

PD 1340

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 31, 2018

Jeff Woll
Antunovich Associates
224 W. Huron St., Suite 7A
Chicago, IL 60654

**Re: Administrative Relief request for Planned Development No. 1340
Front yard screening at 450 W. Belmont Ave.**

Dear Mr. Woll:


Please be advised that your request for a minor change to Residential Planned Development No. 1340 ("PD 1340"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of PD 1340.

Your client and the owner of all of the property within PD 1340, CA Residential 450 W Belmont LLC, is seeking administrative relief to allow for a 7 foot tall brick and wood fence to screen ComEd pad mounted electrical equipment in the front yard of 450 W. Belmont Ave., and as shown on the attached exhibits. Due to site constraints, and as outlined in your request, there is no other possible or practical location for the ComEd equipment other than in the front yard. ComEd practices do not allow for the equipment to be placed within a structure or below grade. Since the equipment measures between 4 to 6 feet in height, a substantial screening device layered with additional landscaping is appropriate.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed screening will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1340, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,


Patricia A. Scudiero
Zoning Administrator

C: Mike Marmo, Erik Glass, Noah Szafraniec, Main file

N. PINE GROVE AVE.

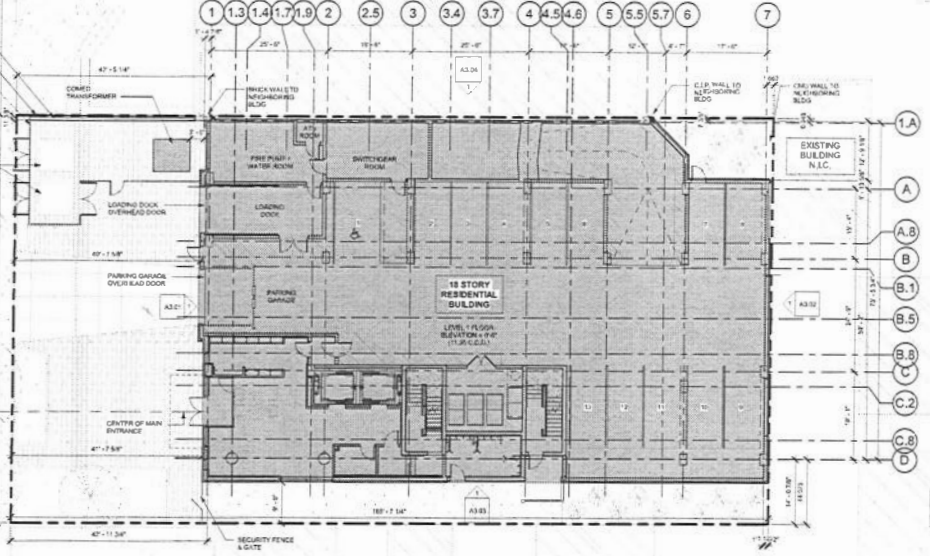
CHICAGO WATER
FIRE HYDRANT

W. BELMONT AVE.

EXISTING
BUILDING N.I.C.

EXISTING
BUILDING N.I.C.

EXISTING
BUILDING
N.I.C.



1 1.3 1.4 1.7 1.9 2 2.5 3 3.4 3.7 4 4.5 4.6 5 5.5 5.7 6 7

1.A
A
A.B
B
B.1
B.5
C
C.2
C.8
D

EXISTING
BUILDING N.I.C.

EXISTING
BUILDING
N.I.C.

EXISTING
BUILDING N.I.C.

EXISTING
BUILDING
N.I.C.

CHICAGO WATER
FIRE HYDRANT



NOTE:
ARCHITECTURAL ELEVATION @ 1/4\"/>

FOR APPROVAL STAMP

EXHIBIT 1

- 1. 10' 0" 1/2" BUILD FOR WALL REVIEW
- 2. 10' 0" 1/2" BUILD FOR FOUNDATION AND SUPERSTRUCTURE PERMITS
- 3. 10' 0" 1/2" BUILD FOR WALL REVIEW
- 4. 10' 0" 1/2" BUILD FOR WALL REVIEW
- 5. 10' 0" 1/2" BUILD FOR WALL REVIEW
- 6. 10' 0" 1/2" BUILD FOR WALL REVIEW
- 7. 10' 0" 1/2" BUILD FOR WALL REVIEW

Submissions & Revisions

Owner
CA RESIDENTIAL
137 W. BELMONT ST. #700
CHICAGO, IL 60611
312-467-0341

Architect / Interior Designer
ANTUNOVICH ASSOCIATES
204 West Huron Street, Suite 700
Chicago, Illinois 60610
Main: (312) 286-1129
Fax: (312) 286-2125
www.antunovich.com

Structural Engineer
DCI Engineers
101 S. Dearborn Street, Suite 200
Aurora, IL 60111
T: 312-224-7000

Mechanical Engineer
AMS Mechanical Systems, Inc.
6041 Arden Court, Piquette
Warren, IL 60097
(815) 882-7700
(815) 887-0770

Plumbing Engineer
Warren Thomas Plumbing
35 89th St. #2
Morton, IL 61550
(815) 439-6349

Electrical Engineer
Harsen Palmer Associates, Inc.
617 West Main Street
Wood Dale, IL 60191
(815) 524-8111
(815) 524-8200

Fire Protection Engineer
United States Alliance Fire
Protection, Inc.
7847 North Robert Drive
Lisle, Illinois, IL 60532
(815) 816-0292

Civil Engineer
Erickson Engineering Assoc.,
136 S. Dearborn Street, Suite 100
Chicago, IL 60611
T: 312-224-7000

Landscape Architect
Jacobus/Ryan Associates
1021 N. LaSalle Street
Chicago, IL 60610
T: 312-986-2171

General Contractor
CA Design Build LLC
137 W. Belmont St. #700
CHICAGO, IL 60611
T: 312-467-0341

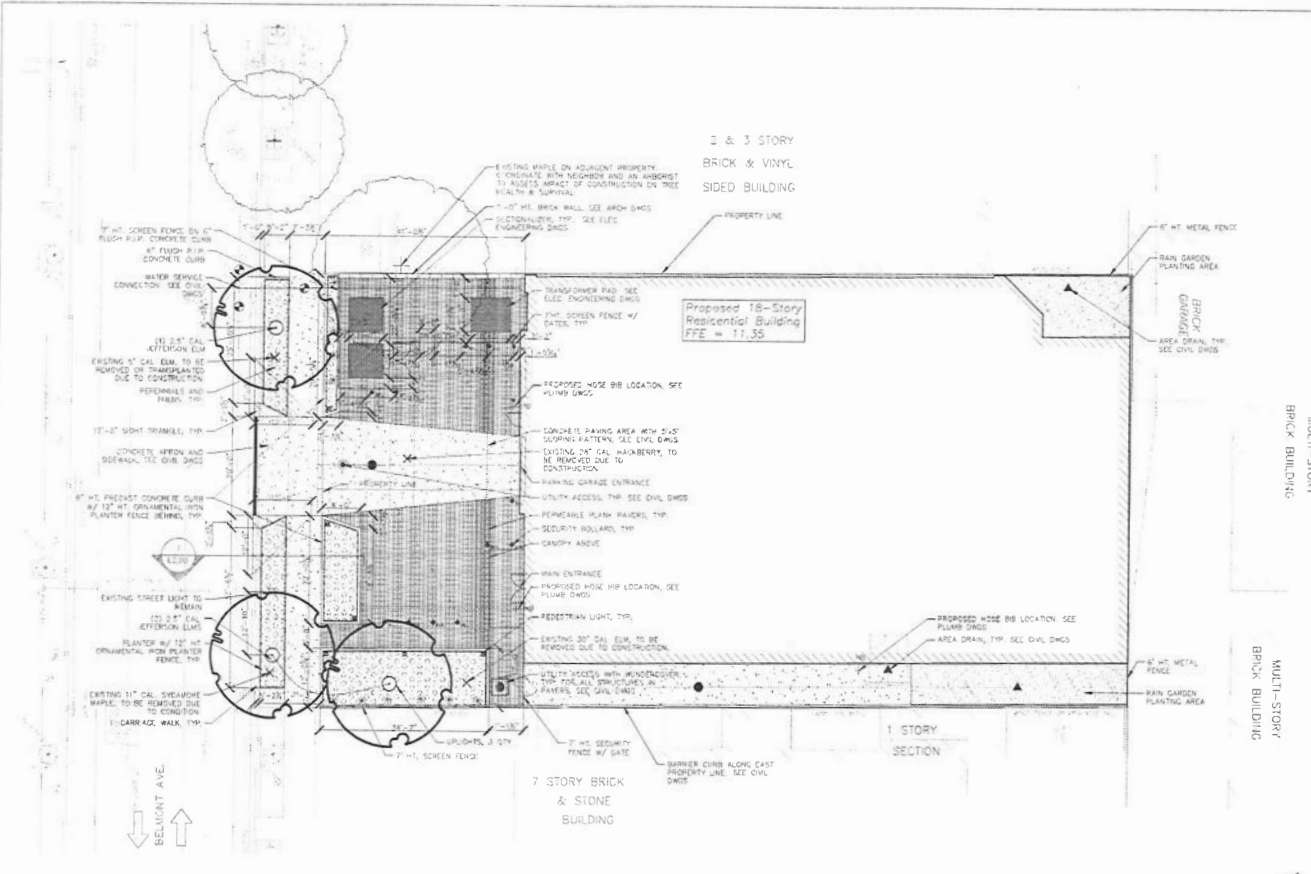
Owner's Representative
LandChase
20 S. Wacker Dr. Suite 2400
Chicago, IL 60606
(312) 345-1000

Project Location
450 W. BELMONT
CHICAGO, IL

Drawing Title
SITE PLAN

Scale
1/8" = 1'-0"

Drawing No.
A1.01



- NOTES**
1. ALL NEWLY INSTALLED LANDSCAPE AREAS SHALL BE WATERED BY THE CONTRACTOR UNTIL SUBSTANTIAL COMPLETION INSPECTION.
 2. FOR NEW STREETSCAPE LIGHTING SELECTION AND PLACEMENT, REFER TO ELECTRICAL DRAWINGS.
 3. WHERE DISCREPANCY BETWEEN SITE DIMENSIONS ON LANDSCAPE DRAWINGS AND ARCHITECTURAL DRAWINGS EXISTS, DIMENSIONS ON ARCHITECTURAL DRAWINGS SHALL BE USED.
 4. PLANTING CROWNAGE TO BE RELOCATED AT DIRECTION OF THE CITY OF CHICAGO, IF NECESSARY.
 5. PROVIDE ALL SHADE TREES AS PRE-TAGGED, SPECIMEN QUALITY, WELL MATCHED, WELL SHAPED, LIMBED UP 7'-0" MIN. ABOVE GROUND UNLESS NOTED OTHERWISE ON DRAWINGS. SEE PLANTING NOTES AND PLANT LIST.
 6. PAVING SELECTIONS: PERMEABLE ECO-PROMENADE PLANK PAVERS BY UNLOCK CONTACT: BRAD SWANSON (630-763-6168) BRAD.SWANSON@UNLOCK.COM. SEE DETAIL SHEETS.
 7. PRECAST CONCRETE CURB TO BE ROCKCURB BY HANDOVER ARCHITECTURAL PRODUCTS.
 8. LOCATE TREES IN THE R.O.M. NO CLOSER THAN 3'-0" TO PROPOSED AND EXISTING UTILITIES TO REMAIN. CONTACT KINSMAN PEARSON PE (312-824-4466) KINSMAN.PEARSON@KINSMANPEARSON.COM.
 9. SEE CIVL DWG# FOR LOCATIONS OF ALL NEW UTILITIES AND UTILITIES TO REMAIN.
 10. LANDSCAPE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMIT FEES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK TO COMPLY WITH ALL APPLICABLE CODES.

- LEGEND**
- X EXISTING SHADE TREE TO BE REMOVED. SEE L0.01
 - PROPOSED SHADE TREE
 - EXISTING SHADE TREE ON NEIGHBOR'S PROPERTY - FRAME AT DIRECTION OF ARBORIST, SEE L0.01
 - PROPERTY LINE
 - EXISTING LIGHT POLE
 - PROPOSED BOLLARD
 - PROPOSED PEDESTRIAN LIGHT
 - ▭ RAIN GARDEN PLANTING
 - ▨ SHRUBS, PERENNIALS AND BULBS
 - ▩ PROPOSED ORNAMENTAL METAL PLANTER FENCE AND PRECAST CURB
 - ▧ PROPOSED 7" SCREEN FENCE AND FLUSH SQUARED-IN-PLACE CURB
 - ▦ PROPOSED 6" METAL FENCE
 - ▨ PERMEABLE PLANK PAVERS
 - FROST PROOF HOSE BS



1 LANDSCAPE LAYOUT PLAN
SCALE: 1" = 10'-0"

"The undersigned acknowledges that the landscape planting plan shown on the attached landscape plan for the property at 450 West Belmont Ave in Chicago, Illinois 60657 has been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance. Estimated planting time: June 2019."

Property Owner's Signature _____ Date _____
 "Existing public parkway trees are to be protected while project is under construction and will be replaced by current and subsequent owner if damaged."
 Property Owner's Signature _____ Date _____

"The undersigned landscape architect, registered in the State of Illinois, acknowledges that the landscape planting plan and construction details shown on the attached landscape plan for the property at 450 West Belmont Ave in Chicago, Illinois 60657 has been designed in accordance with the requirements of Title 10, Chapter 32 of the Chicago Municipal Code, the landscaping standards of the Chicago Zoning Ordinance, and the Guide to the Chicago Landscape Ordinance. Estimated planting time: June 2019."

[Signature]
 Bernard Jacoby
 IL Landscape Architect 157-000875
 License expires August 31, 2019
 05/04/2018
 Date

| 450 WEST BELMONT AVENUE/ CITY OF CHICAGO LANDSCAPE REQUIREMENTS | REQUIRED TREES | EXISTING TREES | PROPOSED TREES | NOTES |
|---|----------------|----------------|----------------|---|
| STREET TREES (1 TREE/25 LF IN PARKWAY) WEST BELMONT AVENUE | 4 | 0 | 3* | *PROPOSED TREES ARE LCCS SHOWN. REQUIRED TREES ON SITE DUE TO BUILDING ACCESS DRWT. |
| TOTAL TREES REQUIRED ON SITE | 4 | 0 | 3 | |

DESIGN APPROVAL STAMP

EXHIBIT 2

DATE OF ISSUE FOR BUILDING PERMIT
 DATE OF ISSUE FOR FINISHED WORKS
 DATE OF ISSUE FOR CONSTRUCTION AND INSPECTION
 DATE OF ISSUE FOR DESIGN DEVELOPMENT
 DATE OF ISSUE FOR THE PROVISIONS AND SUBMITTALS AND REVIEWS

Owner
 CA RESIDENTIAL
 130 E. RANDOLPH ST. #208
 CHICAGO, IL 60601
 T: 312-660-0381

Approved Project Designer
ANTUNOVICH ASSOCIATES
 724 West Huron Street, Suite 70
 Chicago, Illinois 60610
 Main: 312.786.1276
 Fax: 312.786.7123
 www.anta.com

DCI Engineers
 106 E. 9th Street, Suite 208
 Ames, IA 50010
 T: 515-242-9787

M.E.P. & P. Engineers
Diligant Design Group
 101 S. LaSalle Street
 Chicago, IL 60601
 T: 312-467-0700

LEED Register
Erkason Engineering Assoc.
 130 E. Randolph Street, Suite 138
 Chicago, IL 60601
 T: 877-733-0800

Landscape Architect
Jacoba/Ryan Associates
 101 S. LaSalle Street
 Chicago, IL 60601
 T: 312-467-0700

General Contractor
CA Design Build LLC
 130 E. Randolph Street, Suite 208
 Chicago, IL 60601
 T: 312-660-0381

Project Location
450 W. BELMONT
 CHICAGO, IL

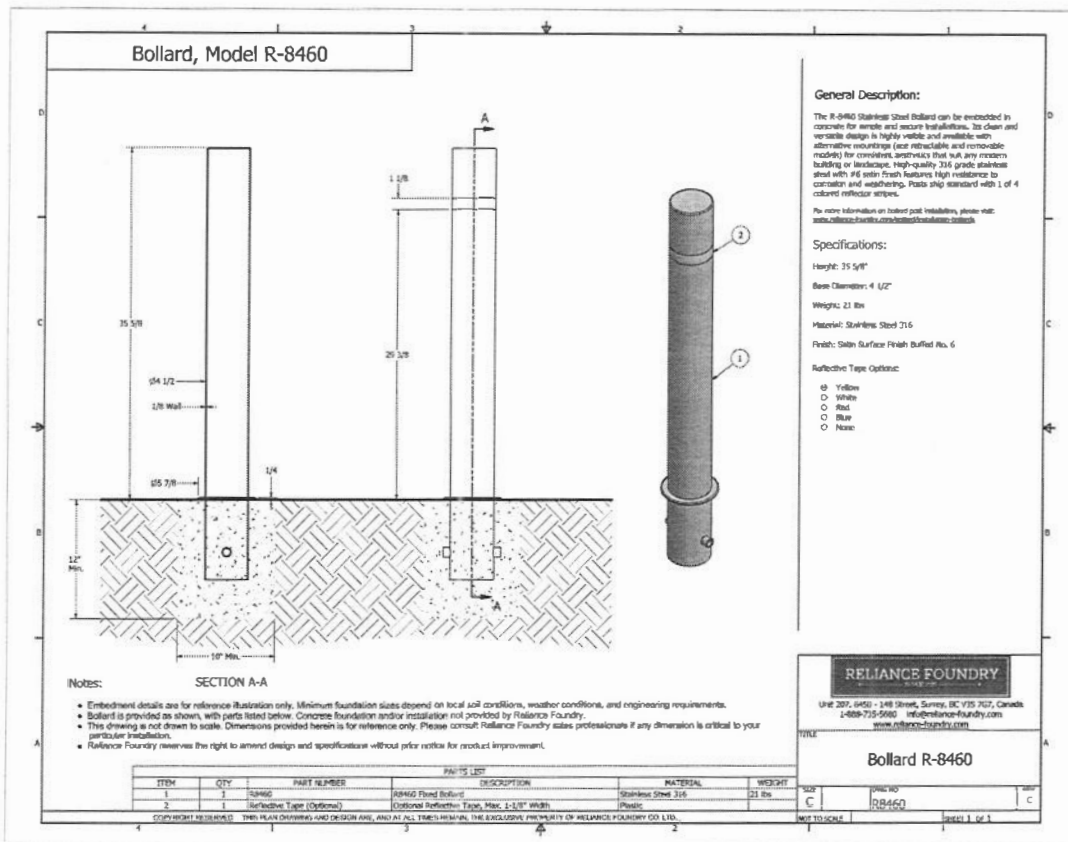
Drawing Title
LANDSCAPE LAYOUT PLAN

DATE OF ISSUE

 DATE OF ISSUE
L1.00

BOLLARD NOTES:

1. R-8460 STAINLESS STEEL BOLLARD BY RELIANCE FOUNDRY, CONTACT: INT: 507, 8453 - 148TH STREET/WHERRY, BRITISH COLUMBIA, CANADA V3S 7G7 (877) 785-3245 INFO@RELIANCE-FOUNDRY.COM
2. BOLLARD CAN OPTIONALLY BE SPECIFIED AS RETRACTABLE OR REMOVABLE.
3. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



General Description:

The R-8460 Stainless Steel Bollard can be embedded in concrete for secure and permanent installations. Its clean and simple design is highly visible and available with alternative mounting (not retractable and removable models) for complete simplicity that suit any modern building or landscape. High-quality 316 grade stainless steel with #6 satin finish features high resistance to corrosion and weathering. Posts ship standard with 1 of 4 colored reflective tapes.

For more information on bollard post installation, please visit: www.reliance-foundry.com/bollards/installation

Specifications:

Height: 35 3/8"
Base Diameter: 4 1/2"
Weight: 22 lbs
Material: Stainless Steel 316
Finish: Satin Surface Finish Buffed No. 6

Reflective Tape Options:

- Yellow
- White
- Red
- Blue
- None

RELIANCE FOUNDRY
148TH STREET, SURREY, BC V3S 7G7, CANADA
1-800-735-5080 info@reliance-foundry.com
www.reliance-foundry.com

Bollard R-8460



TREE UPLIGHTS, MODEL 5111 BY WAC LANDSCAPE LIGHTING

SECURITY BOLLARD, MODEL R-8460 BY RELIANCE FOUNDRY

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|----------|--|
| 1 | 05/24/18 | ISSUE FOR BUILDING PERMIT |
| 2 | 07/26/18 | ISSUE FOR PERMITS REVISIONS |
| 3 | 07/26/18 | ISSUE FOR PERMITS REVISIONS |
| 4 | 07/26/18 | ISSUE FOR FOUNDATION AND SUBSTRUCTURE PERMIT |
| 5 | 08/27/17 | ISSUE FOR DECISION |
| 6 | 08/27/17 | ISSUE FOR DECISION |
| 7 | 08/27/17 | ISSUE FOR DECISION |
| 8 | 08/27/17 | ISSUE FOR DECISION |
| 9 | 08/27/17 | ISSUE FOR DECISION |
| 10 | 08/27/17 | ISSUE FOR DECISION |
| 11 | 08/27/17 | ISSUE FOR DECISION |
| 12 | 08/27/17 | ISSUE FOR DECISION |
| 13 | 08/27/17 | ISSUE FOR DECISION |
| 14 | 08/27/17 | ISSUE FOR DECISION |
| 15 | 08/27/17 | ISSUE FOR DECISION |
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| 30 | 08/27/17 | ISSUE FOR DECISION |
| 31 | 08/27/17 | ISSUE FOR DECISION |
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| 47 | 08/27/17 | ISSUE FOR DECISION |
| 48 | 08/27/17 | ISSUE FOR DECISION |
| 49 | 08/27/17 | ISSUE FOR DECISION |
| 50 | 08/27/17 | ISSUE FOR DECISION |

CA RESIDENTIAL
150 E. BROADWAY, SUITE 2100
CHICAGO, IL 60601
T: 312-462-0381

ANTUNOVICH ASSOCIATES
250 West Huron Street, Suite 70
Chicago, Illinois 60601
Phone: 312.296.1700
Fax: 312.296.1702
www.antunovich.com

DCI Engineers
10 E. 9th Street, Suite 200
Aurora, IL 60011
1.514.727.9777

MEP, E.P.E. Engineers
Diligant Design Group
125 E. Lincoln Street
Chicago, IL 60604
T: 312.462.4700

Erkason Engineering Assoc.
135 E. Jefferson Street, Suite 130
Chicago, IL 60601
T: 312.462.4700

Jacob Ryan Associates
137 E. Superior Street
Chicago, IL 60601
T: 312.462.4700

CA Design Build LLC
150 E. Madison Street, Suite 2100
CHICAGO, IL 60601
T: 312.462.0381

Project Location: **450 W. BELMONT CHICAGO IL**

Site Details: **SITE DETAILS**

REVISIONS:
DATE: []
BY: []
CHECKED BY: []
APPROVED BY: []

Project No: **L2.02**

Reclassification Of Area Shown On Map No. 9-F.
(As Amended)
(Application No. 18689)
(Common Address: 450 -- 454 W. Belmont Ave.)

RPD 1340

[SO2016-1614]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RM6.5 Residential Multi-Unit District symbols and indications as shown on Map Number 9-F in the area bounded by:

a line 165 feet north of and parallel to West Belmont Avenue; a line 475 feet west of and parallel to North Sheridan Road; West Belmont Avenue; and a line 563.5 feet west of and parallel to North Sheridan Road.

SECTION 2. To those of a Residential Planned Development and a corresponding use district is hereby established in the area herein above described.

SECTION 3. This ordinance takes effect after its passage and due publication.

Plan of Development Statements attached to this ordinance read as follows:

Residential Planned Development No. 1340

Planned Development Statements.

1. The area delineated herein as Residential Planned Development Number 1340 ("Planned Development") consists of approximately 14,602 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by the applicant, 450 Belmont Properties LLC.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated

control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.

3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of 15 Statements; a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line Map; Site Plan and Ground Floor Plan; Landscape Plan and Green Roof Plan; Building Elevations (North, South, East and West) prepared by Antunovich Associates and dated August 18, 2016, submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.
5. The following uses are allowed in the area delineated herein as a Planned Development: multi-family dwelling units, accessory parking and accessory uses.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.

7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio (FAR) for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 14,602 square feet.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
11. The applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors.
13. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs, conserves energy and maximizes the preservation of natural resources. At the time of a hearing before the Chicago Plan Commission, all developments must be in substantial compliance with the current

City of Chicago Sustainable Development Policy set forth by the Department of Planning and Development. The applicant shall provide a green roof representing 50 percent of the net area of the roof, or 2,500 square feet. The applicant shall also obtain building certification consistent with the requirements of the Sustainable Development Policy.

- 15. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to RM6.5.

[Existing Zoning Map; Boundary and Property Line Map; Existing Land-Use Map; Site Plan/Ground Floor Plan; Landscape Plan/Green Roof Plan; and North, South, East and West Building Elevations referred to in these Plan of Development Statements printed on pages 32237 through 32245 of this *Journal*.]

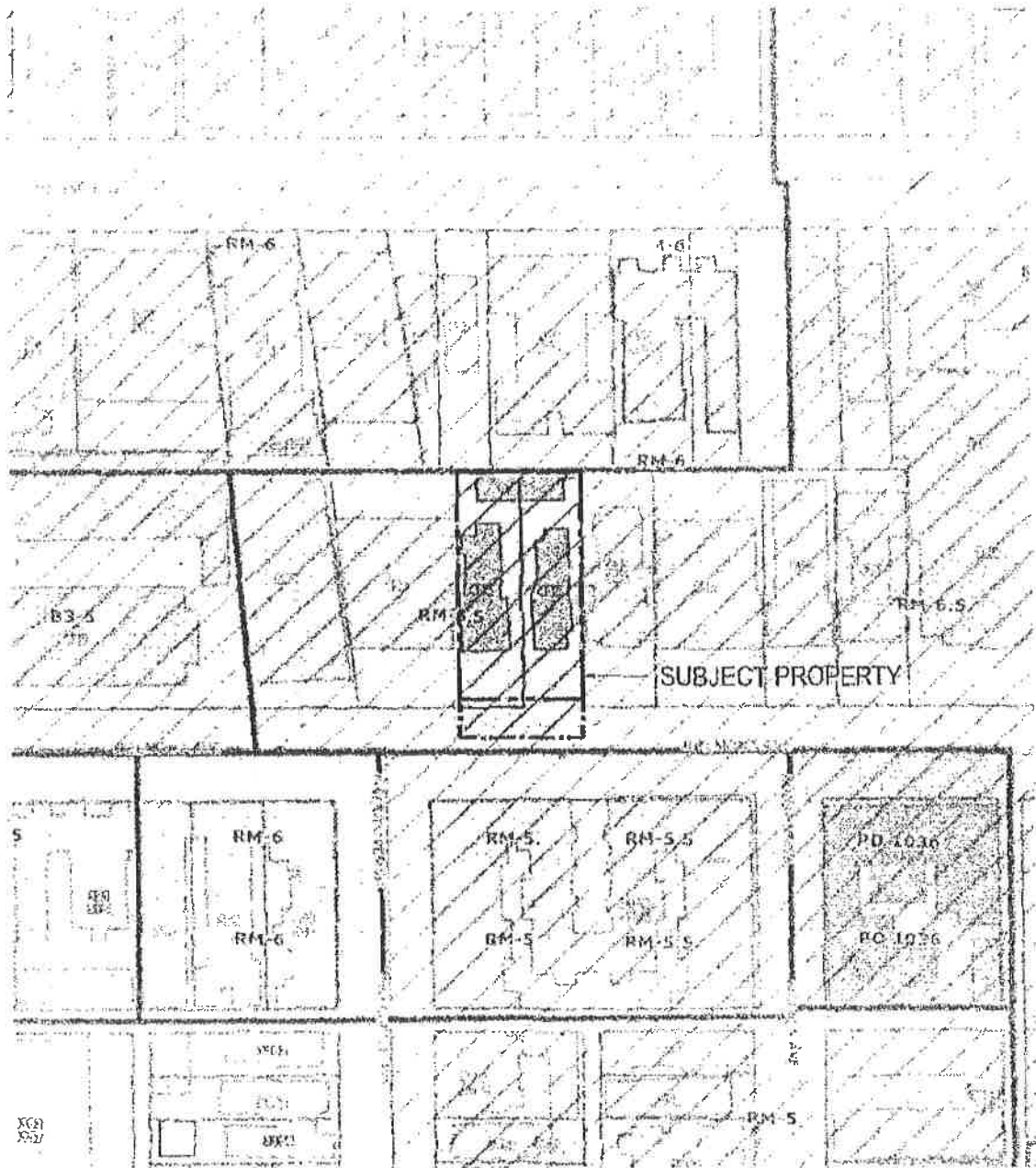
Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Residential Planned Development No. 1340

Bulk Regulations And Data Table.

| | |
|--|--------------------|
| Gross Site Area: | 17,523 square feet |
| Net Site Area: | 14,602 square feet |
| Maximum Floor Area Ratio: | 6.6 |
| Maximum Number Of Dwelling Units: | 80 |
| Minimum Automobile Parking: | 48 |
| Minimum Bicycle Parking: | 80 |
| Minimum Number of Off-Street Loading Berths: | 1 (10 by 25) |
| Maximum Building Height: | 179 feet, 0 inches |
| Minimum Building Setbacks: | Per Site Plan |

FINAL FOR PUBLICATION



NOTE: DIAGONAL HATCH INDICATES "PRIVATE LAKEFRONT" AREAS

--- PROPERTY LINE (PL) BOUNDARY
--- PLANNED DEVELOPMENT (PD) BOUNDARY

Planned Development Exhibits

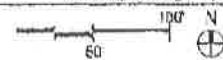
Applicant: 450 Belmont Properties, LLC

Address: 450-454 W. Belmont Ave.

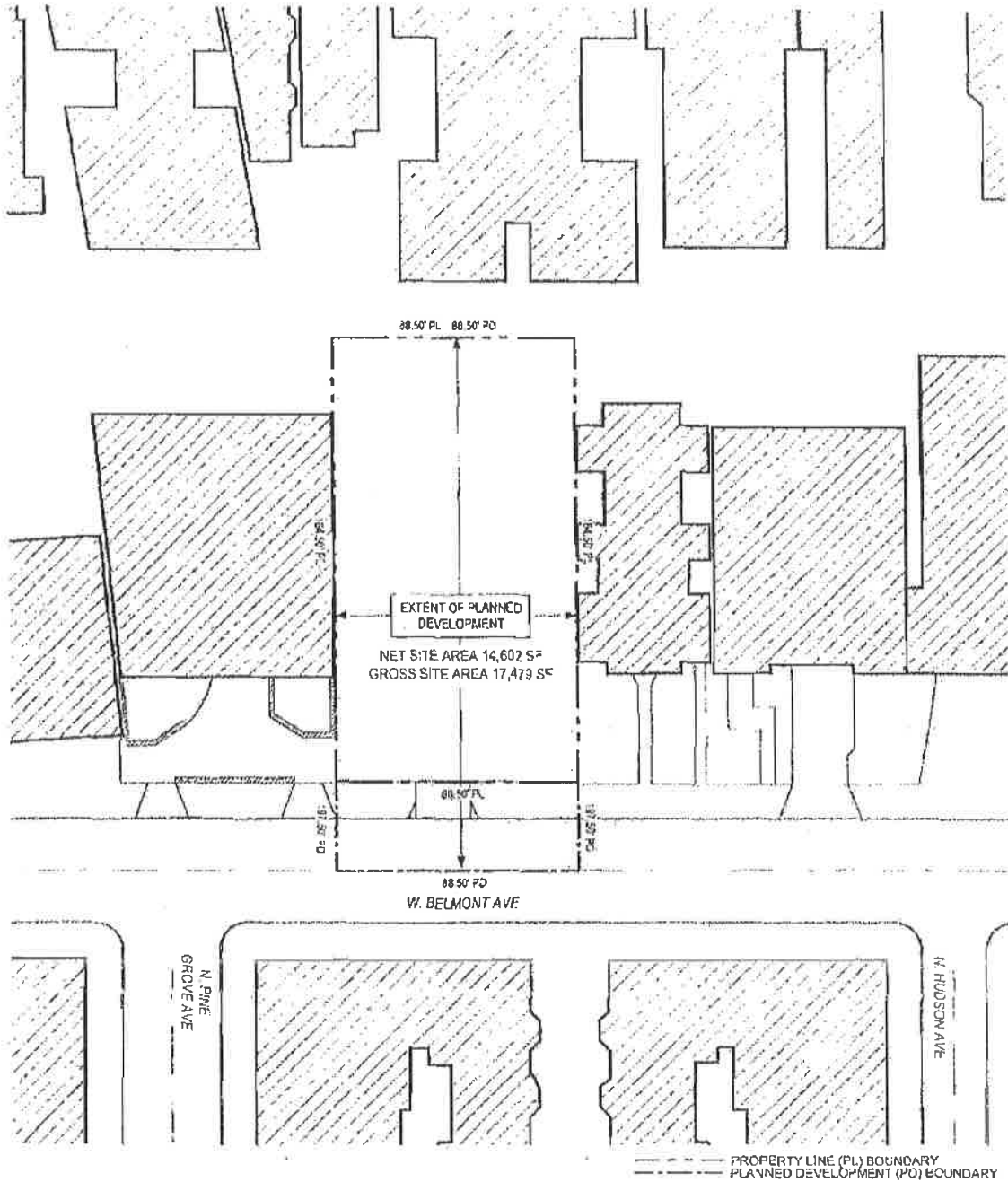
Introduced: March 16, 2016

Plan Commission: August 18, 2016

Existing Zoning Map



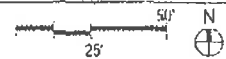
FINAL FOR PUBLICATION



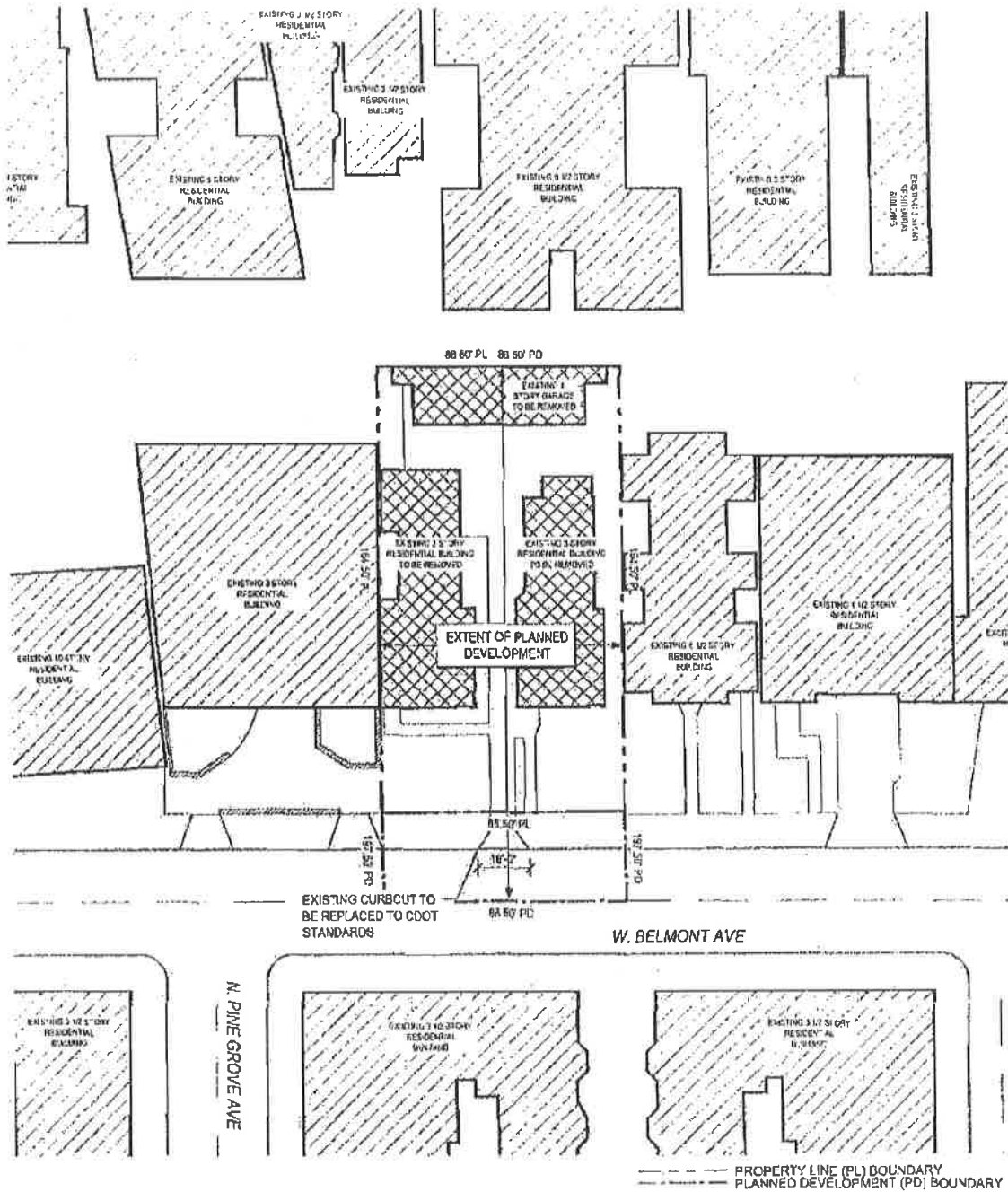
Planned Development Exhibits

Applicant: 450 Belmont Properties, LLC
 Address: 450-454 W. Belmont Ave.
 Introduced: March 16, 2016
 Plan Commission: August 18, 2016

PLANNED DEVELOPMENT BOUNDARY AND PROPERTY LINE MAP



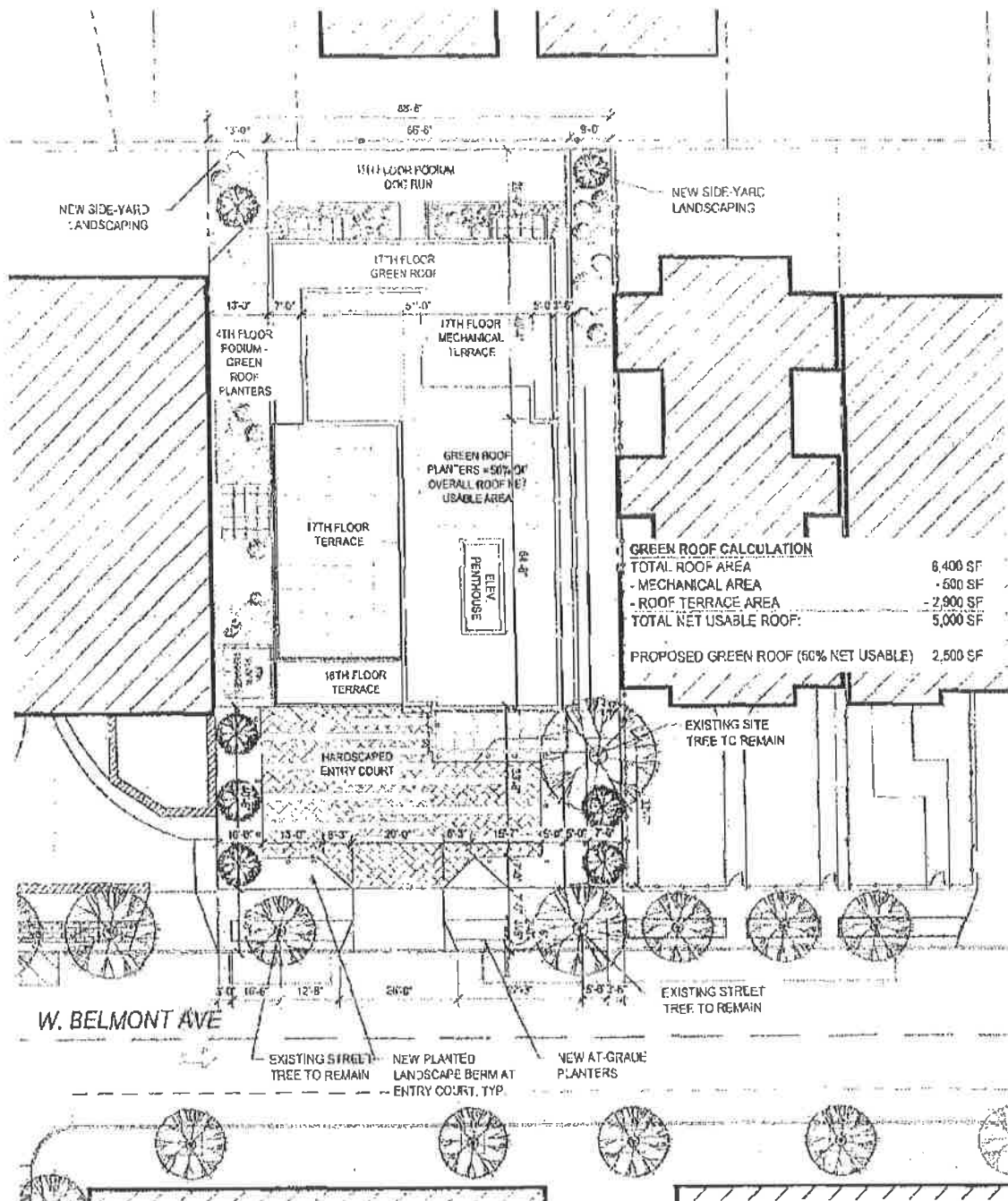
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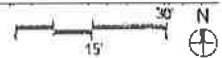
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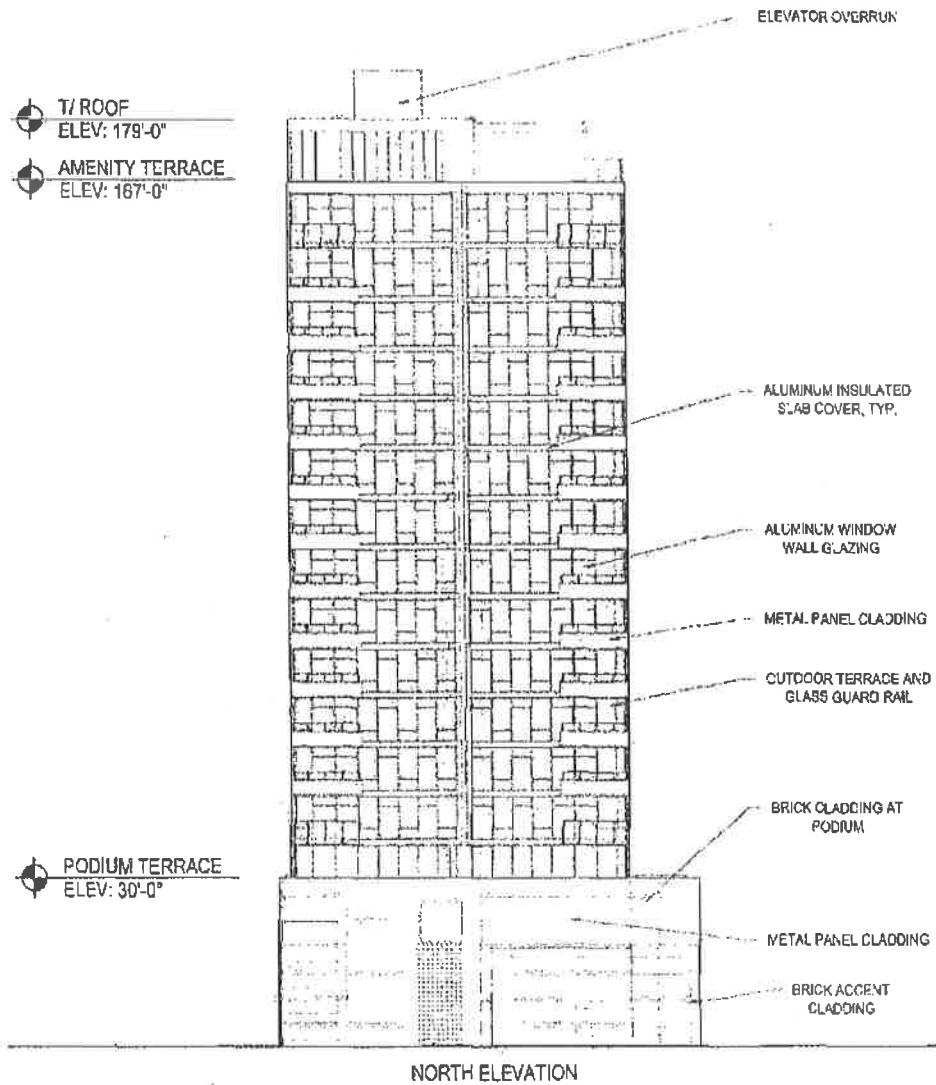
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 Address: 450-454 W. Belmont Ave.
 Introduced: March 16, 2016
 Plan Commission: August 16, 2016

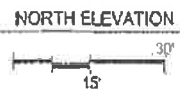
LANDSCAPE PLAN / GREEN ROOF PLAN



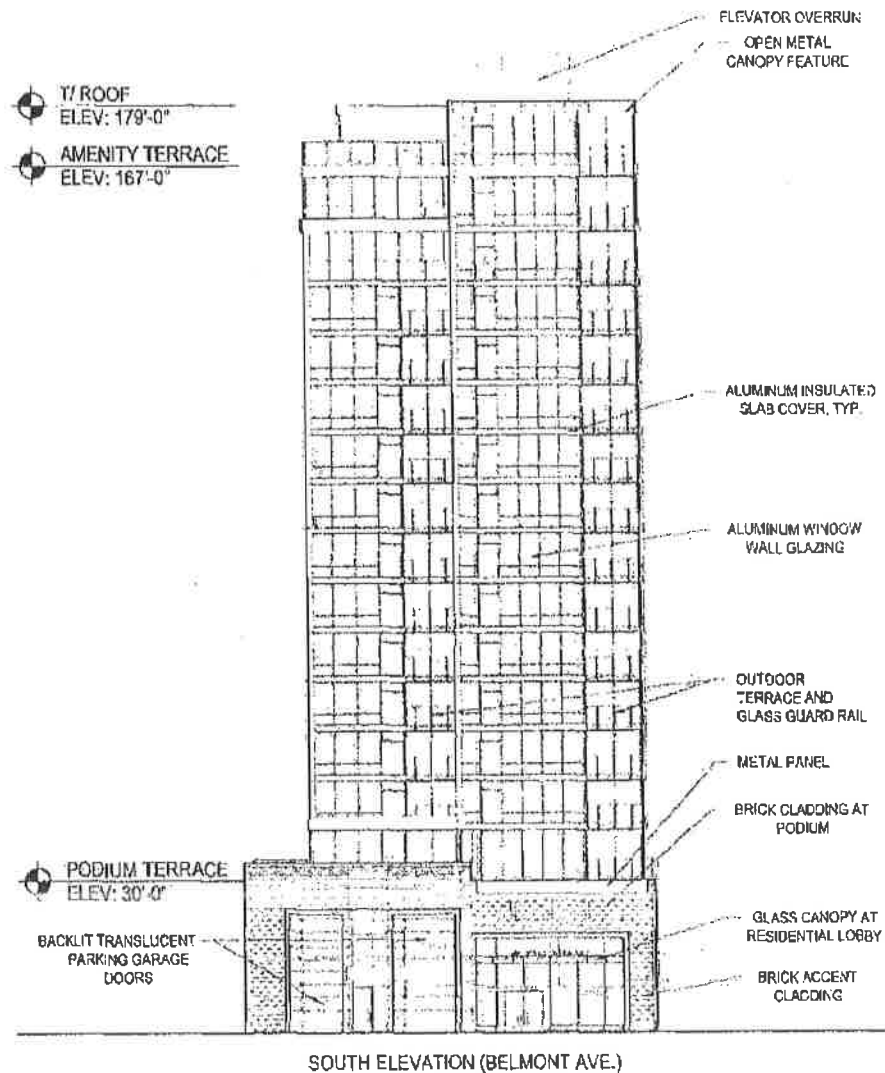
FINAL FOR PUBLICATION



Planned Development Exhibits
 Applicant: 450 Belmont Properties, LLC
 Address: 450-454 W. Belmont Ave.
 Introduced: March 16, 2016
 Plan Commission: August 18, 2016



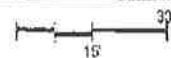
FINAL FOR PUBLICATION



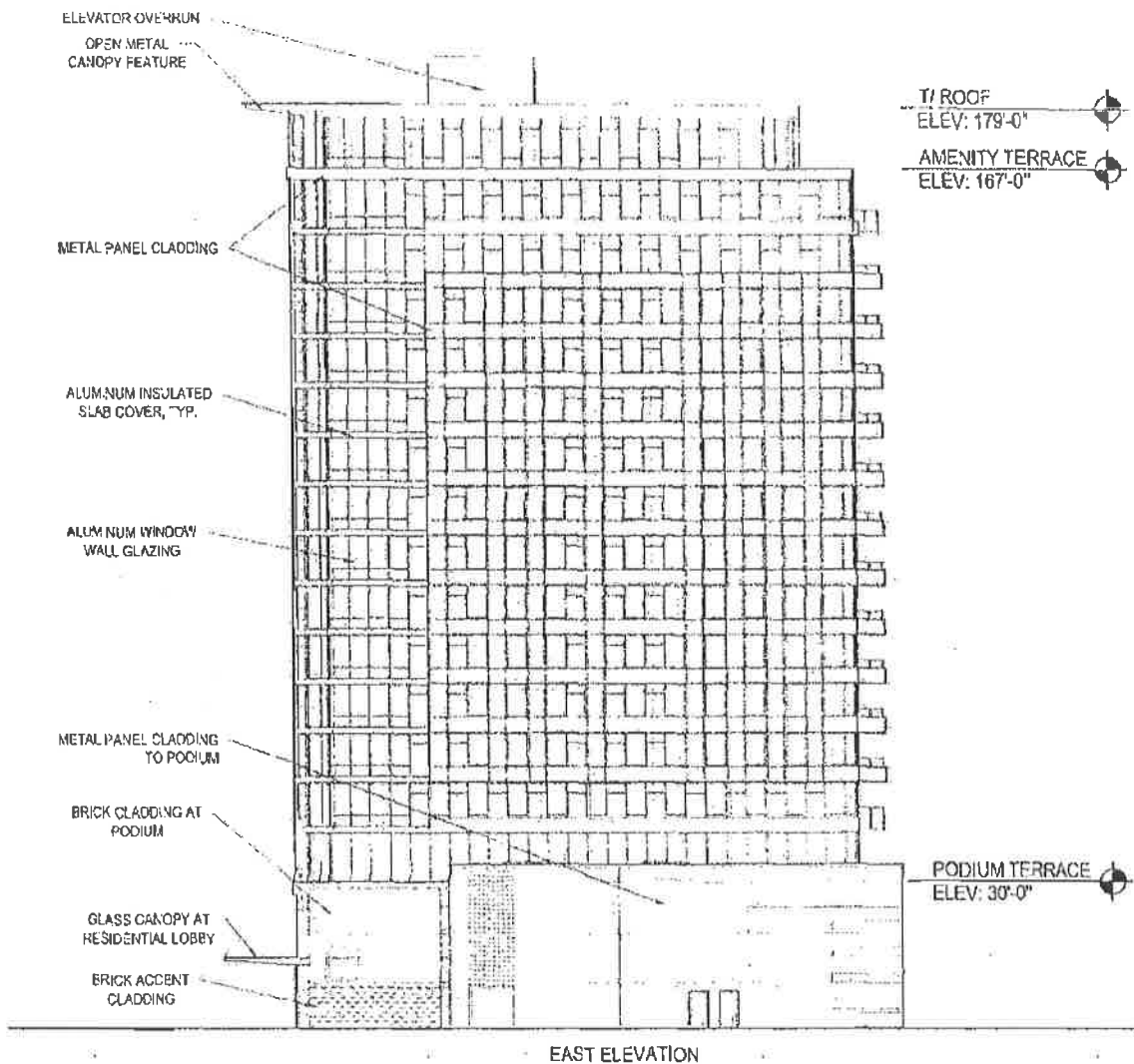
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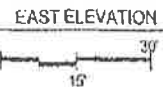
SOUTH ELEVATION



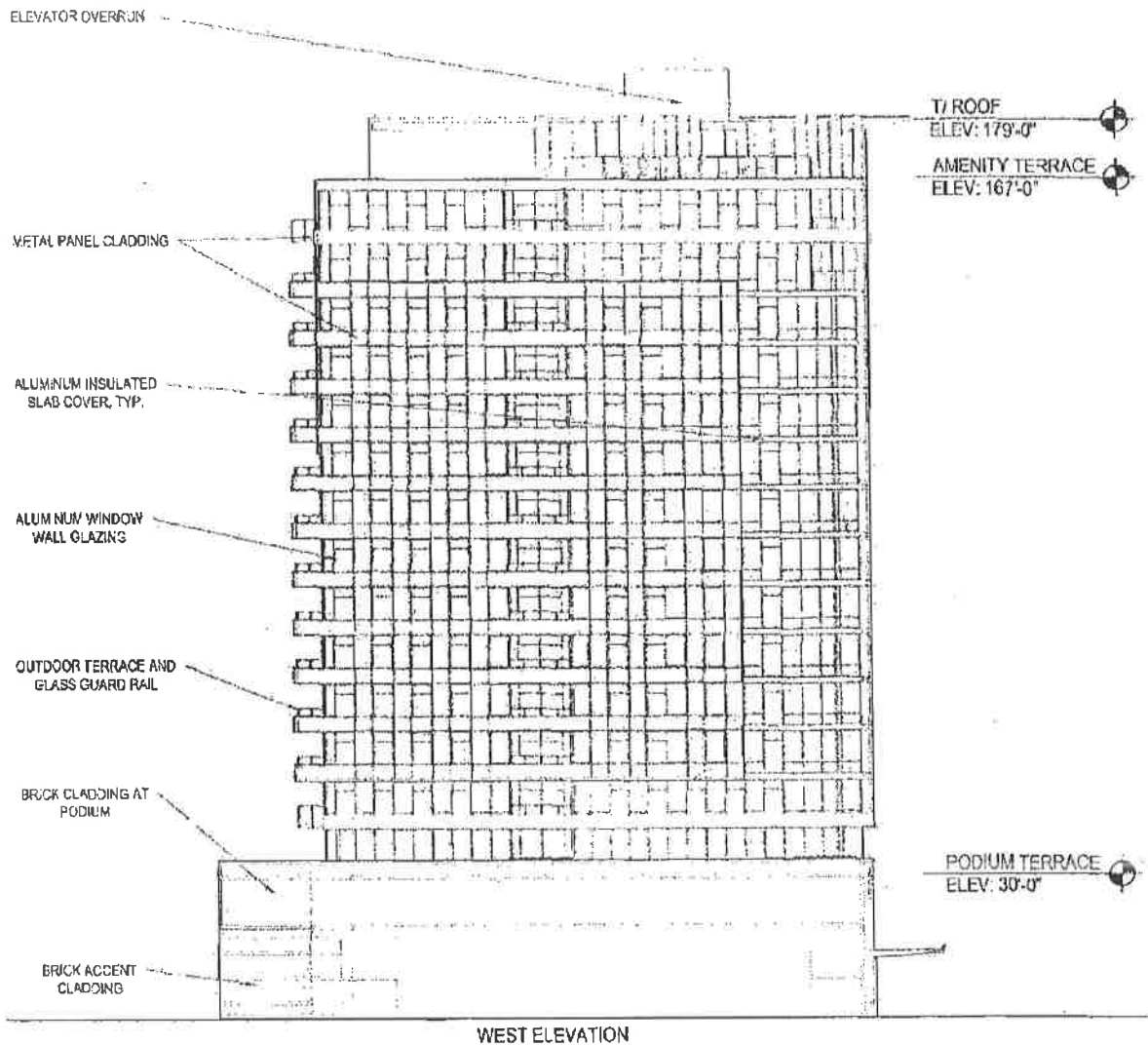
FINAL FOR PUBLICATION



Planned Development Exhibits
 Applicant: 450 Belmont Properties, LLC
 Address: 450-454 W. Belmont Ave.
 Introduced: March 16 2016
 Plan Commission: August 18, 2016



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Planned Development Exhibits

Applicant: 460 Belmont Properties, LLC
 Address: 450-454 W. Belmont Ave.
 Introduced: March 16, 2016
 Plan Commission: August 18, 2016

WEST ELEVATION

