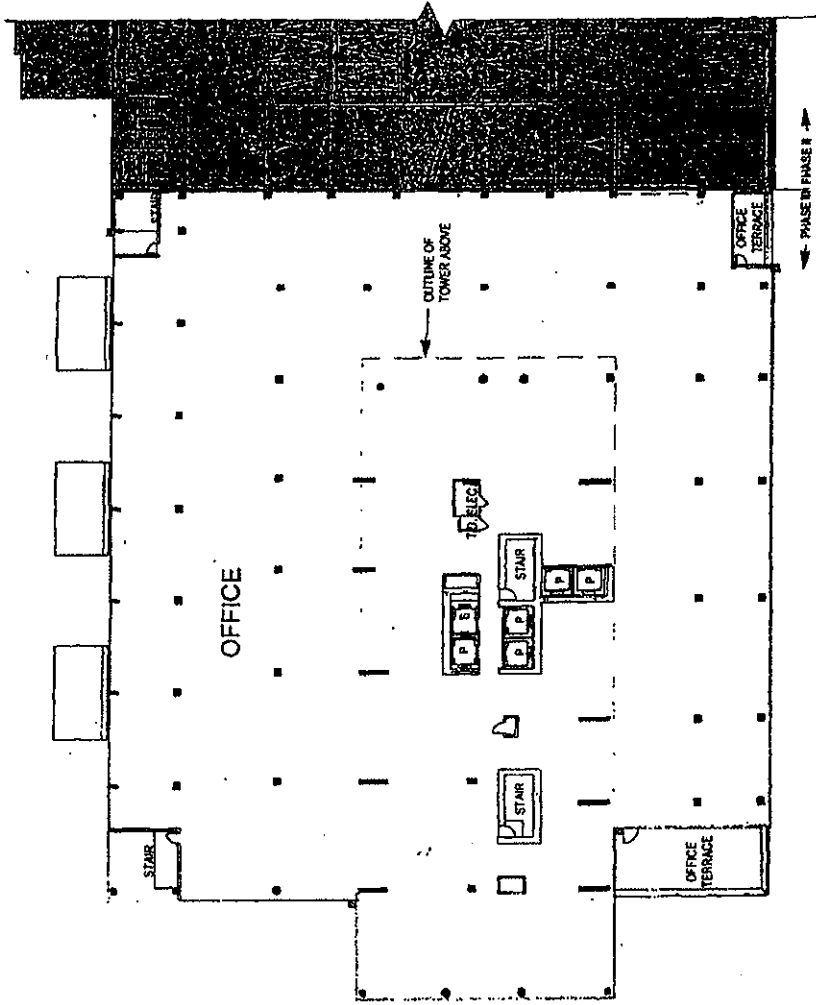
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		1ST FLOOR PLAN - PHASE III	
APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.			
INTRODUCED: 09/20/18		SCALE: 1" = 40'-0"	
PLAN COMMISSION: 12/20/18		SCALE: 1" = 40'-0"	



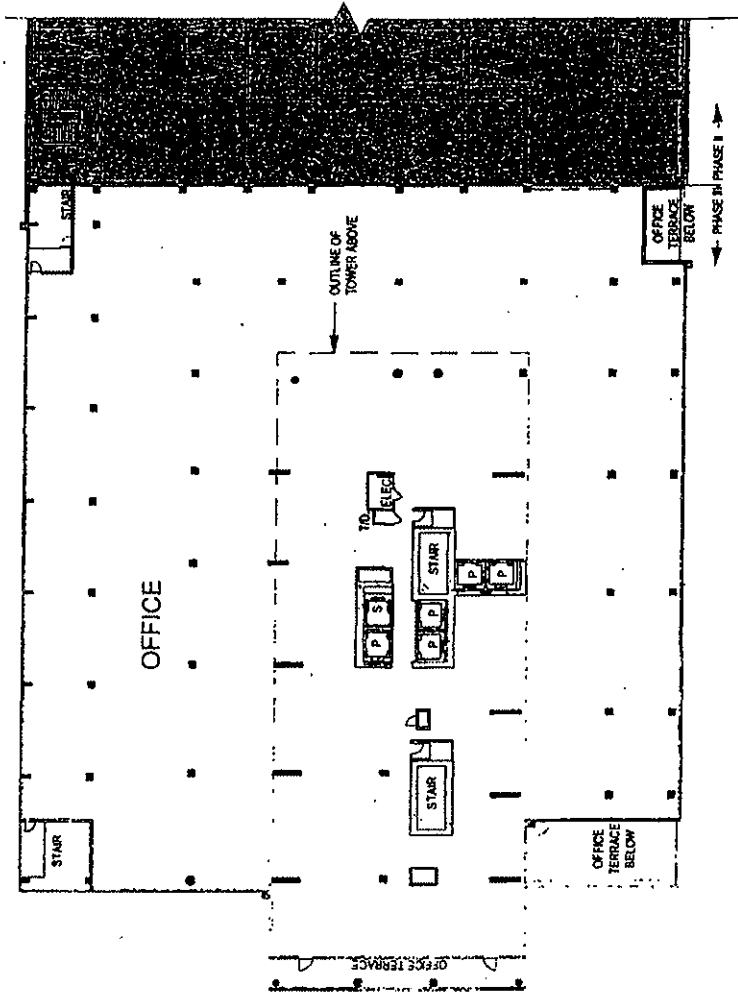
<p>APPLICANT: OMNI ATRIUM APARTMENTS LIMITED PARTNERSHIP</p> <p>ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.</p> <p>INTRODUCED: 09/20/18 . PLAN COMMISSION: 12/20/18 SCALE: 1" = 40'-0"</p>			<p>PARKING PLAN - PHASE III</p>

Final for Publication

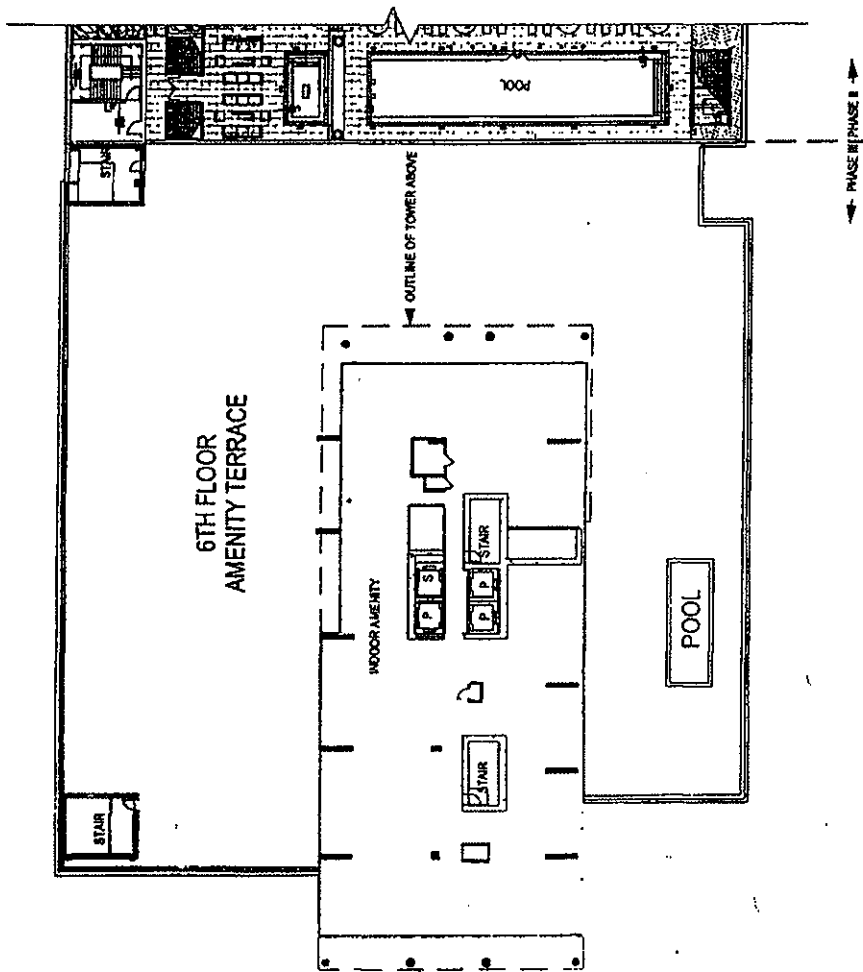


Final for Publication

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST. INTRODUCED: 09/20/18		PLAN COMMISSION: 12/20/18 SCALE: 1" = 40'-0"	4TH FLOOR PLAN - PHASE III
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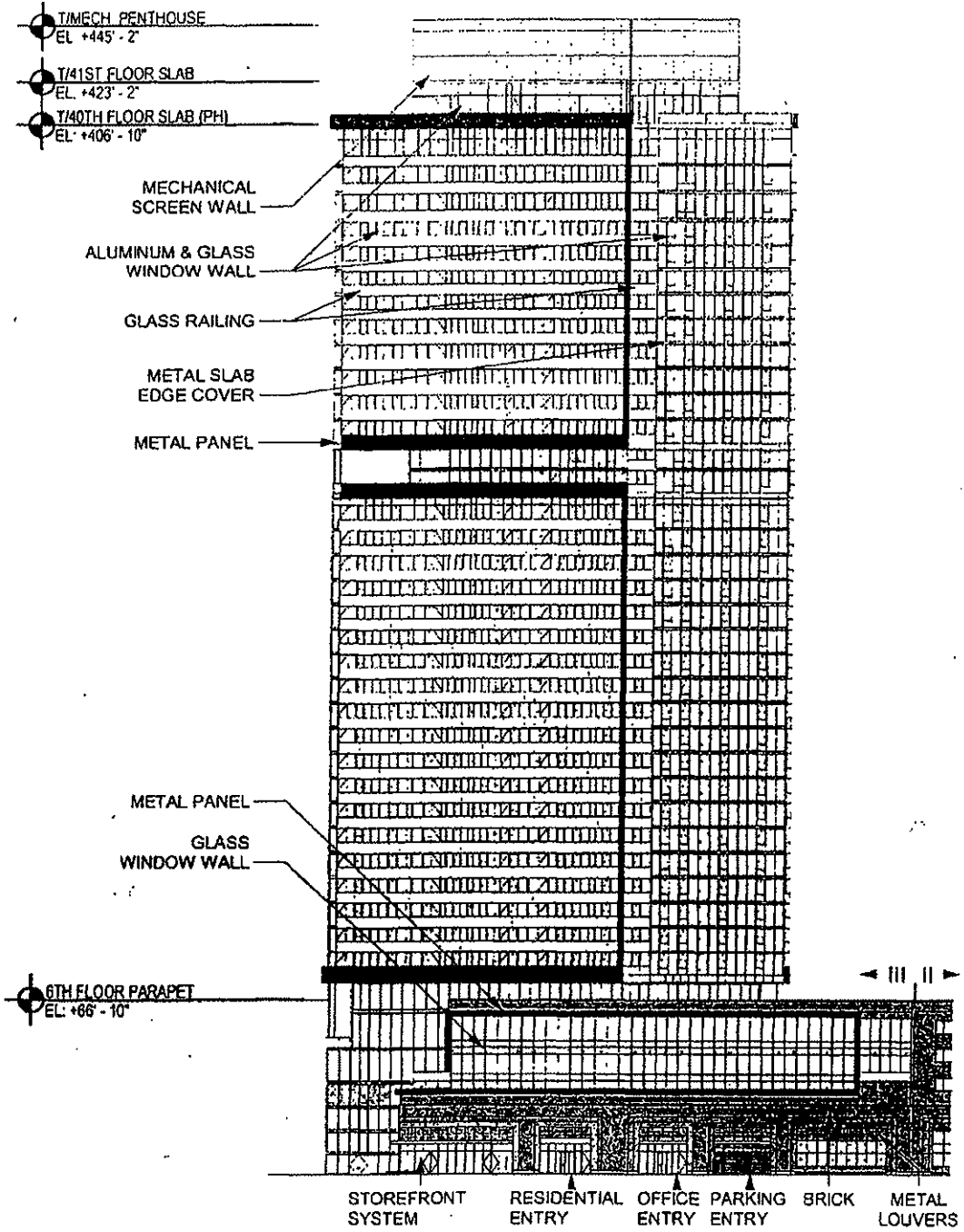


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<p>PLAN COMMISSION: 12/20/18</p>	<p>SCALE: 1" = 40'-0"</p>		



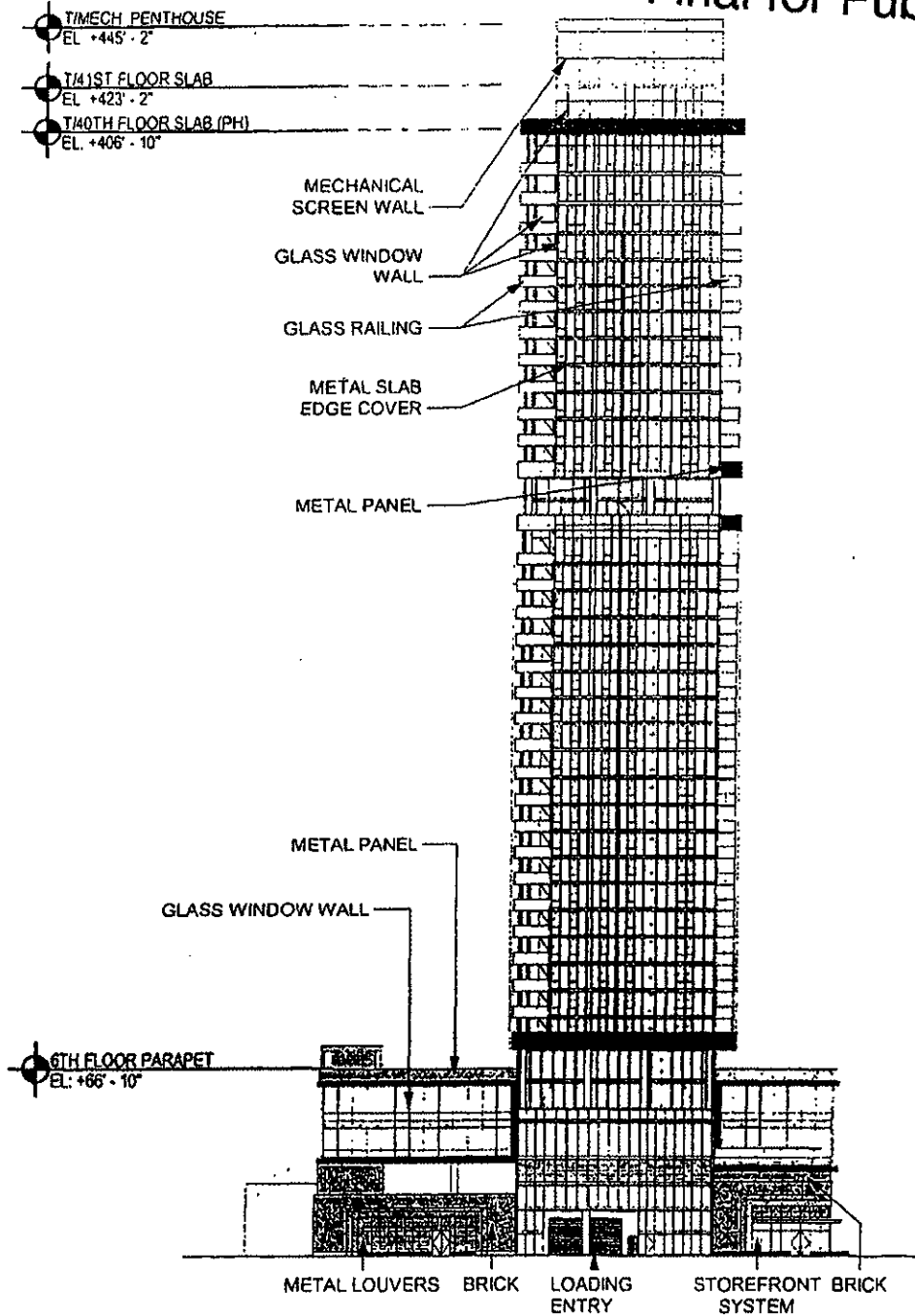
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<p>6TH FLOOR PLAN - PHASE III</p>			

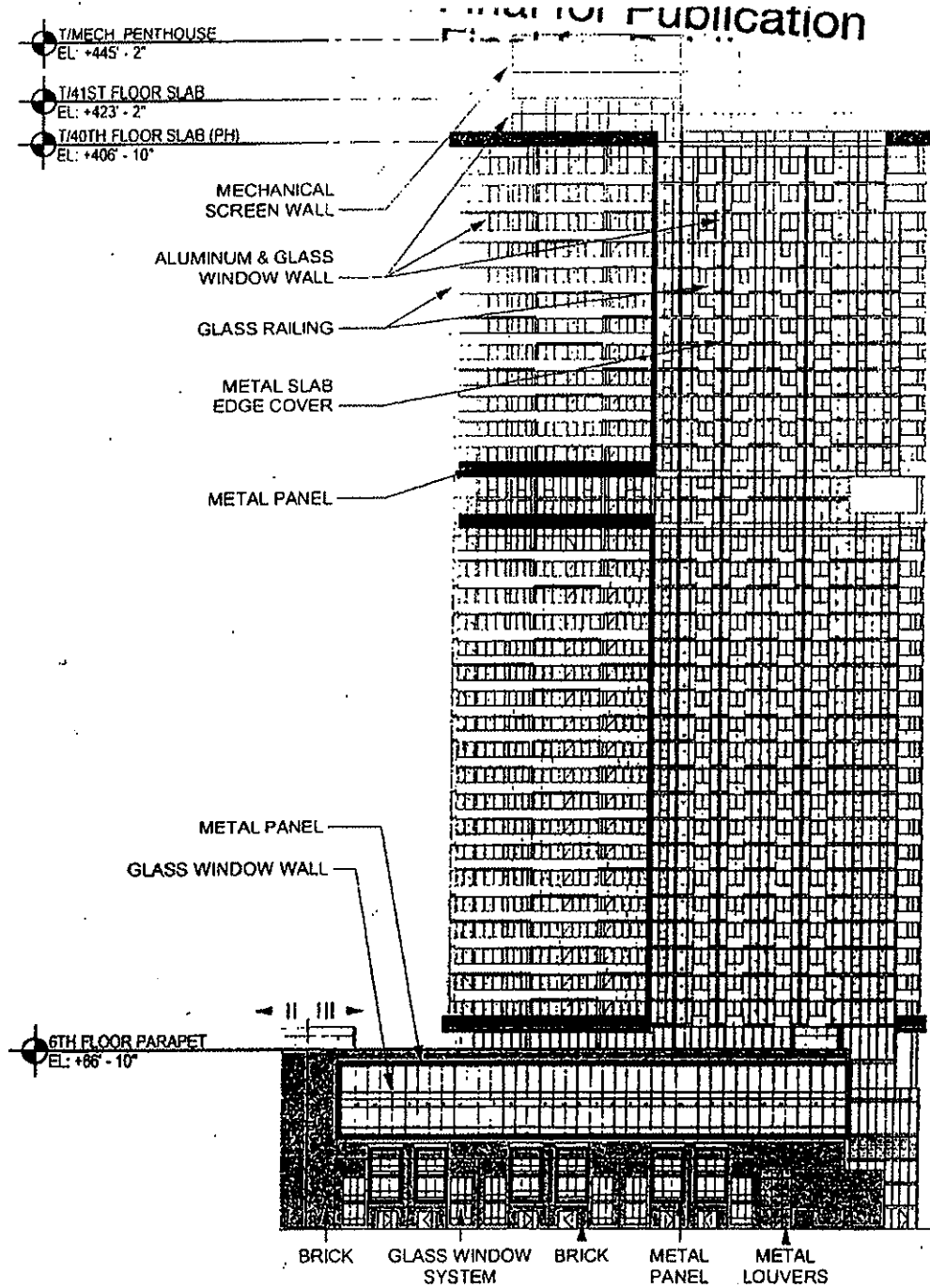


APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP			SOUTH ELEVATION PHASE III
ADDRESS: 303 W. DIVISION ST. / 1140 N. WELLS ST. / 202 W. HILL ST.			
INTRODUCED: 09/20/18	PLAN COMMISSION: 12/20/18	SCALE: 1" = 50'-0"	

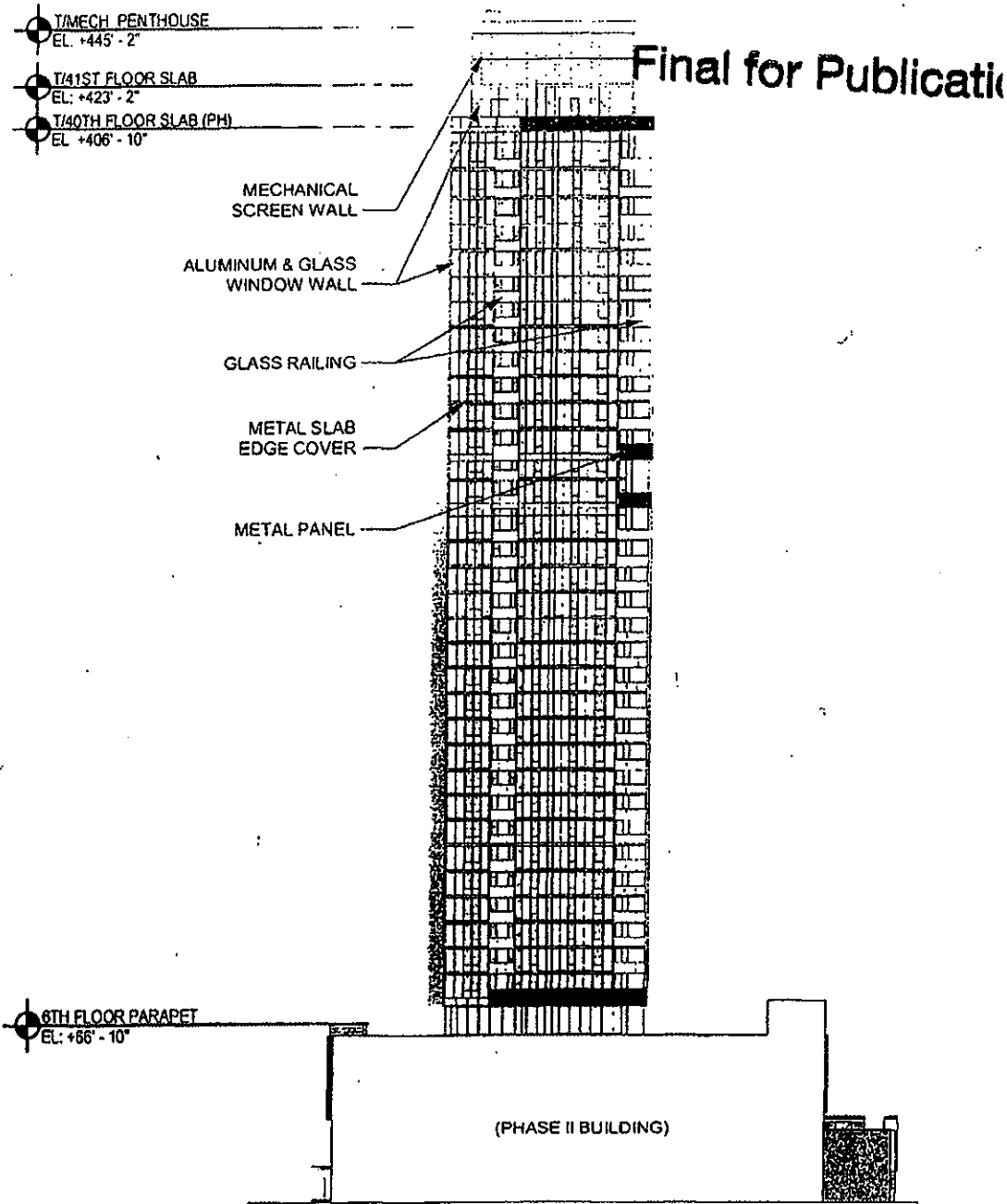
Final for Publication



APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS: 303 W. DIVISION ST. / 1140 N. WELLS ST. / 202 W. HILL ST. INTRODUCED: 09/20/18 PLAN COMMISSION: 12/20/18 SCALE: 1" = 50'-0"			WEST ELEVATION PHASE III

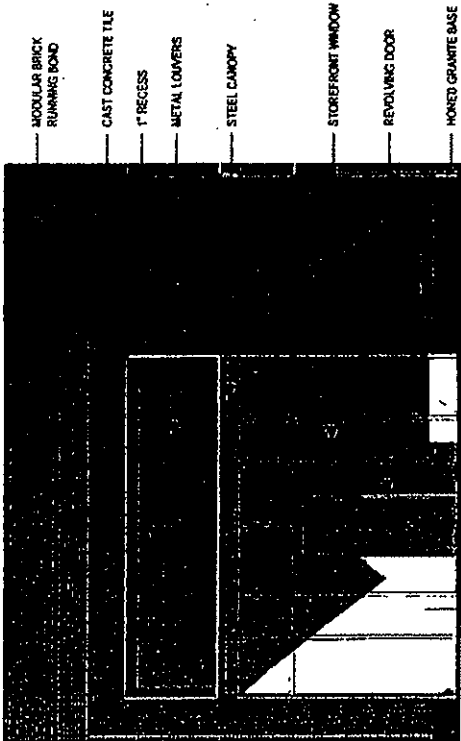


APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP			NORTH ELEVATION PHASE III
ADDRESS: 303 W. DIVISION ST. / 1140 N. WELLS ST. / 202 W. HILL ST.			
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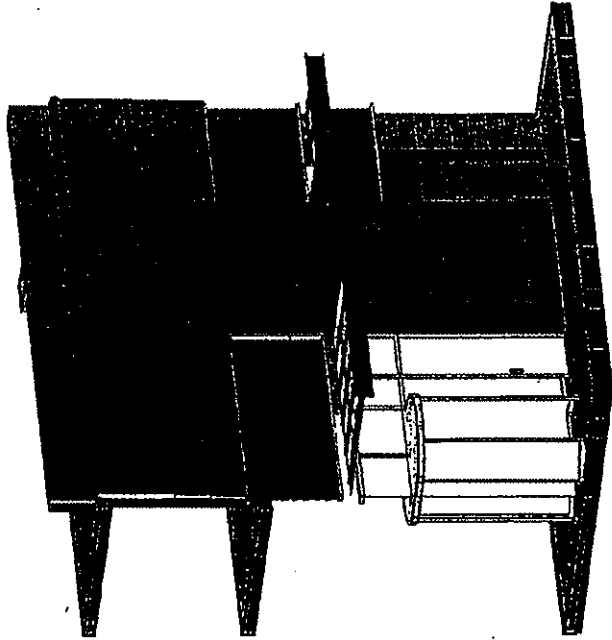
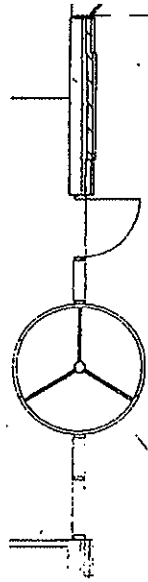


APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP			EAST ELEVATION PHASE III
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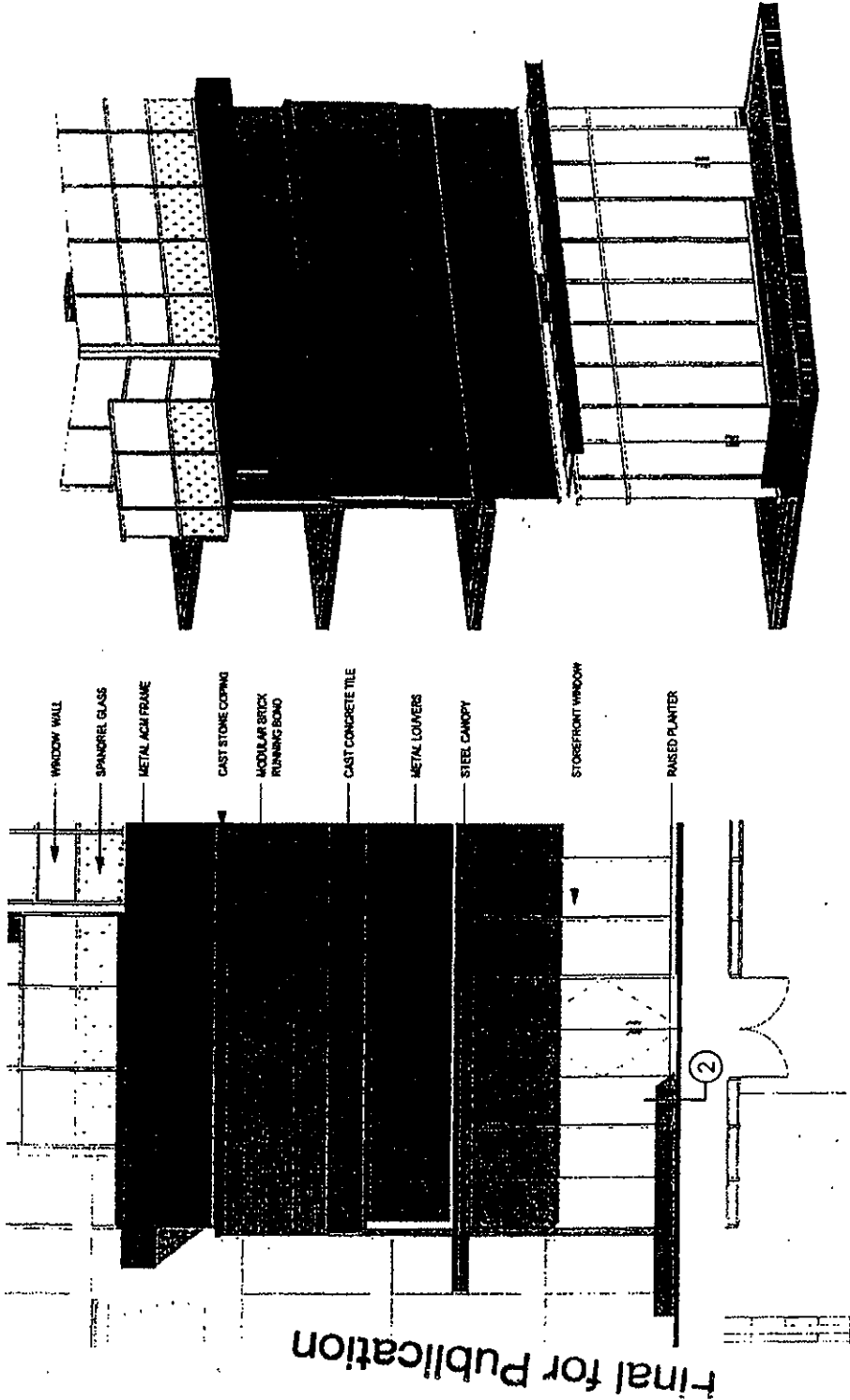
②



① ENLARGED TYP. BAY @ OFFICE ENTRY

② AXONOMETRIC SECTION @ OFFICE ENTRY

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST. INTRODUCED: 09/20/18		ENLARGED TYPICAL BAY @ OFFICE ENTRY - PHASE III
PLAN COMMISSION: 12/20/18	SCALE: 1/8" = 1'-0"	

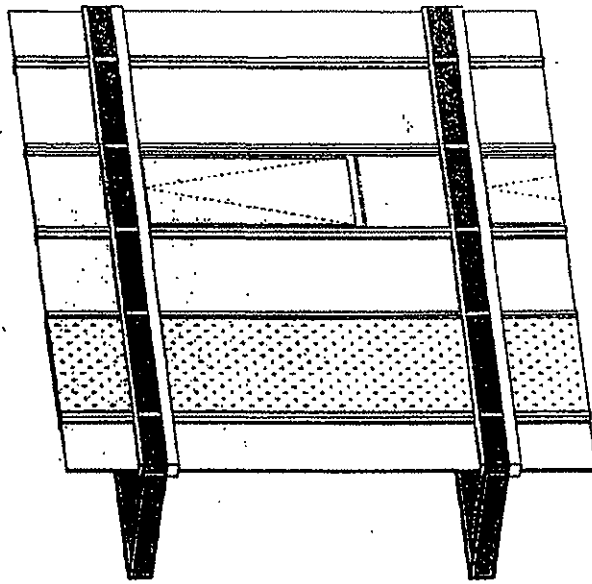


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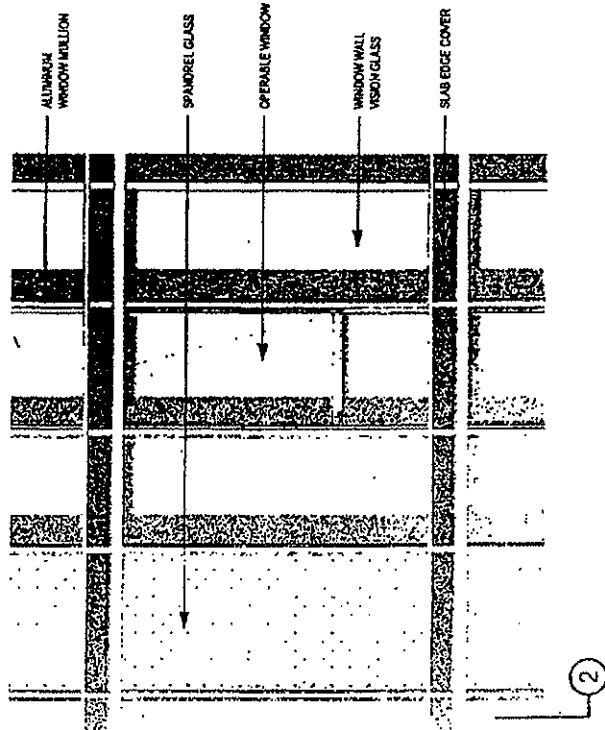
③ ENLARGED TYP. BAY @ RETAIL ENTRY

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP
 ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.
 INTRODUCED: 09/20/18 | PLAN COMMISSION: 12/20/18 | SCALE: 1/8" = 1'-0"

ENLARGED TYPICAL BAY @
 RETAIL ENTRY - PHASE III



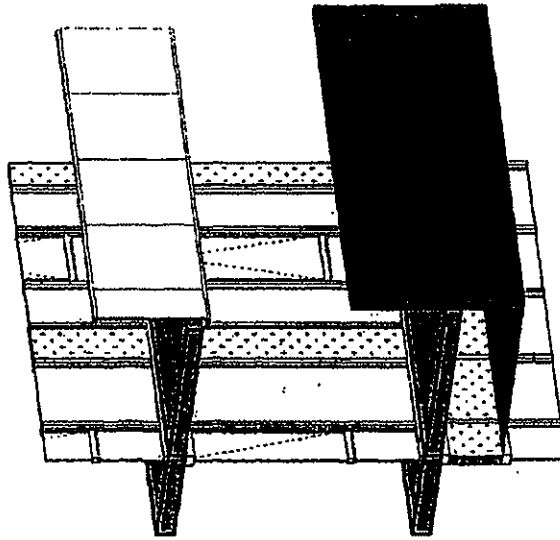
2 AXONOMETRIC SECTION @ WINDOW WALL



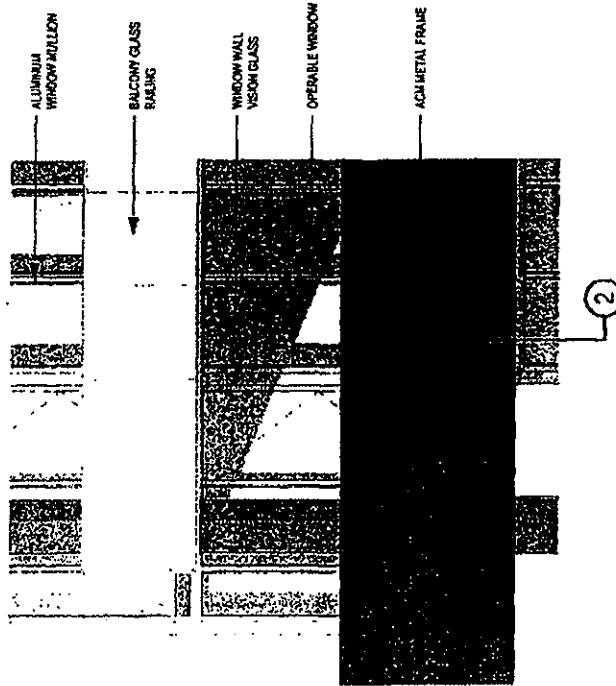
1 ENLARGED TYPICAL BAY @ WINDOW WALL

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST. INTRODUCED: 09/20/18		ENLARGED TYPICAL BAY @ WINDOW WALL - PHASE III
PLAN COMMISSION: 12/20/18	SCALE: 1/4" = 1'-0"	

Final for Publication



② AXONOMETRIC SECTION @ TERRACE



① ENLARGED TYPICAL BAY @ TERRACE

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP		ENLARGED TYPICAL BAY @ TERRACE	
ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.		PHASE III	
INTRODUCED: 09/20/18	PLAN COMMISSION: 12/20/18	SCALE: 3/16" = 1'-0"	

19816

4/10/2019

REPORTS OF COMMITTEES

100813

On motion of Alderman Cappleman, the said proposed ordinances and substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Moreno, Hopkins, Dowell, King, Hairston, Sawyer, Mitchell, Harris, Beale, Sadlowski Garza, Thompson, Cárdenas, Quinn, Burke, Lopez, Foulkes, D. Moore, Curtis, O'Shea, Brookins, Muñoz, Tabares, Scott, Burnett, Ervin, Taliaferro, Reboyras, Santiago, Waguespack, Mell, Austin, Ramirez-Rosa, Villegas, Sposato, Laurino, O'Connor, Napolitano, Reilly, Smith, Tunney, Arena, Cappleman, Pawar, Osterman, J. Moore, Silverstein -- 46.

Nays -- None.

Alderman Beale moved to reconsider the foregoing vote. The motion was lost.

The following are said ordinances as passed (the italic heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map No. 3-F. BPD 136,99
(As Amended)
(Application No. 19816)
(Common Address: 303 W. Division St./1140 N. Wells St./202 W. Hill St.)
[SO2018-7612]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Planned Development Number 136 symbols in Subarea A as shown on Map Number 3-F for the property located in the area generally bounded by:

West Division Street; a line 285.93 feet east of the CTA right-of-way; a line 95.20 feet south of and parallel to West Division Street extended in a southeasterly direction to a point 95.37 feet south of and parallel to West Division Street; a line 209.92 feet west of and parallel to North Wells Street; West Division Street; North Wells Street; West Hill Street; and the CTA right-of-way,

to the designation of a DX-5 Downtown Mixed-Use District.

SECTION 2. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the DX-5 symbols as shown on Map Number 3-F in the area described above in Section 1 of this ordinance, and by changing all of the Planned Development Number 136 symbols as shown on Map Number 3-F to the designation of Planned Development Number 136, as amended, subject to the use and bulk regulations set forth in the Plan of Development attached hereto and made a part hereof.

SECTION 3. This ordinance takes effect after its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows:

Business Planned Development No. 136, As Amended.

Planned Development Statements.

1. The area delineated herein as Planned Development Number 136, as amended, ("Planned Development") consists of approximately 370,789 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). The Planned Development includes two subareas -- Subarea A and Subarea B. It is the intent of this ordinance to amend Subarea A only. Subarea A is under the single-designated control of the Applicant, Onni Atrium Apartments Limited Partnership.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Planned Development.

Ingress or egress shall be pursuant to the Planned Development and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

Pursuant to a negotiated and executed Perimeter Restoration Agreement ("Agreement") by and between the Department of Transportation's Division of Infrastructure Management and the Applicant, the Applicant shall provide improvements and restoration of all public way adjacent to the property, which may include, but not be limited to, the following as shall be reviewed and determined by the Department of Transportation's Division of Infrastructure Management:

- Full width of streets
- Full width of alleys
- Curb and gutter
- Pavement markings
- Sidewalks
- ADA crosswalk ramps
- Parkway and landscaping

The Perimeter Restoration Agreement must be executed prior to any Department of Transportation and Planned Development Part II Review permitting. The Agreement shall reflect that all work must comply with current Rules and Regulations and must be designed and constructed in accordance with the Department of Transportation's Construction Standards for Work in the Public Way and in compliance with the Municipal Code of Chicago Chapter 10-20. Design of the improvements should follow the Department of Transportation's Rules and Regulations for Construction in the Public Way as well as The Street and Site Plan Design Guidelines. Any variation in scope or design of public way improvements and restoration must be approved by the Department of Transportation.

The Applicant acknowledges that the site traffic impact study completed by KLOA, Inc. on behalf of the Applicant identifies the need for certain traffic control improvements in the immediate vicinity. Accordingly, the Applicant agrees, subject to approval of CDOT, to fund the design and installation of left-turn arrows on the east and west approaches of West Division Street at North Wells Street; to fund the installation of countdown pedestrian signals at the intersections of Division Street and Wells Street; and Division Street and Orleans Street; and to fund the modification of pavement markings on Division Street necessary to provide left-turn lanes at Wells Street. This work must be completed prior to the completion of Phase I. Additionally, the Applicant agrees, subject to the approval of CDOT, to fund the design and installation of a new traffic signal at the intersection of North Orleans Street and West Hill Street. This work must be completed prior to the completion of Phase II.

Applicant agrees to update the traffic impact study prior to starting each subsequent phase, and acknowledges that additional traffic control improvements may be identified by CDOT during the subsequent phases. Accordingly, subject to the approval of CDOT, Applicant agrees to fund the design and installation of traffic control improvements as identified by CDOT in the subsequent phases.

4. This plan of development consists of 19 Statements; a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; Site Plan; a Subarea A Map; CTA Easement Area Map; Floor Plans for Phase 3/Subarea A4; Landscape Plan for Phase 3/Subarea A4; a Green Roof Plan for Phase 3/Subarea A4; Building Elevations (North, South, East and West) for Phase 3/Subarea A4, prepared by Hartshorne Plunkard Architecture and dated December 20, 2018; and copies of Minor Change Approvals dated May 27, 2015 and July 20, 2017. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Chicago Zoning Ordinance, this Planned Development shall control.
5. The following uses are permitted in the area delineated herein as Subarea A of Planned Development 136, as amended: multi-unit buildings with residential units on and above the ground floor; townhouses; day care; eating and drinking establishments; office; personal service; retail sales; grocery stores; accessory parking; non-accessory parking if located below-grade; financial services; public transit-related uses; Accessory and related uses.

The following uses shall be permitted within Subarea B of Planned Development 136, as amended: residential dwelling units; community centers; daycare facilities; accessory church offices; accessory parking; and other accessory church-related facilities; and accessory uses.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Chicago Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio (FAR) for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For the purpose of FAR calculations and measurements, the definitions in the Zoning Ordinance shall

apply. The permitted FAR identified in the Bulk Regulations and Data Table has been determined using a net site area of 313,379 square feet for Subarea A and a base FAR of 5.0. The permitted FAR in Subarea B is 4.94 based upon a net site area of 57,410 square feet.

The Applicant acknowledges that the project has received a bonus FAR of 1.35 for Subarea A4, pursuant to Section 17-4-1000 of the Zoning Ordinance and based upon a net site area of 60,064 square feet in Subarea A4. In exchange for the bonus FAR, the Applicant is required to make a corresponding payment, pursuant to Sections 17-4-1003-B and C, prior to the issuance of the first building permit for any building in Subarea A4; provided, however, if Subarea A4 is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-4-1003-C .3.

The bonus payment will be split between three separate funds, as follows: 80 percent to the Neighborhoods Opportunity Fund, 10 percent to the Citywide Adopt-a-Landmark Fund and 10 percent to the Local Impact Fund. In lieu of paying the City directly, the department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or, (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

9. Upon review and determination, Part II Review, pursuant to Section 17-13-0610, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines, including Section 17-13-0800. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-085, or any other provision of the Municipal Code of Chicago.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A, by

the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II Review process is initiated for each improvement that is subject to the aforementioned Policy and must provide documentation verifying compliance.
15. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and *(ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II Permit Review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof;

* Editors's Note: Numbering sequence error; (i) missing in original document.

(c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD, with the actual level of M/WBE and City resident participation in the project or any phase thereof, and evidence of such participation. In addition to the forgoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development Number 136, as amended 1992, to Planned Development Number 136 as amended July 25, 2012, for the construction of the Residential Project triggers the requirements of Section 2-45-110 of the Municipal Code ("The Affordable Housing Ordinance"). Any developer of a "Residential Housing Project" within the meaning of the Affordable Housing Ordinance must (i) develop affordable housing units as part of the residential housing project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). In accordance with these requirements, the Applicant has agreed to provide 10 percent affordable housing units in the Residential Project for households earning up to 60 percent of the Chicago Primary Metropolitan Statistical Area median income (the "Affordable Units"), or make a cash payment to the Affordable Housing Opportunity Fund in the amount of \$100,000 per unit ("Cash Payment"). At the time of each Part II Review for the Residential Project, Applicant shall update and resubmit an Affordable Housing Profile Form to the Department of Planning and Development for review and approval. If the Applicant subsequently reduces the number of dwelling units in the Residential Project, the Department of Planning and Development may adjust the requirements of this Statement (i.e., number of Affordable Units and/or amount of Cash Payment) accordingly without amending this Planned Development. The terms of the Affordable Housing Agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the Affordable Housing Agreement will be recorded against the Property and will constitute a lien against each Affordable Unit. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of the Department of Planning and Development may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the planned development ordinance.

The Applicant acknowledges and agrees that this Planned Development is subject to that certain Affordable Housing Covenant and Agreement dated February 27, 2017, and recorded in the Office of the Cook County Recorder of Deeds as Document Number 1705822156; and by that certain Memorandum of Agreement regarding Phase 2, dated October 23, 2017, and recorded in the Office of the Cook County Recorder of Deeds as Document Number 1729744033.

17. The development of Subarea B is located adjacent to a Chicago landmark building (the Sexton School). Accordingly the owner of Subarea B shall provide a landscaped pedestrian walkway within the buffer zone between the landmark building and the apartment building as a means of increasing visual access to the west and north facades of the landmark building. The apartment building shall be set back from the southern boundary of Subarea B as depicted on the Subarea B Site Plan. The owner of Subarea B shall install and maintain an illuminated, paved pedestrian walkway no less than six (6) feet in width within this setback area. The pedestrian walkway shall not be closed off by any gate or other obstruction unless the owner of Subarea B determines that public safety requires otherwise; any such decision to restrict access for public safety reasons shall be subject to approval by the commander of the local district of the Chicago Police Department, with notice of any such decision provided to the Department of Planning and Development.
18. The Applicant acknowledges that the City of Chicago and the Chicago Transit Authority ("CTA") are studying the possibility of a future CTA station near the intersection of West Division Street and North Orleans Street in accordance with the "Central Area Action Plan" adopted by the Chicago Plan Commission on August 20, 2009. The Applicant recognizes the value that convenient access to public transportation would offer the residents of this Planned Development and agrees to grant the CTA a permanent easement (the "Station Easement") in, on, over and under the area labeled "Future Transit Station" as generally depicted on the Site Plan and on the CTA Easement Areas exhibit (the "CTA Exhibit") for the purpose of constructing, operating and maintaining a rail station and related public transportation facilities. The Applicant must record the Station Easement prior to the issuance of any Part II Approval for the Project. The transit station has not been fully designed as of the date of this Planned Development. Accordingly, prior to the issuance of Part II Approval for the transit station, the CTA shall submit a site plan ("Transit Station Site Plan") to the Commissioner of the Department of Planning and Development (the "Commissioner") for approval. Review and approval of the Transit Station Site Plan by the Commissioner is intended to assure that specific development proposals substantially conform to this Planned Development and to assist the City in monitoring on-going development. The CTA shall share copies of the Transit Station Site Plan with the Applicant for informational purposes only. The Department shall convene meetings between the CTA and the Applicant, if necessary and at the Department's own discretion, to discuss the station plans prior

to final site plan approval of the station. Following approval of the Transit Station Site Plan by the Commissioner, the plan and such supporting data and materials as the Commissioner had requested shall be kept on permanent file with the Commissioner and shall be deemed to be an integral part of this Planned Development. The approved Transit Station Site Plan may be changed or modified pursuant to the provisions of Statement 12 hereof. In the event of any inconsistency between the approved Transit Station Site Plan and the terms of this Planned Development in effect at the time of approval of such plan or of the modifications or changes thereto, the terms of this Planned Development shall govern. Applicant shall bear no costs associated with the proposed transit station.

The Applicant acknowledges and agrees that this Planned Development is subject to that certain Grant of Easements and Release of Easement dated November 8, 2013, and recorded in the Office of the Cook County Recorder of Deeds as Document Number 1401444043, by and between the Applicant and the Chicago Transit Authority ("CTA"), a municipal corporation. The grant of easement is a permanent, non-exclusive easement (the "Maintenance Easement") in, on, over, under, through and across the western portion of the Property to the extent necessary to create a buffer (clear zone) of at least 14 feet along, and parallel to, the eastern edge of the CTA elevated track structures for access to, and maintenance, repair, renovation and replacement of any CTA transit facilities now or hereafter located within the CTA's Brown Line right-of-way, and for safety reasons.

19. This Planned Development shall be governed by Section 17-13-0612. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to Planned Development Number 136, as amended July 25, 2012, and as modified administratively thereafter.

[Zoning Map; Land-Use Map; Boundary/Property Line Map; Subarea Lot Lines; Site Plan; CTA Easement Areas (Site Plan; Overall Landscape Plan; Landscape Plan; Plan List; Shade Tree; Evergreen Tree; Ornamental Tree; Shade Tree in Tree Grate; Green Roof Plan -- Phase III; Parking Plan -- Phase III; 1st, 4th, 5th and 6th Floor Plans -- Phase III; North, South, East and West Building Elevations -- Phase III; and Enlarged Typical Bay at Office Entry, Retail Entry, Window Wall and Terrace -- Phase III referred to in these Plan of Development Statements printed on pages 100825 through 100851 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

19816

100822

JOURNAL--CITY COUNCIL--CHICAGO

4/10/2019

Business Planned Development No. 136, As Amended.

Bulk Regulations And Data Table.

Total Gross Site Area:	453,189 square feet
Subarea A:	375,455 square feet
Subarea B:	77,734 square feet
Area of Public Right-of-Way (Total):	82,400 square feet
Total Net Site Area:	370,789 square feet
Subarea A (Total):	313,379 square feet
Subarea A1:	48,277 square feet
Subarea A2:	31,494 square feet
Subarea A3:	51,762 square feet
Subarea A4:	60,064 square feet
Subarea A5:	121,782 square feet
Subarea B:	57,410 square feet
Maximum Floor Area Ratio:	5.0
Subarea A:	5.0 (overall)
Subarea A4:	FAR Bonus of 1.35**
Subarea B:	4.94
Total Maximum Number of Dwelling Units:	1,844
Subarea A (Total):	1,500

Subarea A1:	405
Subarea A2:	0
Subarea A3:	428
Subarea A4:	456
Subarea A5:	211
Subarea B:	344
Minimum Number of Off-Street Parking Spaces:	1,122
Subarea A (Total):	1,007
Subarea A1:	400
Subarea A2:	Not Applicable
Subarea A3:	413
Subarea A4:	194
Subarea A5:	0
Subarea B:	115
Minimum Number of Loading Berths:	6
Subarea A1:	1
Subarea A2:	Not Applicable
Subarea A3:	1
Subarea A4:	2
Subarea A5:	0

Subarea B: 2

Maximum Building Height:

Subarea A1: 341 feet, 8 inches

Subarea A2: Not Applicable

Subarea A3: 430 feet, 0 inches

Subarea A4: 447 feet, 2 inches

Subarea A5: As built

Subarea B: As built

Bicycle Storage Spaces:

Subarea A1: 88

Subarea A2: Not Applicable

Subarea A3: 62

Subarea A4: 185

Subarea A5: 0

Subarea B: As built

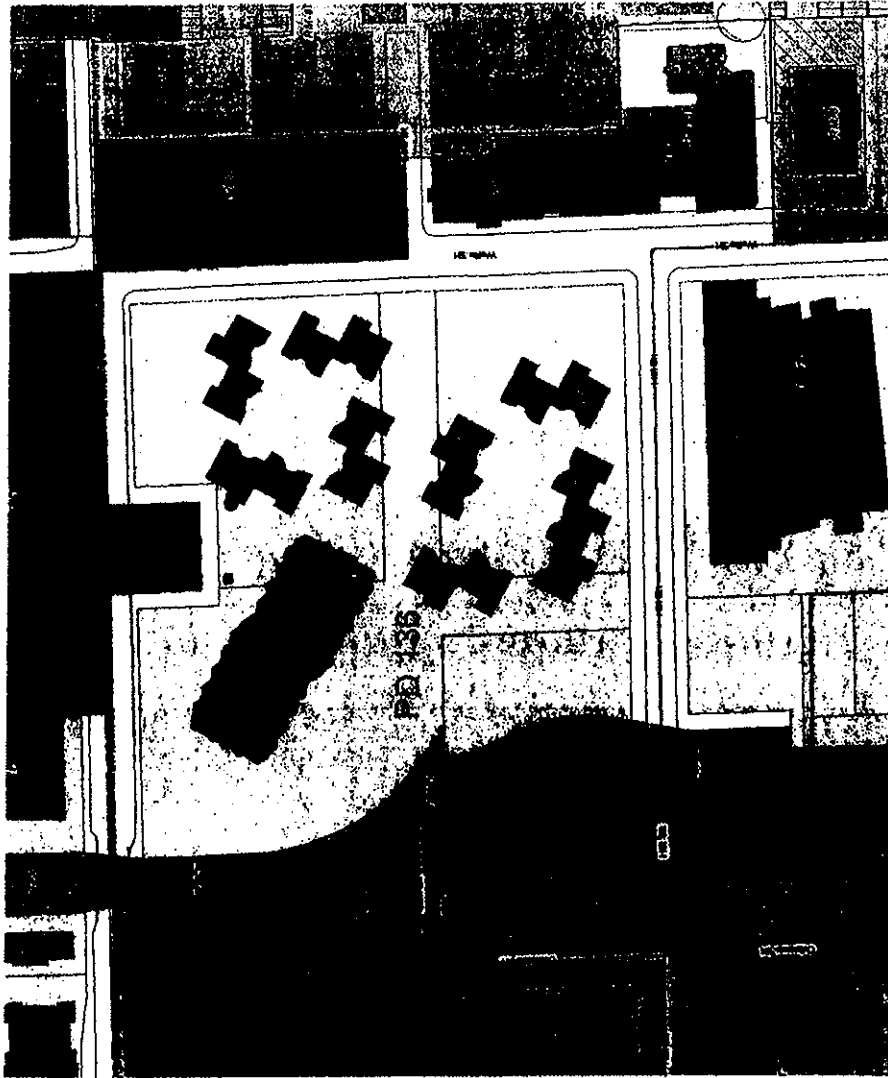
Minimum Setbacks: Per Site Plan

Notes:

* Residential Units, parking spaces and FAR may be allocated among the five subareas in Subarea A through the Minor Change process in accord with Section 17-13-0611 of the Chicago Zoning Ordinance.

** The FAR Bonus in Subarea A4 is based upon a Net Site Area of 60,064 square feet. The total floor area bonus is 81,086 square feet.

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ZONING MAP



APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP

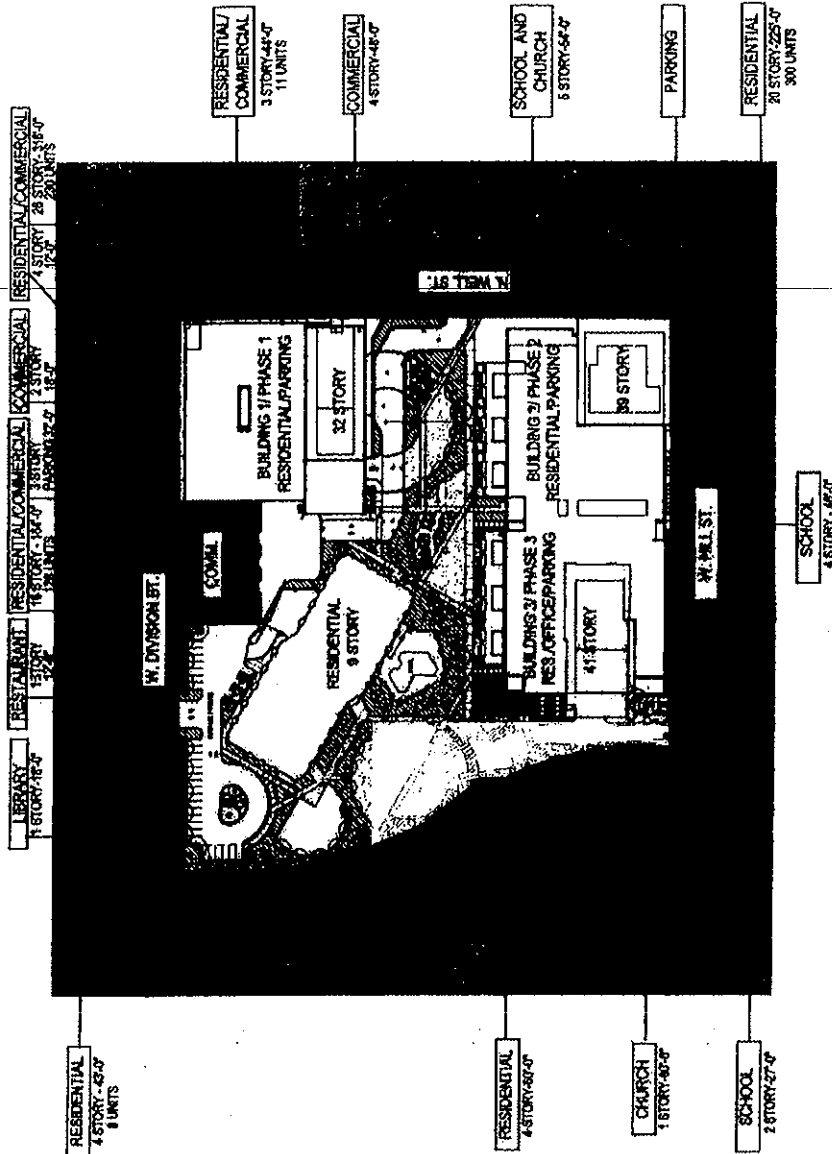
ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.

INTRODUCED: 09/20/18

PLAN COMMISSION: 12/20/18

SCALE: (NTS)

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LAND USE MAP

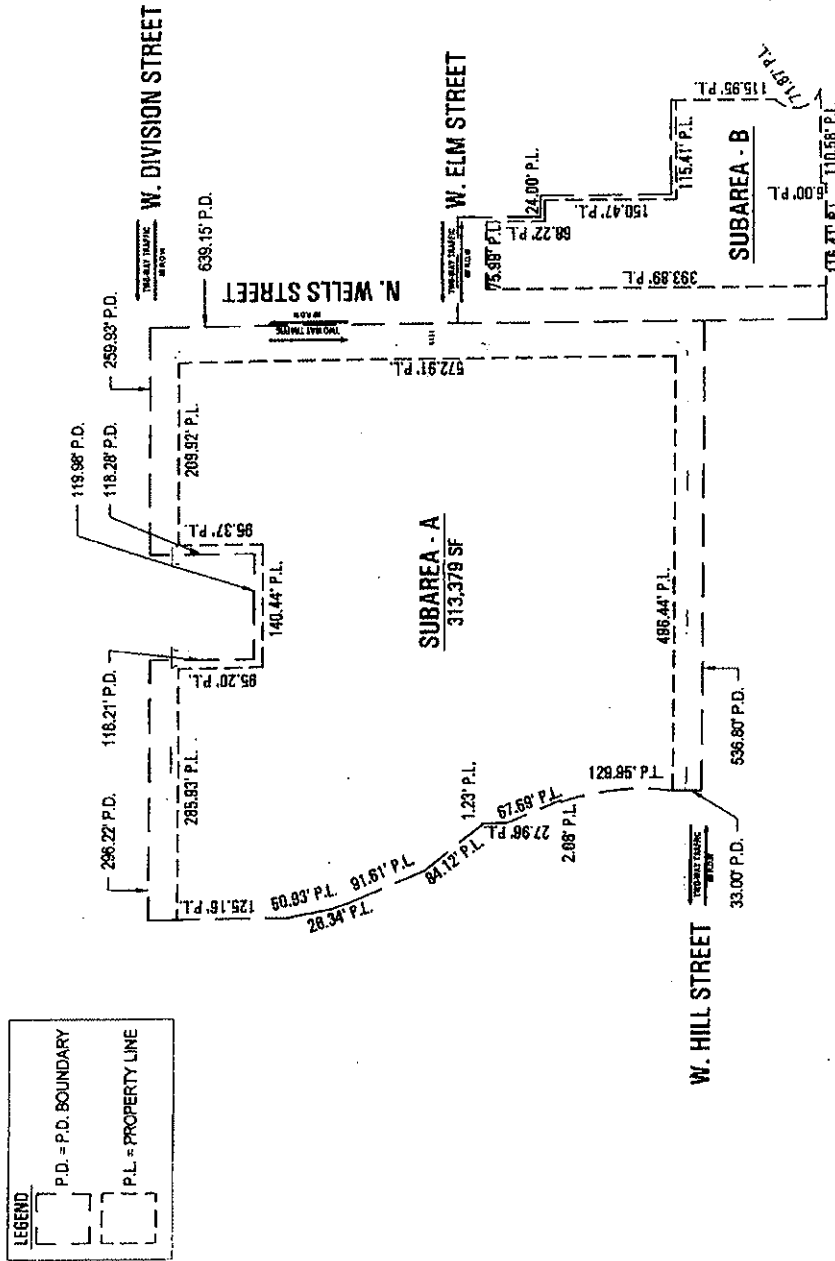
APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP


ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.

INTRODUCED: 09/20/18 | PLAN COMMISSION: 12/20/18 | SCALE: N.T.S.

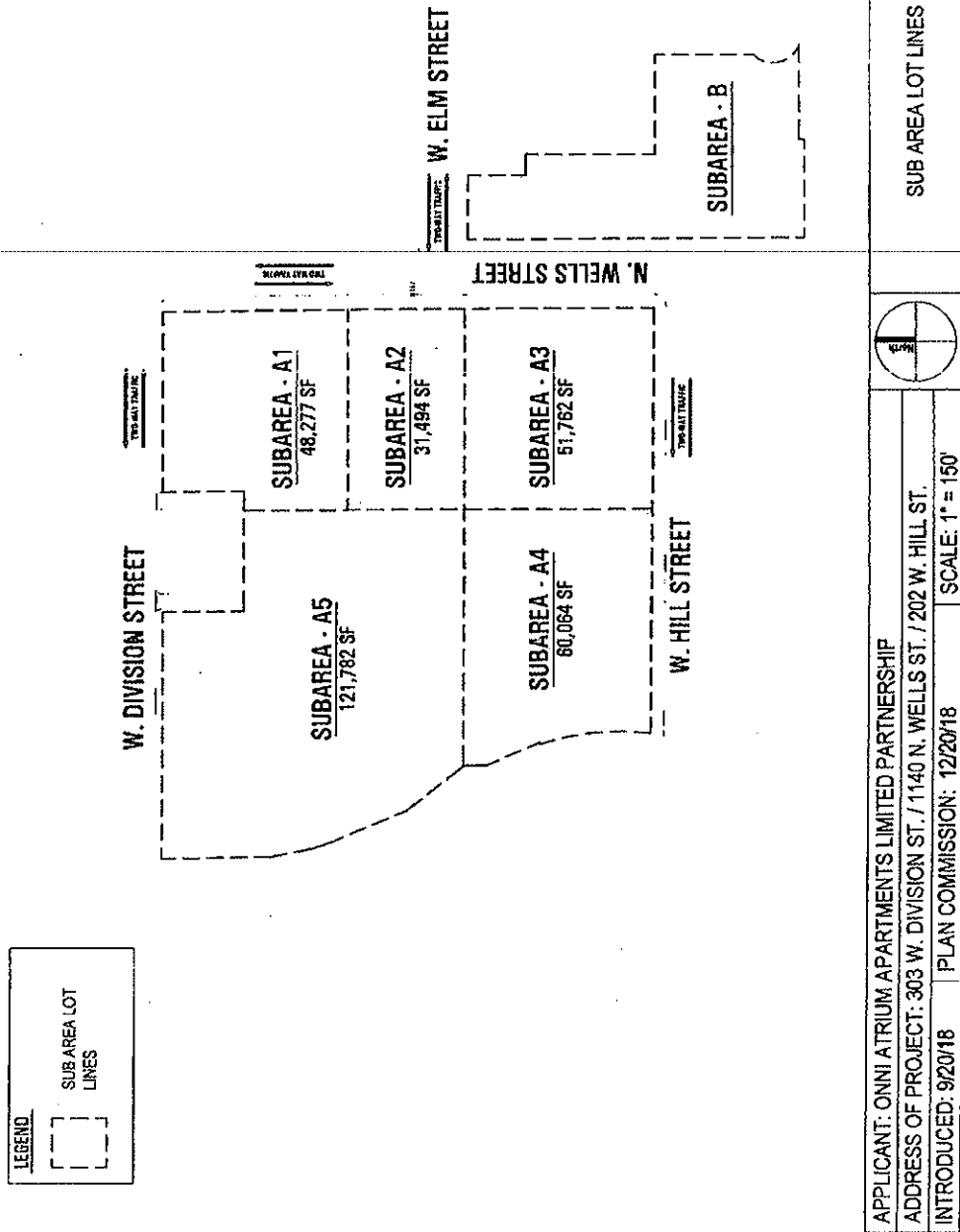


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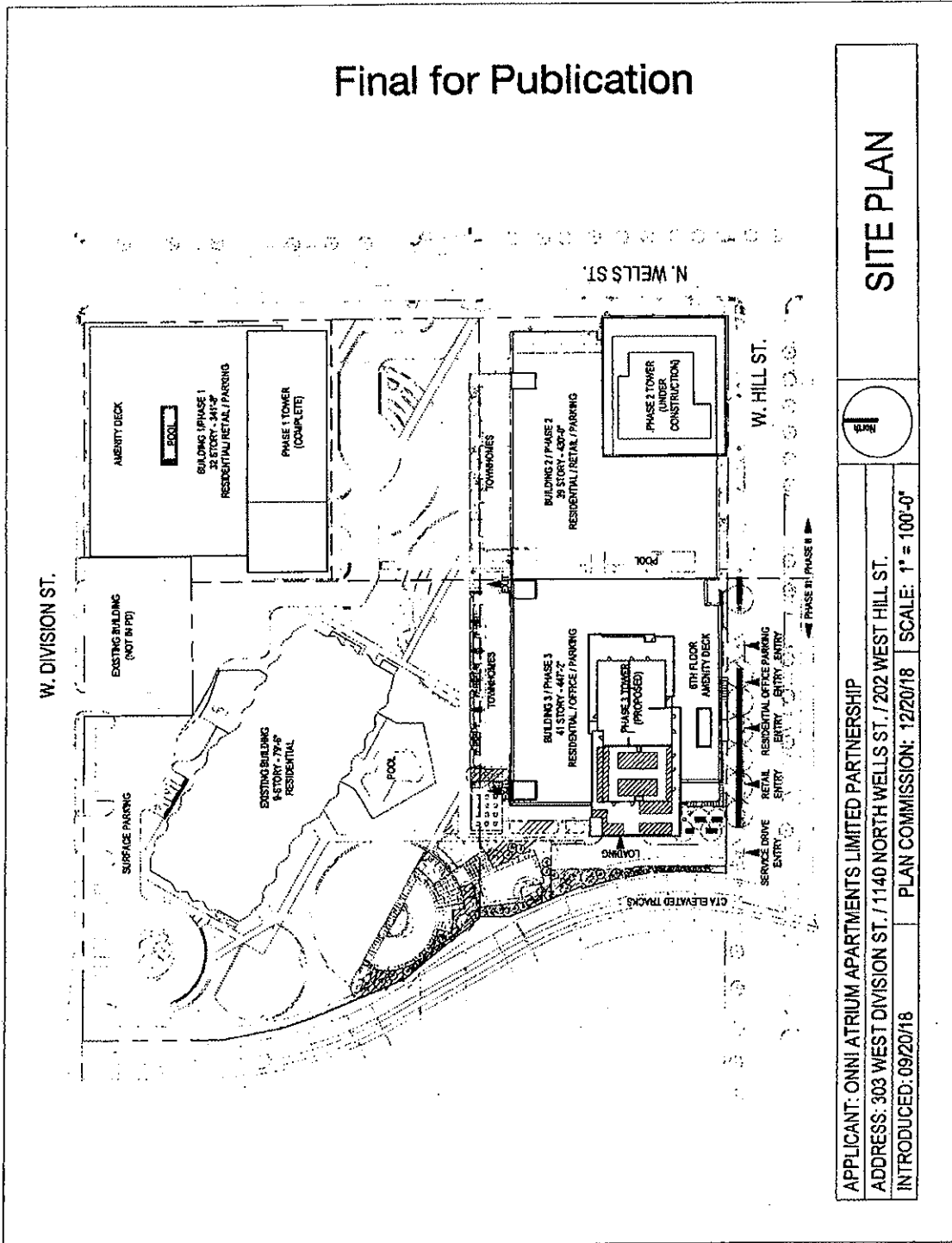


APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS OF PROJECT: 303 W. DIVISION ST. / 1140 N. WELLS ST. / 202 W. HILL ST.	
INTRODUCED: 9/20/18	PLAN COMMISSION: 12/20/18
SCALE: 1" = 150'	
	
P.D. BOUNDARY / PROPERTY LINE	

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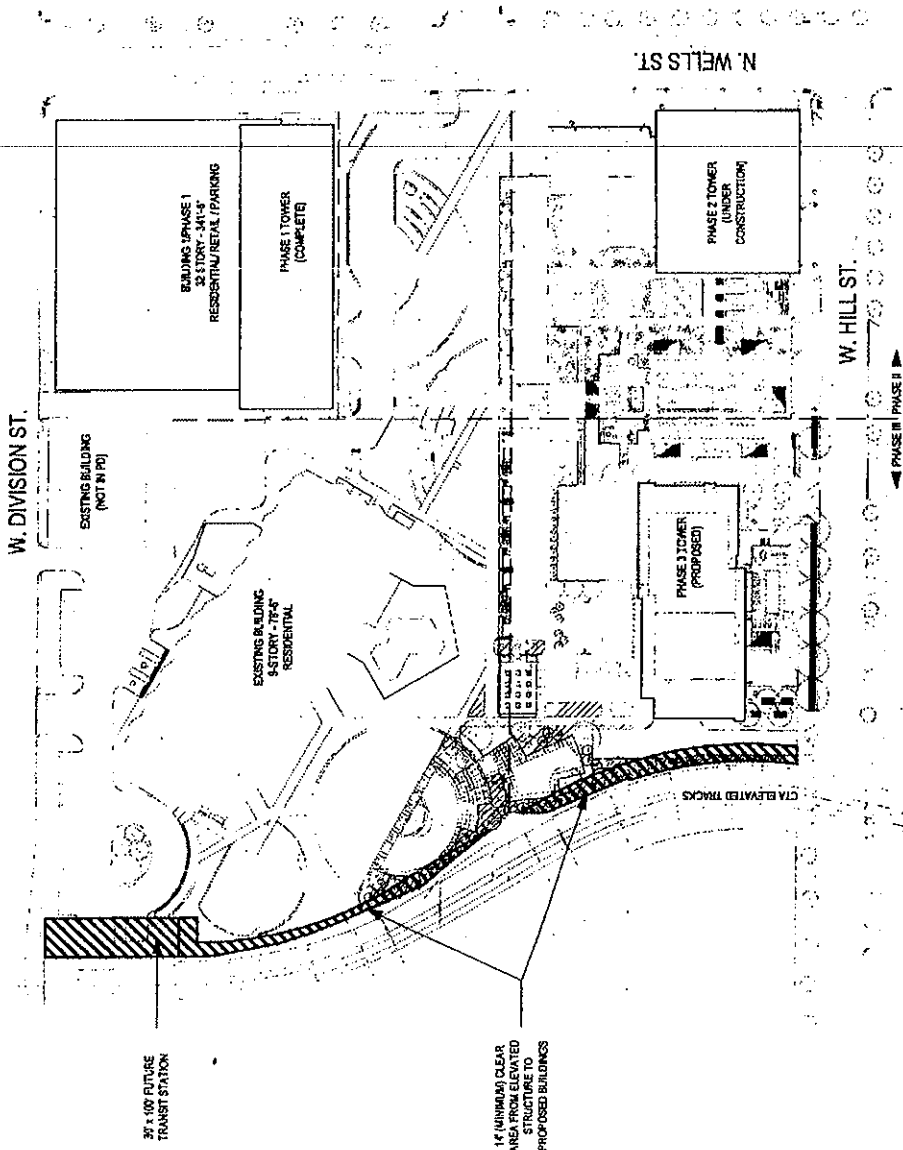
SITE PLAN

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP

ADDRESS: 303 WEST DIVISION ST. / 140 NORTH WELLS ST. / 202 WEST HILL ST.

INTRODUCED: 09/20/18 | PLAN COMMISSION: 12/20/18 | SCALE: 1" = 100'-0"

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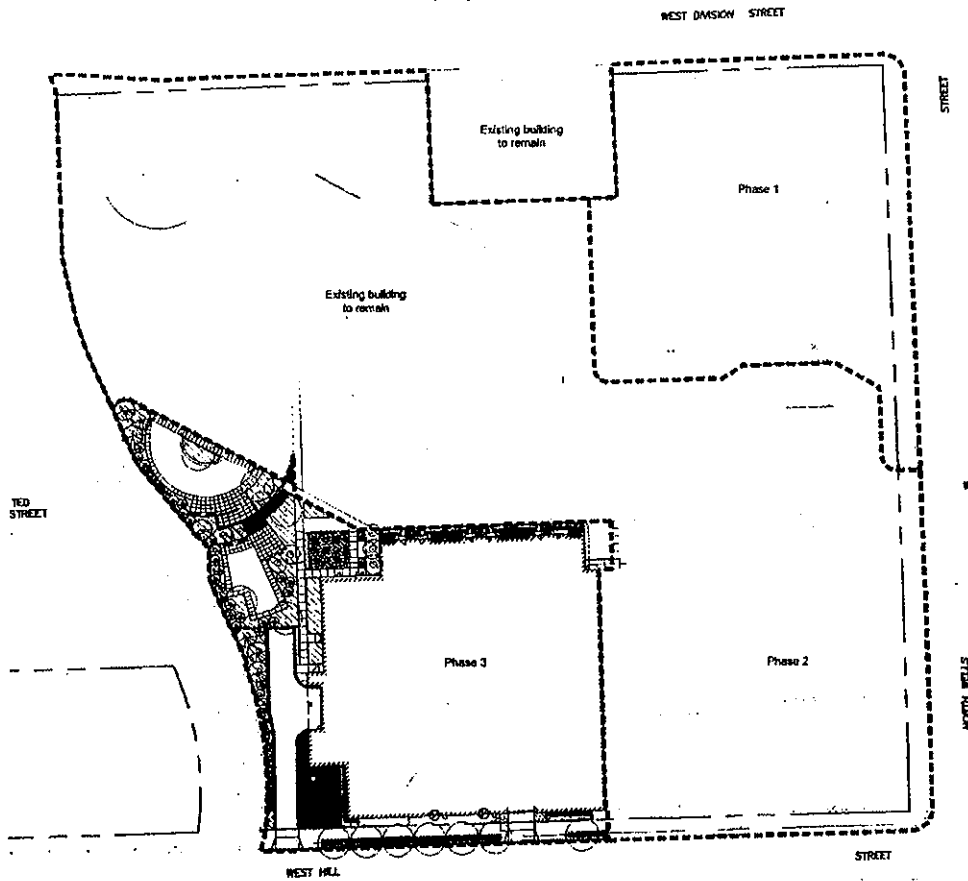
CTA EASEMENT AREAS (SITE PLAN)

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP

ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.

INTRODUCED: 09/20/18 | PLAN COMMISSION: 12/20/18 | SCALE: 1" = 100'-0"

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Overall Landscape Plan

Old Town Park - Phase 3

ONNI Group



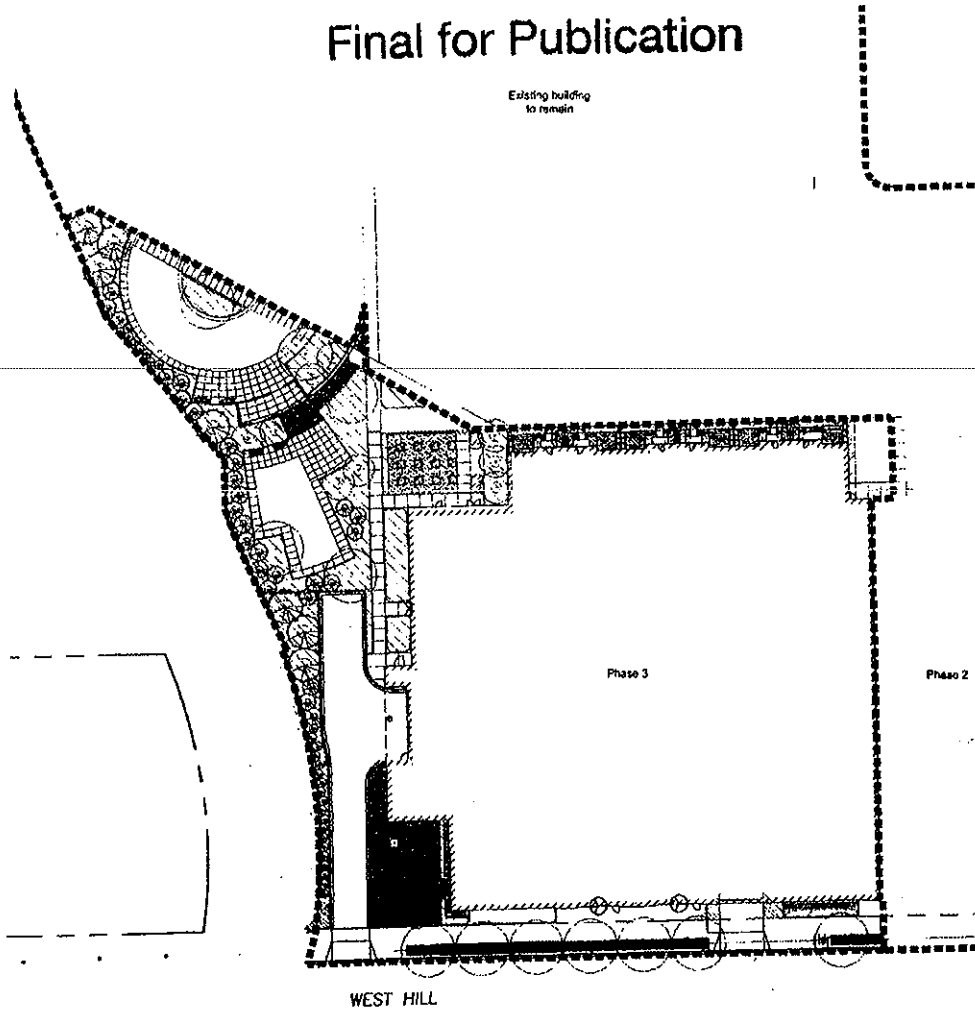
0' 25' 50' 150'

SCALE: 1" = 100'

ISSUE DATE
12/12/2018

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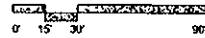
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Landscape Plan

Old Town Park - Phase 3

ONNI Group



SCALE: 1" = 60'

ISSUE DATE
12/12/2018

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Code	Botanical Name	Common Name	Size	Qty	Notes
Shade Trees					
GD14.0	<i>Gymnocladus dioicus</i> (male)	Kentucky Coffeetree	4" C		
Ornamental Trees					
APH.06	<i>Acer palmatum</i> 'Hefner's Red Select'	Hefner's Red Select Japanese Maple	6" HT		Multi-stem
AMA.08	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8" HT		Multi-stem
BNH.08	<i>Betula nigra</i> 'Cully'	Heritage Birch	8" HT		Multi-stem
HVM.06	<i>Hamamelis virginiana</i> 'Harvest Moon'	Harvest Moon Common Witch Hazel	6" HT		Multi-stem
Evergreen Trees					
PAB.08	<i>Picea abies</i>	Norway Spruce	8" HT		
PIG.08	<i>Picea glauca</i>	White Spruce	8" HT		
Evergreen Shrubs					
BWN.24	<i>Buxus 'Wilson'</i>	Northern Charm Boxwood	24" HT		Plant 3'-0" O.C.
PMU.36	<i>Pinus mugo</i>	Mugo Pine	36" HT		Plant 8'-0" O.C.
TMR.24	<i>Taxus x media</i> 'Tauntonii'	Taunton Intermediate Yew	24" HT		Plant 3'-0" O.C.
TOW.36	<i>Thuja occidentalis</i> 'Woodwardii'	Woodward Arborvitae	36" HT		Plant 8'-0" O.C.
Shrubs					
CSA.36	<i>Comus sericea</i> 'Alleman's Compact'	Alleman's Compact Red-Osier Dogwood	36" HT		Plant 4'-0" O.C.
CSK.36	<i>Comus sericea</i> 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	36" HT		Plant 4'-0" O.C.
HPL.36	<i>Hydrangea paniculata</i> 'Jane'	Little Lime Hydrangea	36" HT		Plant 4'-0" O.C.
HYL.36	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	36" HT		Plant 5'-0" O.C.
Perennials					
ATS.6	<i>Allium tanguticum</i> 'Summer Beauty'	Summer Beauty Ornamental Chive	1 GAL		Plant 12" O.C.
CAK.6	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 GAL		Plant 18" O.C.
CBR.6	<i>Carex brevior</i>	Plains Oval Sedge	1 GAL		Plant 12" O.C.
CFL.6	<i>Carex flacca</i>	Blue Green Sedge	1 GAL		Plant 12" O.C.
CPE.6	<i>Carex pennsylvanica</i>	Pennsylvania Sedge	1 GAL		Plant 12" O.C.
GSU.6	<i>Geranium sanguineum</i> 'Album'	White Bloody Cranesbill Geranium	1 GAL		Plant 12" O.C.
HBS.6	<i>Hosta 'Brother Stefan'</i>	Brother Stefan Hosta	1 GAL		Plant 18" O.C.
HRS.6	<i>Hosta 'Royal Standard'</i>	Royal Standard Plainlily Lily	1 GAL		Per plan
HMA.6	<i>Hakonechloa macroa</i> 'Aureola'	Aureola Japanese Forest Grass	1 GAL		Plant 12" O.C.
HPD.6	<i>Heuchera</i> 'Plum Pudding'	Plum Pudding Coralbells	1 GAL		Plant 12" O.C.
WFP.6	<i>Nepeta x faassenii</i> 'Blue Wonder'	Blue Wonder Catmint	1 GAL		Plant 12" O.C.
POA.6	<i>Polystichum acrostichoides</i>	Christmas Fern	1 GAL		Per plan
SES.6	<i>Sesleria autumnalis</i>	Autumn Moor Grass	1 GAL		Plant 12" O.C.
SH.6	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 GAL		Plant 18" O.C.
SOH.6	<i>Stachys officinalis</i> 'Hummelo'	Alpine Betony	1 GAL		Plant 12" O.C.
Bulbs					
ALM.0	<i>Allium moly</i>	Lily Leek	BULB		Per plan
CMQ.0	<i>Camassia quamash</i>	Small Camas	BULB		Per plan
NLB.0	<i>Narcissus 'Lemon Beauty'</i>	Lemon Beauty Daffodil	BULB		Per plan
NTQ.0	<i>Narcissus triandrus</i> 'Quail'	Quail Daffodil	BULB		Per plan



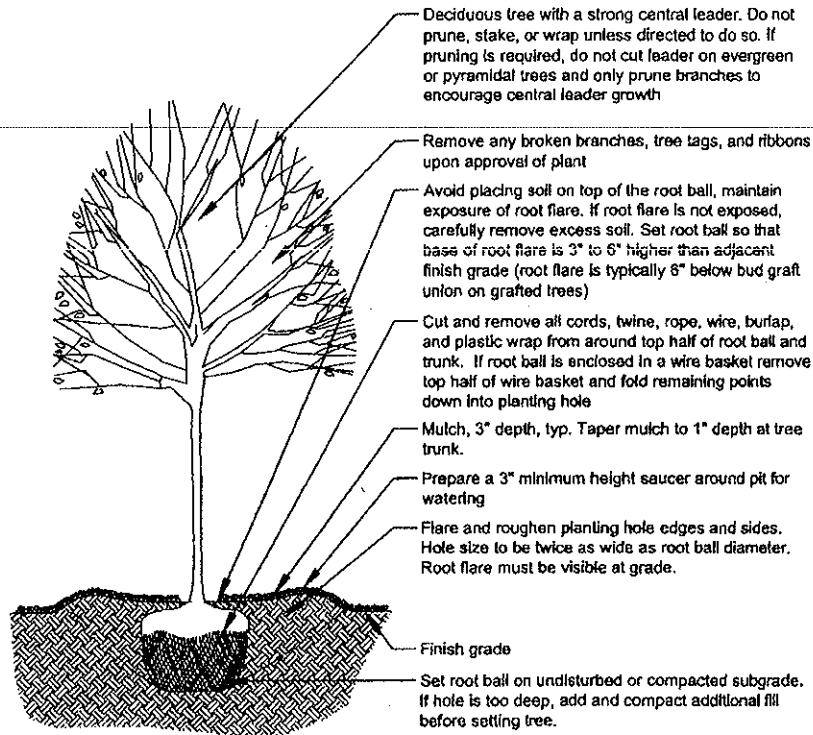
Plant List

Old Town Park - Phase 3

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Shade Tree

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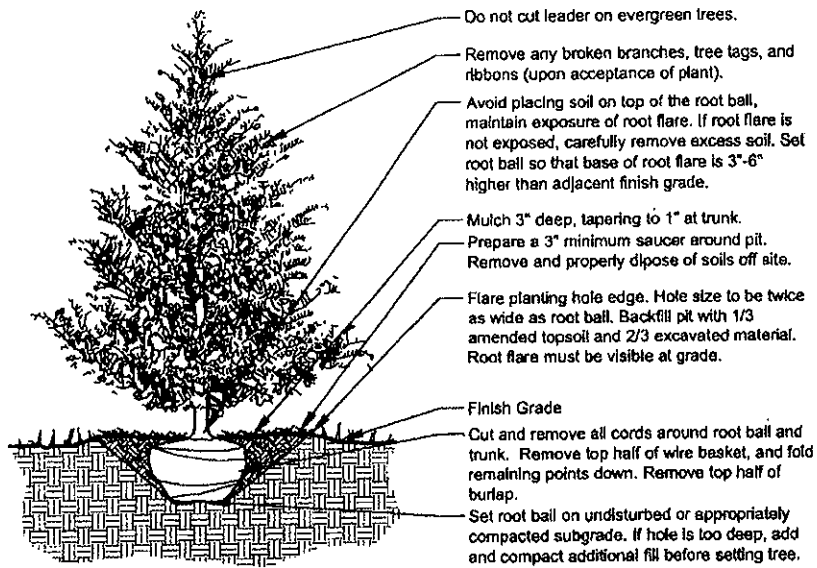
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ISSUE DATE
12/12/2018

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Evergreen Tree

Old Town Park - Phase 3

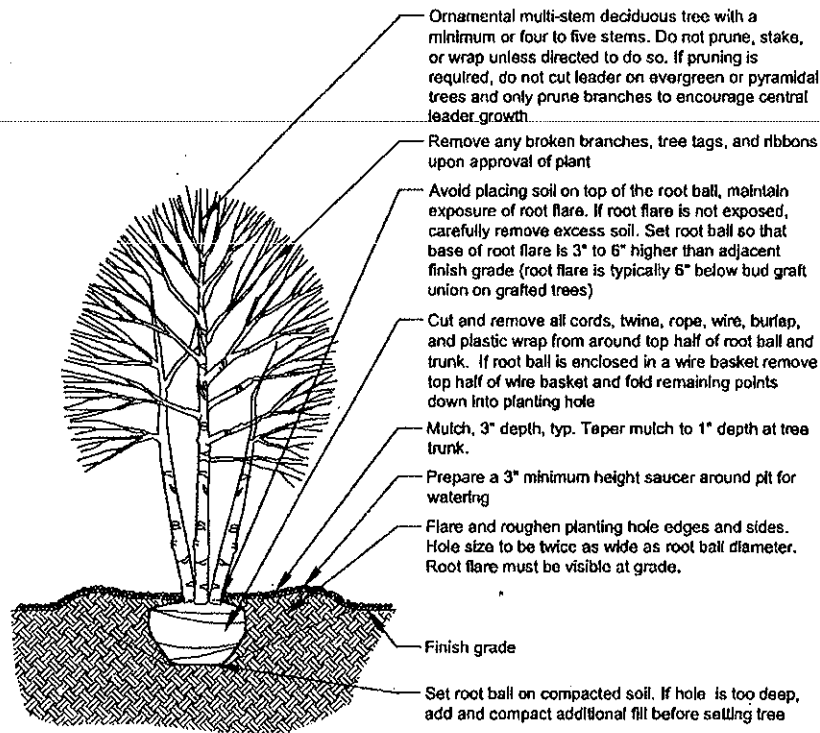
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Ornamental Tree

Old Town Park - Phase 3

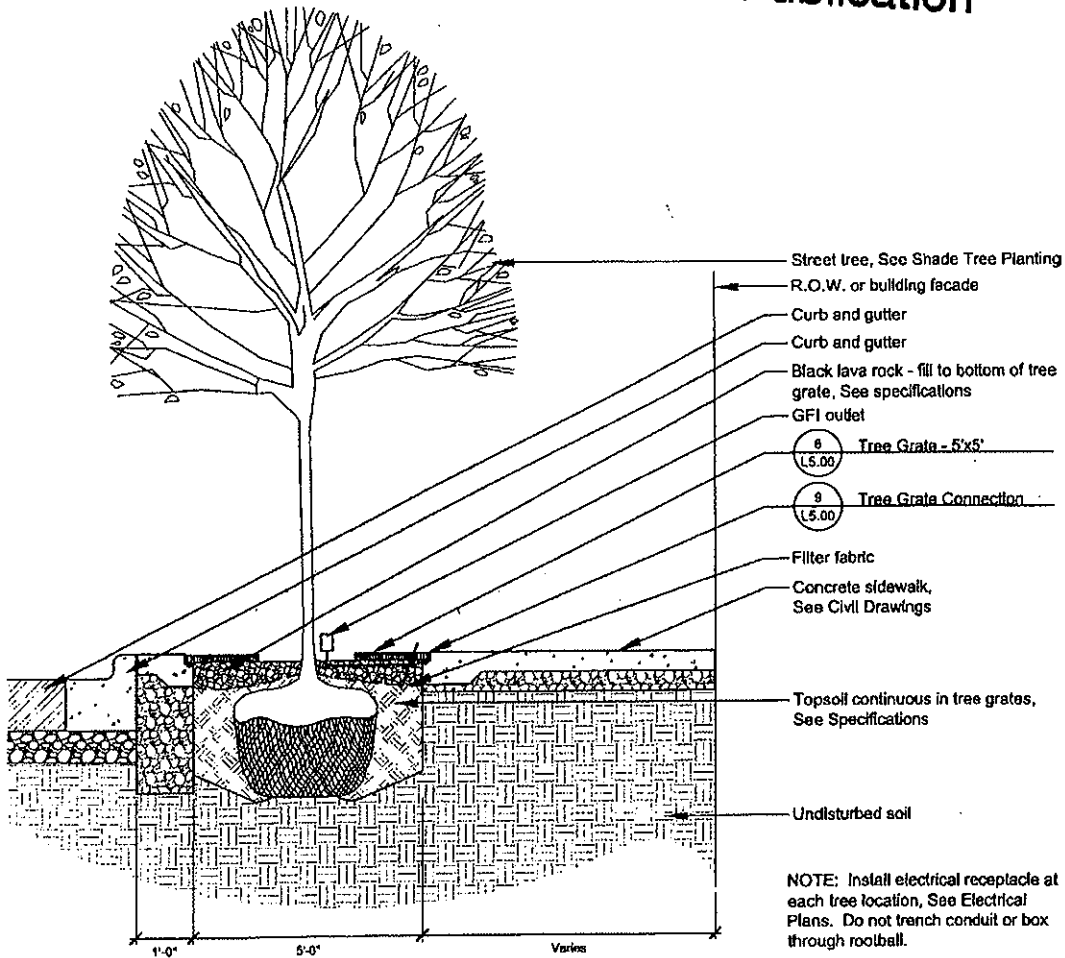
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Shade Tree in Tree Grate

Old Town Park - Phase 3

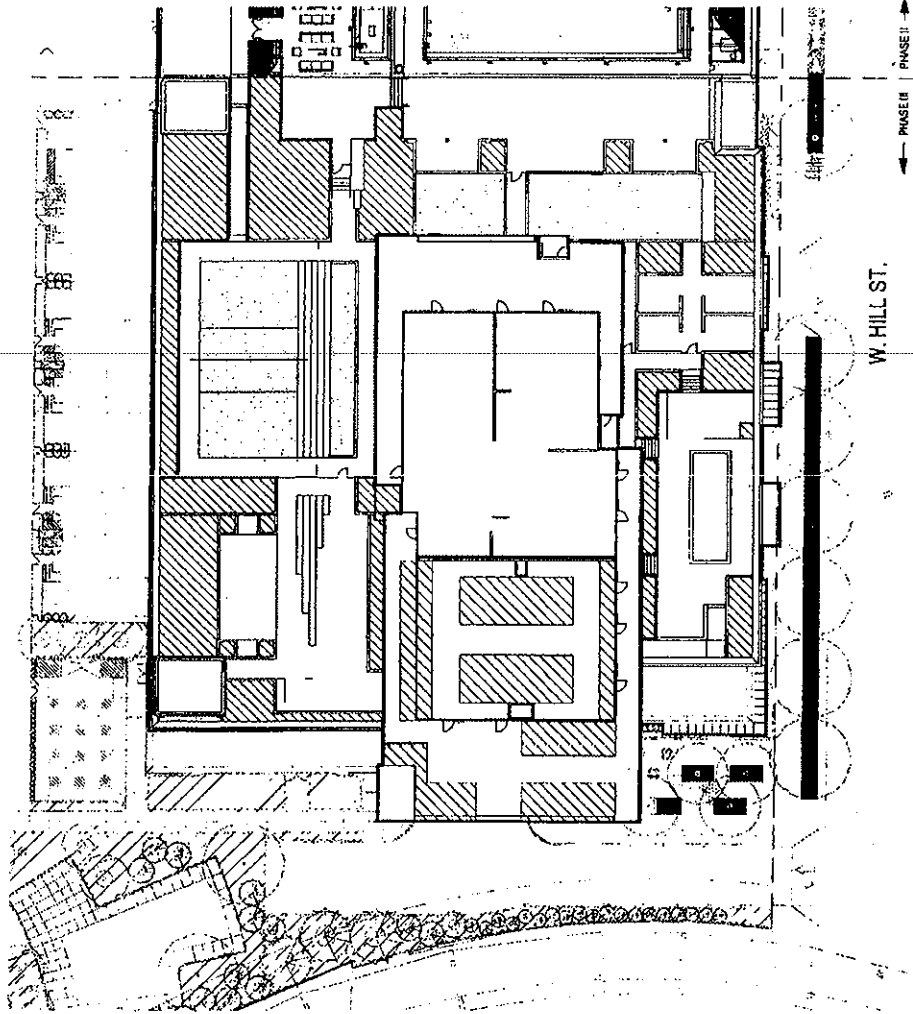
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W. HILL ST.

← PHASE I | PHASE II →

GREEN ROOF PLAN - PHASE III



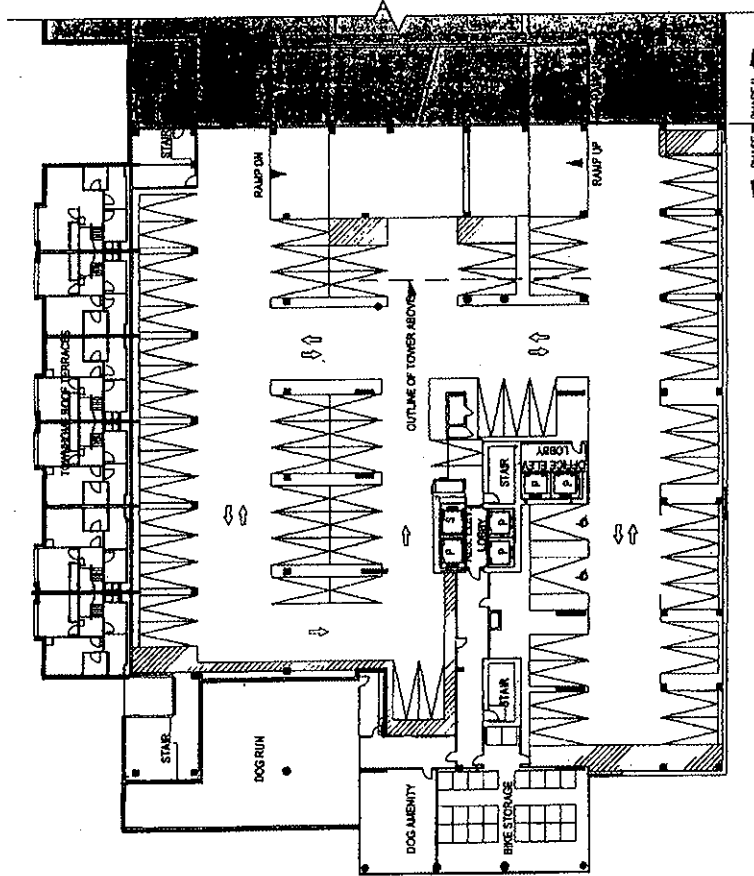
APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP

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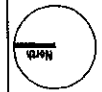
INTRODUCED: 09/20/18 | PLAN COMMISSION: 12/20/16 | SCALE: 1" = 40'-0"

GREEN ROOF SUMMARY	
CRUSS ROOF AREA =	41,208 S.F.
MECHANICAL EXCLUSION =	6,023 S.F.
NET ROOF AREA =	39,185 S.F.
GREEN ROOF AREA =	10,296 S.F.

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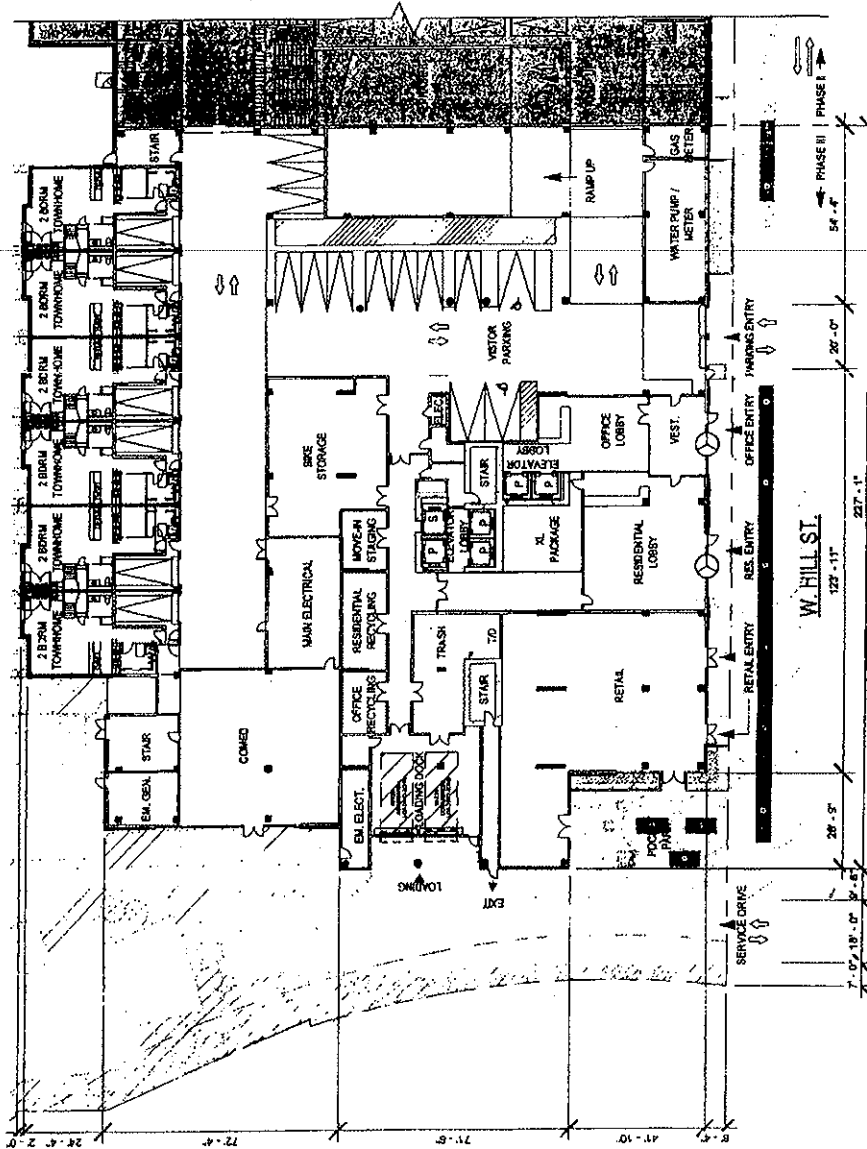


APPLICANT: OMNI ATRIUM APARTMENTS LIMITED PARTNERSHIP
ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.
INTRODUCED: 09/20/18 | PLAN COMMISSION: 12/20/18 | SCALE: 1" = 40'-0"



PARKING PLAN - PHASE III

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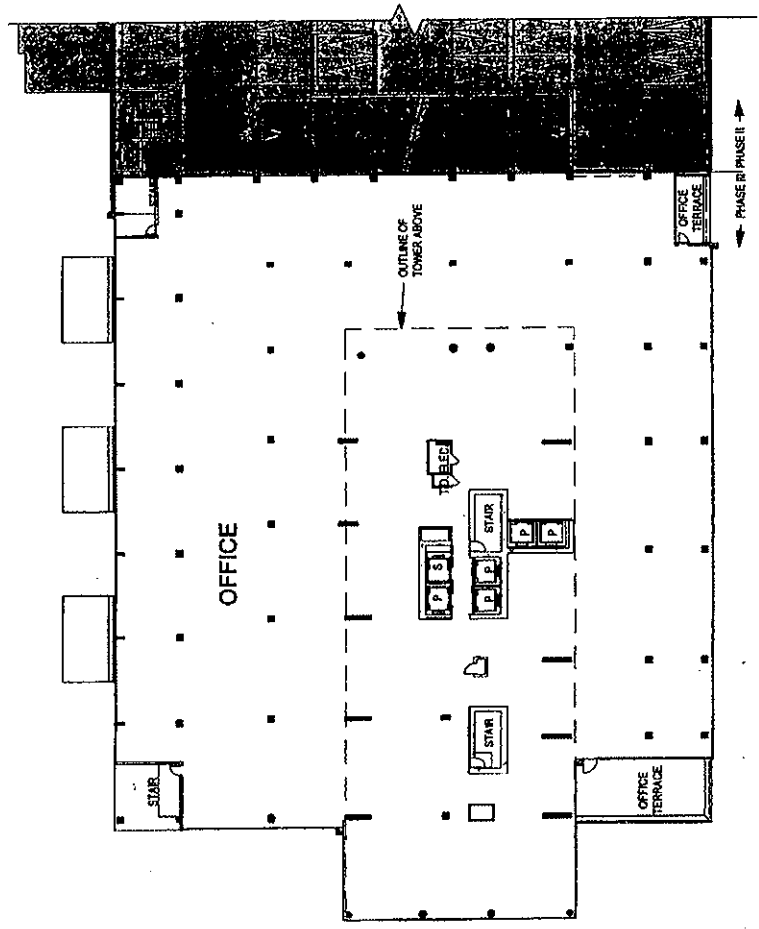
APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP
 ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.
 INTRODUCED: 09/20/18
 PLAN COMMISSION: 12/20/18
 SCALE: 1" = 40'-0"

1ST FLOOR PLAN - PHASE III



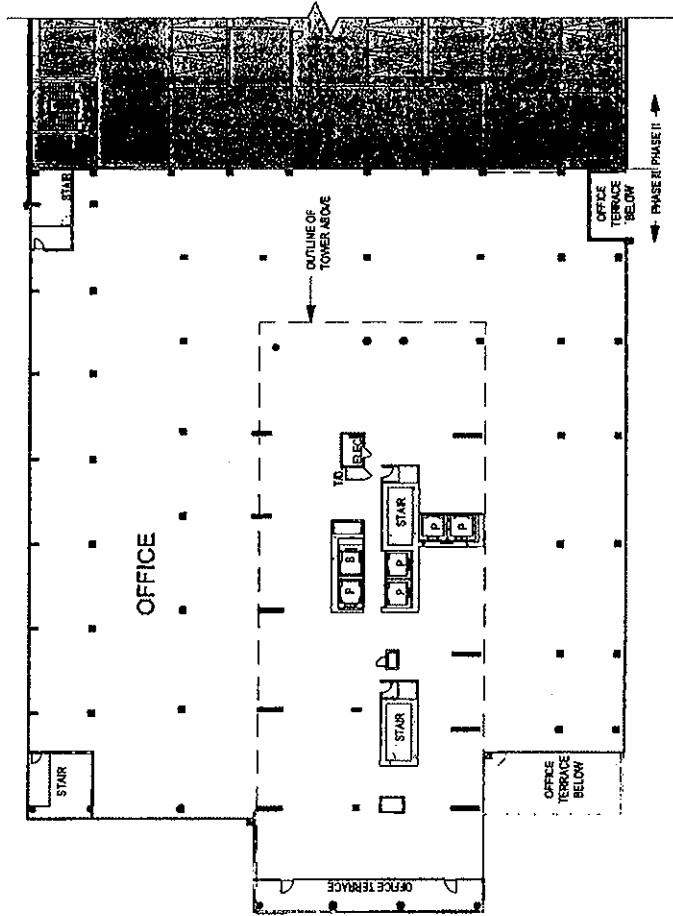
W. HILL ST.
 123'-11"
 237'-11"
 20'-0"
 54'-0"
 7'-0" / 18'-0" / 8'-5"
 20'-5"
 41'-10"
 71'-5"
 72'-4"
 24'-4" / 2'-0"

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APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP	
ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.	
INTRODUCED: 09/20/18	PLAN COMMISSION: 12/20/18
SCALE: 1" = 40'-0"	
4TH FLOOR PLAN - PHASE III	

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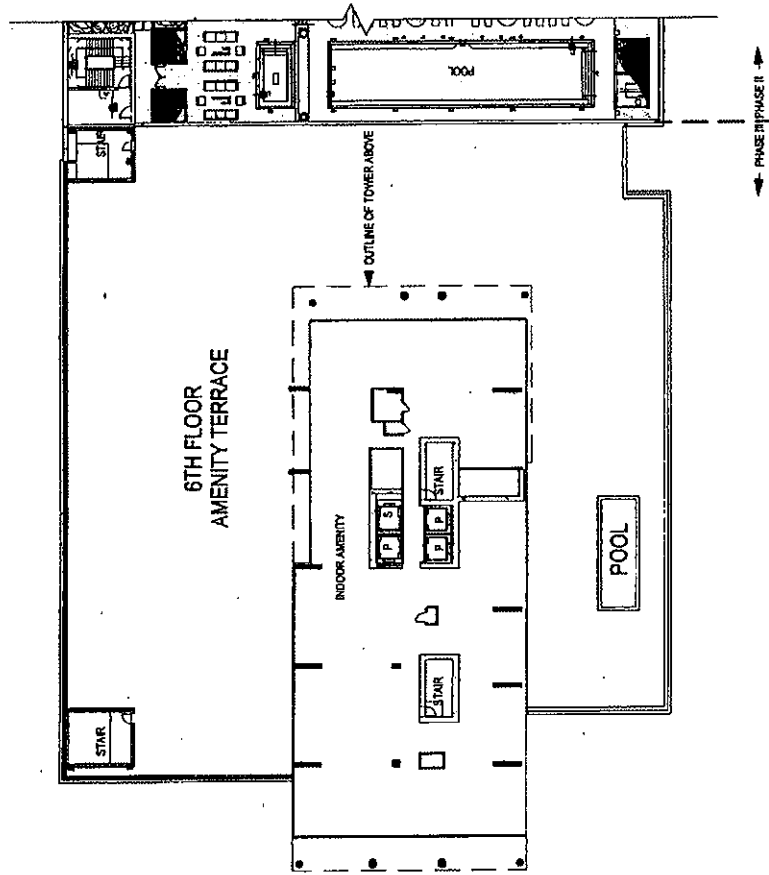


APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP
ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.
INTRODUCED: 09/20/18
PLAN COMMISSION: 12/20/18
SCALE: 1" = 40'-0"



5TH FLOOR PLAN - PHASE III

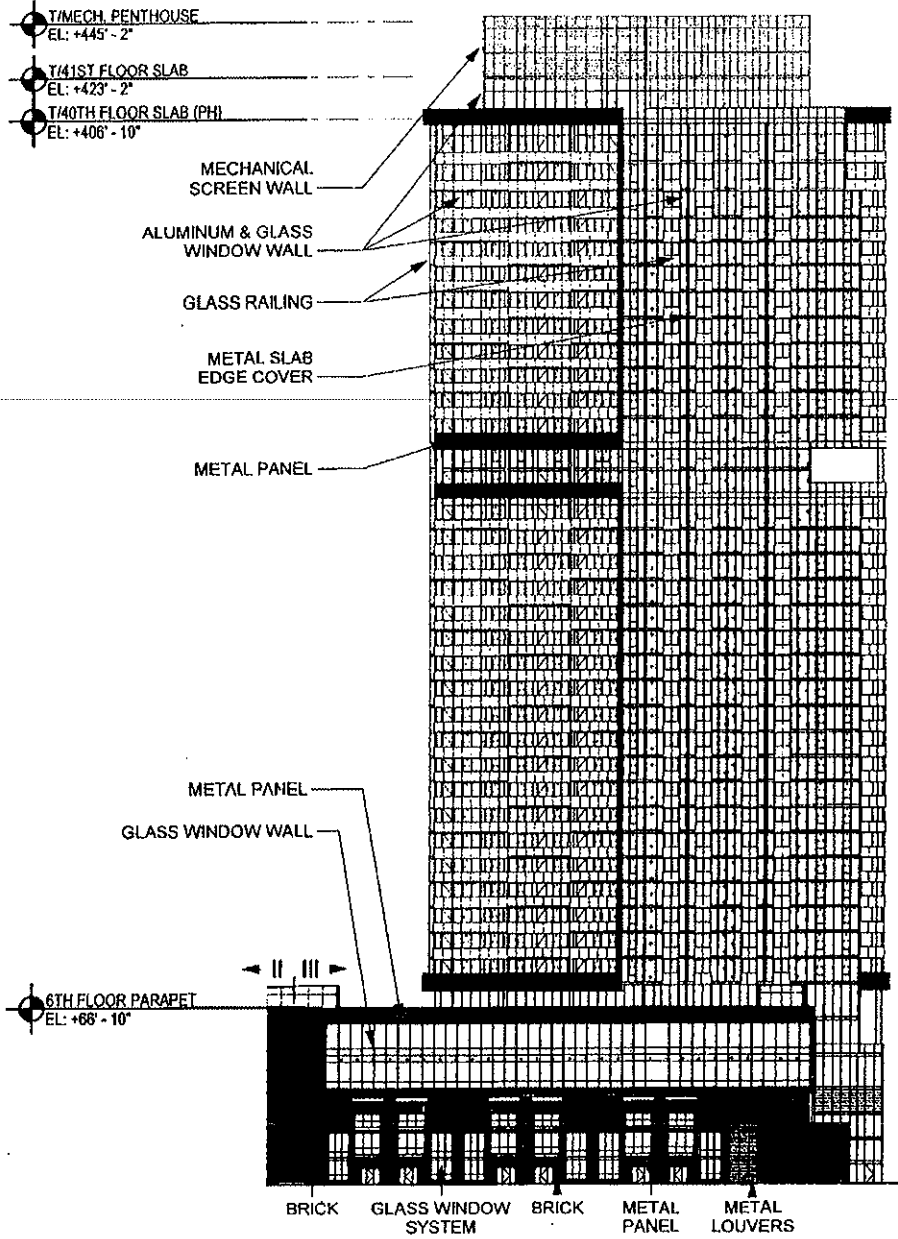
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6TH FLOOR PLAN - PHASE III

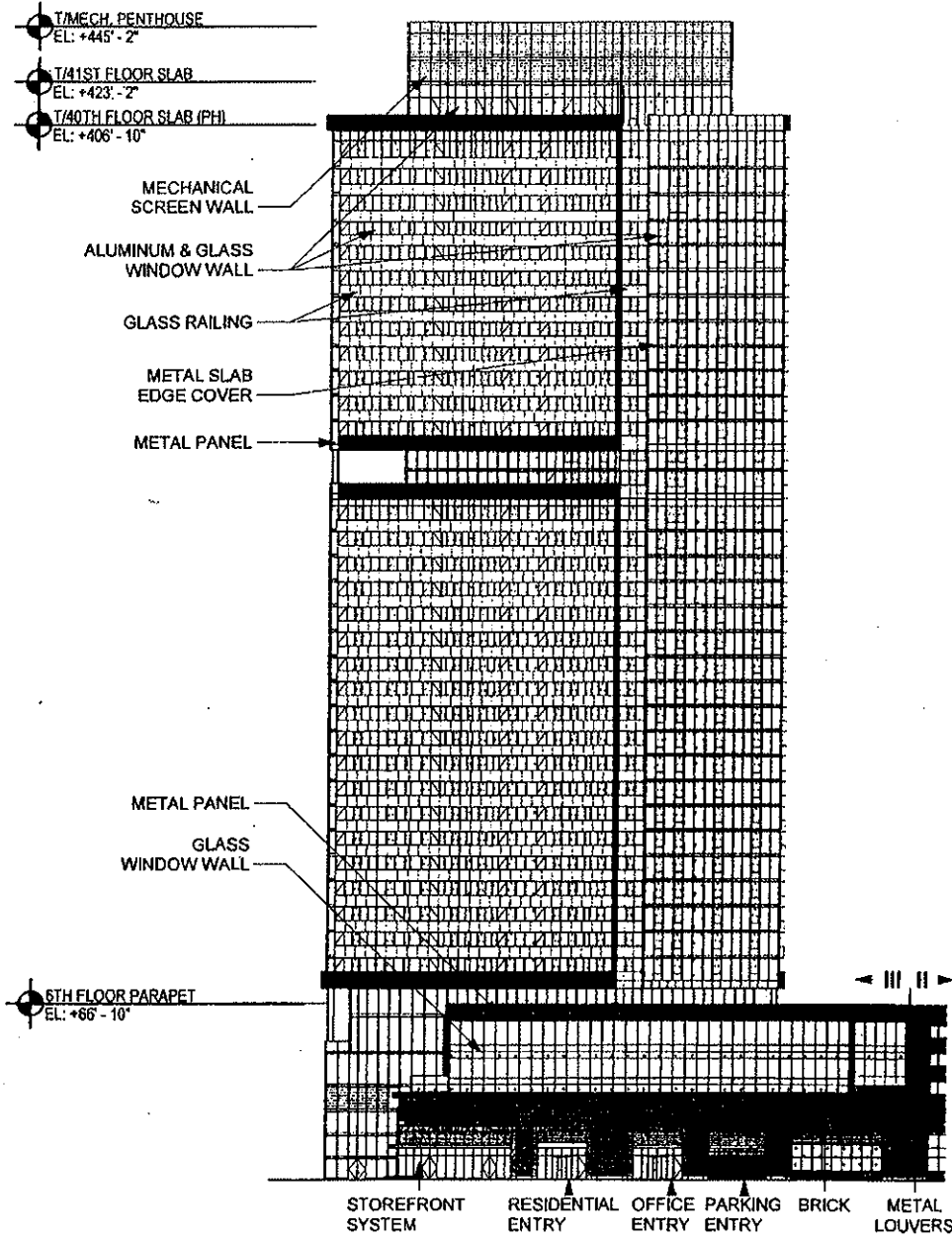
APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP
ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST.
INTRODUCED: 09/20/18 | PLAN COMMISSION: 12/20/18 | SCALE: 1" = 40'-0"

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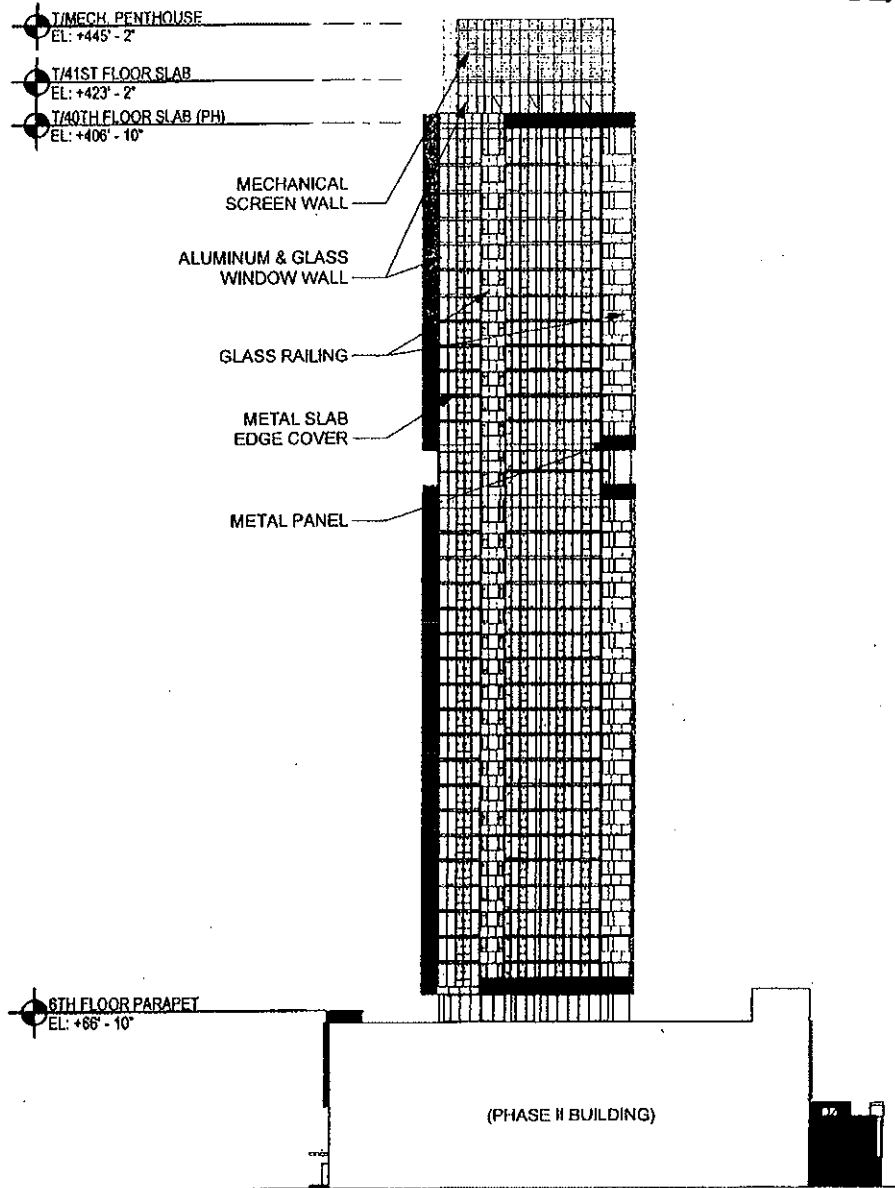
APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP		NORTH ELEVATION PHASE III
ADDRESS: 303 W. DIVISION ST. / 1140 N. WELLS ST. / 202 W. HILL ST.		
INTRODUCED: 09/20/18	PLAN COMMISSION: 12/20/18	

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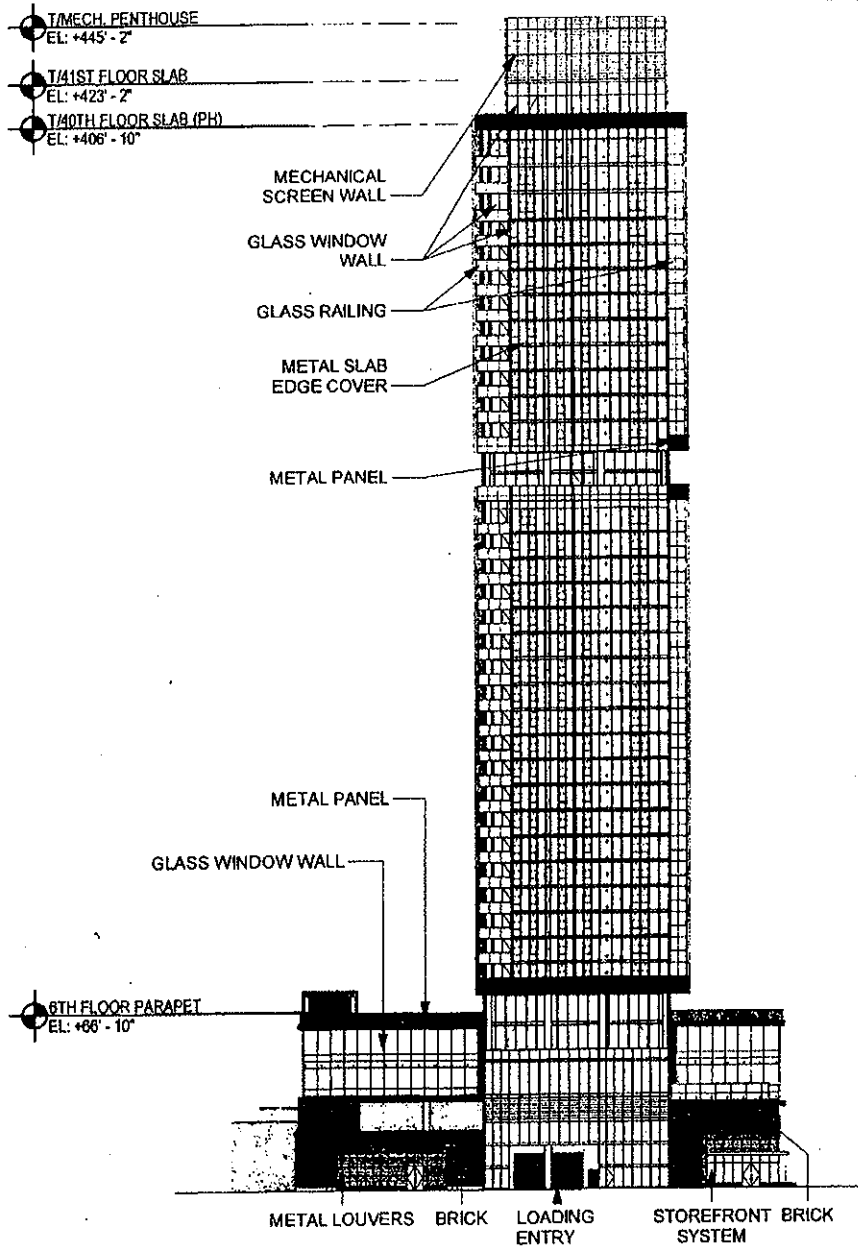
APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP			SOUTH ELEVATION PHASE III
ADDRESS: 303 W. DIVISION ST. / 1140 N. WELLS ST. / 202 W. HILL ST.			
INTRODUCED: 09/20/18	PLAN COMMISSION: 12/20/18	SCALE: 1" = 50'-0"	

Final for Publication



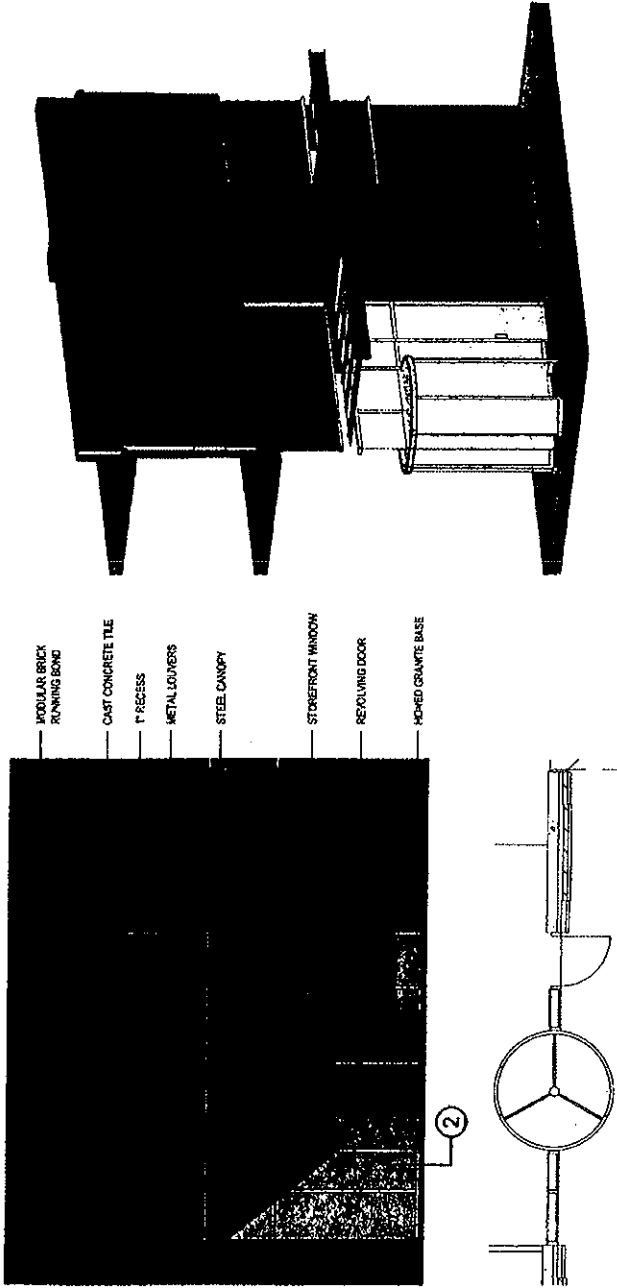
APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP			EAST ELEVATION PHASE III
ADDRESS: 303 W. DIVISION ST. / 1140 N. WELLS ST. / 202 W. HILL ST.			
INTRODUCED: 09/20/18	PLAN COMMISSION: 12/20/18	SCALE: 1" = 50'-0"	

Final for Publication



APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP			WEST ELEVATION PHASE III
ADDRESS: 303 W. DIVISION ST. / 1140 N. WELLS ST. / 202 W. HILL ST.			
INTRODUCED: 09/20/18	PLAN COMMISSION: 12/20/18	SCALE: 1" = 50'-0"	

Final for Publication



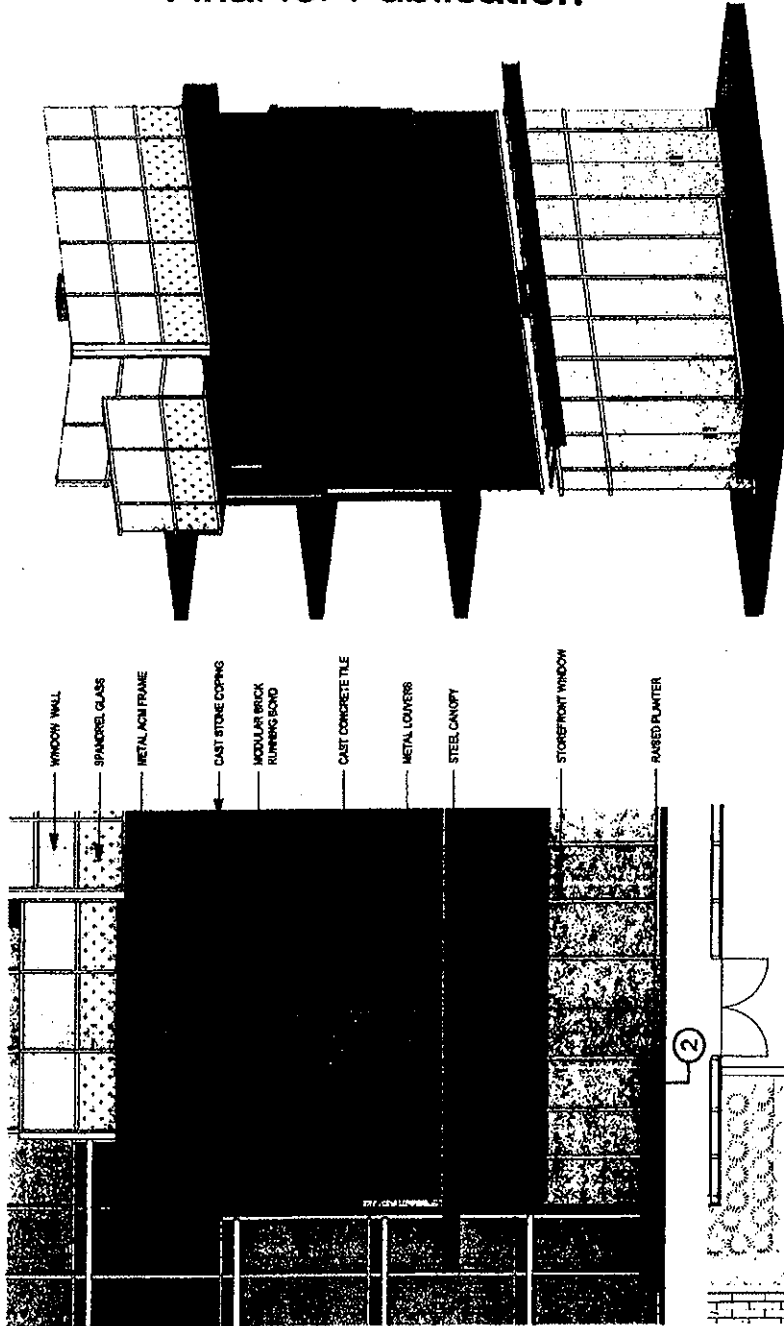
- MODULAR BRICK RUNNING BOND
- CAST CONCRETE TILE
- 1" RECESS
- METAL LOUVERS
- STEEL CANOPY
- STOREFRONT WINDOW
- REVOLVING DOOR
- HUBED GRANITE BASE

① ENLARGED TYP. BAY @ OFFICE ENTRY

② AXONOMETRIC SECTION @ OFFICE ENTRY

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST. INTRODUCED: 09/20/18		ENLARGED TYPICAL BAY @ OFFICE ENTRY - PHASE III
PLAN COMMISSION: 12/20/18	SCALE: 1/8" = 1'-0"	

Final for Publication

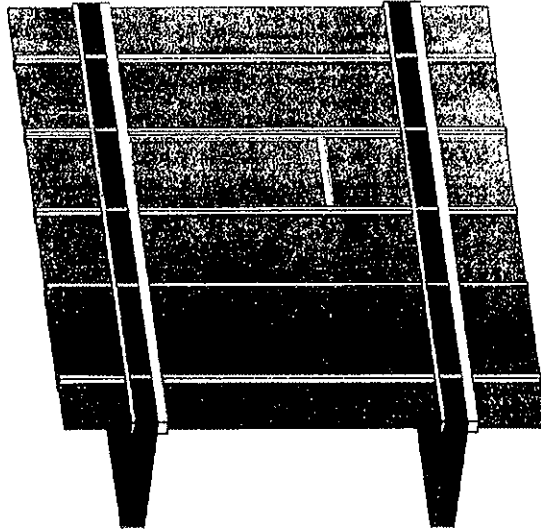


② AXONOMETRIC SECTION @ RETAIL ENTRY

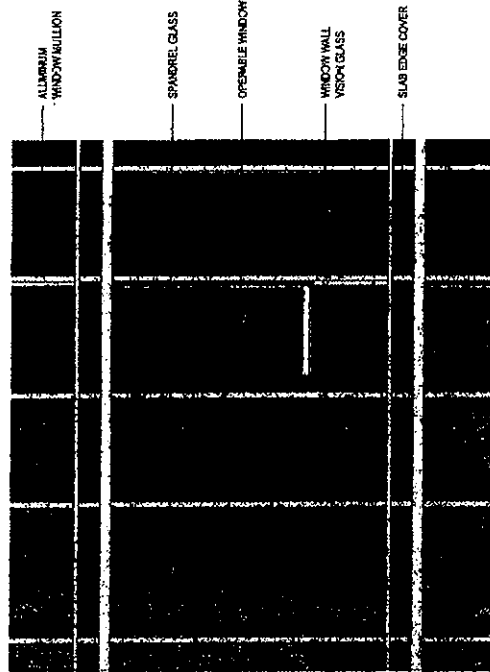
③ ENLARGED TYP. BAY @ RETAIL ENTRY

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS: 303 WEST DIVISION ST. / 140 NORTH WELLS ST. / 202 WEST HILL ST. INTRODUCED: 09/20/18		PLAN COMMISSION: 12/20/18		SCALE: 1/8" = 1'-0"	
			ENLARGED TYPICAL BAY @ RETAIL ENTRY - PHASE III		

Final for Publication



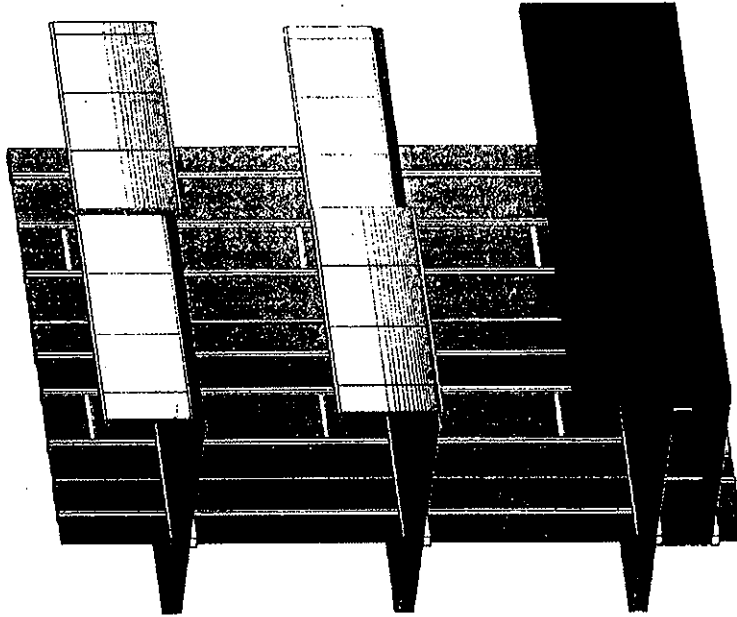
② AXONOMETRIC SECTION @ WINDOW WALL



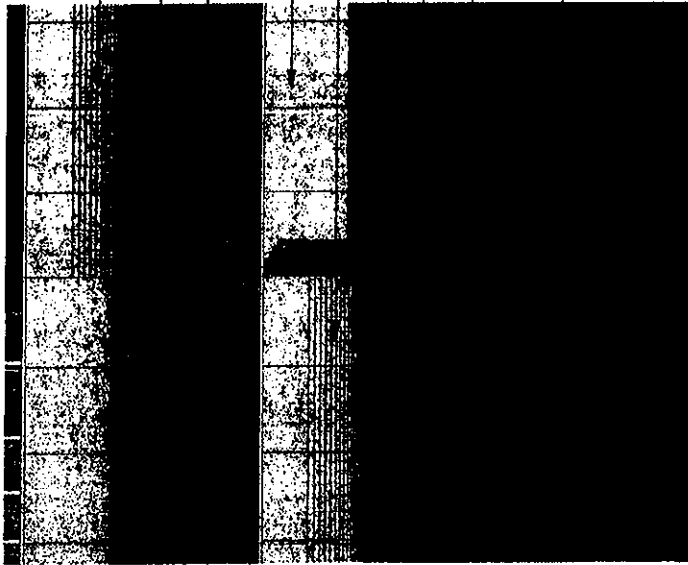
① ENLARGED TYPICAL BAY @ WINDOW WALL

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST. INTRODUCED: 09/20/18 PLAN COMMISSION: 12/20/18 SCALE: 1/4" = 1'-0"		ENLARGED TYPICAL BAY @ WINDOW WALL - PHASE III
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Final for Publication



② AXONOMETRIC SECTION @ TERRACE



① ENLARGED TYPICAL BAY @ TERRACE

- BALCONY GLASS RAIL PATTERN
- PAINTED SLAB EDGE
- ALUMINUM WINDOW/RAILING
- BALCONY GLASS RAILING
- BALCONY GLASS RAIL PATTERN
- PAINTED SLAB EDGE
- WINDOW WALL VISION GLASS
- OPERABLE WINDOW
- ACM METAL FRAME

APPLICANT: ONNI ATRIUM APARTMENTS LIMITED PARTNERSHIP ADDRESS: 303 WEST DIVISION ST. / 1140 NORTH WELLS ST. / 202 WEST HILL ST. INTRODUCED: 09/20/18		ENLARGED TYPICAL BAY @ TERRACE PHASE III
PLAN COMMISSION: 12/20/18	SCALE: 3/16" = 1'-0"	



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

July 20, 2017

Edward J. Kus
Taft Stettinius & Hollister LLP
111 East Wacker
Suite 2800
Chicago, IL 60601

**Re: Administrative Relief request for Planned Development No. 136, Subarea A
Phases of development and modifications to Building 2, 202 W. Hill Street**

Dear Mr. Kus:

Please be advised that your request for a minor change to Residential Planned Development No. 136 ("PD 136"), Subarea A, as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

PD 136 was approved by the City Council on July 25, 2012, and governs the property located at the southwest corner of W. Division and N. Wells Streets, formerly known as Atrium Village and now known as Old Town Park. On May 27, 2015, administrative relief was given for a height increase and the reallocation of 75 dwelling units from Building 4 to Building 1, located at 1150 N. Wells St. Building 1 is currently under construction and scheduled for completion in the summer of 2018.

Your client and the owner of all of the property within Subarea A, Onni Group, is ready to move forward with Phase 2, Building 2, to be located at 202 W. Hill St. and is seeking administrative relief for the following changes to the overall development and Building 2:

- The retention of an existing 9-story building and as a result, the reconfiguration of the overall development, including the elimination of Building's 4 and 5, and Phases 4 and 5. The overall open space will be reconfigured and will increase from approximately 87,057 square feet to approximately 93,490 square feet.
- Modifications to the plans and elevations of Building 2, including a height increase from 340 to 430 feet to accommodate additional dwelling units and an increased floor-to-ceiling height. As a result of the elimination of Building's 4 and 5, the number of units within Building 2 will increase from 337 to 428 units and the number of parking spaces will increase from 253 to 426 spaces. Six of the units are townhomes, as previously approved in the PD. The building's design and cladding have been modified and its podium has increased from 3 to 6-stories, all in keeping with Building 1.

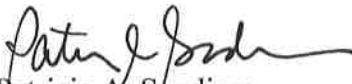
- The elimination of one of the two loading berths for Building 2. Modifications to the curb cuts for the overall development and Building 2 have been approved by the Department of Transportation.

The following revised, Phase II Only drawings, dated June 30, 2017, shall be inserted into the main file: Generalized Site Plan, Site Plan, Landscape Plan, Ground Floor Plan, Mezzanine Floor Plan, Second & Third Floor Plan, Fourth Floor Plan, Fifth Floor Plan, Green Roof Plan, South, East, North, and West Elevations, and Details.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed design modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Additionally, the Bulk Regulations Table in PD 136 specifically authorizes the reallocation of dwelling units among the phases and buildings through the administrative relief process. Finally, your request included letters of support from Alderman Walter Burnett and the Old Town Merchants and Residents Association.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 136, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

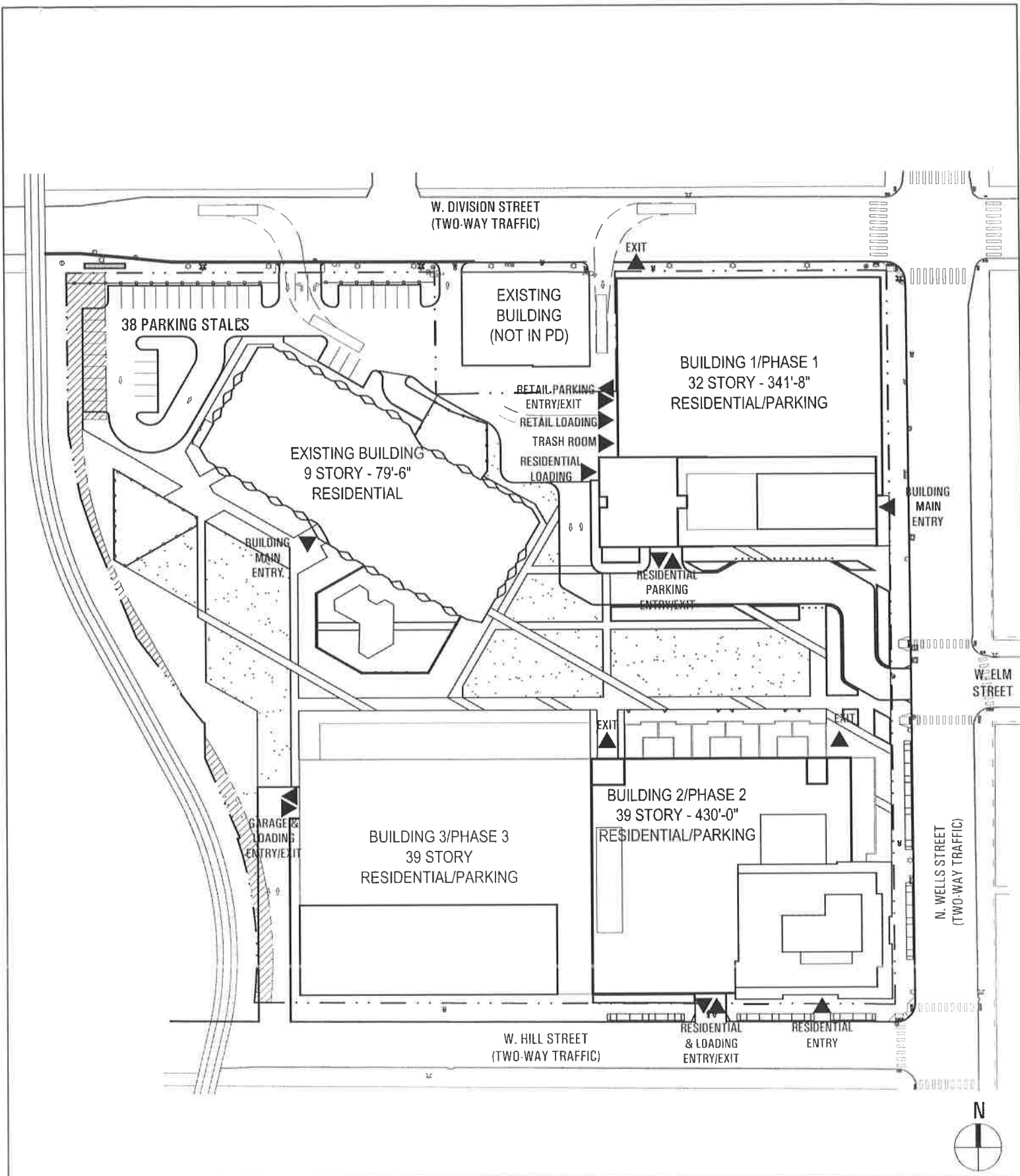
Sincerely,



Patricia A. Scudiero
Zoning Administrator

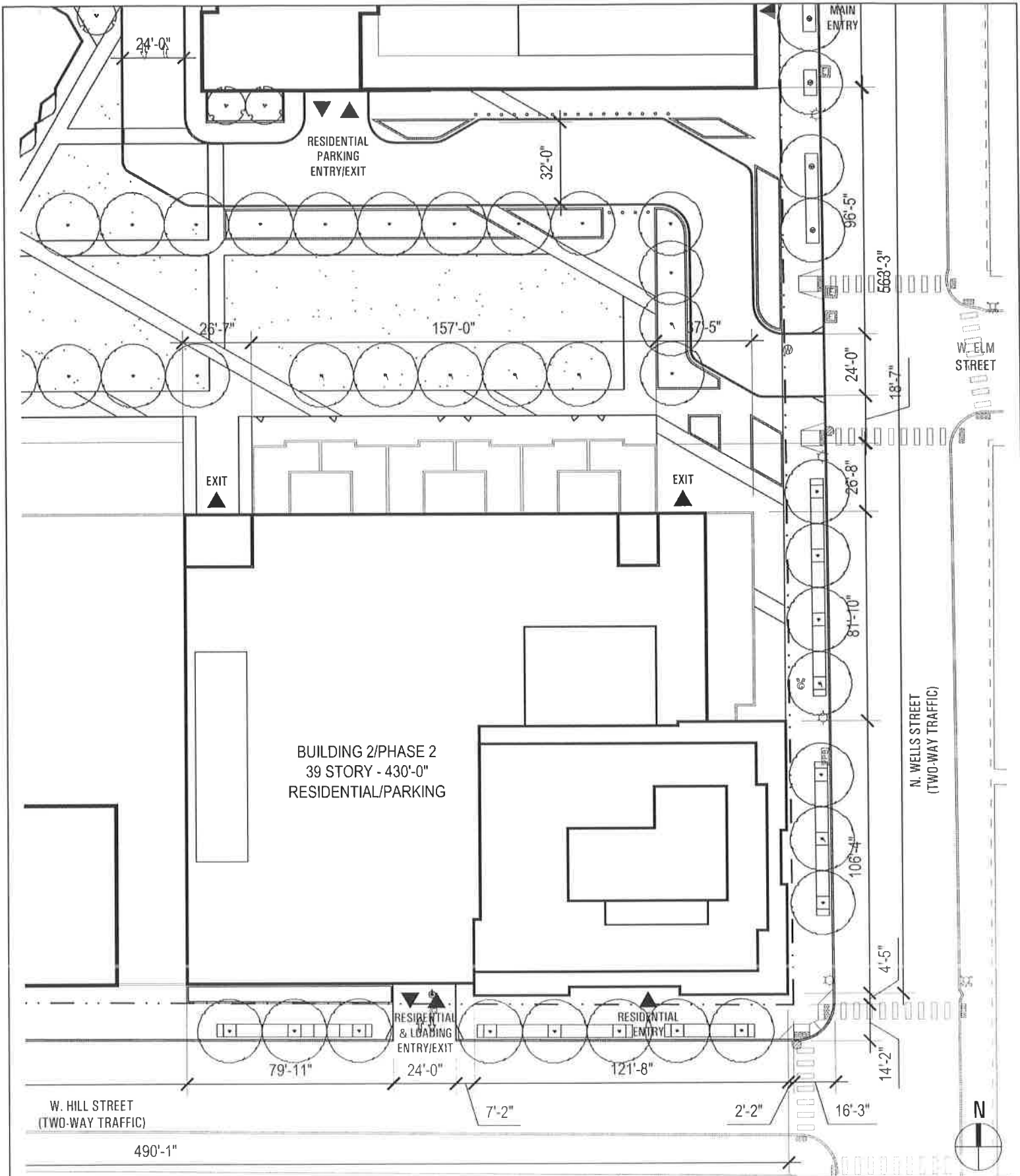
PAS:HG:tm

C: Mike Marmo, Erik Glass, Main file



APPLICANT:	ONNI GROUP	
ADDRESS:	202 W. HILL STREET	
DATE REVISED:	JUNE 30, 2017	SCALE: 1" = 100'-0"

GENERALIZED SITE PLAN



BUILDING 2/PHASE 2
39 STORY - 430'-0"
RESIDENTIAL/PARKING

APPLICANT:

ONNI GROUP

ADDRESS:

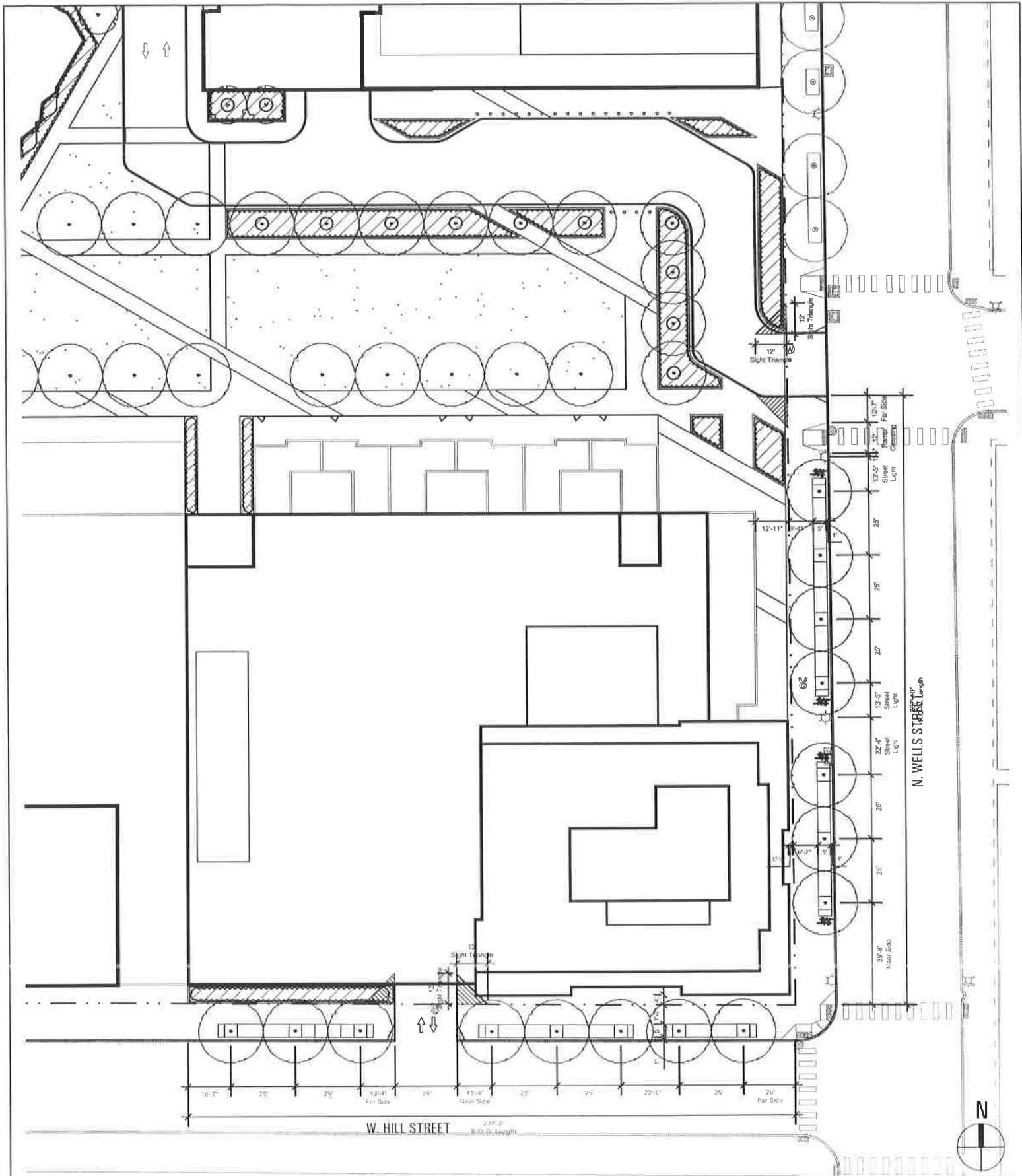
202 W. HILL STREET

DATE REVISED:

JUNE 30, 2017

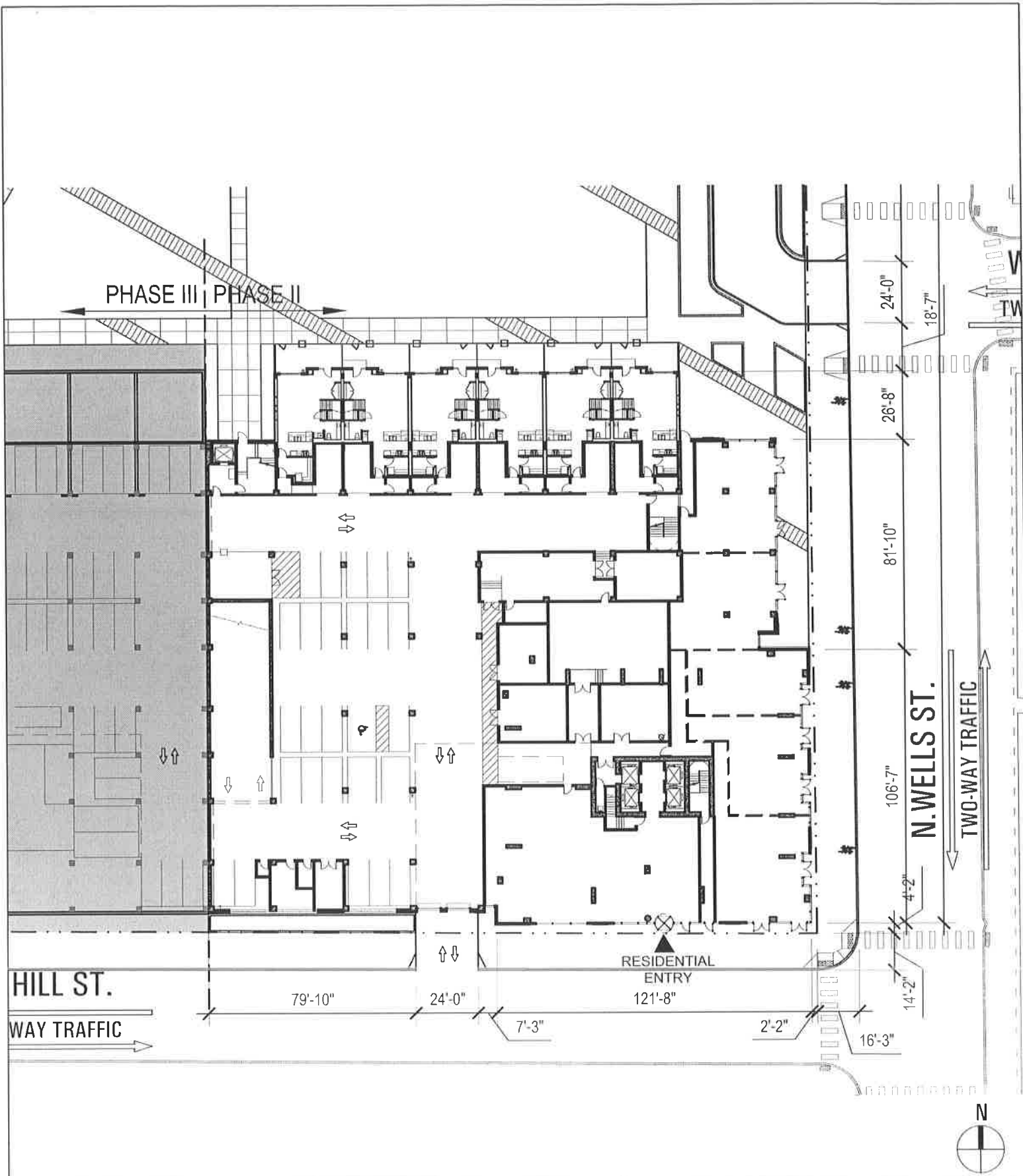
SCALE: 1" = 50'-0"

SITE PLAN -
PHASE II ONLY



APPLICANT:	ONNI GROUP
ADDRESS:	202 W. HILL STREET
DATE REVISED:	JUNE 30, 2017
	SCALE: 1" = 50'-0"

**LANDSCAPE PLAN -
PHASE II ONLY**



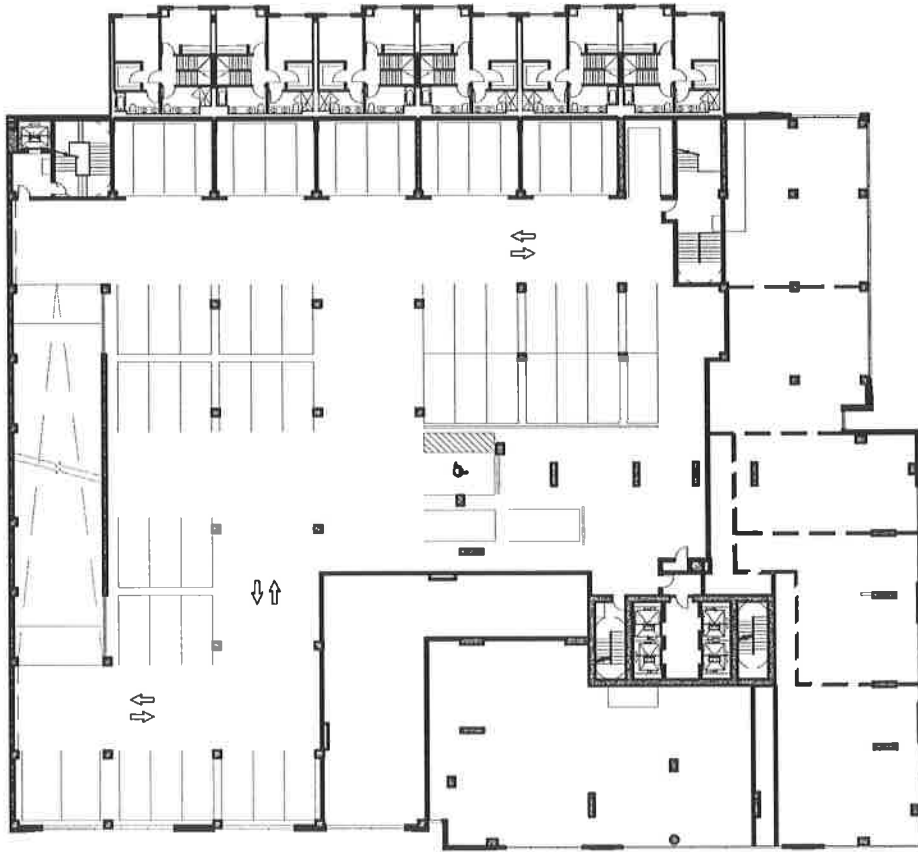
APPLICANT: ONNI GROUP

ADDRESS: 202 W. HILL STREET

DATE REVISED: JUNE 30, 2017

SCALE: 1" = 50'-0"

**GROUND FLOOR PLAN -
PHASE II ONLY**



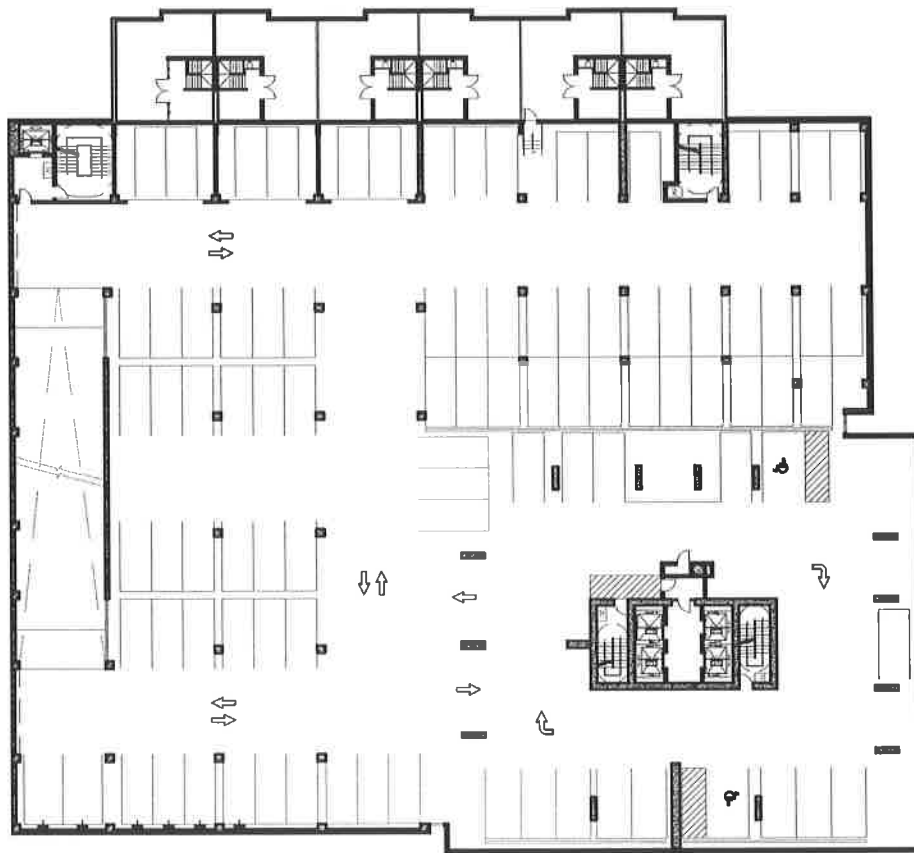
APPLICANT: ONNI GROUP

ADDRESS: 202 W. HILL STREET

DATE REVISED: JUNE 30, 2017

SCALE: 1" = 50'-0"

MEZZANINE FLOOR PLAN -
PHASE II ONLY



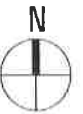
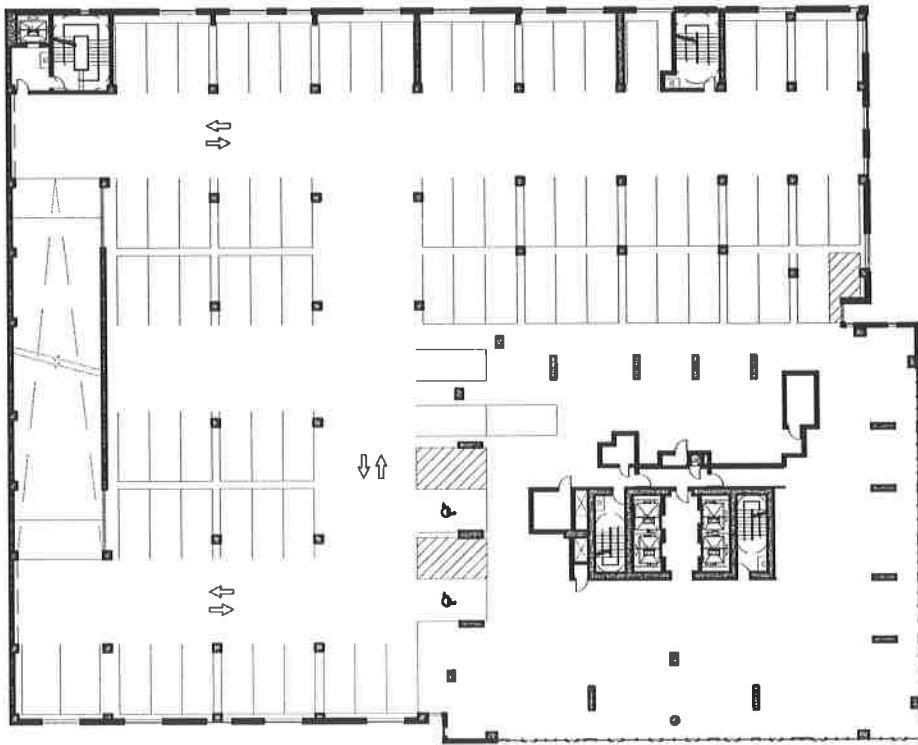
APPLICANT: ONNI GROUP

ADDRESS: 202 W. HILL STREET

DATE REVISED: JUNE 30, 2017

SCALE: 1" = 50'-0"

**SECOND & THIRD
FLOOR PLAN -
PHASE II ONLY**



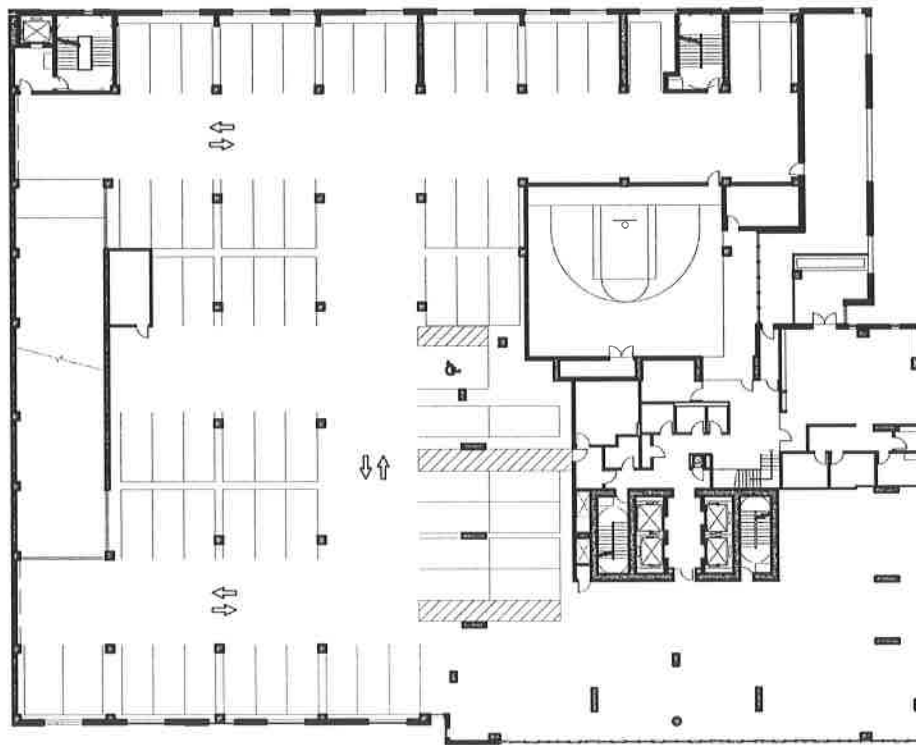
APPLICANT: ONNI GROUP

ADDRESS: 202 W. HILL STREET

DATE REVISED: JUNE 30, 2017

SCALE: 1" = 50'-0"

FOURTH FLOOR PLAN - PHASE II ONLY




APPLICANT: ONNI GROUP

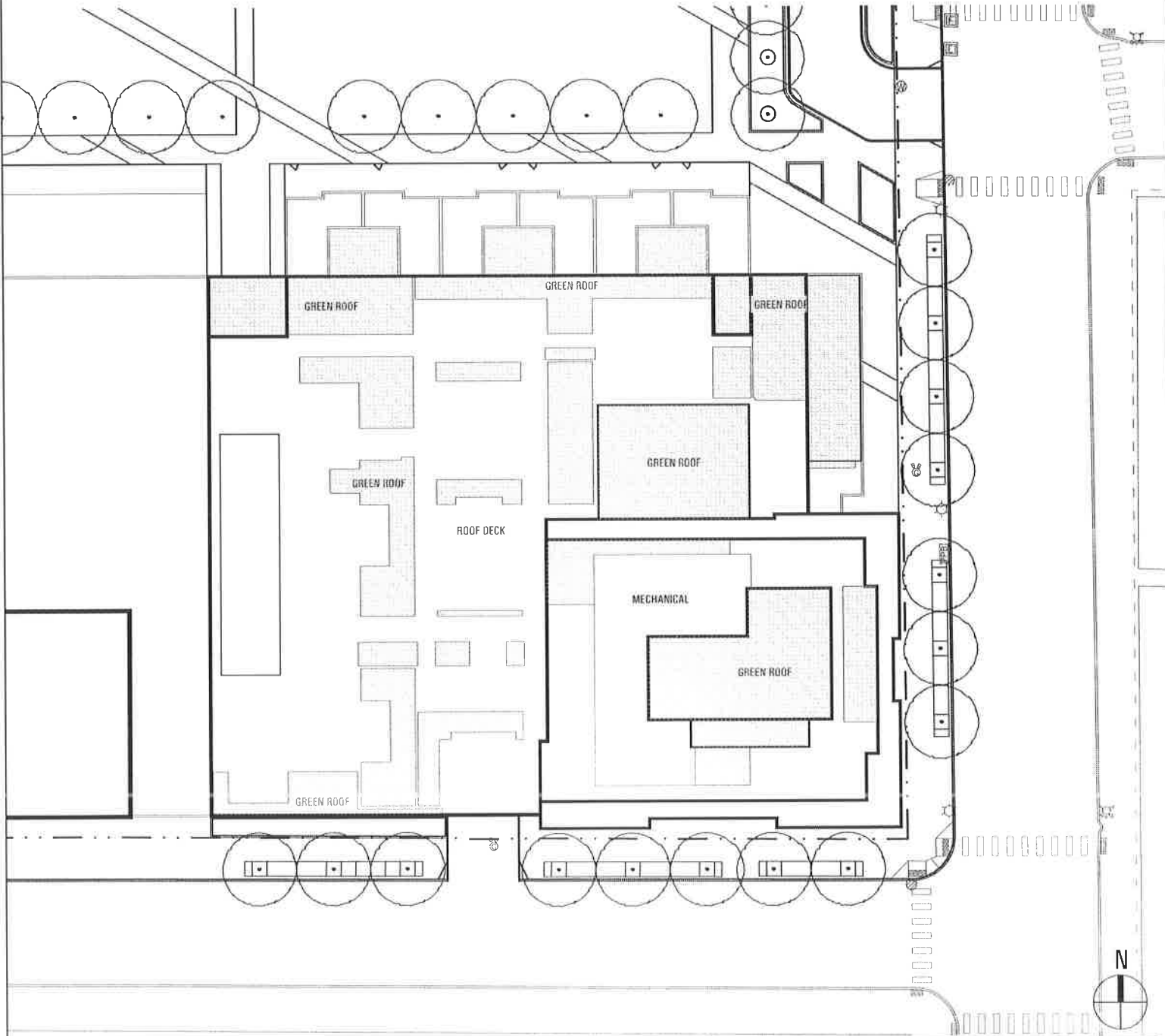
ADDRESS: 202 W. HILL STREET

DATE REVISED: JUNE 30, 2017

SCALE: 1" = 50'-0"

**FIFTH FLOOR PLAN -
PHASE II ONLY**

GREEN ROOF CALCULATIONS	
TOTAL ROOF AREA LESS POOL & MECHANICAL AREA:	31,386 SQ FT
50% =	15,693 SQ FT GREEN ROOF REQUIRED
TOTAL GREEN ROOF PROVIDED =	16,361 SQ FT
	= AREA COVERED IN GREEN ROOF



APPLICANT:	ONNI GROUP
ADDRESS:	202 W. HILL STREET
DATE REVISED:	JUNE 30, 2017
	SCALE: 1" = 50'-0"

**GREEN ROOF PLAN -
PHASE II ONLY**

MECH. SCREEN WALL

GLASS WINDOW
WALL PARAPET

CONCRETE COLUMN

GLASS RAILING

GLASS WINDOW WALL

METAL SLAB EDGE COVER

RECESSED TERRACE

CONCRETE COLUMN

MASONRY

PUNCHED OPENING
WITH METAL LOUVER

METAL & GLASS
STOREFRONT

METAL
LOUVER

STEEL
CANOPY

TILE

T/ ELEV MACHINE ROOM
EL: +425'-5"

T/ ROOF SLAB
EL: +406'-6"

T/ 39TH FLOOR SLAB
EL: +392'-6"

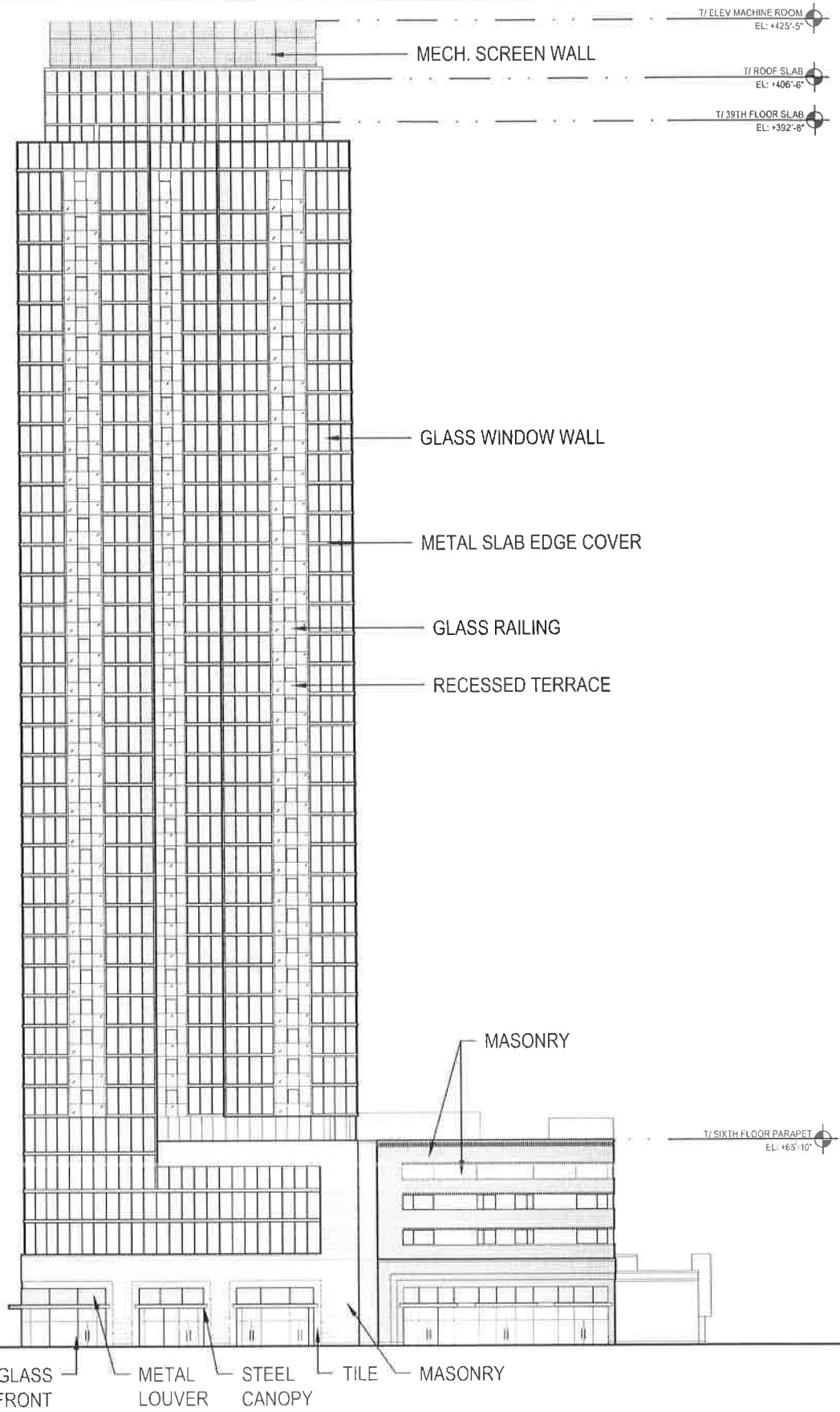
APPLICANT: ONNI GROUP

ADDRESS: 202 W. HILL STREET

DATE REVISED: JUNE 30, 2017

SCALE: 1" = 50'-0"

SOUTH ELEVATION



METAL & GLASS STOREFRONT METAL LOUVER STEEL CANOPY TILE MASONRY

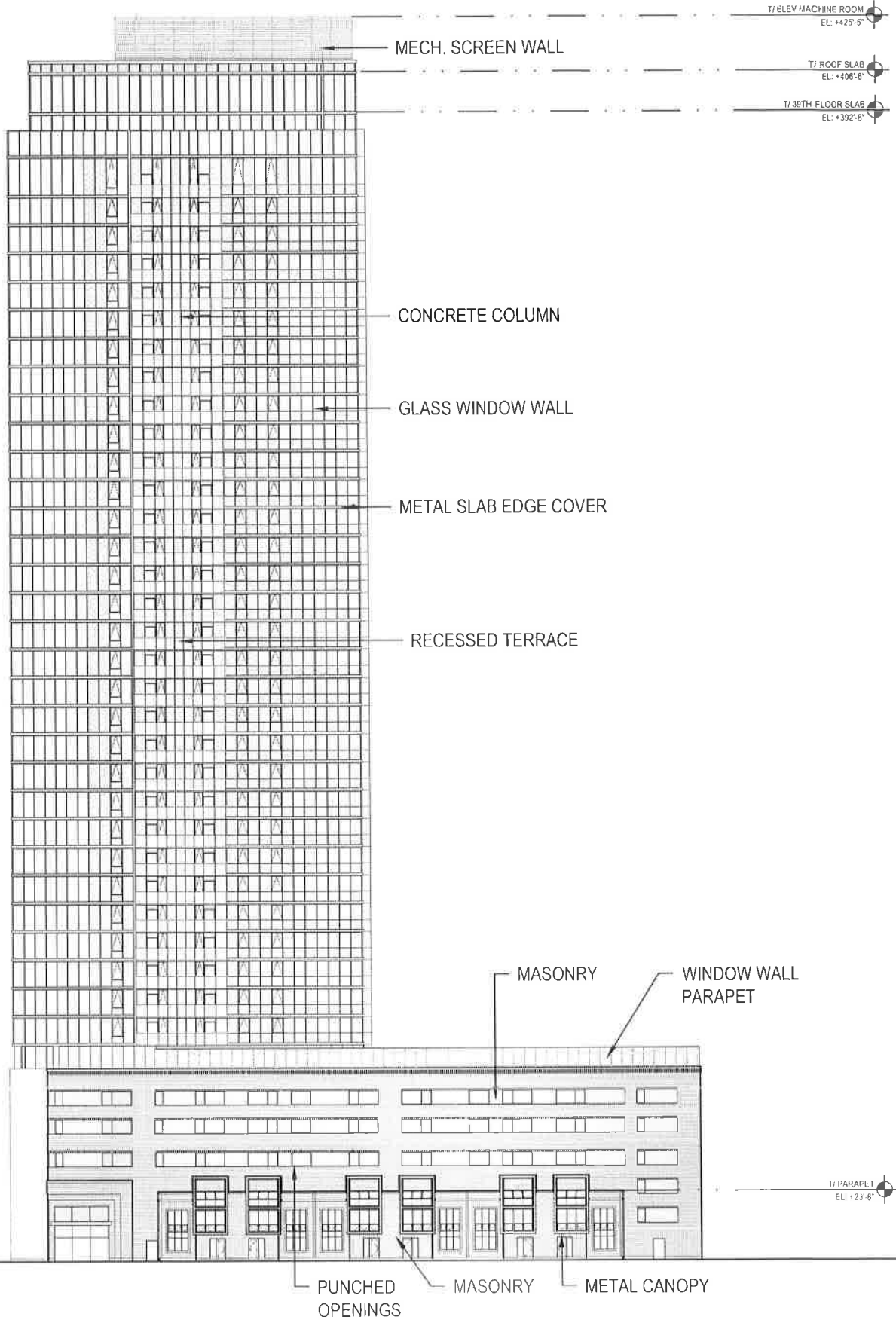
APPLICANT: ONNI GROUP

ADDRESS: 202 W. HILL STREET

DATE REVISED: JUNE 30, 2017

SCALE: 1" = 50'-0"

EAST ELEVATION



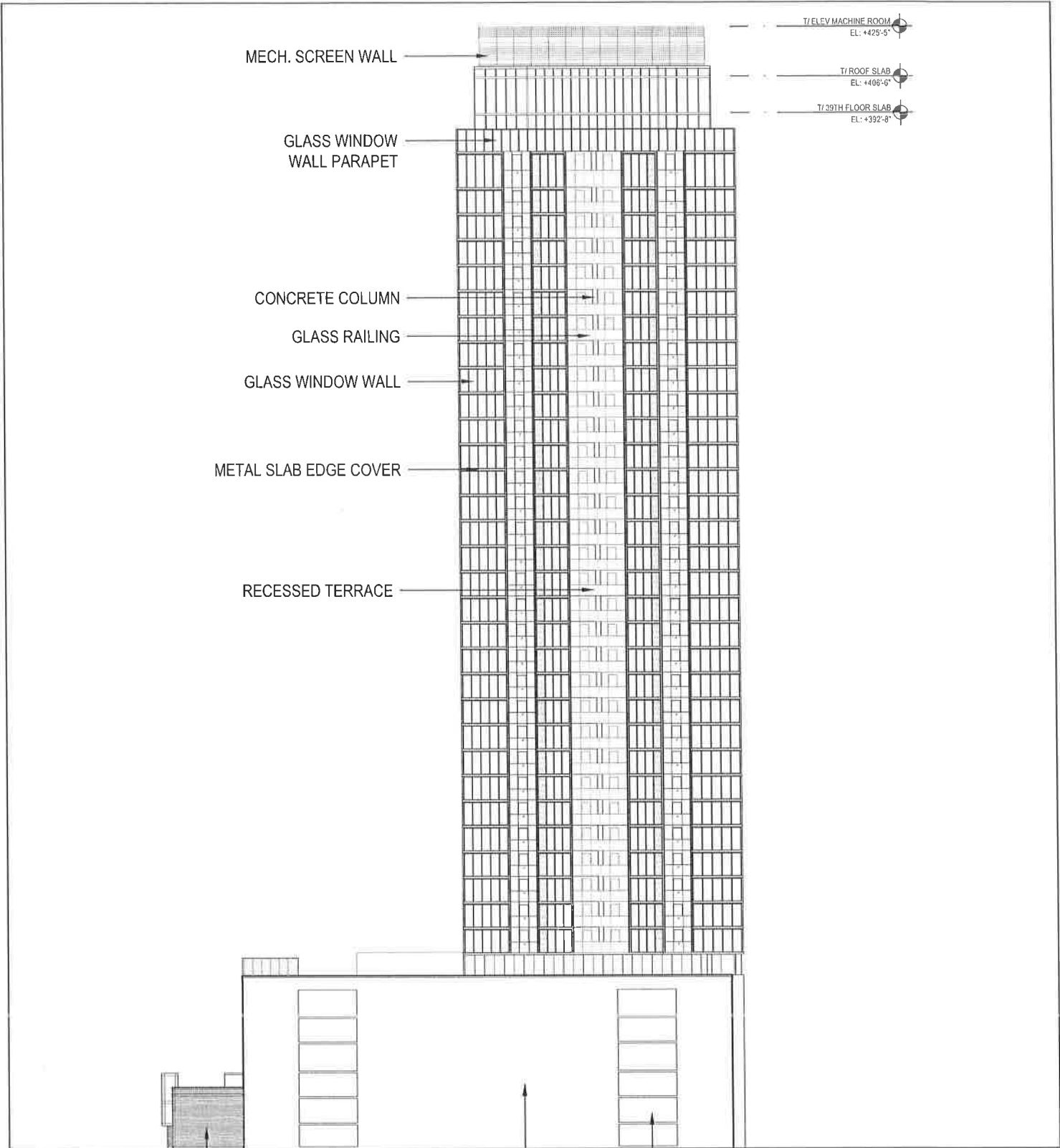
APPLICANT: ONNI GROUP

ADDRESS: 202 W. HILL STREET

DATE REVISED: JUNE 30, 2017

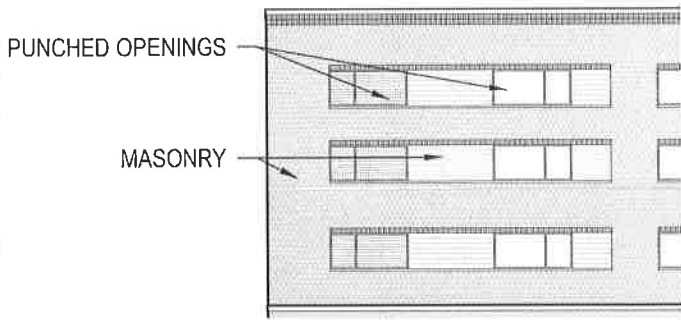
SCALE: 1" = 50'-0"

NORTH ELEVATION

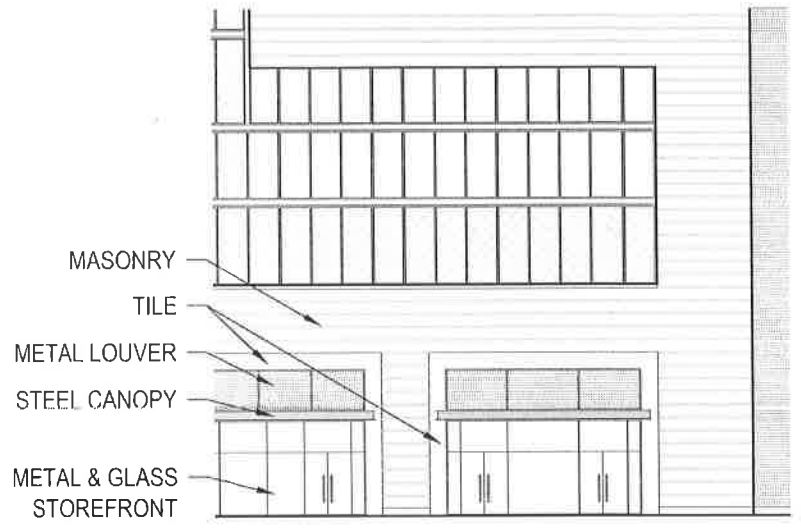


APPLICANT:	ONNI GROUP
ADDRESS:	202 W. HILL STREET
DATE REVISED:	JUNE 30, 2017
	SCALE: 1" = 50'-0"

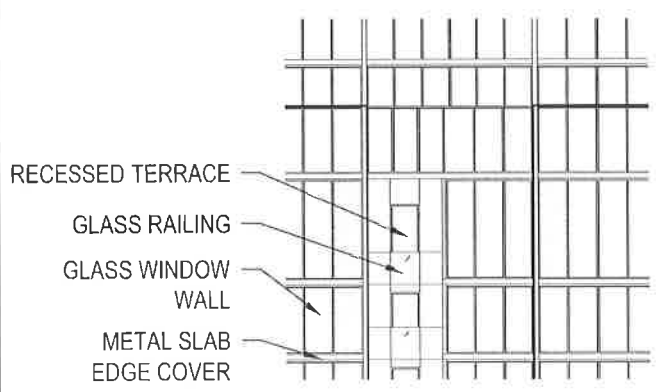
WEST ELEVATION



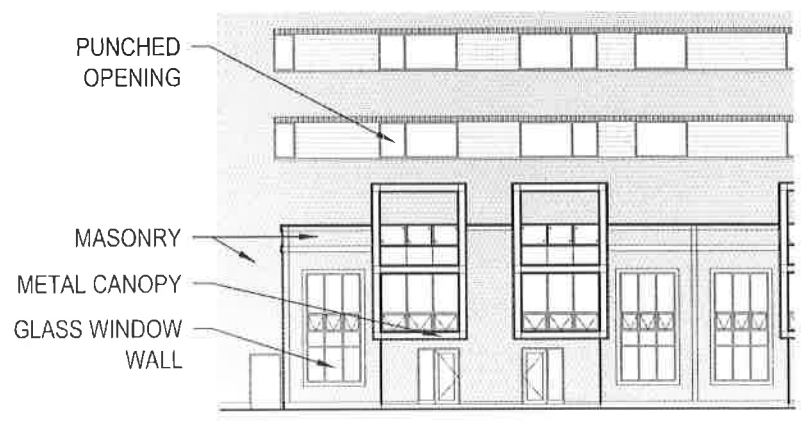
A PHASE II - DETAIL A
SCALE: 1" = 25'-0"



B PHASE II - DETAIL B
SCALE: 1" = 25'-0"



C PHASE II - DETAIL C
SCALE: 1" = 25'-0"



D PHASE II - DETAIL D
SCALE: 1" = 25'-0"

APPLICANT:	ONNI GROUP
ADDRESS:	202 W. HILL STREET
DATE REVISED:	JUNE 30, 2017

DETAILS



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 27, 2015

Edward J. Kus
Taft Stettinius & Hollister LLP
111 East Wacker
Suite 2800
Chicago, IL 60601

**Re: Administrative Relief request for Residential Planned Development No. 136
Subarea A, 1150 North Wells Street**

Dear Mr. Kus:

Please be advised that your request for a minor change to Residential Planned Development No. 136 ("PD 136"), Subarea A, as amended, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 10 of the Planned Development.

PD 136 was approved by the City Council on July 25, 2012, and governs the property located at the southwest corner of W. Division and N. Wells Streets, commonly known as Atrium Village. Your client and the owner of all of the property within Subarea A, Onni Group, is seeking administrative relief for:


- Modifications to the plans and elevations of the proposed Phase 1, Building 1 including a height increase from 310'-0" to 341'-8". The approved building was a 20-story residential tower above an 8-story base with garage. The revised building is a 25-story residential building above a 7-story base with garage. Six townhomes were also approved as part of the Phase 1 construction. The townhomes have been eliminated from Phase 1 and will be established in subsequent phases. The new design integrates two different building heights and the overall height increase is to accommodate an increased floor-to-ceiling apartment height. The following revised, Phase 1 Only drawings, dated May 5, 2015, shall be inserted into the main file: Generalized Site Plan, Ground Floor Plan, Second & Third Floor Plans, Fourth Floor Plan, Fifth Floor Plan, Landscape Plan, Site Plan, Green Roof Plan, North, East, South and West Elevations, and Details (2).
- A reallocation of 75 dwelling units from Phase 4, Building 4 to Phase 1, Building 1, resulting in an increased unit count from 327 to 405 dwelling units. The Phase 1, Building 1 will provide a total of 416 parking spaces, 342 parking spaces for the residences (PD 136 requires a minimum of 243 parking spaces for Phase 1) and 74 parking spaces for the commercial use. The number of residential parking spaces complies with PD 136, which requires 0 spaces for the first 100 units and 0.70 spaces per

- unit for all additional units. Vehicular access and loading berth locations for the Phase 1, Building 1 have not changed.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed design modifications, reallocation of dwelling units and increased parking spaces will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Planned Development No. 136, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

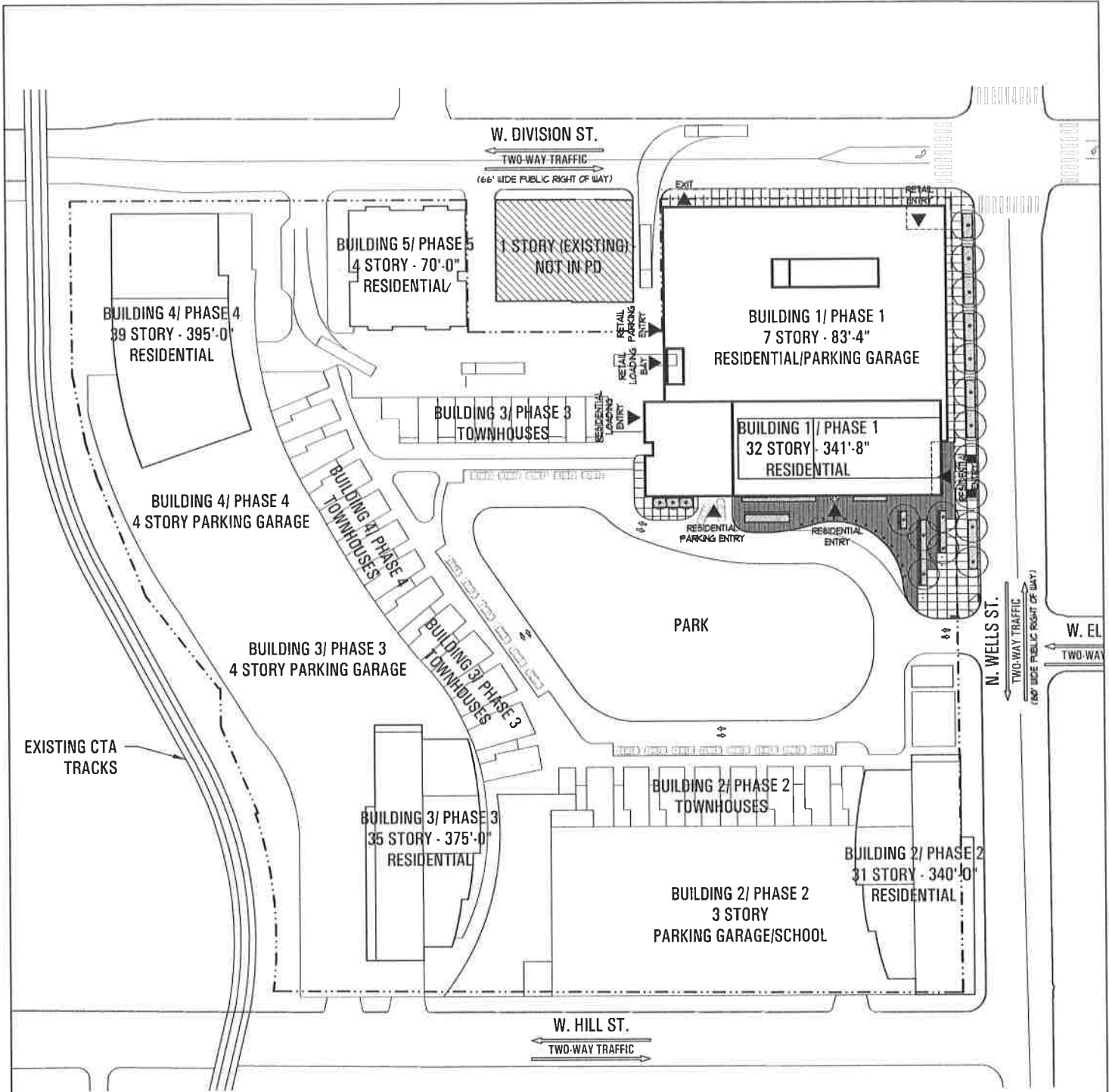
Sincerely,



Patricia A. Scudiero
Zoning Administrator

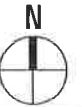
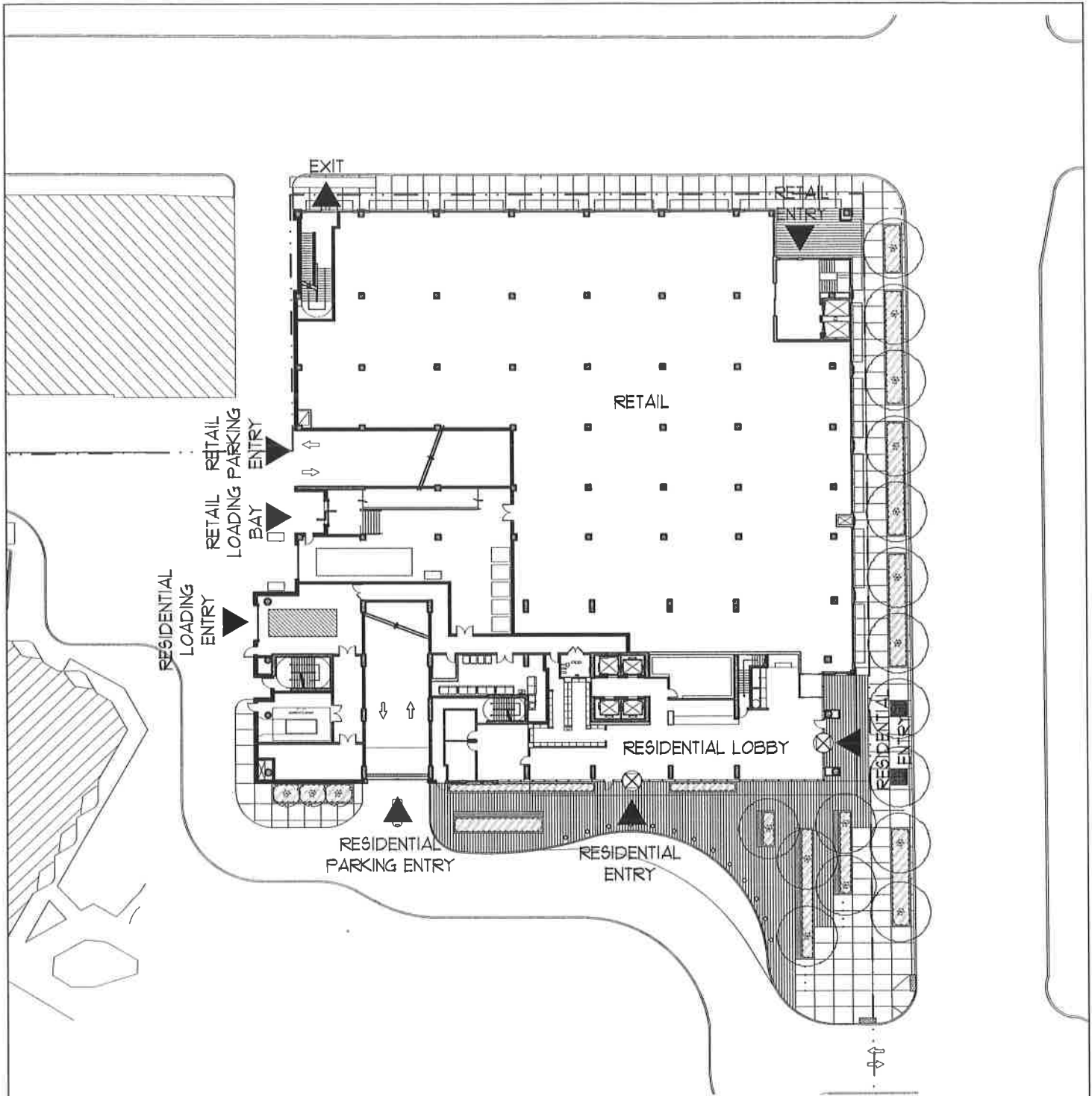
PAS:HG:tm

C: Mike Marmo, Erik Glass, Fred Deters, Main file



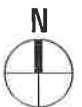
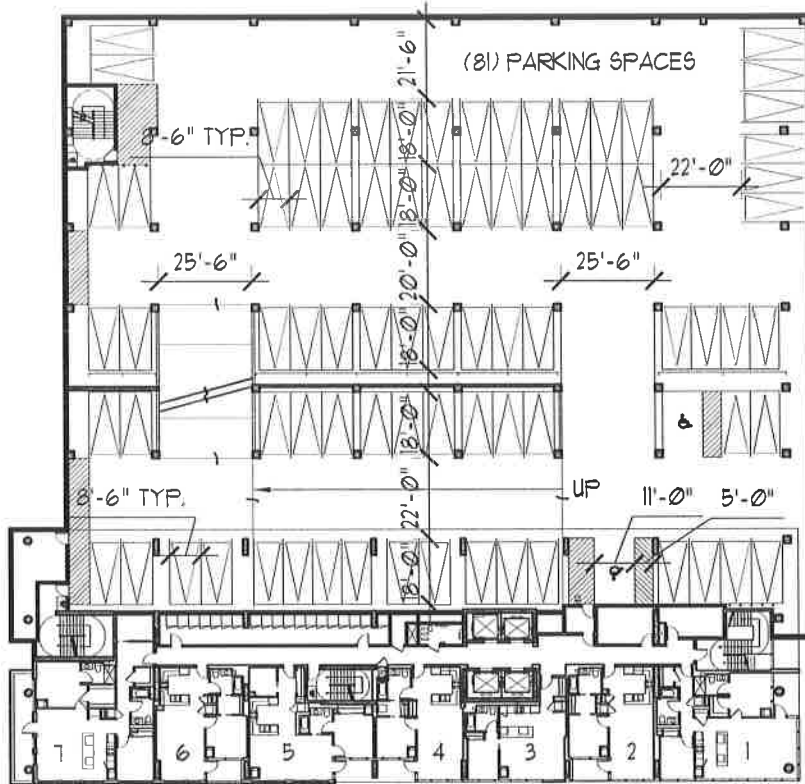
APPLICANT:	ONNI GROUP	
ADDRESS:	1150 N. WELLS ST	
DATE REVISED:	MAY 05, 2015	SCALE: 1" = 100'-0"

GENERALIZED SITE PLAN

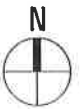
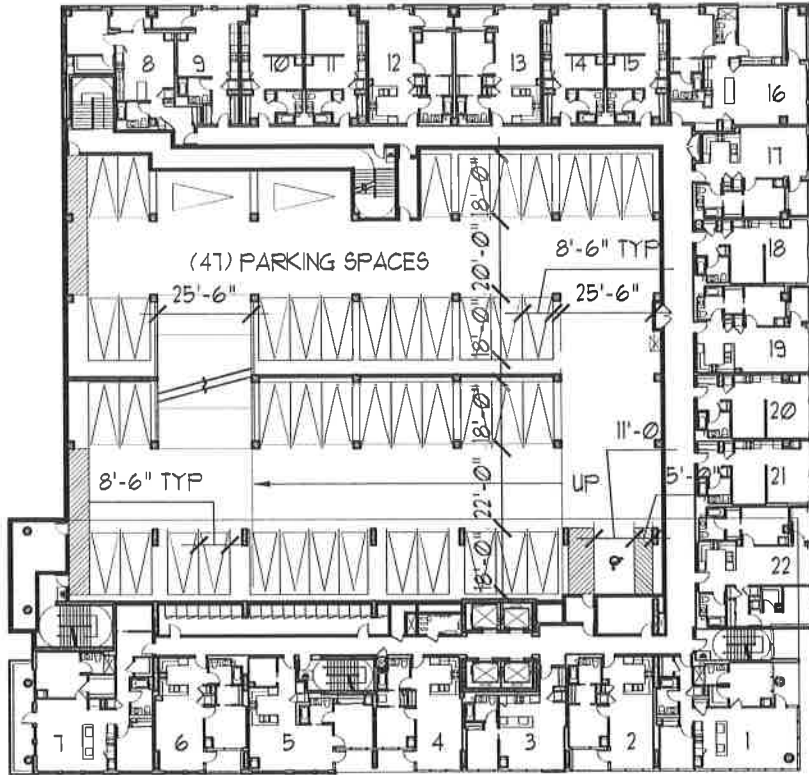


APPLICANT:	ONNI GROUP
ADDRESS:	1150 N. WELLS ST
DATE REVISED:	MAY 05, 2015
	SCALE: 1" = 50'-0"

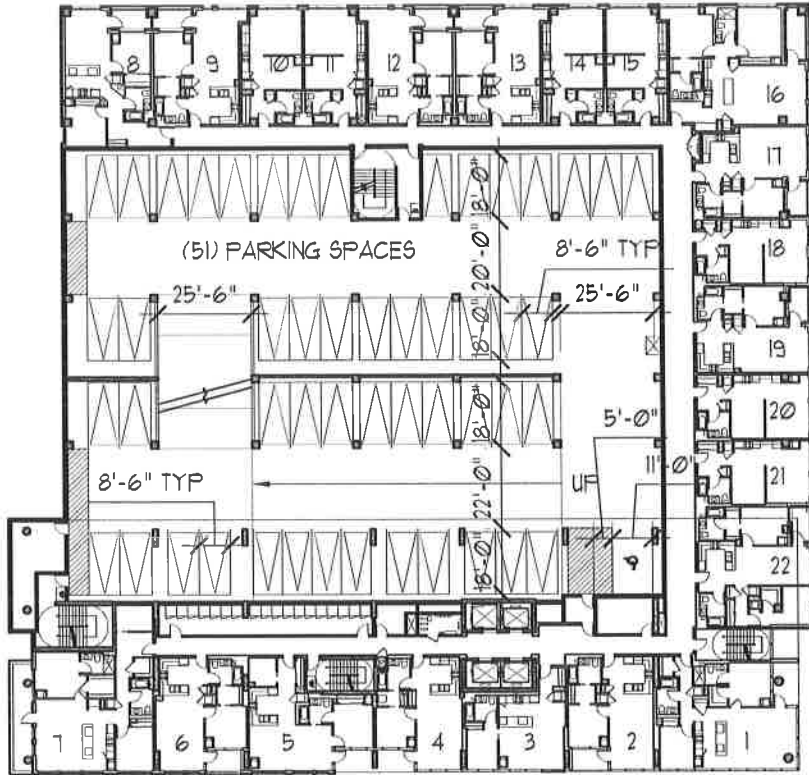
**GROUND FLOOR PLAN -
PHASE 1 ONLY**



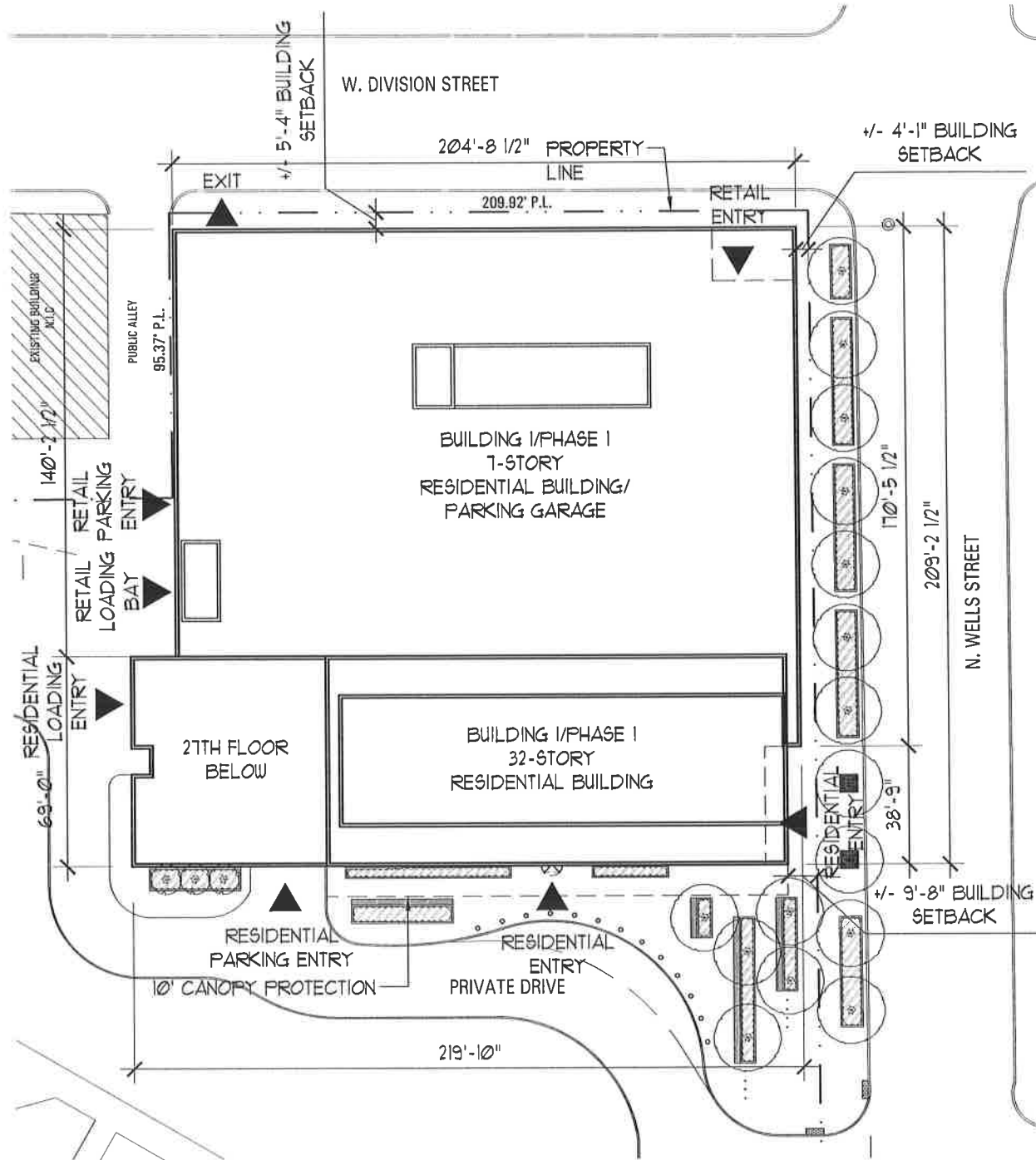
<p>APPLICANT: ONNI GROUP</p> <p>ADDRESS: 1150 N. WELLS ST</p> <p>DATE REVISED: MAY 05, 2015</p>	<p>SCALE: 1" = 50'-0"</p> <p>SECOND & THIRD FLOOR PLANS - PHASE 1 ONLY</p>
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APPLICANT:	ONNI GROUP	FOURTH FLOOR PLAN - PHASE 1 ONLY
ADDRESS:	1150 N. WELLS ST	
DATE REVISED:	MAY 05, 2015	
		SCALE: 1" = 50'-0"



APPLICANT:	ONNI GROUP	FIFTH FLOOR PLAN - PHASE 1 ONLY
ADDRESS:	1150 N. WELLS ST	
DATE REVISED:	MAY 05, 2015	
		SCALE: 1" = 50'-0"

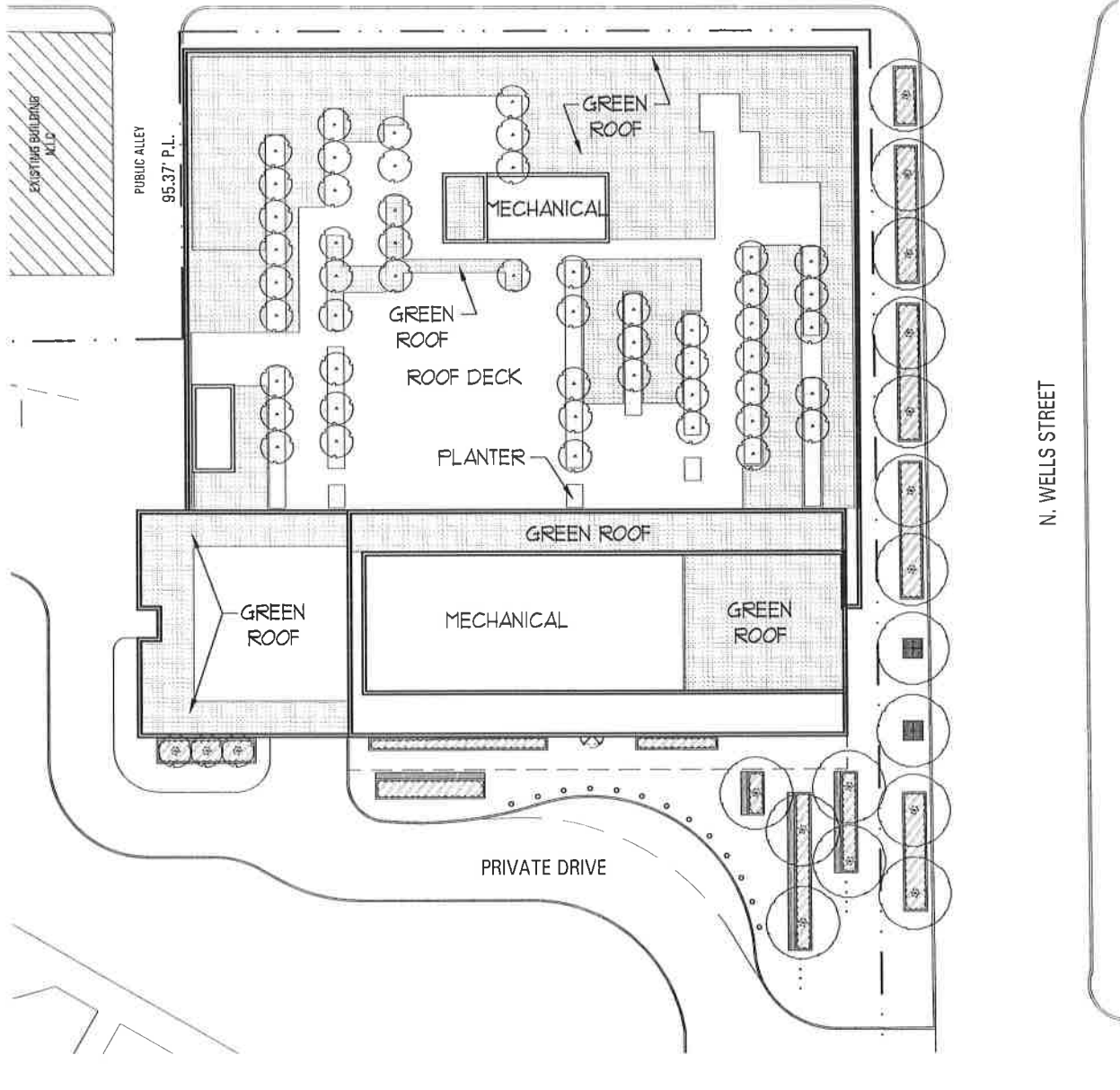


APPLICANT:	ONNI GROUP
ADDRESS:	1150 N. WELLS ST
DATE REVISED:	MAY 05, 2015
	SCALE: 1" = 50'-0"

**SITE PLAN -
PHASE 1 ONLY**

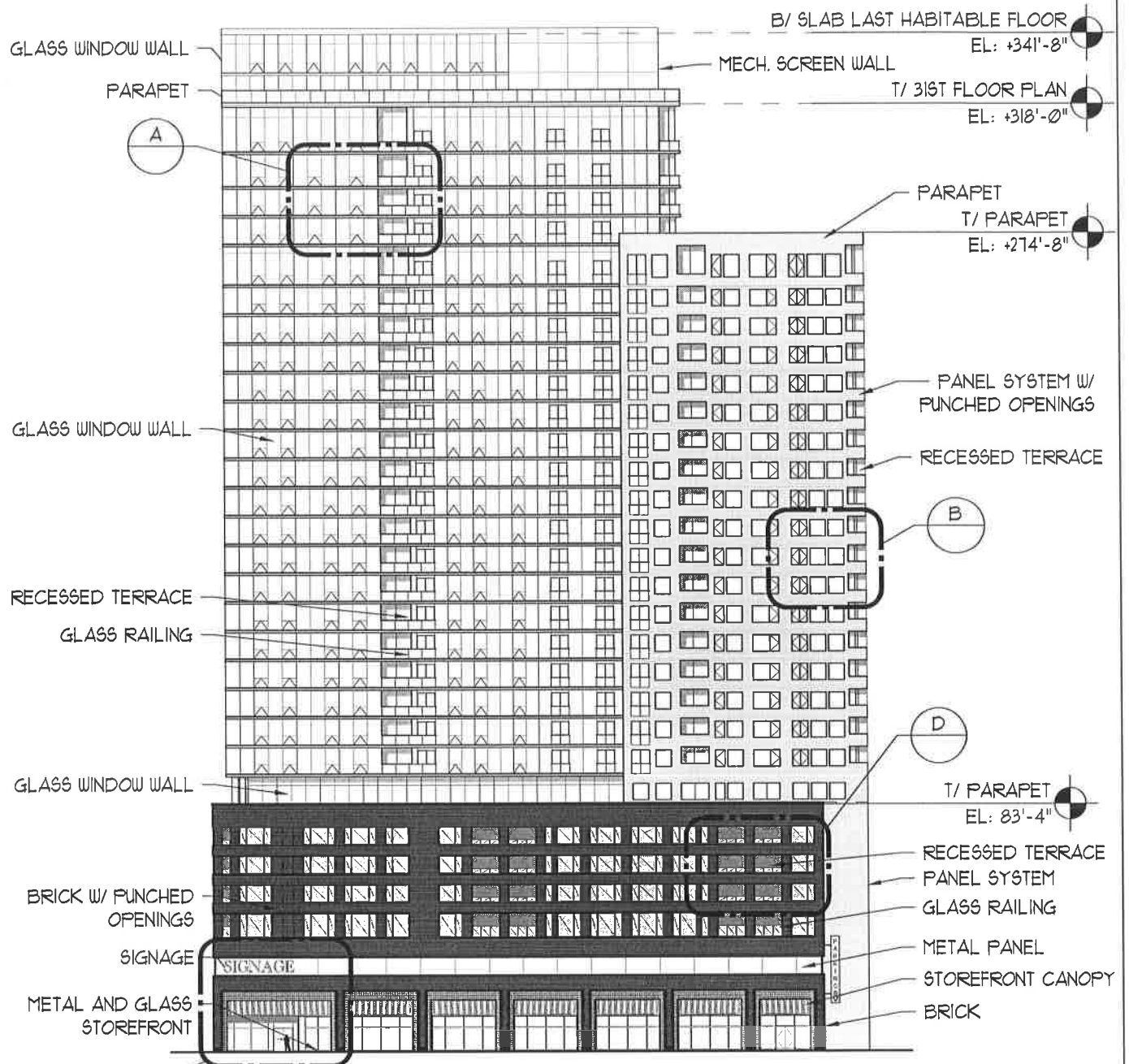
GREEN ROOF CALCULATIONS	
TOTAL ROOF AREA LESS MECHANICAL AREA:	34,000 SQ FT
50% =	17,000 SQ FT GREEN ROOF REQUIRED
TOTAL GREEN ROOF PROVIDED = +/-	17,800 SQ FT.

W. DIVISION STREET



APPLICANT:	ONNI GROUP
ADDRESS:	1150 N. WELLS ST
DATE REVISED:	MAY 05, 2015
	SCALE: 1" = 50'-0"

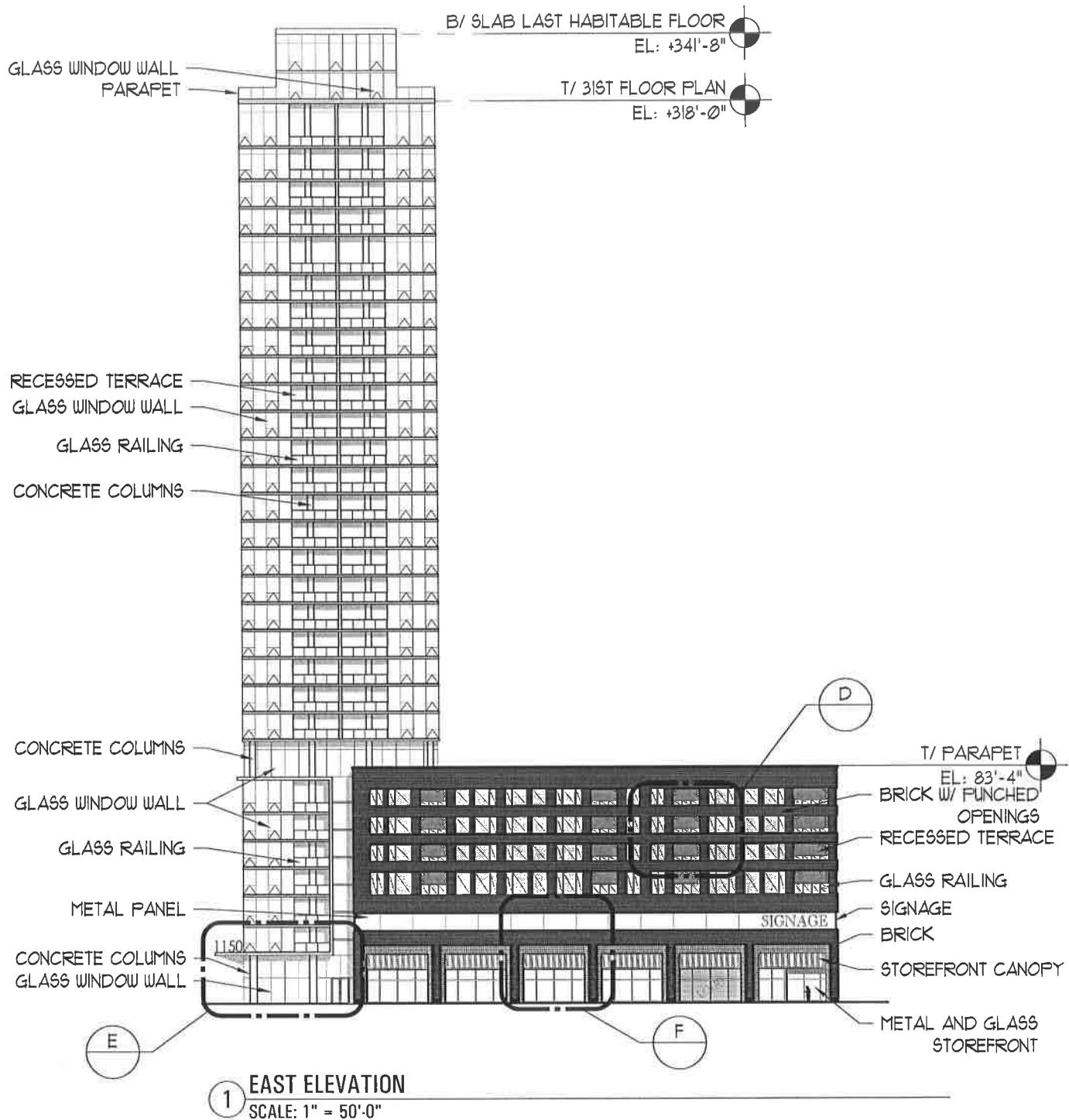
GREEN ROOF PLAN



1 NORTH ELEVATION
SCALE: 1" = 50'-0"

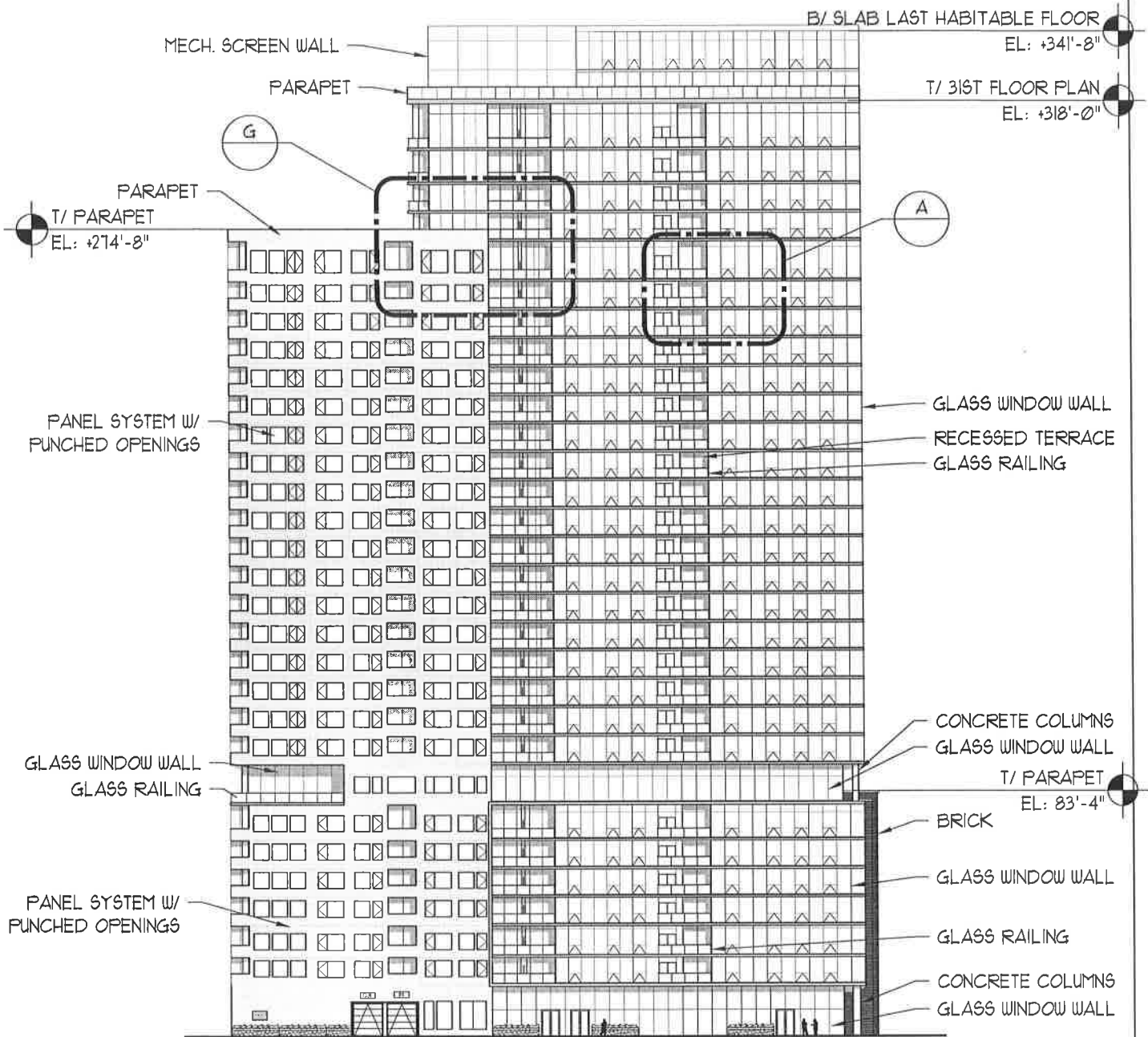
APPLICANT:	ONNI GROUP
ADDRESS:	1150 N. WELLS ST
DATE REVISED:	MAY 05, 2015
	SCALE: 1" = 50'-0"

NORTH ELEVATION



APPLICANT:	ONNI GROUP	
ADDRESS:	1150 N. WELLS ST	
DATE REVISED:	MAY 05, 2015	SCALE: 1" = 50'-0"

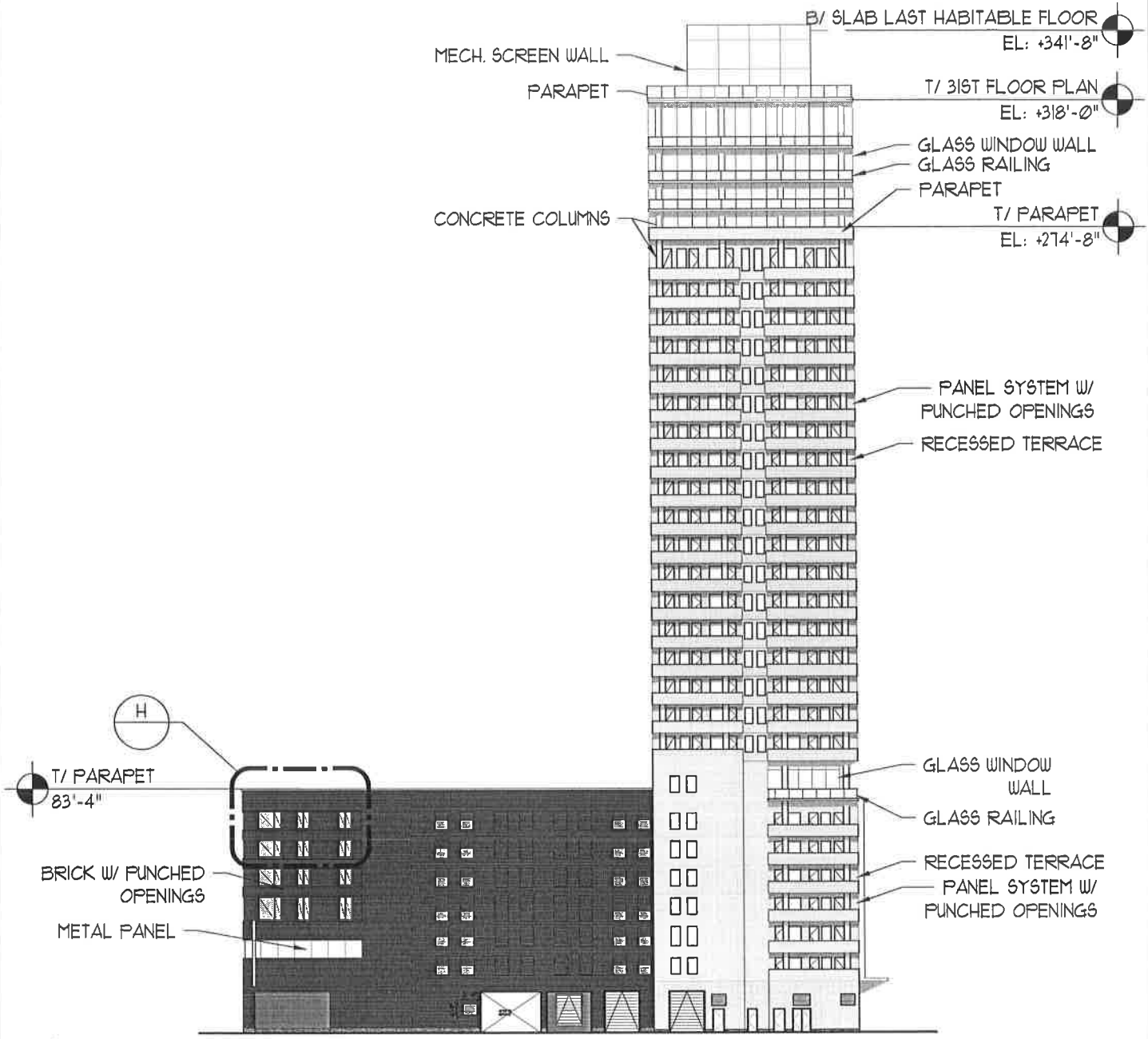
EAST ELEVATION



1 SOUTH ELEVATION
SCALE: 1" = 50'-0"

APPLICANT:	ONNI GROUP
ADDRESS:	1150 N. WELLS ST
DATE REVISED:	MAY 05, 2015
	SCALE: 1" = 50'-0"

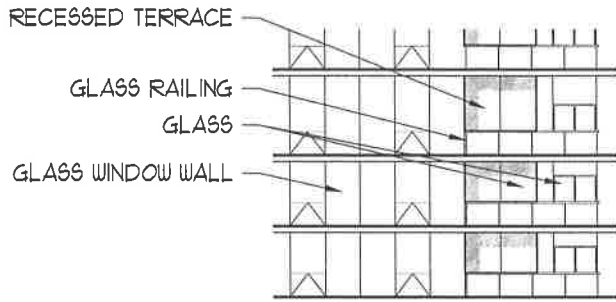
SOUTH ELEVATION



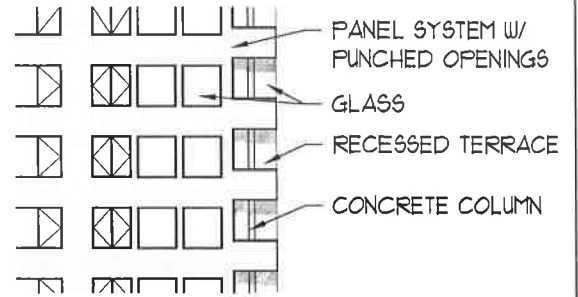
1 WEST ELEVATION
SCALE: 1" = 50'-0"

APPLICANT:	ONNI GROUP
ADDRESS:	1150 N. WELLS ST
DATE REVISED:	MAY 05, 2015
	SCALE: 1" = 50'-0"

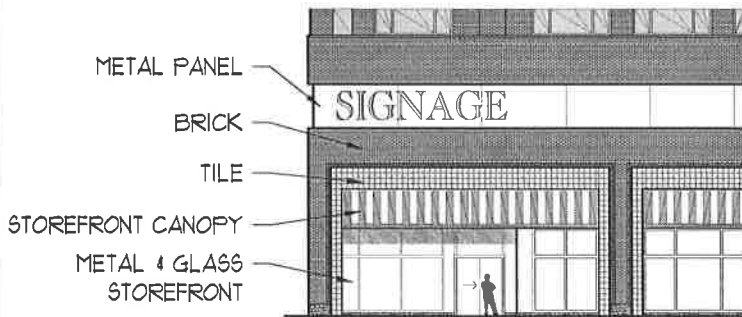
WEST ELEVATION



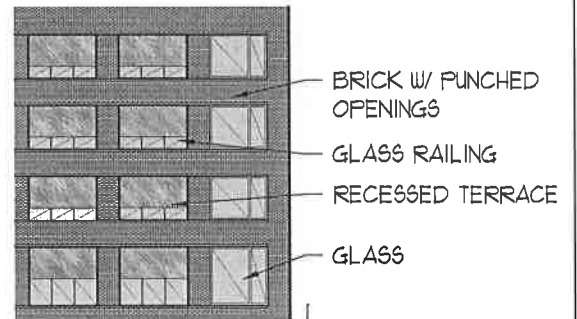
A PHASE 1 - DETAIL A



B PHASE 1 - DETAIL B



C PHASE 1 - DETAIL C



D PHASE 1 - DETAIL D

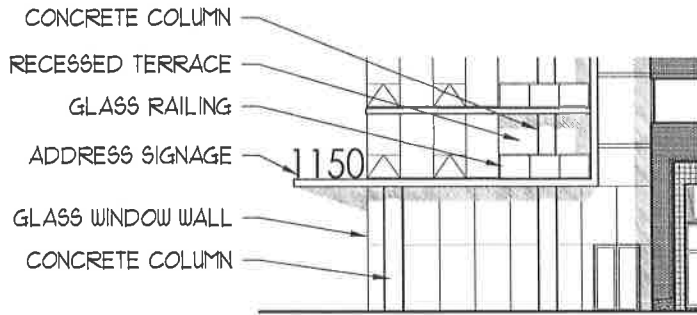
APPLICANT: ONNI GROUP

ADDRESS: 1150 N. WELLS ST

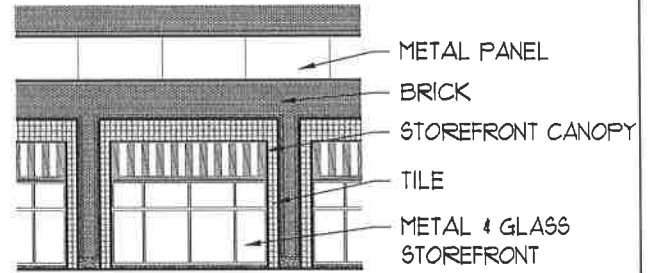
DATE REVISED: MAY 05, 2015

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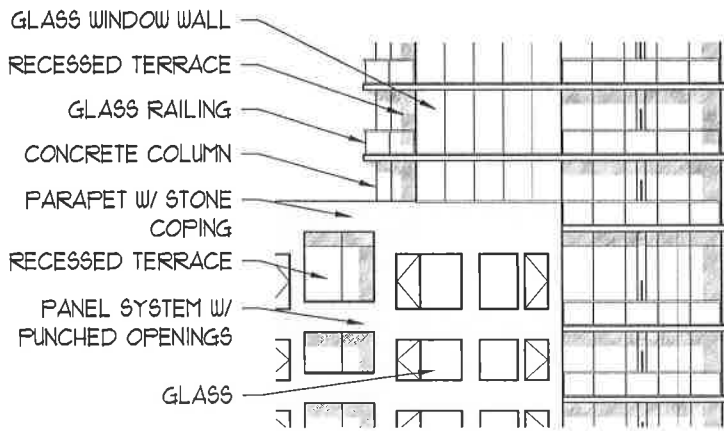
DETAILS



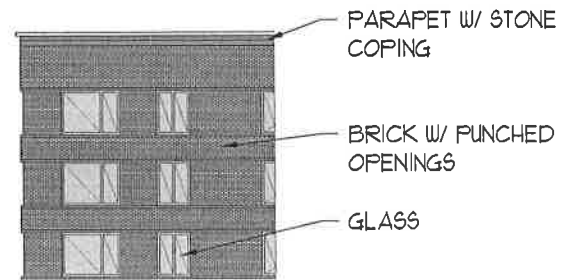
E PHASE 1 - DETAIL E



F PHASE 1 - DETAIL F



G PHASE 1 - DETAIL G



H PHASE 1 - DETAIL H

APPLICANT:	ONNI GROUP
ADDRESS:	1150 N. WELLS ST
DATE REVISED:	MAY 05, 2015
	SCALE: 1" = 50'-0"

DETAILS

Reclassification Of Area Shown On Map No. 3-F.
(As Amended)
(Application No. 17375)
(Common Address: 300 W. Hill St.)

[SO2011-8909]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the Planned Development Number 136 symbols in Subarea A as shown on Map Number 3-F for the property located in the area generally bounded by:

West Division Street; a line 285.93 feet east of the CTA right-of-way; a line 95.20 feet south of and parallel to West Division Street extended in a southeasterly direction to a point 95.37 feet south of and parallel to West Division Street; a line 209.92 feet west of and parallel to North Wells Street; West Division Street; North Wells Street; West Hill Street; and the CTA right-of-way,

to the designation of a C1-5 Neighborhood Commercial District.

SECTION 2. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the C1-5 symbols as shown on Map Number 3-F in the area described above in Section 1 of this ordinance, and by changing all of the Planned Development Number 136 symbols as shown on Map Number 3-F to the designation of Planned Development Number 136, as amended, subject to the use and bulk regulations as set forth in the Plan of Development attached hereto and made a part hereof.

SECTION 3. This ordinance takes effect after its passage and approval.

Plan of Development Statements referred to in this ordinance read as follows:

Plan Development No. 136, As Amended.

Plan Of Development Statements.

RPD 136, 99

1. The area delineated herein as Planned Development Number 136, as amended (the "Planned Development"), consists of approximately 370,040 square feet (8.49 acres) of property (the "Property"). The Planned Development includes two subareas, Subarea A and Subarea B. It is the intent of this ordinance to amend Subarea A only. Subarea A is under the single-designated control of Atrium Village Associates (the "Applicant").
2. All applicable official reviews, approvals or permits are required to be obtained by the owner(s) of the individual subareas or their successors, assignees or grantees. Any dedication or vacation of streets, alleys, easements or adjustments of rights-of-way, or

consolidation or resubdivision of parcels, shall require a separate submittal on behalf of the owner(s) of the individual subareas or their successors, assignees or grantees and approval by the City Council.

3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the owner(s) of the individual subareas, their successors and assigns and the legal titleholders and any ground lessors. All rights granted hereunder to the owner(s) of the individual subareas shall inure to the benefit of the owner('s') successors and assigns, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time any application for an amendment, modification or change (legislative, administrative or otherwise) to this Planned Development is made, shall be under single ownership or single designated control. "Single designated control" is defined in Section 17-8-0400 of the Chicago Zoning Ordinance. The subareas herein shall be deemed specifically delineated subareas and subparcels for purposes of Section 17-8-0400.

Nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein by the owner(s) of the individual subareas and their successors, assigns and grantees, nor interfere with, abrogate or annul any zoning rights agreement, deed restriction or covenant, or other written agreement among owners (or owners' successors, assigns or grantees). Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein (other than an assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness) and solely with respect to the portion of the Property so transferred, the term "owner" shall be deemed amended to apply to the transferee thereof.

Where portions of the improvements located on the Property have been submitted to the Illinois Condominium Property Act, the term "owner" shall be deemed to refer solely to the condominium association of the owners of such portions of the improvements and the applicable portion of the Property, and not to the individual unit owners therein. An agreement among the different owners of the Property, or a covenant binding upon owners of the Property, may designate the parties authorized to apply for future amendments, modifications or other changes to this Planned Development.

4. This Planned Development consists of these nineteen (19) statements; a Bulk Regulations and Data Table; and the following exhibits prepared by Fitzgerald Associates Architects and Bumgardner Architecture dated July 19, 2012: an Existing Land-Use Map; a Planned Development Boundary, Property Line and Subarea Map; an Existing Zoning Map; a Subarea A Generalized Site Plan; Subarea A Site Plans for Buildings 1, 2, 3, 4 and 5; Subarea A Floor Plans for the Ground Floor, Third Floor and Fifth Floor; a Subarea A Landscape Plan; Subarea A Landscape Plans for Buildings 1, 2, 3, 4 and 5; Subarea A Plant List; Subarea A Landscape Details; a Subarea A Green Roof Plan; Proposed North, South, East and West Elevations for the Subarea A Buildings 1, 2, 3, 4 and 5; Subarea A Affordable Housing Profile Form; CTA Easement Area; Subarea B Site Plan; Subarea B Building Elevations (two pages); and a Chicago Builds Green Form. (Subarea B exhibits are included for reference only. Subarea B remains unchanged and all ordinances pertinent thereto remain in full force and effect.)

Full-size copies of the exhibits are on file with the Department of Housing and Economic Development. This Planned Development conforms to the intent and purpose of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and all requirements thereof and satisfies the established criteria for approval as a planned development. In any instance where a provision of the Planned Development conflicts with the Chicago Building Code, the Building Code shall control, except as to measurement of height.

5. The following uses shall be permitted within Subarea A as delineated in Planned Development Number 136, as amended, subject to the restrictions in these statements and the Bulk Regulations and Data Table: residential dwelling units on and above the ground floor; townhouses; daycare facilities; schools; retail sales; grocery stores; accessory parking; non-accessory parking if located below-grade; restaurants (Limited and General); financial services; office use; personal services; public transit-related uses; and accessory uses.

The following uses shall be permitted within Subarea B as delineated in Planned Development Number 136, as amended, subject to the restrictions in these statements and the Bulk Regulations and Data Table: residential dwelling units; community centers; daycare facilities; accessory church offices; accessory parking; and other accessory church-related facilities; and accessory uses.

6. On-premises signs and temporary signs are permitted within the Planned Development subject to the review and approval of the Department of Housing and Economic Development. Off-premises signs shall be prohibited.
7. Closure of all or part of any public streets or alleys during demolition or construction shall be subject to the review and approval of the Chicago Department of Transportation. All work proposed in the public way must be designed and constructed in accordance with the Chicago Department of Transportation Construction Standards for Work in the Public Way in effect at the time of construction and in compliance with the Municipal Code of the City of Chicago. Ingress and egress shall be subject to the review and approval of the Department of Transportation and the Department of Housing and Economic Development. Off-street parking and loading facilities shall be provided in compliance with this Planned Development. A minimum of two percent (2%) of all parking spaces provided in Subarea A pursuant to this Planned Development shall be designed and designated as accessible parking for people with disabilities. A minimum of five (5) of the 115 off-street parking spaces within Subarea B shall be designed and designated as accessible parking for people with disabilities.

The Applicant acknowledges that the site traffic impact study completed by KLOA, Inc. on behalf of the Applicant identifies the need for certain traffic control improvements in the immediate vicinity. Accordingly, the Applicant agrees, subject to approval of CDOT, to fund the design and installation of left-turn arrows on the east and west approaches of West Division Street at North Wells Street; to fund the installation of countdown pedestrian signals at the intersections of Division Street and Wells Street, and Division Street and Orleans Street; and to fund the modification of pavement markings on Division Street necessary to provide left-turn lanes at Wells Street. This work must be completed prior to the completion of Phase I.

Applicant agrees to update the traffic impact study prior to starting each subsequent phase, and acknowledges that additional traffic control improvements may be identified by CDOT during subsequent phases. Accordingly, subject to the approval of CDOT, Applicant agrees to fund the design and installation of traffic control improvements as identified by CDOT in the subsequent phases.

8. The maximum permitted floor area ratio ("FAR") for the Property shall be in accordance with the attached Bulk Regulations and Data Table. For purposes of floor area and floor area ratio calculations, the definitions contained in the Chicago Zoning Ordinance in effect as of the date of approval of this Planned Development shall apply.
9. The height of any building and any appurtenance thereto shall not exceed the height established within the Bulk Regulations and Data Table and shall also be subject to height limitations approved by the Federal Aviation Administration. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply.
10. The requirements of this Planned Development as they apply to a specific subarea may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon written application by the owner(s) of the subarea.
11. The Improvements on the Property, including all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial compliance with the exhibits attached hereto and with the landscaping and screening provisions of the Chicago Zoning Ordinance and corresponding regulations and guidelines.
12. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development Number 136, as amended 1992, to Planned Development Number 136, as amended 2012, for the construction of the Residential Project triggers the requirements of Section 2-45-110 of the Municipal Code (the "Affordable Housing Ordinance"). Any developer of a "residential housing project" within the meaning of the Affordable Housing Ordinance must: (i) develop affordable housing units as part of the residential housing project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). In accordance with these requirements and the Affordable Housing Profile Form attached hereto as an exhibit, the Applicant has agreed to provide 10 percent affordable housing units in the Residential Project for households earning up to 60 percent of the Chicago Primary Metropolitan Statistical Area median income (the "Affordable Units"), or make a cash payment to the Affordable Housing Opportunity Fund in the amount of \$100,000 per unit ("Cash Payment"). At the time of each Part II review for the Residential Project, Applicant shall update and resubmit the Affordable Housing Profile Form to the Department of Housing and Economic Development for review and approval. If the Applicant subsequently reduces the number of dwelling units in the Residential Project, the Department of Housing and Economic Development may adjust the requirements of this statement (i.e., number of Affordable Units and/or amount of Cash Payment) accordingly without amending this Planned Development prior to the issuance of a building permit for the residential project, the Applicant must either make the required Cash Payment, or execute an Affordable Housing Agreement in substantially the form attached hereto as an exhibit in accordance with Section 2-45-110(i)(2). The terms of

the Affordable Housing Agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the Affordable Housing Agreement will be recorded against the Property and will constitute a lien against each Affordable Unit. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. Notwithstanding anything to the contrary contained in Section 17-4-1003-E, the Commissioner of Housing and Economic Development may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development Ordinance.

13. The Applicant acknowledges that it is in the public interest to design, construct and renovate all buildings in a manner that provides healthier environments, reduces operating costs and conserves energy and resources. All new buildings within Subarea A shall be certified under the Leadership in Energy and Environmental Design ("LEED") Green Building Rating System and shall include a green roof which covers a minimum of 50 percent of each building's net roof area: approximately 11,980 square feet on Building 1/Phase 1; 14,970 square feet on Building 2/Phase 2; 14,850 square feet on Building 3/Phase 3; 12,850 square feet on Building 4/Phase 4; and 2,500 square feet on Building 5/Phase 5. All buildings constructed in Subarea A pursuant to this Planned Development shall conform to the City of Chicago Sustainable Development Policy Matrix (the "Matrix") in effect on the date of approval of this Planned Development.
14. It is in the public interest to design, construct and maintain the improvements on the Property in a manner which promotes, enables, and maximizes universal access throughout the Property. Plans for all newly constructed buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities ("MOPD") to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. Upon determination pursuant to Section 17-13-0610 of the Chicago Zoning Ordinance, "Part II Review", a Part II Review fee shall be assessed by the Department of Housing and Economic Development. The fee as determined by staff at the time is final and binding on the Part II applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
16. The development of Subarea B is located adjacent to a Chicago Landmark Building (the Sexton School). Accordingly the owner of Subarea B shall provide a landscaped pedestrian walkway within the buffer zone between the landmark building and the apartment building as a means of increasing visual access to the west and north facades of the landmark building. The apartment building shall be set back from the southern boundary of Subarea B as depicted on the Subarea B Site Plan. The owner

of Subarea B shall install and maintain an illuminated, paved pedestrian walkway no less than six (6) feet in width within this setback area. The pedestrian walkway shall not be closed off by any gate or other obstruction unless the owner of Subarea B determines that public safety requires otherwise; any such decision to restrict access for public safety reasons shall be subject to approval by the commander of the local district of the Chicago Police Department, with notice of any such decision provided to the Department of Housing and Economic Development.

17. Each developer of any portion of the Property at the time of a project shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioner of the Department of Streets and Sanitation, the Commissioner of the Environment and the Commissioner of Buildings pursuant to Section 13-32-125 of the Municipal Code of the City of Chicago or any other provision of that Code.
18. The Applicant acknowledges that the City of Chicago and the Chicago Transit Authority ("CTA") are studying the possibility of a future CTA station near the intersection of West Division Street and North Orleans Street in accordance with the "Central Area Action Plan" adopted by the Chicago Plan Commission on August 20, 2009. The Applicant recognizes the value that convenient access to public transportation would offer the residents of this Planned Development and agrees to grant the CTA a permanent easement (the "Station Easement") in, on, over and under the area labeled "Future Transit Station" as generally depicted on the Site Plan and on the CTA Easement Areas exhibit (the "CTA Exhibit") for the purpose of constructing, operating and maintaining a rail station and related public transportation facilities. The Applicant must record the Station Easement prior to the issuance of any Part II approval for the Project. The transit station has not been fully designed as of the date of this Planned Development. Accordingly, prior to the issuance of Part II approval for the transit station, the CTA shall submit a site plan ("Transit Station Site Plan") to the Commissioner of Housing and Economic Development (the "Commissioner") for approval. Review and approval of the Transit Station Site Plan by the Commissioner is intended to assure that specific development proposals substantially conform to this Planned Development and to assist the City in monitoring on-going development. The CTA shall share copies of the Transit Station Site Plan with the Applicant for informational purposes only. The Department shall convene meetings between the CTA and the Applicant, if necessary and at the Department's own discretion, to discuss the station plans prior to final site plan approval of the station. Following approval of the Transit Station Site Plan by the Commissioner, the plan and such supporting data and materials as the Commissioner has requested shall be kept on permanent file with the Commissioner and shall be deemed to be an integral part of this Planned Development. The approved Transit Station Site Plan may be changed or modified pursuant to the provisions of Statement 10 hereof. In the event of any inconsistency between the approved Transit Station Site Plan and the terms of this Planned Development in effect at the time of approval of such plan or of the modifications or changes thereto, the terms of this Planned Development shall govern. Applicant shall bear no costs associated with the proposed transit station.

The CTA acquired certain rights within the triangular area depicted on the CTA Exhibit and labeled as "Existing Easement" pursuant to a vacation ordinance adopted by the City Council on March 21, 1977. The 1977 ordinance gives the CTA the right to occupy the Existing Easement with its facilities, and also prohibits the construction of buildings

or structures within the area that would interfere with the operation, maintenance, repair, renewal or replacement of the CTA's facilities. The parking deck proposed for Phases 3 and 4 of the Project encroaches into the Existing Easement, and the Applicant has requested a release of the CTA's rights within the Existing Easement area. The CTA has agreed to grant a recordable release of its rights, subject to the Applicant's grant of a permanent, non-exclusive easement (the "Maintenance Easement") in, on, over, under, through and across the western portion of its Property to the extent necessary to create a buffer (clear zone) of at least 14 feet along, and parallel to, the eastern edge of the CTA elevated track structures for access to, and maintenance, repair, renovation and replacement of any CTA transit facilities now or hereafter located within the CTA's Brown Line right-of-way, and for safety reasons. The Applicant must record the Maintenance Easement prior to the issuance of any Part II approval for the Project.

19. This Planned Development ordinance will lapse and be null and void unless construction within Subarea A of the Phase I/Building 1 Improvements as set forth in the attached exhibits and as authorized by a building permit, has commenced within six years of the date of City Council approval and has been diligently pursued. The six year period may be extended by up to one additional year if, before expiration, the Zoning Administrator receives a written request from the owner(s) of Subarea A and determines that good cause for an extension is shown. If this Planned Development amendment shall lapse as provided in this statement and Section 17-13-0612 of the Chicago Zoning Ordinance, then the Zoning Administrator shall initiate a Zoning Ordinance Map Amendment to rezone the Planned Development to Planned Development Number 136, as amended November 6, 1992.

[Affordable Housing Profile Form referred to in these Plan of Development Statements unavailable at time of printing.]

[Existing Land-Use Map; Planned Development Boundary, Property Line and Subarea Map; Existing Zoning and Street System Map; Subarea A -- Generalized Site Plan; Subarea A -- Site Plans; Subarea A -- Floor Plans; Subarea A -- Landscape Plans; Subarea A -- Plant List; Subarea A -- Landscape Details; Subarea A -- Green Roof Plans; Subarea A -- Vehicular Use Area; CTA Easement Areas; Subarea A -- Building Elevations; Site Plan Affordable Housing Agreement; and Chicago Builds Green Form referred to in these Plan of Development Statements printed on pages 31727 through 31797 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Planned Development No. 136, As Amended.**Bulk Regulations Table.*

Gross Site Area (Total):	453,189 square feet
Subarea A:	375,455 square feet
Subarea B:	77,734 square feet
Area In Public Right-of-Way (Total):	82,400 square feet
Subarea A:	62,076 square feet
Subarea B:	20,324 square feet
Net Site Area (Total):	370,789 square feet
Subarea A:	313,379 square feet
Subarea B:	57,410 square feet
Maximum Floor Area Ratio:	5.00
Subarea A:	5.00
Subarea B:	4.94
Maximum Number of Dwelling Units:	1,844
Subarea A (Including Efficiency Units):	1,500
Phase 1/Building 1:	327
Phase 2/Building 2:	337
Phase 3/Building 3:	387
Phase 4/Building 4:	437

Phase 5/Building 5:	12
Subarea B:	344
Minimum Number of Parking Spaces:	1,191
Subarea A:	1,076
Subarea A Total:	1,280
Dwelling Units:	1,175
Phase 1/Building 1:	243
Phase 2/Building 2:	253
Phase 3/Building 3:	347
Phase 4/Building 4:	320
Phase 5/Building 5:	12
Retail and School:	105
Subarea B:	115
Minimum Number of Bicycle Storage Spaces:	
Subarea A Total:	200
Phase 1/Building 1:	50
Phase 2/Building 2:	50
Phase 3/Building 3:	50
Phase 4/Building 4:	50
Phase 5/Building 5:	6

Minimum Number of Loading Berths (10 feet x 25 feet):	10
Subarea A:	8
Phase 1/Building 1:	2
Phase 2/Building 2:	2
Phase 3/Building 3:	2
Phase 4/Building 4:	2
Phase 5/Building 5:	0
Subarea B:	2

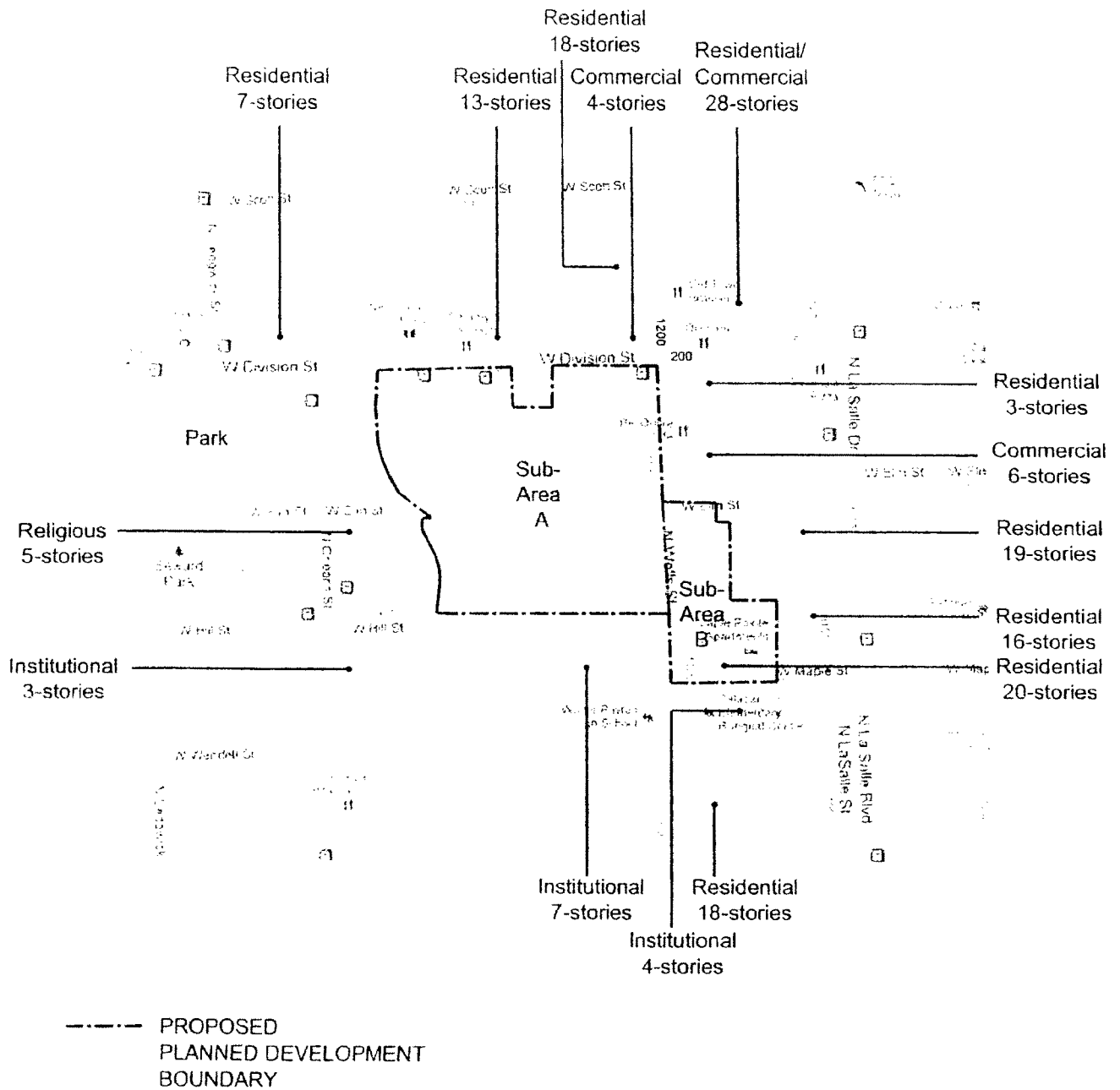
Maximum Building Height:

Subarea A:	
Phase 1/Building 1:	310
Phase 2/Building 2:	340
Phase 3/Building 3:	375
Phase 4/Building 4:	395
Phase 5/Building 5:	70
Subarea B:	As built

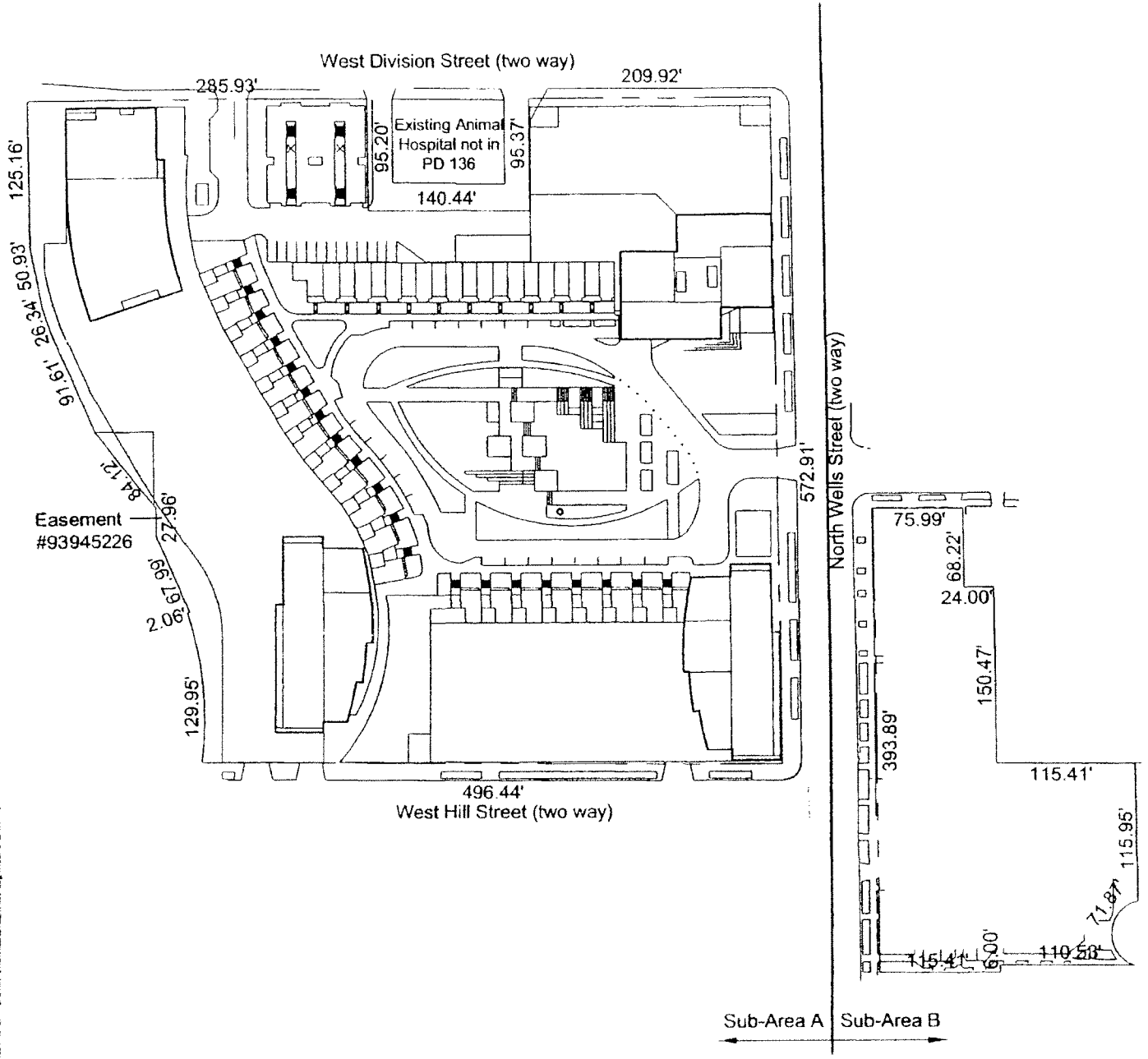
Notes:

- (1) Residential units and parking spaces may be reallocated among the five phases and five buildings through the administrative change process per Section 17-13-0611 of the Chicago Zoning Ordinance.
- (2) The maximum percentage of Efficiency Units in each building is 30 percent.

Existing Land-Use Area Map.

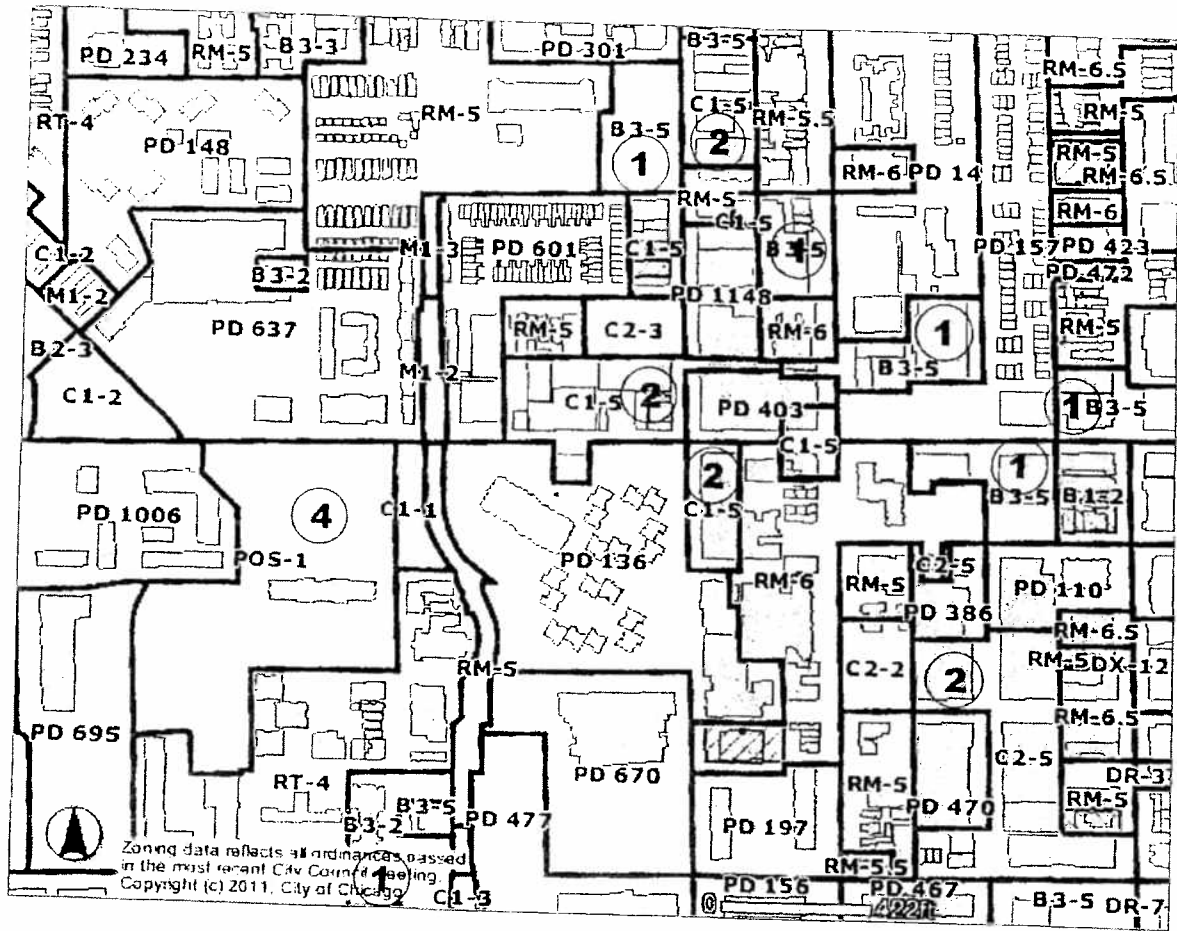


Planned Development Boundary,
Property Line And Subarea Map.



ALL PROPERTY LINE MAPS AND ADJUSTMENT MAPS SUBJECT TO A.P.N.

Existing Zoning And Street System Map.

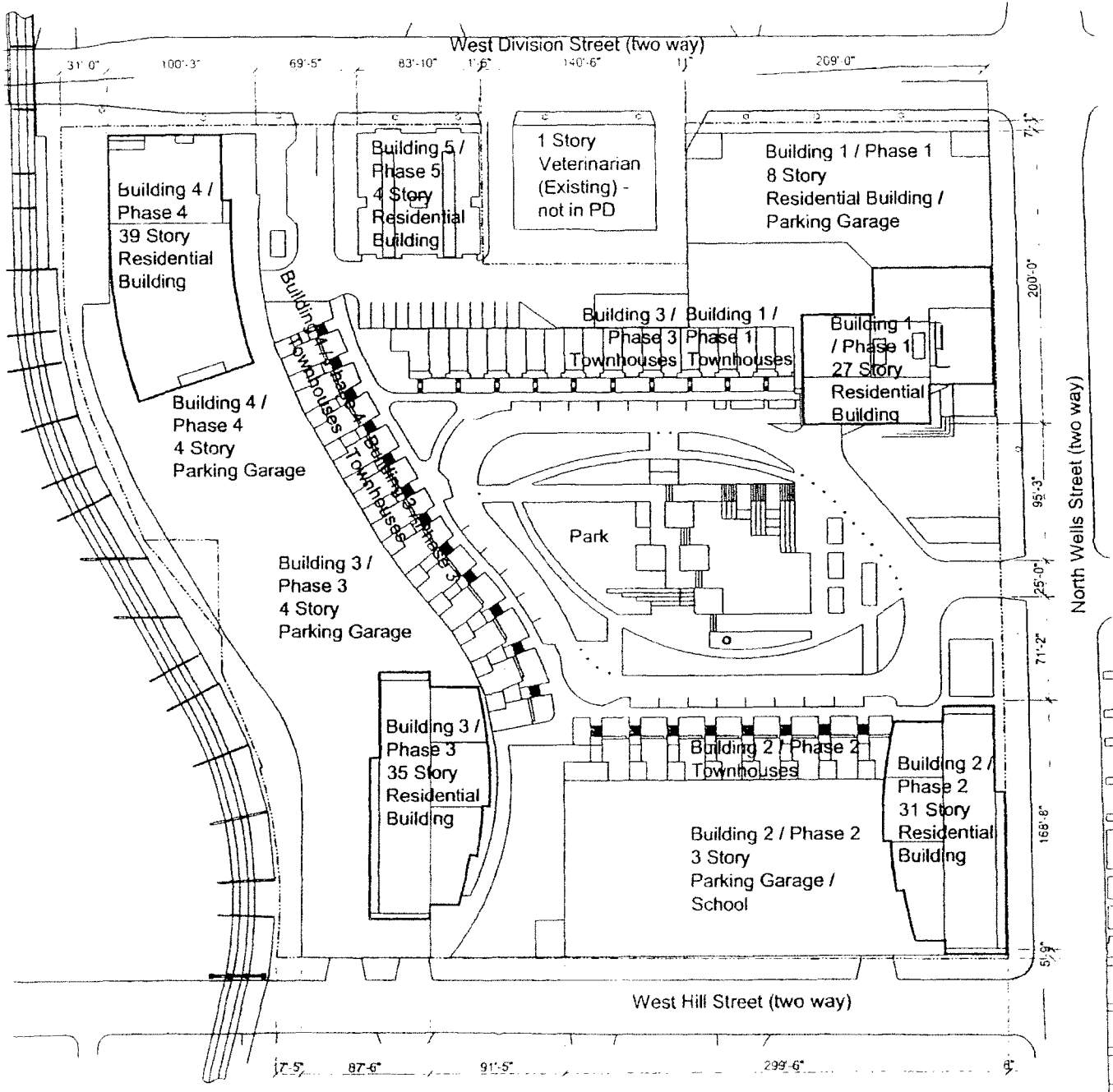


 INDICATES AREA OF PLANNED DEVELOPMENT

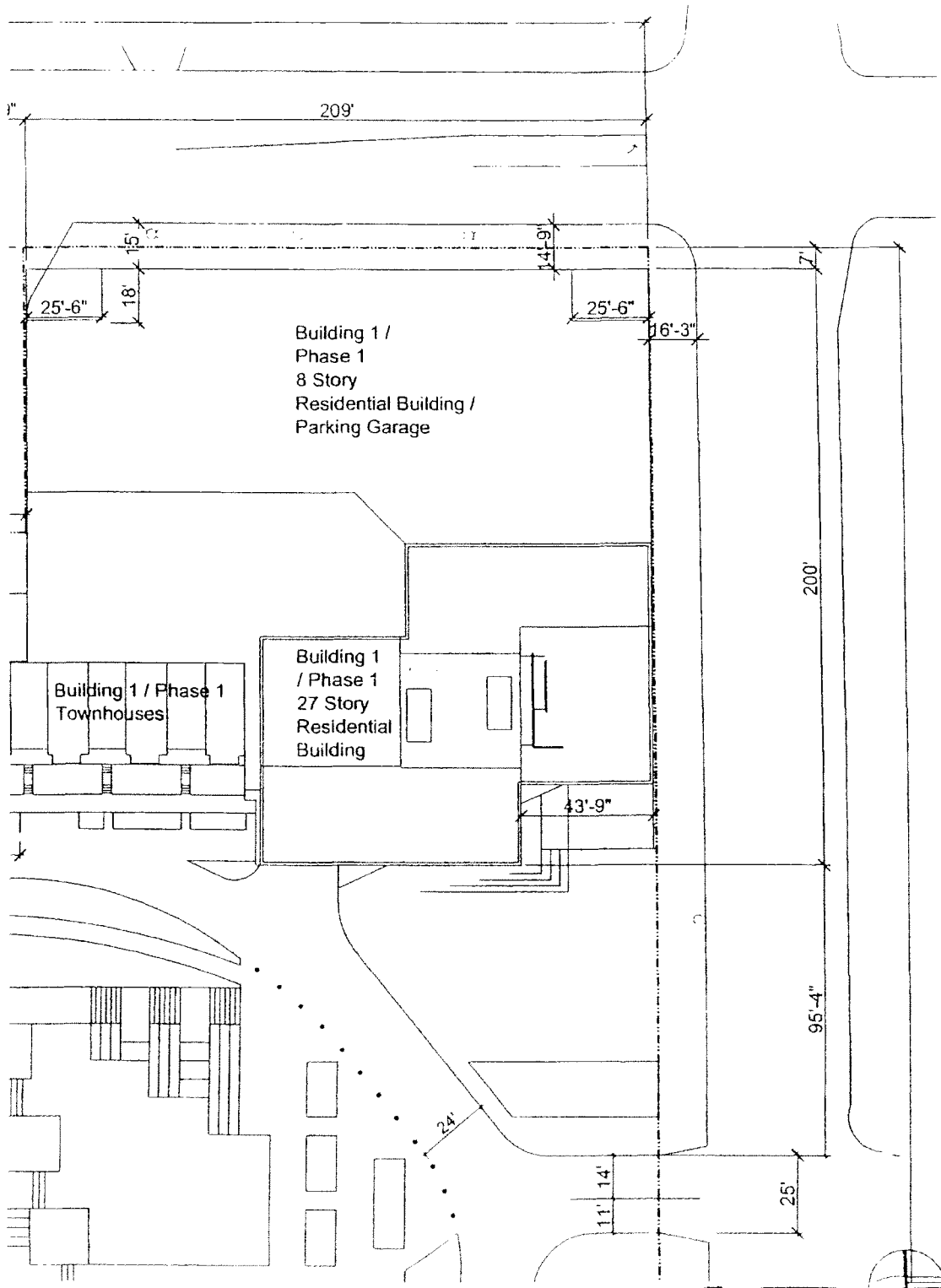
 ZONING DISTRICT BOUNDARIES

KEY #
1 Business District
2 Commercial District
PD Planned Development
4 Parks & Open Space

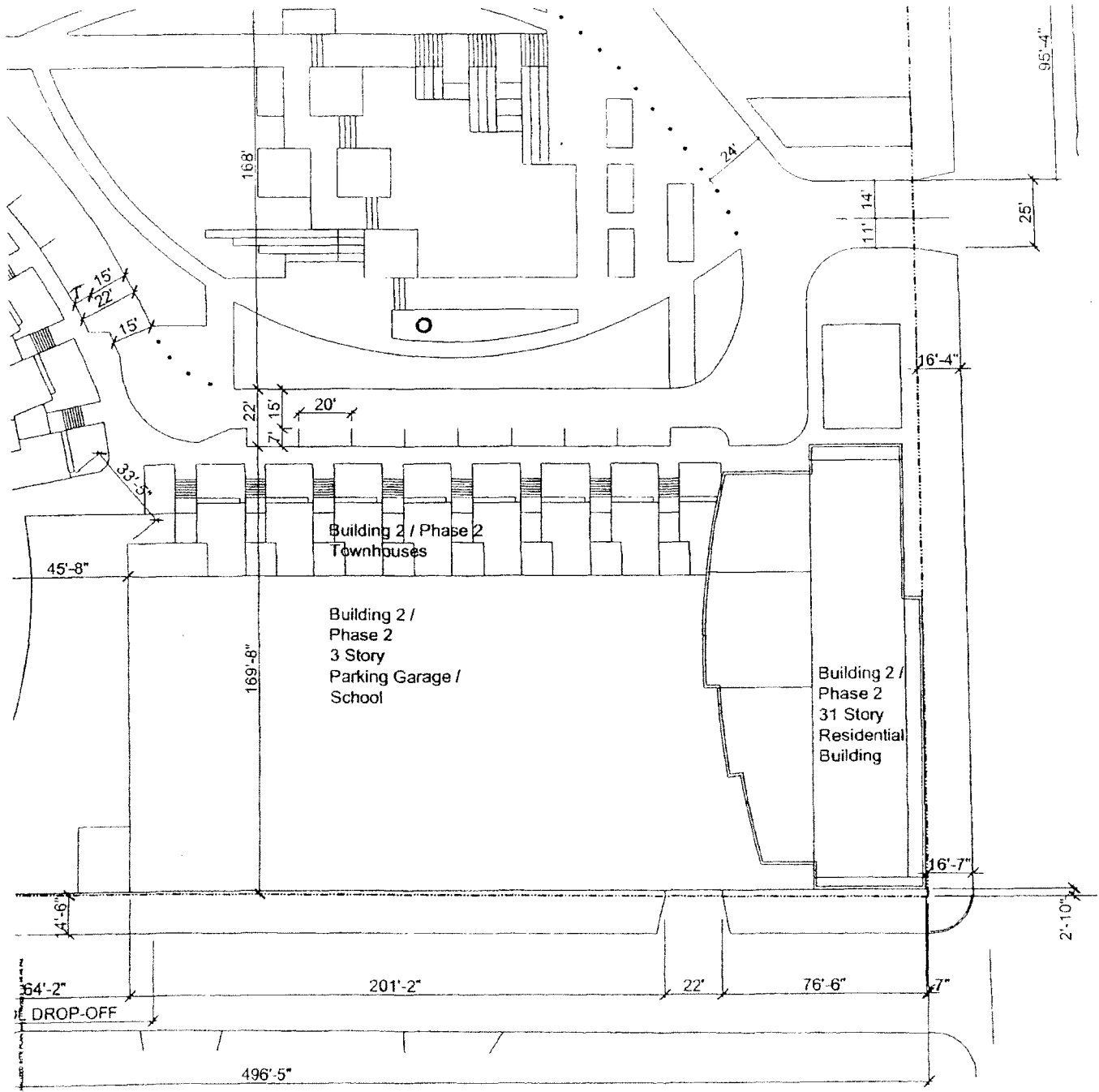
Subarea A -- Generalized Site Plan.



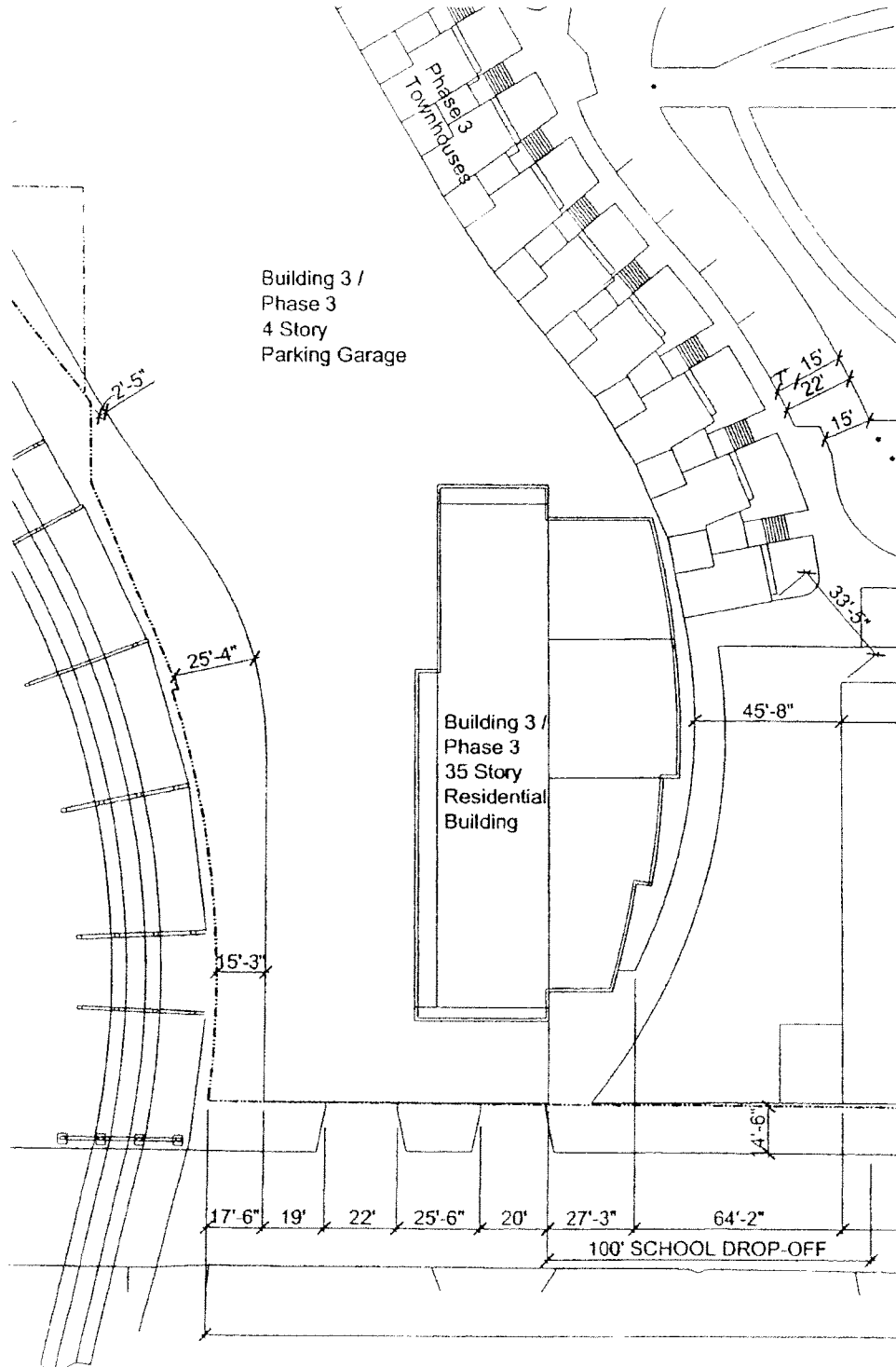
Subarea A Building 1 -- Site Plan.



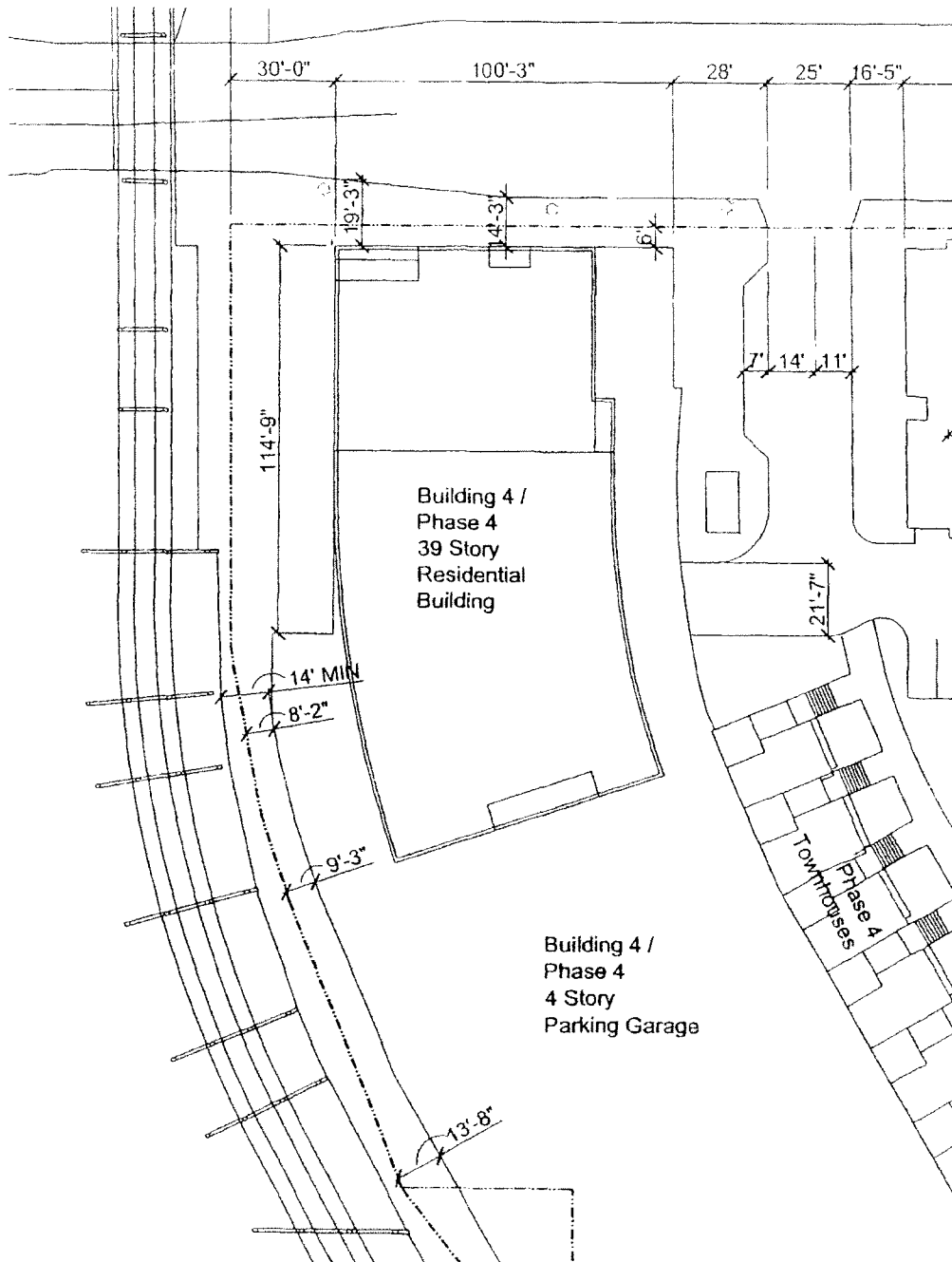
Subarea A Building 2 -- Site Plan.



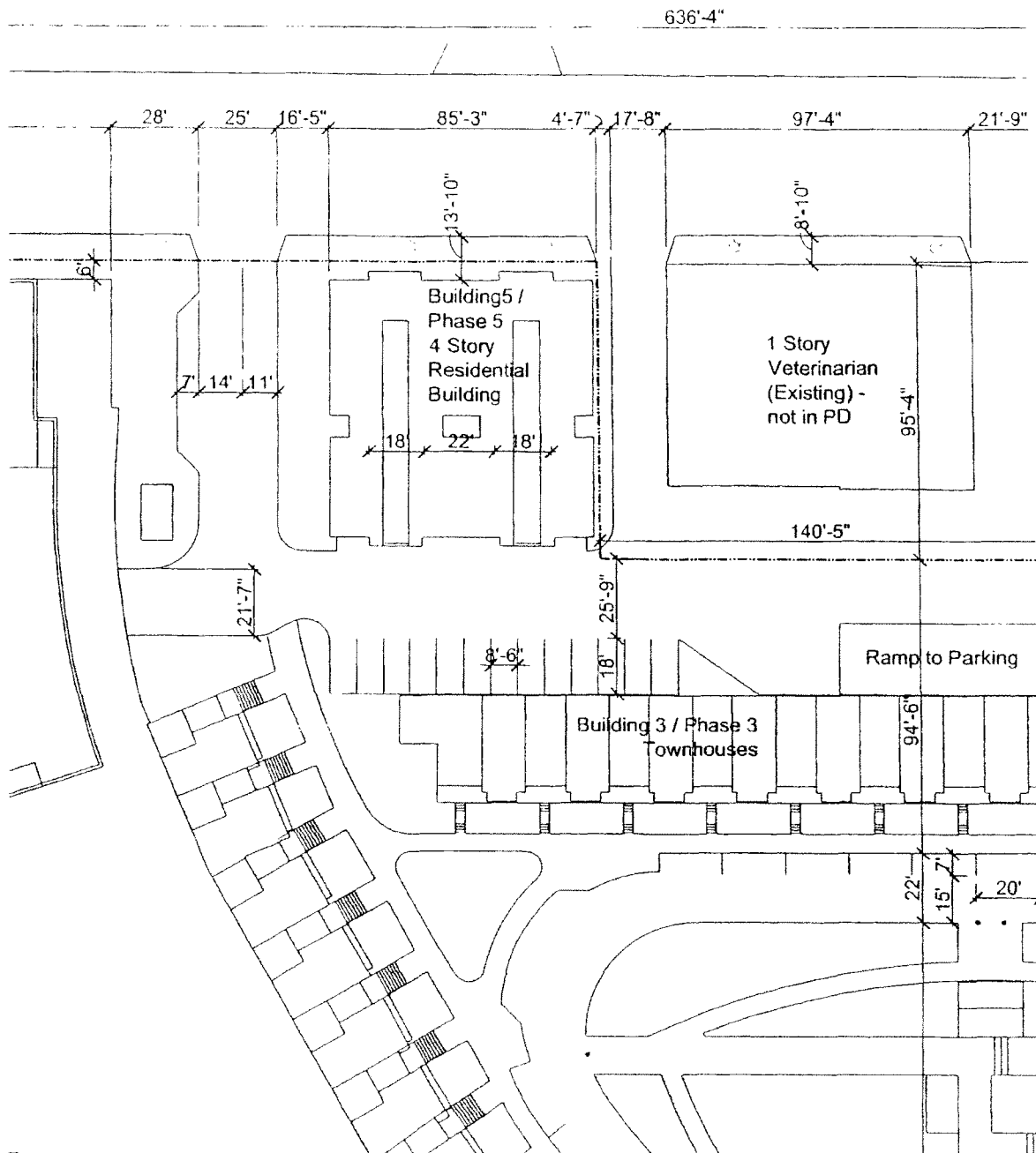
Subarea A Building 3 -- Site Plan.



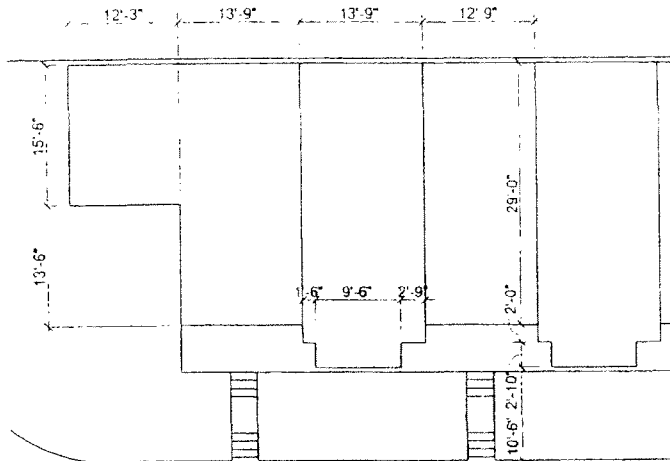
Subarea A Building 4 -- Site Plan.



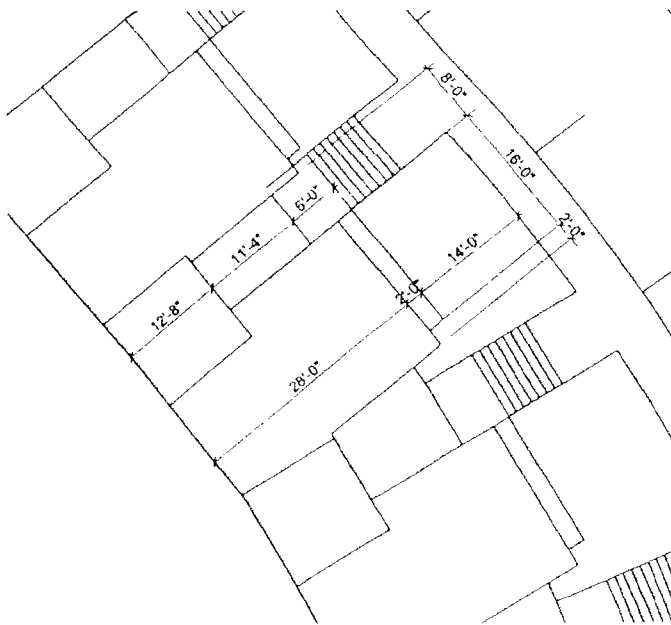
Subarea A Building 5 -- Site Plan.



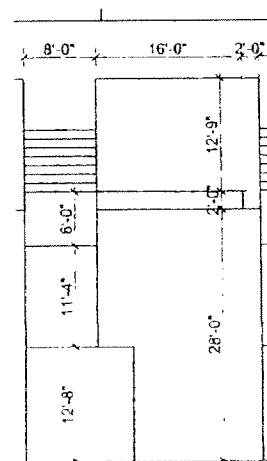
Subarea A -- Townhouse Plans.



Building 3 / Phase 3
Townhouse
(Phase 1 Identical)

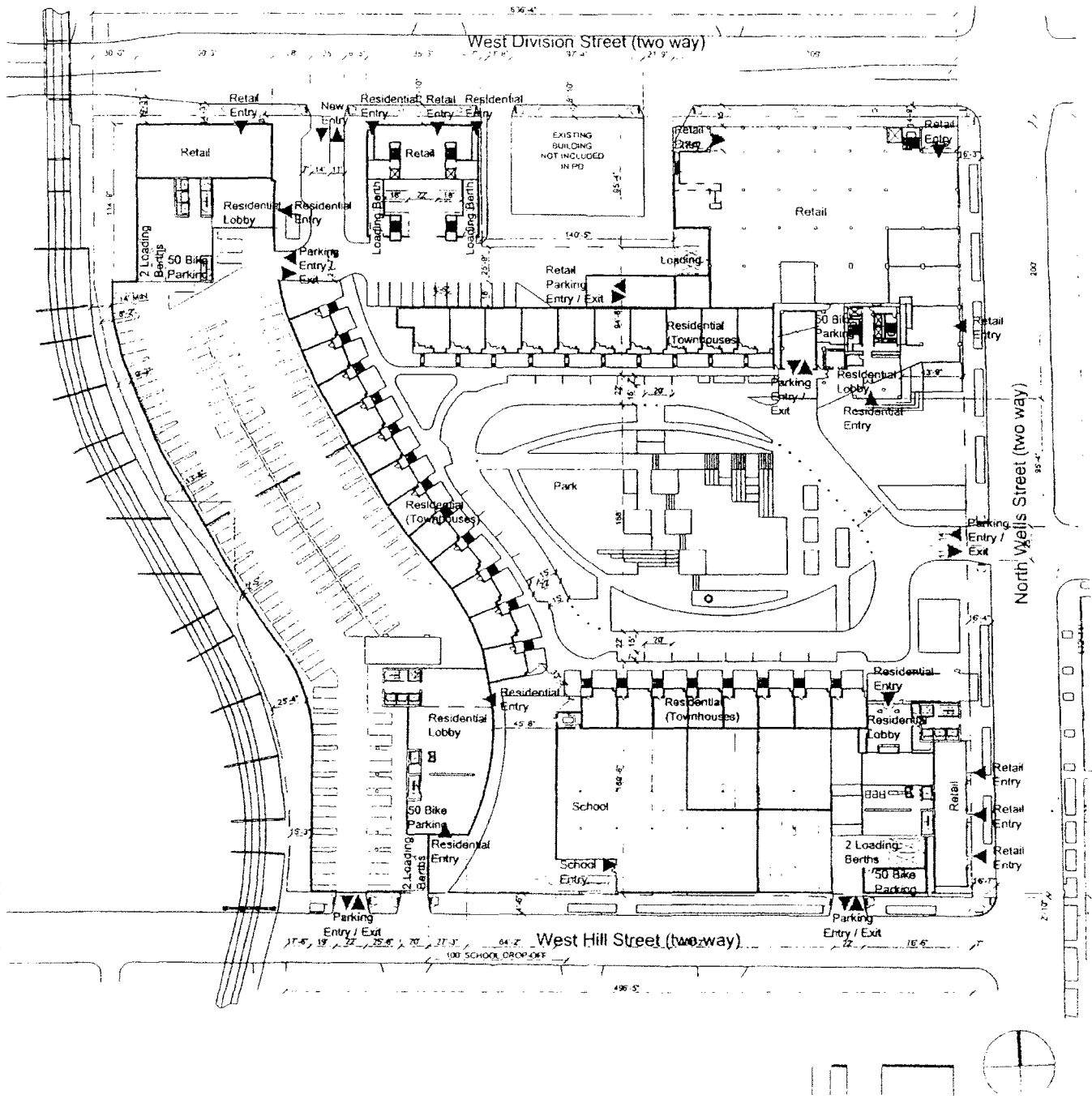


Building 3 / Phase 3
Townhouse
(Phase 4 Identical)



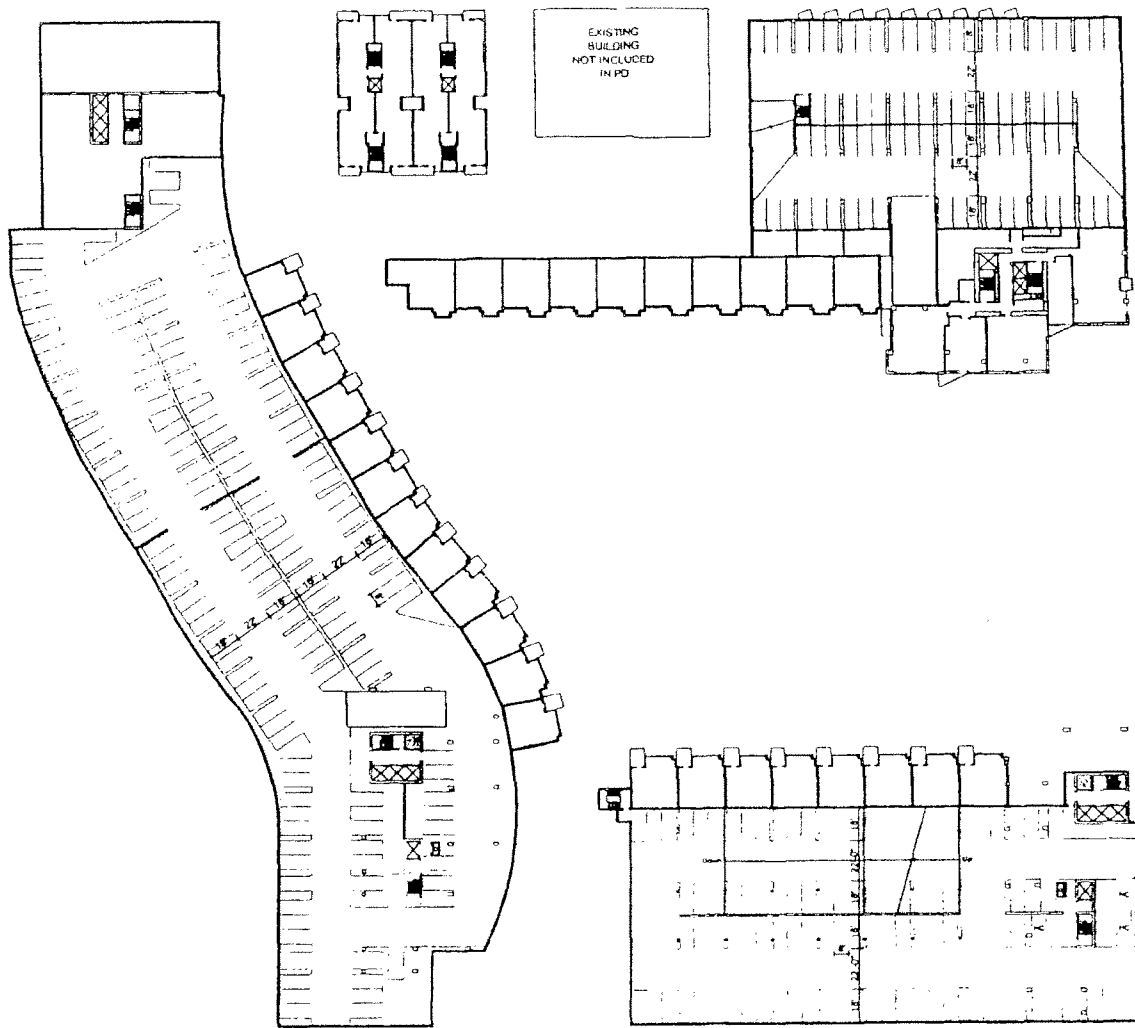
Building 2 /
Phase 2
Townhouse

Subarea A -- Ground Floor Plan.

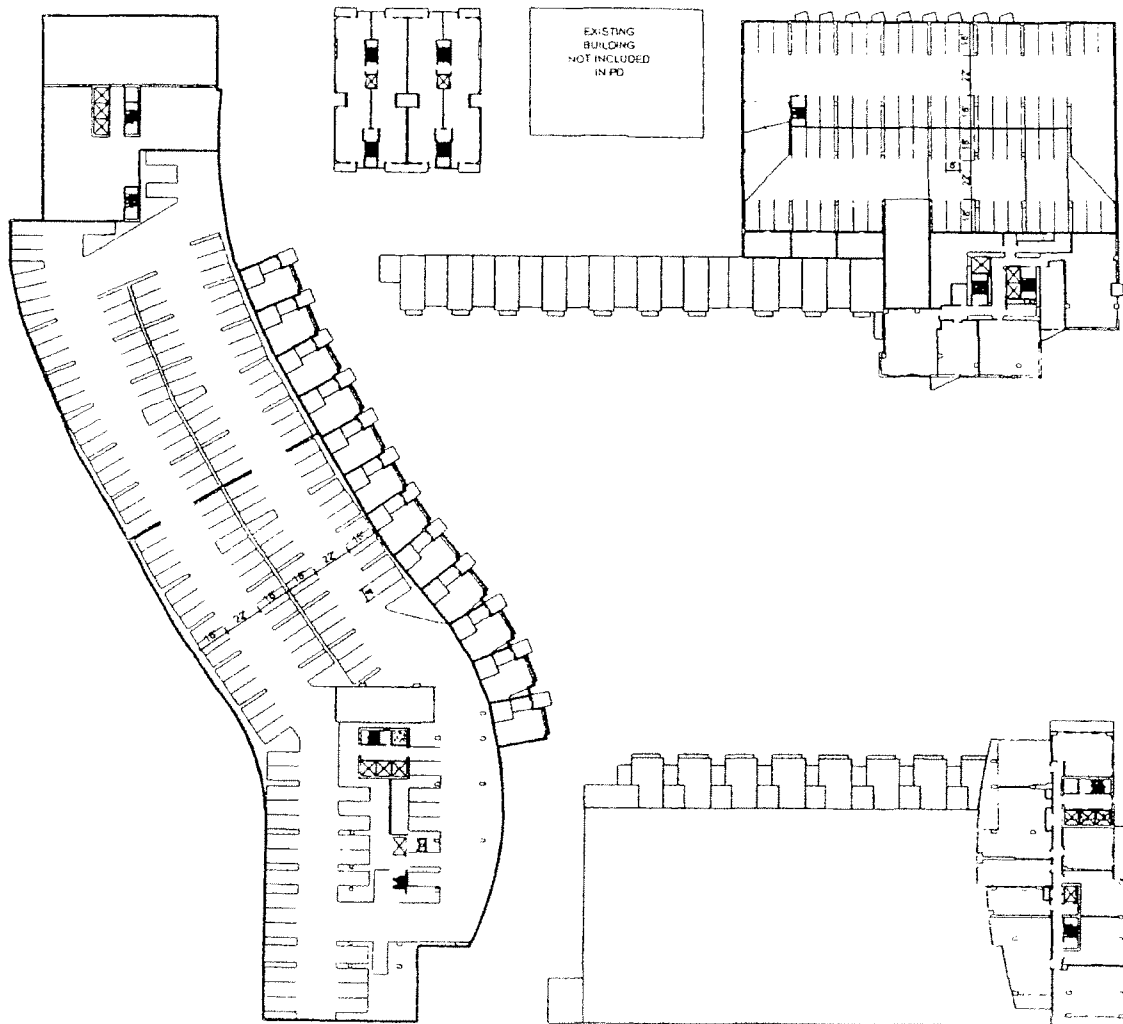


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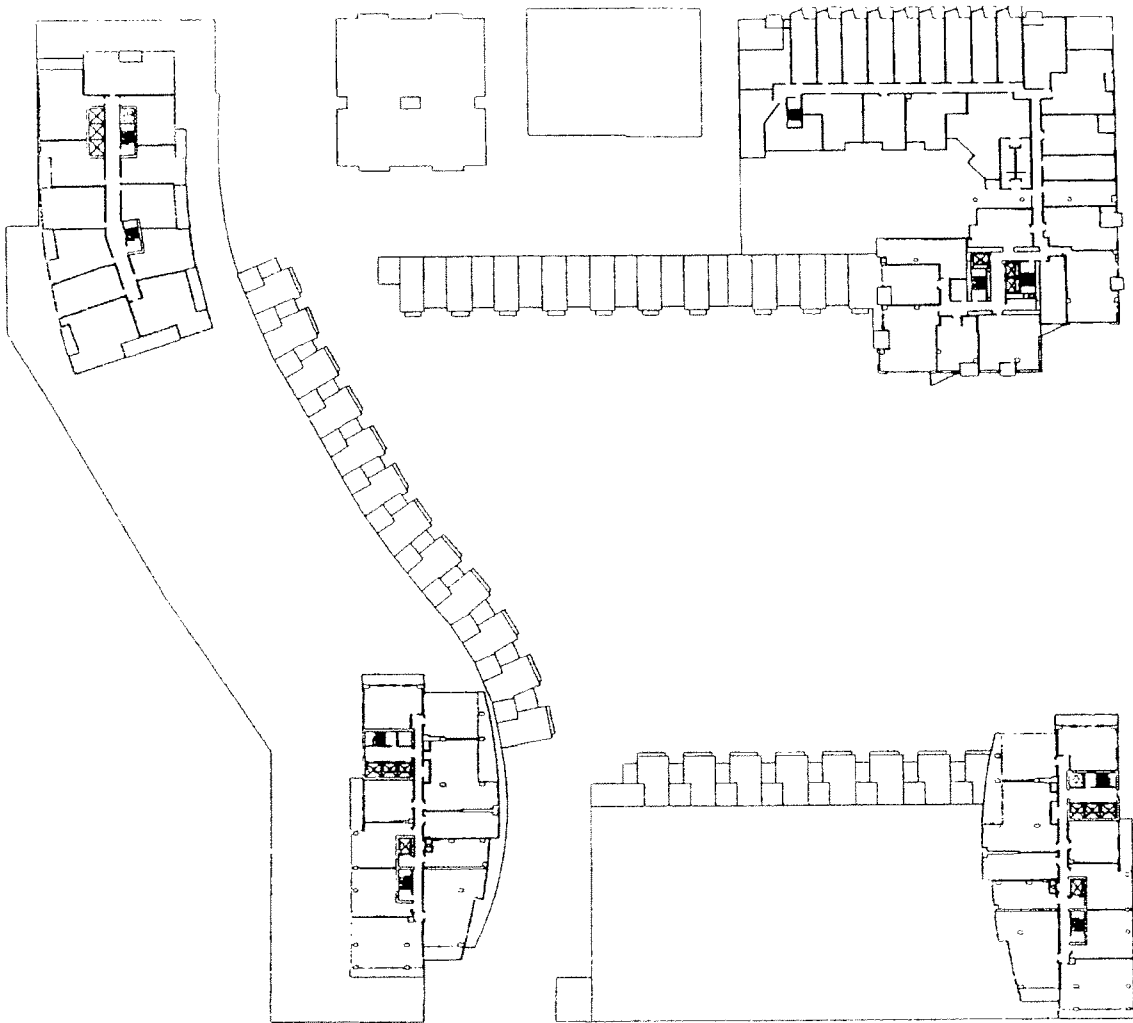
Subarea A -- Second And Third Floor Plan.



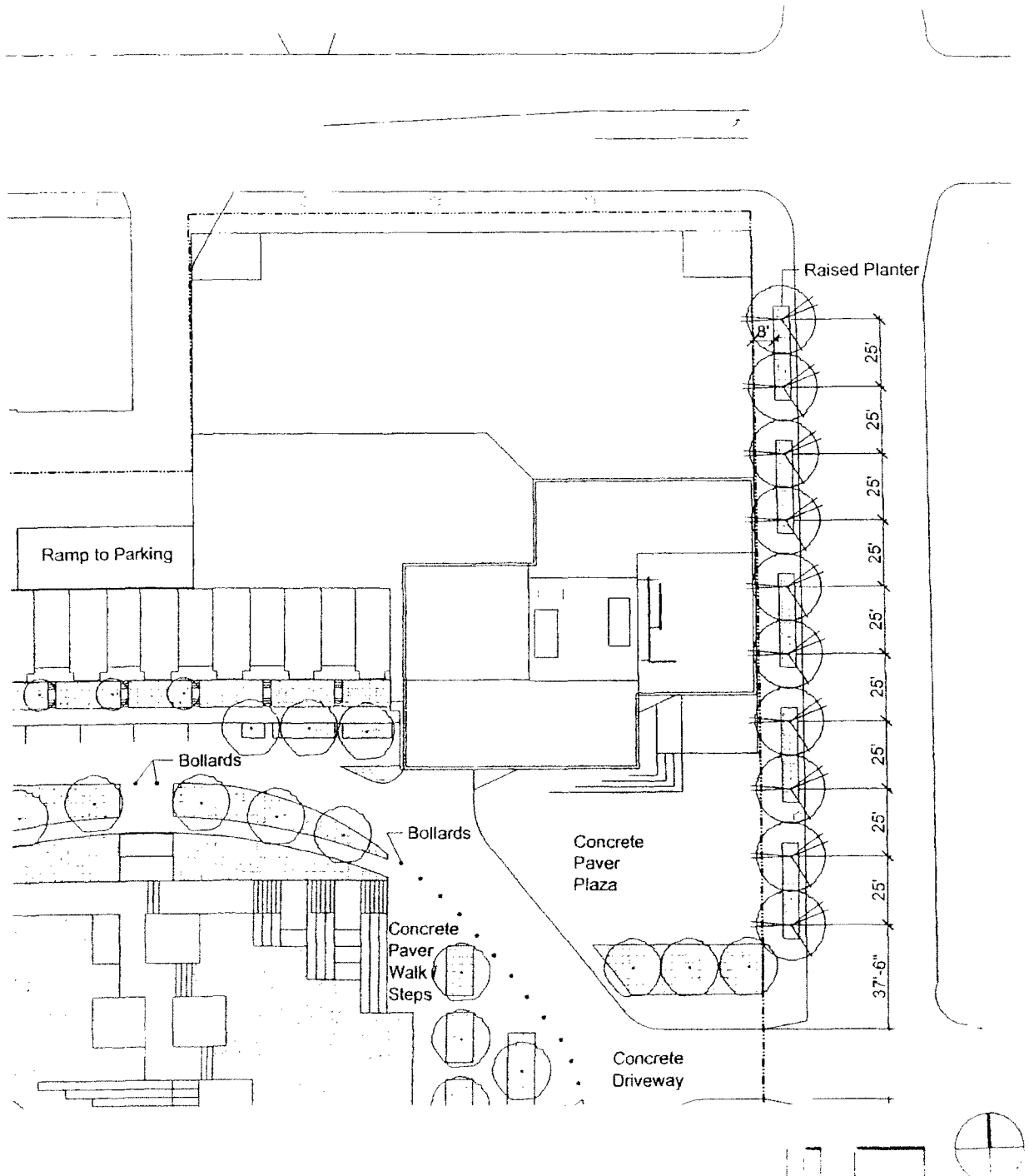
Subarea A -- Fourth Floor Plan.



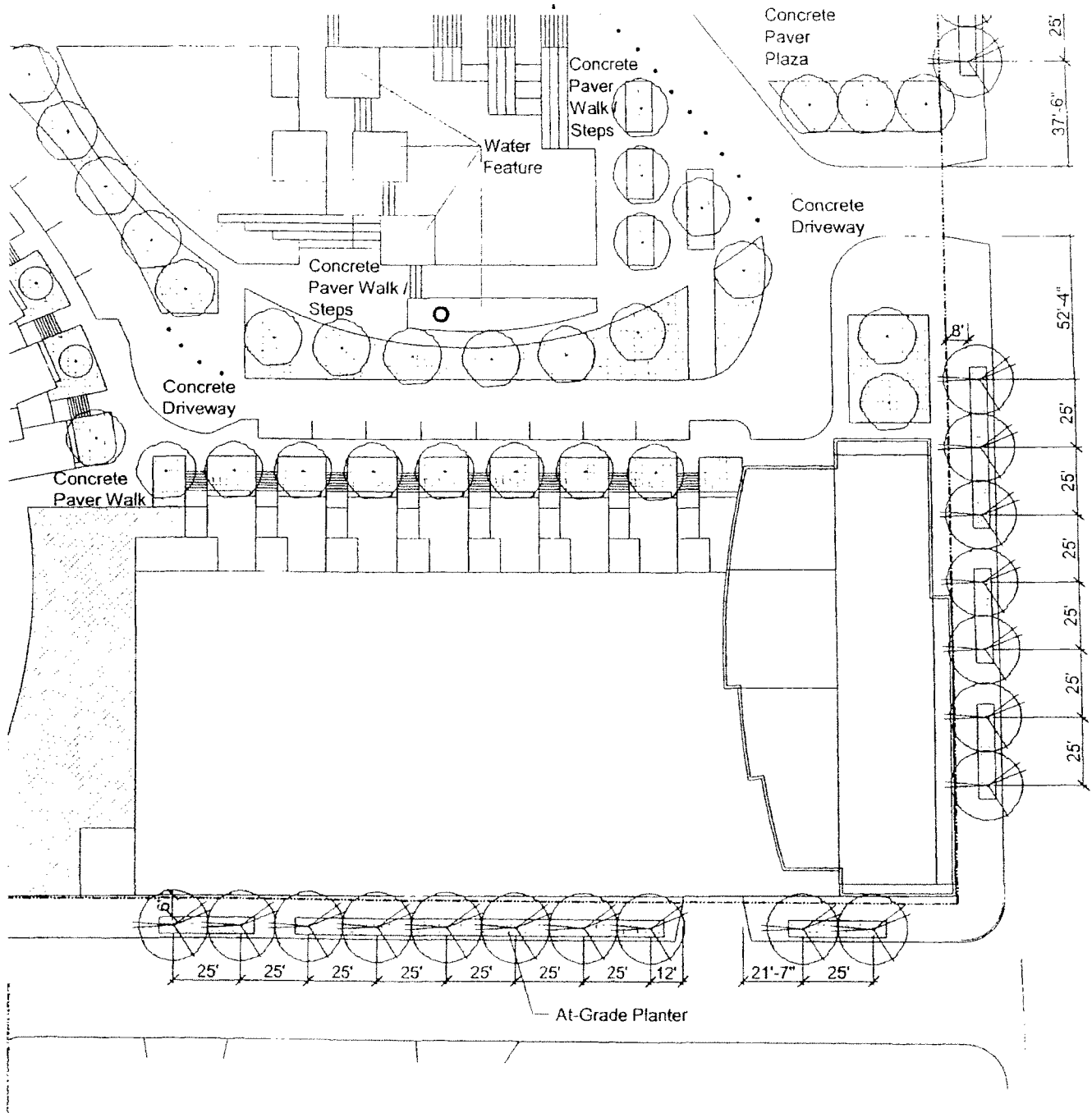
Subarea A -- Fifth Floor Plan.



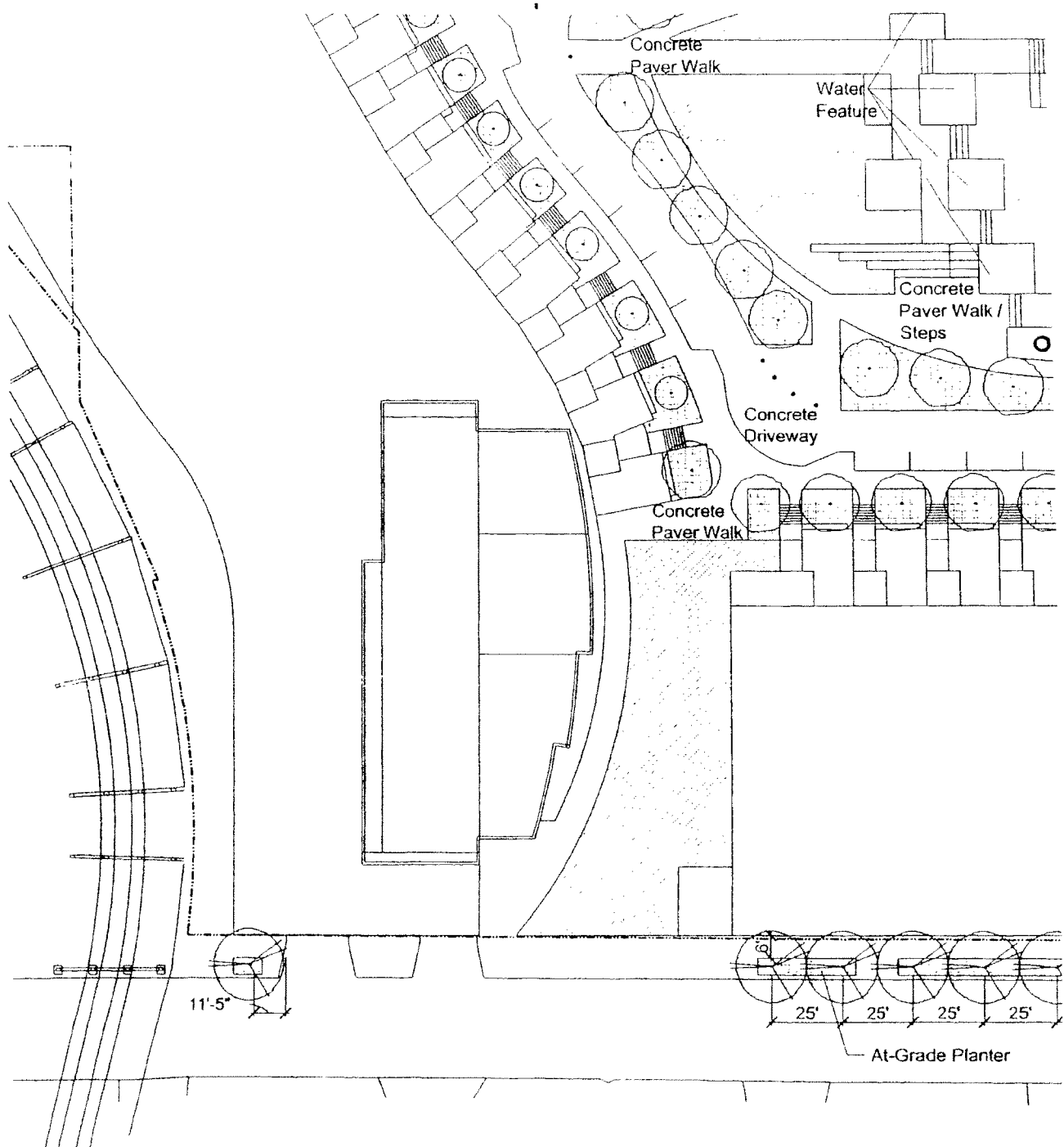
Subarea Building 1/Phase 1 -- Landscape Plan.



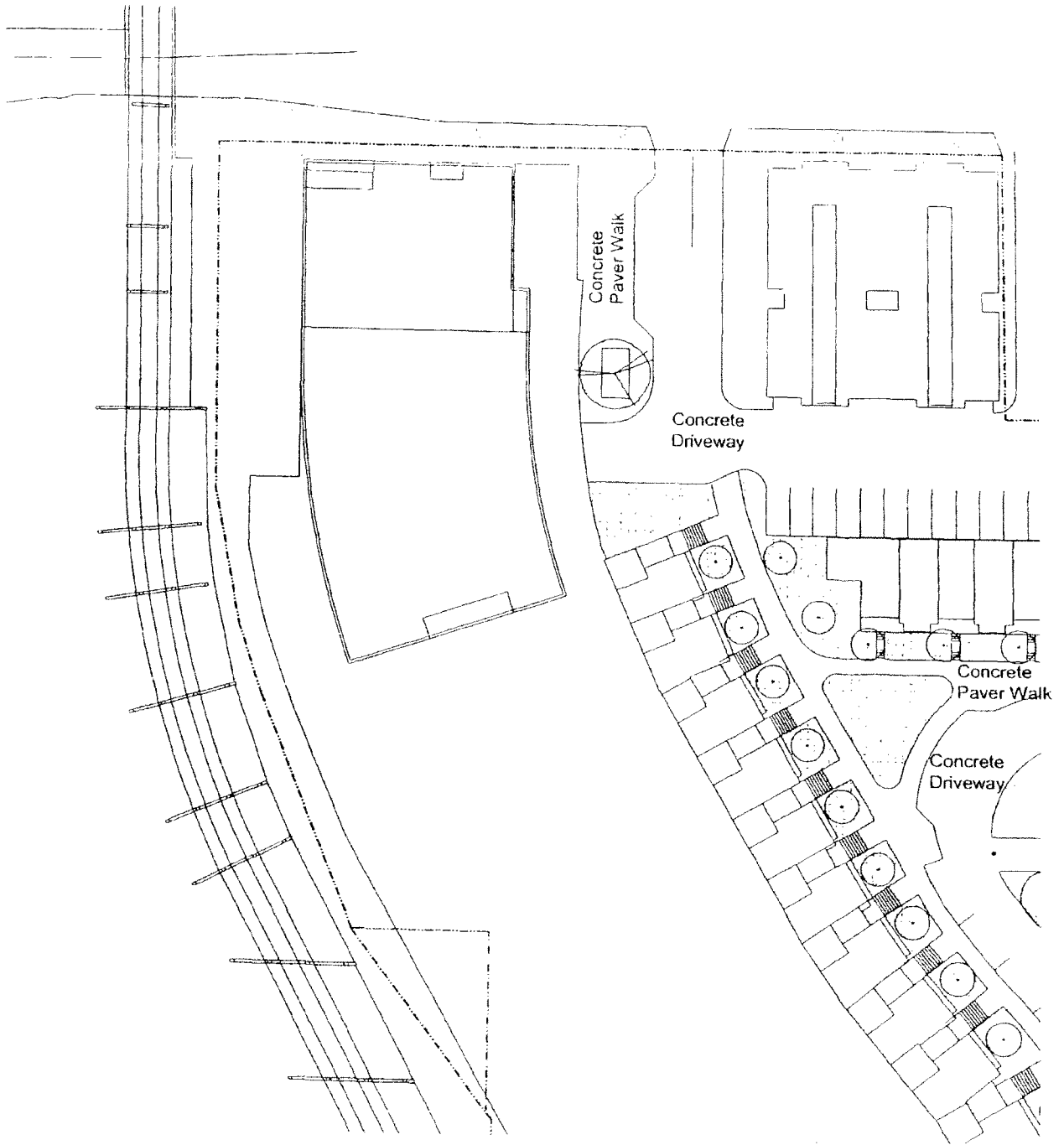
Subarea Building 2/Phase 2 -- Landscape Plan.



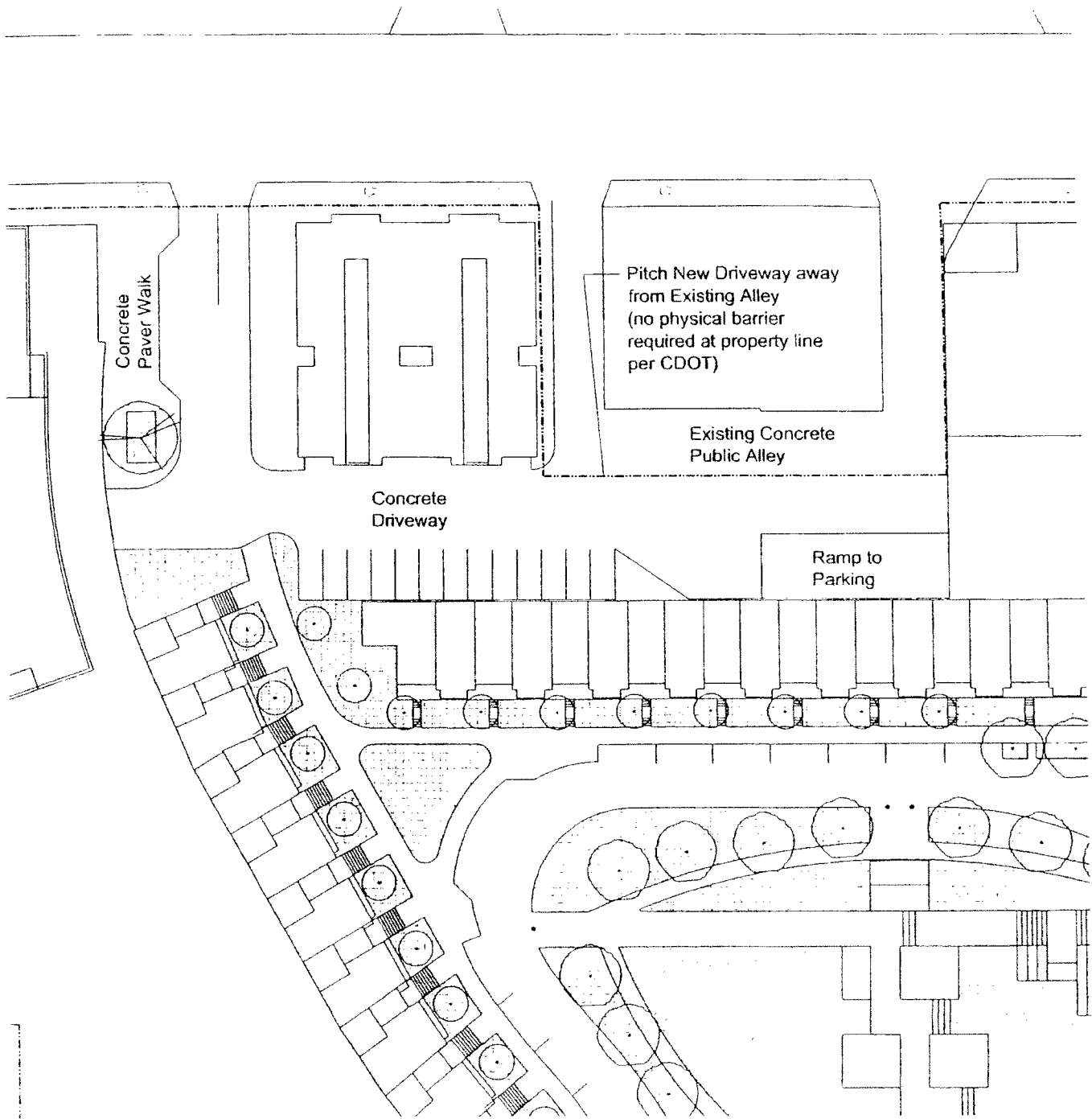
Subarea Building 3/Phase 3 -- Landscape Plan.



Subarea Building 4/Phase 4 -- Landscape Plan.



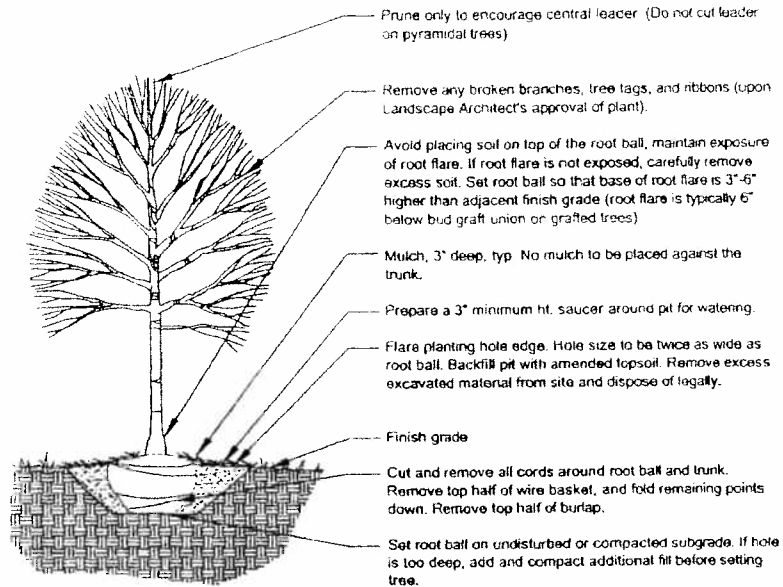
Subarea Building 5/Phase 5 -- Landscape Plan.



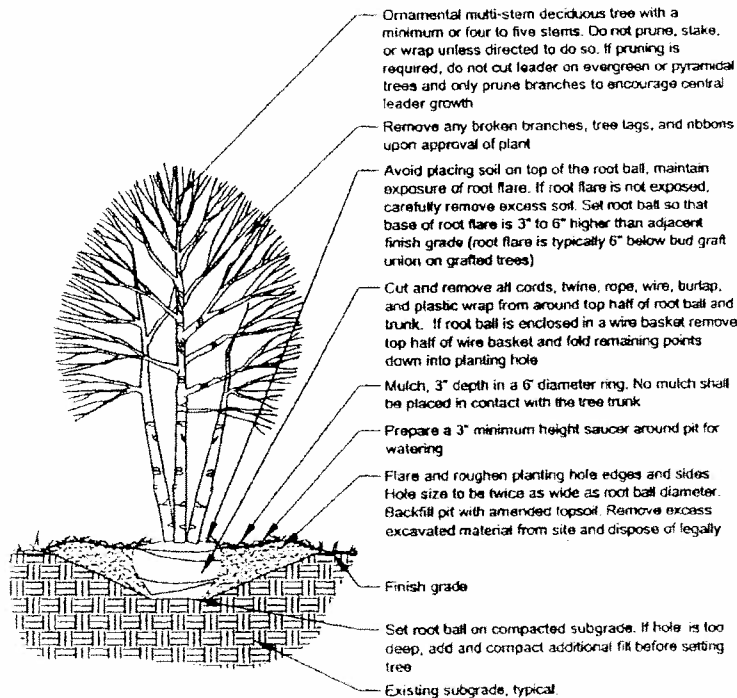
Subarea A -- Plant List.

	CODE	BOTANIC NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES	AFM	ACER X FREEMANI 'MARMO'	MARMO MAPLE	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
	ARA	ACER RUBRUM 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
	COC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
	GDI	GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE (MALE)	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
	LJU	LIRIODENDRON TULIPIFERA	TULIP TREE	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
	PLO	PLATANUS OCCIDENTALIS	AMERICAN PLANE TREE	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
	QBI	QUERCUS BICOLOR	SWAMP WHITE OAK	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
	RPB	ROBINIA PSEUDOACACIA 'CHICAGO BLUE'	CHICAGO BLUE BLACK LOCUST	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
	TAR	TILIA AMERICANA 'REDMOND'	REDMOND AMERICAN LINDEN	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
	ULM	ULMUS X 'MORTON'	ACCOLADE ELM	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN
ULF	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE ELM	3' & 4" B&B	SINGLE STRAIGHT STEM, SPECIMEN	
ORNAMENTAL TREES	AMA	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' HEIGHT	SPECIMEN, 4-5 MATCHING STEMS, MIN.
	CCD	CERCIS CANADENSIS	EASTERN REDBUD	6' HEIGHT	SPECIMEN, 4-5 MATCHING STEMS, MIN.
	CFL	CORNUS FLORIDA	FLOWERING DOGWOOD	6' HEIGHT	SPECIMEN, 4-5 MATCHING STEMS, MIN.
	CCI	CRATAEGUS CRUSGALLI 'INERMIS'	THORNLESS COCKSPUR HAWTHORN	6' HEIGHT	SPECIMEN, 4-5 MATCHING STEMS, MIN.
	MPF	MALUS 'PRAIRIEFIRE'	PRAIRIEFIRE CRABAPPLE	6' HEIGHT	SINGLE STRAIGHT STEM, SPECIMEN
SHRUBS	BTC	BUXUS 'WINTERGREEN'	WINTERGREEN BOXWOOD	18" HT.	
	CSC	CORNUS SERICEA 'CARDINAL'	CARDINAL REDOSIER DOGWOOD	36" HT.	
	RAL	RIBES ALPNUM	ALPINE CURRANT	36" HT.	
	RKO	ROSA X 'RED KNOCK OUT'	RED KNOCK OUT ROSE	24" HT.	
	REB	ROSA 'KORPANCOM'	ELECTRIC BLANKET ROSE	24" HT.	
	SJL	SPIRAEA JAPONICA 'NEON FLASH'	NEON FLASH SPIREA	18" HT.	
	SBA	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER JAPANESE SPIREA	18" HT.	
	SYK	SYRINGA PATULA 'MISS KIM'	COMMON PURPLE LILAC	24" HT.	
	TMO	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	24" HT.	
	VID	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	36" HT.	
ORNAMENTAL GRASSES	CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	3 GALLON	
	MCV	MOLINA CAERULEA 'VARIGATA'	VARIEGATED MOOR GRASS	2 GALLON	
	MSP	MISCANTHUS SINENSIS 'PURPURESCENS'	PURPLE MAIDEN GRASS	2 GALLON	
	PAV	FANICUM VIRGATUM	HEAVY METAL SWITCHGRASS	3 GALLON	
	PAH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	2 GALLON	
	SHE	SPOROBOLUS HETEROLEPSIS	PRAIRIE DROPSEED	2 GALLON	
SSB	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	LITTLE BLUESTEM	2 GALLON		
PERENNIALS / GROUNDCOVERS	EPU	ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GALLON	
	EFC	ELONYMOS FORTUNEI 'COLORATUS'	PURPLELEAF WINTERCREEPER	3" POT	
	GER	GERANIUM SANGUINEUM	BLOODY CRANESBILL	1 GALLON	
	HHR	HEMEROCALLIS X 'HAPPY RETURNS'	DAYLILY	1 GALLON	
	HJN	HEMEROCALLIS X 'JOLYENE NICOLE'	DAYLILY	1 GALLON	
	HPM	HEMEROCALLIS X 'PARDON ME'	DAYLILY	1 GALLON	
	HPP	HEUCHERA MICRANTHA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	1 GALLON	
	HSB	HEUCHERA 'SPARKLING BURGANDY'	SPARKLING BURGANDY CORAL BELLS	1 GALLON	
	HOG	HOSTA 'GOLD EDGER'	GOLD EDGER HOSTA	1 GALLON	
	LSP	LIA TRIS SPICATA	SPIKE BLAZINGSTAR	1 GALLON	
	PTG	PACHYSANDRA TERMINALIS 'GREEN CARPET'	GREEN CARPET PACHYSANDRA	3" POT	
	PTA	POTENTILLA ARGUTA	PRAIRIE CINQUEFOIL	1 GALLON	
	RPI	RATIBIDA PINNATA	YELLOW CONEFLOWER	1 GALLON	
	RUH	RUDBECKIA HIRTA	BLACK EYED SUSAN	1 GALLON	
	VSG	VERONICA X 'ROYAL CANDLES'	ROYAL CANDLES SPEEDWELL	1 GALLON	
	WTE	WALDSTEINIA TERNATA	BARREN STRAWBERRY	3" POT	

Subarea A -- Landscape Details.
(Page 1 of 2)

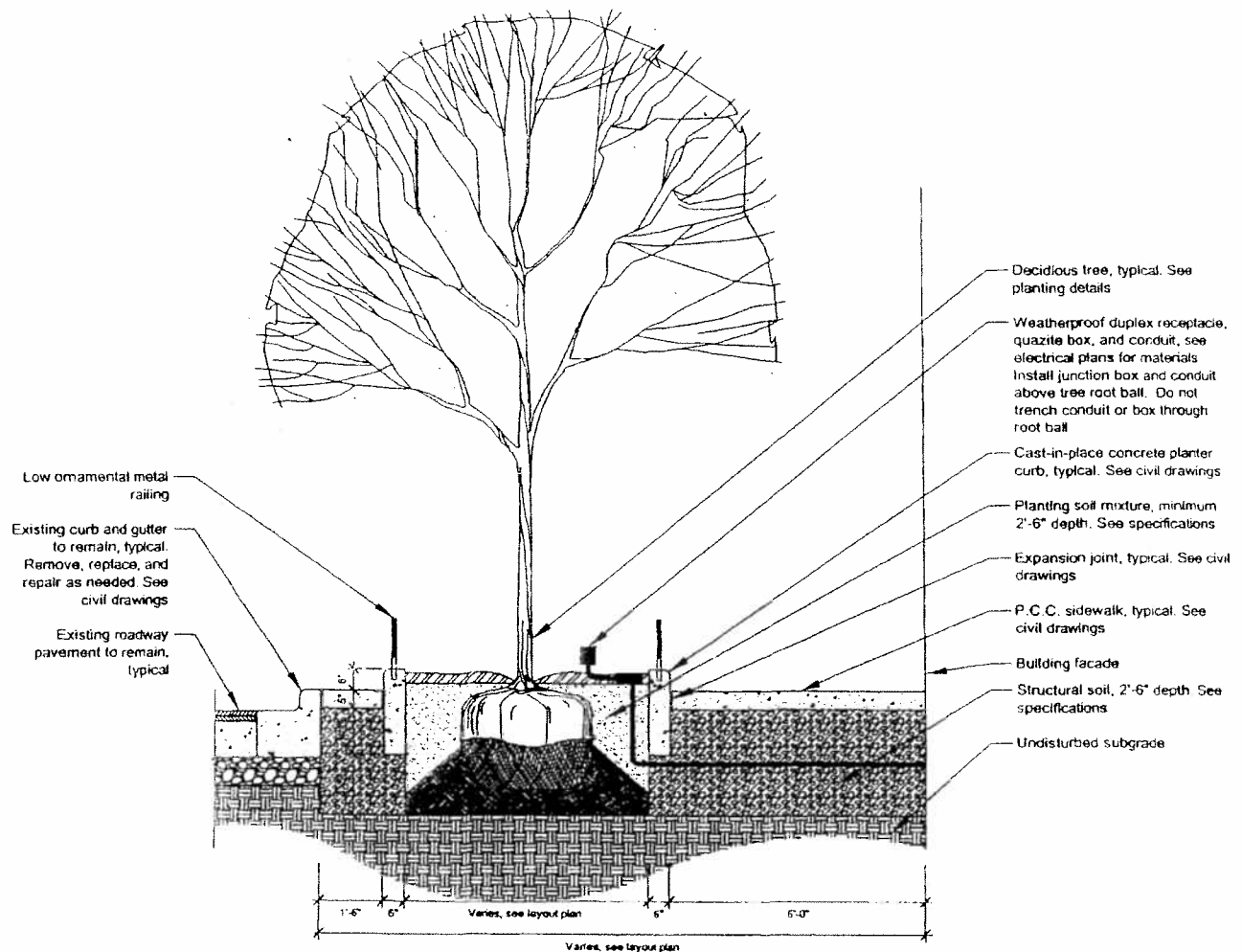


1 Section - Shade Tree Planting
Scale: 1/2" = 1'-0"



2 Section - Ornamental Tree Planting
Scale: 1/2" = 1'-0"

Subarea A -- Landscape Details.
(Page 2 of 2)



4

Section - Tree Installation - Raised Parkway Planter

Scale: 1/2" = 1'-0"

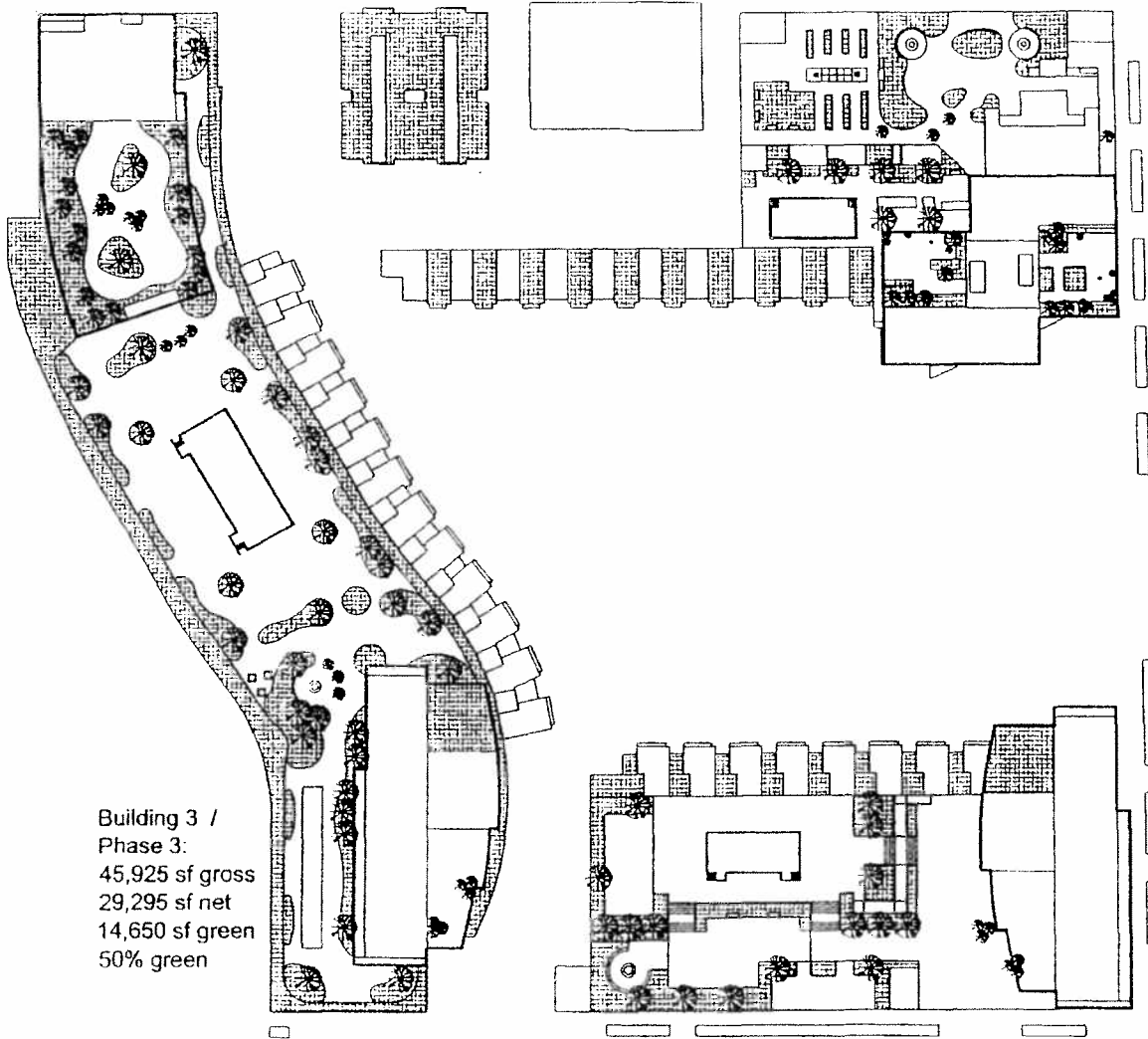
D-SCTN-TREEPLANTER

Subarea A -- Green Roof Plan.

Building 4 / Phase 4:
34,495 sf gross
25,700 sf net
12,850 sf green
50% green

Building 5 / Phase 5:
7,000 sf gross
5,000 sf net
2,500 sf green
50% green

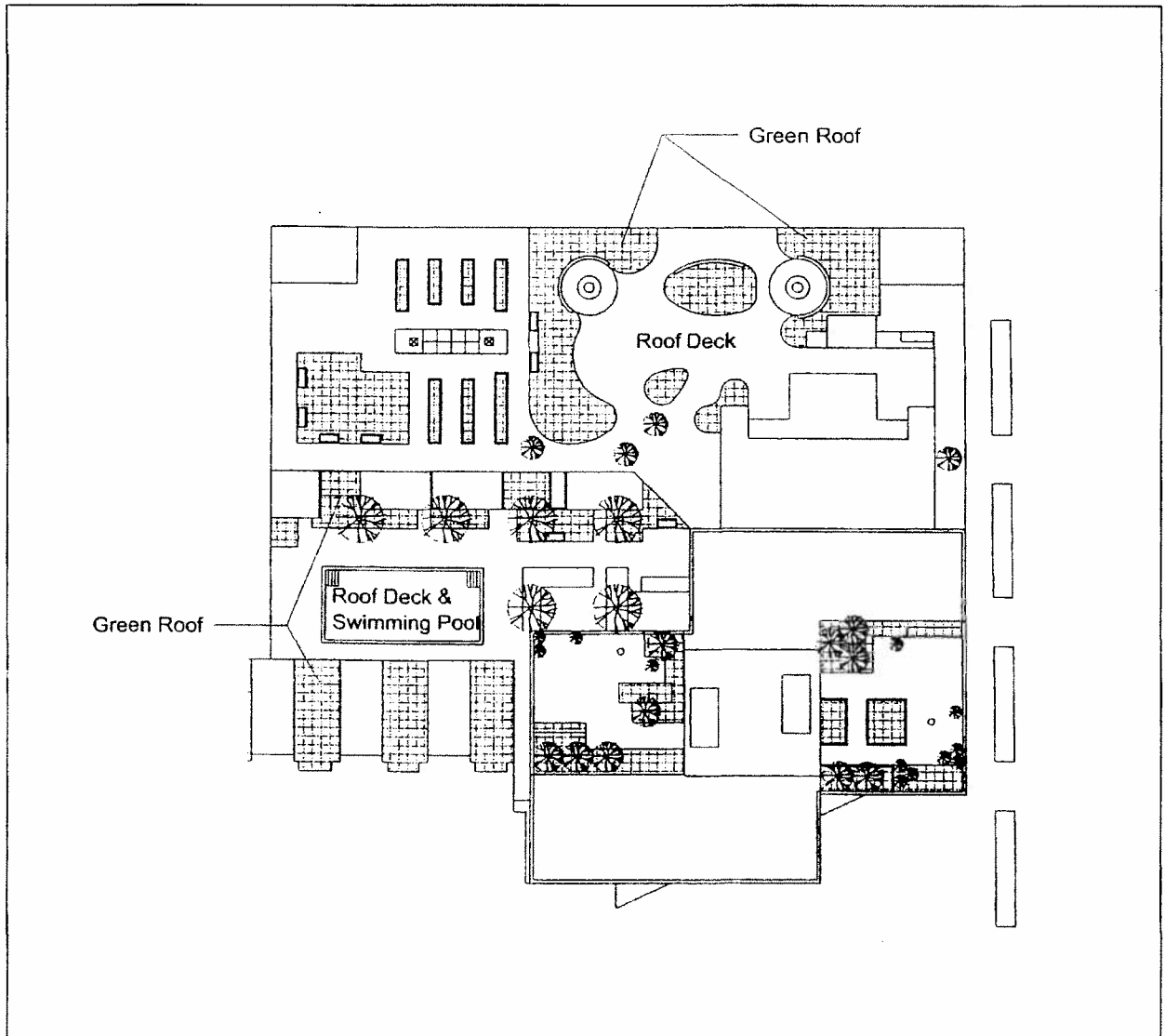
Building 1 / Phase 1:
38,130 sf gross
23,955 sf net
11,980 sf green
50% green



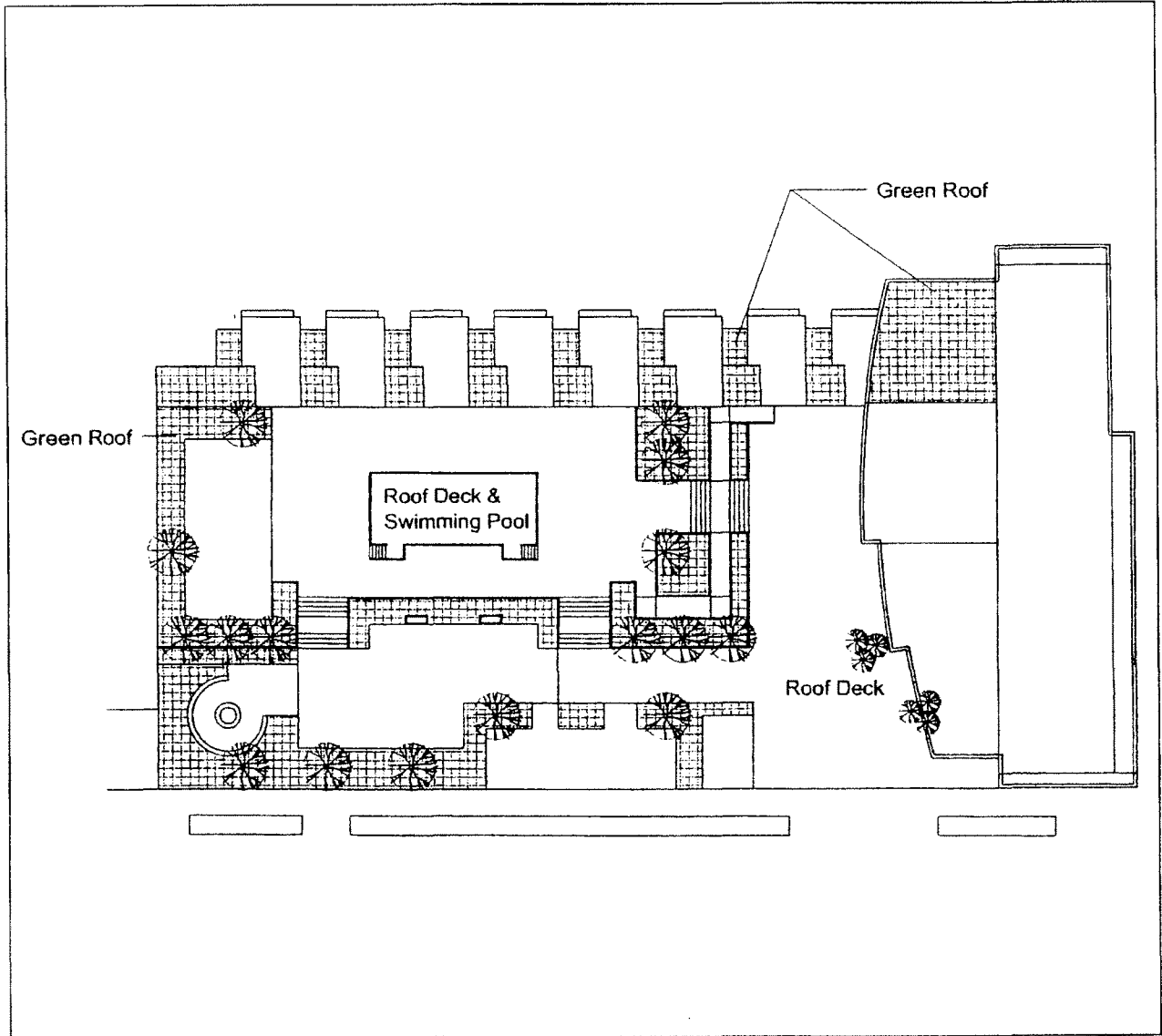
Building 3 /
Phase 3:
45,925 sf gross
29,295 sf net
14,650 sf green
50% green

Building 2 /
Phase 2:
45,125 sf gross
29,940 sf net
14,970 sf green
50% green

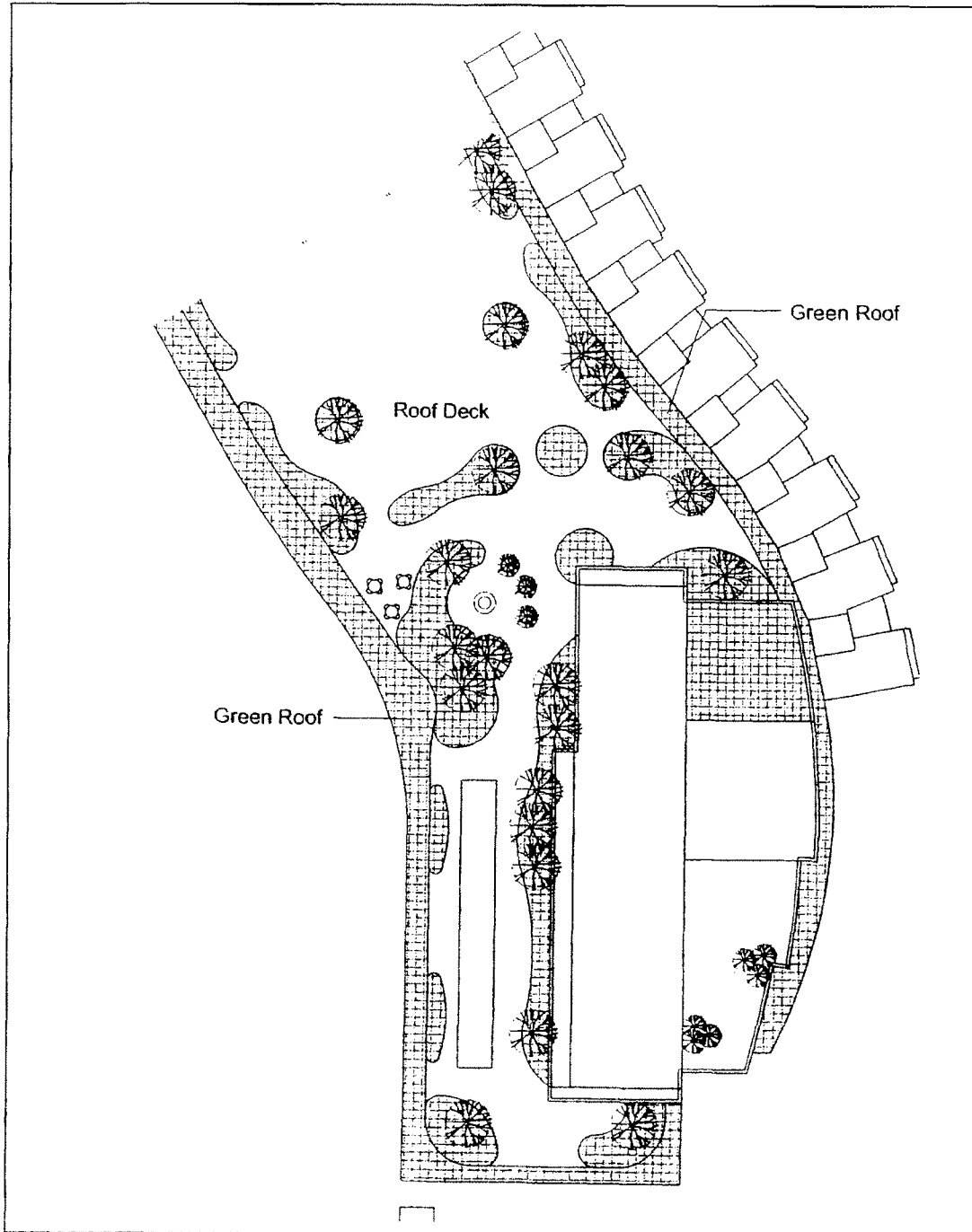
Subarea A Building 1/Phase 1 -- Green Roof Plan.



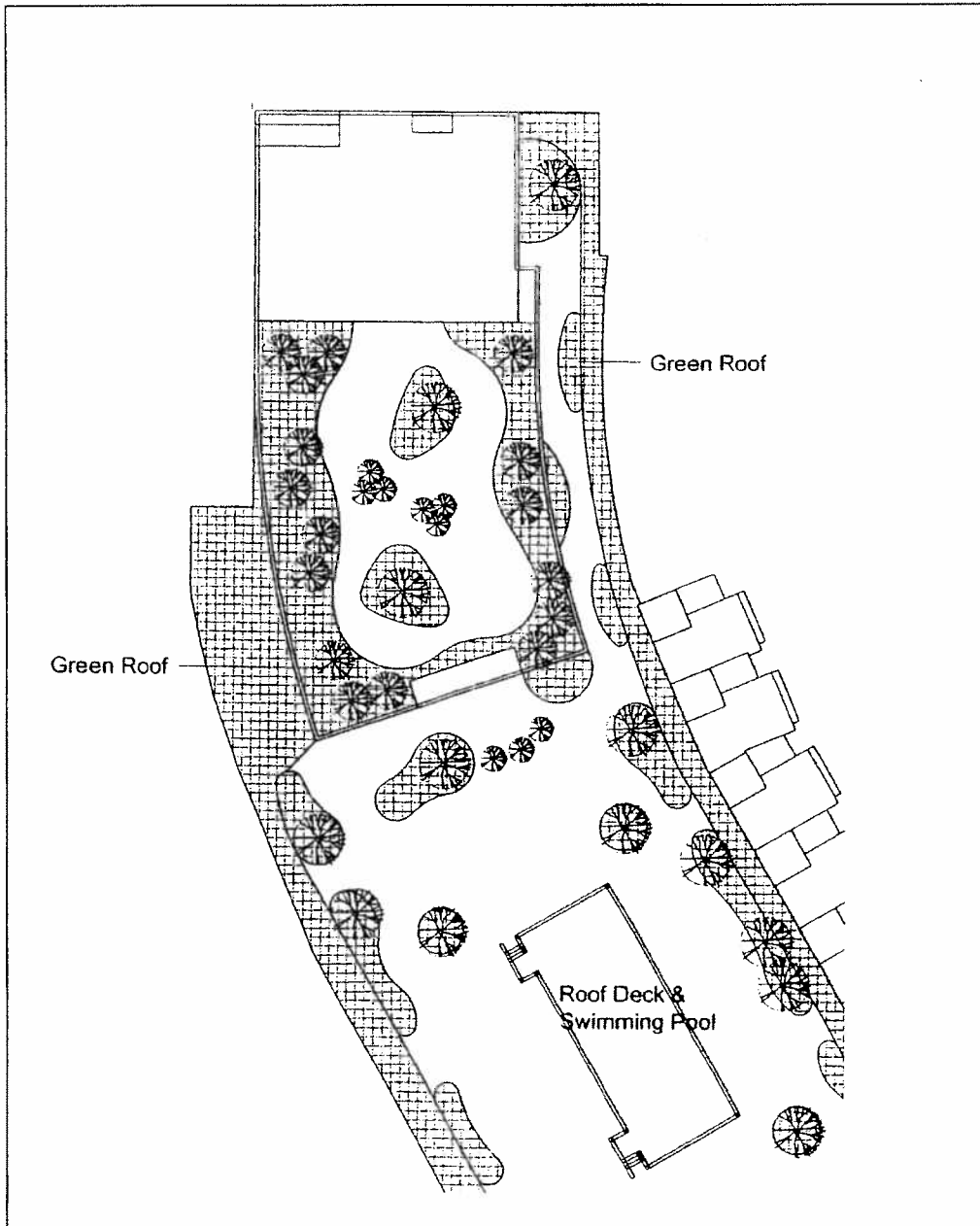
Subarea A Building 2/Phase 2 -- Green Roof Plan.



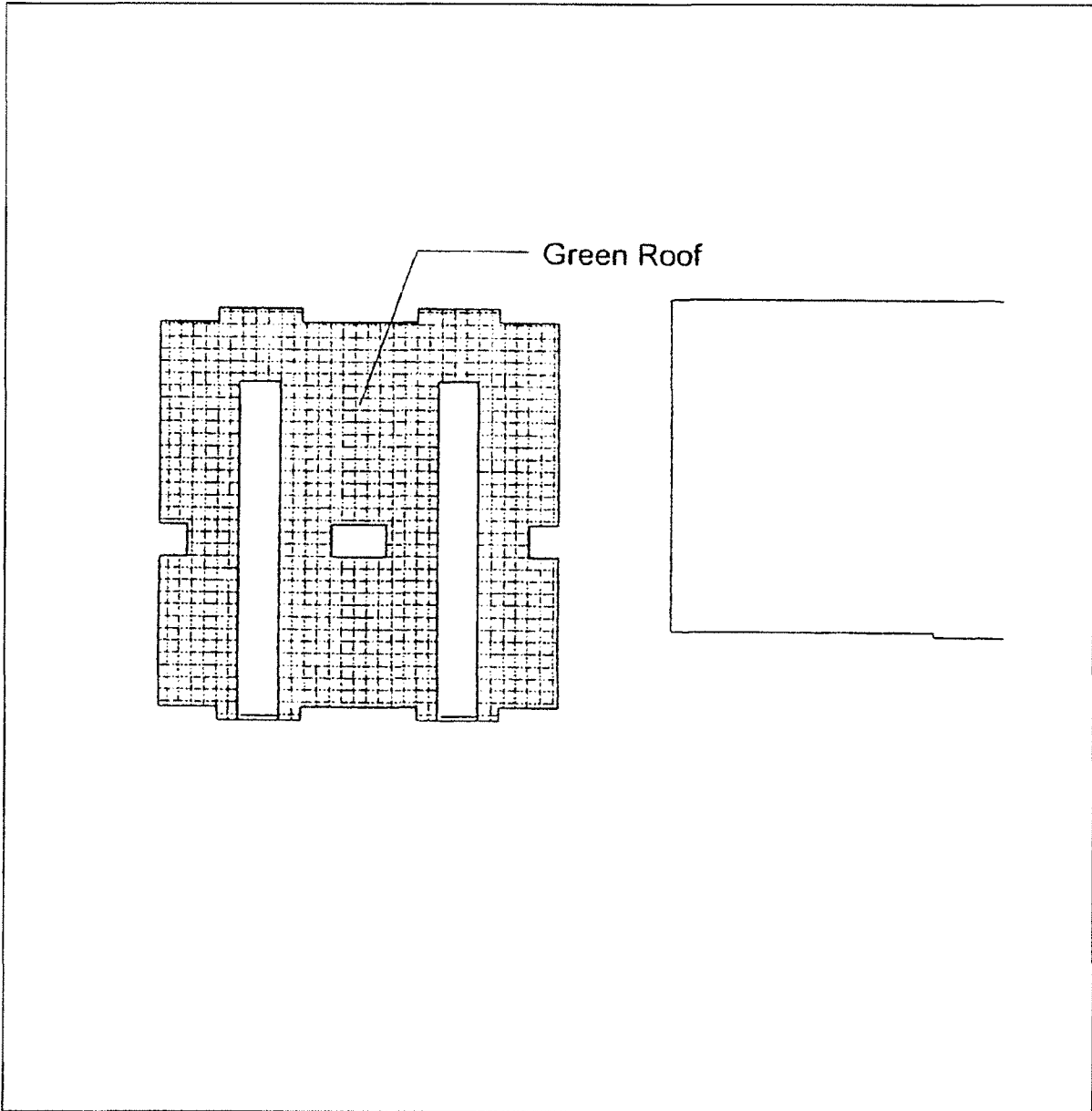
Subarea A Building 3/Phase 3 -- Green Roof Plan.



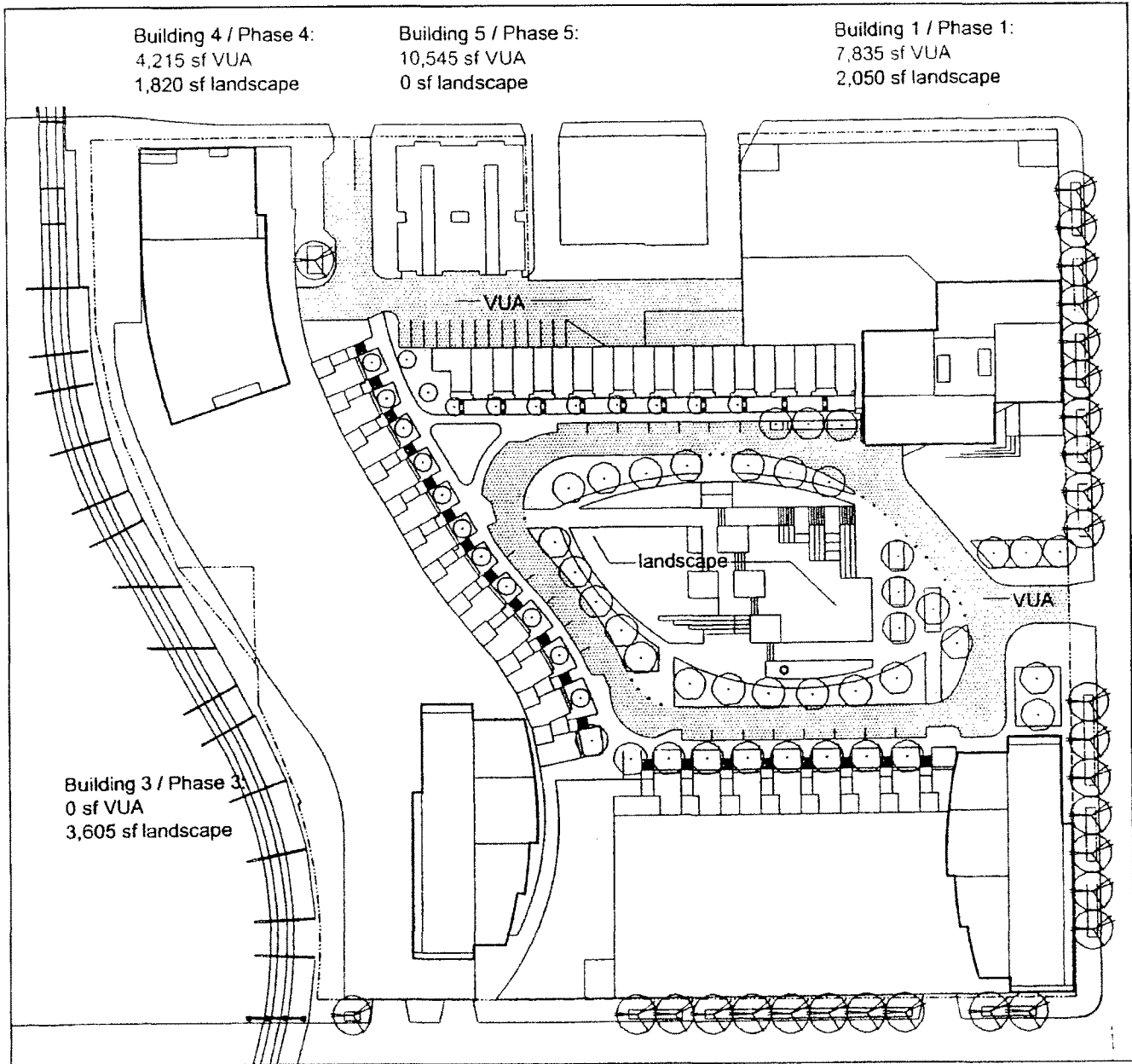
Subarea A Building 4/Phase 4 -- Green Roof Plan.



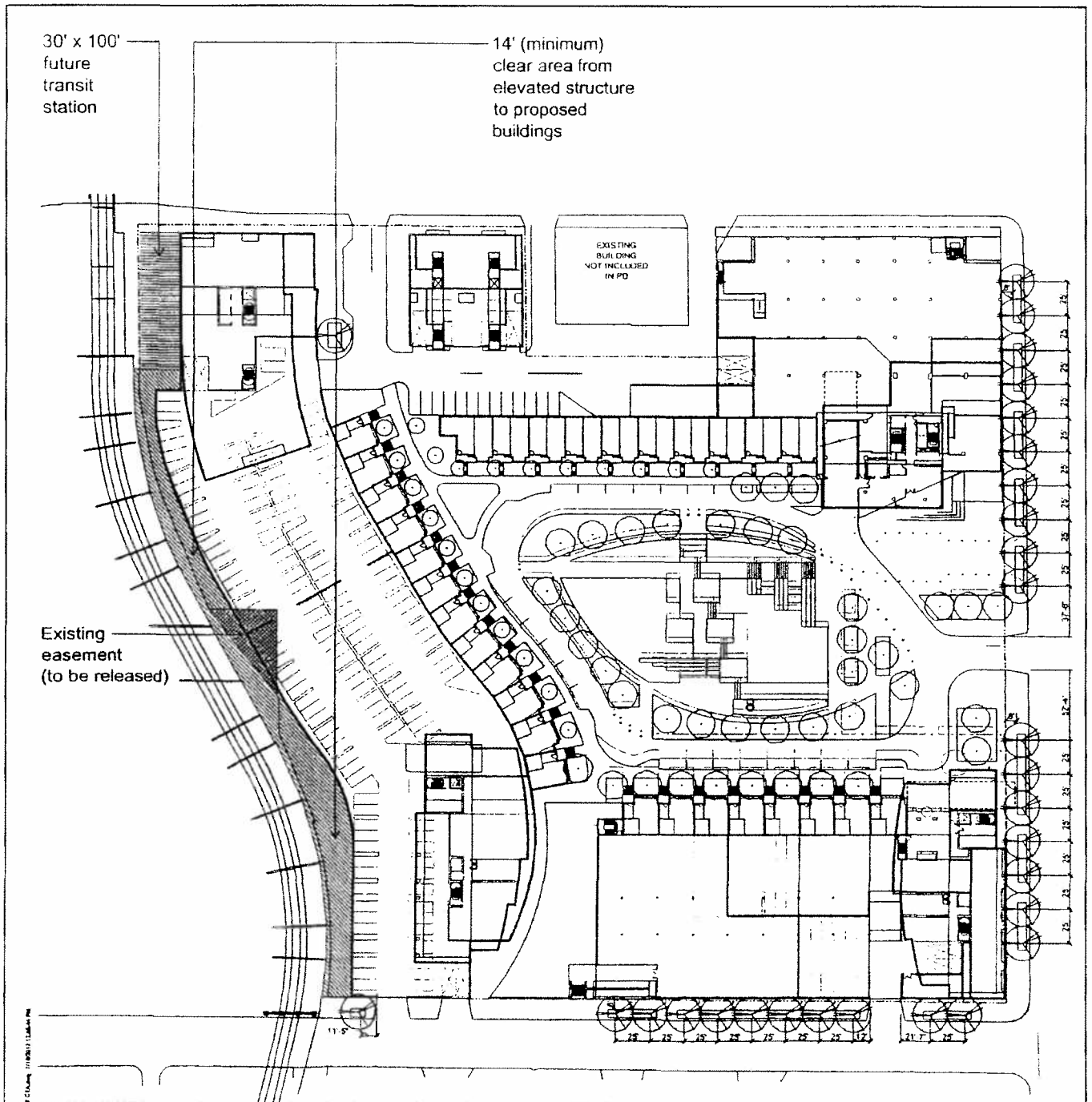
Subarea A Building 5/Phase 5 -- Green Roof Plan.



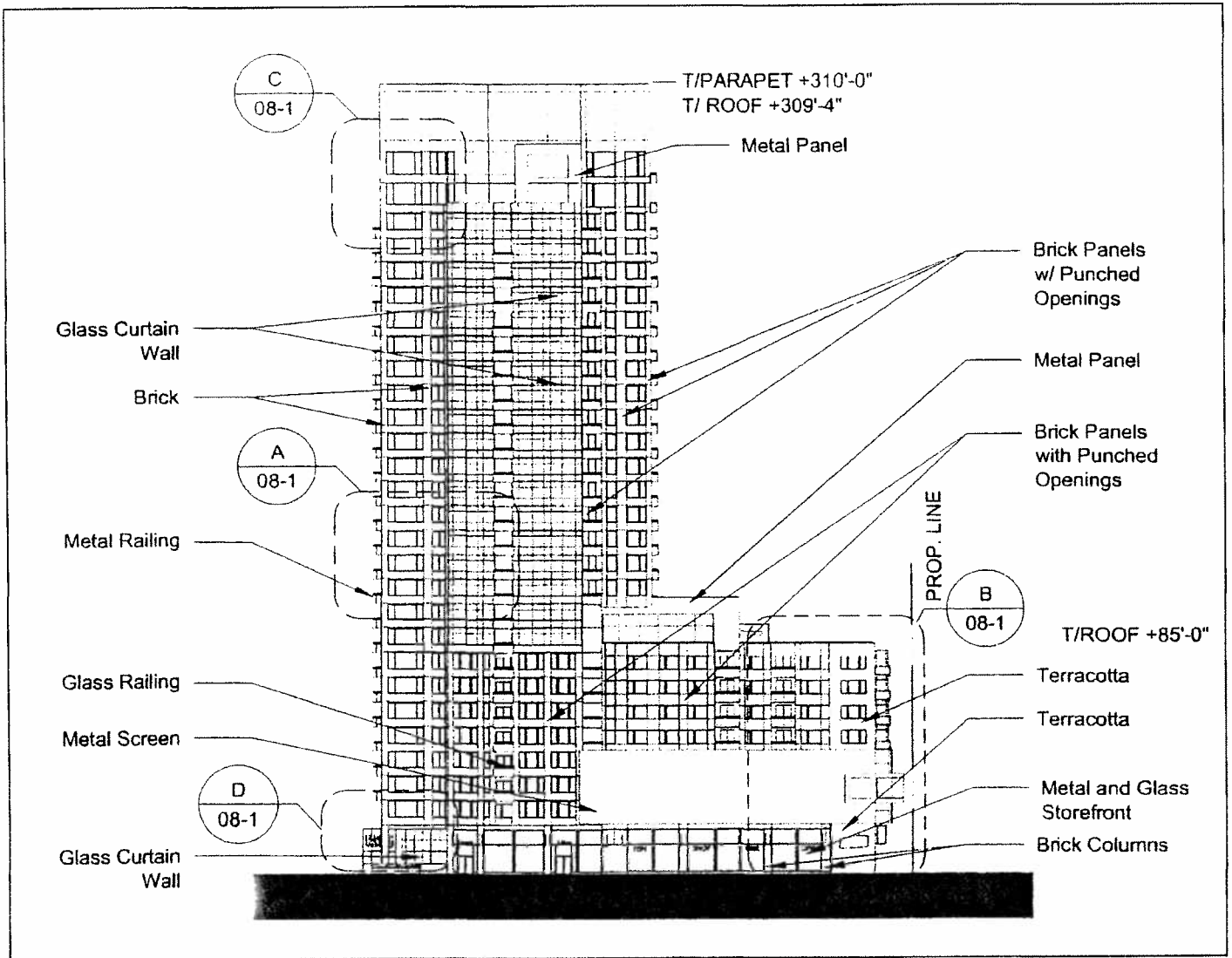
Subarea A -- Vehicular Use Area (VUA).



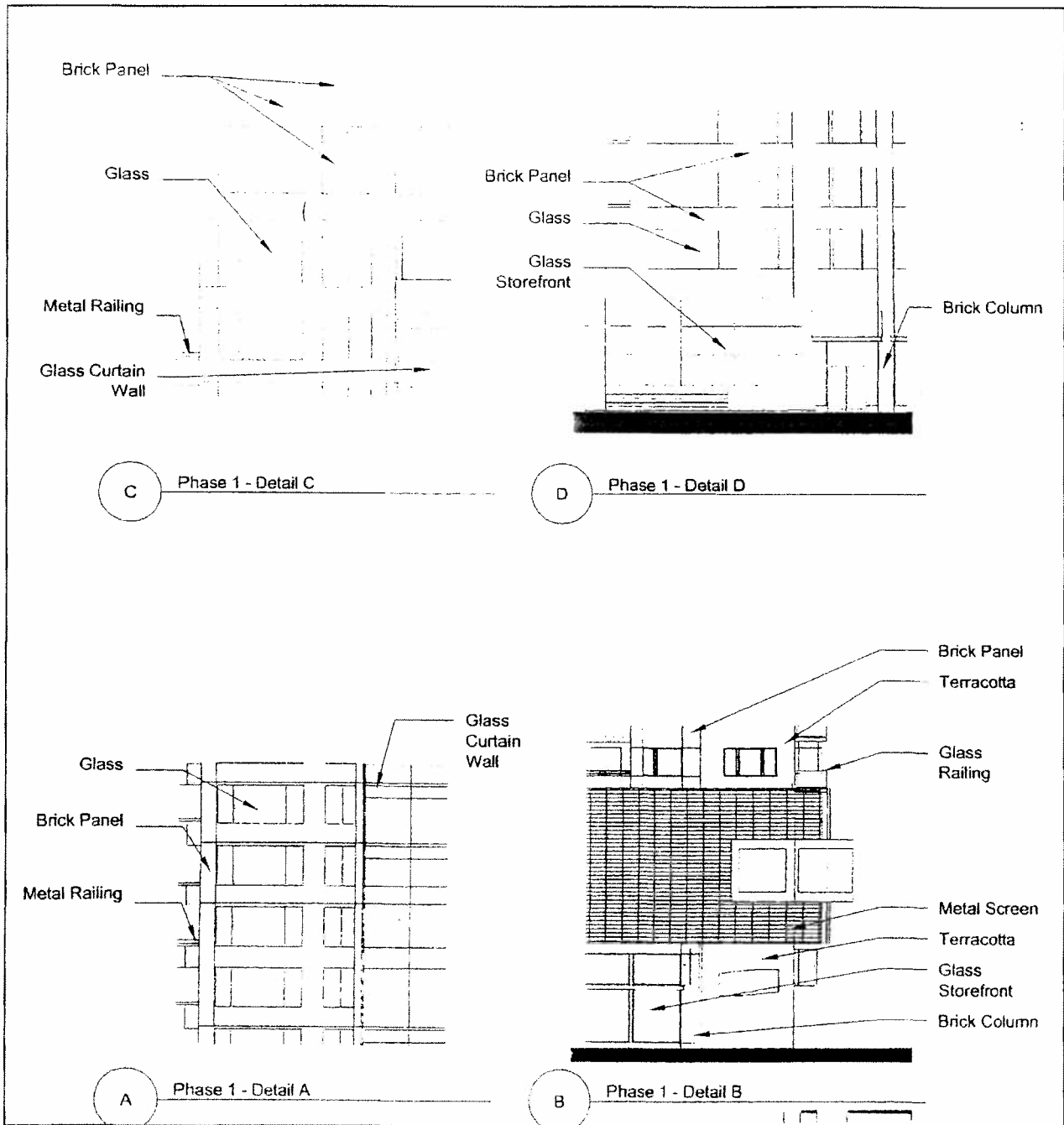
CTA Easement Areas.



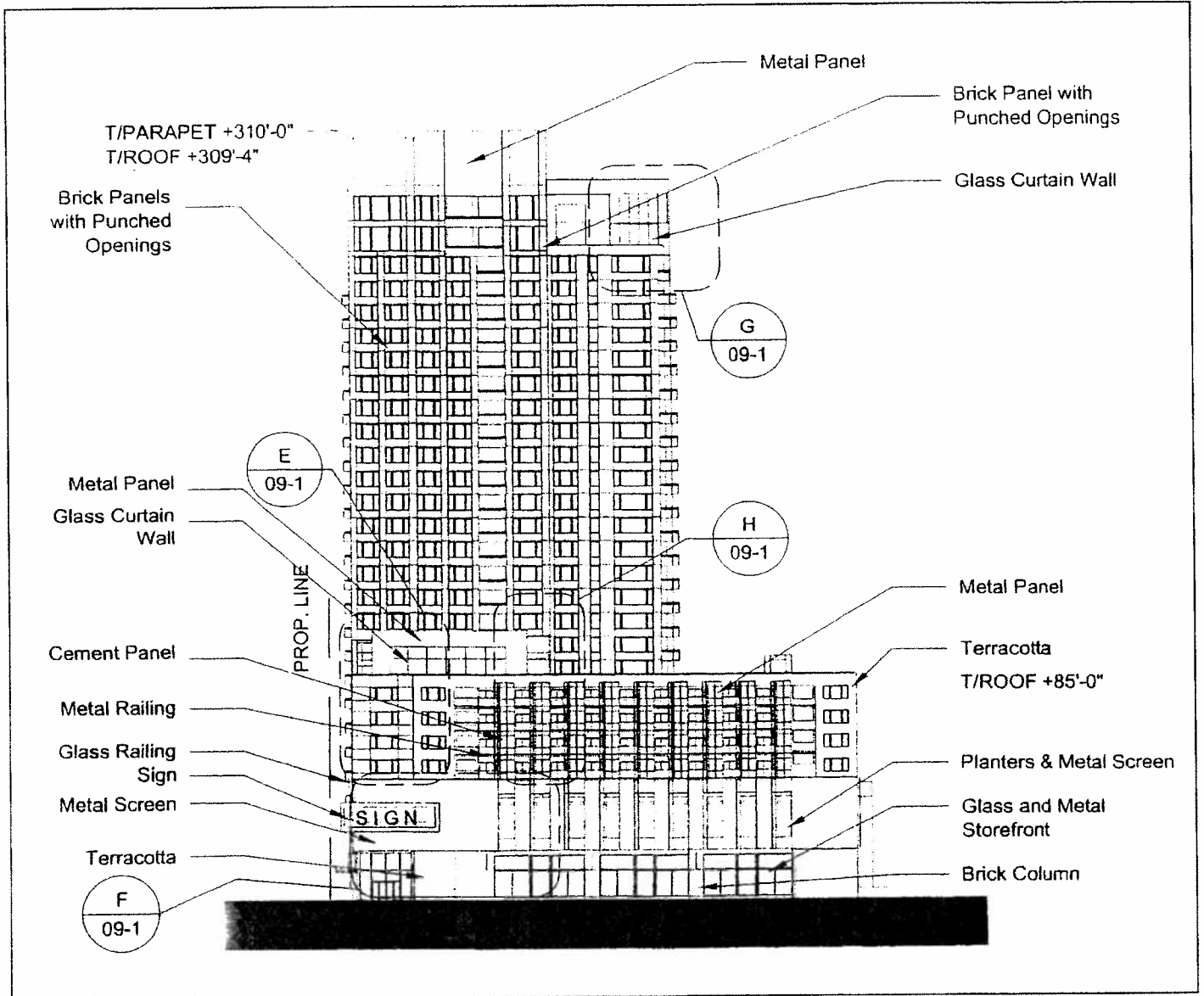
Subarea A Building 1/Phase 1 -- North
Wells Street (East) Elevation.



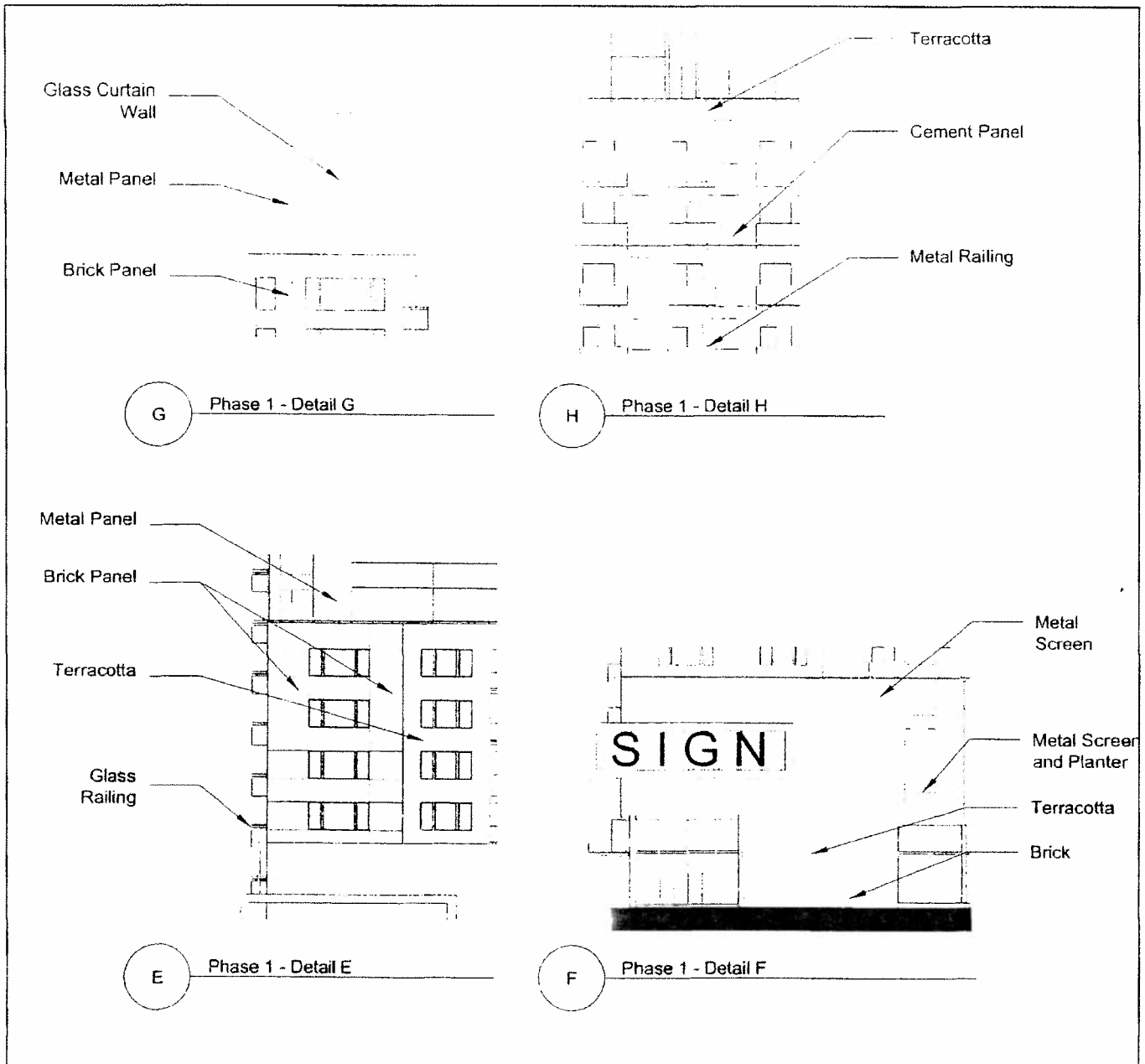
Subarea A Building 1/Phase 1 -- Details.



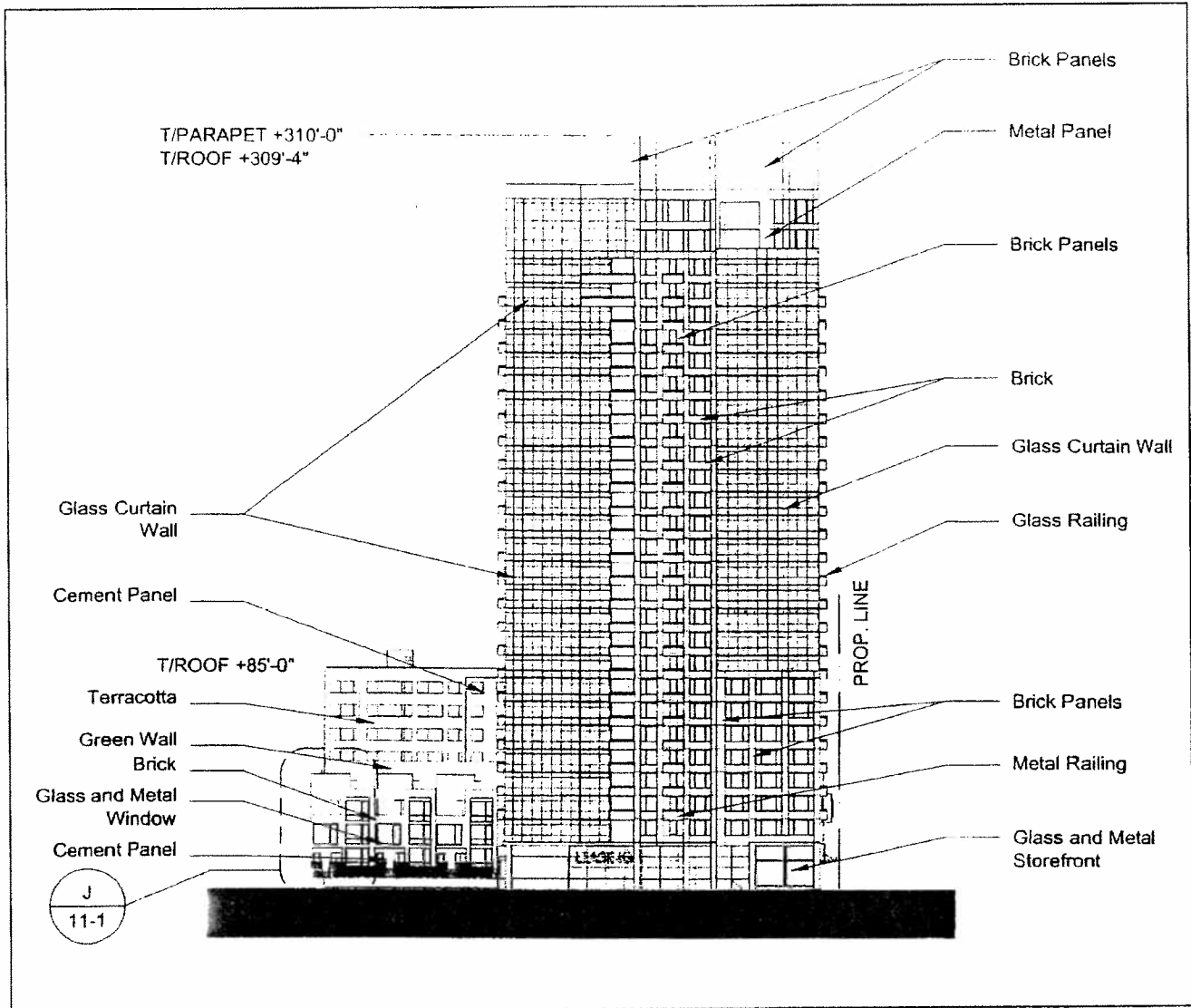
Subarea A Building 1/Phase 1 -- Division Street
(North) Elevation.



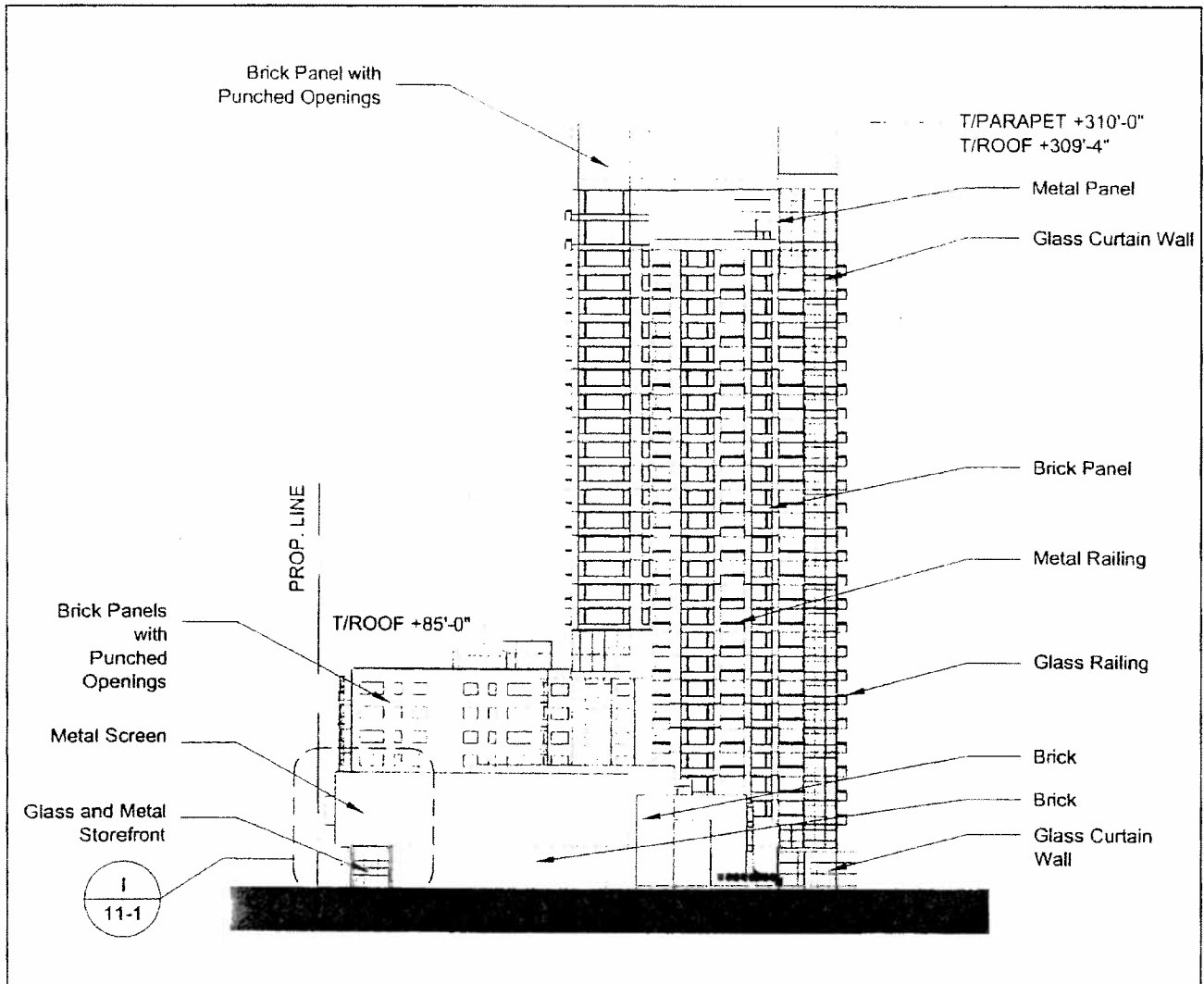
Subarea A Building 1/Phase 1 -- Details.



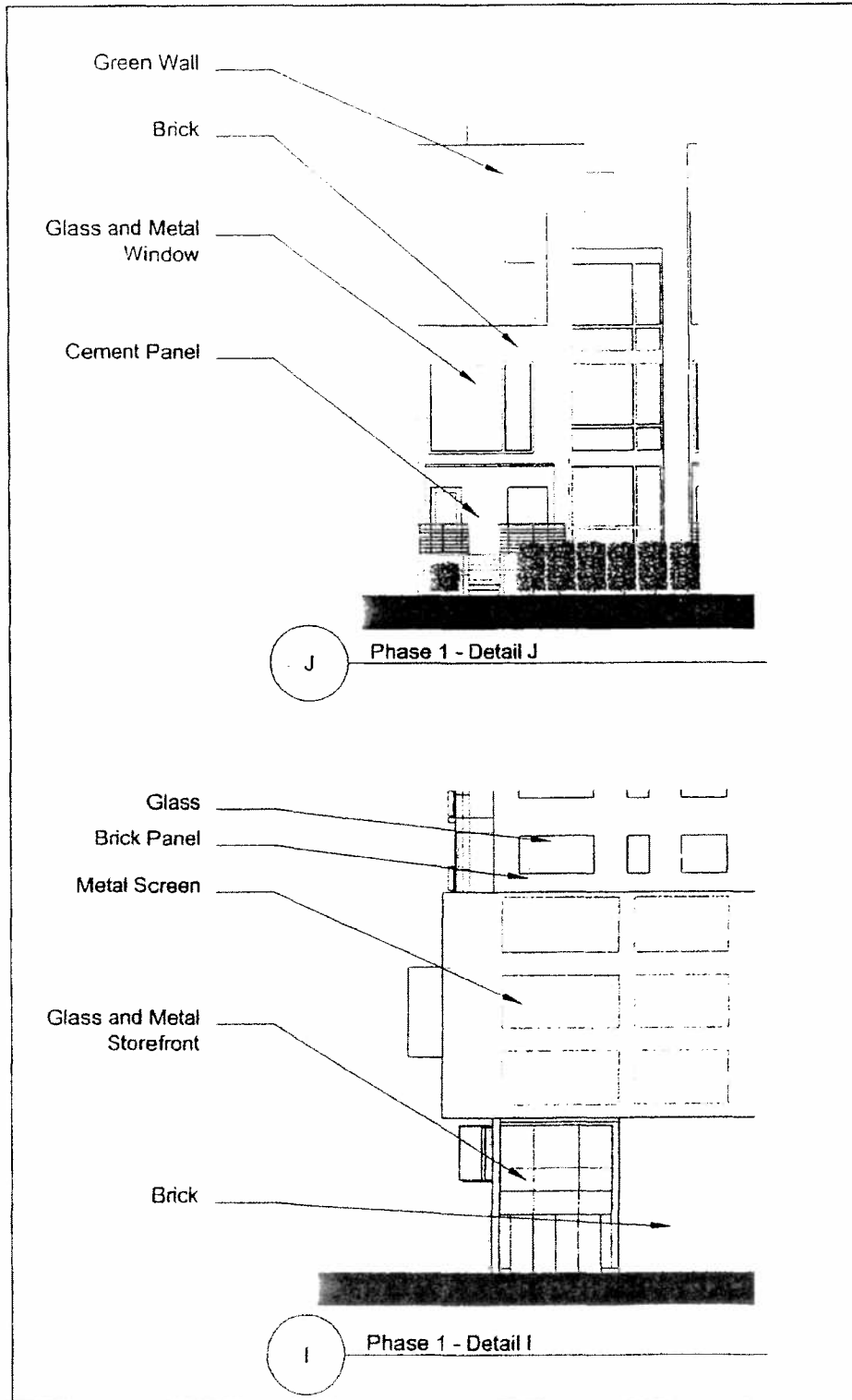
Subarea A Building 1/Phase 1 -- South Elevation.



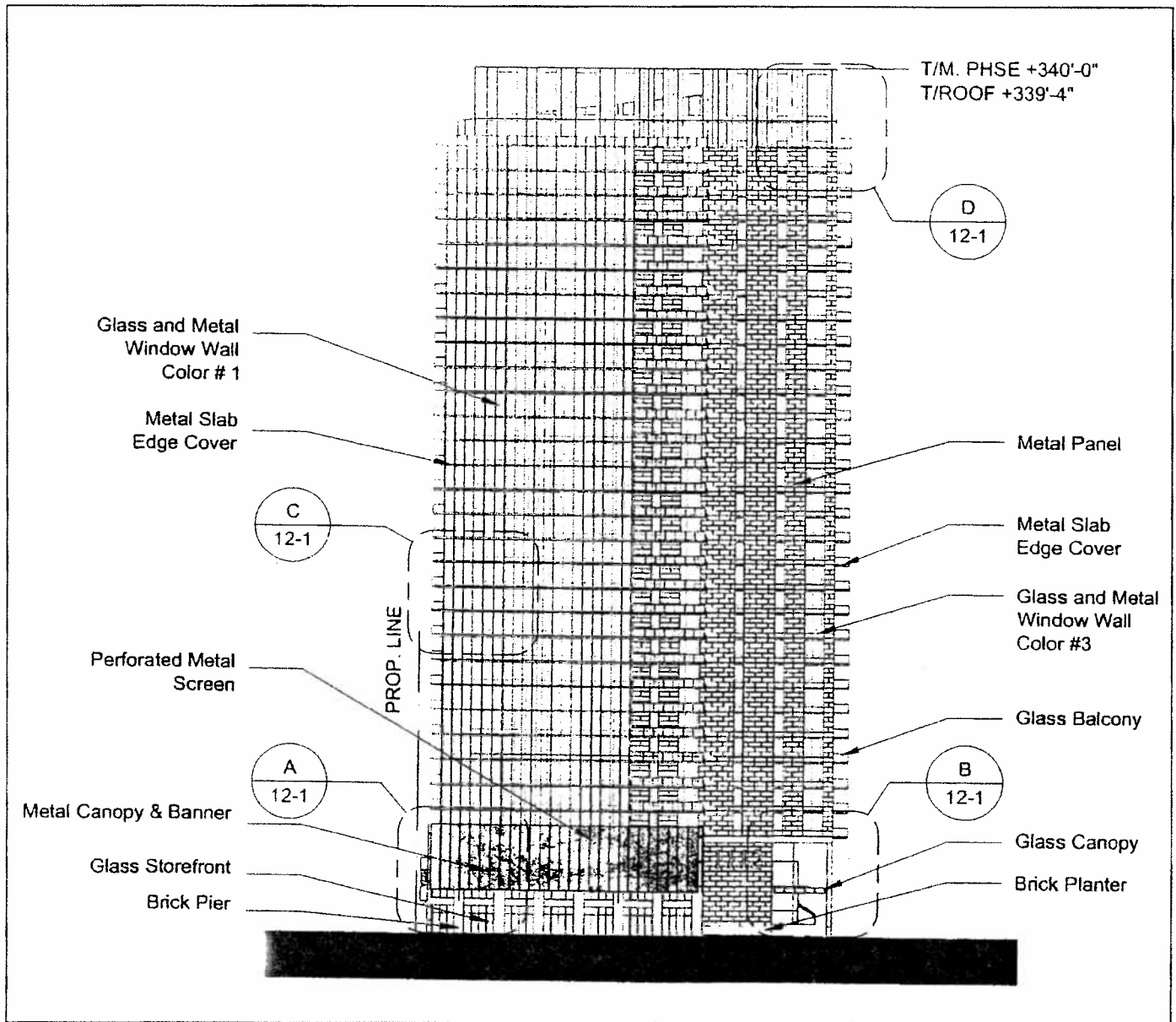
Subarea A Building 1/Phase 1 -- West Elevation.



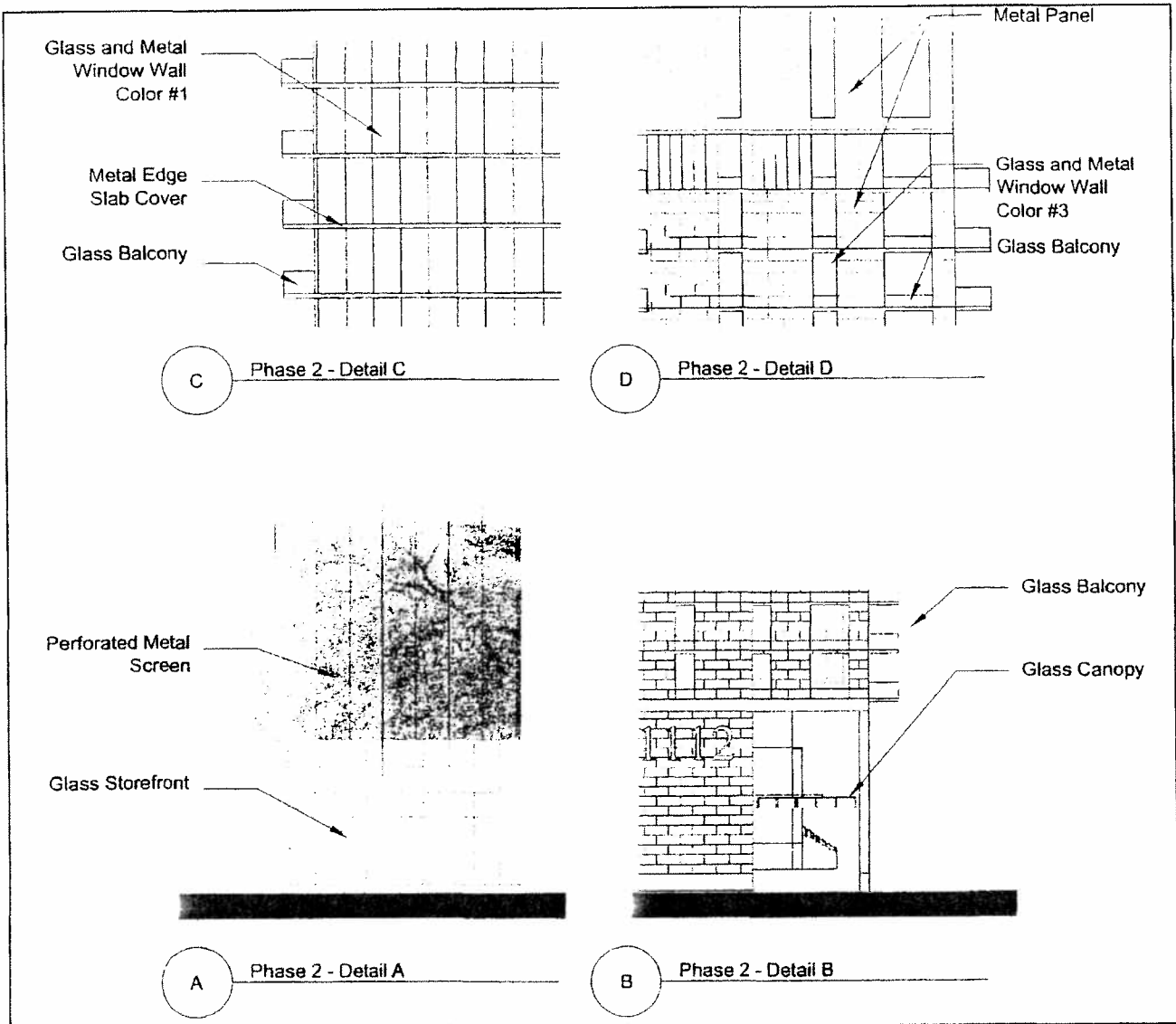
Subarea A Building 1/Phase 1 -- Details.



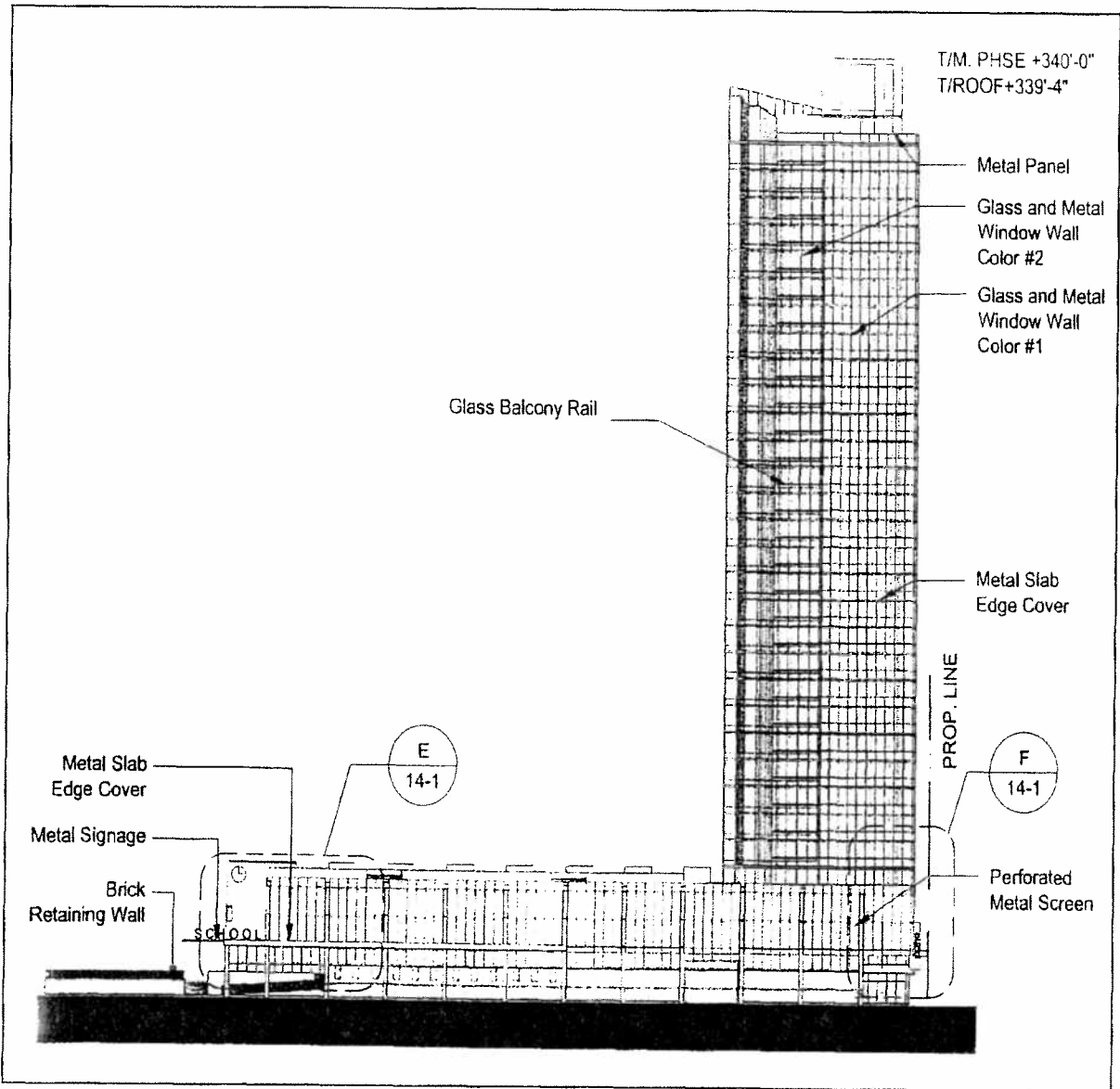
Subarea A Building 2/Phase 2 -- North
Wells Street (East) Elevation.



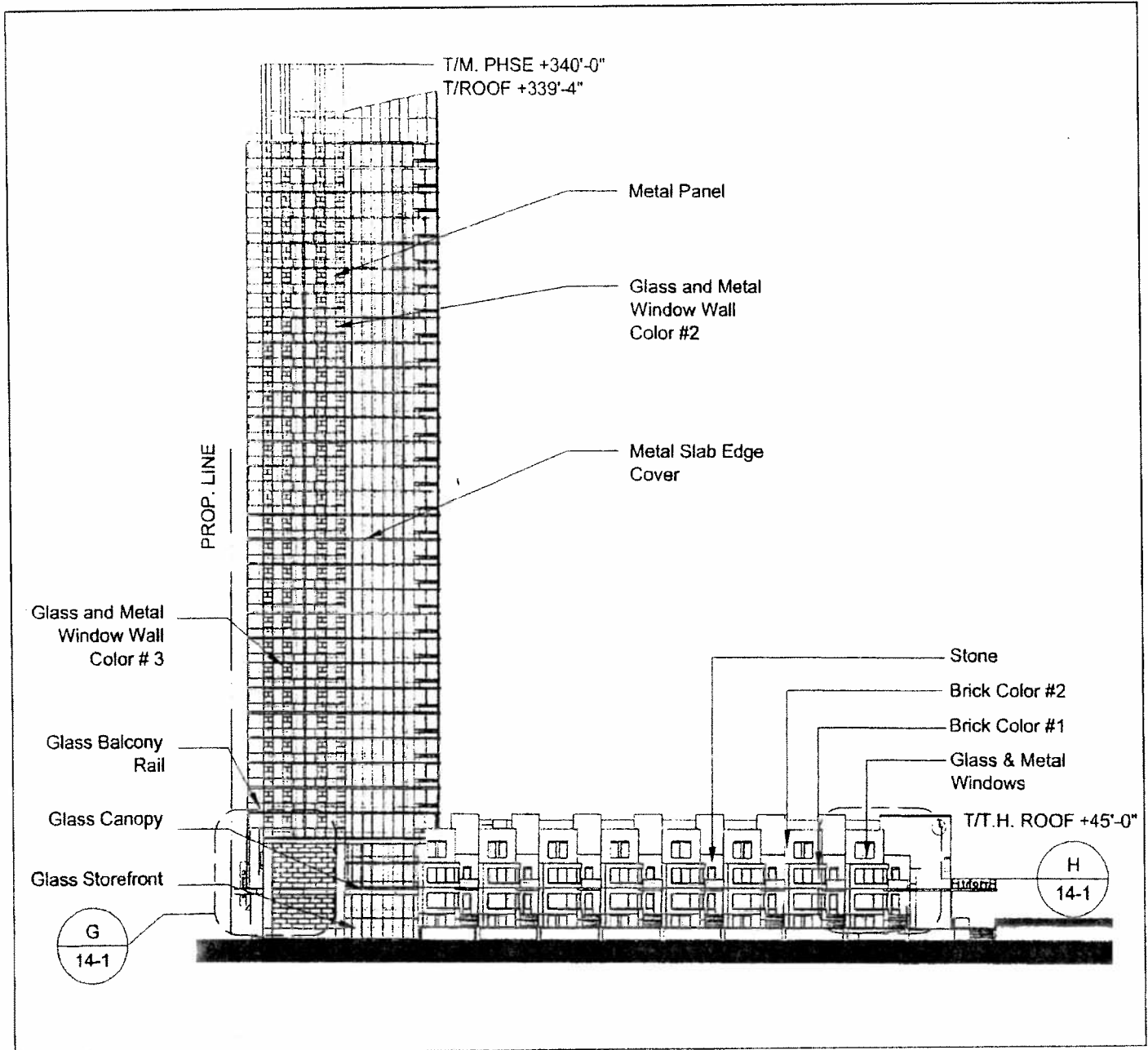
Subarea A Building 2/Phase 2 -- Details.



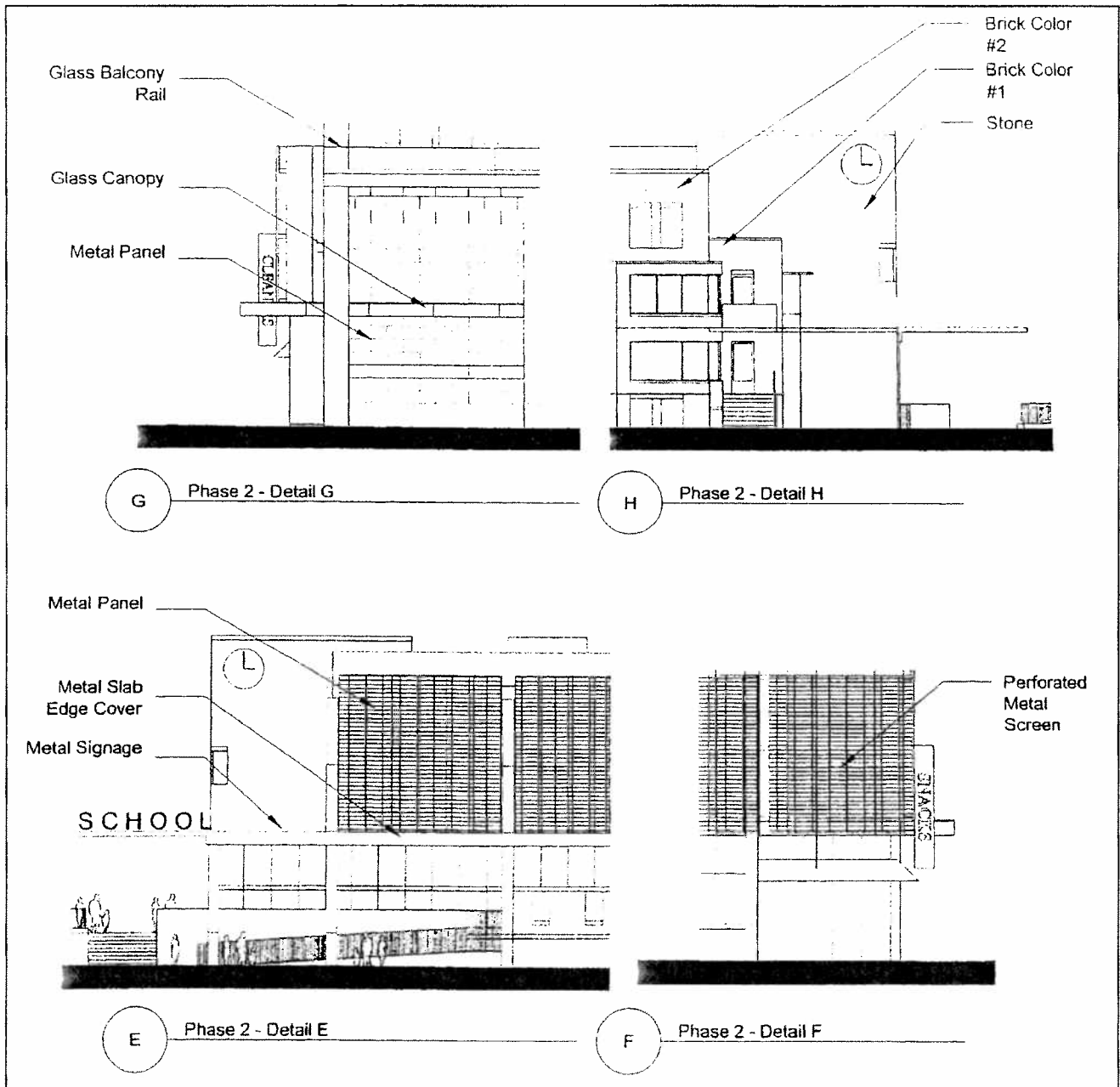
Subarea A Building 2/Phase 2 -- West Hill Street
(South) Elevation.



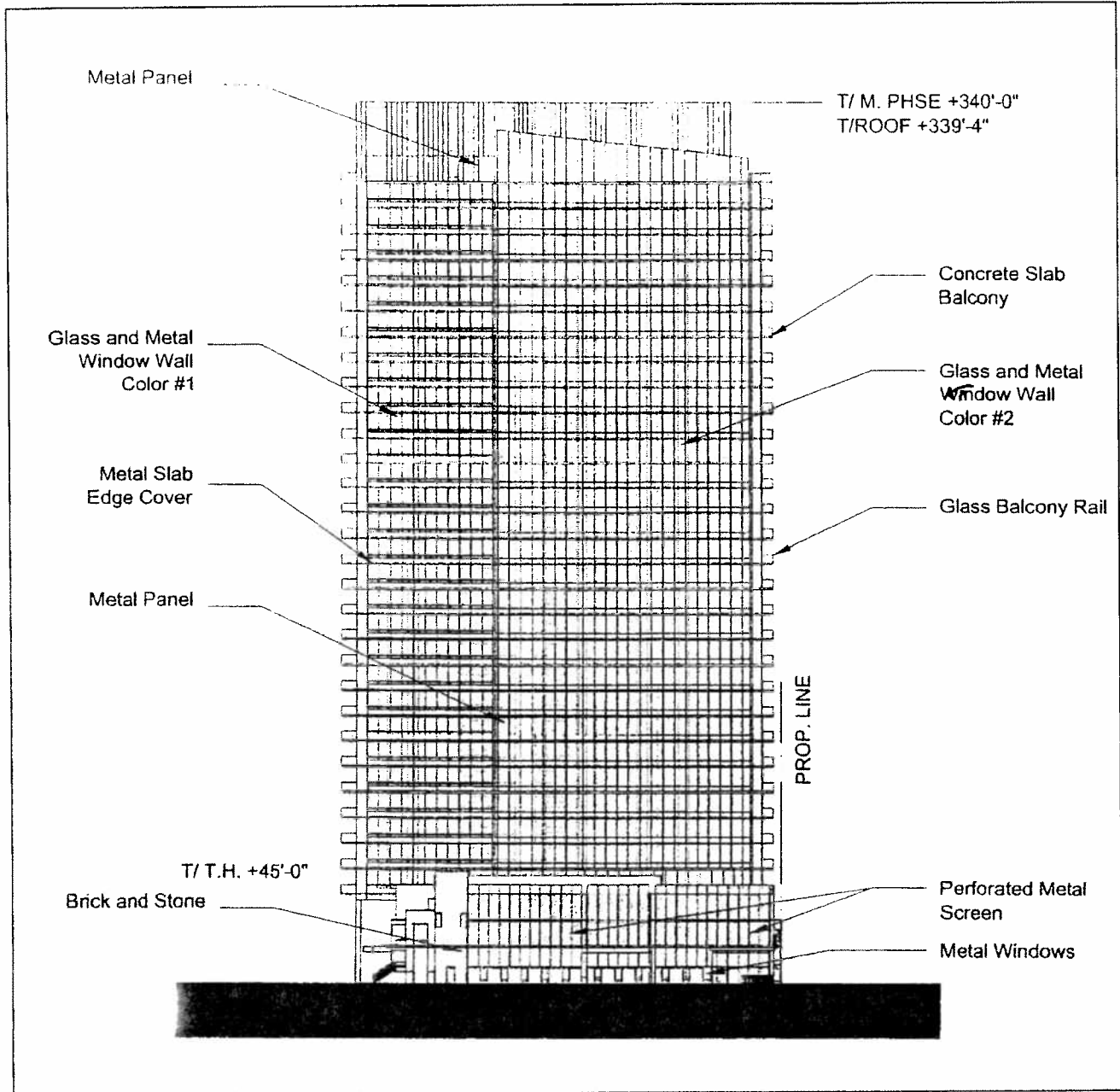
Subarea A Building 2/Phase 2 -- North Elevation.



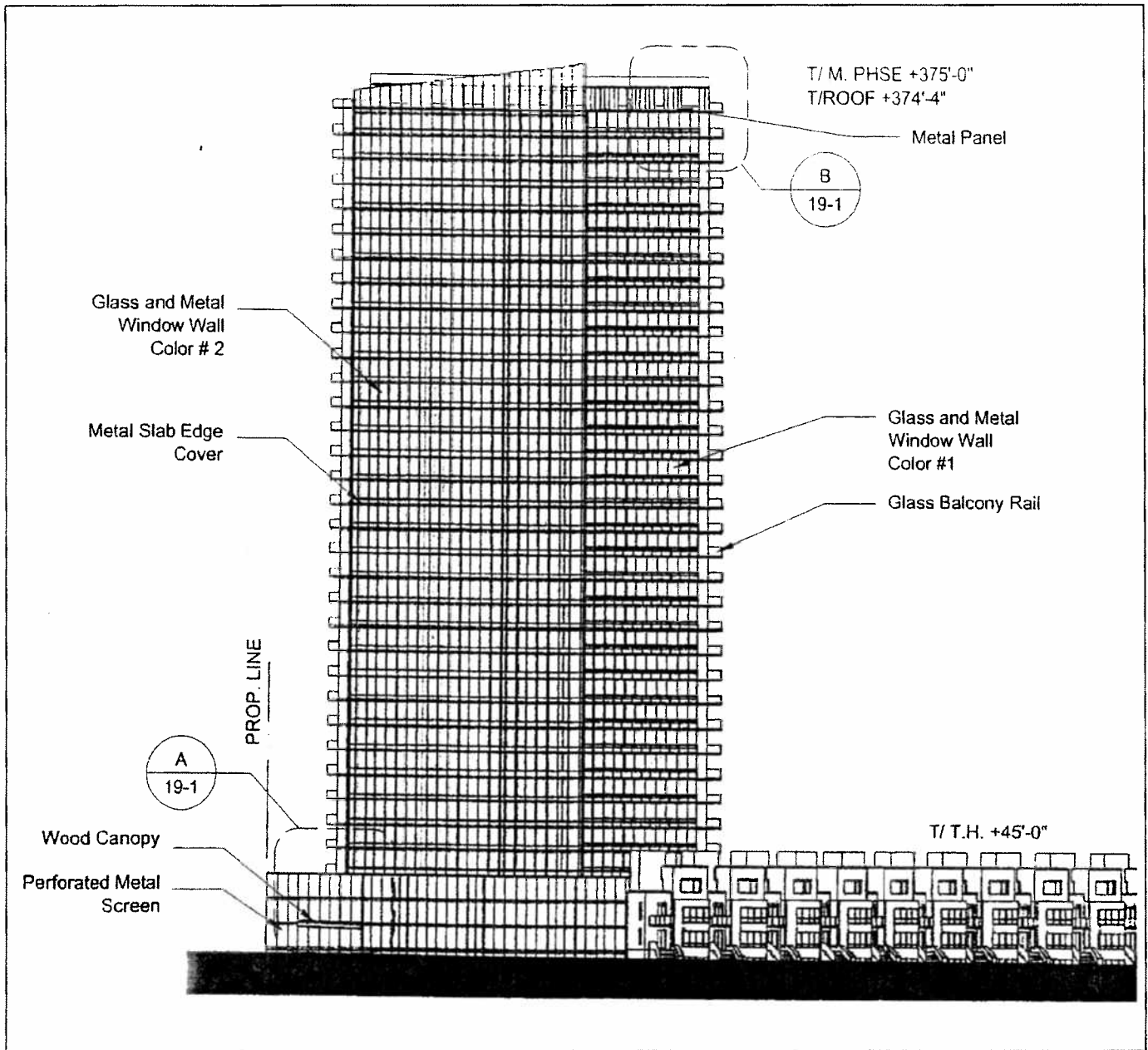
Subarea A Building 2/Phase 2 -- Details.



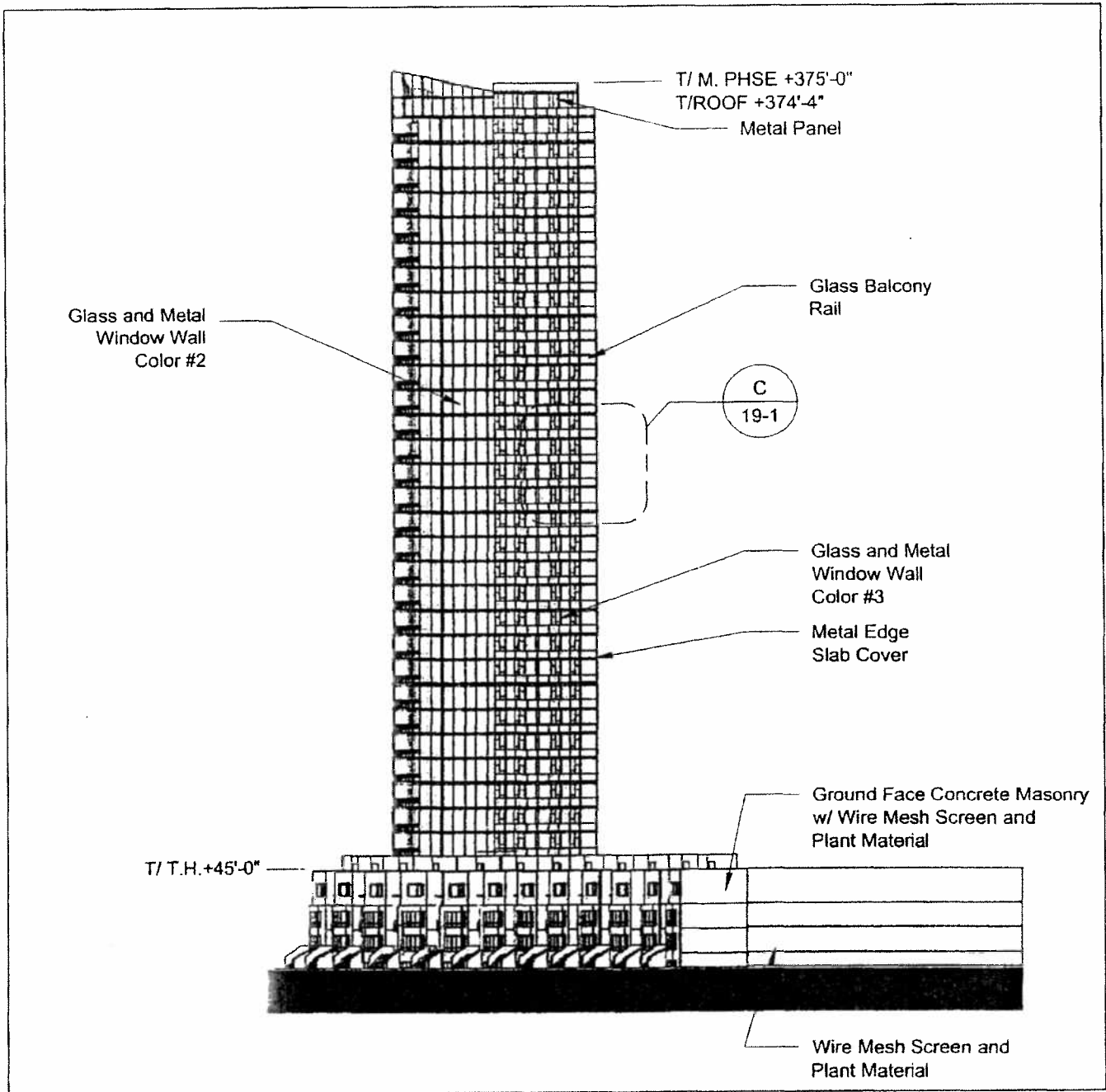
Subarea A Building 2/Phase 2 -- West Elevation.



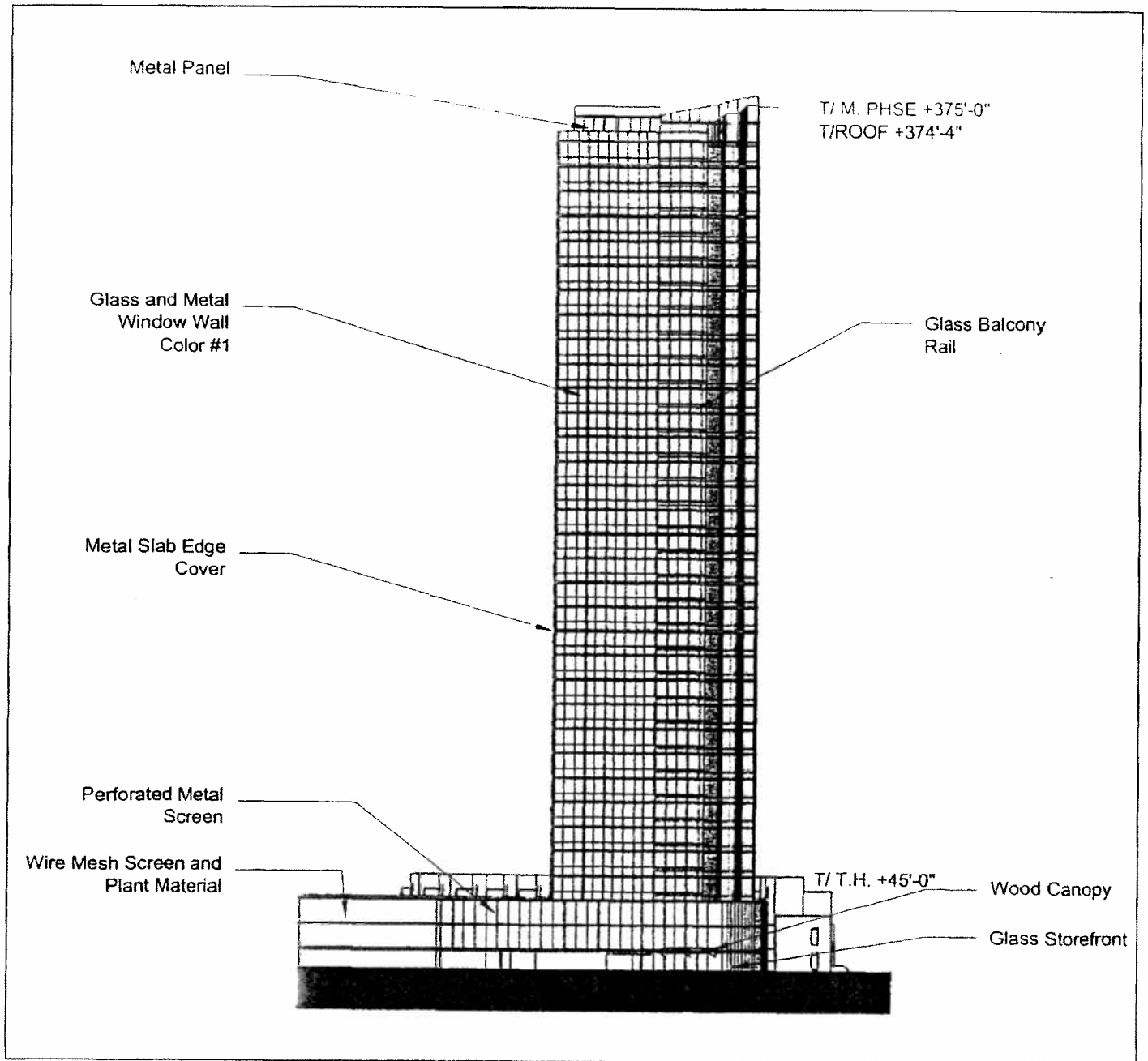
Subarea A Building 3/Phase 3 -- East Elevation.



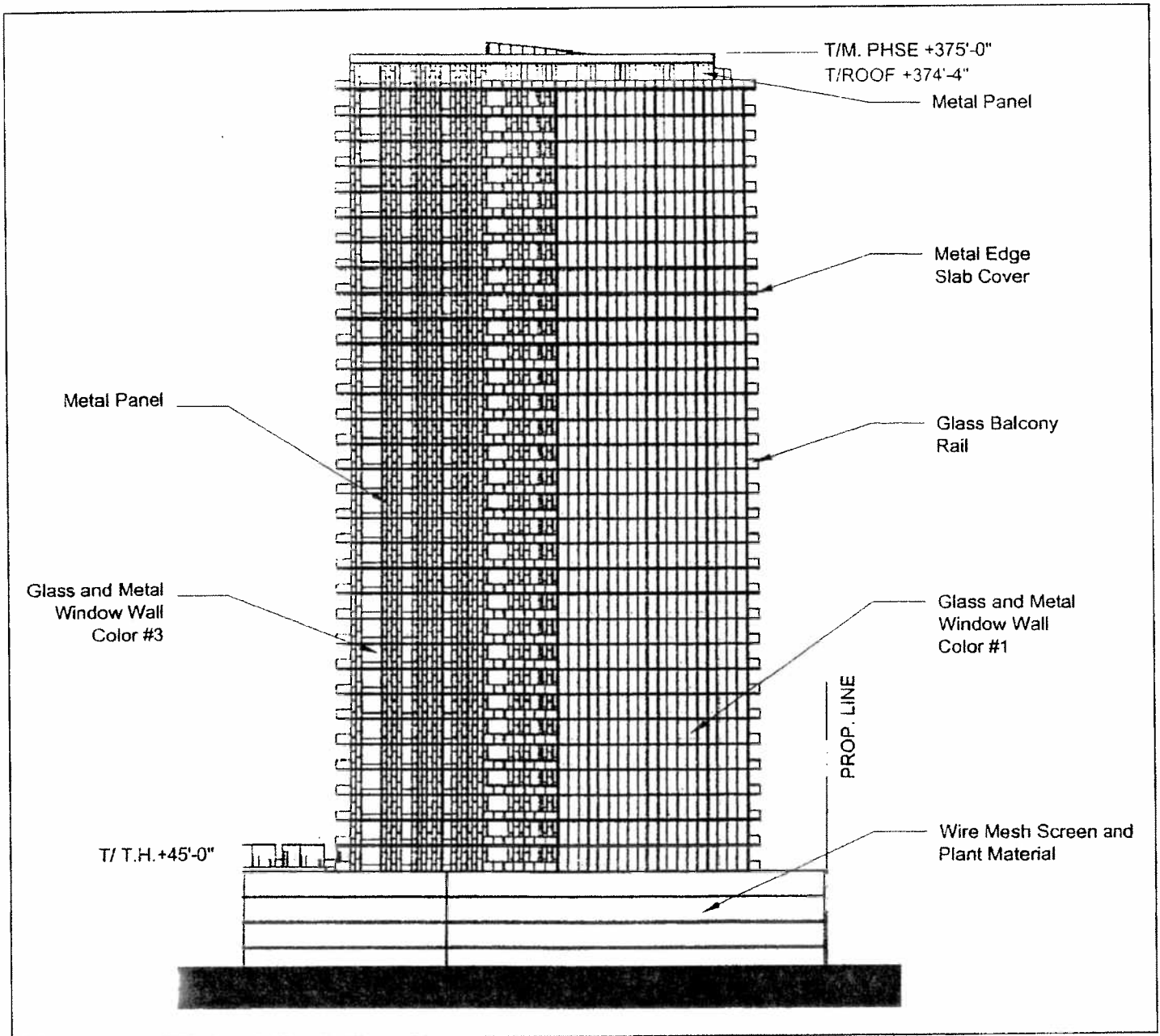
Subarea A Building 3/Phase 3 -- North Elevation.



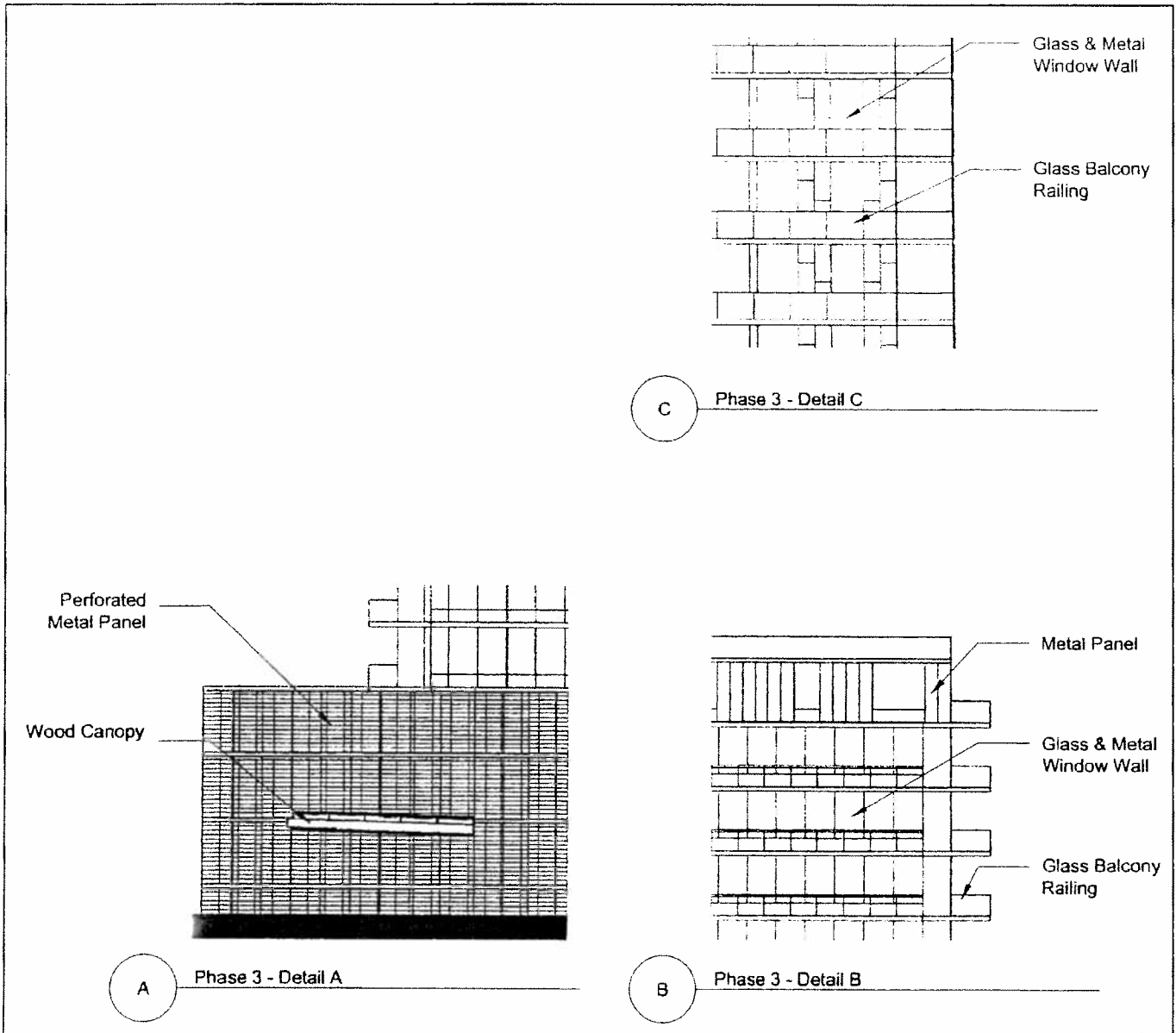
Subarea A Building 3/Phase 3 -- West Hill Street
(South) Elevation.



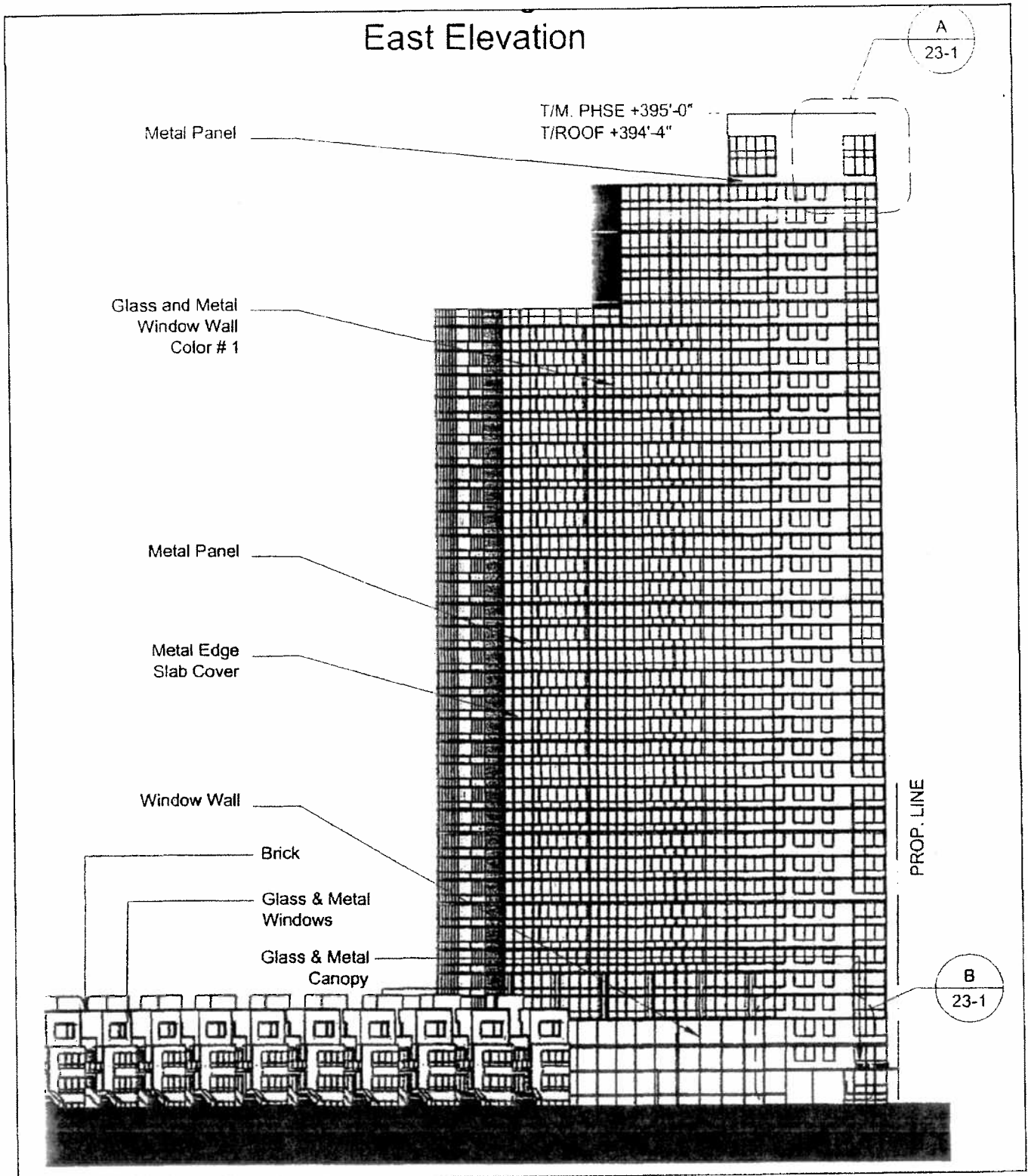
Subarea A Building 3/Phase 3 -- North Orleans Street
(West) Elevation.



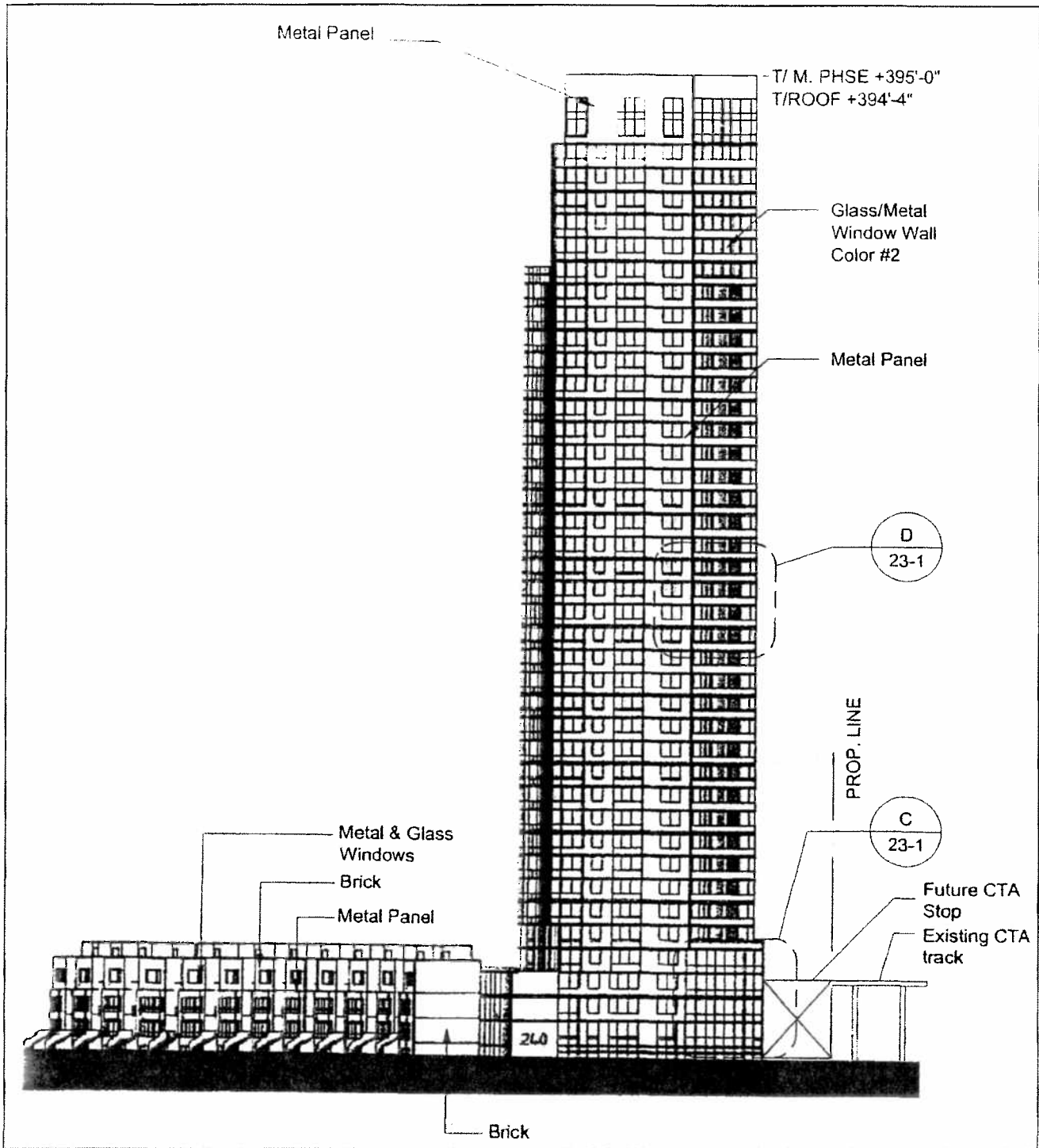
Subarea A Building 3/Phase 3 -- Details.



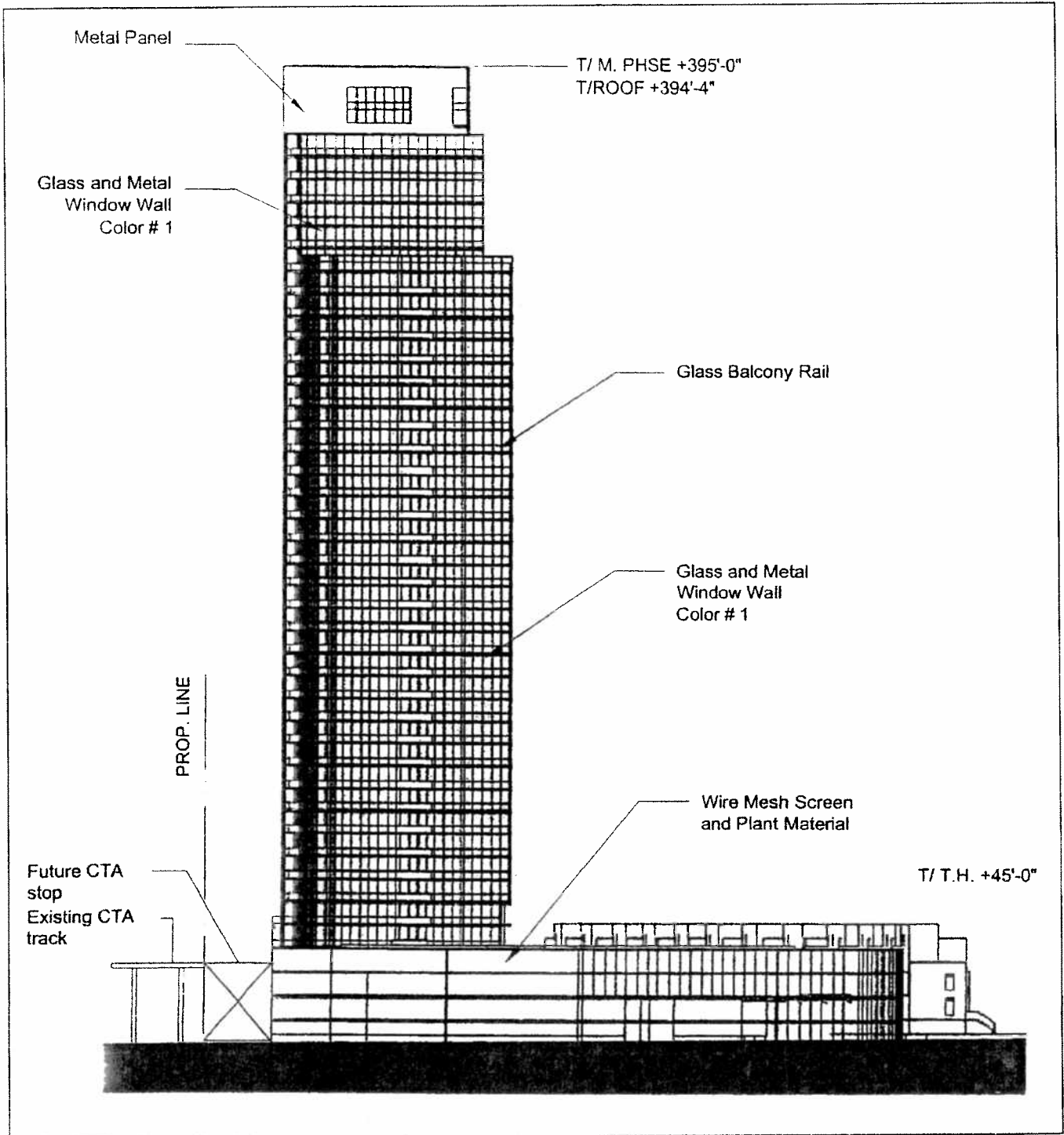
Subarea A Building 4/Phase 4 -- East Elevation.



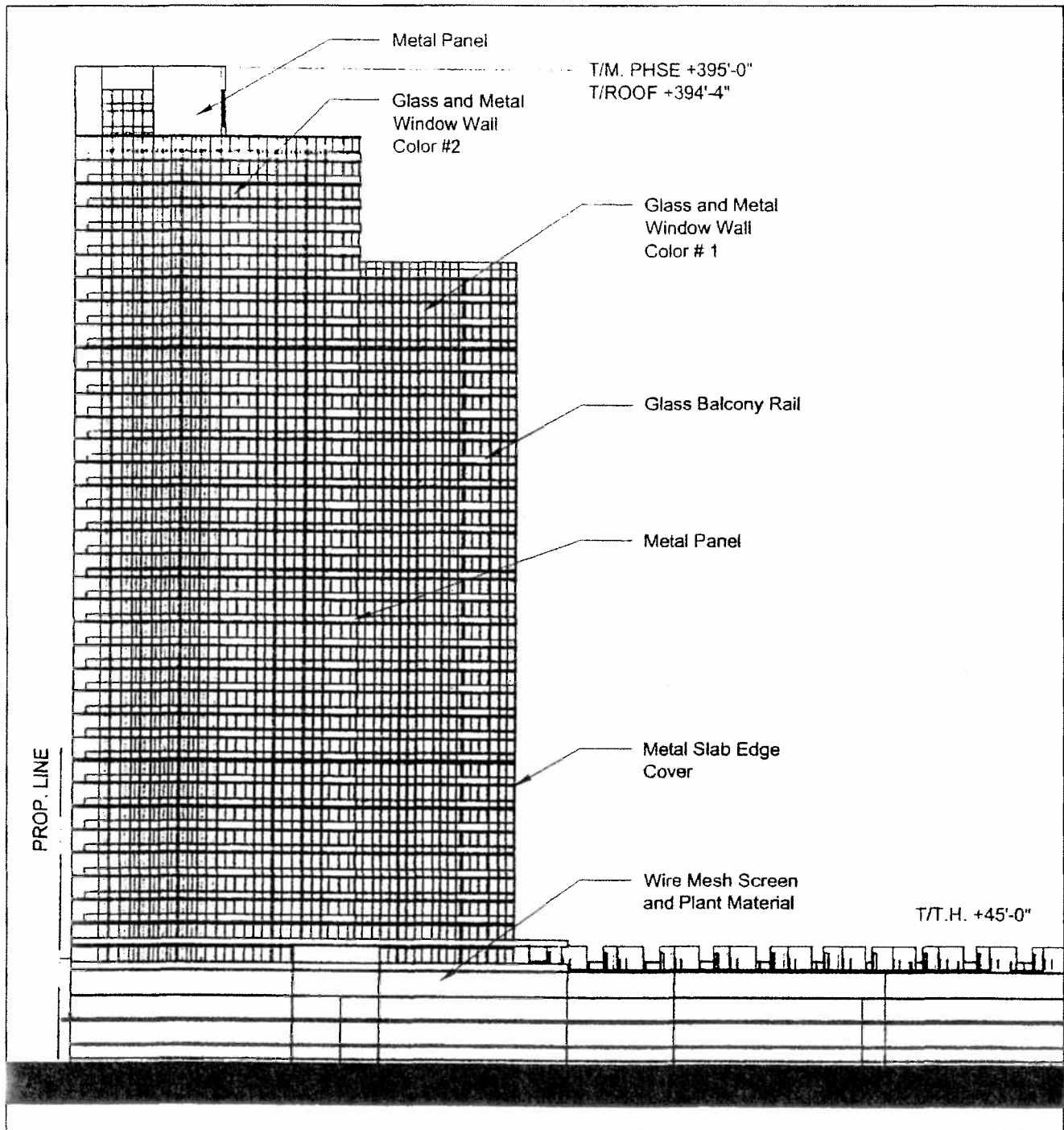
Subarea A Building 4/Phase 4 -- Division Street
(North) Elevation.



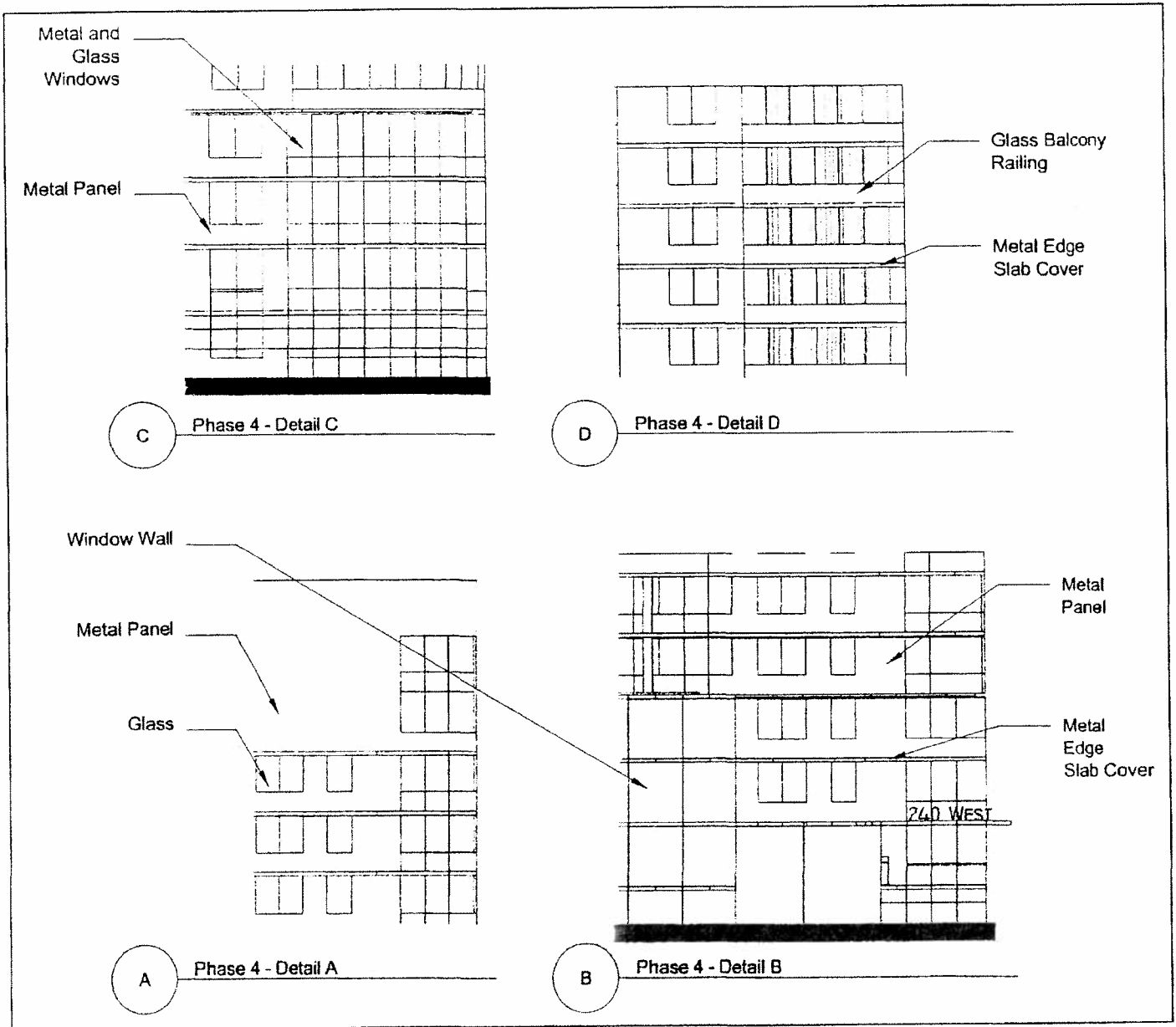
Subarea A Building 4/Phase 4 -- South Elevation.



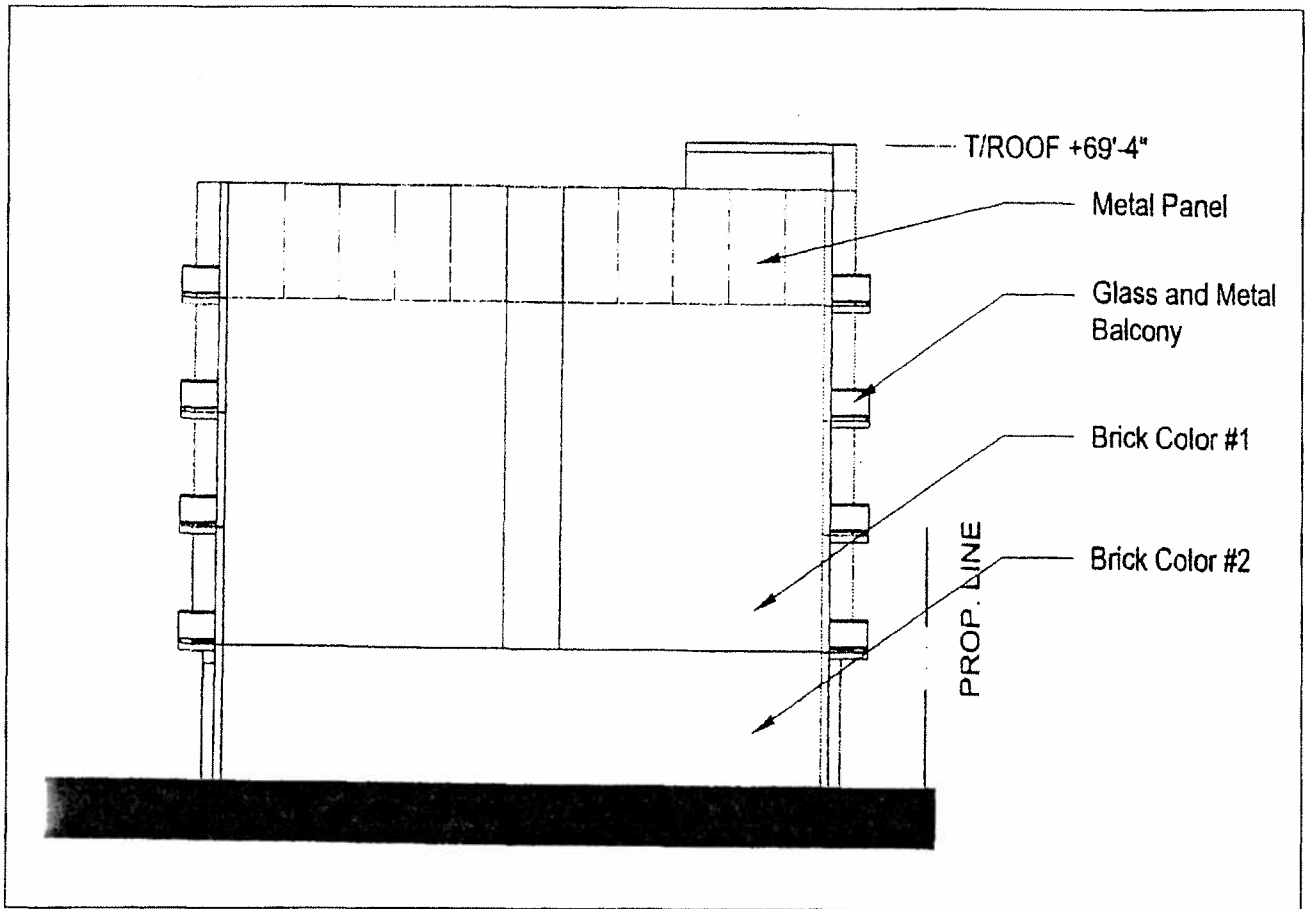
Subarea A Building 4/Phase 4 -- North Orleans Street
(West) Elevation.



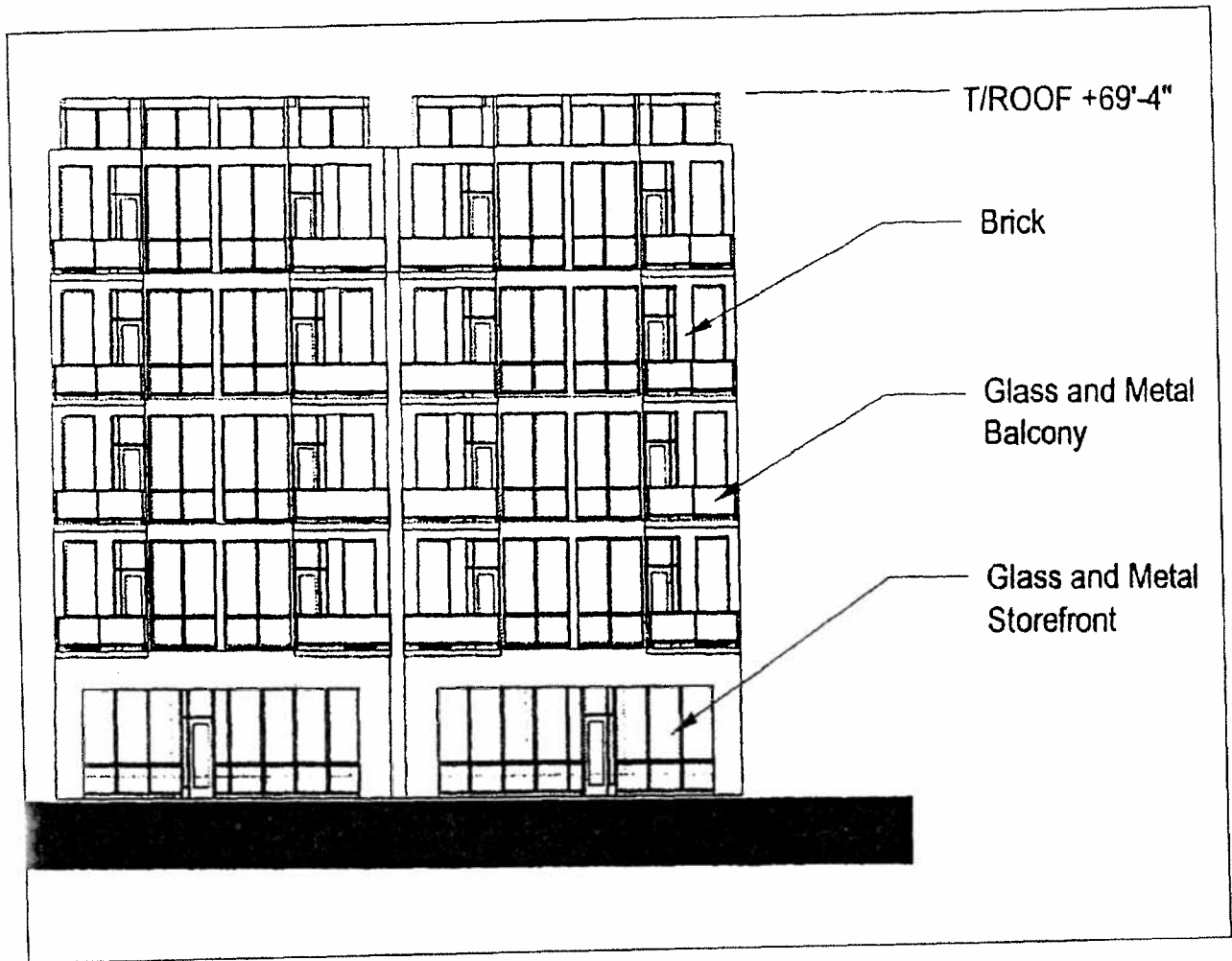
Subarea A Building 4/Phase 4 -- Details.



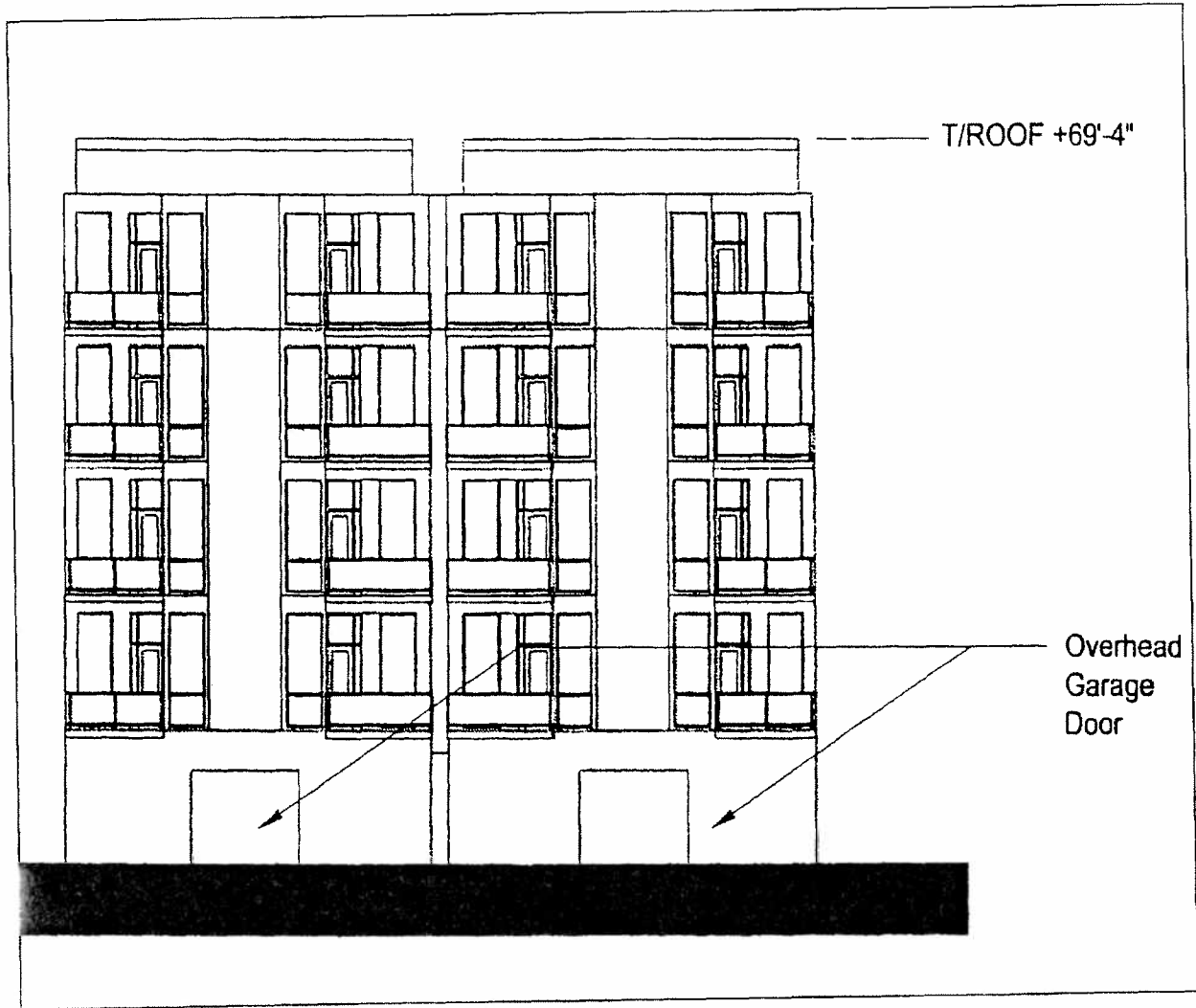
Subarea A Building 5/Phase 5 -- East Elevation.



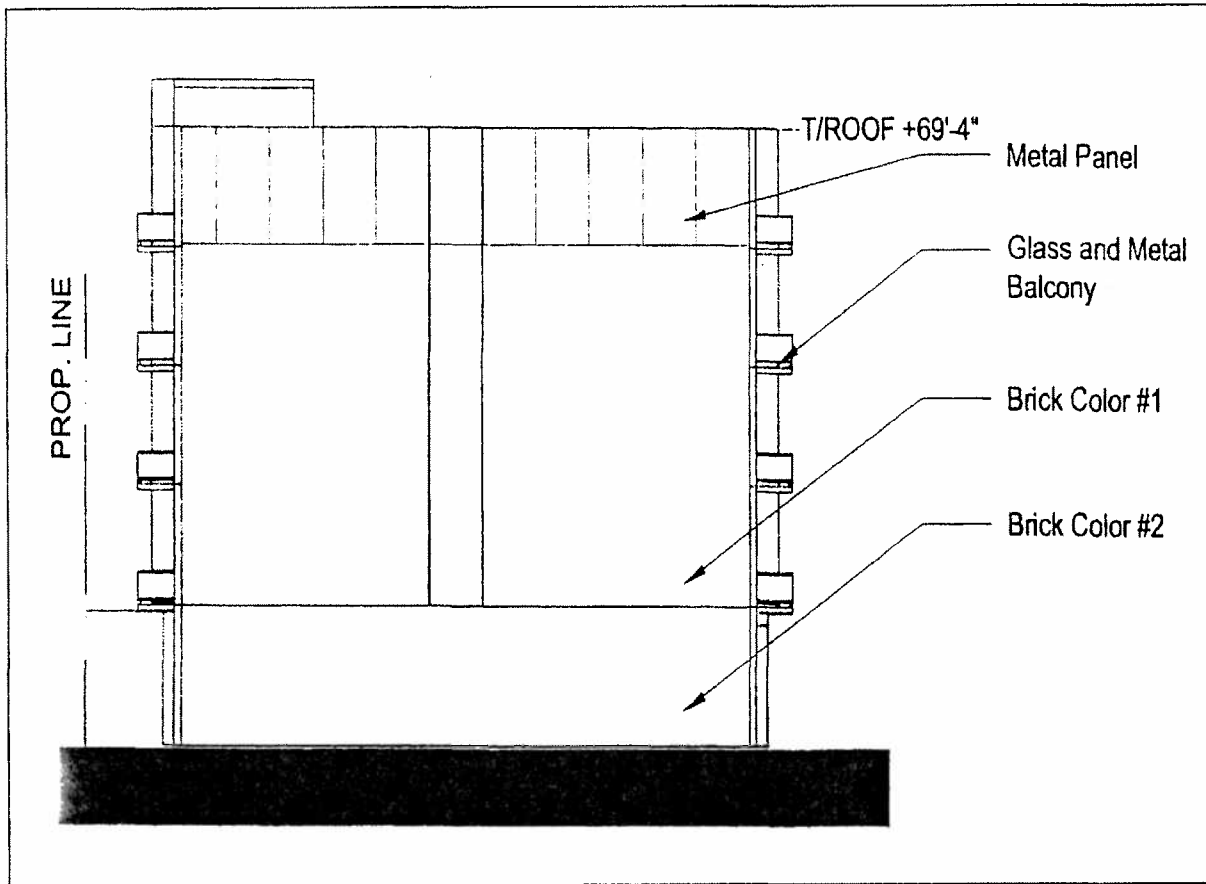
Subarea A Building 5/Phase 5 -- North Elevation.



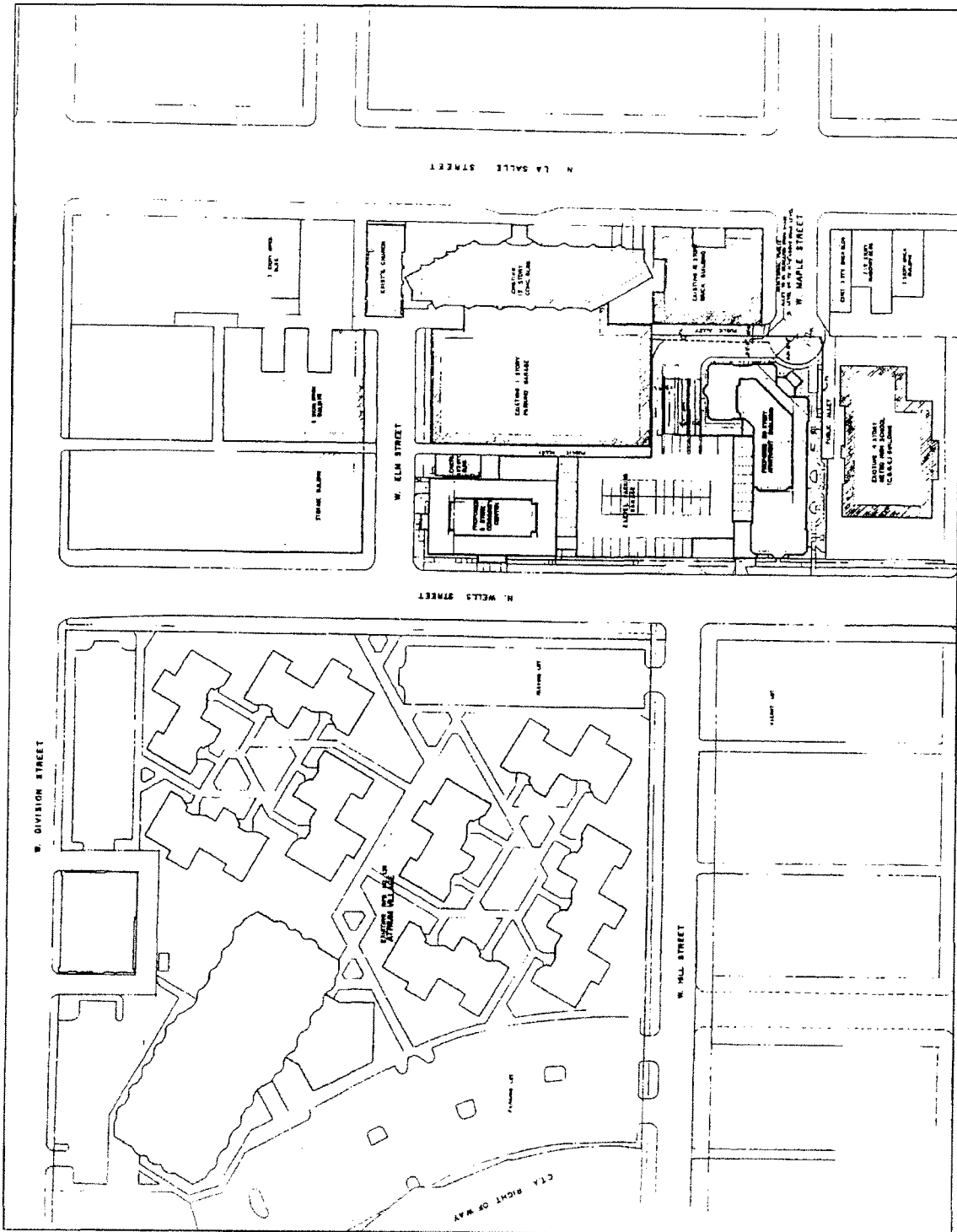
Subarea A Building 5/Phase 5 -- South Elevation.



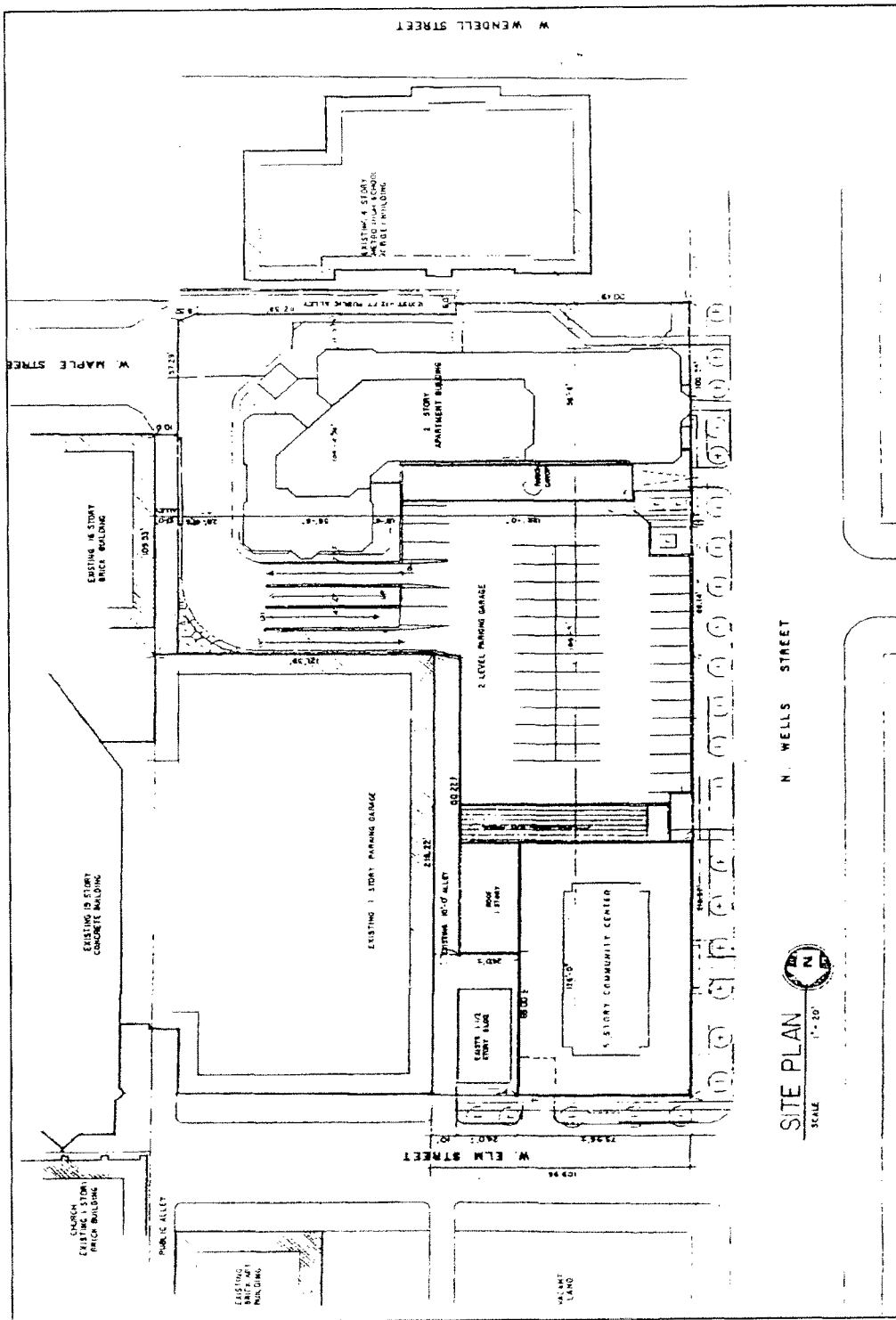
Subarea A Building 5/Phase 5 -- West Elevation.



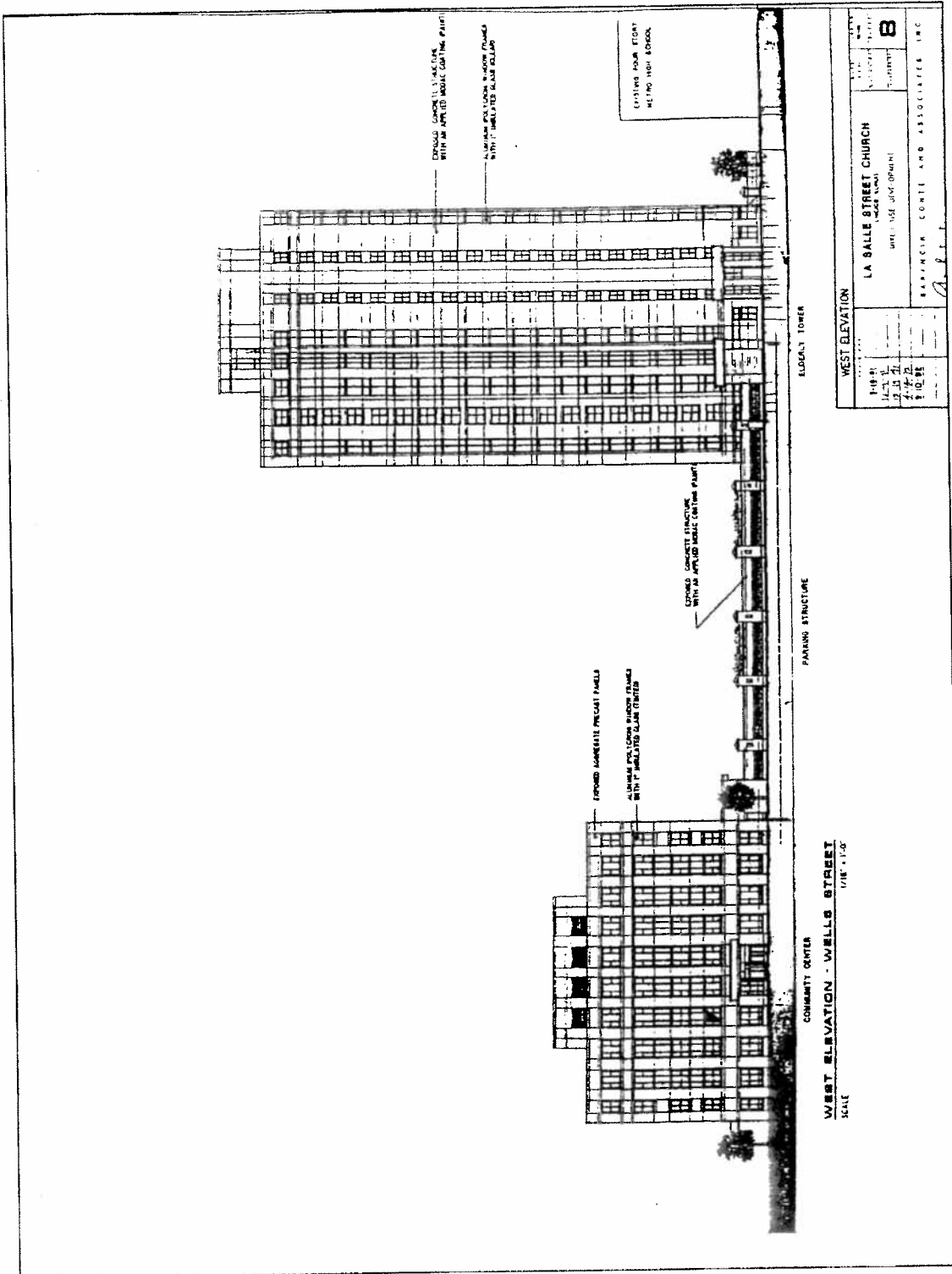
Site Plan.
(Page 1 of 3)



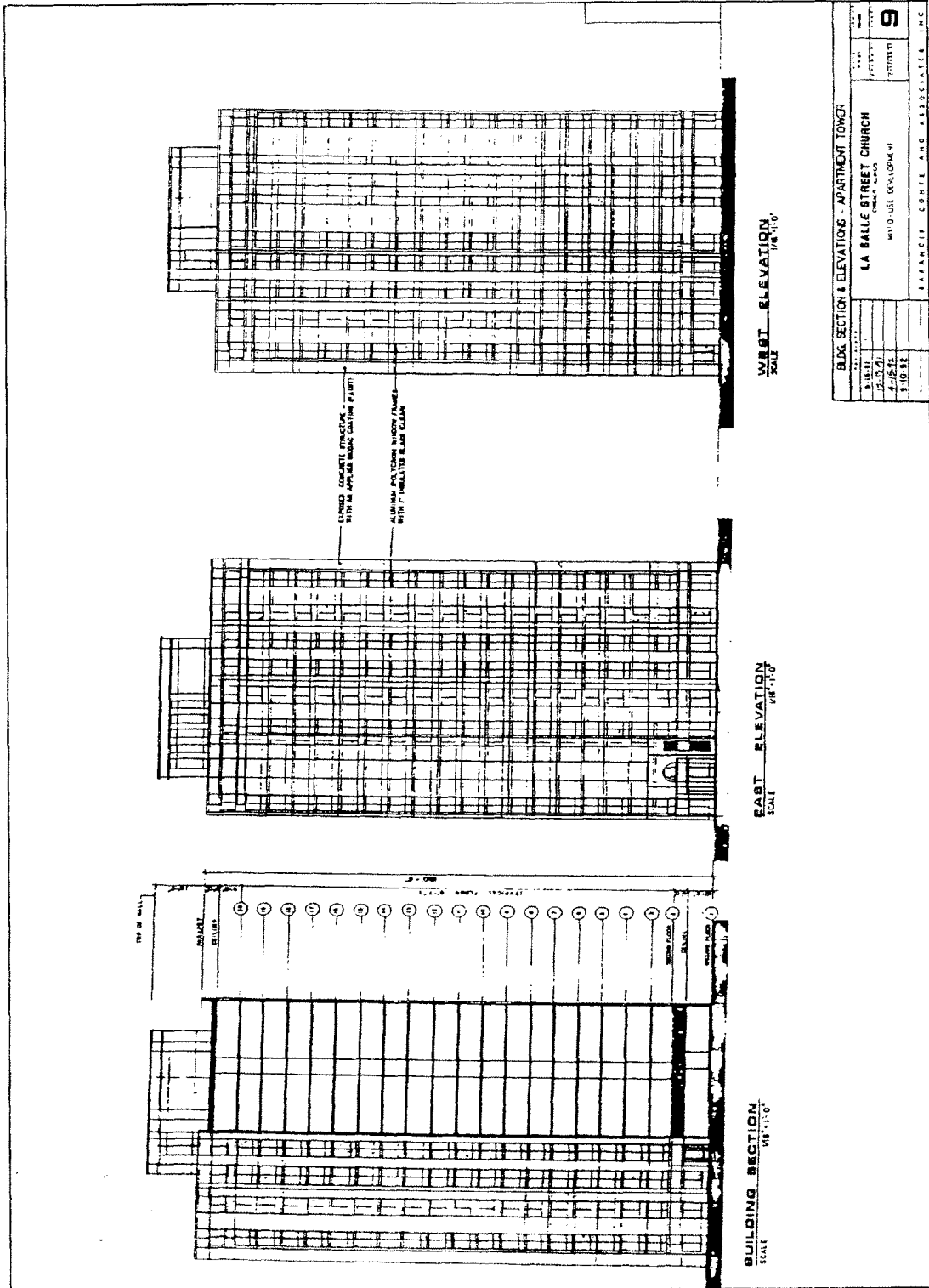
Site Plan.
(Page 2 of 3)



West Elevation.



Building Section And Elevations -- Apartment Tower.



Bldg Section & Elevations - Apartment Tower		9
Project Name	LA BALLE STREET CHURCH	9
Client	WALDO LUST DEVELOPMENT	
Scale	1/8" = 1'-0"	
Drawn By		
Checked By		
Approved By		
Date		
PARSONS CORTEI AND ASSOCIATES, INC.		

Affordable Housing Agreement (Rental).

Submit this form to the Department of Community Development for each project that triggers an affordability requirement (including CPAN, ARO, and the Density Bonus).

This completed form should be returned (via e-mail, fax, postal service or interoffice mail), to: Kara Breems, Department of Community Development, 121 N. LaSalle Street, Chicago, IL 60602. E-mail: Kara.Breems@cityofchicago.org; Telephone: (312) 744-1393.

For information on these programs/requirements, visit www.cityofchicago.org/dcd.

Date: JANUARY 26, 2012

SECTION 1: DEVELOPMENT INFORMATION

Development Name: ATRIUM VILLAGE
 Development Address: 300 WEST HILL ST. CHICAGO IL.
 Ward: 27 Alderman: WALTER BURNETT
 DPD/ZONING/DCAP Contact Name/Phone Number:

Type of City involvement: Land write-down
 (check all that apply) Financial Assistance
 Zoning increase or City Land purchase
 Planned Development - P.D. 136
 Downtown Affordable Housing Zoning (Density) Bonus

SECTION 2: DEVELOPER INFORMATION

Developer Name: SECURITY PROPERTIES
 Developer Contact (Project Coordinator): CRAIG KOLBITZ
 Developer Address: 1201 THIRD AVE # 5400 SEATTLE, WA 98101
 Email address: CRAIGK@SECPROP.COM May we use email to contact you? Yes No
 Telephone Number: 206 628-8046 DIRECT 622-9950 MAIN

SECTION 3: DEVELOPMENT INFORMATION**a) Affordable units required**

For ARO projects: 1500 x 10%* = 150 (always round up)
 Total units total affordable units required
 *20% if TIF assistance is provided

For Density Bonus projects: N/A X 25% = N/A
 Bonus Square Footage* Affordable sq. footage required

*Note that the maximum allowed bonus is 20% of base FAR in dash-5; 25% in dash-7 or -10; and 30% of base FAR in dash-12 or -16 (www.cityofchicago.org/zoning for zoning info).

b) building details

In addition to water, which of the following utilities will be included in the rent (circle applicable):

Cooking gas electric gas heat electric heat other (describe on back)

Is parking included in the rent for the: affordable units? no market-rate units? yes no
 If parking is not included, what is the monthly cost per space? \$100

Affordable Housing Agreement (Phase I).

Estimated date for the commencement of marketing: 2014

Estimated date for completion of construction of the affordable units: 2015

For each unit configuration, fill out a separate row, as applicable (see example).

	Unit Type*	Number of Units	Number of Bedrooms/Unit	Total Square Footage/Unit	Expected Market Rent	Proposed Affordable Rent*	Proposed Level of Affordability (60% or less of AMI)
<i>Example</i>	1 bed/1 bath	4	1	800	\$1000	759	60%
Affordable Units	STUDIO	10	0	575		\$734	60%
	1-BED 1-BATH	19	19	800		\$772	60%
	2-BED 2-BATH	10	20	950		\$923	60%
Market Rate Units	STUDIO	87	0	575	\$1450	N/A	N/A
	1-BED 1-BATH	173	173	800	\$2000	N/A	N/A
	2-BED 2-BATH	86	172	950	\$2375	N/A	N/A

*Rent amounts determined by the City of Chicago's Maximum Affordable Monthly Rent Chart
Annually

SECTION 4: PAYMENT IN LIEU OF UNITS

When do you expect to make the payment -in-lieu? N/A
(typically corresponds with payment/issuance of building permits) Month/Year

For ARO projects, use the following formula to calculate payment owed:


$$\frac{N/A}{\text{Number of total units in development}} \times 10\% = \frac{N/A}{\text{(round up to nearest whole number)}} \times \$100,000 = \$ \frac{N/A}{\text{Amount owed}}$$

For Density Bonus projects, use the following formula to calculate payment owed:

$$\frac{N/A}{\text{Bonus Floor Area (sq ft)}} \times 80\% \times \$ \frac{N/A}{\text{median price per base FAR foot (from table below)}} = \$ \frac{N/A}{\text{Amount owed}}$$

Submarket (Table for use with the Density Bonus fees-in-lieu calculations)	Median Land Price per Base FAR Foot
Loop: Chicago River on north/west; Congress on south; Lake Shore Dr on east	\$31
North: Division on north; Chicago River on south/west; Lake Shore Dr. on east	\$43
South: Congress on north; Stevenson on south; Chicago River on west; Lake Shore Dr. on east	\$22
West: Lake on north; Congress on south; Chicago River on east; Racine on west	\$29

Authorization to Proceed (to be completed by Department of Community Development)


Kara Breems,
Department of Community Development

7-17-12
date

Affordable Housing Agreement (Phase II).

Estimated date for completion of construction of the affordable units:

For each unit configuration, fill out a separate row, as applicable (see example).

	Unit Type*	Number of Units	Number of Bedrooms/Unit	Total Square Footage/Unit	Expected Market Rent	Proposed Affordable Rent*	Proposed Level of Affordability (60% or less of AMI)
Example	1 bed/1 bath	4	1	800	\$1000	759	60%
Affordable Units	STUDIO	8	0	575		\$ 734	60%
	1-BED 1-BATH	15	15	800		\$ 772	60%
	2-BED 2-BATH	8	16	950		\$ 923	60%
Market Rate Units	STUDIO	70	0	575	\$1450	N/A	N/A
	1-BED 1-BATH	140	140	800	\$2000	N/A	N/A
	2-BED 2-BATH	69	138	950	\$2375	N/A	N/A

*Rent amounts determined by the "City of Chicago's Maximum Affordable Monthly Rent Chart"

SECTION 4: PAYMENT IN LIEU OF UNITS

When do you expect to make the payment -in-lieu? N/A Month/Year
 (typically corresponds with payment/issuance of building permits)

For ARO projects, use the following formula to calculate payment owed:

$$\frac{N/A}{\text{Number of total units in development}} \times 10\% = \frac{N/A}{\text{(round up to nearest whole number)}} \times \$100,000 = \$ \frac{N/A}{\text{Amount owed}}$$

For Density Bonus projects, use the following formula to calculate payment owed:

$$\frac{N/A}{\text{Bonus Floor Area (sq ft)}} \times 80\% \times \$ \frac{N/A}{\text{median price per base FAR foot (from table below)}} = \$ \frac{N/A}{\text{Amount owed}}$$

Submarket (Table for use with the Density Bonus fees-in-lieu calculations)	Median Land Price per Base FAR Foot
Loop: Chicago River on north/west; Congress on south; Lake Shore Dr on east	\$31
North: Division on north; Chicago River on south/west; Lake Shore Dr. on east	\$43
South: Congress on north; Stevenson on south; Chicago River on west, Lake Shore Dr. on east	\$22
West: Lake on north; Congress on south; Chicago River on east; Racine on west	\$29

Authorization to Proceed (to be completed by Department of HED)

[Signature] 7-17-12
 Kara Brems, date
 Department of Housing & Economic Development

Affordable Housing Agreement (Phase III).

Estimated date for completion of construction of the affordable units: 2019

For each unit configuration, fill out a separate row, as applicable (see example).

	Unit Type*	Number of Units	Number of Bedrooms/Unit	Total Square Footage/Unit	Expected Market Rent	Proposed Affordable Rent*	Proposed Level of Affordability (60% or less of AMI)
Example	1 bed/1 bath	4	1	800	\$1000	759	60%
Affordable Units	STUDIO	10	0	575		\$ 734	60%
	1-BED 1-BATH	18	18	800		\$ 772	60%
	2-BED 2-BATH	9	18	950		\$ 923	60%
Market Rate Units	STUDIO	84	0	575	\$1450	N/A	N/A
	1-BED 1-BATH	168	168	800	\$2000	N/A	N/A
	2-BED 2-BATH	83	166	950	\$2375	N/A	N/A

*Rent amounts determined by the City of Chicago's Maximum Affordable Monthly Rent Chart ^{Annually}

SECTION 4: PAYMENT IN LIEU OF UNITS

When do you expect to make the payment -in-lieu? N/A
 (typically corresponds with payment/issuance of building permits) Month/Year

For ARO projects, use the following formula to calculate payment owed:

$$\frac{N/A}{\text{Number of total units in development}} \times 10\% = \frac{N/A}{\text{(round up to nearest whole number)}} \times \$100,000 = \$ \frac{N/A}{\text{Amount owed}}$$

For Density Bonus projects, use the following formula to calculate payment owed:

$$\frac{N/A}{\text{Bonus Floor Area (sq ft)}} \times 80\% \times \$ \frac{N/A}{\text{median price per base FAR foot (from table below)}} = \$ \frac{N/A}{\text{Amount owed}}$$

Submarket (Table for use with the Density Bonus fees-in-lieu calculations)	Median Land Price per Base FAR Foot
Loop: Chicago River on north/west; Congress on south; Lake Shore Dr on east	\$31
North: Division on north; Chicago River on south/west; Lake Shore Dr. on east	\$43
South: Congress on north; Stevenson on south; Chicago River on west; Lake Shore Dr. on east	\$22
West: Lake on north; Congress on south; Chicago River on east; Racine on west	\$29

Authorization to Proceed (to be completed by Department of HED)

Kara Breems 7-17-12
 Kara Breems, date
 Department of Housing & Economic Development

Affordable Housing Agreement (Phase IV).

Estimated date for completion of construction of the affordable units: 2021

For each unit configuration, fill out a separate row, as applicable (see example).

	Unit Type*	Number of Units	Number of Bedrooms/Unit	Total Square Footage/Unit	Expected Market Rent	Proposed Affordable Rent*	Proposed Level of Affordability (60% or less of AMI)
Example	1 bed/1 bath	4	1	800	\$1000	759	60%
Affordable Units	STUDIO	11	0	575		\$ 734	60%
	1-BED 1-BATH	22	22	800		\$ 772	60%
	2-BED 2-BATH	10	20	950		\$ 923	60%
Market Rate Units	STUDIO	98	0	575	\$ 1450	N/A	N/A
	1-BED 1-BATH	195	390	800	\$ 2000	N/A	N/A
	2-BED 2-BATH	97	194	950	\$ 2315	N/A	N/A

*Rent amounts determined by the City of Chicago's Maximum Affordable Monthly Rent Chart

SECTION 4: PAYMENT IN LIEU OF UNITS

When do you expect to make the payment -in-lieu? N/A
 (typically corresponds with payment/issuance of building permits) Month/Year

For ARO projects, use the following formula to calculate payment owed:

$$\frac{N/A}{\text{Number of total units in development}} \times 10\% = \frac{N/A}{\text{(round up to nearest whole number)}} \times \$100,000 = \$ \frac{N/A}{\text{Amount owed}}$$

For Density Bonus projects, use the following formula to calculate payment owed:

$$\frac{N/A}{\text{Bonus Floor Area (sq ft)}} \times 80\% \times \$ \frac{N/A}{\text{median price per base FAR foot (from table below)}} = \$ \frac{N/A}{\text{Amount owed}}$$

Submarket (Table for use with the Density Bonus fees-in-lieu calculations)	Median Land Price per Base FAR Foot
Loop: Chicago River on north/west; Congress on south; Lake Shore Dr on east	\$31
North: Division on north; Chicago River on south/west; Lake Shore Dr. on east	\$43
South: Congress on north; Stevenson on south; Chicago River on west; Lake Shore Dr. on east	\$22
West: Lake on north; Congress on south; Chicago River on east; Racine on west	\$29

Authorization to Proceed (to be completed by Department of HED)

Kara Breems 7-17-12
 Kara Breems, date
 Department of Housing & Economic Development

Chicago Builds Green Form.
(Page 1 of 3)

Project Name:

Project Location: * Street Number (if the address only includes one street number, please fill only the cell From*)
From: To: Direction: Street Name: Select Street Type:

Ward No: Community Area No:

Project Type: Check applicable:
 Planned Development PD No: Redevelopment Agreement RDA No: Zoning Change From: To:
 Public project Landmark

Project Size: Total land area in sq.ft.: Total building(s) footprint in sq.ft.: Total vehicular use area in sq.ft.:

DPD Project Manager: Enter First Name Last Name

BG/GR Matrix: Select project category:

Financial Incentives: Check applicable:
 TIF Empowerment Zone Grant Class L
 GRIF Ind. Dev. Revenue Bonds Class 6b
 SBIF Bank Participation Loan DOH
 Land Sale Write Down

Density Bonus: Check applicable:
 Public plaza & pocket park Water features in a plaza or pocket park
 Chicago Riverwalk improvements Setbacks above the ground floor
 Winter gardens Lower level planting terrace
 Indoor through-block connection Green roof
 Sidewalk widening Underground parking and loading
 Arcades Concealed above-ground parking

Chicago Builds Green Form.
(Page 2 of 3)

Please fill, if applicable

Landscaping:

7' Landscape Setback	Square footage:	0	0
Interior Landscape Area	Square footage:	0	0
No. of Interior Trees		0	0
No. of Parkway Trees		8	8

Open Space:

River Setback	Square footage:	0	0
Private Open Space	Square footage:	0	0
Privately developed Public Open Space	Square footage:	54000	146,570

Stormwater Management (At-grade volume control):

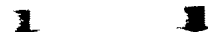
Permeable paving	Square footage:	0
Raingarden	Check applicable:	<input type="checkbox"/>
Filter strip		<input type="checkbox"/>
Bioswale		<input type="checkbox"/>
Detention pond		<input type="checkbox"/>
Native landscaping	Square footage:	77,015
Rain-water collection cistern/barrel	Gallons:	0
Total impervious area reduction	Square footage:	39,495

Other sustainable surface treatments:

Green roof	Square footage:	56,950	56,950
Energy Star roof	Square footage:	170,675	170,675
High-albedo pavement	Square footage:	0	0

Transportation:

No. of accessory parking spaces	1,076	1,280
Total no. of parking spaces (Accessory + Non- Acc.)		1,166
No. of parking spaces dedicated to car sharing services (E.g.: I-Go, Zip-Car)	0	0
No. of bicycle parking	200	200
Within 600 ft of CTA or Metra station entrance		<input checked="" type="checkbox"/>



Chicago Builds Green Form.
(Page 3 of 3)

Building Certification:

Energy Star building	<input type="checkbox"/>	<input type="checkbox"/>
LEED certification	<input checked="" type="checkbox"/>	
LEED Certified		<input checked="" type="checkbox"/>
LEED Silver		<input type="checkbox"/>
LEED Gold		<input type="checkbox"/>
LEED Platinum		<input type="checkbox"/>
Chicago Green Homes	<input type="checkbox"/>	
Chicago Green Homes [one-star]		<input type="checkbox"/>
Chicago Green Homes [two-star]		<input type="checkbox"/>
Chicago Green Homes [three-star]		<input type="checkbox"/>

Energy efficiency strategies
not captured above:

(E: Other than Energy Star Roof - or Energy Star Building Certification)

Low-e spectrally selective insulated glass in thermally broken frames;
High efficiency mechanical and plumbing systems;
Low wattage lighting;
Water Conserving Appliances and Fixtures;
Energy Star Appliances;

Other sustainable strategies
and/or Project Notes:

Erosion and Sedimental Control will be protected during construction;
Low/No VOC Paints and Primers;
Low/No VOC Adhesives and Sealants;
Dog Run



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Christopher R. Hill
Commissioner

121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190

(312) 744-2271 (FAX)

<http://www.ci.chi.il.us>

October 27, 1999

Mr. John J. George
Attorney at Law
Two First National Plaza
Suite 400
20 South Clark Street
Chicago, Illinois 60603-1903

RE: Request for a minor change to Residential Planned Development
No. 136, as amended
Atrium Village

Dear Mr. George:

The Department of Planning and Development has considered your request on behalf of the Lake Shore Preparatory School for a minor change to Residential Planned Development No. 136, as amended, pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance and Statement No. 12 (D) of the Planned Development.

Specifically, you requested that the setback from the west property line be reduced from 10 feet to 1 foot in order to accommodate the construction of a three-story addition to the Lake Shore Preparatory School. The addition would be located on the site of the existing tennis courts. The tennis court fence is currently located approximately one foot from the western property line. Furthermore, your client has agreed to set the proposed addition back a minimum of ten feet from the north (Division Street) property line in order to provide a landscaped area.

The Chicago Transit Authority, which operates the elevated Ravenswood line directly west of the site, has reviewed the plans and has provided a letter to our Department stating that the location of the proposed addition will not impact CTA operations or facilities.

Accordingly, per the authority granted by the Chicago Zoning Ordinance and Statement No. 12 (D) of the Planned Development, I hereby approve the requested minor change, but no other changes to Residential Planned Development No. 136, as amended.

Very Truly Yours,

Christopher R. Hill
Commissioner

cc: Jack Swenson
Phil Levin
Michael Marmo
Paul Woznicki

NEIGHBORHOODS



*Amendment No. 1 To
Planned Development No. 136
Plan Of Development Statements.*

1. The Applicant is LaSalle Street Church, an Illinois religious corporation (the "Applicant"). LaSalle Street Church has been designated by Atrium Village Associates as the party with single designated control with respect to this Amended Planned Development. Atrium Village Associates owns and operates Atrium Village, which is designated herein as "Subarea A" and which is the subject of the existing Residential Planned Development No. 136. The Applicant proposes to amend R.P.D. No. 136 to include "Subarea B", vacant land on which LaSalle Street Church proposes to construct its Project Cornerstone herein described. ("Subarea A", and "Subarea B" are collectively referred to as the "Property"). Title to the property delineated herein as "Subarea A" is held by American National Bank & Trust Company of Chicago as Trustee under Trust Agreement dated April 15, 1977 and known as Trust No. 39653, with beneficial interest in the Trust held by Atrium Village Associates, an Illinois limited partnership. Title to the property designated herein as "Subarea B" (with the exception of the portions of Hill Street and a public alley which are to be vacated) is held by Lake Shore National Bank, as Trustee under Trust Agreement dated August 1, 1988 and known as Trust No. 6362; the beneficial interest in the trust is held by the LaSalle Street Church. Title to the property designated as "Subarea B" is also subject to the provisions of a Contract for the Sale of Land and Redevelopment between the City of Chicago and LaSalle Street Church.
2. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees, or grantees.
3. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder. Furthermore, pursuant to the requirements of Section 11.11-1 of the Chicago Zoning Ordinance, the Property, at the time applications for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or under single designated control. Single designated control for purposes of this paragraph shall mean that any application to the City for any amendment to this Planned

Development or any other modification or change thereto (administrative, legislative or otherwise) shall be made or authorized by all the owners of the Property.

Nothing herein shall be construed to mean that any individual owner of the Property or any portion thereof is relieved of obligations imposed hereunder or rights granted herein or is not subject to City action pursuant to this Planned Development. In addition, nothing herein shall prohibit or in any way restrict the alienation, sale or any other transfer of all or any portion of the Property or any rights, interests or obligations therein. Upon any alienation, sale or any other transfer of all or any portion of the Property or the rights therein, except any assignment or transfer of rights pursuant to a mortgage or otherwise as collateral for any indebtedness, and solely with respect to the portion of the Property so transferred, the term "Applicant" shall be deemed amended to apply to the legal title holder thereof (and their beneficiaries if such title is held in land trust) and the seller or transferor thereof (and their beneficiaries if title is held in land trust) shall thereafter be released from any and all obligations or liability hereunder.

4. This Plan of Development consists of 16 Statements; an Existing Zoning Map; a Property Line and Planned Development Boundary Map; a Generalized Land Use Plan; a Site Plan; Building Elevations; and Table of Use and Bulk Regulations and Data prepared by Barancik, Conte and Associates, Inc.. All of the foregoing documents are dated October 8, 1992. Reduced copies of the Site Plan and Building Elevations are attached hereto and full-sized copies of these items are on file with the Department of Planning and Development. These and no other zoning controls shall apply to the Property. This Planned Development conforms to the intent and purposes of the Chicago Zoning Ordinance, Title 17 of the Municipal Code of Chicago, and satisfies the established criteria for approval as a planned development.
5. Any dedication or vacation of streets and alleys, or easements, or adjustments of rights-of-way or consolidation or re-subdivision of parcels shall require a separate submittal on behalf of the Applicant and approval by City Council. The Applicant and the City acknowledge that legal access for emergency vehicles and loading requirements of the improvements currently existing on the property located immediately to the east of the Property shall be preserved by means of the area depicted on the Site Plan as "Alley to be Dedicated". The Department hereby acknowledges the adequacy and appropriateness of such area for use as a public alley, together with the existing ten foot public alley, to achieve such access. The Applicant acknowledges its agreement, subject to the provisions hereof, to the dedication of the aforesaid "Alley to be Dedicated" depicted on the Site Plan. Accordingly, prior to any Part II approval

for development of the Property, (i) the Applicant shall have caused an application to be properly filed with the City on behalf of the Property's owner or owners requesting that an ordinance be adopted accepting the dedication of "Alley to be Dedicated" depicted on the Site Plan and also to submit a proper form of Plat of Dedication applicable to the "Alley to be Dedicated" depicted on the Site Plan as an exhibit to the aforesaid ordinance, (ii) the City Council, following such hearings and review as required by law, shall have adopted the aforesaid ordinance and (iii) the "Alley to be Dedicated" as depicted on the Site Plan shall have been properly offered for dedication to the City and properly accepted by the City. The City and the Department of Planning and Development shall fully and diligently cooperate with the Applicant to achieve such dedication as provided herein and to expedite the application process required therefor. In no event shall Part II approval be issued for any development of the Property unless prior to such issuance, the interest in the "Alley to be Dedicated" as depicted on the Site Plan has been properly dedicated to and accepted by the City or an easement accepted in writing by said contiguous property owners and approved by the Department of Law has been properly executed and recorded; provided, however, that in the event the City refuses to accept a properly offered dedication, the failure of the City to accept such dedication shall in no way be deemed a default on the part of the Applicant and shall in no way impair or affect the remaining provisions of this planned development or the Applicant's right to construct the apartment building contemplated by this planned development. The net site area of Subarea B of the Property for floor area ratio and square footage calculations shall be as set forth on the Table of Bulk Regulations, notwithstanding the aforesaid dedication.

6. The following uses shall be permitted uses within the area designated as "Residential Planned Development No. 136, as amended", subject to the restrictions in these Statements and in the Table of Bulk Regulations:
 - A. In Subarea A: the uses listed in Planned Development Ordinance No. 136 and day care facilities.
 - B. In Subarea B: multi-family dwelling units, community centers, day care facilities, accessory church offices and other accessory church-related facilities, accessory parking and other accessory uses. Interim uses may be permitted prior to the commencement of construction subject to the approval of the Commissioner of Planning and Development.

7. Off-street parking and loading facilities shall be provided in compliance with this Plan of Development, subject to review of the Departments of Transportation and Planning and Development.
8. Any service drives or any other ingress and egress will be adequately designed and paved in accordance with the regulations of the Department of Transportation in effect at the time of construction and in compliance with the Municipal Code of Chicago to provide ingress and egress for motor vehicles, including emergency vehicles. There shall be no parking within such paved areas. Fire lanes, if required, shall be adequately designed and paved in compliance with the Municipal Code of Chicago, and shall provide ingress and egress for emergency vehicles. There shall be no parking within such paved areas. Ingress and egress shall be subject to the review and approval of the Department of Transportation, Bureau of Traffic Engineering and Operations, and the Commissioner of Planning and Development.
9. Identification signs shall be permitted within the Planned Development subject to the review and approval by the Department of Planning and Development. Temporary signs, such as construction and marketing signs, shall also be permitted, subject to the review and approval of the Department of Planning and Development.
10. The proposed buildings and any appurtenant structures shall not exceed any federal or local height restrictions and shall conform to the Table of Use and Bulk Regulations.
11. The Applicant acknowledges that the proposed development site is located adjacent to a Chicago landmark building (the Sexton School). Accordingly, the Applicant agrees to provide a landscape pedestrian walkway within the buffer zone between the landmark building and the proposed apartment building, as provided in Statement 12(B), as a means of increasing visual access to the west and north facades of the landmark building.
12. The improvements on the Property, including all entrances and exits to and from the parking and loading areas, shall be designed, constructed and maintained in substantial conformance with the Site Plans and Building Elevations. In addition, the improvements on the Property shall be subject to the following regulations:
 - (A) Landscaping. Parkway trees and interior lot landscaping shall be installed and maintained in accordance with the Site Plan and the provisions of the Chicago Landscape Ordinance.

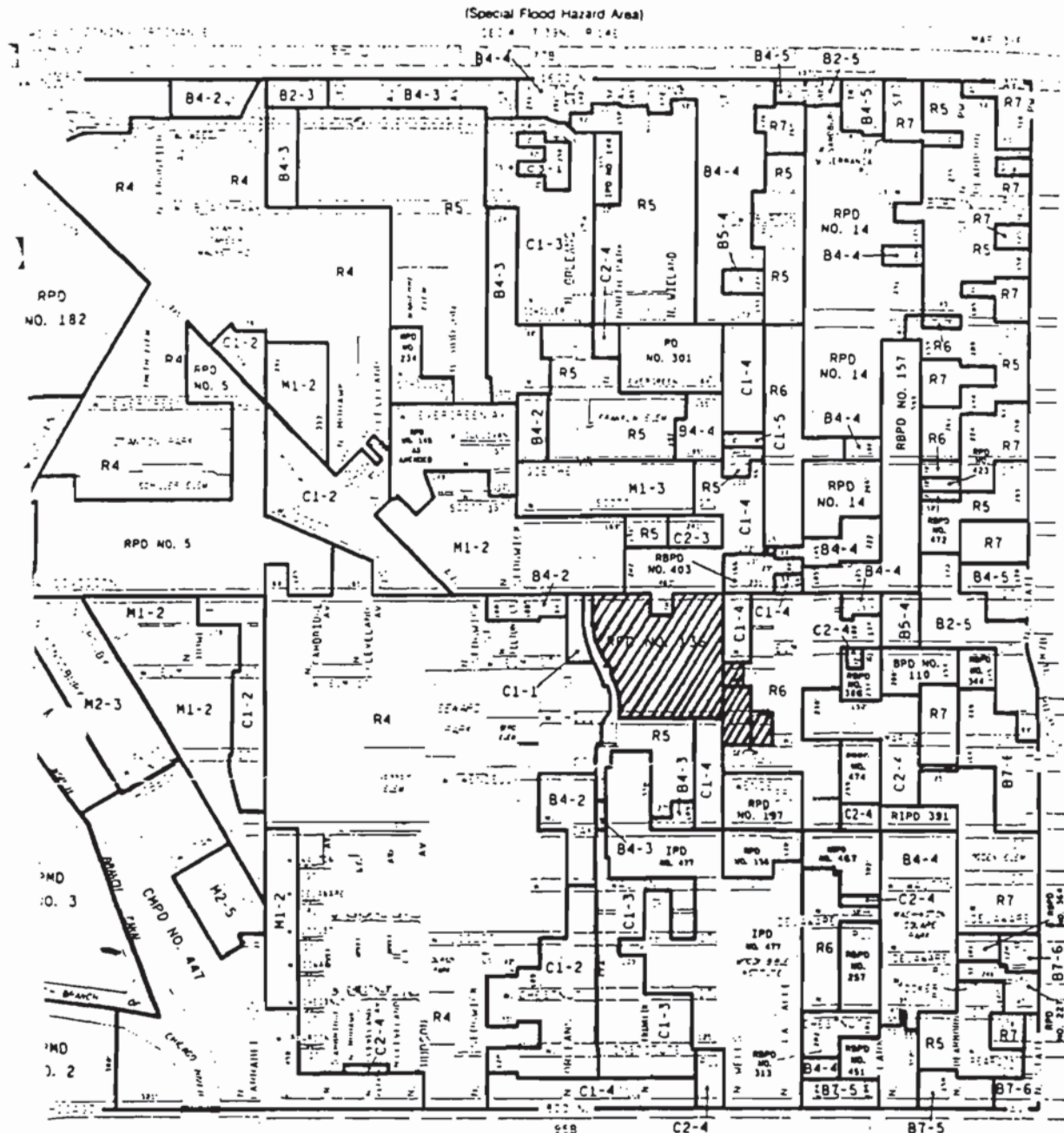
- (B) Pedestrian Walkway between Maple and Wells Streets. The proposed apartment building shall be set back from the southern boundary of Subarea B as depicted on the Site Plan. The Applicant shall install an illuminated, paved pedestrian walkway no less than six feet in width within this setback area. The pedestrian walkway shall not be closed off by any gate or other obstruction unless the Applicant determines that public safety requires otherwise; any such decision to restrict access for public safety reasons shall be subject to approval by the commander of the local district of the Chicago Police Department, with notice of any such decision provided to the Department of Planning and Development.
 - (C) Handicapped Accessibility. A minimum of five of the 115 off-street parking spaces within Subarea B shall be designed and designated for parking for the handicapped. The proposed development shall comply with all applicable local, state and federal laws and regulations pertaining to removal of physical barriers for persons with disabilities.
 - (D) Modification of Requirements. The requirements of this Statement may be modified, administratively, by the Commissioner of Planning and Development upon application for such a modification by the Applicants and a determination by the Commissioner that such modification is minor in character and appropriate and consistent with the nature of the improvements contemplated by this Planned Development and the purposes underlying the provisions hereof. Any such modification shall be deemed to be a minor change in the Planned Development as contemplated by Section 11.11-3(c) of the Chicago Zoning Ordinance. This Statement shall not be construed as limiting the authority of the Commissioner pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance to authorize any other minor change to any of the portions or Statements of this Plan of Development.
13. The maximum permitted floor area ratio (F.A.R.) shall be in accordance with Table of Use and Bulk Regulations attached as part of this Plan of Development. For purposes of F.A.R. calculations and floor area measurements, the definitions in the Chicago Zoning Ordinance shall apply.
14. This Planned Development shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as promulgated by the Commissioner of Planning and Development

in effect on the date hereof. The Planned Development Statements attached to Residential Planned Development Ordinance No. 136 shall continue in full force and effect, except in the event of conflict with these Statements, in which event these Statements shall control.

15. The Applicant acknowledges that it is in the public interest to design, construct and maintain all buildings in a manner which promotes and maximizes the conservation of energy resources. The Applicant shall use best and reasonable efforts to design, construct and maintain all buildings located within this Planned Development in an energy efficient manner, generally consistent with the most current energy efficiency standards published by the American Society of Heating, Refrigerating and Air Conditioning Engineers ("A.S.H.R.A.E.") and the Illuminating Engineering Society ("I.E.S.").
16. Unless substantial construction of the improvements in Subarea B contemplated by this Planned Development has commenced within two years following adoption of this Planned Development, and unless completion thereof is diligently pursued, then this Amendment to Planned Development No. 136 shall expire; provided, however, that if the City Council amends the Chicago Zoning Ordinance to provide for a shorter expiration period which is applicable to all planned developments, then this Planned Development shall expire upon the expiration of such shorter time period as provided by said amendatory ordinance (the first day of which as applied to this Planned Development shall be the effective date of the amendatory ordinance), and provided further, that Planned Development Ordinance No. 136 shall not be subject to expiration as it relates to Subarea A. If this amendment to Planned Development No. 136 expires under the provisions of this section, then the zoning of the Subarea B Property shall automatically revert to R6 General Residence District and C1-4 Restricted Commercial District.

[Existing Zoning Map, Property Line Map and Right-of-Way
Adjustments, Existing Land Use Map, Site Plans,
Building Elevations and Table of Use and
Bulk Regulations and Data attached
to this Planned Development
printed on pages 23543
through 23550 of
this Journal.]

Existing Zoning Map.



RESIDENCE DISTRICTS

- FAMILY RESIDENCE DISTRICT
- FAMILY RESIDENCE DISTRICT
- RESIDENCE DISTRICT
- RESIDENCE DISTRICT
- RESIDENCE DISTRICT
- RESIDENCE DISTRICT
- RESIDENCE DISTRICT
- RESIDENCE DISTRICT

BUSINESS DISTRICTS

- B1-1 TO B1-5 LOCAL RETAIL DISTRICTS
- B2-1 TO B2-5 RESTRICTED RETAIL DISTRICTS
- B3-1 TO B3-5 GENERAL RETAIL DISTRICTS
- B4-1 TO B4-5 RESTRICTED SERVICE DISTRICTS
- B5-1 TO B5-5 GENERAL SERVICE DISTRICTS
- B6-6 AND B6-7 RESTRICTED CENTRAL BUSINESS DISTRICTS
- B7-5 TO B7-7 GENERAL CENTRAL BUSINESS DISTRICTS

COMMERCIAL DISTRICTS

- C1-1 TO C1-5 RESTRICTED COMMERCIAL DISTRICTS
- C2-1 TO C2-5 GENERAL COMMERCIAL DISTRICTS
- C3-5 TO C3-7 COMMERCIAL-MANUFACTURING DISTRICTS
- C4 MOTOR FREIGHT TERMINAL DISTRICT

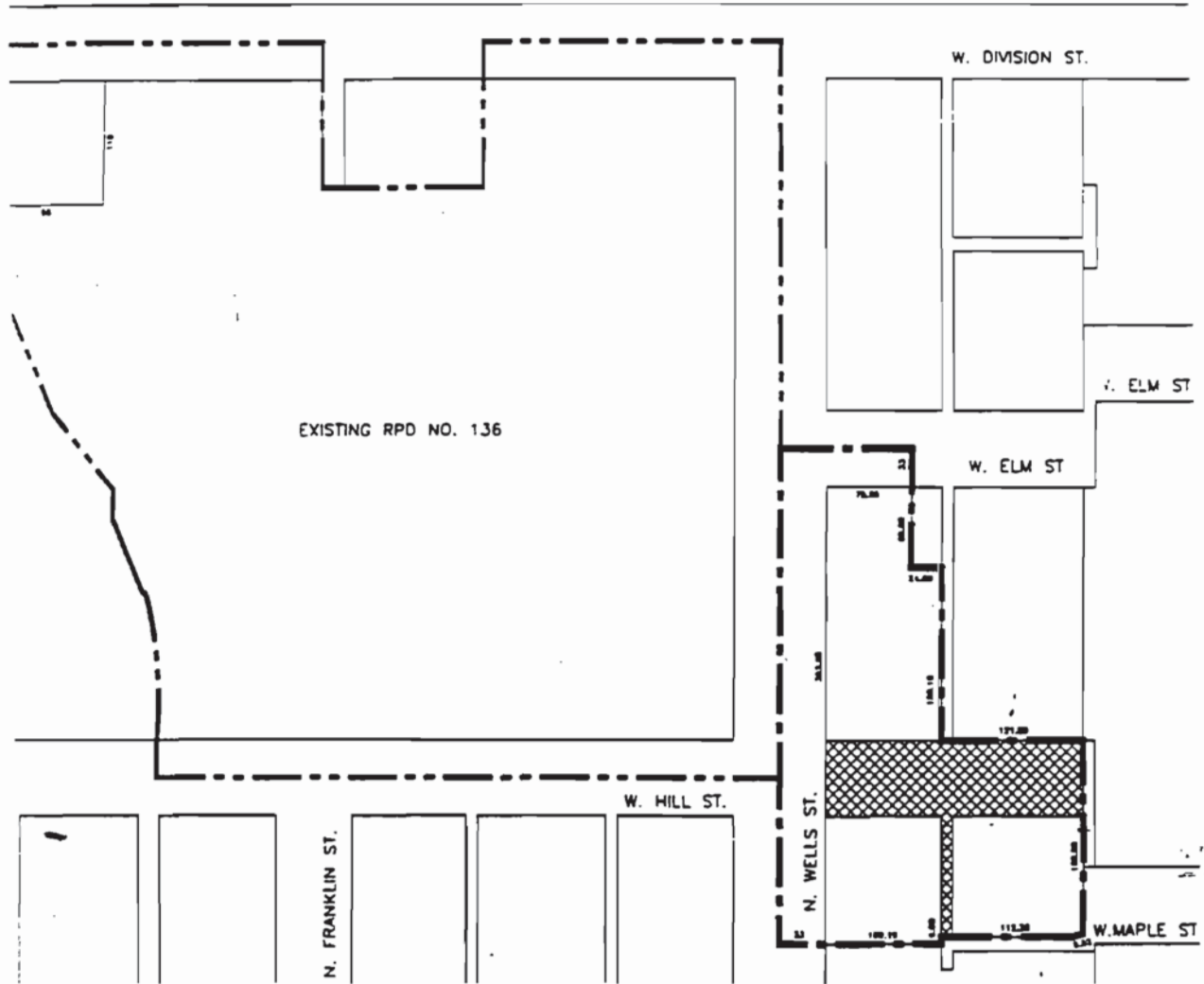
MANUFACTURING DISTRICTS




- M1-1 TO M1-5 RESTRICTED MANUFACTURING DISTRICTS
- M2-1 TO M2-5 GENERAL MANUFACTURING DISTRICTS
- M3-1 TO M3-5 HEAVY MANUFACTURING DISTRICT

FOR BULK REGULATIONS, RESIDENCE DISTRICTS, SEE ARTICLE 7

FOR BULK REGULATIONS, BUSINESS DISTRICTS, SEE ARTICLE 8

Residential Planned Development Property Line Map And Right-Of-Way Adjustment.

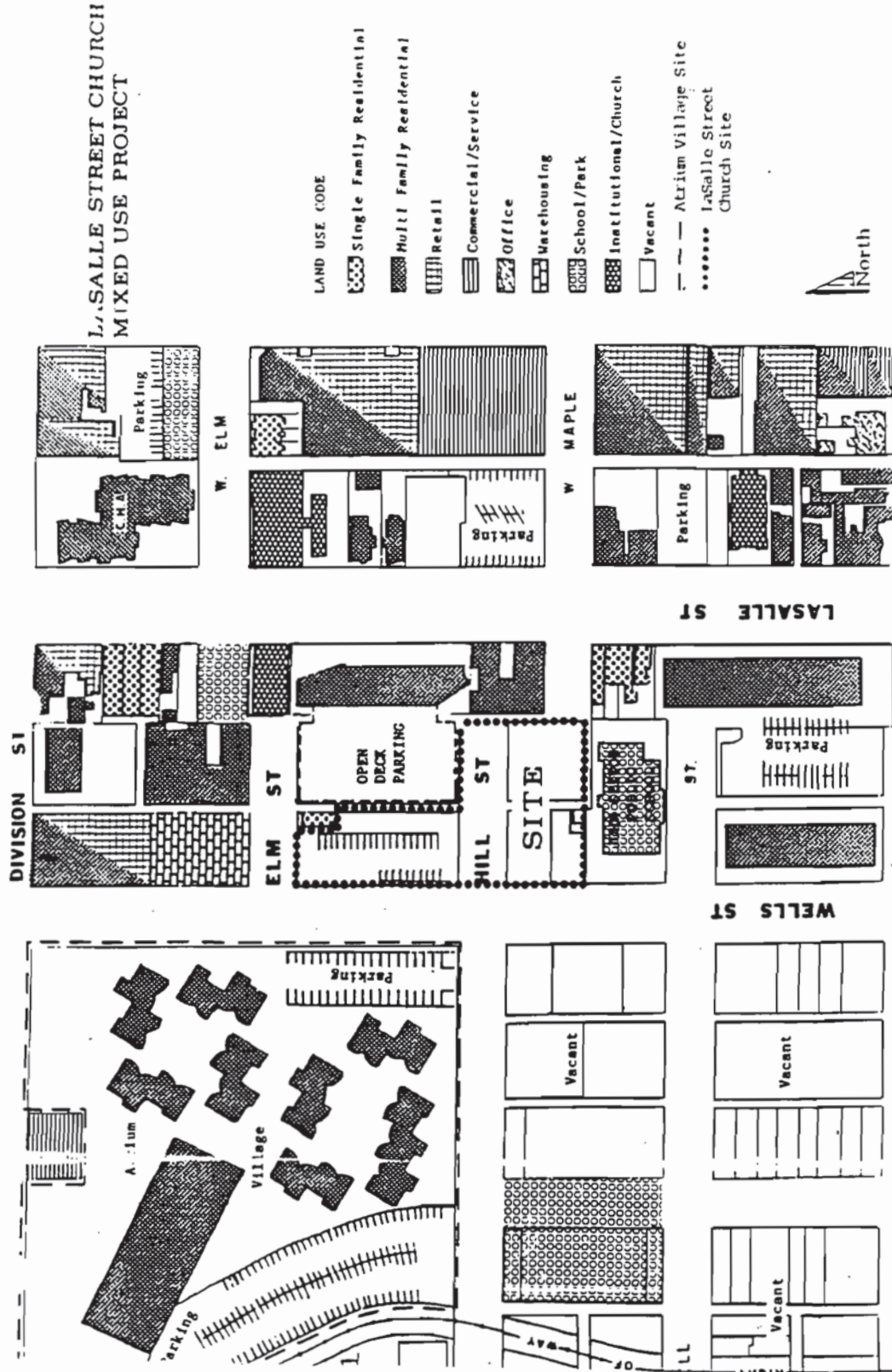


-  RESIDENTIAL PLANNED DEVELOPMENT BOUNDARY
-  STREETS AND ALLEYS TO BE VACATED
-  RESIDENTIAL PLANNED DEVELOPMENT BOUNDARY EXISTING RPD NO. 136

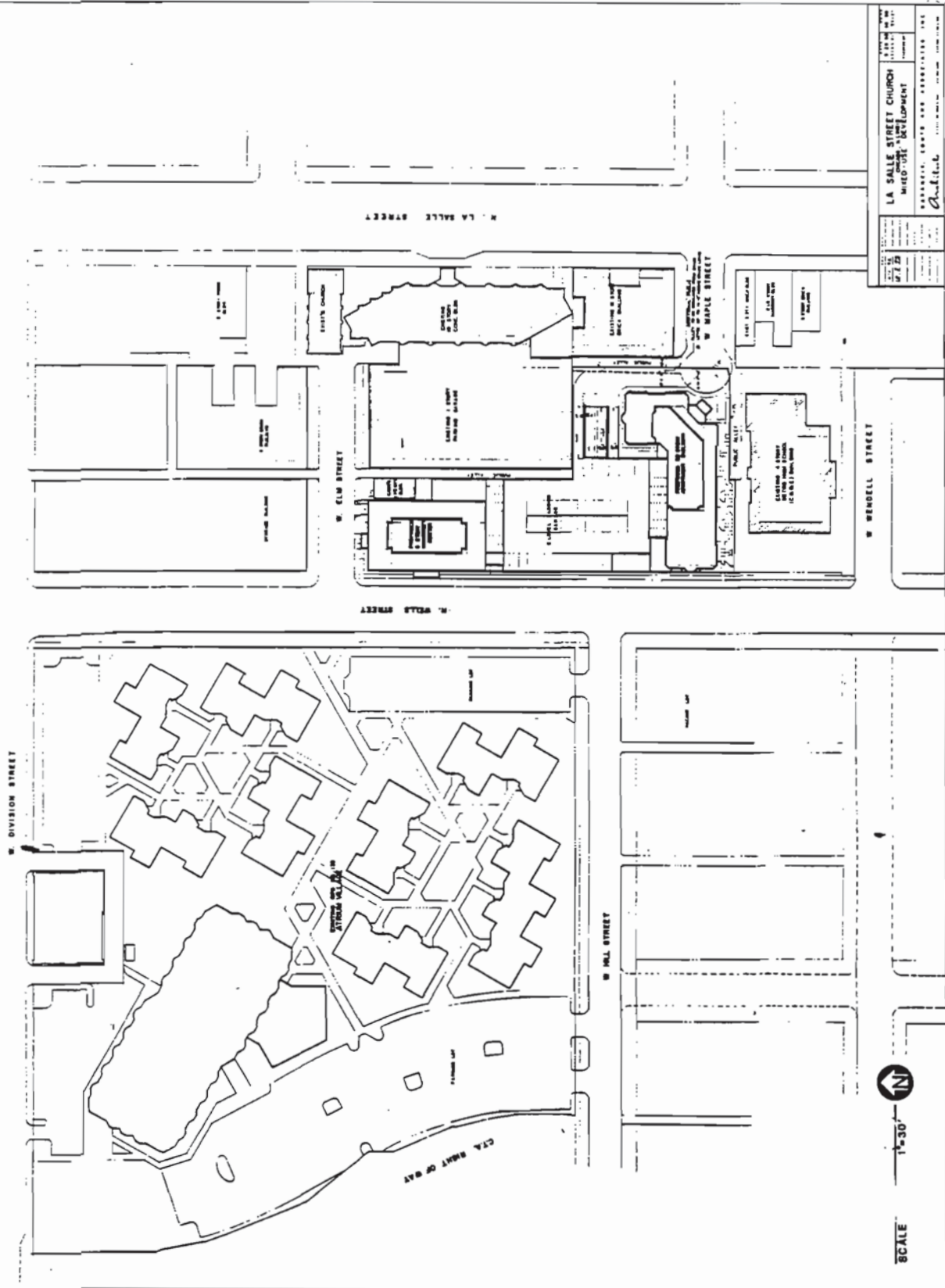


APPLICANT: LASALLE STREET CHURCH
 DATE: July 28, 1992

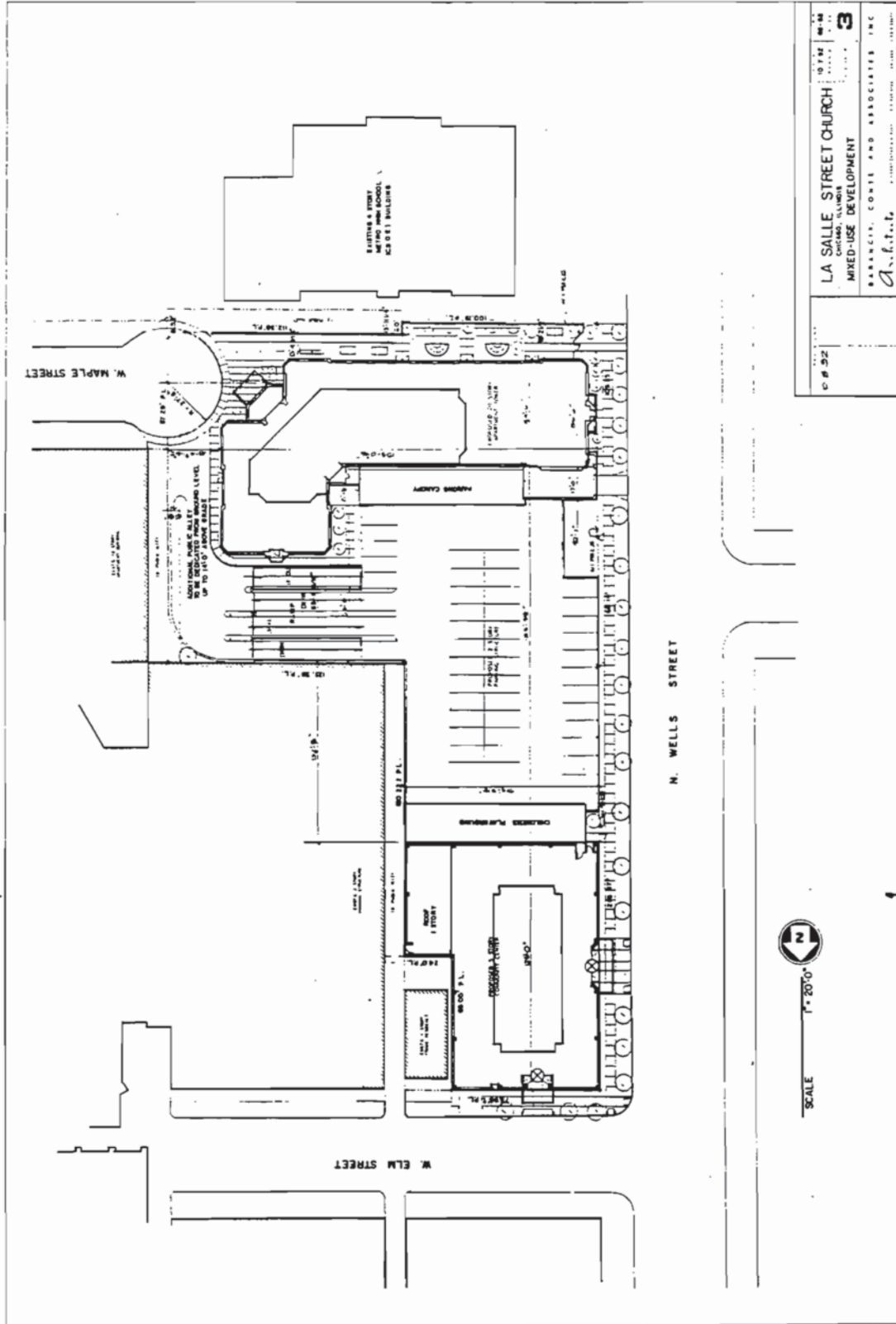
Existing Land Use Plan.



Site Plan.
(Page 1 of 2)



Site Plan.
(Page 2 of 2)



CD # 22	LA SALLE STREET CHURCH CHICAGO, ILLINOIS MIXED-USE DEVELOPMENT	DATE 11/6/92	NO. 3
BARRETT, CORLE AND ASSOCIATES INC A.S.A.C.			

SCALE 1" = 20'-0"

North arrow pointing up.

Building Elevations.
(Page 2 of 2)

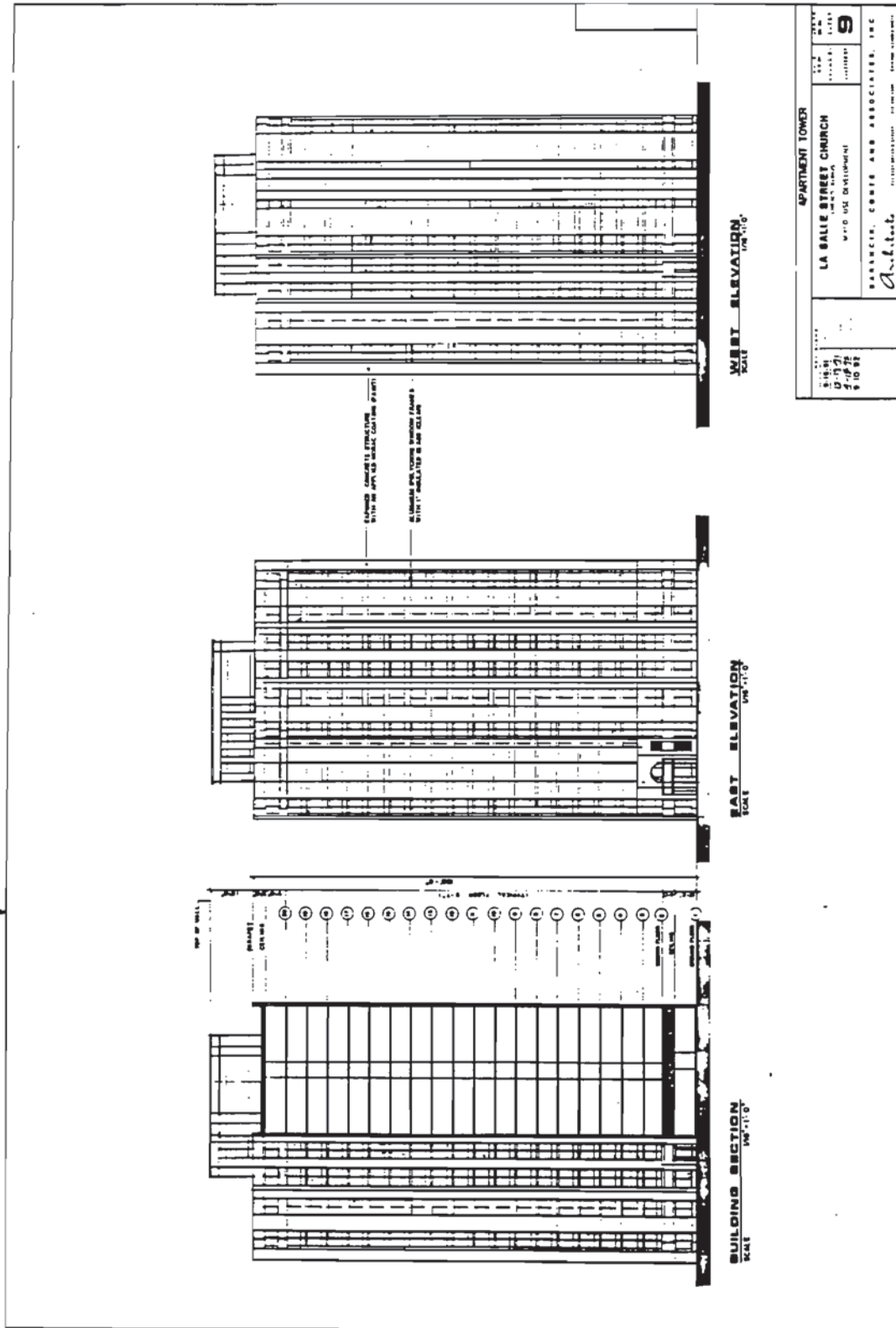


Table of Bulk Regulations
 ATRIUM VILLAGE RPD 136 AS AMENDED

SITE AREA	ACRES	NO OF D.U.'S	F.A.R.	MAX % LANDCOVER	MIN # OF LOADING BERTHS	MIN # OF PARKING	MIN SETBACKS
Sub-Area "A" Atrium Village R4-PUD 316,322.60	7.26	307	1.5	25%	2	266	10'-0" 30'-0" Between Buildings w/Windows
Sub-Area "B" LaSalle Foundation Project R6/C1-4 P.U.D. 57,410.43	1.32	344	4.94	As per Site plan	1 (Tower) 1 (Center)	115	As per site plan
Combined "A" & "B" Sites 373,733.03	8.58	651	2.03	--	4	351	---

APPLICANT: LaSalle Street Church
 ADDRESS: 1100 Block of North Wells St.
 DATE: October 8, 1992

RESIDENTIAL PLANNED DEVELOPMENT

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STATEMENTS

1. The area delineated hereon as "Residential Planned Development" is owned or controlled by the Department of Urban Renewal of the City of Chicago.
2. Off-street parking facilities, shall be provided in compliance with this Plan of Development, subject to the review of the Department of Streets and Sanitation and the approval of the Department of Development and Planning.
3. Off-street loading facilities shall be provided in compliance with this Plan of Development, subject to the review of the Department of Streets and Sanitation and the approval of the Department of Development and Planning.
4. All applicable official reviews, approvals or permits are required to be obtained by the Department of Urban Renewal or its successors upon conveyance of Chicago-Orleans Disposition Parcel R-1.
5. Any dedication or vacation of streets and alleys or easements, or adjustments of right-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Department of Urban Renewal or its successor and approval by the City Council.
6. Any service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles; there shall be no parking within such paved areas. Fire lanes, if required, shall be adequately designed and paved in compliance with the Municipal Code of Chicago and shall have a minimum width of 20 feet to provide ingress and egress for emergency vehicles. There shall be no parking within such paved area.
7. The following uses shall be permitted within the area delineated hereon as "Residential Planned Development": Elevator and walk-up residential units, off-street parking and loading facilities.
8. Identification signs may be permitted within the area delineated hereon as Residential Planned Development, subject to the review and approval of the Commissioner of the Department of Development and Planning.
9. The following information sets forth data concerning the property included in said Planned Development and data concerning a generalized land use plan (site plan) illustrating the development of said property in accordance with the intent and purpose of the Chicago Zoning Ordinance as related to an R-4 General Residence District, and with the regulations hereby made applicable thereto.
10. The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in relation to Planned Development", as adopted by the Commissioner of the Department of Development and Planning.

(continued from page 2435)

SECTION 7. The Municipal Code of Chicago, Chapter 82, Section 82-64, is hereby amended by deleting said section in its entirety, contained in brackets below, and by adding a new Section 82-64, and also by adding a new Section to be numbered 82-64.1, in Italics below, as follows:

[“82-64. When the diameters of downspouts are increased at the roof for a length of at least twice the diameter of the downspout, the following areas in horizontal projection may be drained to them.]

[With Increases.]

[Area of roof in horizontal projection (square feet)]	Diameter of downspout (inches)	Diameter of increaser (inches)
650	2	3
800	2	4
950	2½	3½
1,350	2½	4
1,350	3	3½
2,250	3	4
2,400	4	5
3,800	4	6
3,800	5	6
7,750	5	8
7,750	6	8
10,500	6	9
12,700	6	10]

[The above sizes of downspouts are based on the diameter of circular downspouts and other shapes shall have equivalent cross-sectional area. All downspouts from gravel roofs shall be fitted with gravel basins or equally serviceable devices to screen out loose gravel.]

“82-64. Roof drain heads shall be of cast iron, copper, lead, or aluminum material. All roof areas, except those draining to hanging gutters shall be equipped with roof drain heads having strainers extending not less than four (4) inches above the surface of the roof immediately adjacent to the roof drain. Strainers shall have an available inlet area, above roof level, of not less than one and one-half (1½) times the area of the downspout to which the drain head is connected. Roof drain strainers for use on sun decks, parking decks and similar areas may be of the flat surface type, level with the deck, and shall have an available inlet area not less than one and one-half (1½) times the area of the downspout to which the drain head is connected. A single roof drain head shall not exceed thirteen thousand (13,000) square feet.

“82-64.1. Roof drain heads for controlled flow shall be of cast iron, copper or aluminum material and shall have precalibrated tamper proof weirs and the overflow shall not exceed six (6) inches above the surface of the roof immediately adjacent to the roof drain head. The bottom of the weir shall be flush with the top of the roof. No sump shall be created in the roof surface that

would cause the bottom of the weir to be located below the top most level of the roof surface. A dome strainer shall be provided and securely fastened to the roof head. Gravel guards shall be provided on all gravel roofs.

SECTION 8. This ordinance shall be in full force and effect immediately upon passage.

Chicago Zoning Ordinance Amended to Reclassify Particular Areas.

On motion of Alderman Vrdolyak the City Council took up for consideration the report of the Committee on Buildings and Zoning deferred and published in the Journal of the Proceedings of December 31, 1975, pages 2339-2340, recommending that the City Council pass seven proposed ordinances (under separate committee reports), for amendment of the Chicago Zoning Ordinance to reclassify particular areas.

Alderman Vrdolyak moved to *Concur In* the committee's recommendations and each of the seven proposed ordinances was *Passed*, by yeas and nays as follows:

Yeas—Aldermen Barnett, Kenner, Evans, Lathrop, Sawyer, Wilinski, Cousins, Adduci, Vrdolyak, Bilandic, Kwak, Madrzyk, Burke, Jaksy, Barden, Shannon, Hines, Joyce, Kelley, Stewart, Stemberk, Lipinski, Rhodes, Zydlo, Ray, Washington, Cross, Hagopian, Gabinski, Mell, Laskowski, Aiello, Casey, Cullerton, Gutstein, Natarus, Oberman, Simpson, Cohen, Schuller, Block, Stone—42.

Nays—None.

Said ordinances, as passed, read respectively as follows (the Italic heading in each case not being a part of the ordinance):

Reclassification of Area Shown on Map No. 3-F (As Amended).

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C1-4 Restricted Commercial District and R5 General Residence District symbols and indications as shown on Map No. 3-F in the area bounded by

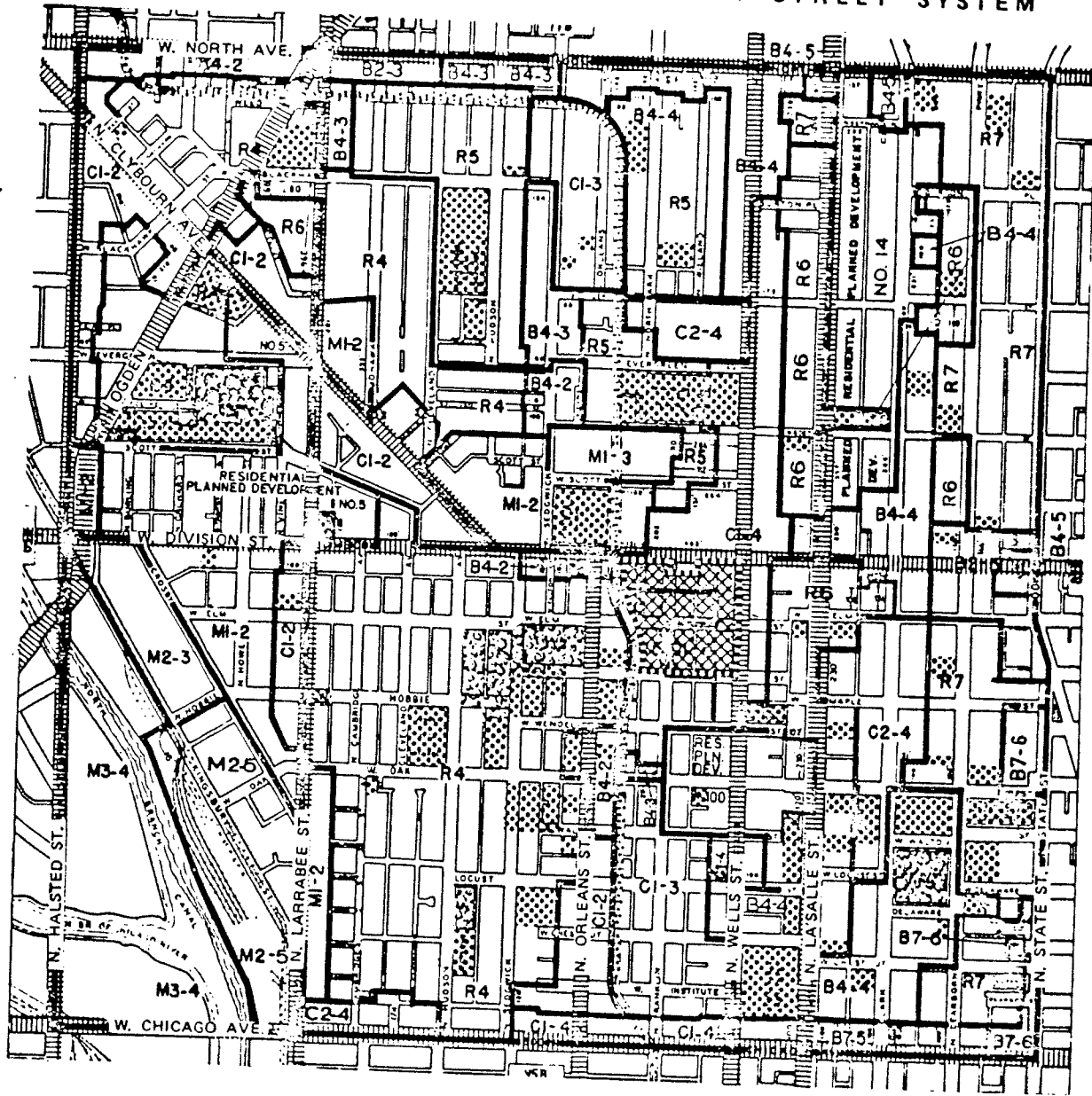
W. Division Street; N. Wells Street; W. Hill Street; the east line of the right of way of the Chicago Transit Authority; W. Division Street; N. Franklin Street; a line 75.32 feet south of W. Division Street and the alley next east of and parallel to N. Franklin Street






to the designation of a Residential Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as set forth in the Plan of Development herewith attached and made a part hereof and to no others.

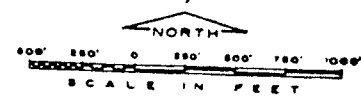
[Plan of Development printed on pages 2438-2442 of this Journal]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

RESIDENTIAL PLANNED DEVELOPMENT EXISTING ZONING AND PREFERRED STREET SYSTEM

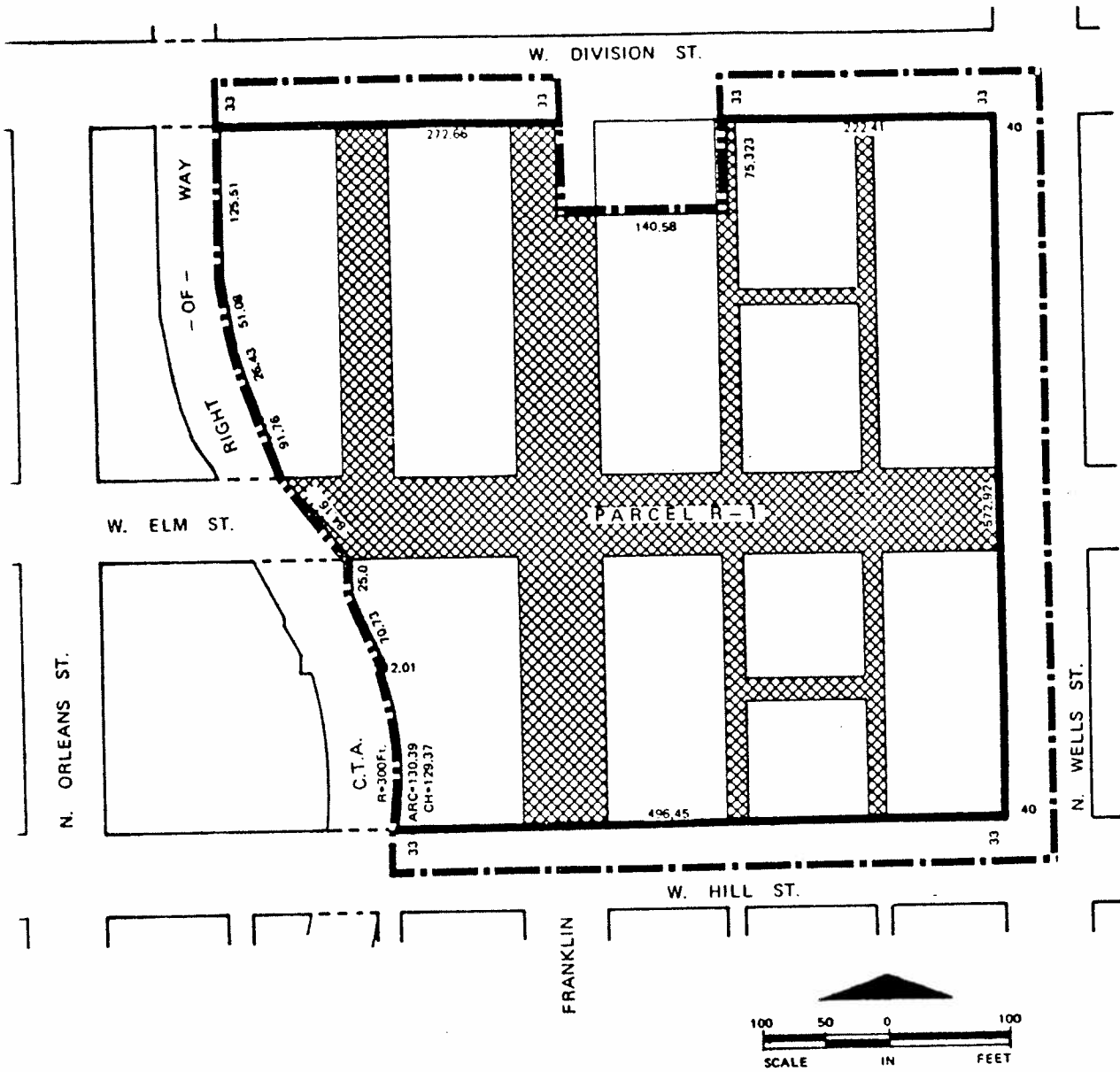


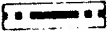
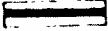

- LEGEND**
-  RESIDENTIAL PLANNED DEVELOPMENT
 -  ZONING DISTRICT BOUNDARY
 -  PARKS AND PLAYGROUNDS
 -  PUBLIC AND QUASI-PUBLIC FACILITIES
 -  PREFERRED STREETS



APPLICANT: DEPARTMENT OF URBAN RENEWAL CITY OF CHICAGO
 DATE: SEPTEMBER 29, 1975

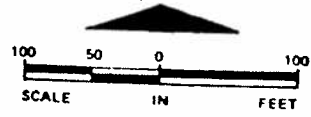
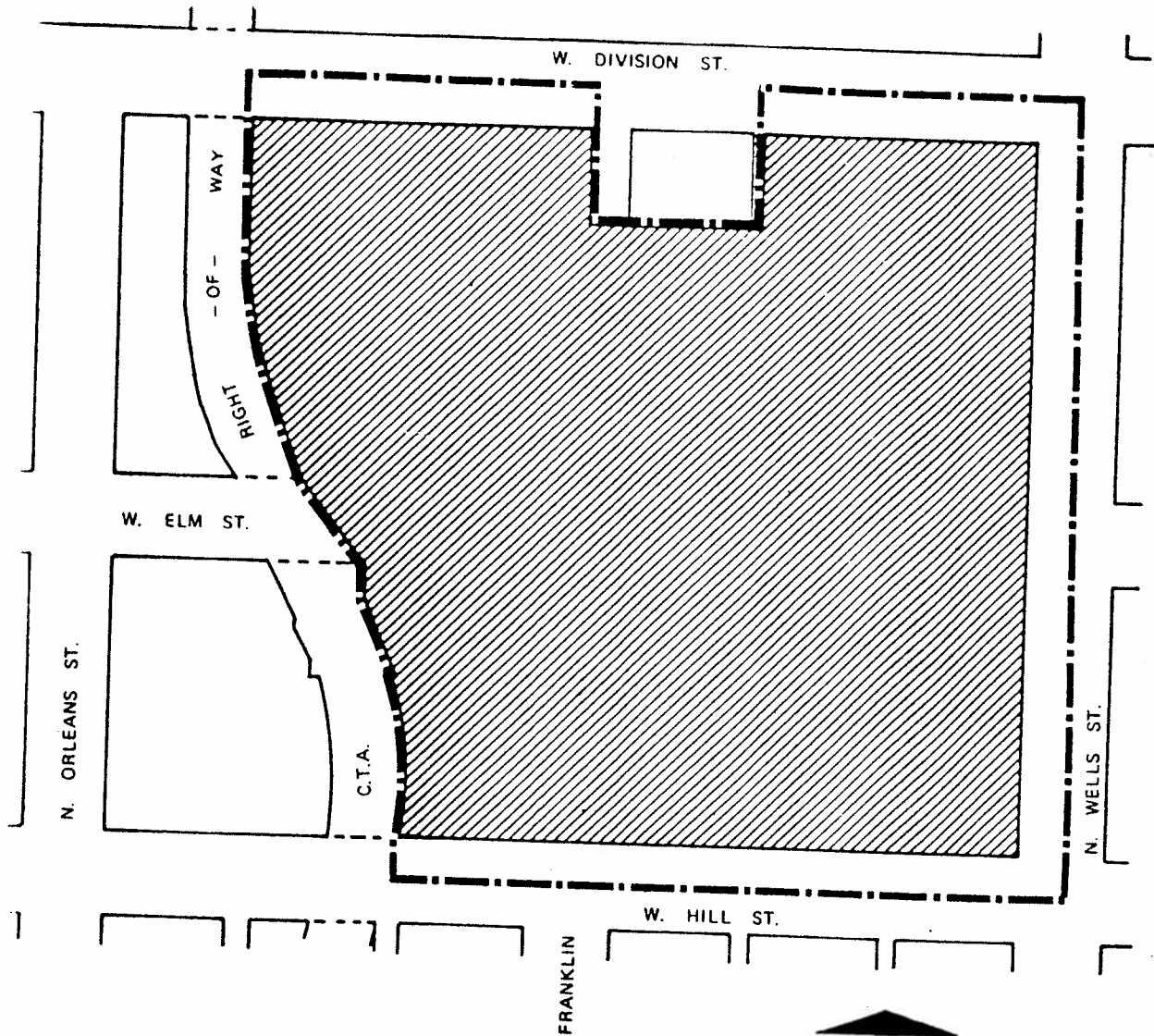
RESIDENTIAL PLANNED DEVELOPMENT
PROPERTY LINE MAP AND RIGHT-OF-WAY ADJUSTMENTS



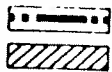
- LEGEND
-  RESIDENTIAL PLANNED DEVELOPMENT BOUNDARY
 -  CHICAGO ORLEANS DISPOSITION PARCEL R-1
 -  STREETS AND ALLEYS TO BE VACATED

APPLICANT: DEPARTMENT OF URBAN RENEWAL CITY OF CHICAGO
 DATE: SEPTEMBER 29, 1975

RESIDENTIAL PLANNED DEVELOPMENT
GENERALIZED LAND USE PLAN



LEGEND



RESIDENTIAL PLANNED DEVELOPMENT BOUNDARY

ELEVATOR AND WALK UP APARTMENT BUILDINGS,
PRIVATE RECREATIONAL AREAS, WALKWAYS,
OFF STREET PARKING AND LOADING

APPLICANT: DEPARTMENT OF URBAN RENEWAL CITY OF CHICAGO

DATE: SEPTEMBER 29, 1975

RESIDENTIAL PLANNED DEVELOPMENT
 PLANNED DEVELOPMENT USE & BULK REGULATIONS & DATA

NET SITE AREA		GENERAL DESCRIPTION OF LAND USE	NUMBER OF DWELLING UNITS	MAXIMUM FLOOR AREA RATIO	MAXIMUM PERCENTAGE OF LAND COVERED
SQUARE FEET	ACRES				
316,322.60	7.26	ELEVATOR & WALKUP RESIDENTIAL UNITS. OFF-STREET PARKING & LOADING FACILITIES AND RELATED PRIVATE RECREATION AREAS	307	1.5	25

GROSS SITE AREA = NET SITE AREA + AREA OF PUBLIC STREETS AND ALLEYS

374,599.56 = 316,322.6 + 58,276.96

MAXIMUM PERMITTED F.A.R. FOR TOTAL NET SITE AREA: 1.5

MAXIMUM NUMBER OF DWELLING UNITS PER ACRE OF TOTAL NET SITE AREA: 45

MINIMUM NUMBER OF OFF-STREET PARKING SPACES:	100% for Walkup	102	Spaces
	80% for Elevator	164	Spaces
	TOTAL	266	Spaces

MINIMUM NUMBER OF OFF-STREET LOADING SPACES: 2 SPACES

MINIMUM SETBACKS:
 ALL BOUNDARIES 10'
 BETWEEN FACING BUILDINGS 30'
 WALLS WITH WINDOWS

MAXIMUM PERCENT OF LAND COVERED: 25%

SETBACK AND YARD REQUIREMENTS MAY BE ADJUSTED WHERE REQUIRED TO PERMIT CONFORMANCE TO THE PATTERN OF, OR ARCHITECTURAL ARRANGEMENT RELATED TO, EXISTING STRUCTURES, OR WHERE NECESSARY BECAUSE OF TECHNICAL REASONS, SUBJECT TO THE APPROVAL OF THE DEPARTMENT OF DEVELOPMENT AND PLANNING.

APPLICANT: DEPARTMENT OF URBAN RENEWAL OF THE CITY OF CHICAGO

DATE: SEPTEMBER 29, 1975