

PD 1323

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

December 19, 2025

Jack George
Akerman LLP
71 S. Wacker Dr., 47th Floor
Chicago, IL 60606

Re: Minor change to PD No. 1323, Subarea B, 1006 S. Michigan Avenue

Dear Mr. George:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 1323 ("PD 1323") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 13 of PD 1323.

On behalf of 1006 South Michigan Equities LLC, the sole owner of PD 1342, Subarea B, you are seeking a minor change to waive the loading requirement for the Chicago Landmark building at 1006 S. Michigan Ave. Pursuant to Section 17-10-0102-A.1 of the Zoning Ordinance, no additional loading spaces are required for the rehabilitation or reuse of an official Chicago Landmark building. As shown on the attached Site Plan, the building occupies the entire site and there is an existing raised loading dock within the building.

Regarding your request, the Department of Planning and Development has determined that allowing the proposed loading waiver will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. The Fire Prevention Bureau, the Dept. of Transportation, the Mayor's Office for People with Disabilities, and Stormwater Review have no objection to this change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1323, I hereby approve the foregoing minor change, but no other changes to this Planned Development. Since this is an existing condition with no proposed changes to the site, the 12-month expiration period for a minor change does not apply. No further action is required to memorialize this minor change as part of the Planned Development.

Sincerely,

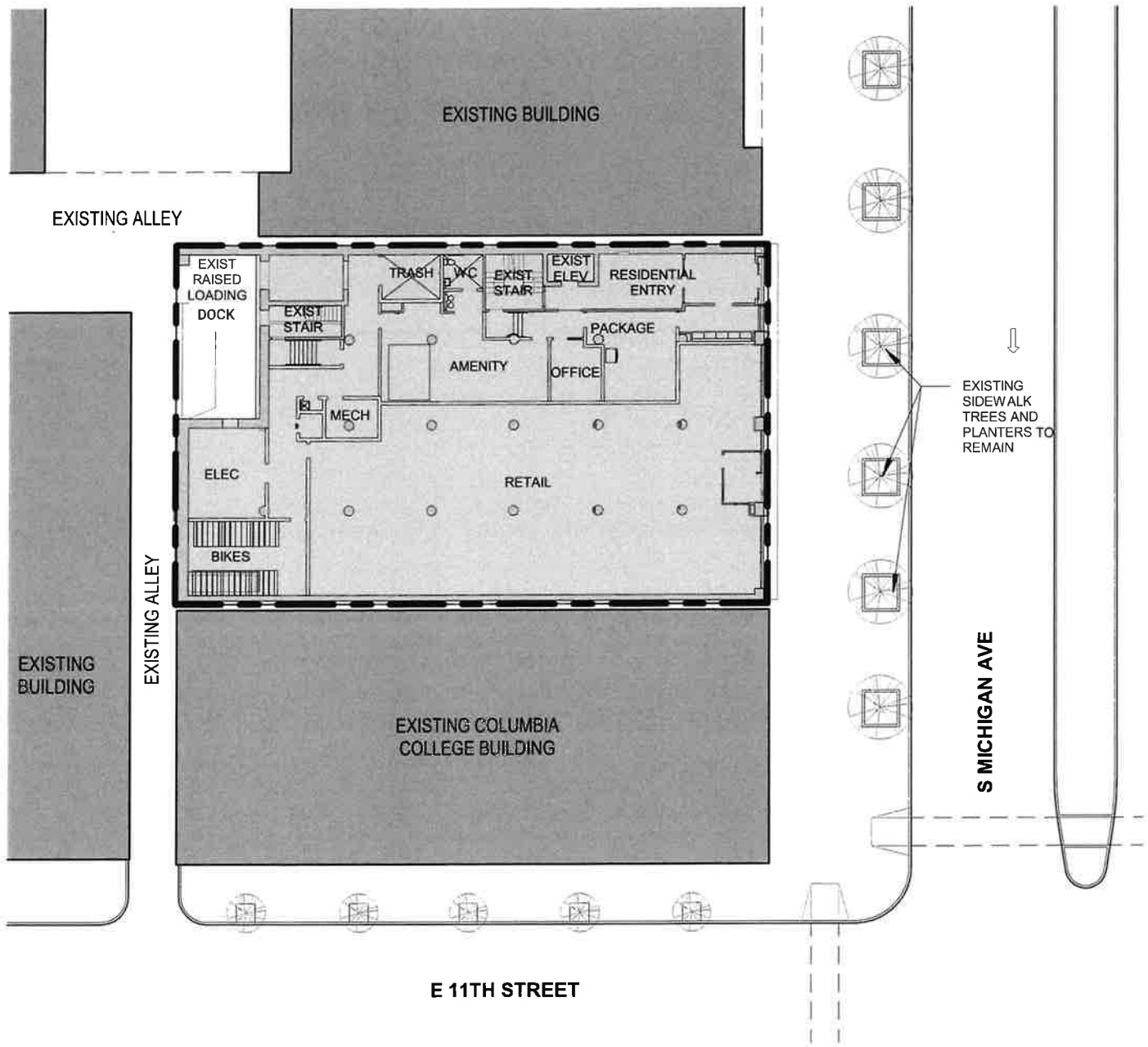

Noah Szafraniec
Assistant Commissioner

NS:tm

C: Noah Szafraniec, Mike Marmo, Main file

Planned Development No. 1323

SUB AREA B SITE PLAN & LANDSCAPE PLAN



Applicant: 1006 S. Michigan LLC
 Address: 920-1006 S. Michigan Ave. & 1011-1015 S. Wabash Ave.



Introduced: -
 CPC Date: -
 Amended: -

PD-04

22635

Reclassification Of Area Shown On Map No. 3-L.
(Application No. 22703)
(Common Address: 5213 W. Potomac Ave.)

[O2025-0016076]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the RS3 Residential Single (Detached House) District symbols and indications as shown on Map Number 3-L in the area bounded by:

West Potomac Avenue; North Laramie Avenue; a line 87.44 feet south of and parallel to West Potomac Avenue; and the public alley next west of and parallel to North Laramie Avenue,

to those of a B1-1 Neighborhood Shopping District.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification Of Area Shown On Map No. 4-E.
(As Amended)
(Application No. 22635)

RBP1323, 99

(Common Address: 920 -- 1006 S. Michigan Ave And 1011 -- 1015 S. Wabash Ave.)

[SO2025-0014839]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, Chicago Zoning Ordinance, be amended by changing all the Residential-Business Planned Development Number 1323 symbols and indications as shown on Map Number 4-E in the area bounded by:

a line 134.28 feet south of and parallel to East 9th Street; South Michigan Avenue; a line 56.07 feet north of and parallel to East 11th Street; the alley next west of and parallel to South Michigan Avenue; the alley next north of and parallel to East 11th Street; the alley next east of and parallel to South Wabash Avenue; a line 99.33 feet north of and parallel to East 11th Street; South Wabash Avenue; a line 135.40 feet north of and parallel to East 11th Street; and a line 240.94 feet west of and parallel to South Michigan Avenue,

to the designation of Residential-Business Planned Development Number 1323, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached herewith and made a part thereof and to no others.

SECTION 2. This ordinance shall take effect upon its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Residential-Business Planned Development No. 1323, As Amended.

Planned Development Statements.

1. The area delineated herein as Residential Business Planned Development Number 1323 ("Planned Development") consists of approximately 46,287 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and consists of Subareas A and B. This amendment to the Planned Development is only in respect to Subarea B. Subarea B is owned, controlled, or zoning consent has been received by the Applicant, 1006 S. Michigan LLC.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assigns or grantees. Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans.

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

4. This Plan of Development consists of eighteen (18) Statements; a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; Subarea B Planned Development Boundary and Property Line Map; Subarea B Site Plan/Landscape Plan; Subarea B Typical Floor Plan; and Subarea B Building Elevations (South, East and West, the North Elevation is not visible); prepared by Fitzgerald Associates Architects and dated March 20, 2025, submitted herein. Provided the Planned Development Exhibits approved in 2021 and found in the June 25, 2021 *Journal of the Proceedings of the City Council of the City of Chicago* at pages 32274 -- 32297 and all DPD-issued "Minor Change Letters" approved after that date are incorporated herein by reference. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.
5. The following uses are permitted in the area delineated herein as a Residential Business Planned Development. In each of the following subareas, the following uses shall be permitted in this Planned Development:
 - Subarea A: residential uses, including up to 738 dwelling units; general retail sales; eating and drinking establishments; liquor sales as an incidental use; accessory parking, of which 45 percent of the required residential parking (maximum 144 spaces) may be leased out on a daily, weekly or monthly basis to persons who are not residents, tenants, patrons, employees or guests of the principal uses; co-location of wireless telecommunication and satellite facilities; related facilities and accessory uses. The following uses shall be prohibited: lodging (all), including but not limited to hotel, vacation rental and shared housing units.
 - Subarea B: residential uses, including 49 dwelling units; office; general retail sales; school; college; universities; day care; eating and drinking establishments; liquor sales as an incidental use; accessory parking; co-location of wireless telecommunication and satellite facilities; related facilities and accessory uses.
6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.

8. The maximum permitted floor area ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted floor area ratio identified in the Bulk Regulations Table has been determined using a net site area of 46,287 square feet and a base FAR of 16.00. The improvements to be constructed on the Property will utilize the following series of FAR bonuses:

Description (List Of All Bonuses Applied for and Calculations)	FAR
Base FAR	16.00
Concealed Parking Facade	1.43
Setback Bonus	2.26
Affordable Housing Bonus	1.03
Neighborhood Opportunity Fund Bonus	0.50
Total FAR:	21.22

The Applicant acknowledges that the project has received a Neighborhood Opportunity Fund bonus FAR of 0.50 or 23,144 square feet, pursuant to Section 17-4-1000 of the Zoning Ordinance. With this bonus FAR, the total FAR for the Planned Development is 21.22. In exchange for the bonus FAR, the Applicant made a corresponding payment, pursuant to Sections 17-4-1003-B and C, prior to the issuance of the first building permit for any building in the Planned Development; provided, however, if the Planned Development is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent new building or phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-4-1003-C.3.

The bonus payment was split between three separate funds, as follows: 80 percent to the Neighborhoods Opportunity Fund, 10 percent to the Citywide Adopt-a-Landmark Fund and 10 percent to the Local Impact Fund. In lieu of paying the City directly, the Department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

9. The Applicant acknowledges and agrees that the rezoning of the Property from Residential-Business Planned Development ("P.D.") Number 1323, to P.D. Number 1323, as amended is an "entitlement" that triggers the requirements of Section 2-44-085 of the Municipal Code of Chicago (the "ARO"). The P.D. is located in a downtown district within the meaning of the ARO and permits the construction of 49 dwelling units in Subarea B. The Applicant intends to construct a 49-unit rental building.

Developers of rental projects in downtown districts must provide 20 percent of the units in the project as affordable housing at a weighted average of 60 percent of the AMI and projects with 30 or more units must provide between 10 percent and 20 percent of the units in the residential development as affordable units, depending on the average depth of affordability provided, as described in subsection (F)(2) of the ARO. Regardless of the applicable percentage of affordable units in the rental project, developers must construct at least 25 percent of the affordable units on-site and another 25 percent on-site or off-site (collectively, the "Required Units"), and may satisfy the balance of their affordable housing obligation through: (a) the establishment of additional on-site or off-site affordable units; (b) payment of a fee in lieu of the establishment of on-site or off-site affordable units; or (c) any combination thereof. All on-site affordable units must be accessible dwelling units, as required under subsection (W)(10) of the ARO, and developers must give preference in leasing accessible units to people with disabilities. All off-site affordable units must have at least two bedrooms and must be located in a downtown district, inclusionary housing area, or community preservation area. Whether on-site or off-site, developers must give preference in leasing affordable units of two bedrooms or more to multi-person households, as specified in the ARO rules. If a residential project is located in a transit-served location, off-site units must be located in a substantially comparable transit-served location.

The Applicant has elected the 20 percent option as set forth in the chart in subsection (F)(2) of the ARO. As a result, the Applicant's affordable housing obligation is 9.8 affordable units (20 percent of 49) and half of those affordable units are Required Units. Pursuant to subsection (T) of the ARO, the Applicant must either pay a fractional in lieu fee or provide an additional unit to satisfy the fractional obligation. The Applicant has agreed to satisfy its affordable housing obligation by providing eight (8) affordable units in the rental building in the P.D. and making a payment of a fee in lieu for the remaining affordable units, as set forth in the Affordable Housing Profile (AHP) attached hereto. The Applicant agrees that the affordable rental units must be affordable to households with a range of incomes averaging 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually, provided that: (x) the maximum income level for any affordable unit may not exceed 80 percent of the AMI; (y) at least one-third (or 3 units) must be affordable to households at or below 50 percent of the AMI, of which one-sixth (or 1 of the 3 units) must be affordable to households at or below 40 percent of the AMI; and (z) all income levels must be multiples of 10 percent of the AMI.

If the Applicant requests any material change to its method of compliance with the ARO, such as locating affordable units off-site instead of on-site or changing the target affordability level after the passage of this P.D., DOH may adjust the AHP as requested, in accordance with the ARO, without amending the P.D., provided however, the Applicant must update and resubmit the revised AHP to DOH for review and approval and, at DOH's request, provide an informational presentation to Plan Commission on such change. Prior to the issuance of any building permits for any residential building in the P.D., including, without limitation, excavation or foundation permits, the Applicant must execute and record an Inclusionary Housing Agreement ("IHA") in accordance with subsection (N) of the ARO. The terms of the IHA and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the IHA will be recorded against the P.D. and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 9, including any breach of any IHA, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the P.D.

This statement does not include all ARO requirements and options. It is intended to provide an overview of the application of the ARO to this P.D. In the event of any conflict between this statement and the terms and conditions of the ARO, the ARO shall govern.

10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
11. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.
12. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that code.
13. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.

14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
16. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The city encourages goals of (i) 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the Applicant must submit to DPD: (a) updates (if any) to the applicant's preliminary outreach plan; (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts; and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional

information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

17. Pursuant to the Chicago Zoning Ordinance (Section 17-8-0911), a Planned Development (P.D.) gives priority to the preservation and adaptive reuse of Chicago Landmark buildings. The P.D. includes the Graphic Arts Building at 1006 South Michigan Avenue, which has been identified as contributing to the historic or architectural significance of the Historic Michigan Boulevard District. Work to designated Chicago Landmarks is subject to the review and approval of the Commission on Chicago Landmarks pursuant to the Chicago Landmarks Ordinance, Section 2-120-740.
18. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to the Residential-Business Planned Development Number 1323, dated June 25, 2021.

[ARO Floor Plan; Existing Zoning Map; Existing Land-Use/Aerial Map;
Subarea B Property Line/Boundary Map; Subarea B Site Plan
and Landscape Plan; Subarea B Typical Floor Plan; and
Subarea B South, East and West Building Elevations
referred to in these Plan of Development
Statements printed on pages 26933
through 26939 of this *Journal*.]

Bulk Regulations and Data Table and ARO Intake Application Form referred to in these Plan of Development Statements read as follows:

22635

Residential-Business Planned Development No. 1323, As Amended.

Bulk Regulations And Data Table.

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	Subarea A 1000 S Michigan Ave	Subarea B 1006 S Michigan Ave	Total
Gross Site Area (Net Site Area + Area in Right-of- Way):	41,884 SF	21,388 SF	63,272 SF
Area in Public Tight-of-Way:	9,545 SF	7,440 SF	16,985 SF
Net Site Area:	32,339 SF	13,948 SF	46,287 SF
Maximum Floor Area Ratio:	27.94	5.66	21.22
FAR Area:	903,455 SF	78,881 SF (existing)	982,336 SF
Maximum Number Of Residential Units:	738	49	787
Minimum Number of Parking Spaces:	325	0	325
Minimum Number of Bicycle Spaces	356	49	405
Minimum Number of Loading Berths	3	1 (existing)	4
Maximum Building Height:	805 FT	102 FT (existing)	--
Minimum Building Setbacks:	As per Site Plan	None	--
Green Features*:	Green Roof + Green Globes	Meets Sustainability Policy	--

*The development shall obtain the number of points necessary to meet the requirements of the Chicago Sustainability Policy.

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* An official website of the City of Chicago. Here's how you know

★ EFORMS ADMIN TOOL

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ARO Intake Application

Submission ID: 942780

Applicant Contact Information

Section 2-44-085 of the Municipal Code of the City of Chicago (the "ARO") is effective as of October 1, 2021, and is available to read in its entirety online at: <http://code.library.municipal.com/Articles/Articles.aspx?ArticleID=2019-0-078874>

The Pilsen-Little Village ARO Pilot shall expire without further action by the City Council on 12/31/2023 and its requirements have been incorporated into this web form. More information is available in [Section 2-44-015 of the City's Municipal Code](#).

PLEASE READ CAREFULLY. This form requires several steps and does NOT support an automatic save or save for later function.

Before starting the submission process, please gather and complete all the necessary documentation outlined in [Article 6.2.1 of the ARO Rules](#), and listed below. Please start by first completing the Affordable Unit Details Worksheet, available for [download here](#). The Affordable Unit Details Worksheet is required to be submitted as an attachment under Step 4 of this submission

If affordable units are proposed, please ensure that you have the following documents ready to submit when prompted

- Affordable Unit Mix Details and Square Footage Spreadsheet
- Dimensional Floor Plans with affordable units highlighted
- If affordable units are proposed off-site, off-site unit application as detailed in Article 6.2.5 of the ARO Rules.
- If affordable units are proposed as authorized agency units, a signed acceptance letter from the authorized agency.

Your application will be reviewed when all required documentation has been received. Additional documents may be requested during the review period by DOH staff.

The ARO Rules are available online at: <http://code.library.municipal.com/Articles/Articles.aspx?ArticleID=2019-0-078874>. If you have any questions about completing this application, please contact ARO@cityofchicago.org

Please help us improve the form by reporting any errors, inconsistencies or sharing any suggestions to ARO@cityofchicago.org.

Applicant Name * 1006 S Michigan LLC	Applicant Contact Person * Jordan Karlik
Applicant Email * jordan@jkequities.com	Applicant Phone * (515) 622-7500
Applicant Address * 2 Seaview Blvd., Ste 203 Port Washington,	
Attorney Name * Chris A. Leach	Attorney Email * chris.leach@akerman.com

Development Information

Development Address

From * 1006	To * 	Direction * S	Street Name * MICHIGAN AVENUE
Zip Code * 606052254	Ward * 4	ARO Zone * Downtown	
Development Name * 1006 S. Michigan Lofts		If you are working with a Planner at the City, what is his/her/their name? Omar Smalbegovic	
Zoning Application Number (if applicable) 22634	Council Introduction Date * 1-15-2025		

Is your project currently in, or do you plan to rezone to, a downtown zoning district? *

ARO Trigger * Zoning Entitlement	Development Type * Rental
--	-------------------------------------

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Total Units *

Is your Project in a Transit Served Location? *

Estimated date marketing will begin *

Estimated date of building permit (in-lieu fee, \$5,000 per off-site unit administration fee, and recorded covenant are required prior to issuance of any building permits) *

ARO Requirements

ARO Option

- 20% at 60% average AMI
- 16% at 50% average AMI
- 13% at 40% AMI
- 10% at 30% AMI

ARO Option

- 20% at 100% AMI
- 16% at 80% AMI

ARO Option *

20% SE PASIDE AT A WEIGHTED AVERAGE OF 60% OF THE AMI

ARO Option *

- 10% AT A WEIGHTED AVERAGE OF 100% AMI
- 8% AT A WEIGHTED AVERAGE OF 80% AMI

Affordable Units Required *

Minimum On-Site Units *

Maximum Units Paid For In-Lieu *

Proposed On-Site Units *

Proposed Off-Site Units *

Proposed In-Lieu Units *

In-Lieu Amount Owed *

On-Site Units To CLINTF or CHA *

If the In-Lieu Amount Owed calculation results in a fractional unit that is less than 0.5, the developer shall either pay an in-lieu fee or provide an additional unit to satisfy the fractional obligation. The in-lieu fee for any fractional unit will be calculated as follows: (fractional unit) x (applicable in-lieu fee).

Off Site Address:

From To Direction Street Name

Zip Code Ward ARO Zone

Off-Site Type

Off-Site Admin Fee

Forms

Unit Mix and Square Footage Spreadsheet *

[Unit Mix and Square Footage Spreadsheet](#)

Dimensioned Floor Plans with affordable units highlighted

[Dimensioned Floor Plans with affordable units highlighted](#)

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If ARO units are CLHTF or CHA, attach signed acceptance letter
If off-site units are new construction, attach:

- A. Schematic and design development drawings for on-site units
- B. Schematic and design development drawings for off-site units
If off-site units are rehab, please attach the following documents:
 - A. Schematic and design development drawings for on-site units
 - B. Schematic and design development drawings for off-site units
 - C. A Physical Needs Assessment (PNA)
 - D. Surveys
 - E. Outstanding code violations
 - F. Scope of work and estimated cost of renovations

Off-Site Units Only: Documents Required for Architectural Approval Letter

- A. Owner Sworn Statement
- B. GC Sworn Statement
- C. Bounday Survey
- D. Draft permit application prior to submission to the Department of Buildings (DOB)
- E. Final construction drawings stamped by the architect of record prior to submission to DOB

OFF-SITE UNITS ONLY: Documents required for Architectural Construction a Approval Letter and Notice to Proceed

- A. A letter from the Developer on company letterhead stating the project is complete and requesting a final site inspection from DOH
- B. A copy of the front and back of each building permit for each property with all DOB signoffs
- C. A copy of the Certificate of Occupancy for each property (if applicable)
- D. Final GC and Owner Sworn Statements
- E. All final waivers of lien or a title report showing no liens for each property
- F. As built Survey (new construction)
- G. Final Issued for Construction Permitted Construction Drawings
- H. List of any Buyer changes (if applicable, for-sale units only)

Signature

Developer or their Agent *

Jordan Karlik

Managing Deputy Commissioner
Danna Allen 4/18/25

Summary

Work Log

Submission Date: 04/07/2025 10:15:59 AM

Amended Date:

Admin Amended Date:

Admin Amended By:

Admin Amended Justification:

<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
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Project Name	1006 S Michigan Lofts
Zoning Application number / Application	22633
Address	1006 S Michigan Ave
Is this a Full Site or Rental Project?	Rental
Anticipated average price per sq ft?	\$3.50
Total Units in Project	49
Total Affordable Units	9

Unit Type	Market Rate			ARO			
	how many?	% of total	avg. square footage	how many?*	% of total	avg square footage	affordable v /market square footage**
studio	0	0%	0	0	0%	0	0%
one-bed	18	44%	630	3	35%	794	85%
two-bed	23	58%	1,340	5	83%	1,288	89%
three-bed	0	0%	0	0	0%	0	0%

*ARO unit percentages, by unit type, should reflect corresponding market rate percentages (for example, if 10% of market rate units are studios, roughly 10% of ARO units can be studios)
 **the average affordable square footage should be 85% or greater of market-rate square footage for comparable unit type. Off-site units must meet minimum unit sizes specified in the Design Guidelines.

Features and Amenities

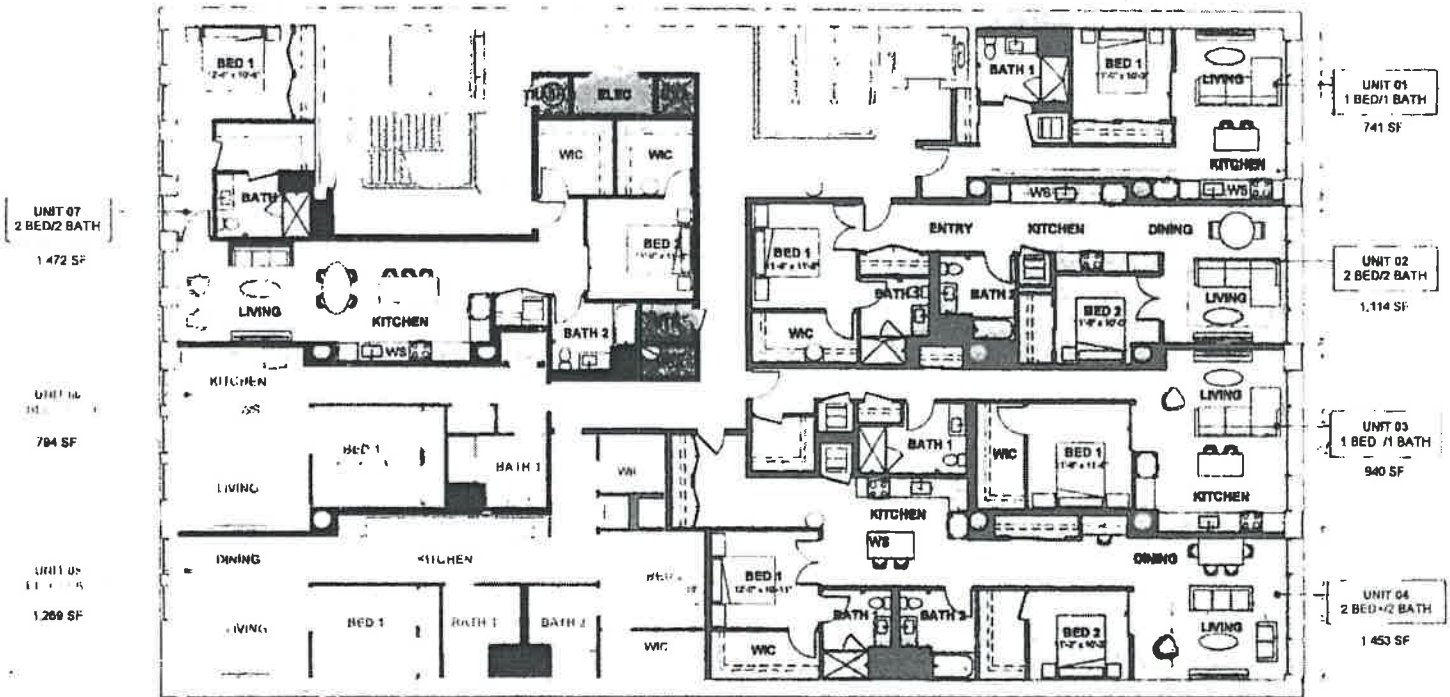
	Market Rate Units	Affordable Units
Parking	Yes	No
Laundry	Yes	Yes
Appliances	Yes	Yes
Refrigerator <i>age/EnergyStar/make/model/color</i>	Yes	Same or comparable to market rate
Dishwasher <i>age/EnergyStar/make/model/color</i>	Yes	Same or comparable to market rate
Stove/Oven <i>age/EnergyStar/make/model/color</i>	Yes	Same or comparable to market rate
Microwave <i>age/EnergyStar/make/model/color</i>	Yes	Same or comparable to market rate
Bathroom(s) <i>how many?</i> <i>Half bath? Full bath?</i>	1 or 2 depending on unit	1 or 2 depending on unit
Kitchen countertops <i>material</i>	Quartz	Quartz
Flooring <i>material</i>	LVT	LVT
HVAC	Yes	Same or comparable to market rate
Other		

NOTE: Other unit review specific details for features and amenities for approval when they become available
 The applicant shall provide comparable unit finishes and amenities in affordable units as in market rate units as required by the ARO Rules

AMI Mix for ARO Units

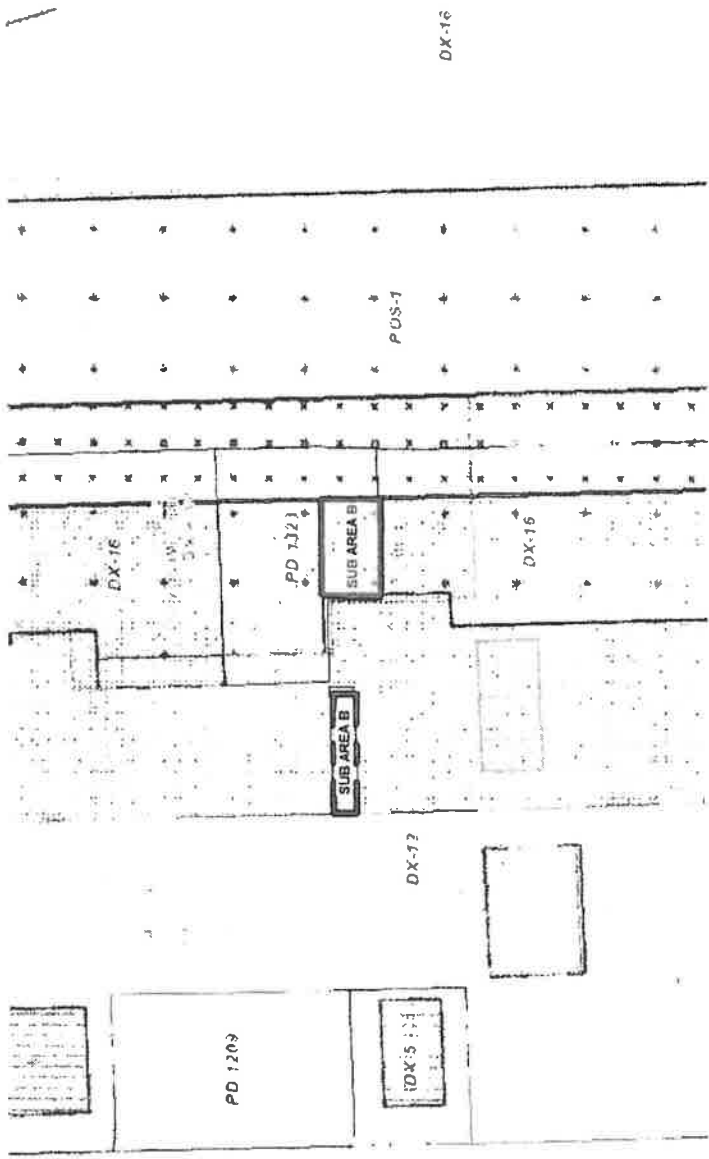
Affordable Units	30% AMI	40% AMI	50% AMI	80% AMI	70% AMI	60% AMI	Total Units	Average
Studio	-	-	-	-	-	-	-	#DIV/0!
1 bed	-	1	7	-	-	-	3	46.67%
2 bed	-	-	-	2	2	1	5	68.00%
3 bed	-	-	-	-	-	-	-	#DIV/0!
4 bed	-	-	-	-	-	-	-	#DIV/0!
	-	1	7	2	2	1	8	68.00%

FINAL FOR PUBLICATION



1006 S. Michigan Avenue 7

FINAL FOR PUBLICATION Planned Development No. 1323 EXISTING ZONING MAP



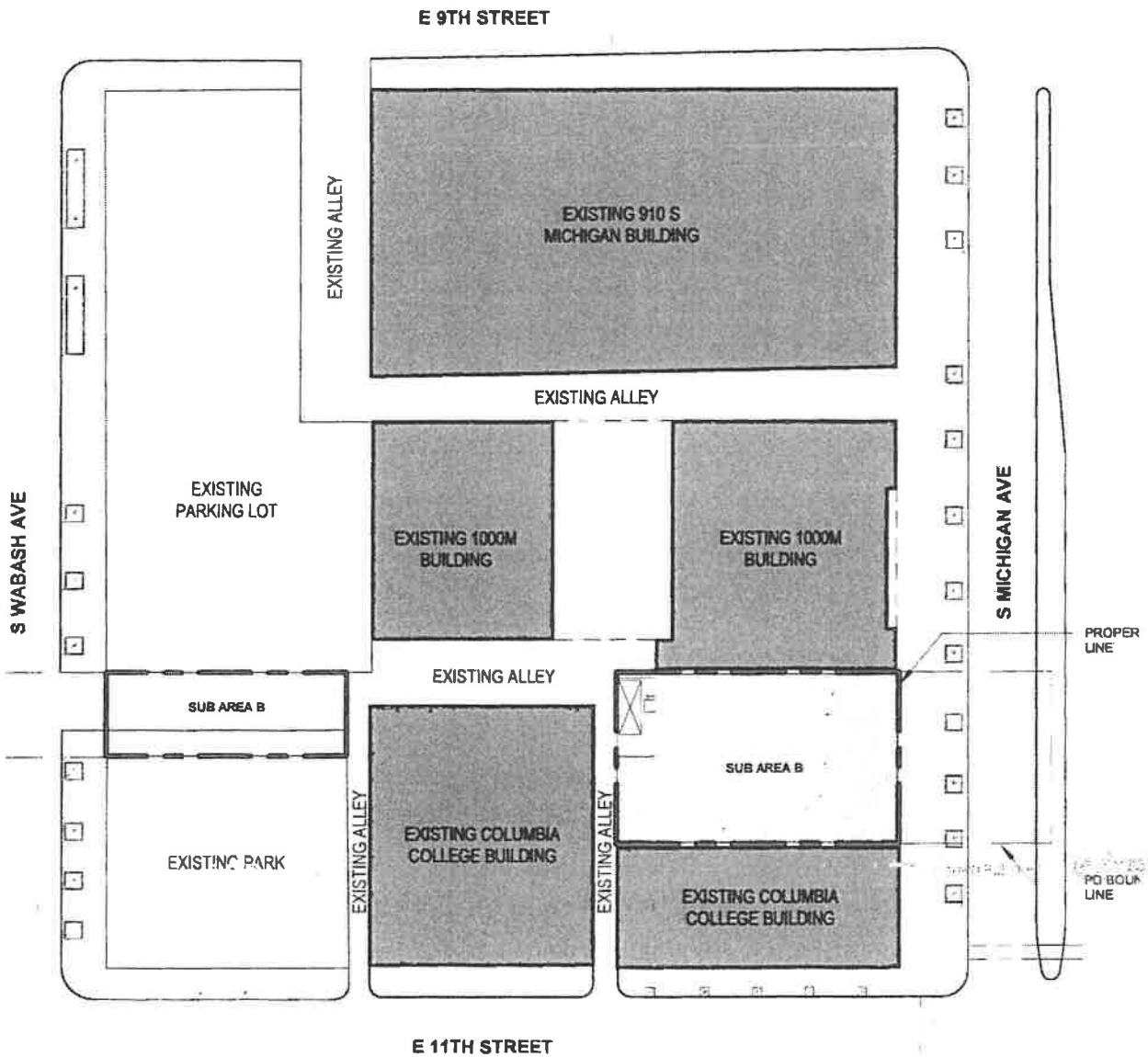
Applicant: 1006 S. Michigan LLC
 Address: 920-1006 S. Michigan Ave. & 1011-1015 S. Wabash Ave.

Introduced: January 15, 2025
 CPC Date: March 20, 2025
 Amended:



PD-01

FINAL FOR PUBLICATION Planned Development No. 1323 SUB AREA B PD PROPERTY LINE / BOUNDARY MAP



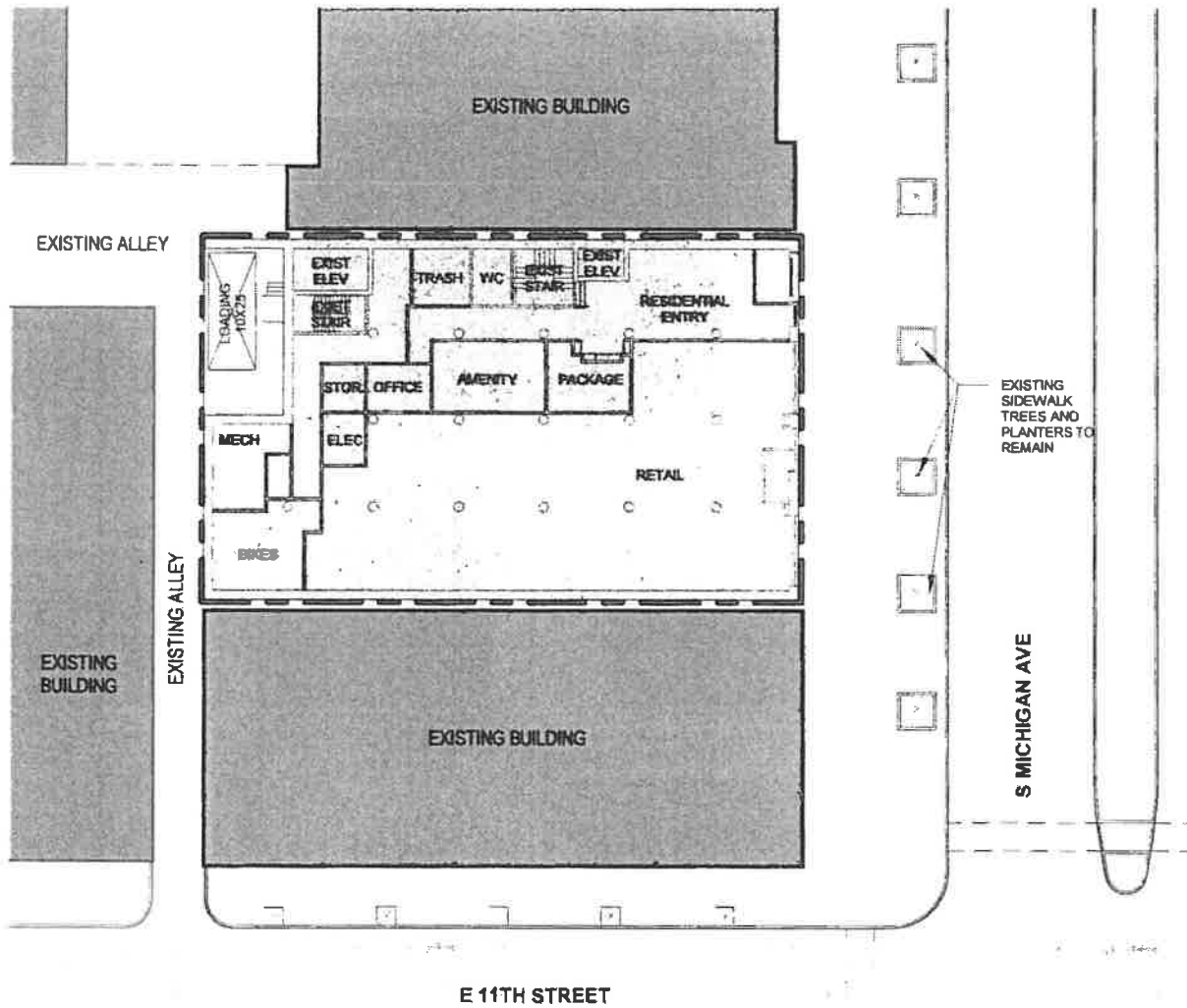
Applicant: 1006 S. Michigan LLC
 Address: 920-1006 S. Michigan Ave. & 1011-1015 S. Wabash Ave.

Introduced: January 15, 2025
 CPC Date: March 20, 2025
 Amended: -



PD-03

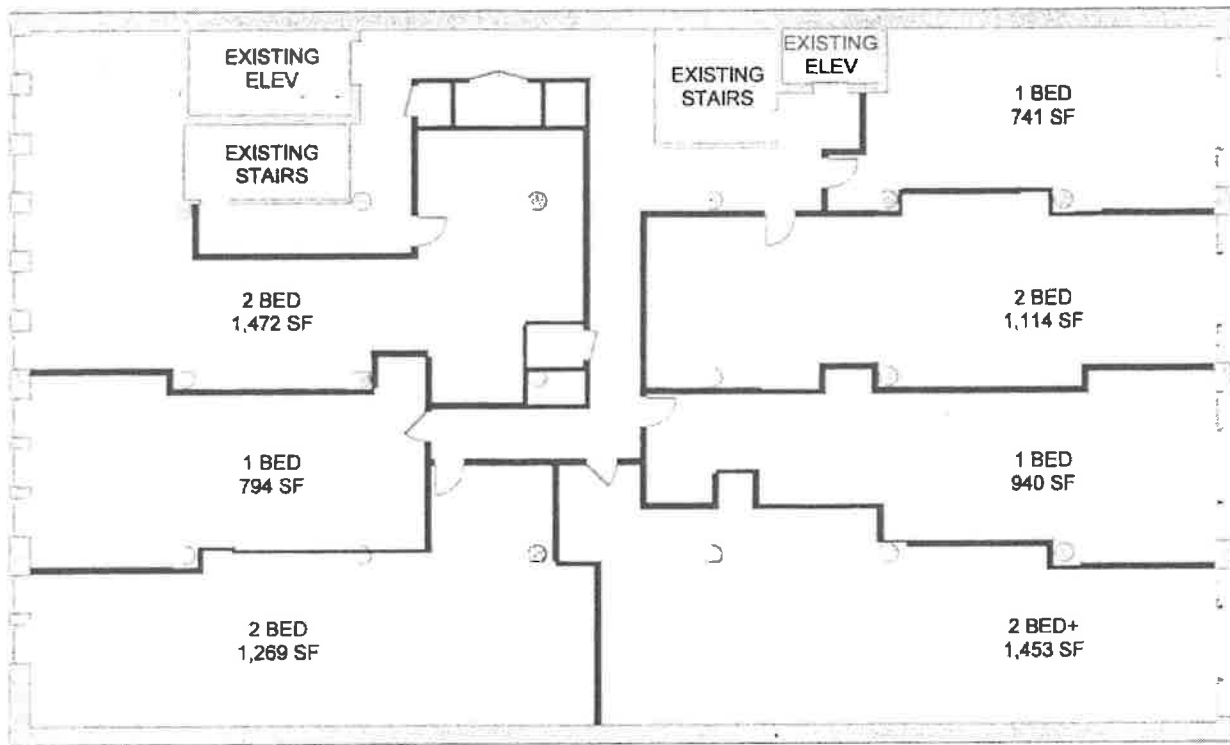
FINAL FOR PUBLICATION Planned Development No. 1323 SUB AREA B SITE PLAN & LANDSCAPE PLAN



Applicant: 1006 S. Michigan LLC
 Address: 920-1006 S. Michigan Ave. & 1011-1015 S. Wabash Ave.
 Introduced: January 15, 2025
 CPC Date: March 20, 2025
 Amended: -



FINAL FOR PUBLICATION Planned Development No. 1323 SUB AREA B TYPICAL FLOOR PLAN



Applicant: 1006 S. Michigan LLC
Address: 920-1006 S. Michigan Ave. & 1011-1015 S. Wabash Ave.

Introduced: January 15, 2025
CPC Date: March 20, 2025
Amended: -

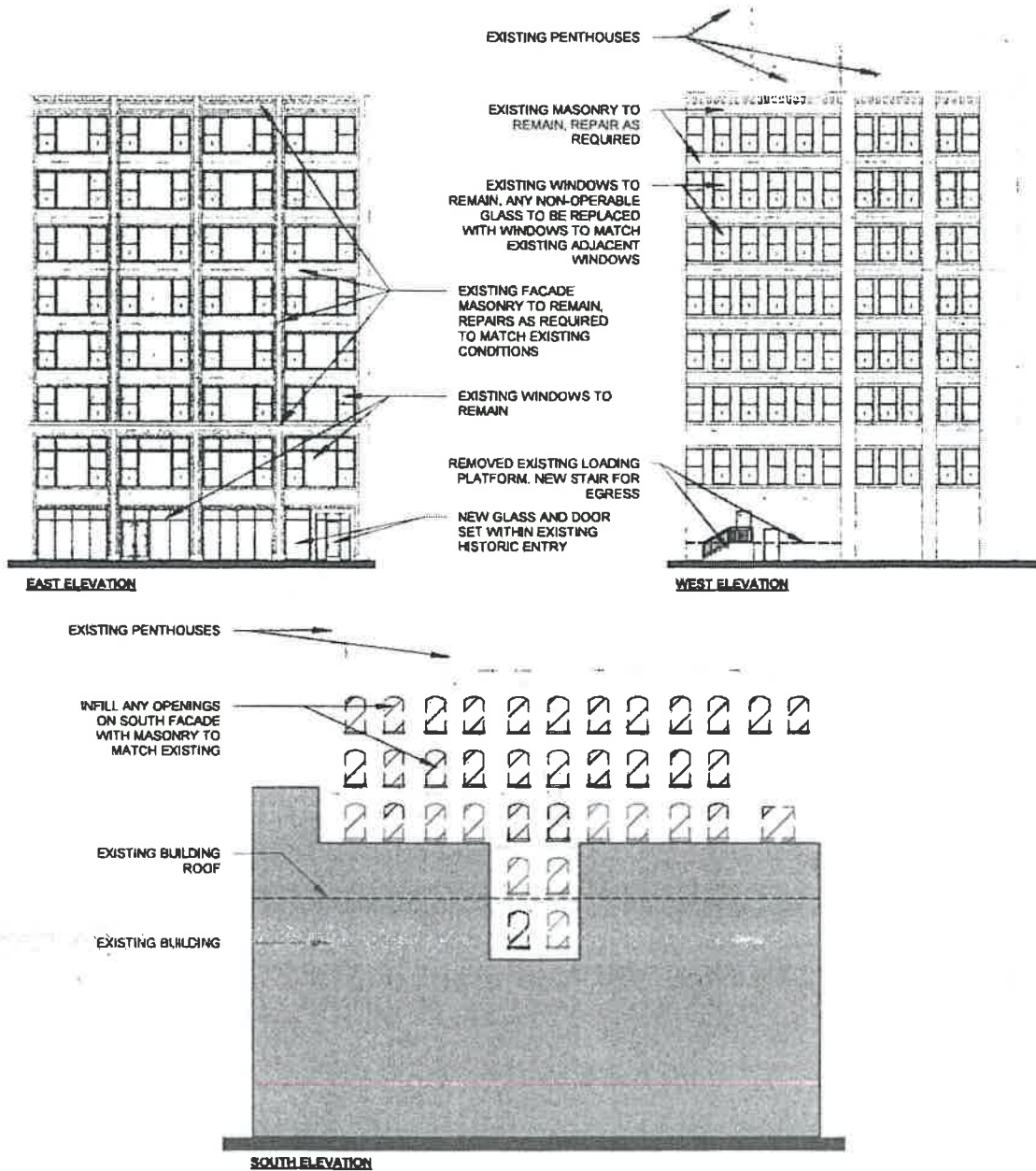


PD-05

FINAL FOR PUBLICATION

Planned Development No. 1323

SUB AREA B ELEVATIONS



Applicant: 1006 S. Michigan LLC
 Address: 920-1006 S. Michigan Ave. & 1011-1015 S. Wabash Ave.

Introduced: January 15, 2025
 CPC Date: March 20, 2025
 Amended: -





**DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO**

April 8, 2025

VIA EMAIL

John J. George
Akerman LLP
71 S. Wacker Dr.
47th Floor
Chicago, IL 60606

Re: Request for Minor Change to Planned Development No. 1323 Subarea A

Dear Mr. George:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 1323 has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement 13 of the planned development.

The applicant, 1000 South Michigan Equities, LLC, is requesting to use corrugated metal panels for the wind screen connecting 1000 South Michigan Avenue to 910 South Michigan Avenue in lieu of the originally approved perforated panels. The following exhibits are attached:

- “East Elevation – South Michigan Avenue” dated April 2, 2025
- “Corrugated Metal Screen to Match Building Façade” and “Corrugated Metal Sample” dated January 13, 2025

Regarding your request, the Department of Planning and Development has determined that allowing the use of corrugated metal panels for the windscreen between 1000 South Michigan Avenue and 910 South Michigan Avenue will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change. Additionally, the Historic Preservation Division has reviewed the submitted materials and determined that this change can be reviewed by staff and does not need to be reviewed by the Permit Review Committee

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD No. 1323, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change commences within such period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Noah Szafraniec, Assistant Commissioner

cc: Mike Marmo, Stephen Nutt, Janice Hill, Teresa Mc Laughlin
Main File

121 NORTH LASALLE STREET, ROOM 1101, CHICAGO ILLINOIS 60602

805'-0" MAX HEIGHT

GLASS FACADE

GLASS AND METAL FACADE

GLASS GUARDRAIL

PROFILE METAL AND GLASS FACADE

EXISTING 4 & 7 STORY BUILDING BEYOND COLUMBIA COLLEGE 1014 & 1006 S. MICHIGAN AVE.

EXISTING 4 & 7 STORY BUILDING BEYOND COLUMBIA COLLEGE 1014 & 1006 S. MICHIGAN AVE.

EXISTING 20 STORY RESIDENTIAL BUILDING 910 S. MICHIGAN AVE.

PROFILE METAL SCREEN

11TH ST.

9TH ST.

EAST ELEVATION - SOUTH MICHIGAN AVENUE

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
REVISION DATE: APRIL 2, 2025

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Corrugated Metal Screen to Match Building Facade



Corrugated Metal Sample



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 7, 2025

Jack George
Akerman LLP
71 S. Wacker Dr., 47th Floor
Chicago, IL 60606

Re: Lakefront Ordinance Exemption for PD 1323, 1006 S. Michigan Ave.

Dear Mr. George:

Please be advised that your request for a Lake Michigan and Chicago Lakefront Protection Ordinance (the "Lakefront Ordinance") exemption has been considered by the Department of Planning and Development. The existing, eight-story office building at 1006 S. Michigan Ave. is located within the Private Use Zone of the Lake Michigan and Chicago Lakefront Protection District and within Subarea B of Residential Business Planned Development No. 1323 ("PD 1323").

You represent the property owner, 1006 S Michigan LLC, who is seeking to amend PD 1323 to convert the existing office building into 49 dwelling units above the ground floor. Retail space will be located on the ground floor. There are no additions or changes in the building footprint, height or exterior proposed.

You are requesting an exemption from the Lakefront Ordinance pursuant to Section 16-4-150 so as to receive approval for the proposed conversion and renovation without the necessity of securing approval of the Chicago Plan Commission. Pursuant to the Lakefront Ordinance, repairs and rehabilitations which do not exceed 50% of the total cost of replacement of the existing structure are exempt from securing approval of the Chicago Plan Commission. According to your request, the estimated conversion cost is \$15.5 million dollars or \$187.000 per square foot based on the conversion of approximately 80,000 square feet. The estimated cost for a ground up replacement and rebuild of the existing office building is \$34.4 million dollars or \$430.00 per square foot based upon 80,000 square feet. Per your request, the estimated cost of the work is 45% of the estimated replacement cost.

I hereby approve your request for an exemption from the Chicago Plan Commission approval provisions of the Lakefront Ordinance for the proposed office to residential conversion. All new construction must comply with the requirements of the Planned Development and all required permits must be obtained prior to the start of construction.

Sincerely,

Noah Szafraniec
Assistant Commissioner

NS:tm

c: Chris Leach, Mike Marmo, Janice Hill, Noah Szafraniec



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

September 25, 2023

Jack George
Akerman LLP
71 S. Wacker Dr.
47th Floor
Chicago, IL 60606

Re: Minor change to PD 1323, Sub areas A and B, 1000 S. Michigan Avenue

Dear Mr. George:

Please be advised that your request for a minor change to Residential-Business Planned Development No. 1323 ("PD 1323") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Zoning Ordinance and Statement No. 13 of PD 1323.

On behalf of your client and the sole property owner of PD 1323, 1000 South Michigan Equities, you are seeking a minor change for the following revisions to the under construction high-rise residential building at 1000 S. Michigan Ave.:

- The length of the proposed dog run within Sub area B has been slightly reduced to 102' by 10.83' in width to allow for a freestanding entry sign along Wabash Ave.
- The width of the Wabash driveway within Sub area B has been reduced from 25' to 24'.
- Five incidental signs, including the freestanding sign along Wabash Ave. are also shown on the attached exhibits.
- The following updated exhibits are attached:
 - Site Plan/Ground Floor Plan
 - Level 02 Floor Plan
 - West Elevation
 - East Elevation
 - Sign Specifications LL-02
 - Sign Specifications LL-03
 - Wabash Entrance Curb Cut Monument
 - Sign Specifications MON-01
 - Porte-Cochere Approach

The Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Please be advised that approval of the proposed signs and any future signs requires the submittal of a sign permit application for each. Once we receive the applications, approval can be granted if they comply with PD 1323 and Chapter 17-12 of the Zoning Ordinance.

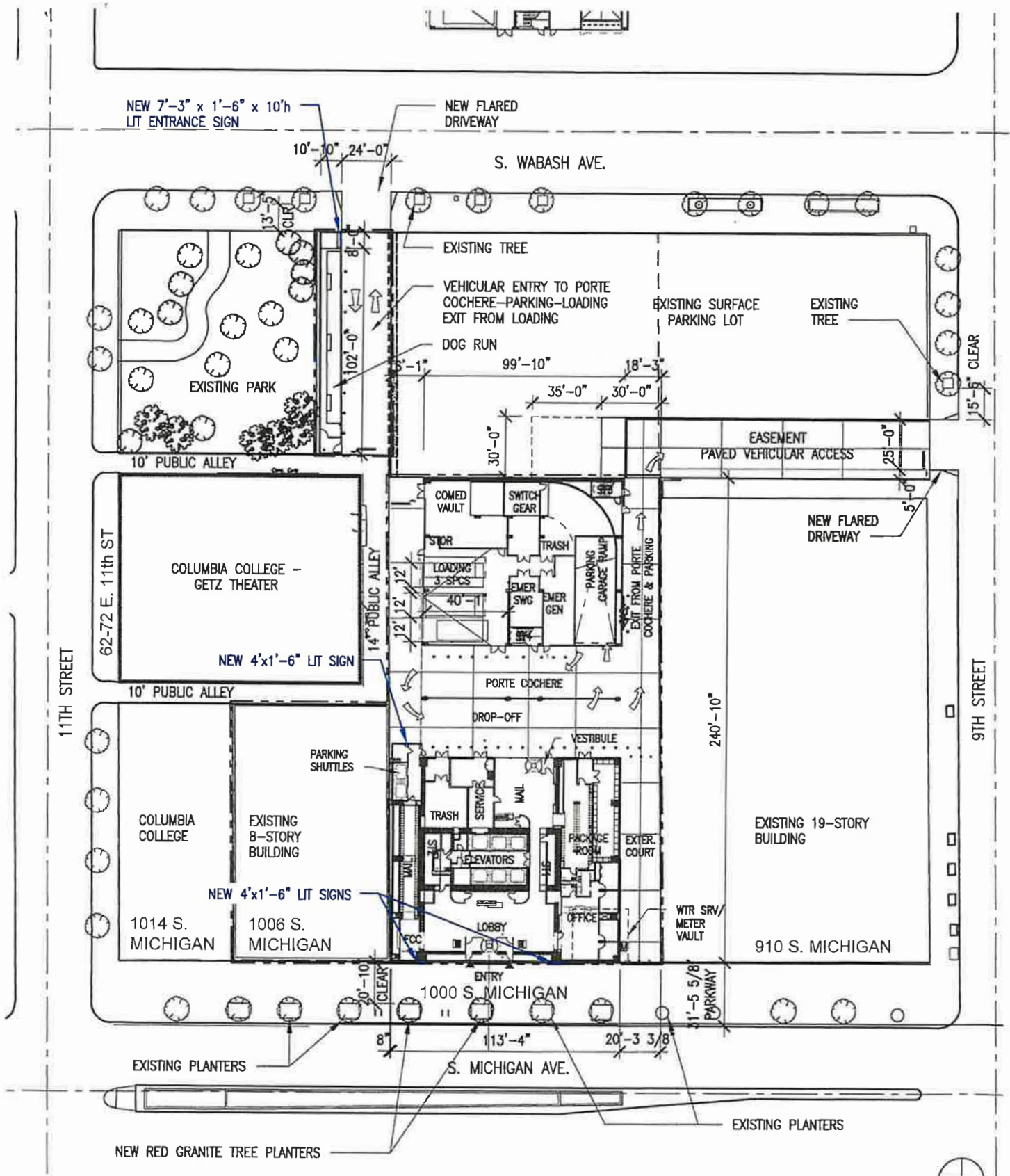
Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1323, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

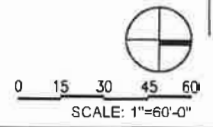


Noah Szafraniec
Assistant Commissioner, Plan Commission

C: Mike Marmo, Janice Hill, Main file

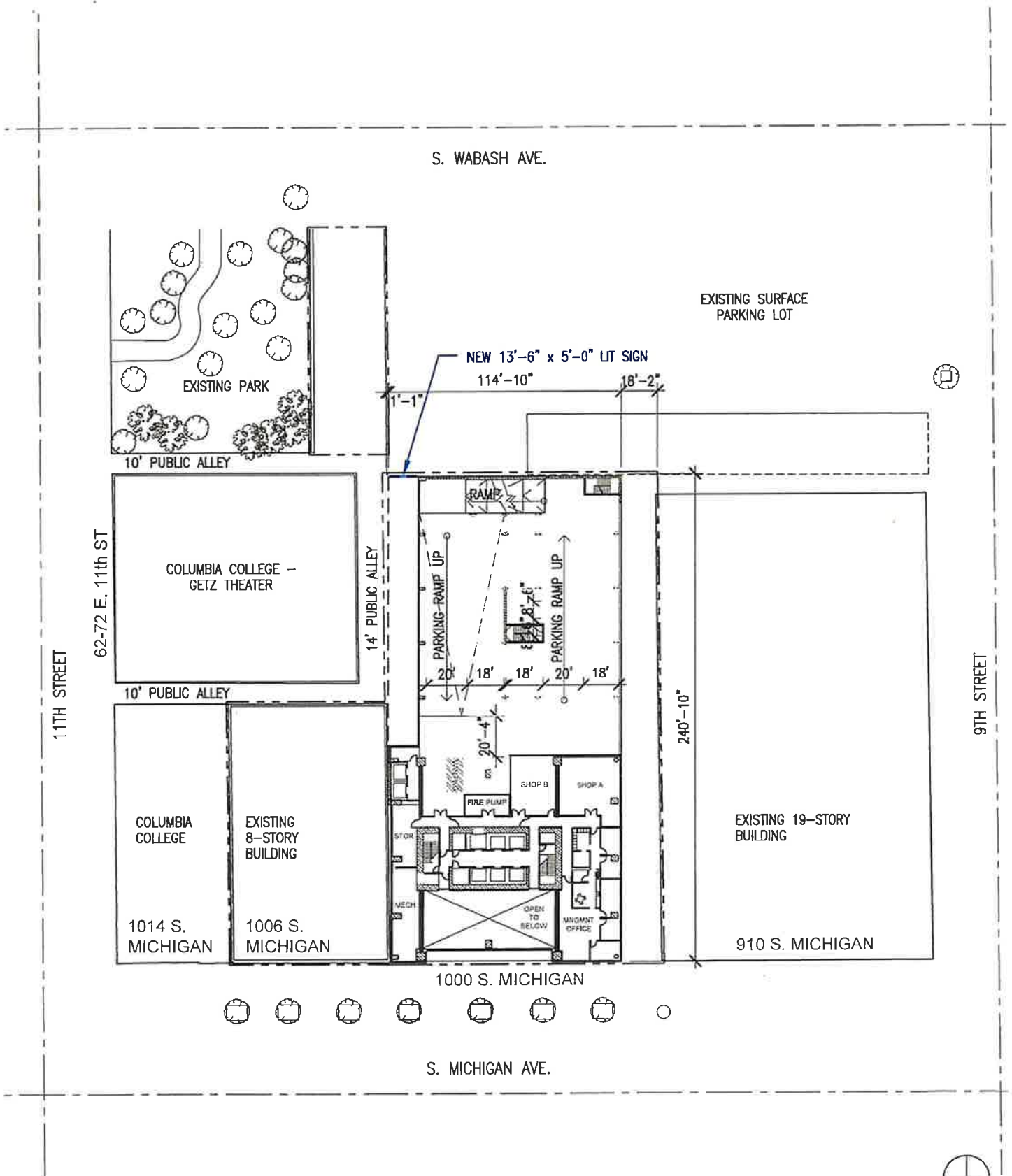


SITE PLAN / GROUND FLOOR PLAN

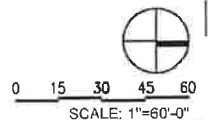


APPLICANT: 1000 SOUTH MICHIGAN EQUITIES LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
SEPTEMBER 05, 2023

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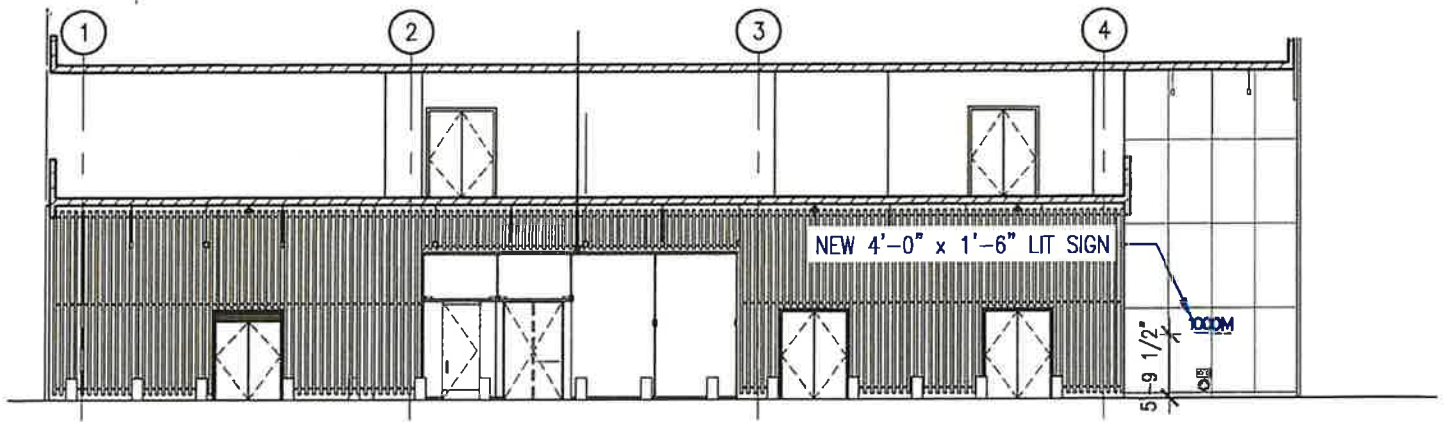


LEVEL 02 FLOOR PLAN



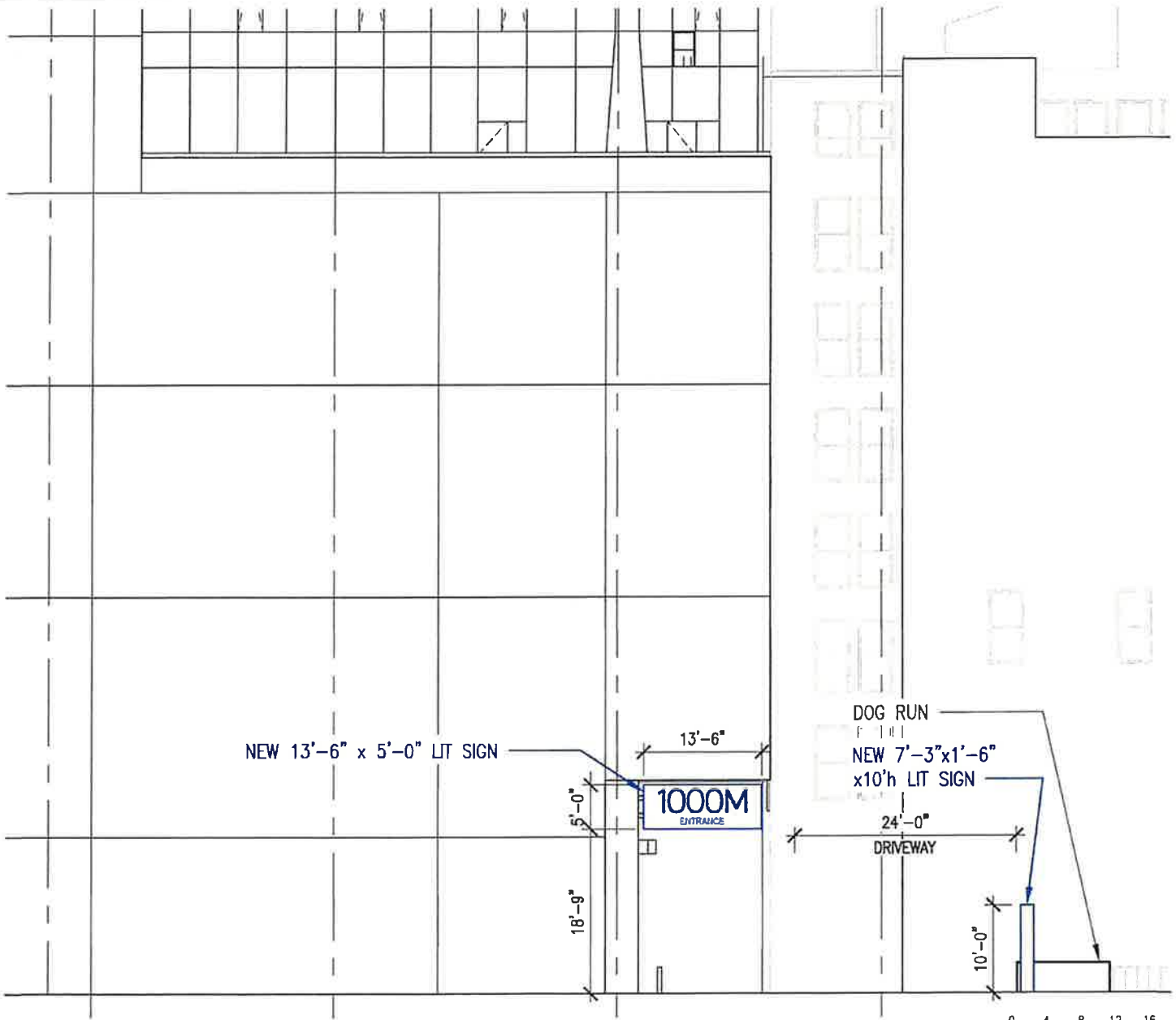
APPLICANT: 1000 SOUTH MICHIGAN EQUITIES LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 SEPTEMBER 05, 2023

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PORT COCHERE WEST ELEVATION

SCALE: 1/16" = 1'-0"

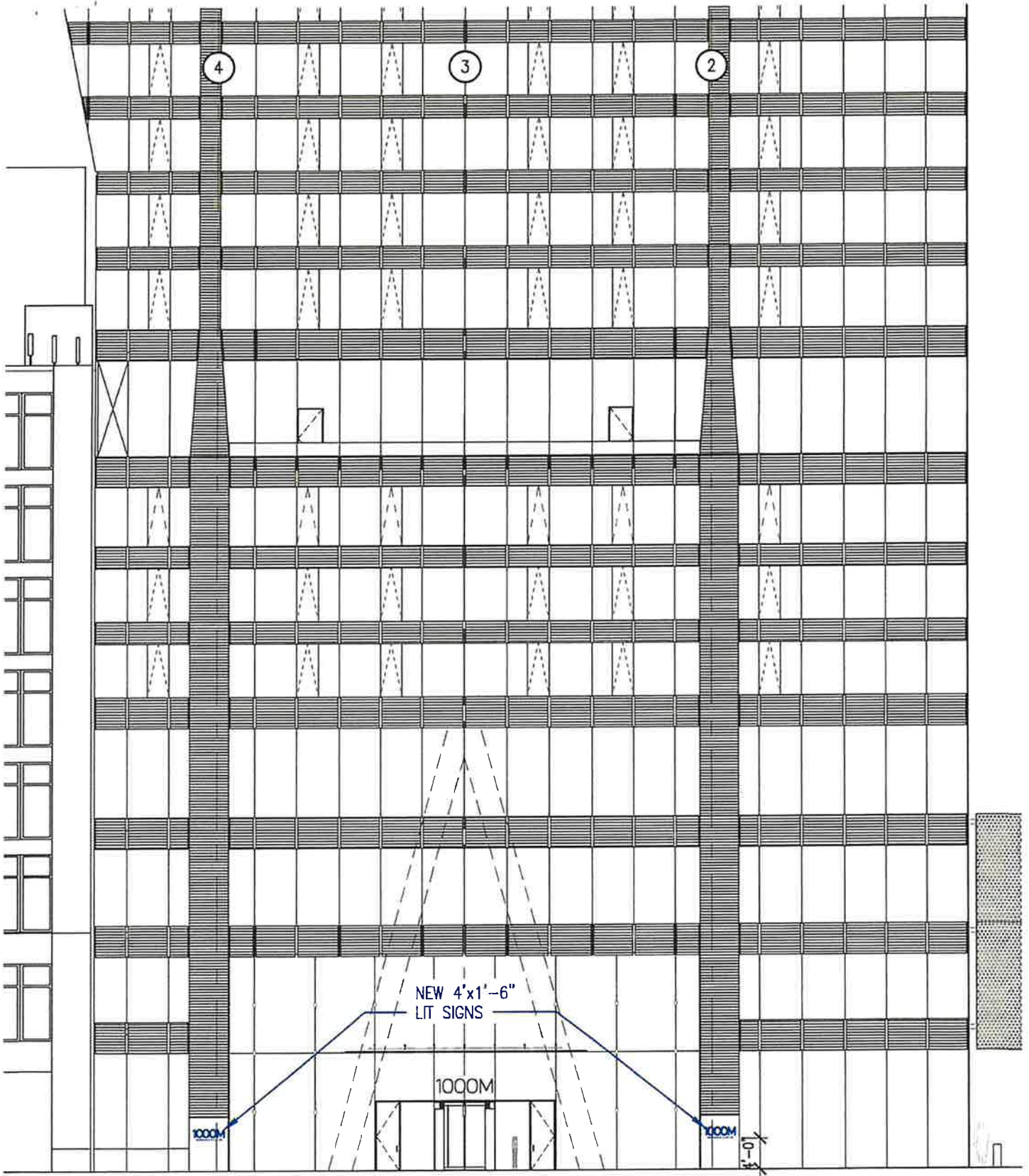


WEST ELEVATION

SCALE: 1/16" = 1'-0"

APPLICANT: 1000 SOUTH MICHIGAN EQUITIES LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 SEPTEMBER 05, 2023

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EAST ELEVATION

0 4 8 12 16
SCALE: 1/16" = 1'-0"

APPLICANT: 1000 SOUTH MICHIGAN EQUITIES LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
SEPTEMBER 05, 2023

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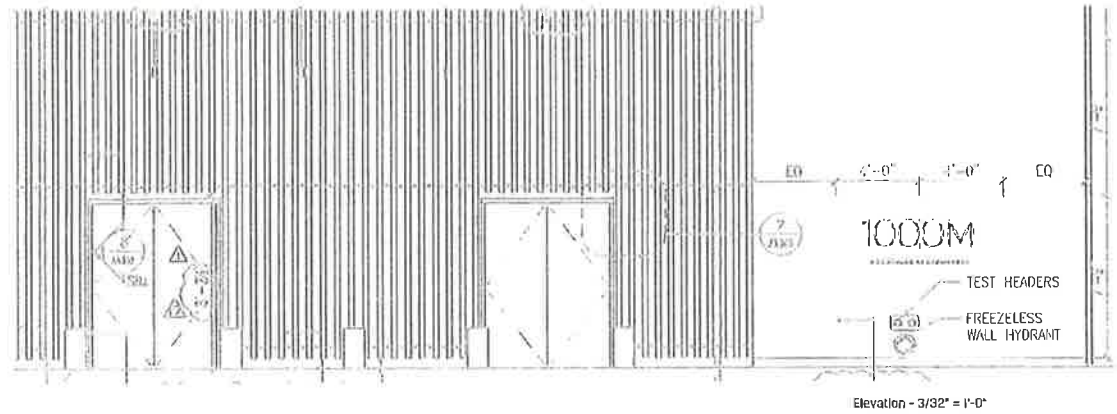
SIGN SPECIFICATIONS

(A) - ILLUMINATED LETTERS

Lighting: LED
 LED Color: White
 Description: Edge Lit 100 Illuminated Letters
 Depth: 2"
 Face Color: Polished Stainless Steel
 Return Color: Polished Stainless Steel
 Installation: Flush to wall

(B) - NON-ILLUMINATED LETTERS

Description: Fabricated
 Material: Stainless Steel*
 Depth: 1"
 Face Color: Polished Stainless Steel
 Returns: Polished Stainless Steel
 Installation: Flush to wall



Elevation - 3/32" = 1'-0"



Side View



Example of Illumination



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Project
1000 S. Michigan
 Chicago, Illinois

Scale: 1"=1'
 Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE

Prep: Dign Schumann Orig Date: 12/14/23
 Drawn By: Israel Hill

Sign Log. No. *

LL-02
 Lit Letters
 Sign Type

96622 **COI**
 OPP - Project - Job No Design

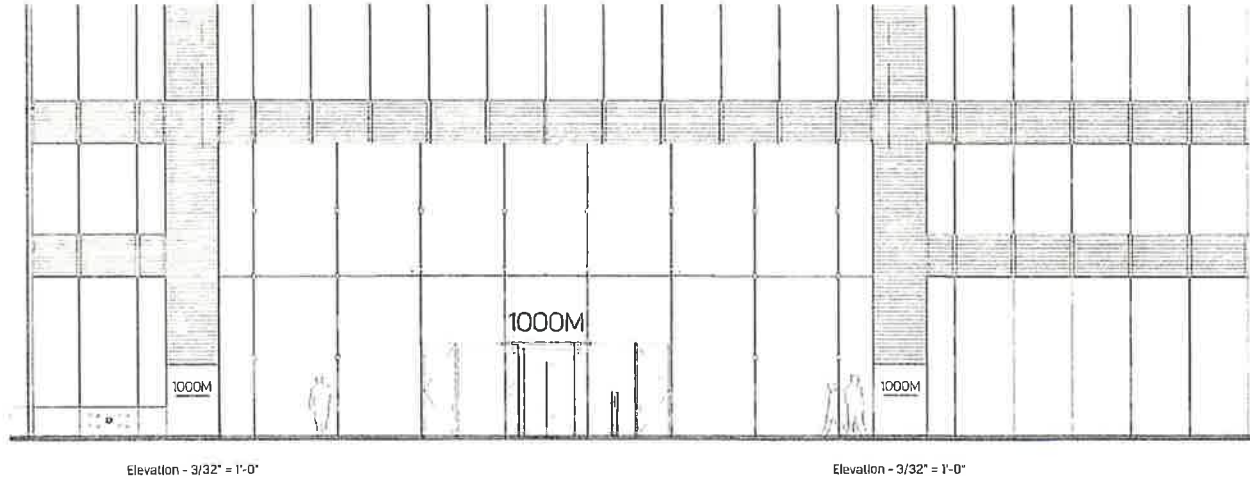
SIGN SPECIFICATIONS

(A) - ILLUMINATED LETTERS

Lighting: LED
 LED Color: White
 Description: Edge Lit 100 Illuminated Letters
 Depth: 2"
 Face Color: Black, Glossy Finish
 Return Color: Black, Glossy Finish
 Installation: Flush to wall

(B) - NON-ILLUMINATED LETTERS

Description: FCO
 Material: Aluminum
 Depth: 1"
 Face Color: Black, Glossy Finish
 Returns: Black, Glossy Finish
 Installation: Flush to wall



Elevation - 3/32" = 1'-0"

Elevation - 3/32" = 1'-0"



Side View



Example of Illumination



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Project

1000 S. Michigan
 Chicago, Illinois

Scale: 1 1/2"=1'

Original Page Size: 11" x 17"

Notes

SURVEY REQUIRED

Revisions

REV	DESCRIPTION	BY	DATE

App: Dan Schumann Date: 07/14/23
 Drawn by: Isabel Hill

Sign Loc. No. Various

LL-03

Lit Letters

Sign Type

96622

OPP - Project Job No.

CO1

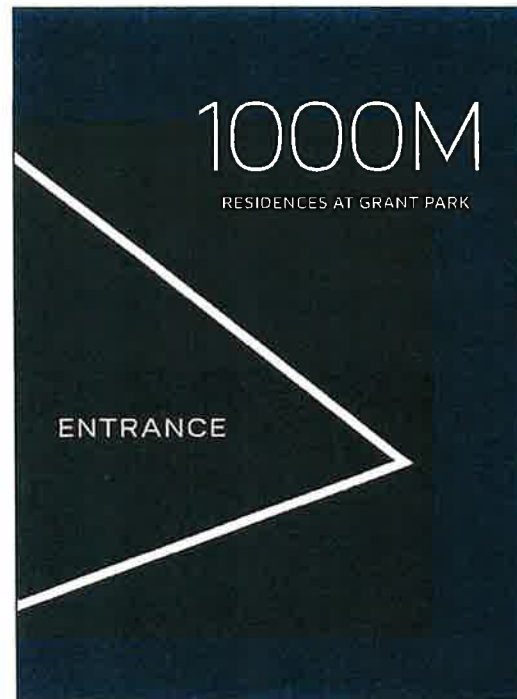
Design

WABASH ENTRANCE
CURB CUT MONUMENT



Details

- Acrylic full lit (face or face& sides) white lettering
- Acrylic full lit white arrow
- Internally lit box, semi-opaque teal panels on all sides



SIGN SPECIFICATIONS

[A] - CABINET

Lighting: Lit
LED Color: Cool White
Material: Aluminum
Face Color: Paint PMS 548c Blue
Cabinet Color: Paint PMS 548c Blue
Installation: New Structure

[B] - GRAPHICS

Material: Push-thru 1" proud of face
Color: White

[C] - GRAPHICS

Material: Push-thru 1/2" proud of face
Color: White

[D] - GRAPHICS

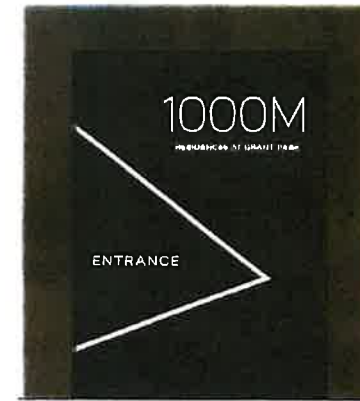
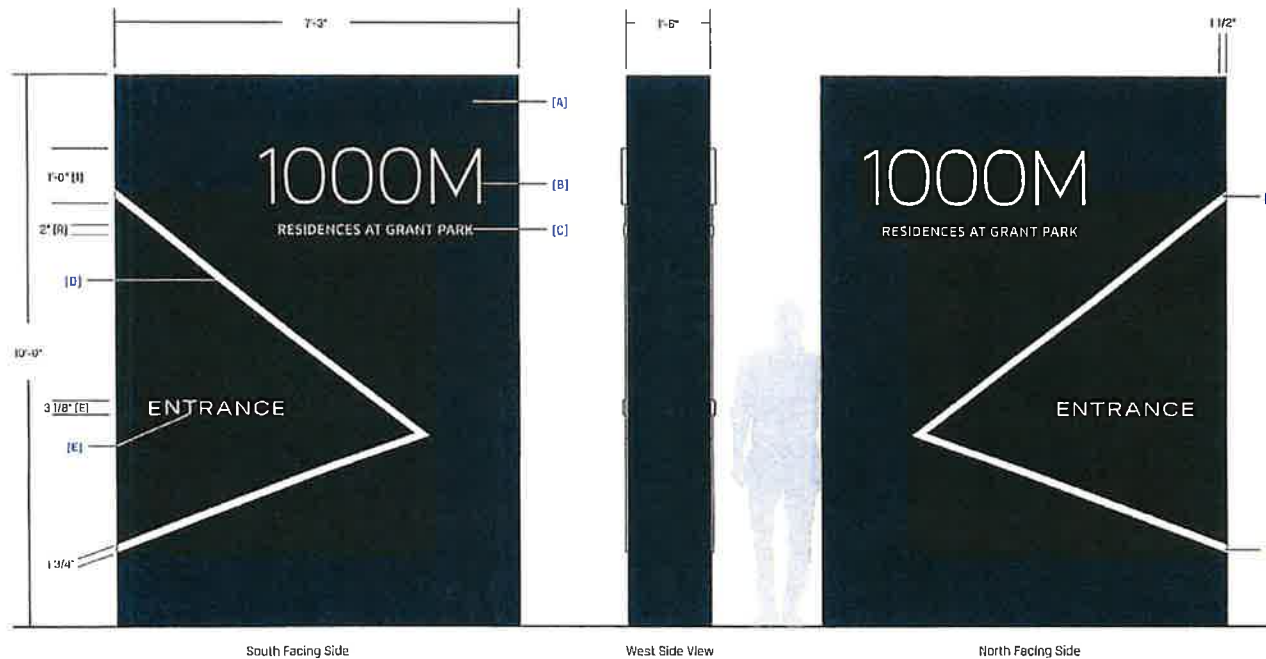
Material: Push-thru 1/4" proud of face
Color: White

[E] - GRAPHICS

Material: Push-thru 3/4" proud of face
Color: White

[F] - GRAPHICS

Material: 1/4" FCO Acrylic
Color: White
Installation: Attached flush to cabinet to continue arrow strip to edge of sign. Does not illuminate



Illuminated View - NTS



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Project

1000 S. Michigan
Chicago, Illinois

Scale: 1/2"=1'

Original Page Size: 11" x 17"

Notes

1.

Revisions

REV	DESCRIPTION	BY	DATE
1			

Rep. Don Schumann Orig. Date: 07/14/23
Drawn By: Israel Hill

Sign Loc. No. 1

MON-01

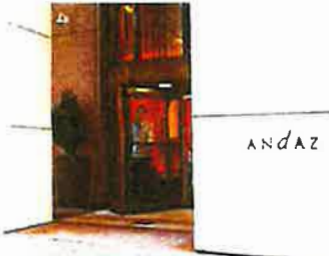
D/F Monument
Sign type

98622
DPP - Project - Job No.

COI
Design

PORTE-COCHÈRE
APPROACH

concept floor



Details

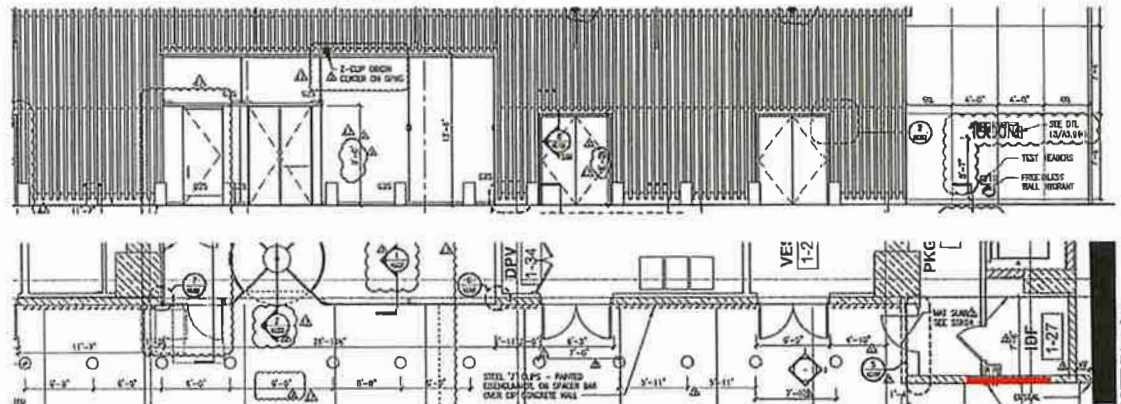
- Mirror polish stainless steel
- Flush halo-lit
- Affixed to concrete at approach

1000M

RESIDENCES AT GRANT PARK



1000M



Reclassification Of Area Shown On Map No. 4-E.

(As Amended)

(Application No. 20589)

(Common Address: 920 -- 1006 S. Michigan Ave. And 1011 -- 1015 S. Wabash Ave.)

[SO2021-314]

RBPD 1323, AA

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the Residential-Business Planned Development Number 1323 symbols and indications as shown on Map Number 4-E in the area bounded by:

a line 134.28 feet south of and parallel to East 9th Street; South Michigan Avenue; a line 56.07 feet north of and parallel to East 11th Street; the alley next west of and parallel to South Michigan Avenue; the alley next north of and parallel to East 11th Street; the alley next east of and parallel to South Wabash Avenue; a line 99.33 feet north of and parallel to East 11th Street; South Wabash Avenue; a line 135.40 feet north of and parallel to East 11th Street; and a line 240.94 feet west of and parallel to South Michigan Avenue,

to the designation of Residential-Business Planned Development Number 1323, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached herewith and made a part thereof and to no others.

SECTION 2. This ordinance shall take effect upon its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Planned Development Statements.

1. The area delineated herein as Residential-Business Planned Development Number 1323 ("Planned Development") consists of approximately 46,287 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned, controlled or zoning consent has been received by the Applicant, 1000 South Michigan Equities LLC.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights

granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.

3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assign or grantees. Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of seventeen (17) Statements; a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line and Subarea Map; Site Plan/Ground Floor Plan; Landscape Plan and Details; Typical Parking Level Plan; Green Roof Plan; Building Elevations (North, South, East and West); and Building Section Plan prepared by Jahn Architecture and dated June 17, 2021, submitted herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.
5. The following uses are permitted in the area delineated herein as a Residential-Business Planned Development. In each of the following subareas, the following uses shall be permitted in this Planned Development:

Subarea A:

residential uses, including up to 738 dwelling units; general retail sales; eating and drinking establishments; liquor sales as an incidental use; accessory parking, of which 45 percent of the required residential parking (maximum 144 spaces) may be leased out on a daily, weekly or monthly basis to persons who are not residents, tenants, patrons, employees or guests of the principal uses; co-location of wireless telecommunication and satellite facilities; related facilities and accessory uses. The following uses shall be prohibited: lodging (all), including but not limited to hotel, vacation rental and shared housing units.

Subarea B:

office; general retail sales; school; college; universities; day care; eating and drinking establishments; liquor sales as an incidental use; accessory parking; co-location of wireless telecommunication and satellite facilities; related facilities and accessory uses.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted floor area ratio identified in the Bulk Regulations Table has been determined using a net site area of 46,287 square feet and a base FAR of 16.00. The improvements to be constructed on the Property will utilize the following series of FAR bonuses:

Description (list of all bonuses applied for and calculations)	FAR
Base FAR:	16.00
Concealed Parking Facade:	1.43
Setback Bonus:	2.26
Affordable Housing Bonus:	1.03
Neighborhood Opportunity Fund Bonus:	0.50
Total FAR:	21.22

The Applicant acknowledges that the project has received a Neighborhood Opportunity Fund bonus FAR of 0.50 or 23,144 square feet, pursuant to Section 17-4-1000 of the Zoning Ordinance. With this bonus FAR, the total FAR for the Planned Development is 21.22. In exchange for the bonus FAR, the Applicant is required to make a corresponding payment, pursuant to Sections 17-4-1003-B and C, prior to the issuance of the first building permit for any building in the Planned Development; provided, however, if the Planned Development is constructed in phases, the bonus payment may be paid on a pro rata basis as the first building permit for each subsequent new building or phase of construction is issued. The bonus payment will be recalculated at the time of payment (including partial payments for phased developments) and may be adjusted based on changes in median land values in accordance with Section 17-4-1003-C.3.

The bonus payment will be split between three separate funds, as follows: 80 percent to the Neighborhoods Opportunity Fund, 10 percent to the Citywide Adopt-a-Landmark Fund and 10 percent to the Local Impact Fund. In lieu of paying the City directly, the department may: (a) direct developers to deposit a portion of the funds with a sister agency to finance specific local improvement projects; (b) direct developers to deposit a portion of the funds with a landmark property owner to finance specific landmark restoration projects; or, (c) approve proposals for in-kind improvements to satisfy the Local Impact portion of the payment.

9. The Applicant acknowledges and agrees that the rezoning of the Property from RBPB Number 1323 to RBPB, as amended, triggers the requirements of Section 2-44-080 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a "residential housing project" within the meaning of the ARO must: (i) set aside 10 percent of the housing units in the residential housing project (ARO Units) as affordable units, or with the approval of the Commissioner of the Department of Housing ("DOH"), subject to the transition provisions of Section 2-44-040(c), in consultation with the Commissioner of the Department of Planning and Development ("DPD") as appropriate (here, the "Commissioner"); (ii) pay a fee in lieu of the development of the Required Units (Cash Payment); or, (iii) any combination of (i) and (ii). The Property is located in a downtown district within the meaning of the ARO, and the project has a total of 738 units. The ARO obligation for 506 of the 738 units was satisfied by a Density Bonus payment in the amount of \$828,502.40 on November 13, 2019. The project has a total of 232 additional units pursuant to this P.D. amendment. As a result, the Applicant's affordable housing obligation is 23 ARO Units (10 percent of 232 rounded down). Applicant has agreed to satisfy its affordable housing obligation by providing 23 ARO Units in the rental building to be constructed in the Planned Development, to be approved by DOH in consultation with DPD as appropriate, as set forth in the Affordable Housing Profile Form attached hereto as Exhibit A. The Applicant agrees that the ARO Units must be affordable to households

earning no more than 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually by the City of Chicago. If the Applicant subsequently reduces (or increases) the number of housing units in the Planned Development, or elects to build a for-sale project instead, the Applicant shall update and resubmit the Affordable Housing Profile Form to the Department of Housing for review and approval, and DOH may adjust the requirements or number of required ARO Units without amending the Planned Development. Prior to the issuance of any building permits for any residential building in the Planned Development, including, without limitation, excavation or foundation permits, the Applicant must execute and record an affordable housing agreement in accordance with Section 2-44-080(L).

The terms of the affordable housing agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the affordable housing agreement will be recorded against the Planned Development, or the applicable portion thereof, and will constitute a lien against such property. The Commissioner of DOH may enforce remedies for any breach of this Statement 9, including any breach of any affordable housing agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development.

10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
11. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II approval.
12. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that code.
13. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal

access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

15. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. The Applicant shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy, in effect at the time the Part II Review process is initiated for each improvement that is subject to the aforementioned policy and must provide documentation verifying compliance.
16. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of city residents in the construction work. The City encourages goals of (i) 29 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the

Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

- 17. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to the Residential-Business Planned Development Number 1323 dated May 18, 2016.

[Levels 05, 06, 07, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 22 through 39, 40 through 54, 55 through 69, and 70 through 72; Existing Zoning Map; Existing Land-Use Map; Boundary, Property Line and Subarea Map; Site Plan/Ground Floor Plan; Landscape Plan; Landscape Details; Typical Parking Level; Green Roof Plan; North, South, East and West Building Elevations; and Building Section referred to in these Plan of Development Statements printed on pages 32274 through 32297 of this *Journal*.]

Bulk Regulations and Data Table and ARO Affordable Housing Profile Form (AHP) and ARO Web Form referred to in these Plan of Development Statements read as follows:

Residential-Business Planned Development No. 1323.

Bulk Regulations And Data Table.

1000 S. Michigan Ave. -- S. Michigan Ave./E. 11th St./S. Wabash Ave./E. 9th St.

	Subarea A 1000 S. Michigan Ave.	Subarea B 1006 S. Michigan Ave. and S. Wabash Ave. Parcel	Total
Gross Site Area (Net Site Area + Area in Right-of- Way):	41,884 square feet	21,388 square feet	63,272 square feet
Area in Public Right-of-Way:	9,545 square feet	7,440 square feet	16,985 square feet
Net Site Area:	32,339 square feet	13,948 square feet	46,287 square feet

	Subarea A 1000 S. Michigan Ave.	Subarea B 1006 S. Michigan Ave. and S. Wabash Ave. Parcel	Total
Maximum Floor Area Ratio:	27.94	5.66	21.22
FAR Area:	903,455 square feet	78,881 square feet (existing)	982,336 square feet
Maximum Number of Residential Units:	738	0	738
Minimum Number of Off-Street Parking Spaces Provided:	325	0	325
Minimum Number of Bicycle Spaces:	356 Provided	0	356 Provided
Minimum Number of Off-Street Loading Docks:	3	1 (existing)	4
Minimum Building Setbacks:	As per Site Plan	None (existing)	--
Maximum Building Height:	805 feet	102 feet (existing)	--
Green Features ⁽¹⁾ :	Green Roof + Green Globes	None	--

⁽¹⁾ The development shall obtain the number of points necessary to meet the requirements of the Chicago Sustainability Policy.

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ARO Affordable Housing Profile Form (AHP)

Submit this form for projects that are subject to the 2015 ARO, Near North/Near West Pilot, Milwaukee Pilot or Pilsen/Little Village Pilot Ordinances (all projects submitted to City Council after October 13, 2015). More information is online at www.cityofchicago.gov/ARO. Submit the completed to the Department of Housing (DOH), 121 N LaSalle Street, 10th Floor, Chicago, IL 60602. E-mail: denise.roman@cityofchicago.org or justin.root@cityofchicago.org. Applications that include off-site units should submit documentation listed on page two.

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Date: April 14, 2021

DEVELOPMENT INFORMATION

Development Name: 1000M

Development Address: 1000 S. Michigan Avenue

Zoning Application Number, if applicable: 20589

Ward: 4

If you are working with a Planner at the City, what is his/her name? Heidi Sperry

Type of City Involvement
check all that apply

City Land

xx Planned Development (PD)

Financial Assistance

Transit Served Location (TSL) project

Zoning increase

REQUIRED ATTACHMENTS: the AHP will not be reviewed until all required docs are received

ARO Web Form completed and attached - or submitted online on

ARO "Affordable Unit Details and Square Footage" worksheet completed and attached (*Excel*)

If ARO units proposed, Dimensioned Floor Plans with affordable units highlighted are attached (*pdf*)

If ARO units proposed are off-site, required attachments are included (see next page)

If ARO units are CHA/Authorized Agency units, signed acceptance letter is attached (*pdf*)

DEVELOPER INFORMATION

Developer Name 1000 South Michigan Equities LLC

Developer Contact Jordan Karlik

Developer Address 1044 Northern Blvd., Suite 303, Roslyn NY 11576

Email jordan@jkequities.com

Developer Phone 615-622-7500

Attorney Name John J. George / Chris L. Leach

Attorney Phone 312-870-8022 / 312-870-8023

TIMING

Estimated date marketing will begin 1st QTR 2024

Estimated date of building permit* 4th QTR 2021

Estimated date ARO units will be complete 3rd QTR 2024

*the in-lieu fee, recorded covenant and \$5,000 per unit administration fee (for off-site units) are required prior to the issuance of any building permits, including the foundation permit.

PROPOSED UNITS MEET REQUIREMENTS (to be executed by Developer & ARO Project Manager)

Jordan Karlik
Developer or their agent

4/14/21
Date

Justin Root or Denise Roman, DOH

April 19, 2021
Date

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ARO Web Form

Applicant Contact Information

Name: 1000 South Michigan Equities LLC

Email: jordan@jkequities.com

Development Information

Are you rezoning to downtown?: Yes

Is your project subject to the ARO Pilots?: 2015 ARO REQUIREMENTS APPLY

Address**Submitted Date: 04/07/2021**

Number From :1000 Number To: N/A Direction: S

Street Number:Michigan Postal Code: 60605

Development Name

1000M

Information

Ward :4

ARO Zone: Downtown

Details

ARO trigger :Downtown Planned Development

Total units: 232

Development type: Rent

TSL Project : TSL-or FAR doesn't exceed 3.5

Submitted date: 04/07/2021

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Requirements

Affordable units :23 *On-site aff. Units: 6

How do you intend to meet your required obligation

On-Site: 23 Off-Site: 0

On-Site to CHA or Authorized agency: 0 Off-Site to CHA or Authorized agency: 0

Total Units: 23 In-Lieu Fee Owed: 0

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All projects with proposed ARO units must complete this tab

	Market Rate Units	Affordable Units	Summary							
			unit type	market rate			ARO			affordable v. market square footage*
				how many?	% of total	avg. square footage	how many?*	% of total	avg. square footage	
Parking			studio	358	50%	571	11	48%	495	87%
Laundry	W/D in Unit	W/D in Unit	one-bed	188	26%	838	6	26%	738	88%
Appliances			two-bed	143	20%	1,394	5	22%	1,191	85%
Refrigerator <i>age/EnergyStar/make/model/color</i>	TBD	Same as Market	three-bed	27	4%	2,330	1	4%	2,022	87%
Dishwasher <i>age/EnergyStar/make/model/color</i>	TBD	Same as Market								
Stove/Oven <i>age/EnergyStar/make/model/color</i>	TBD	Same as Market								
Microwave <i>age/EnergyStar/make/model/color</i>	TBD	Same as Market								
Bathroom(s) <i>how many?</i> <i>Half bath? Full bath?</i>	Eff/1BD = 1 bath/ 2BD=2ba or 2ba+half/3BD=3ba+half	Eff/1BD = 1 bath/ 2BD=2ba /3BD=2ba								
Kitchen countertops <i>material</i>	TBD	Same as Market								
Flooring <i>material</i>	TBD	Same as Market								
HVAC	TBD	Same as Market								
Other										

Project Name	1000M
Zoning Application number, if applicable	PD 1329
Address	1000 South Michigan Ave, Chicago IL 60605
Is this a For Sale or Rental Project?	Rental
Anticipated average psf rent/price?*	
Total Units in Project	738
Total Affordable units	23

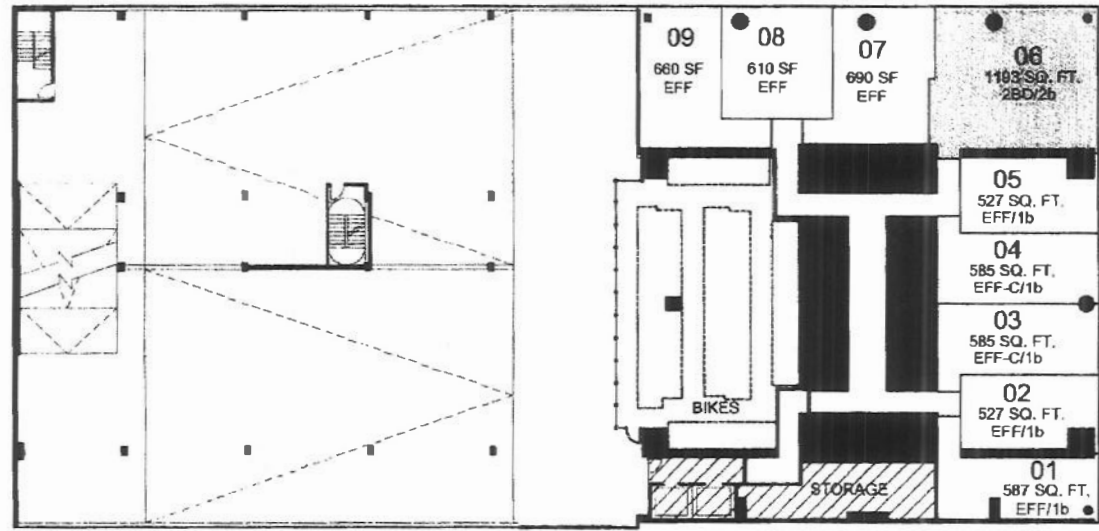
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32273

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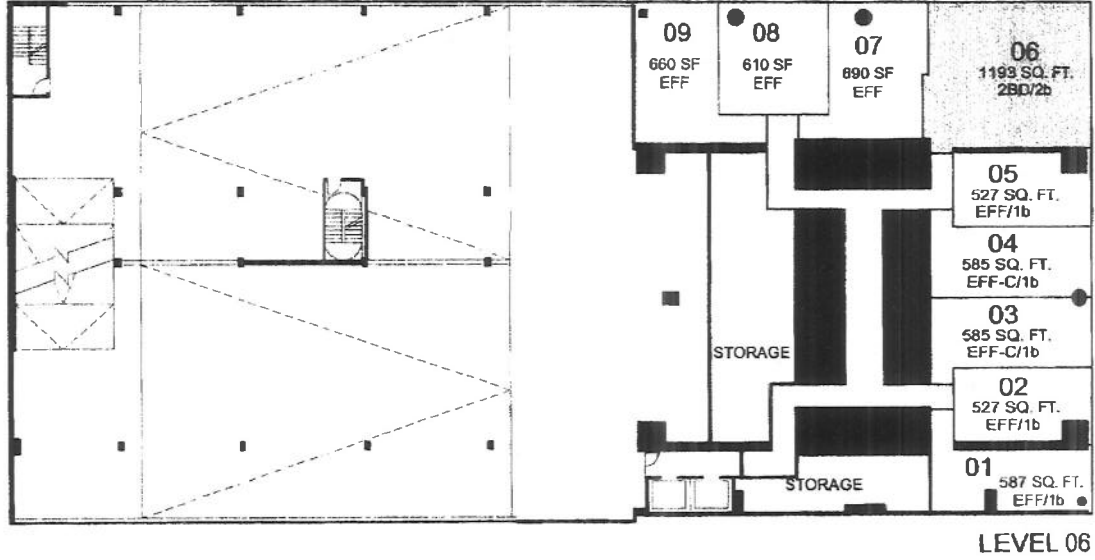
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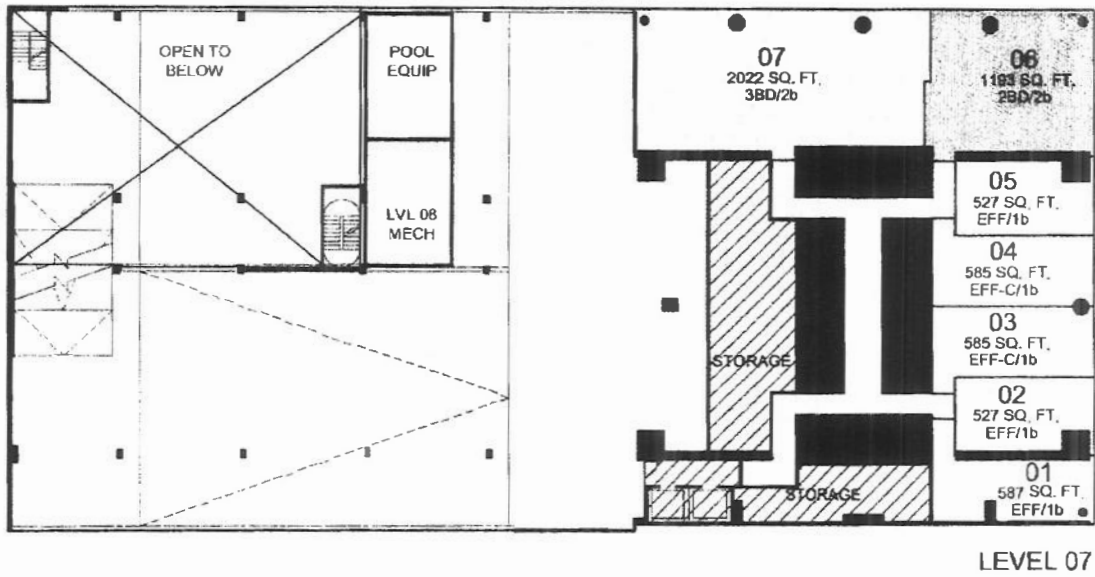


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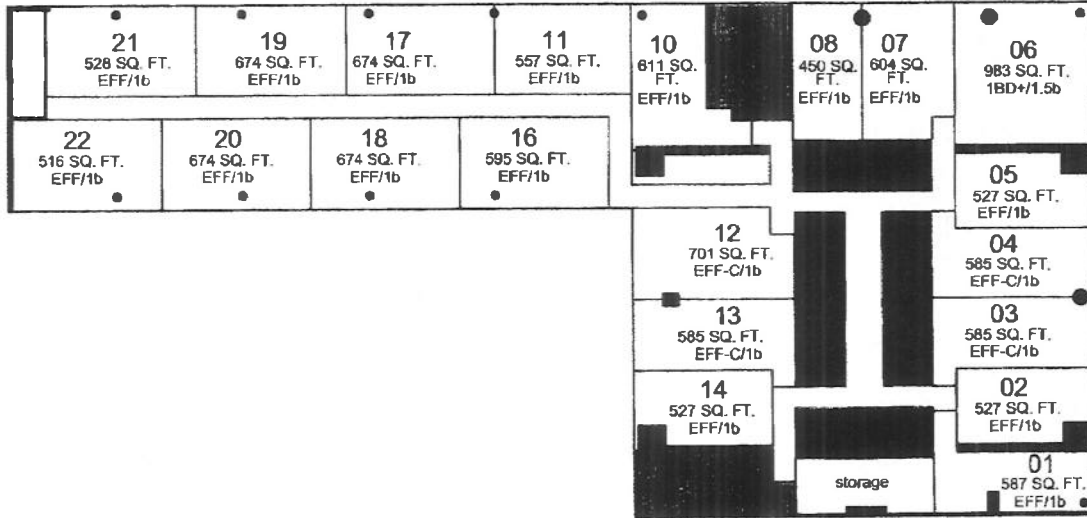
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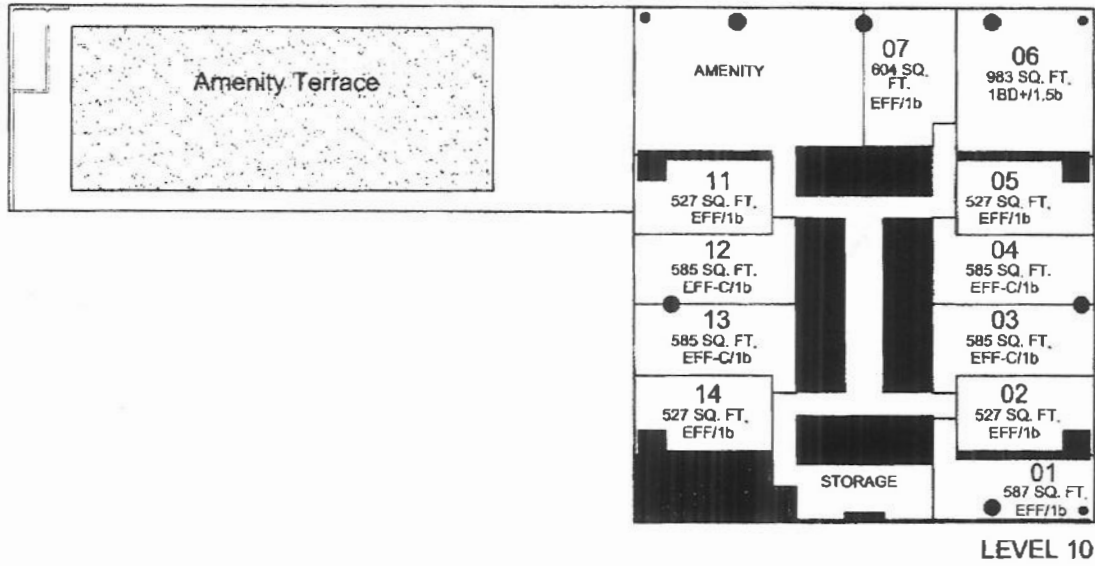
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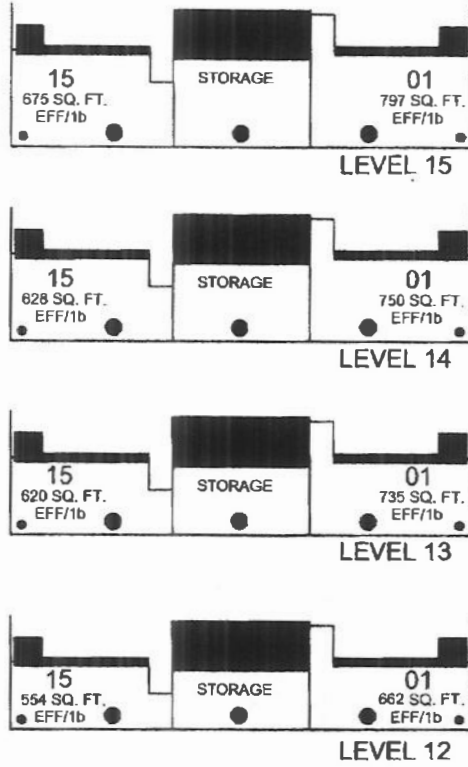
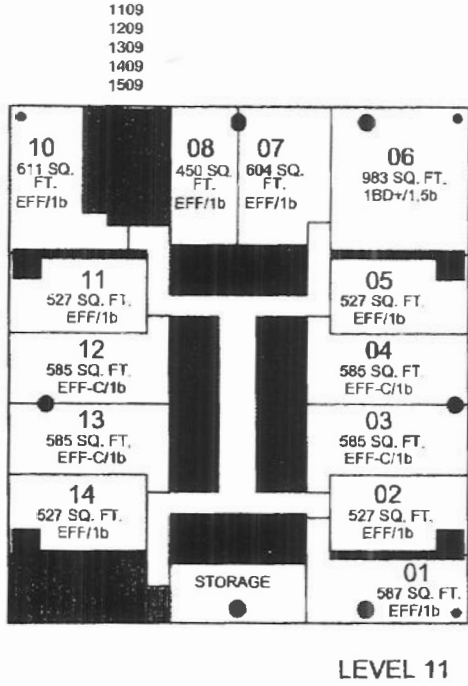


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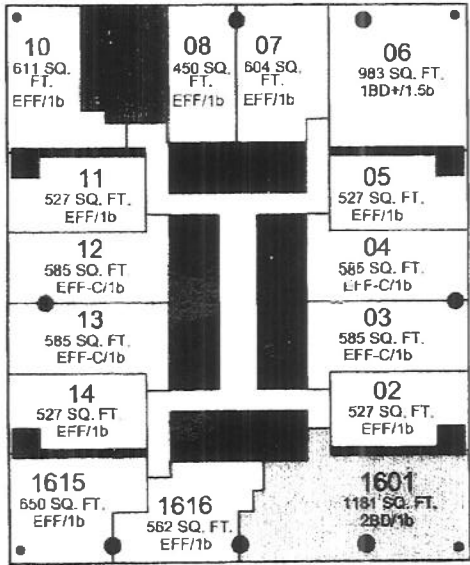
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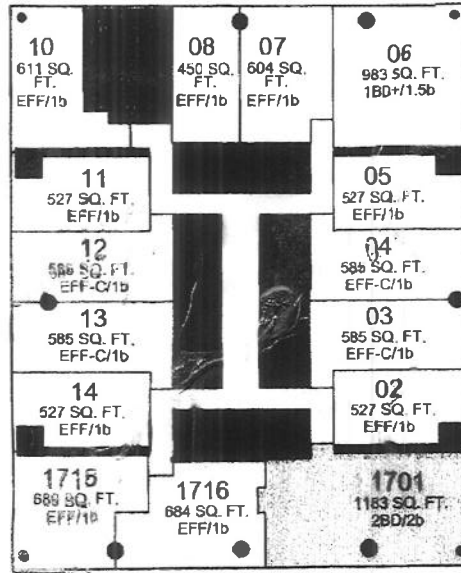
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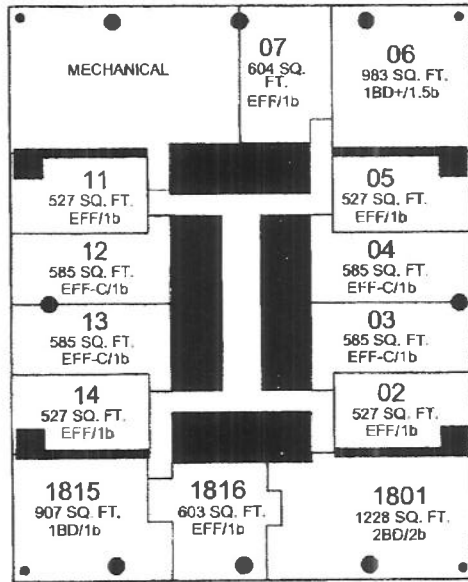
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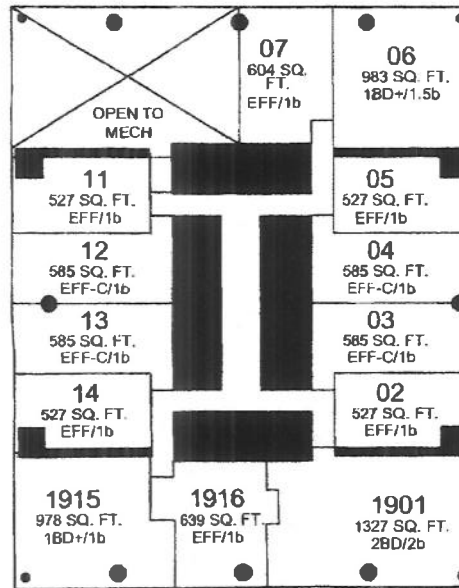
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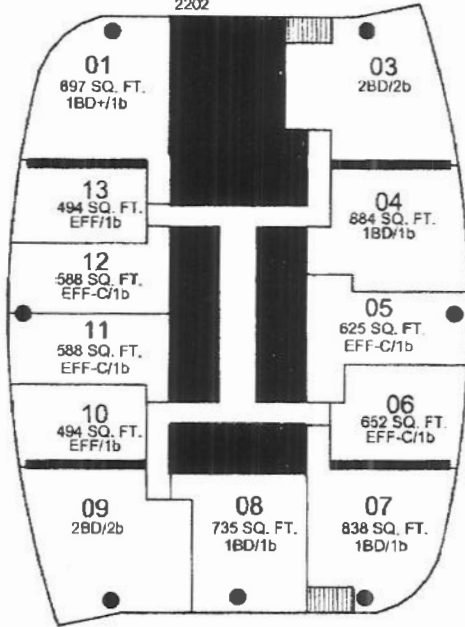
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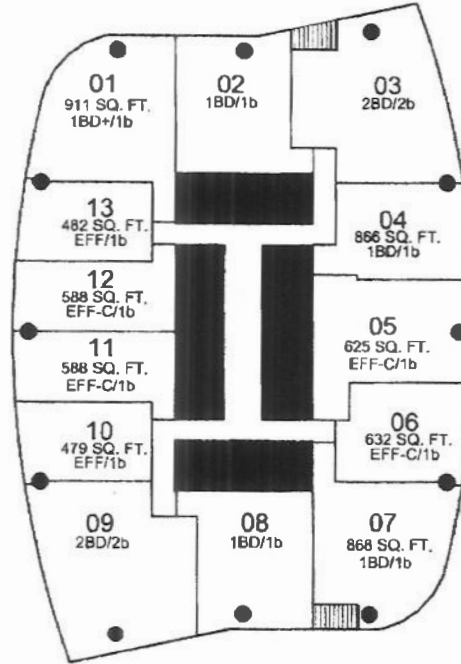
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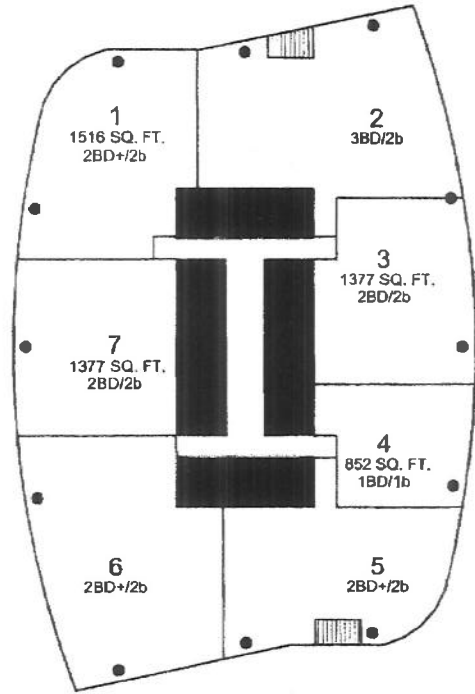
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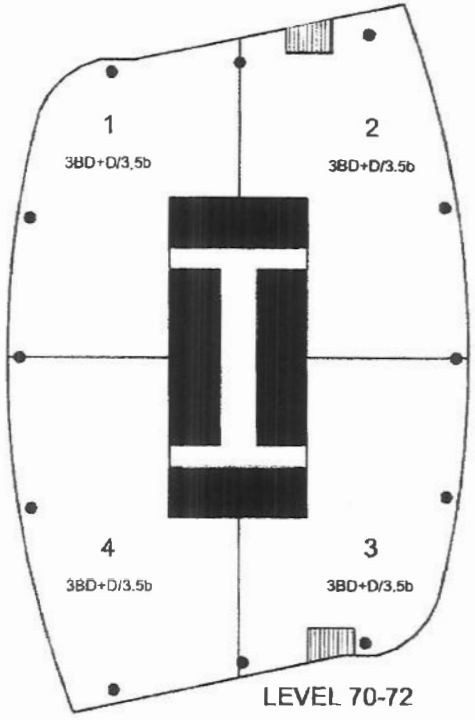
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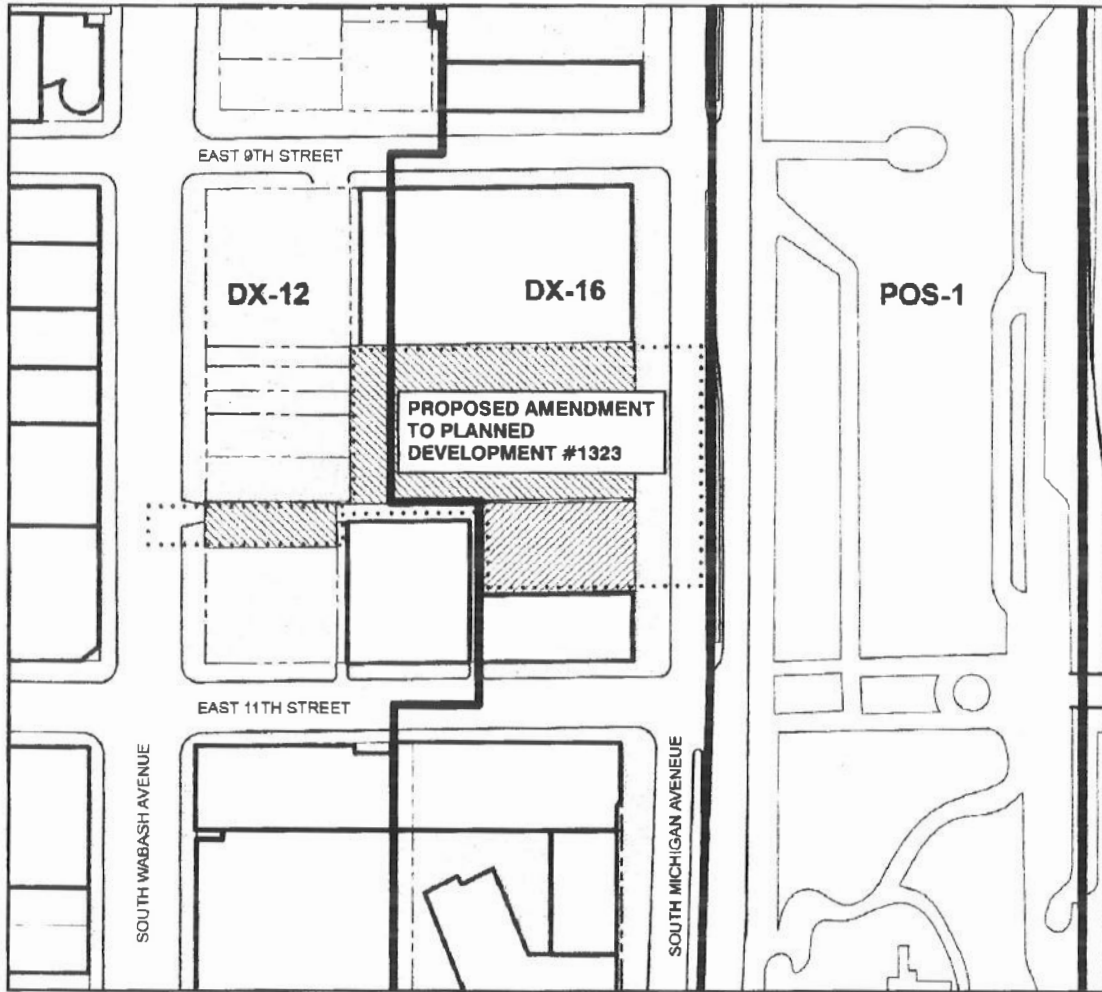


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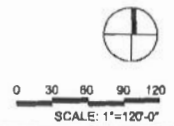
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EXISTING ZONING MAP

APPLICANT

JUNE 17, 2020



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EXISTING LAND USE MAP

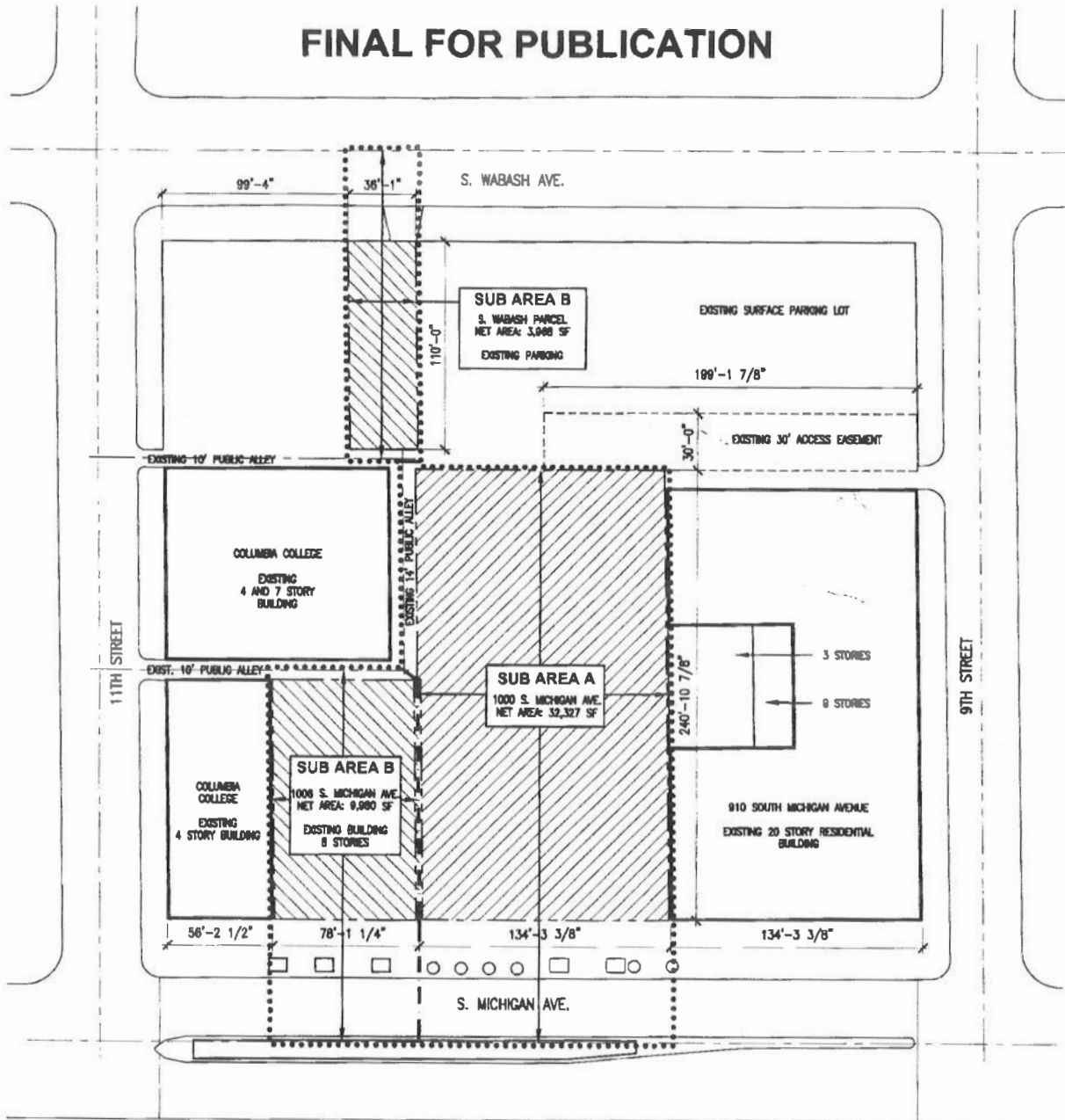
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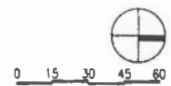


SITE AREA SUMMARY

SUB AREA A:		SUB AREA B:	
GROSS AREA:	41,894 SF	GROSS AREA:	21,388 SF
RIGHT-OF-WAY:	9,557 SF	RIGHT-OF-WAY:	7,440 SF
NET AREA:	32,327 SF	NET AREA:	13,948 SF

TOTAL NET AREA = 46,275 SF
(NET AREAS A+B)

**PLANNED DEVELOPMENT BOUNDARY,
PROPERTY LINE AND SUBAREA MAP**



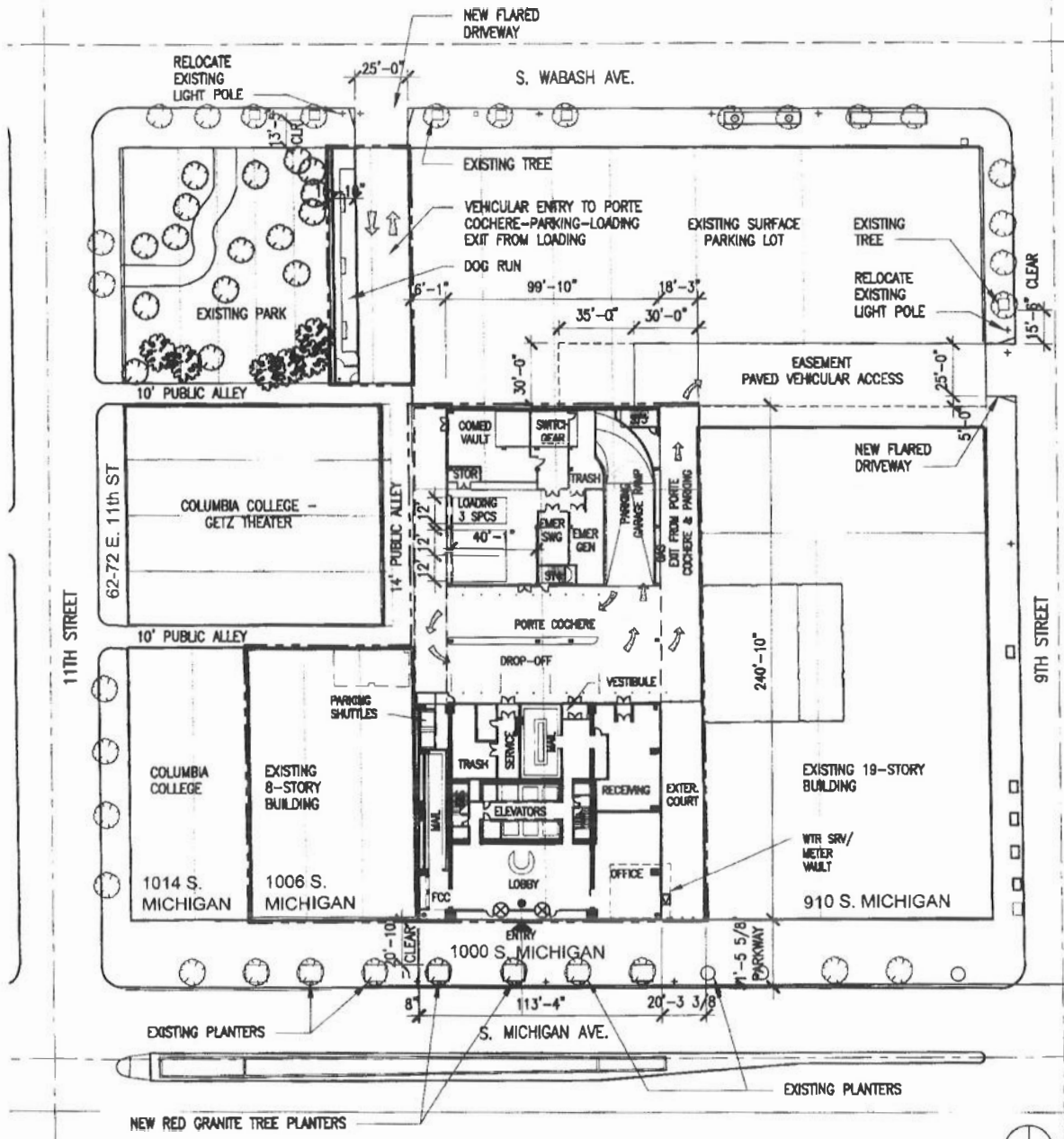
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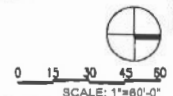
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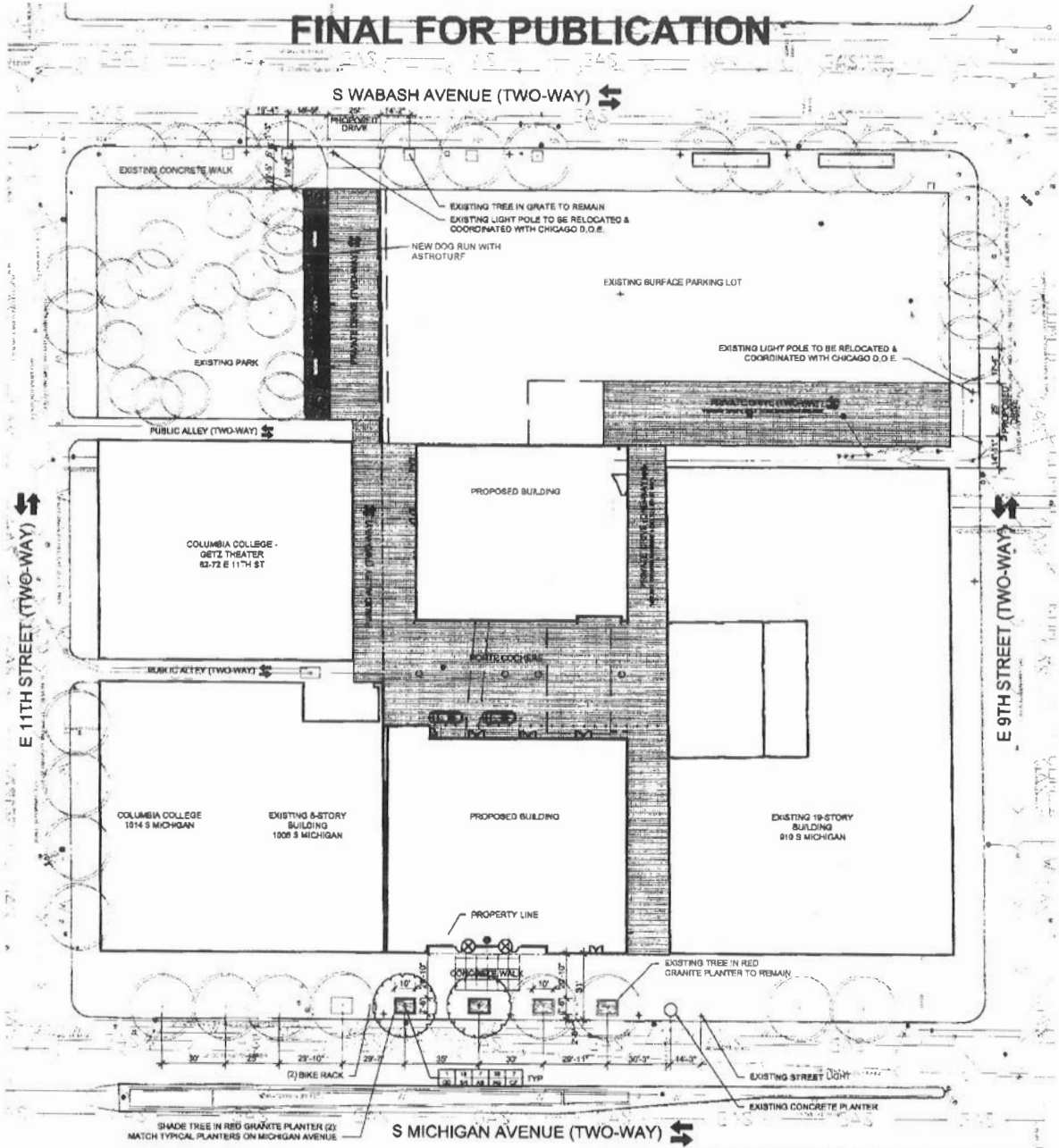


SITE PLAN / GROUND FLOOR PLAN



APPLICANT: 1000 SOUTH MICHIGAN EQUITIES LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 INTRO DATE: JANUARY 27, 2021
 CPC DATE: JUNE 17, 2020

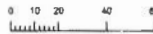
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LANDSCAPE PLAN

APPLICANT

JUNE 17, 2020

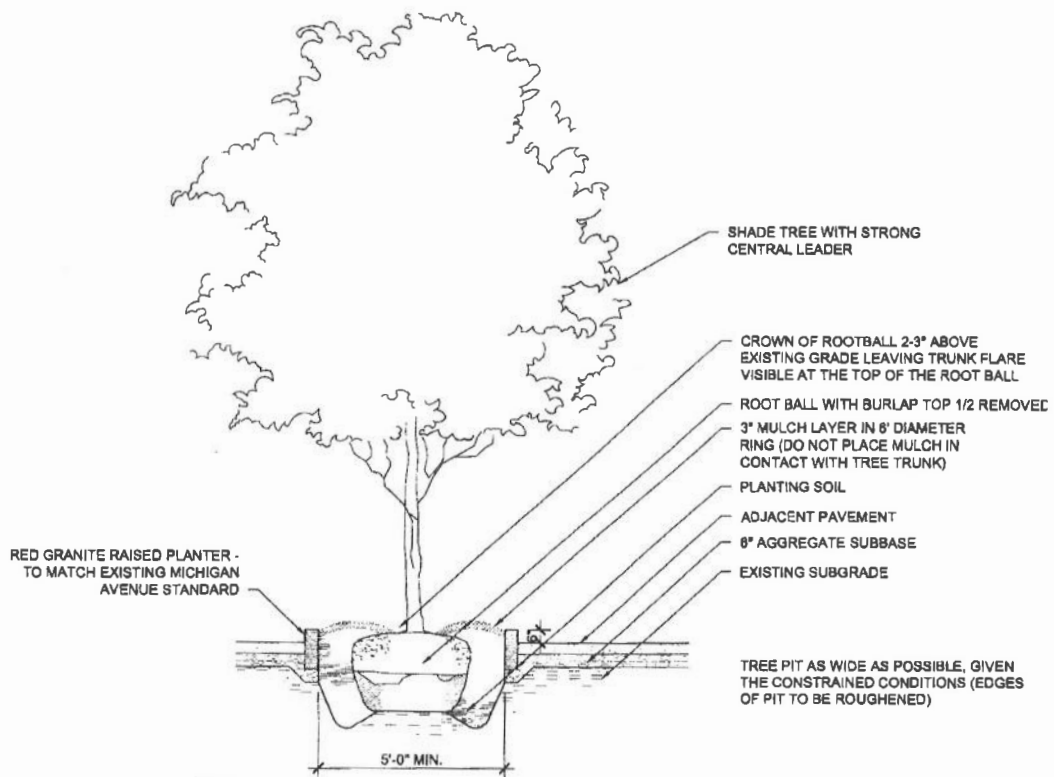


PLANT SCHEDULE					
CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	REMARKS
TREES					
GO	2	<i>Gymnocladia dioica</i>	Kentucky Coffee Tree	8MM 4' 0"	matching roads
ORNAMENTAL GRASSES					
SH	35	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Grass	cont #1	18" o.c.
PERENNIALS					
AS	14	<i>Alkermis</i> 'Summer Beauty'	Summer Beauty Alum	cont #1	18" o.c.
BULBS					
DF	14	<i>Crocotoma</i> 'Fire King'	Fire King Crocosmia	bulb	-
NO	100	<i>Nerineus</i> 'Jazz Shoulder Blend'	Jazz Shoulder Blend Dahodis	bulb	-

- NOTE:
1. ANTICIPATED PLANTING DATE SPRING 2016; BULBS SHALL BE PLANTED NEXT FALL.
 2. (S) EXISTING CONCRETE PLANTERS ALONG S MICHIGAN TO BE RELOCATED. COORDINATE WITH CITY OF CHICAGO BUREAU OF FORESTRY AND LANDSCAPE ARCHITECT

site design group, ltd.

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- NOTE:
 1. REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL (IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT WIRE IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE).

1

SHADE TREE IN PLANTER SECTION

NOT TO SCALE

- NOTE:
 1. TREE SPECIES SELECTION:
 ROBINIA PSUEDOCACIA, BLACK LOCUST, 4" CALIPER

LANDSCAPE DETAILS

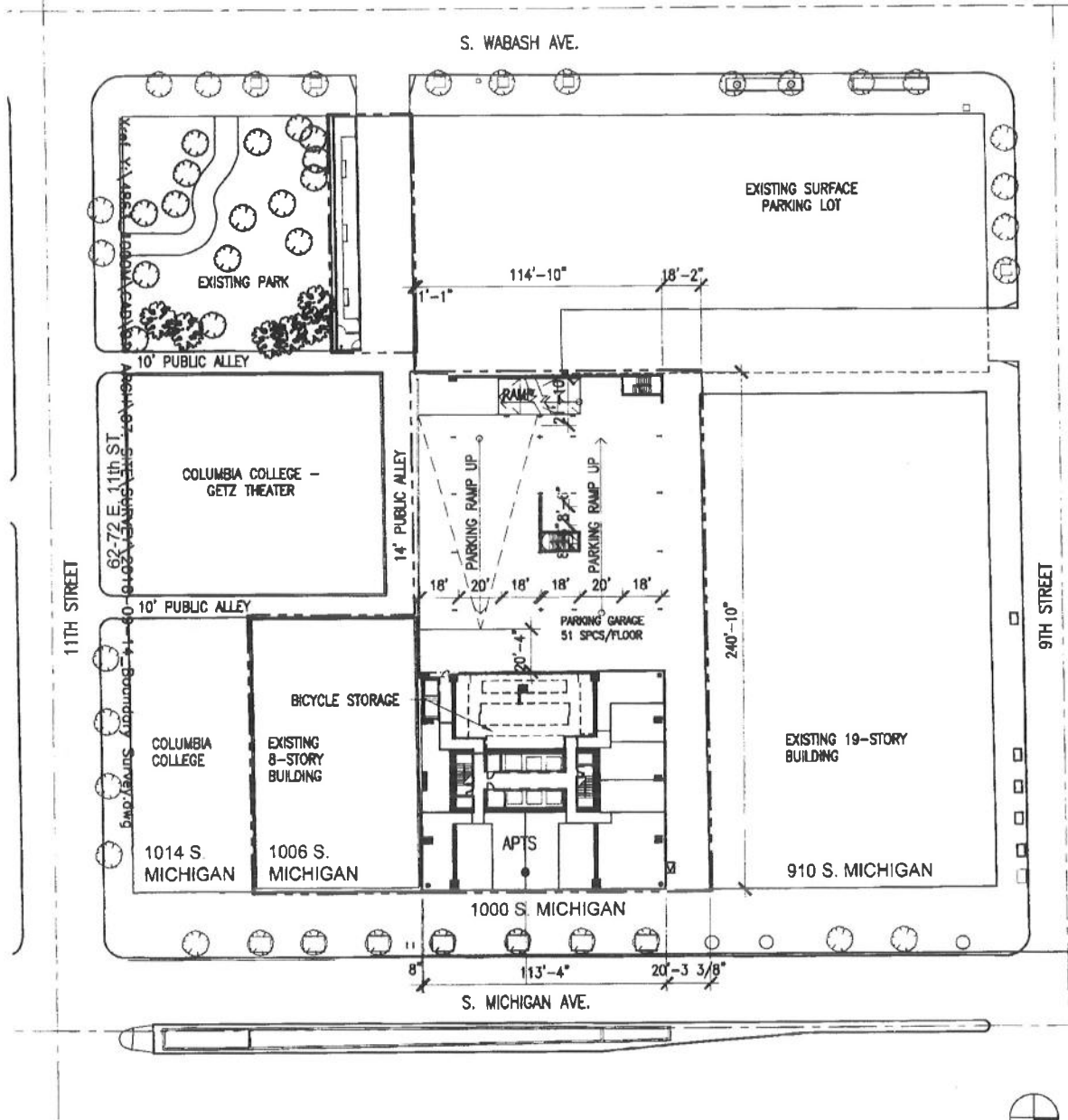
APPLICANT

SCALE: AS NOTED

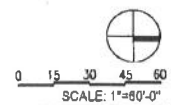
site design group, ltd.

JUNE 17, 2020

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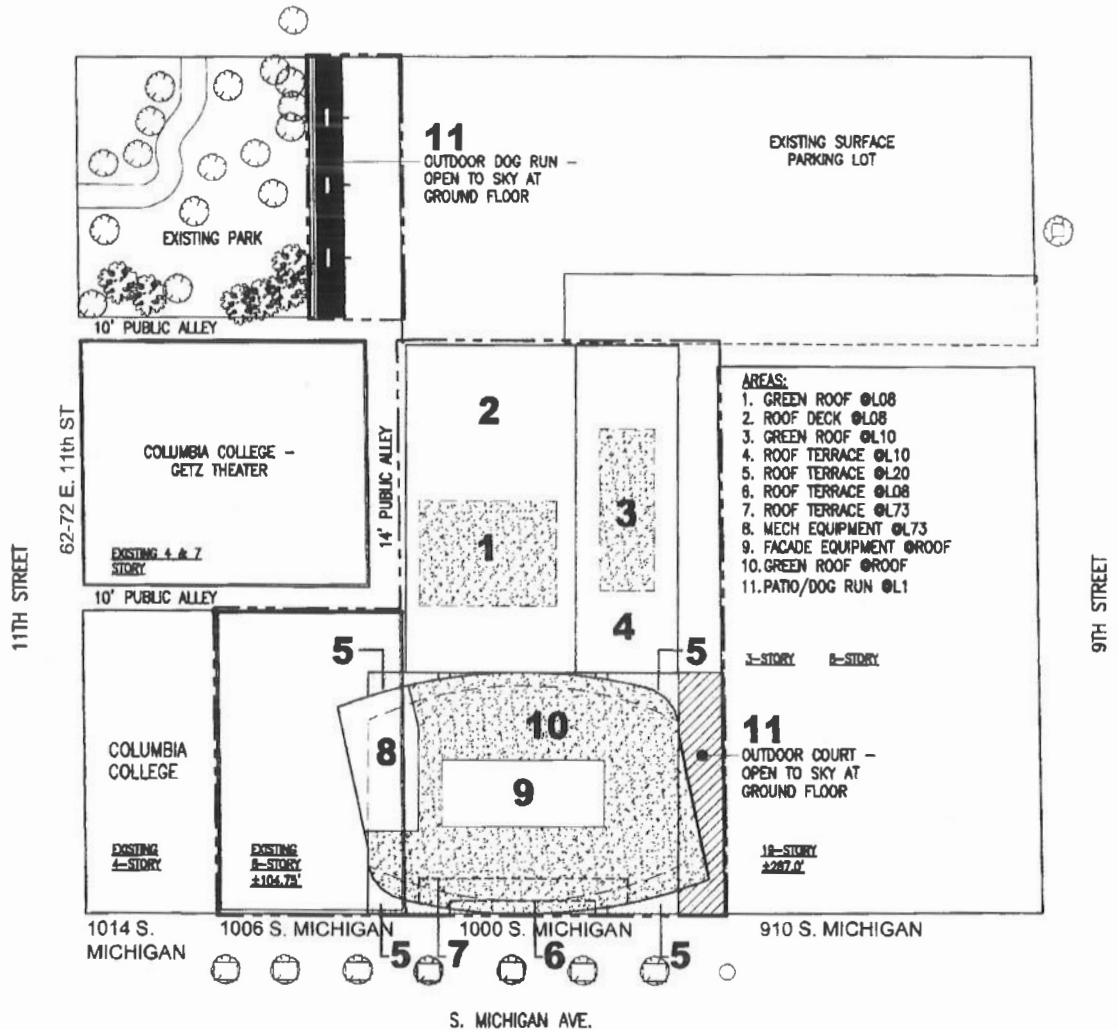
TYPICAL PARKING LEVEL



APPLICANT: 1000 SOUTH MICHIGAN EQUITIES LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 INTRO DATE: JANUARY 27, 2021
 CPC DATE: JUNE 17, 2020

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GREEN ROOF CALCULATION

A	TOTAL ROOF AREA = SUM (1-10)	30,038 SF
B	LESS ROOF MECHANICAL AREA = -8	-5,740 SF
C	TOTAL NET ROOF AREA = (A+B)	25,485 SF
D	REQUIRED GREEN ROOF AREA (50% OF NET ROOF)	12,733 SF
E	TOTAL GREEN ROOF PROVIDED = (1+3+10)	12,733 SF
F	TOTAL GREEN ROOF IN EXCESS OF 50% NET ROOF = (E-D) IF E>D	0.0 SF
G	F.A.R. BONUS = 0.0 / 48,287 X 0.40 X 18	0.0 SF

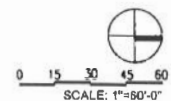
BONUS: 0 SF

REQUIRED OPEN SPACE:
738 UNITS x 36 SF/UNIT = 26,568 SF

OPEN SPACE PROVIDED: 26,568 SF

• AMENITY ROOF OPEN SPACE	= 19,685 GSF
• GROUND FLOOR PATIO/DOG RUN	= 3,210 GSF
• PRIVATE BALCONIES	= 3,672 GSF
	= 26,568 GSF

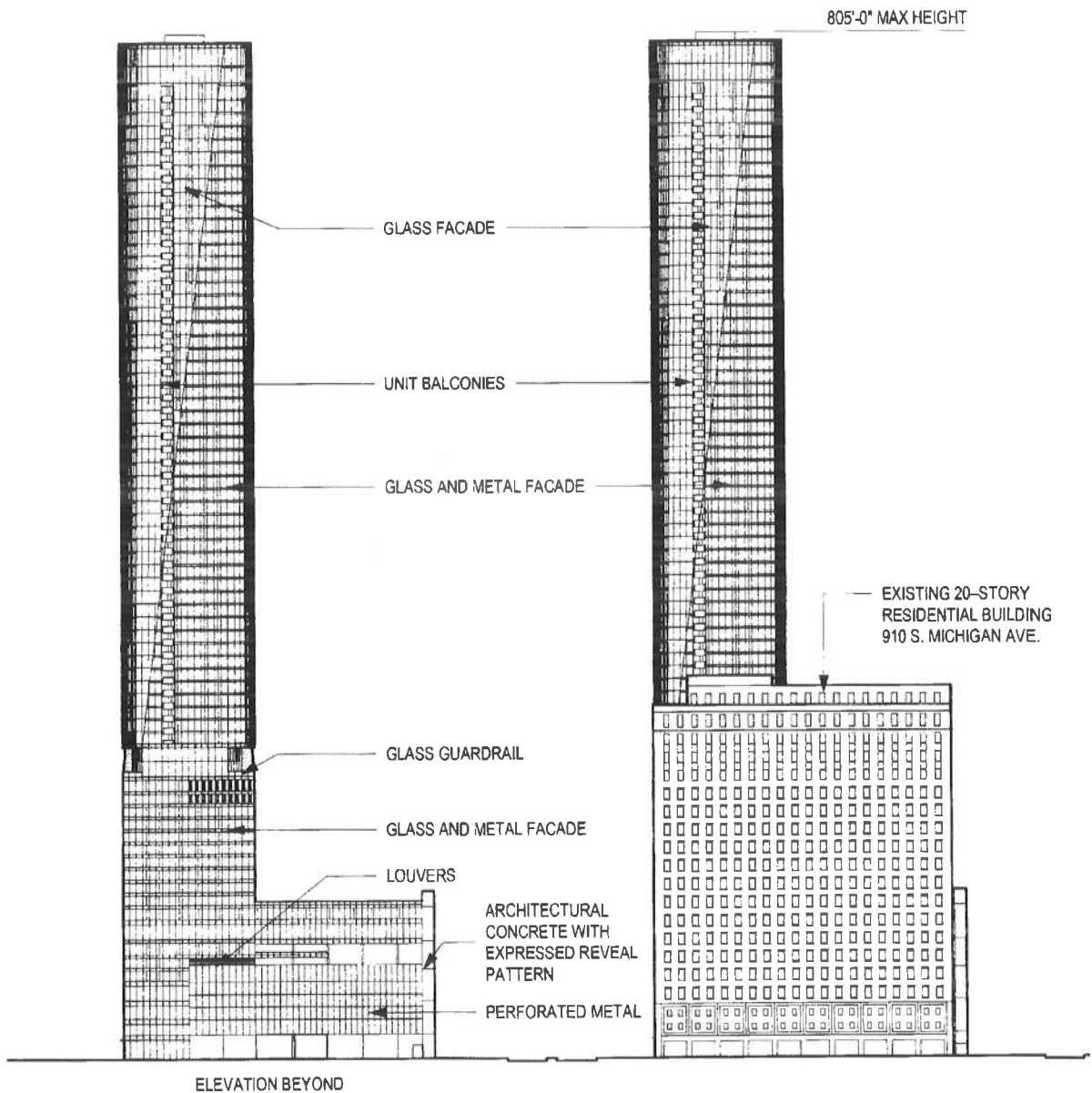
GREEN ROOF PLAN



APPLICANT: 1000 SOUTH MICHIGAN EQUITIES LLC
ADDRESS: 920-1008 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
INTRO DATE: JANUARY 27, 2021
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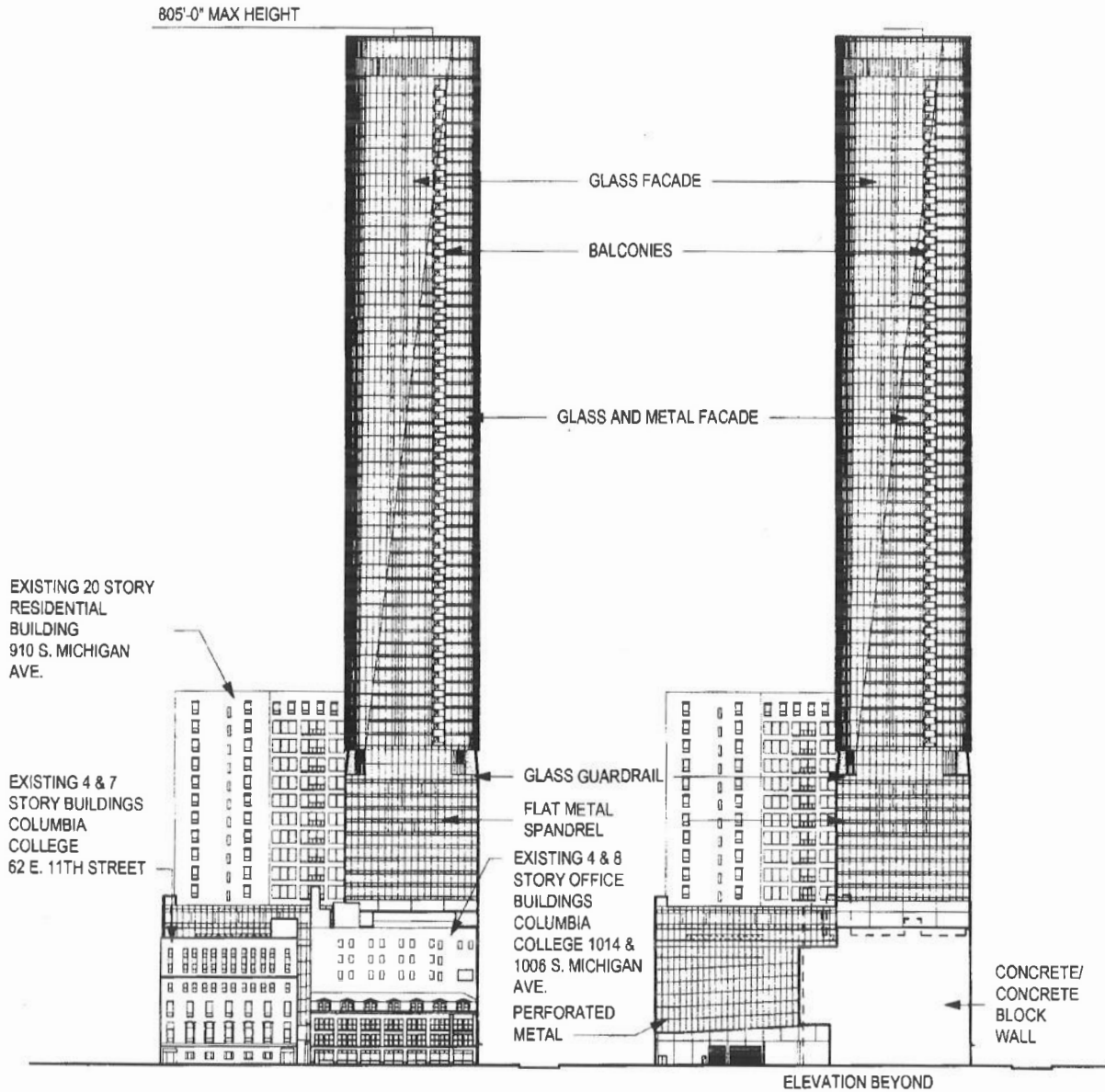
NORTH ELEVATION - EAST 9TH STREET

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1008 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
INTRO DATE: JANUARY 27, 2021
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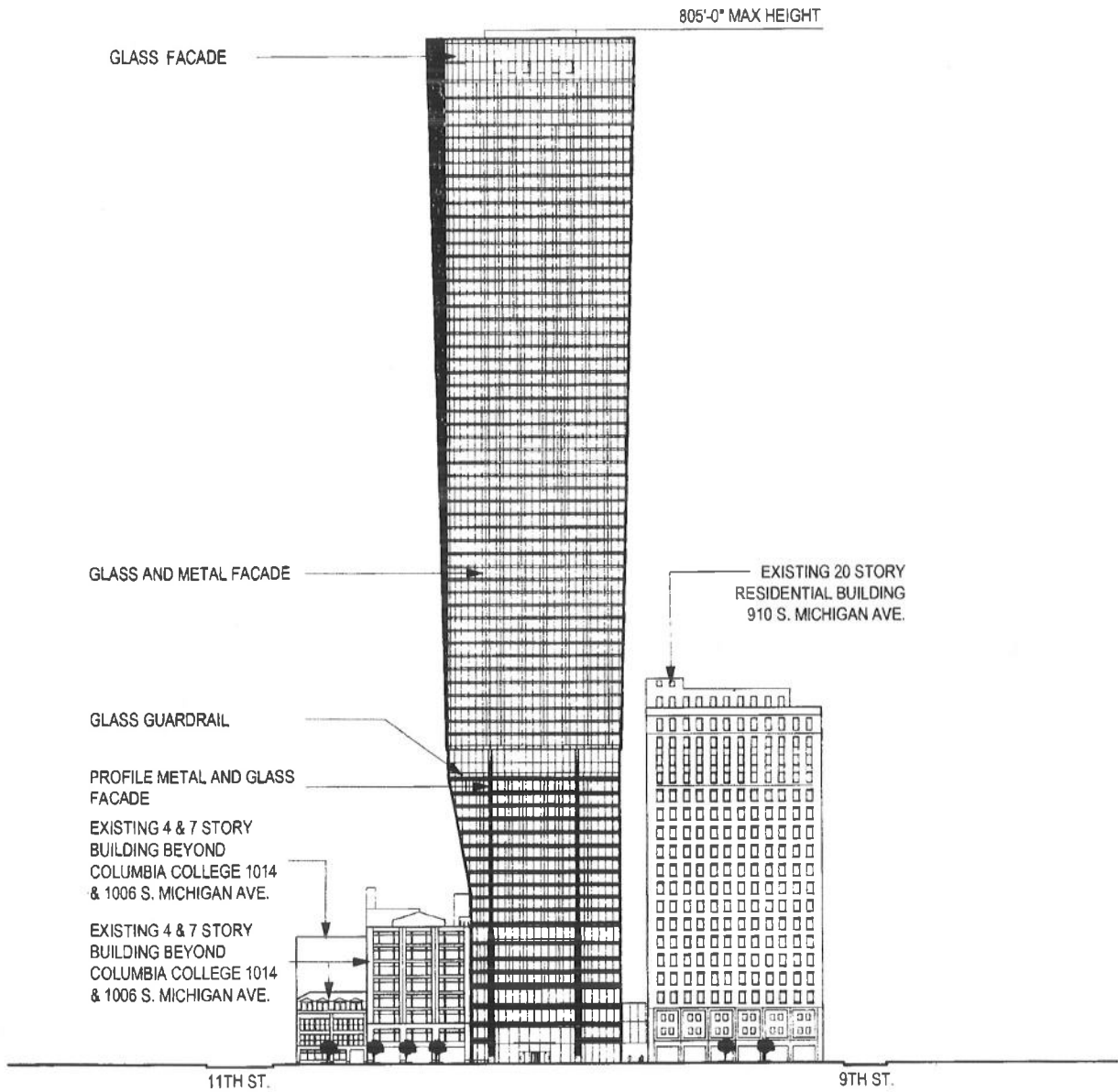
SOUTH ELEVATION - EAST 11TH STREET

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
INTRO DATE: JANUARY 27, 2021
CPC DATE: JUNE 17, 2020

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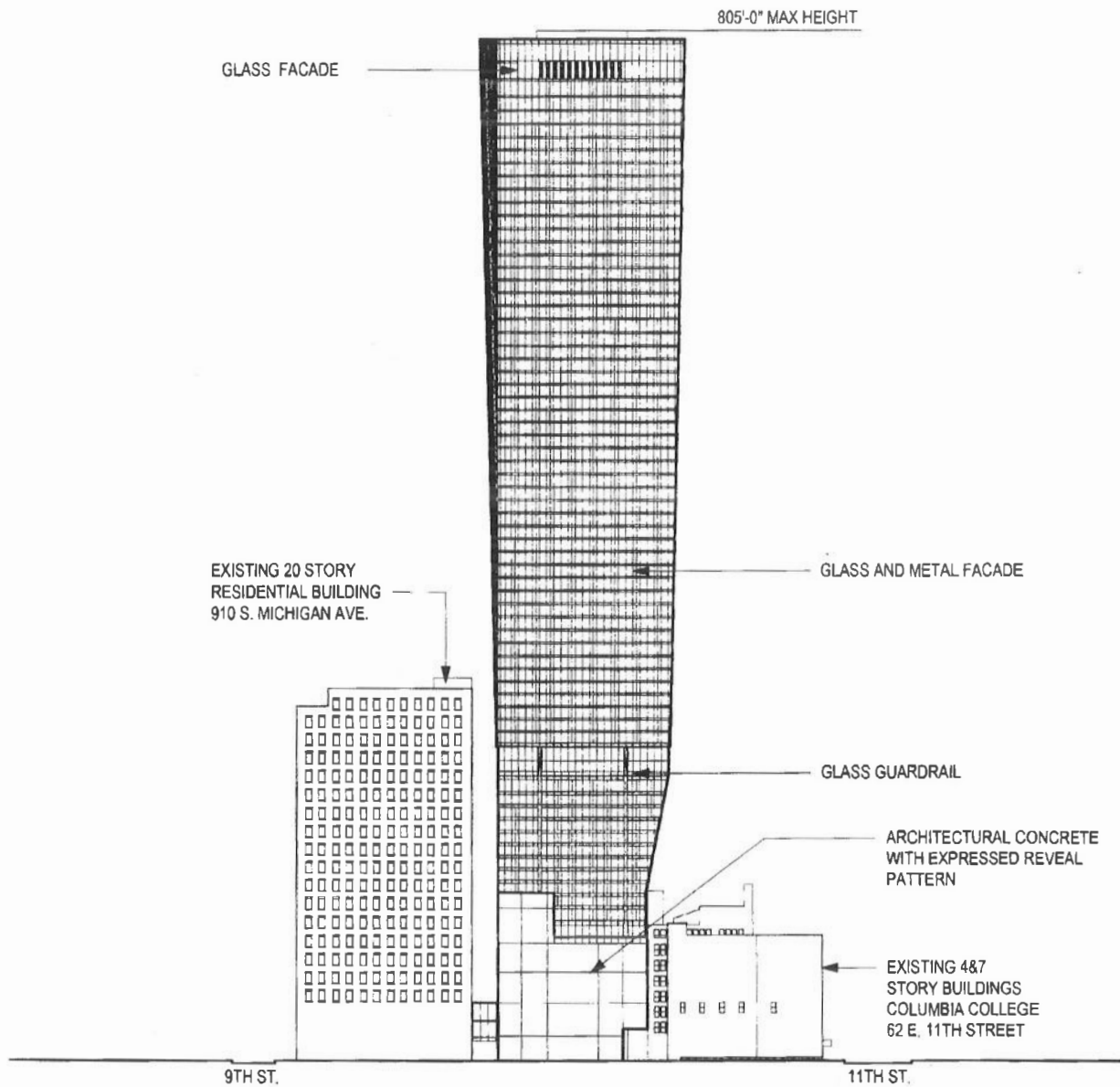
EAST ELEVATION - SOUTH MICHIGAN AVENUE

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
INTRO DATE: JANUARY 27, 2021
CPC DATE: JUNE 17, 2020

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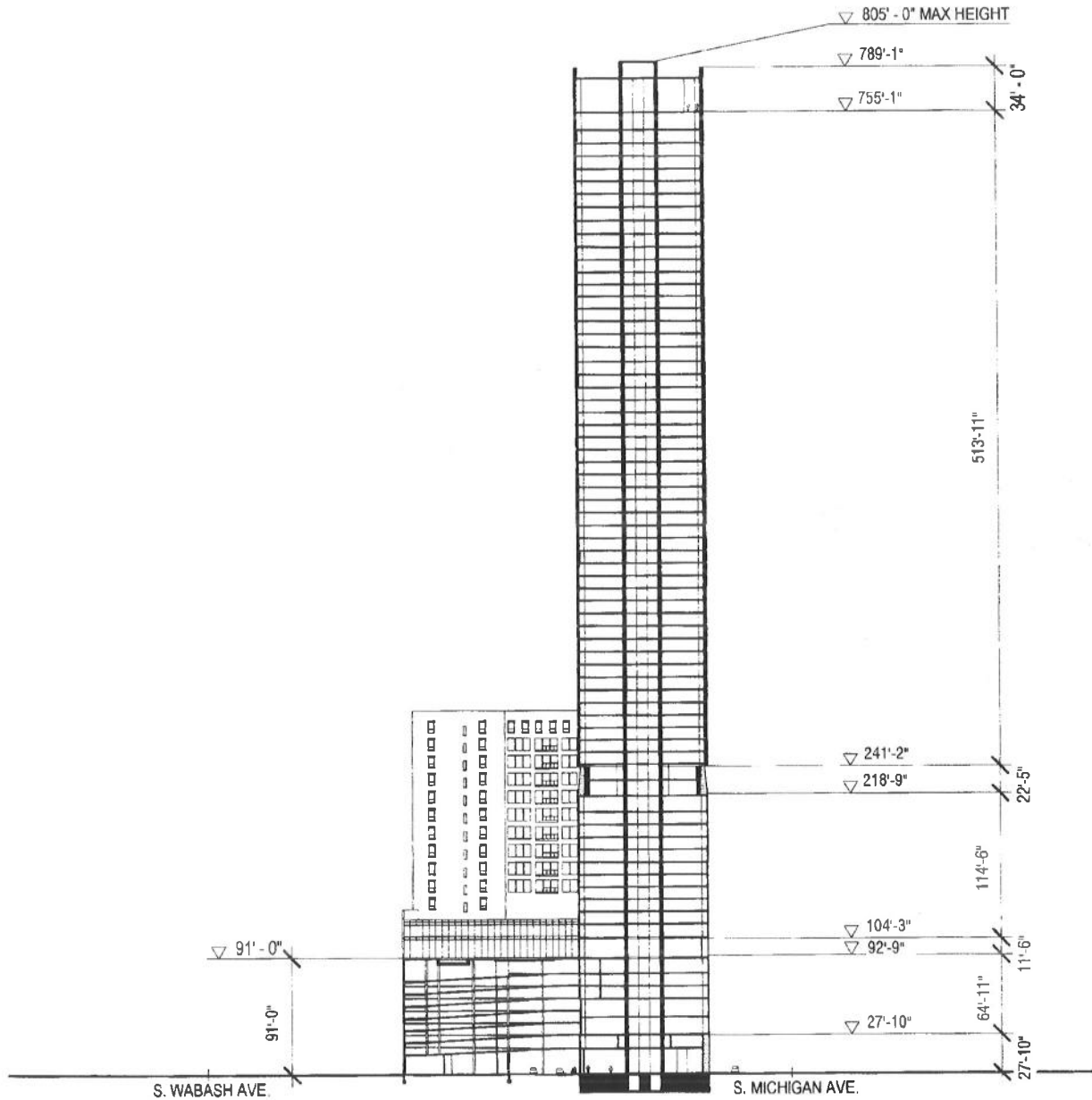
WEST ELEVATION

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
INTRO DATE: JANUARY 27, 2021
CPC DATE: JUNE 17, 2020

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BUILDING SECTION

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
INTRO DATE: JANUARY 27, 2021
CPC DATE: JUNE 17, 2020

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April 13, 2021

Jack George
Akerman LLP
71 S. Wacker Dr.
47th Floor
Chicago, IL 60601

Re: Lakefront Ordinance Exemption for PD 1323, 1000 S. Michigan Ave.

Dear Mr. George:

Please be advised that your request for a Lake Michigan and Chicago Lakefront Protection Ordinance (the "Lakefront Ordinance") exemption has been considered by the Department of Planning and Development. On behalf of your client, 1000 South Michigan Equities LLC, you are seeking an amendment to PD 1323, Sub area A, for the building being constructed at 1000 S. Michigan Ave. The proposed amendment seeks to add additional dwelling units and to reduce the building height from 832 feet to 805 feet.

You are requesting an exemption from the Lakefront Ordinance pursuant to Section 16-4-150 to receive approval for the addition as identified in the proposed amendment. The proposed addition will not increase the site coverage or height of the structure. Pursuant to the Lakefront Ordinance, additions which do not increase the site coverage or the height of the structure are exempt from securing approval of the Chicago Plan Commission.

Therefore, I hereby approve your request for an exemption from the Chicago Plan Commission approval provisions of the Lakefront Ordinance for the proposed addition to 1000 S. Michigan Ave. All new construction must comply with the requirements of PD 1323 and all required permits must be obtained prior to the start of construction.

Sincerely,



Patrick Murphey
Zoning Administrator

PM:tm

c: Mike Marmo, Erik Glass, Janice Hill, Noah Szafraniec, Heidi Sperry



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 31, 2020

Chris Leach
Ackerman LLP
71 S. Wacker Dr., 46th Floor
Chicago, IL 60606

Re: Minor change approval for PD No. 1323, 1000 S. Michigan Ave.

Dear Mr. Leach:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1323 ("PD 1323") has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement Number 13 of PD 1323.

Your client and the owner of all the property within Sub area A and Sub area B, 1000 South Michigan Equities, is seeking a minor change to allow for further design modifications to the proposed residential high-rise building at 1000 S. Michigan Ave. The overall height of the building is unchanged at 832 feet. The formal massing and contextual relationships of the approved design are retained with adjustments that accommodate programmatic changes.

The "Cut" setback denoting the top of the base and emphasizing the relationship with the Michigan Ave. street wall is set at +218 feet. The height of the cut has been reduced to 22 feet from 24 feet. The west part of the north elevation of the tower from levels 2-11 has been changed to spandrel glass with aluminum spandrels in lieu of perforated metal panels in order to match the remainder of the tower facade. The portion of flat metal panels has been increased to add more visual interest to the facade. The perforated screen at the top has been increased in length by approximately 20 feet at the east facade. The west facade of the garage has been changed to architectural exposed concrete from metal as it is a common lot line and a 4-hour fire separation is required. The concrete extends approximately 14 feet to the east from the northwest corner of the property.



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

The attached table identifies the specific modifications to each PD exhibit. Also attached with the revised PD exhibits are a Garage Section, illustrating the crash barrier and light fixture to minimize impact to the adjacent neighbor, a detailed sketch of the concrete and aluminum panel condition, and an updated rendering of the Northeast Elevation.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1323, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

Nancy Radzevich
Assistant Commissioner

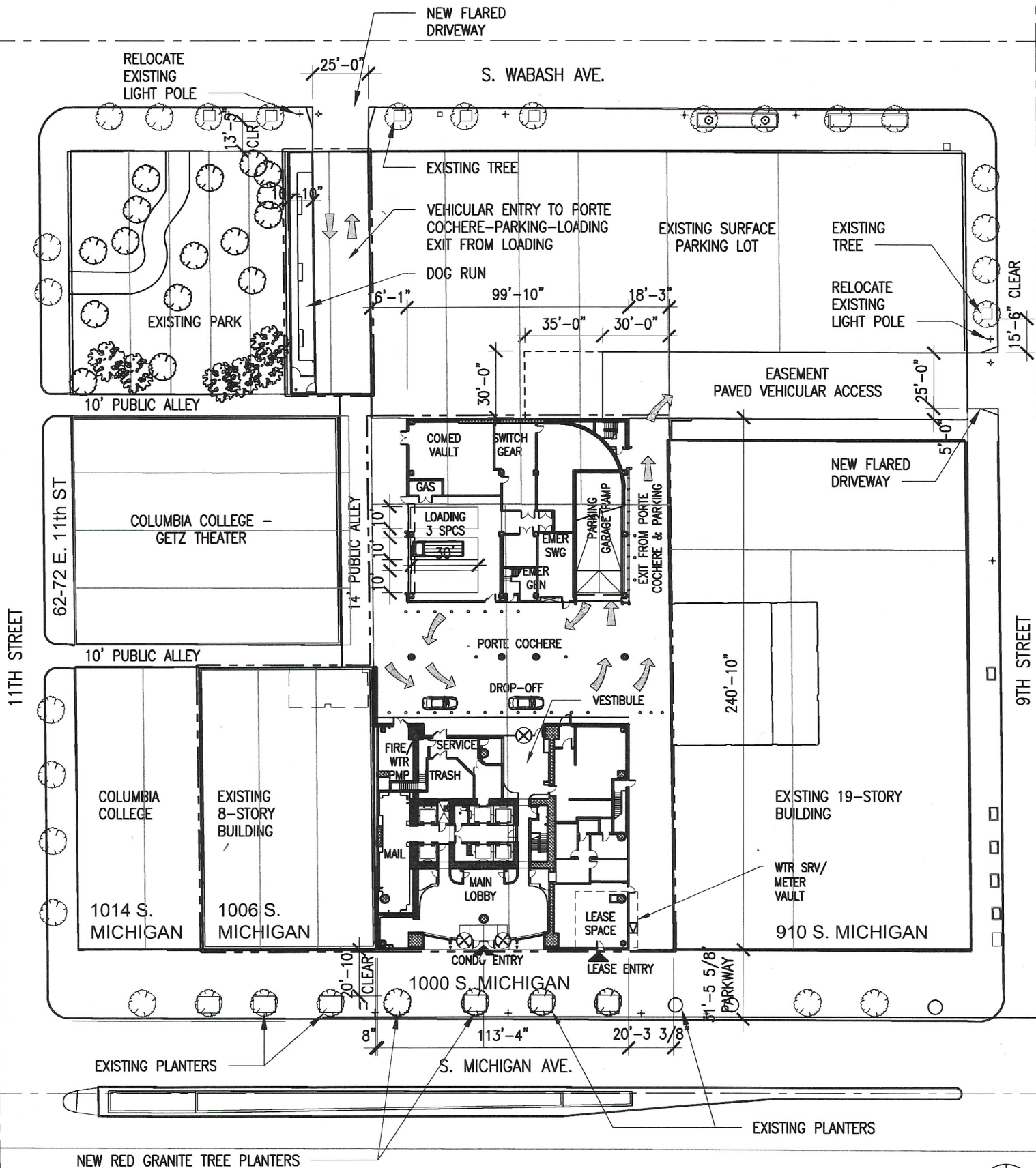
NR:tm

C: Mike Marmo, Erik Glass, Cindy Roubik, Larry Shure, Main file

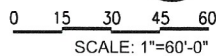
**PLANNED DEVELOPMENT
SUMMARY OF MODIFICATIONS**

**PLANNED DEVELOPMENT 1323
PROPOSED MINOR CHANGES**

NO.	DRAWING TITLE	DESCRIPTION OF MODIFICATIONS
1.	SITE PLAN / GROUND FLOOR PLAN	<ul style="list-style-type: none"> • Cast-in-place concrete at west façade and partial north façade • Planning modifications to Level 1
2.	PARKING PLAN-LEVEL02	<ul style="list-style-type: none"> • Bike storage for 122 bikes • Cast-in-place concrete at west façade and partial north façade
3.	PARKING PLAN-LEVEL03	<ul style="list-style-type: none"> • New plan • Cast-in-place concrete at west façade and partial north façade
4.	TYPICAL PARKING PLAN-LEVELS 04-09	<ul style="list-style-type: none"> • Cast-in-place concrete at west façade and partial north façade
5.	PARKING PLAN-LEVEL10	<ul style="list-style-type: none"> • Same as Parking Plan-Level 03
6.	AMENITY PLAN-LEVEL 11	<ul style="list-style-type: none"> • Same as Parking Plan-Level 03
7.	RESIDENTIAL PLAN-LEVEL12	<ul style="list-style-type: none"> • Same as Parking Plan-Level 03
8.	EAST ELEVATION – SOUTH MICHIGAN AVENUE	<ul style="list-style-type: none"> • Adjust heights of various design components, maintain 832' maximum height • Reduce folded metal spandrel by replacing with flat metal spandrel • Extend open metal screen at Level 72 terrace
9.	SOUTH ELEVATION – EAST 11 TH STREET	<ul style="list-style-type: none"> • Same as East Elevation
10.	WEST ELEVATION – SOUTH WABASH AVENUE	<ul style="list-style-type: none"> • Same as East Elevation • Revise metal to concrete at parking garage façade
11.	NORTH ELEVATION – EAST 9 TH STREET	<ul style="list-style-type: none"> • Same as East Elevation • Revise metal to concrete at northwest parking garage egress • Revise metal to glass from Level 2 to 10, from Parking Garage east to centerline of Tower
12.	BUILDING SECTION	<ul style="list-style-type: none"> • Adjust heights of various design components, maintain 832' maximum height



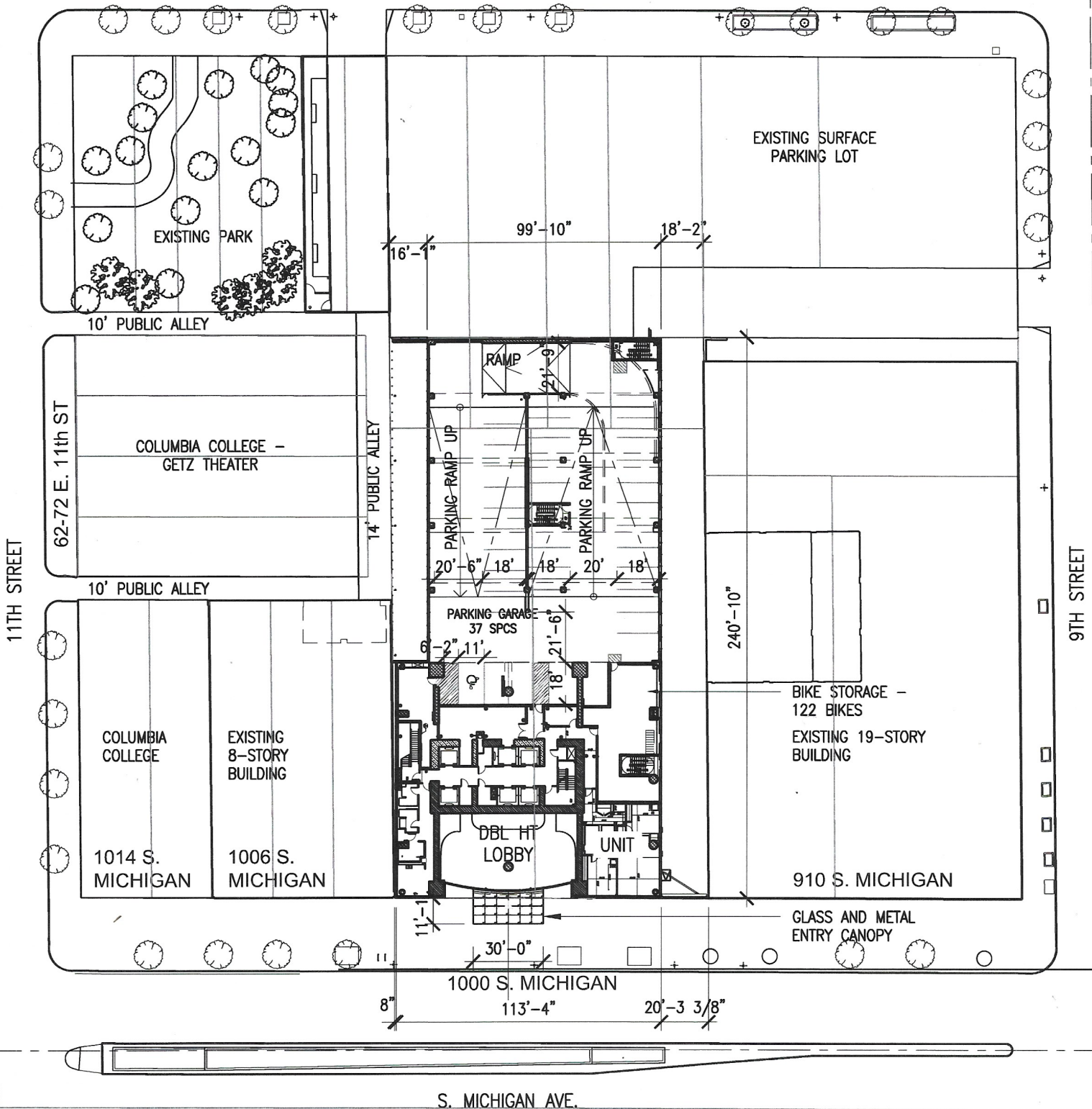
SITE PLAN / GROUND FLOOR PLAN



APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016

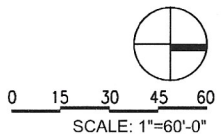
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S. WABASH AVE.



BICYCLE PARKING:
122 BICYCLE SPACES AT LEVEL 02

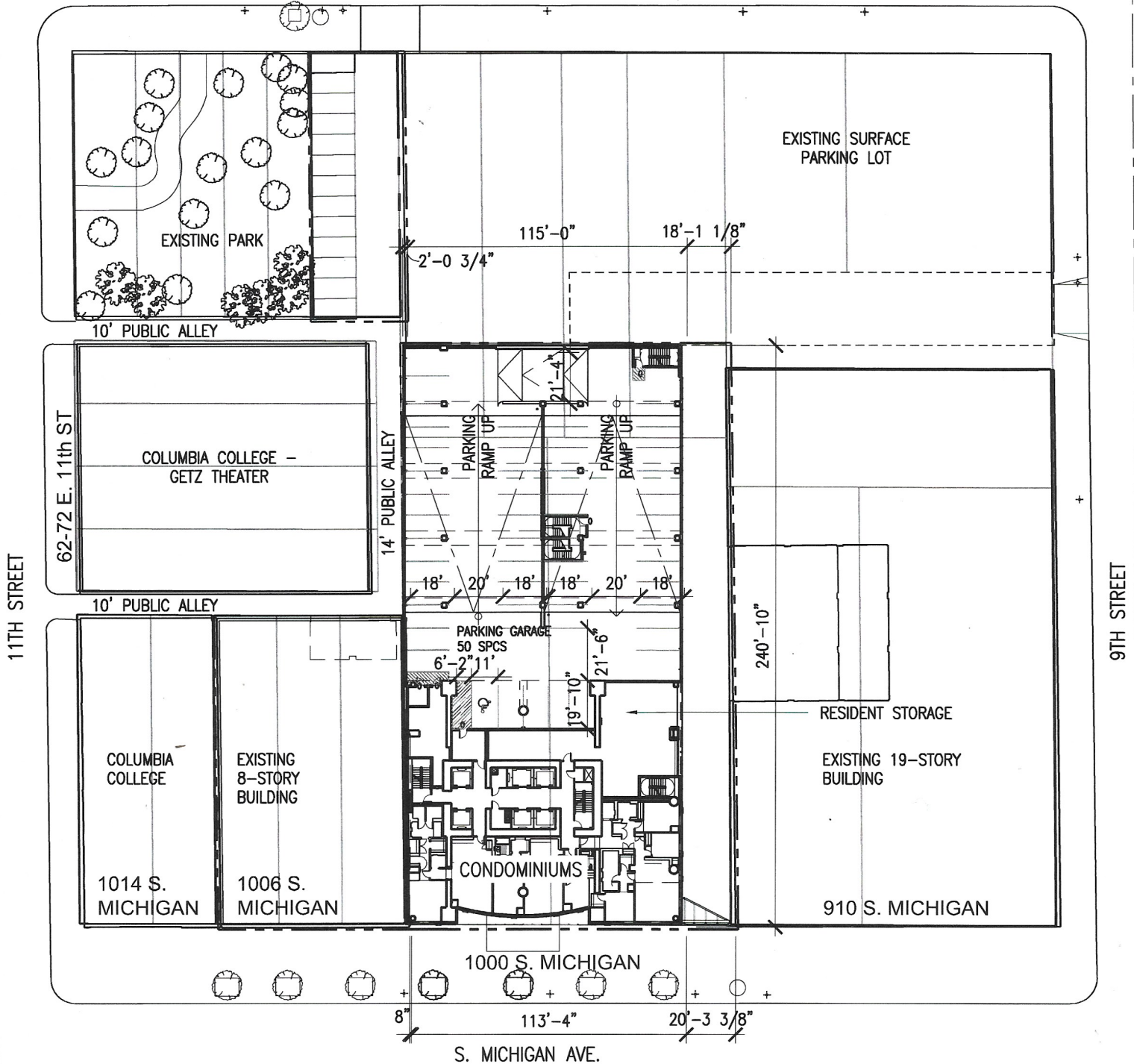
PARKING PLAN - LEVEL 02



APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016

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S. WABASH AVE.



PARKING PLAN - LEVEL 03

0 15 30 45 60
 SCALE: 1"=60'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016

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S. WABASH AVE.

EXISTING SURFACE
PARKING LOT

EXISTING PARK

10' PUBLIC ALLEY

114'-10"

18'-2"

1'-1"

COLUMBIA COLLEGE -
GETZ THEATER

62-72 E. 11th ST

14' PUBLIC ALLEY

RAMP

PARKING RAMP UP

PARKING RAMP UP

10' PUBLIC ALLEY

PARKING GARAGE
52 SPCS/FLOOR

240'-10"

RESIDENT STORAGE

EXISTING 19-STORY
BUILDING

COLUMBIA
COLLEGE

EXISTING
8-STORY
BUILDING

CONDOMINIUMS

1014 S.
MICHIGAN

1006 S.
MICHIGAN

910 S. MICHIGAN

1000 S. MICHIGAN

S. MICHIGAN AVE.

8"

113'-4"

20'-3 3/8"

11TH STREET

9TH STREET



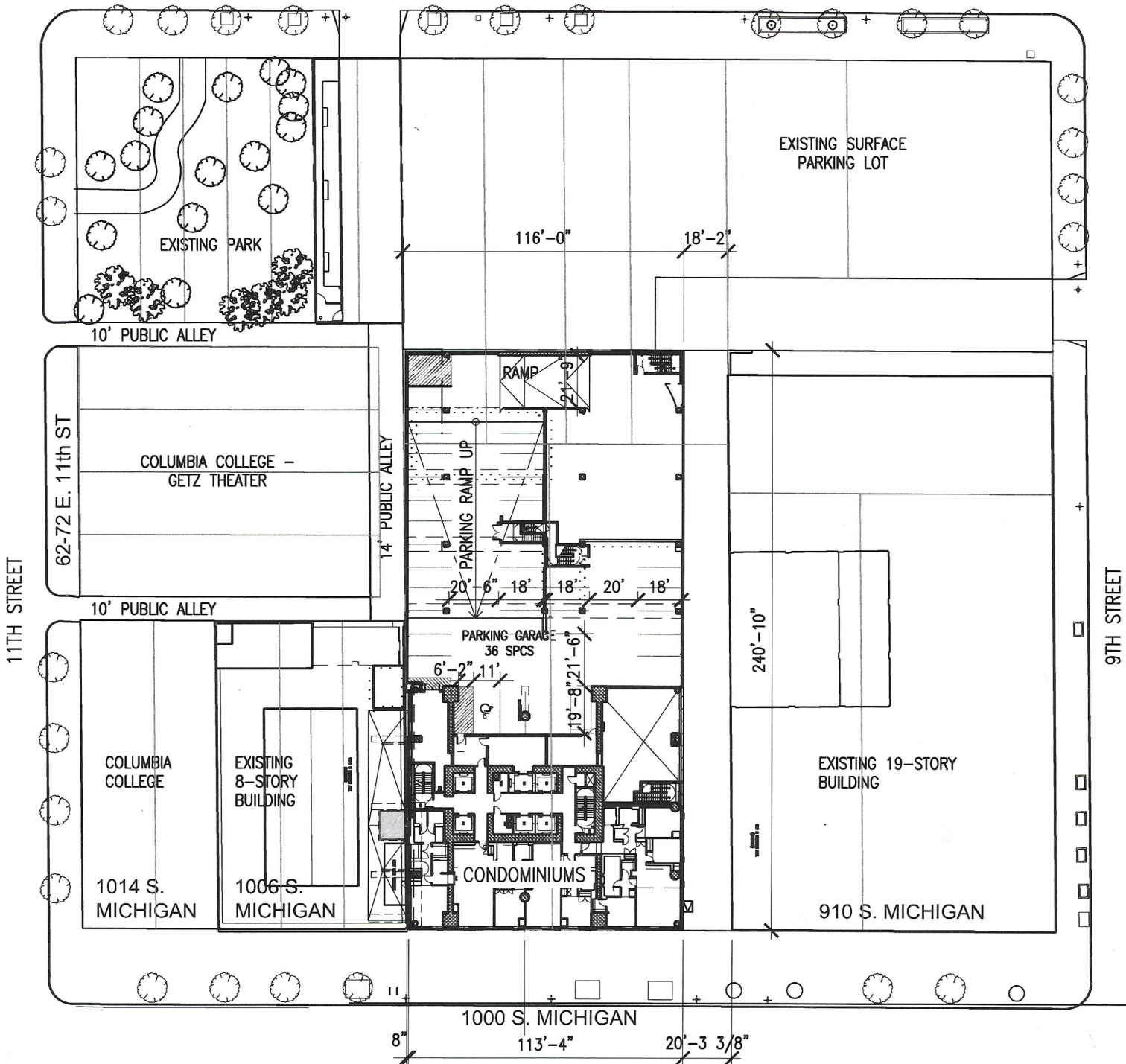
0 15 30 45 60
SCALE: 1"=60'-0"

TYPICAL PARKING PLAN - LEVELS 04-09

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016

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S. WABASH AVE.



S. MICHIGAN AVE.

PARKING PLAN - LEVEL 10

0 15 30 45 60
 SCALE: 1"=60'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016

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S. WABASH AVE.

EXISTING SURFACE
PARKING LOT

EXISTING PARK

71'-1"

44'-10"

18'-2"

10' PUBLIC ALLEY

COLUMBIA COLLEGE -
GETZ THEATER

14' PUBLIC ALLEY

FITNESS
CENTER

AMENITY
DECK

240'-10"

10' PUBLIC ALLEY

COLUMBIA
COLLEGE

EXISTING
8-STORY
BUILDING

GAME
ROOM

SPA

EXISTING 19-STORY
BUILDING

1014 S.
MICHIGAN

1006 S.
MICHIGAN

LIBRARY

910 S. MICHIGAN

11TH STREET

62-72 E. 11th ST

9TH STREET

1000 S. MICHIGAN

113'-4"

20'-3 3/8"

S. MICHIGAN AVE.

0 15 30 45 60
SCALE: 1"=60'-0"

AMENITY PLAN - LEVEL 11

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016

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S. WABASH AVE.

EXISTING SURFACE
PARKING LOT

EXISTING PARK

71'-1"

44'-10"

18'-2"

10' PUBLIC ALLEY

COLUMBIA COLLEGE -
GETZ THEATER

14' PUBLIC ALLEY

62-72 E. 11th ST

10' PUBLIC ALLEY

COLUMBIA
COLLEGE

EXISTING
8-STORY
BUILDING

1014 S.
MICHIGAN

1006 S.
MICHIGAN

CONDOMINIUMS

240'-10"

EXISTING 19-STORY
BUILDING

910 S. MICHIGAN

11TH STREET

9TH STREET

1000 S. MICHIGAN

113'-4"

20'-3 3/8"

8"

S. MICHIGAN AVE.

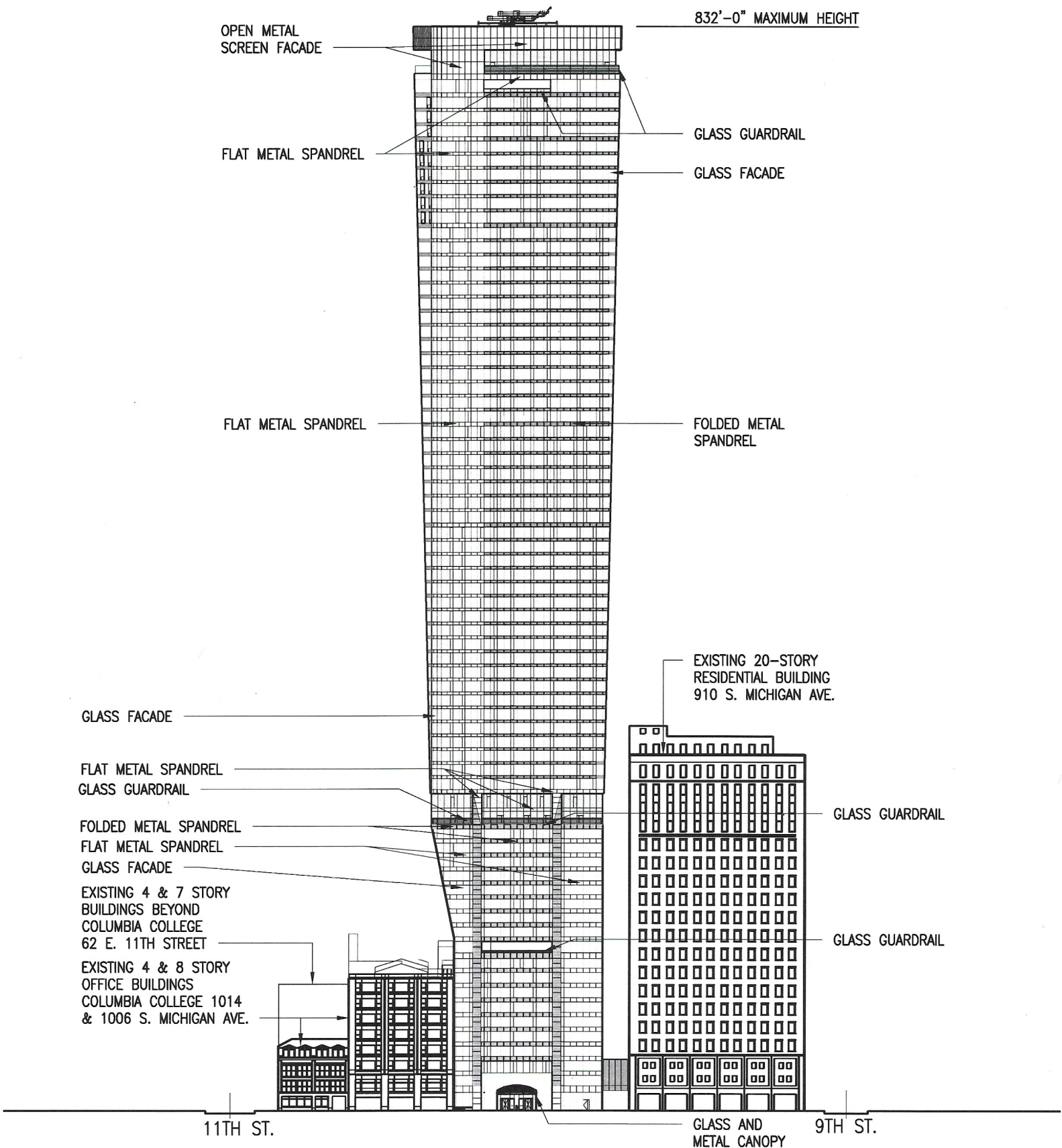


0 15 30 45 60
SCALE: 1"=60'-0"

RESIDENTIAL PLAN - LEVEL 12

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
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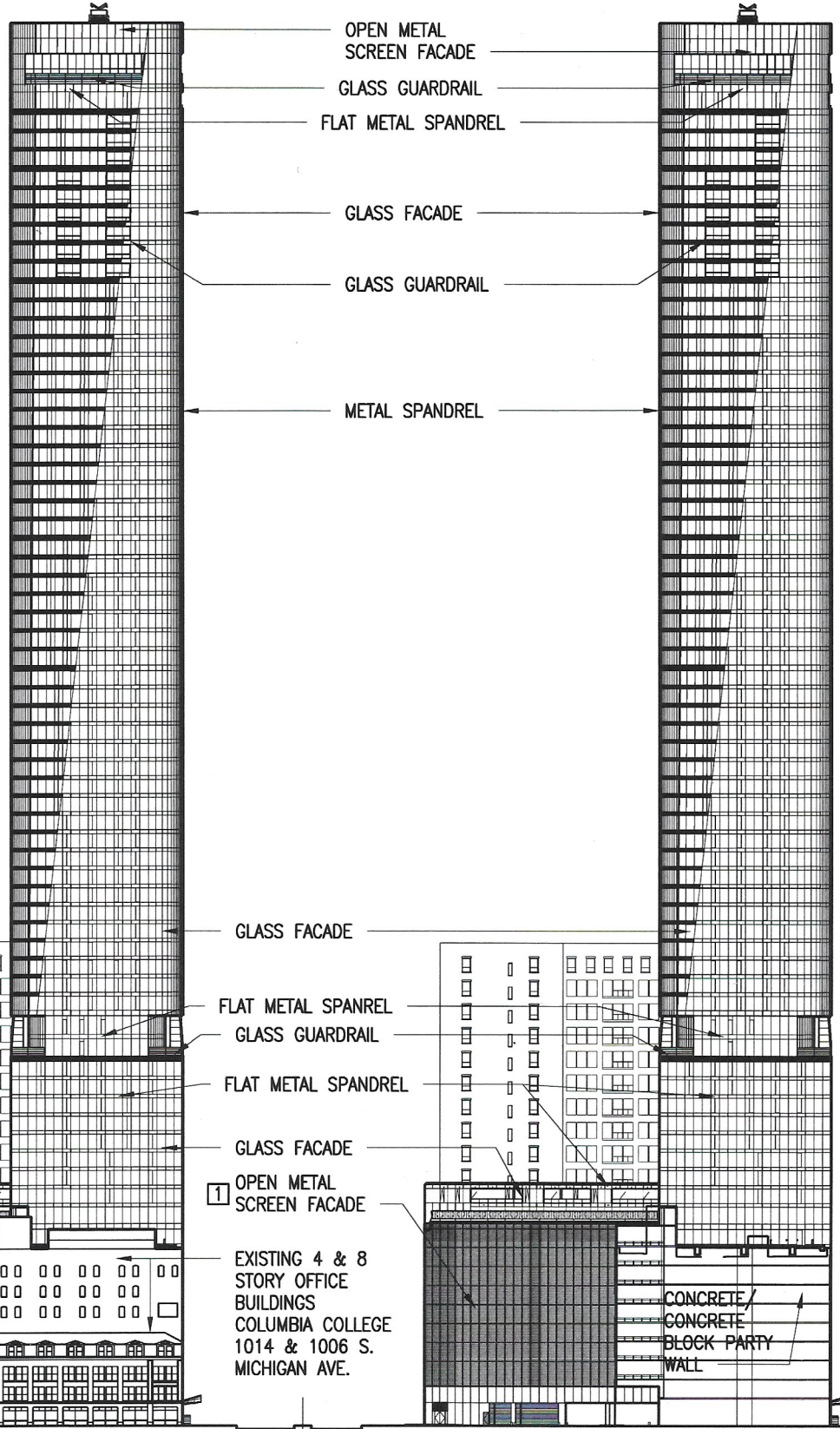
EAST ELEVATION - SOUTH MICHIGAN AVENUE

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016

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1 MILL FINISH PERFORATED ALUMINUM PANEL



EXISTING 20-STORY RESIDENTIAL BUILDING 910 S. MICHIGAN AVE.

FLAT METAL SPANDREL

EXISTING 4 & 7 STORY BUILDINGS COLUMBIA COLLEGE 62 E. 11TH STREET

GLASS FACADE

FLAT METAL SPANDREL

GLASS GUARDRAIL

FLAT METAL SPANDREL

GLASS FACADE

1 OPEN METAL SCREEN FACADE

EXISTING 4 & 8 STORY OFFICE BUILDINGS COLUMBIA COLLEGE 1014 & 1006 S. MICHIGAN AVE.

CONCRETE / CONCRETE BLOCK PARTY WALL

S. WABASH AVE.

S. MICHIGAN AVE.

ELEVATION BEYOND

0 25 50 75 100

SCALE: 1"=100'-0"

SOUTH ELEVATION - EAST 11TH STREET

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016

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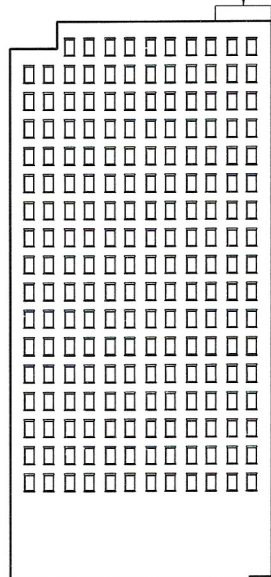
2 ARCHITECTURAL EXPOSED CONCRETE WITH EXPRESSED REVEALS. FORM JOINTS WILL BE GROUND SMOOTH. CONCRETE WILL BE FINISHED WITH A CLEAR MATTE SEALER.

FLAT METAL CLADDING

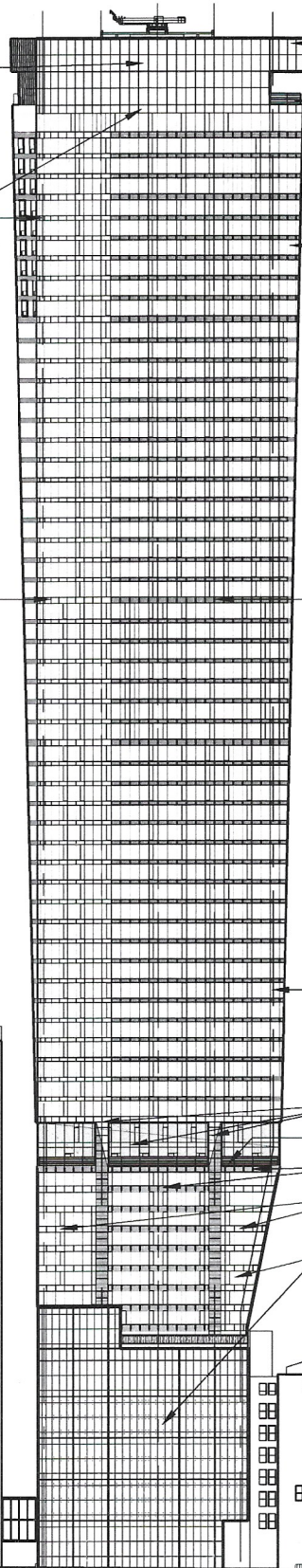
FLAT METAL SPANDREL

FLAT METAL SPANDREL

EXISTING 20-STORY RESIDENTIAL BUILDING 910 S. MICHIGAN AVE.



9TH ST.



OPEN METAL SCREEN FACADE
GLASS GUARDRAIL

GLASS FACADE

FOLDED METAL SPANDREL

GLASS FACADE

FLAT METAL SPANDREL
GLASS GUARDRAIL
FOLDED METAL SPANDREL
FLAT METAL SPANDREL
GLASS FACADE

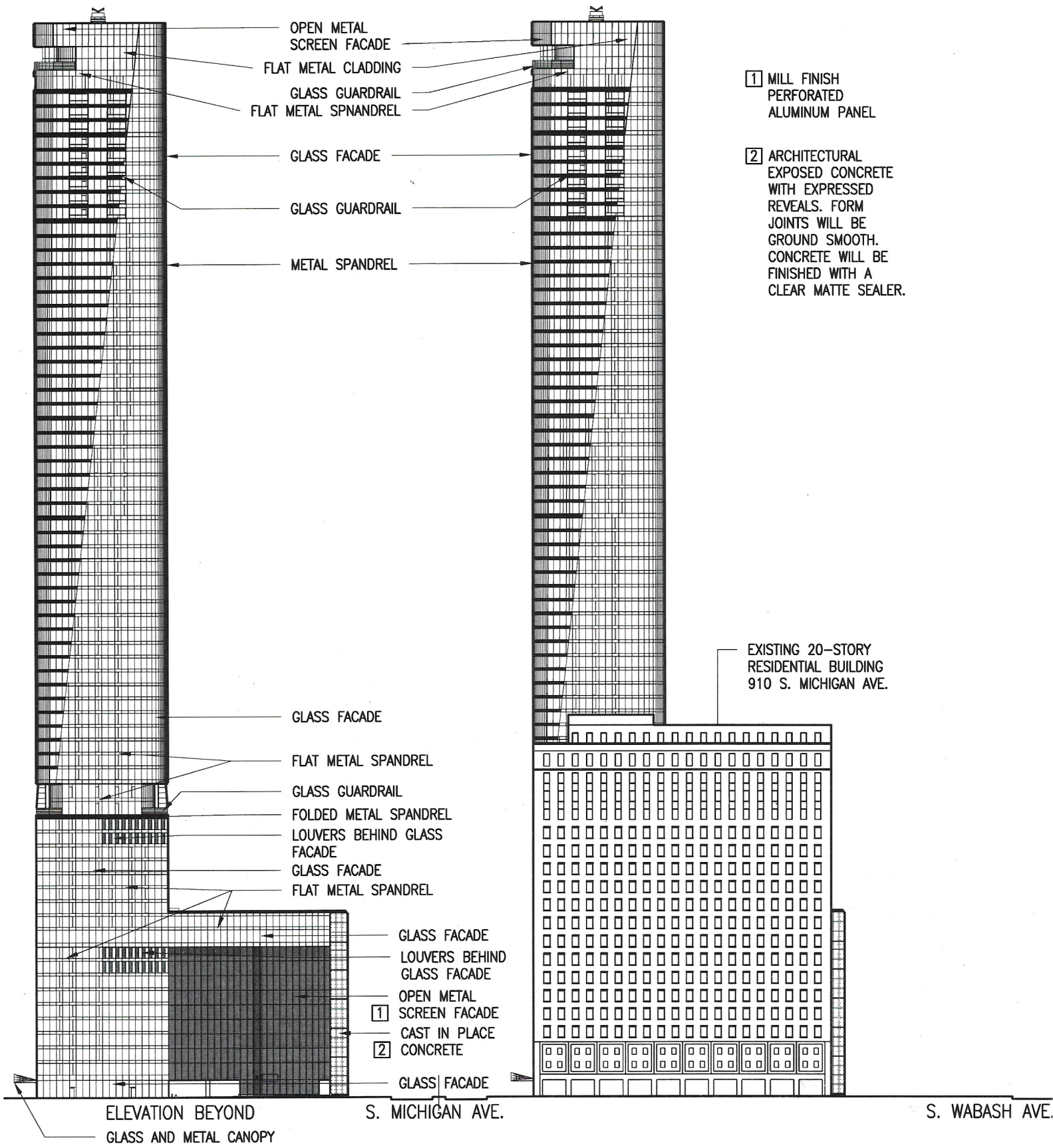
2 CAST IN PLACE CONCRETE EXISTING 8 STORY OFFICE BUILDING BEYOND; COLUMBIA COLLEGE 1006 S. MICHIGAN AVE.

EXISTING 4 & 7 STORY BUILDINGS COLUMBIA COLLEGE 62 E. 11TH STREET

11TH ST.

WEST ELEVATION - SOUTH WABASH AVENUE

0 25 50 75 100
SCALE: 1"=100'-0"



1 MILL FINISH PERFORATED ALUMINUM PANEL

2 ARCHITECTURAL EXPOSED CONCRETE WITH EXPRESSED REVEALS. FORM JOINTS WILL BE GROUND SMOOTH. CONCRETE WILL BE FINISHED WITH A CLEAR MATTE SEALER.

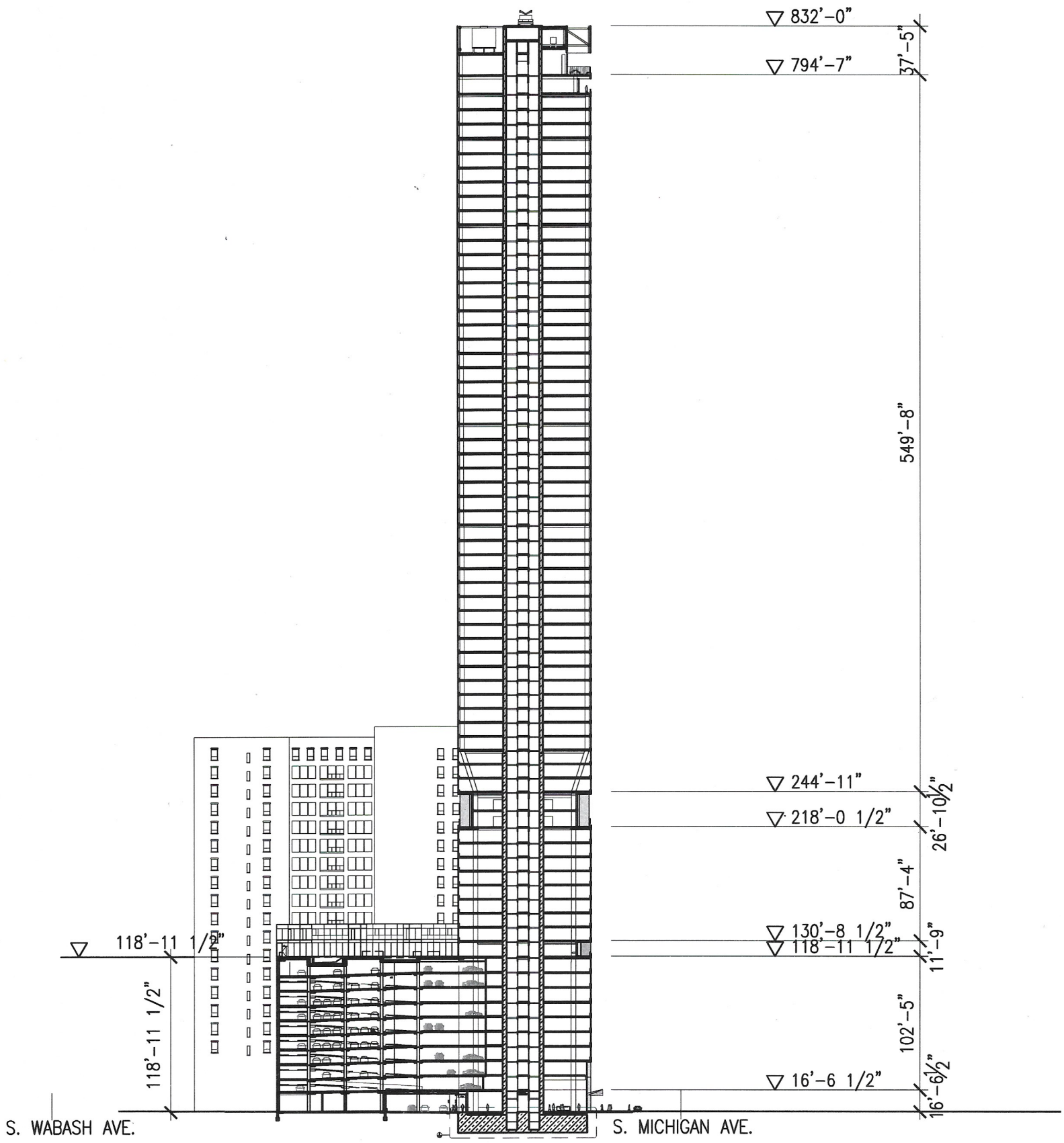
EXISTING 20-STORY RESIDENTIAL BUILDING 910 S. MICHIGAN AVE.

NORTH ELEVATION - EAST 9TH STREET

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016

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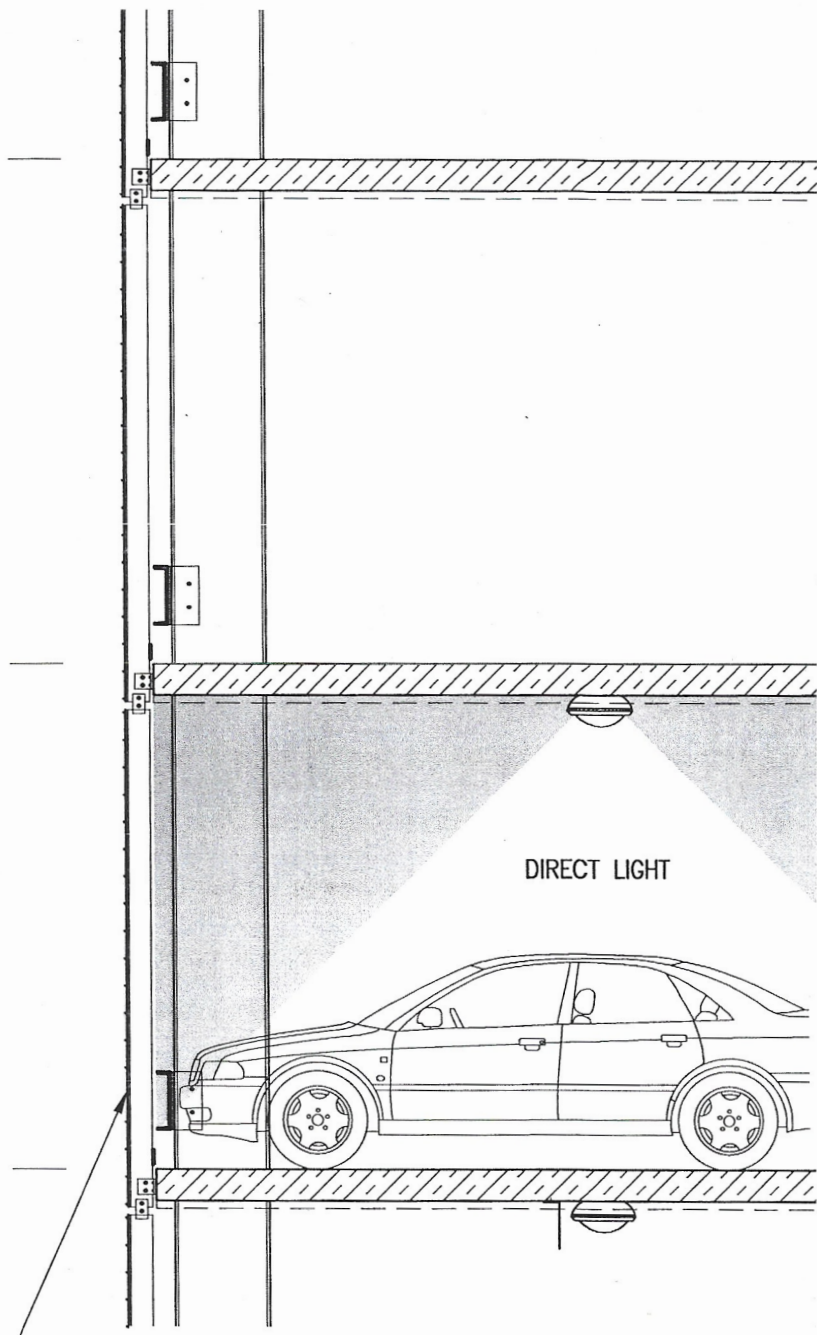
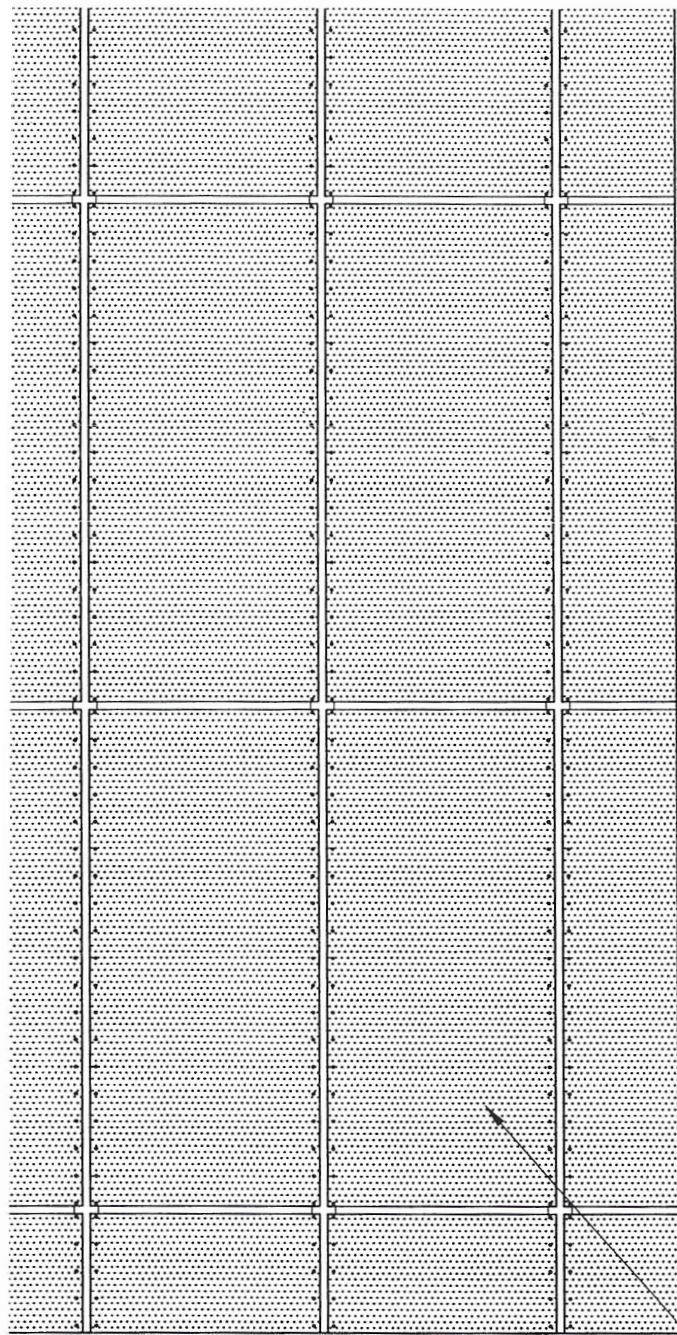


BUILDING SECTION

0 25 50 75 100
SCALE: 1"=100'-0"

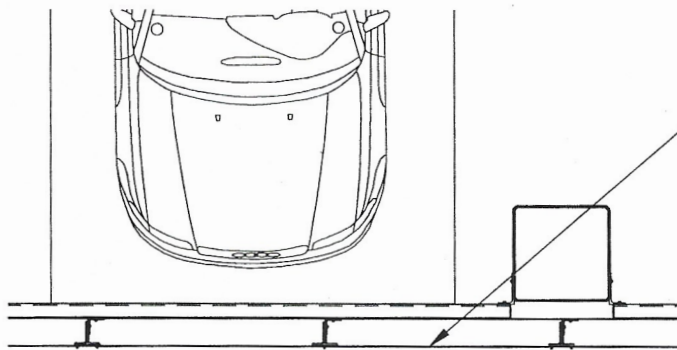
APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
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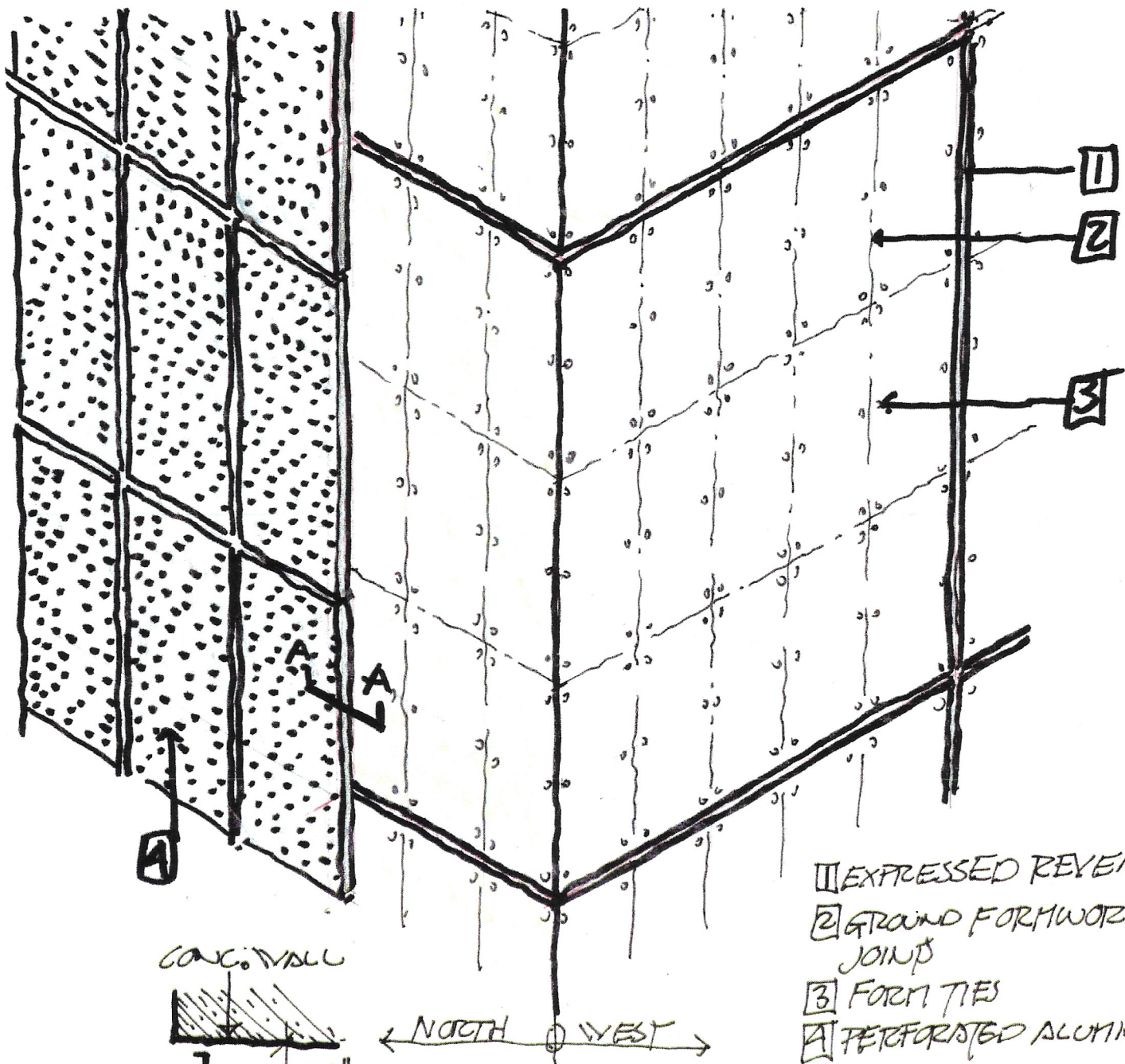
DIRECT LIGHT

PERFORATED SCREEN

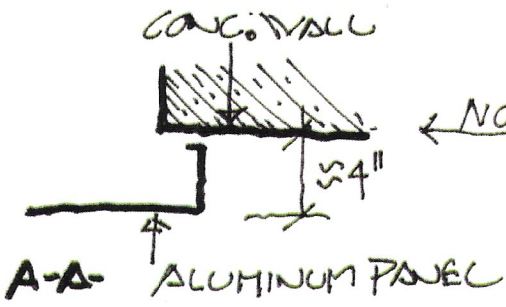


GARAGE SECTION

0 1 2 3 4
SCALE: 1/4"=1'



- 1 EXPRESSED REVEAL
- 2 GROUND FORMWORK JOINT
- 3 FORM TIES
- 4 PERFORATED ALUMINUM



1000 M
JAHN
 03/18/20





DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

July 24, 2019

Chris Leach
Ackerman LLP
71 South Wacker Dr., 46th Floor
Chicago, IL 60606

Re: Minor change approval for PD No. 1323, 1000 S. Michigan Avenue

Dear Mr. Leach:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1323 ("PD 1323"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of PD 1323.

On May 22, 2017, a minor change was approved for modifications to the proposed residential high-rise building at 1000 S. Michigan Ave. The changes included the elimination of the surface parking lot along Wabash Ave. and the reconfiguration of the parking and loading access, cladding changes to the base of the east elevation, the partial elimination of balconies on the north and south elevations, and a height reduction in the 'cut' setback along Michigan Ave. This minor change expired on May 22, 2018, since construction of the building never began.

Your client and the sole owner of all the property within PD 1323, 1000 South Michigan Equities, is now ready to proceed with construction of the building and is seeking a minor change for the following design modifications:

- The ground floor lobby, loading and parking access has been reconfigured. To accommodate vehicles and loading, the ground floor of the building adjacent to the south 14 foot public alley has been setback.
- The number of off-street parking spaces in Sub area A has been reduced from 486 to 440 spaces and the number in Sub area B has been reduced from 12 to 0. The 12-space surface parking lot along Wabash Ave. (Sub area B) has been replaced with a dog run and wider driveway. Storage for 148 bicycles will be located on the building's 2nd floor.
- Vehicular access has been modified so that cars and trucks will now enter the site from Wabash Ave. Trucks will exit back onto Wabash Ave. and cars will exit onto 9th St. Previously, car and truck access was from 9th St. (The existing Wabash Ave. driveway also serves as your client's vehicular access for the adjacent building at 1006 S. Michigan). CDOT has also approved these vehicular modifications.
- The tower height and form is unchanged. The tower's east-west width decreased slightly from 111 feet to approximately 102 feet.

- Some balconies on the tower have been eliminated. Balconies on the north and south elevations are now limited to the upper floors which contain the largest units and an additional balcony on the 70th floor of the east elevation has been eliminated.
- At the base of the east elevation, the placement of the approved cladding materials has been slightly modified to accommodate interior layout changes and as a result of a reduction in parking space. Glass extends and replaces the solid metal at the 11th and 12th floors to accommodate active space behind. The approved solid and open metal cladding will replace a portion of the glass façade from the parking garage east to the centerline of the tower and thereby screen the storage and mechanical space behind on the 2nd through 10th floors. There are no changes to the approved corrugated metal panels which will clad the parking garage and screen automobile headlights, internal light fixtures, and the concrete structure itself.
- The “Cut” setback denoting the top of the base and emphasizing the relationship with the Michigan Ave. street wall remains at +215 feet. The height of the cut has been reduced from 41 feet to 24 feet.
- In lieu of LEED Certification, the building shall obtain the number of points necessary to meet the requirements of the Chicago Sustainable Development Policy.
- There are no changes to the approved metal screen connecting the proposed building with the adjacent 910 S. Michigan Ave. building at the 2nd and 3rd levels.

These modifications are shown on the following attached, revised drawings, dated July 18, 2019: Site Plan/Ground Floor Plan, Landscape Plan, Parking Plan-Level 02, Typical Parking Plan-Levels 04-09, Green Roof Plan, North Elevation –East 9th Street, South Elevation-East 11th Street, East Elevation-South Michigan Avenue, West Elevation-South Wabash Avenue, and Building Section. With regard to your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

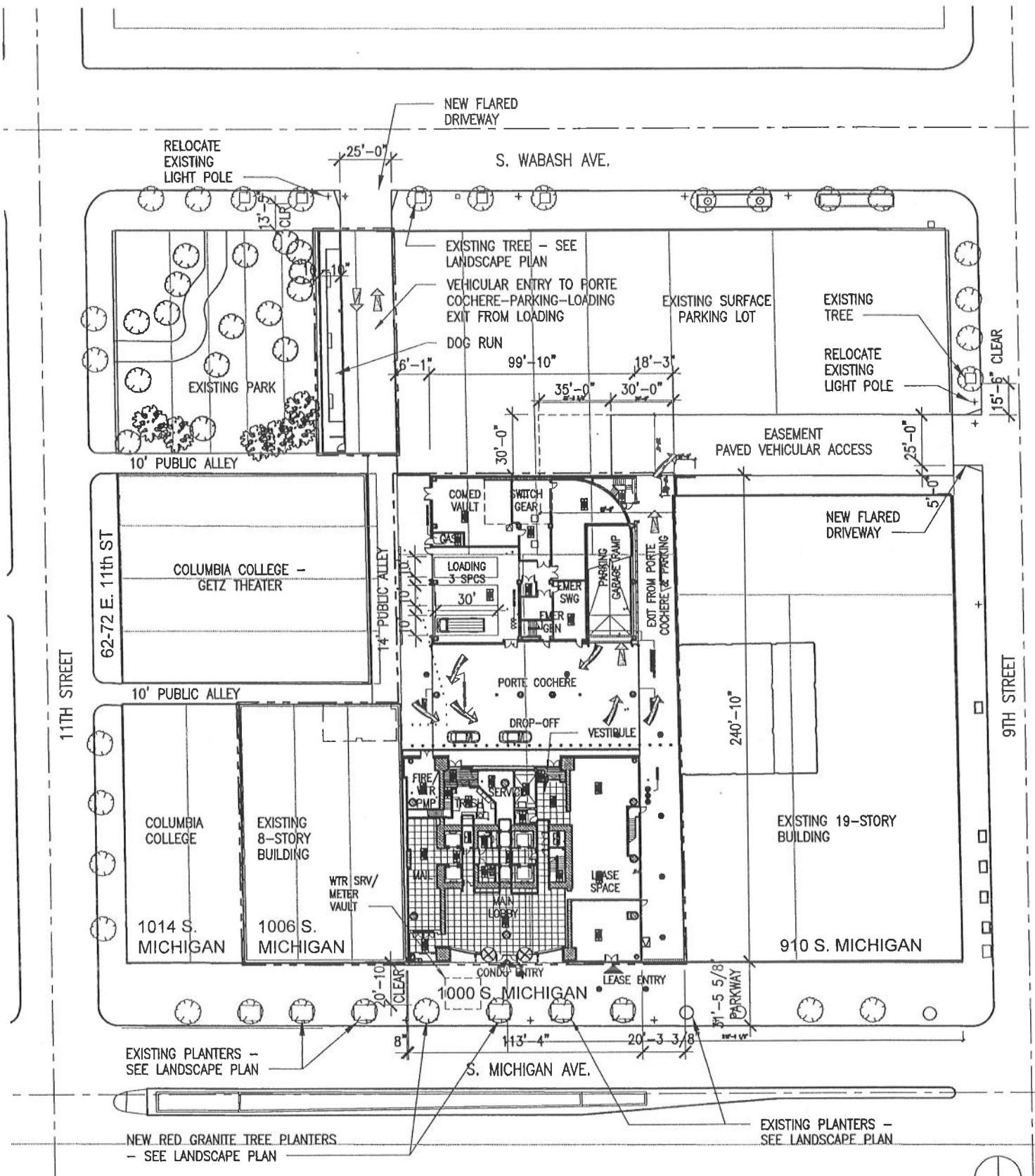
Pursuant to a letter dated July 20, 2016, the proposed exterior facade changes and final materials will need to be reviewed and approved at a future Permit Review Committee of the Commission on Chicago Landmarks. Please coordinate this with Larry Shure of the Landmarks staff.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD No. 1323, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,


Patrick Murphey
Zoning Administrator

C: Mike Marmo, Erik Glass, Dan Klaiber, Larry Shure, Bill Higgins, Main file

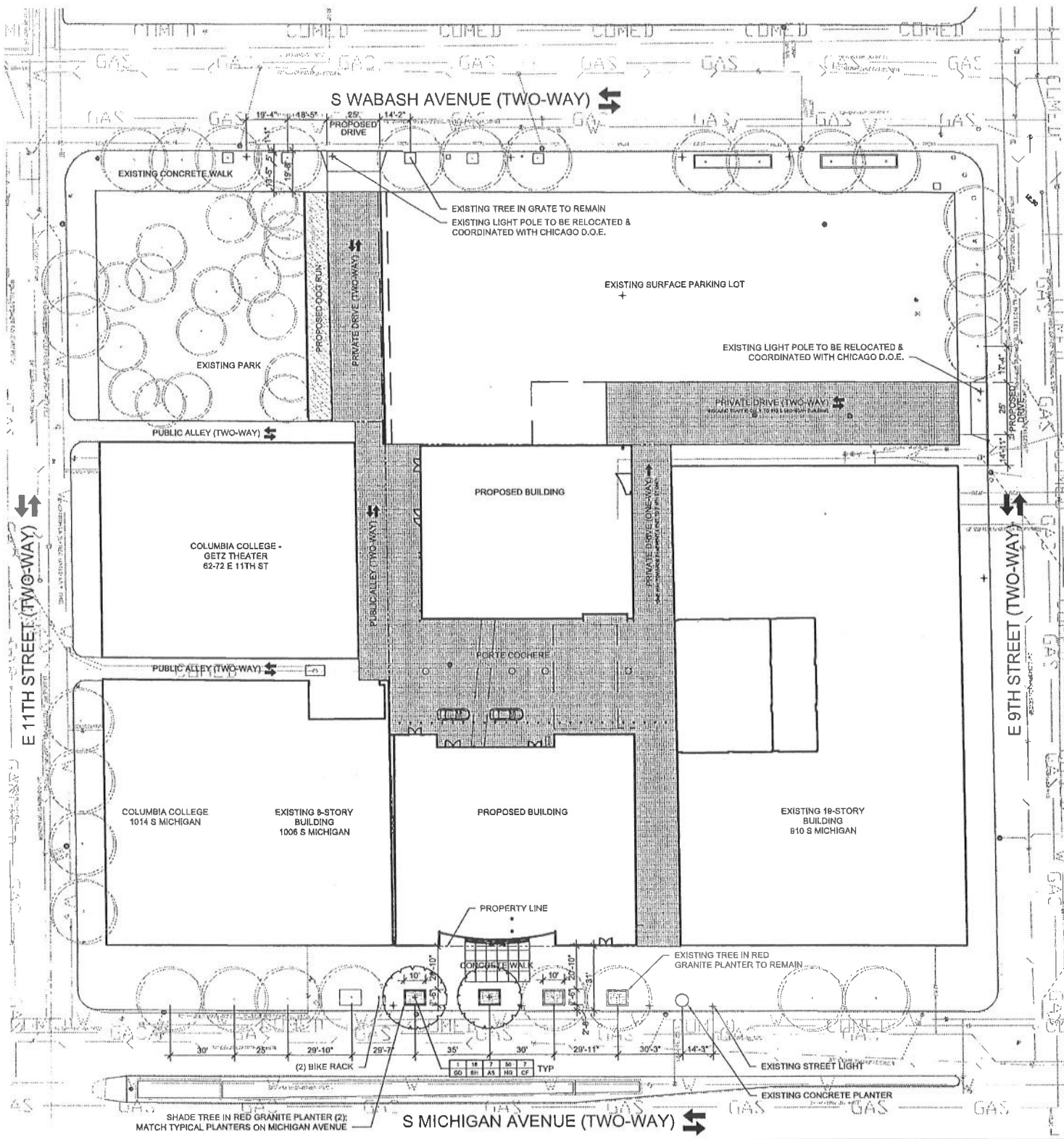


SITE PLAN / GROUND FLOOR PLAN

0 15 30 45 60
SCALE: 1"=60'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016
 REV DATE: JULY 18, 2019

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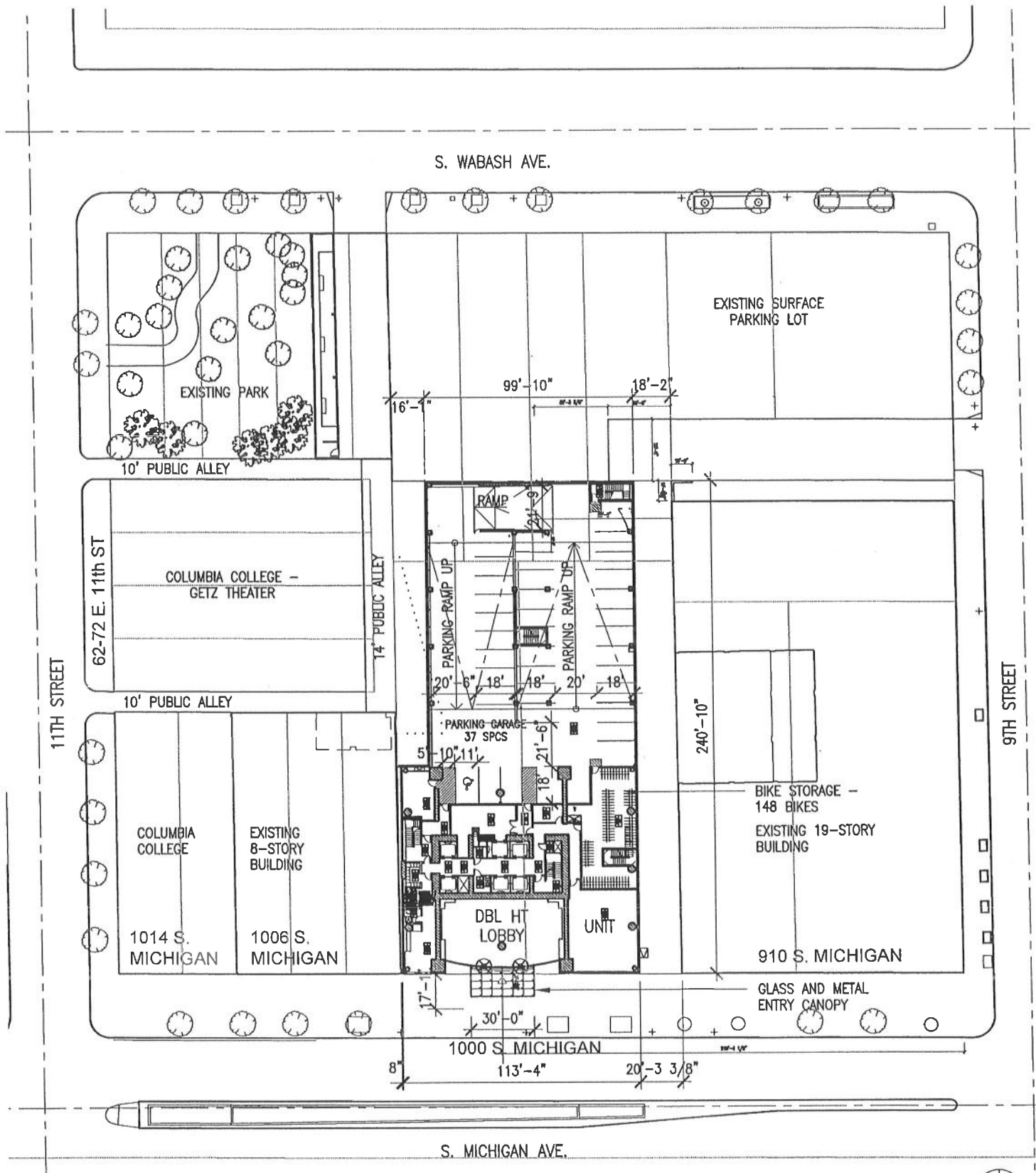


LANDSCAPE PLAN

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: JULY 18, 2019

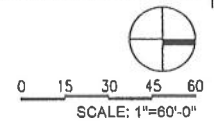
PLANT SCHEDULE						
CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
TREES						
GD	2	<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	B&B	4" cal.	matching heads
ORNAMENTAL GRASSES						
SH	36	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	conl	#1	18" o.c.
PERENNIALS						
AS	14	<i>Allium</i> 'Summer Beauty'	Summer Beauty Allium	conl	#1	18" o.c.
BULBS						
CF	14	<i>Crocus</i> 'Fire King'	Fire King Crocuses	bulb	-	Interplanted
NG	100	<i>Narcissus</i> 'Gold Shoulder Blend'	Gold Shoulder Blend Daffodils	bulb	-	Interplanted

- NOTE:**
1. ANTICIPATED PLANTING DATE SPRING 2016; BULBS SHALL BE PLANTED NEXT FALL
 2. (6) EXISTING CONCRETE PLANTERS ALONG S MICHIGAN TO BE RELOCATED; COORDINATE WITH CITY OF CHICAGO BUREAU OF FORESTRY AND LANDSCAPE ARCHITECT



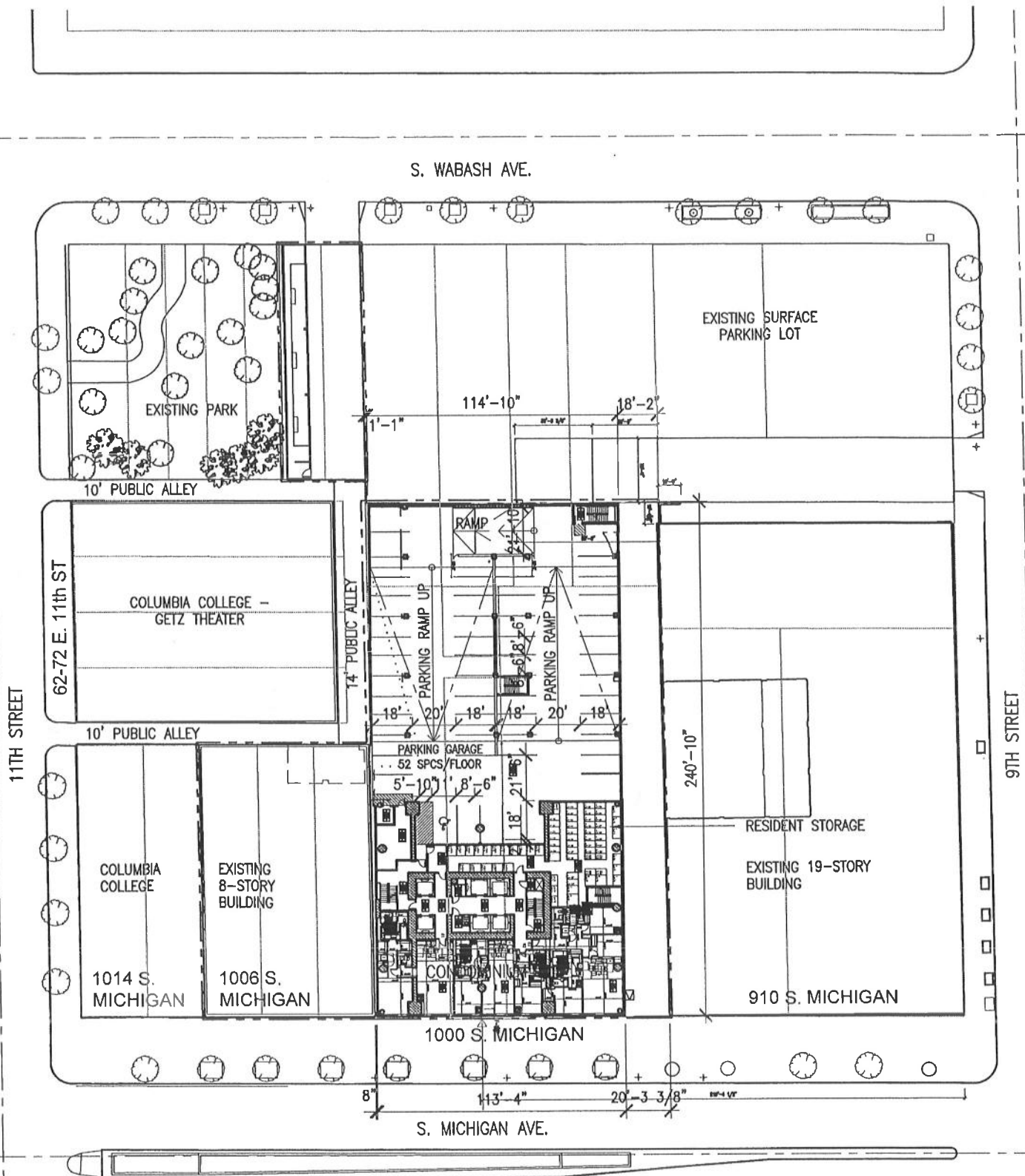
BICYCLE PARKING:
148 BICYCLE SPACES AT LEVEL 02

PARKING PLAN - LEVEL 02

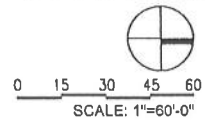


APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016
 REV DATE: JULY 18, 2019

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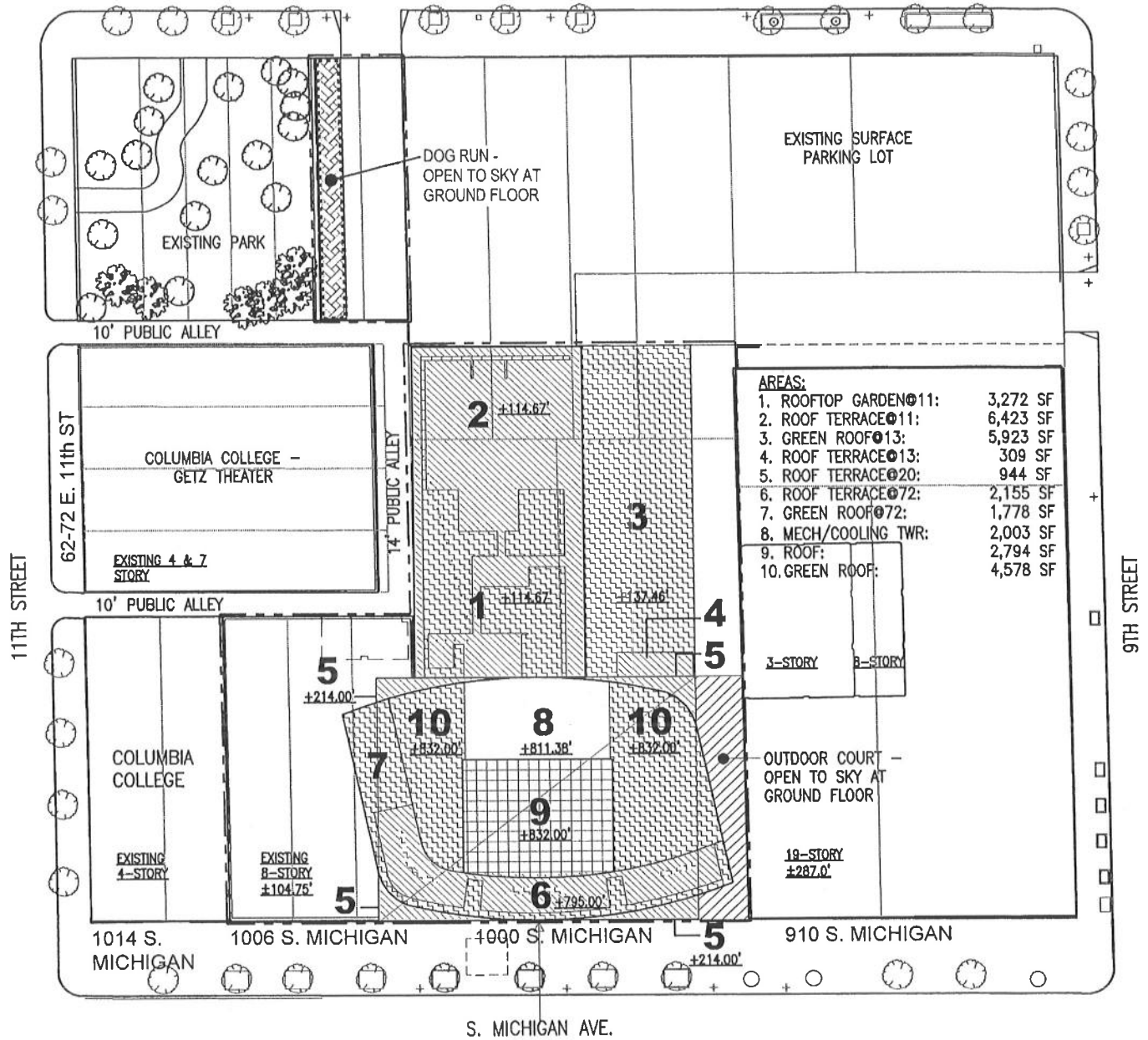
TYPICAL PARKING PLAN - LEVELS 04-09



APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016
 REV DATE: JULY 18, 2019

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S. WABASH AVE.



AREAS:

1. ROOFTOP GARDEN@11:	3,272 SF
2. ROOF TERRACE@11:	6,423 SF
3. GREEN ROOF@13:	5,923 SF
4. ROOF TERRACE@13:	309 SF
5. ROOF TERRACE@20:	944 SF
6. ROOF TERRACE@72:	2,155 SF
7. GREEN ROOF@72:	1,778 SF
8. MECH/COOLING TWR:	2,003 SF
9. ROOF:	2,794 SF
10. GREEN ROOF:	4,578 SF

OUTDOOR COURT -
OPEN TO SKY AT
GROUND FLOOR

19-STORY
±287.0'

GREEN ROOF CALCULATION

A	TOTAL ROOF AREA = SUM (1-10)	30,177 SF
B	LESS ROOF MECHANICAL AREA = -8	-2,003 SF
C	TOTAL NET ROOF AREA = (A+B)	28,174 SF
D	REQUIRED GREEN ROOF AREA (50% OF NET ROOF)	14,087 SF
E	TOTAL GREEN ROOF PROVIDED = (1+3+7+10)	15,551 SF
F	TOTAL GREEN ROOF IN EXCESS OF 50% NET ROOF = (E-D) IF E>=D	0.0 SF
G	F.A.R. BONUS = 0.0 / 48,287 X 0.40 X 16	0.0 SF

BONUS: 0 SF

REQUIRED OPEN SPACE:

451 UNITS x 36 SF/UNIT = 16,236 SF

OPEN SPACE PROVIDED: 16,732 SF

- 1,584 SF BALCONIES
- 12,583 SF ROOF TERRACES
- 1,418 SF GROUND FLOOR OUTDOOR COURT
- 1,147 SF OF DOG RUN

INTERIOR AMENITY SPACE PROVIDED:

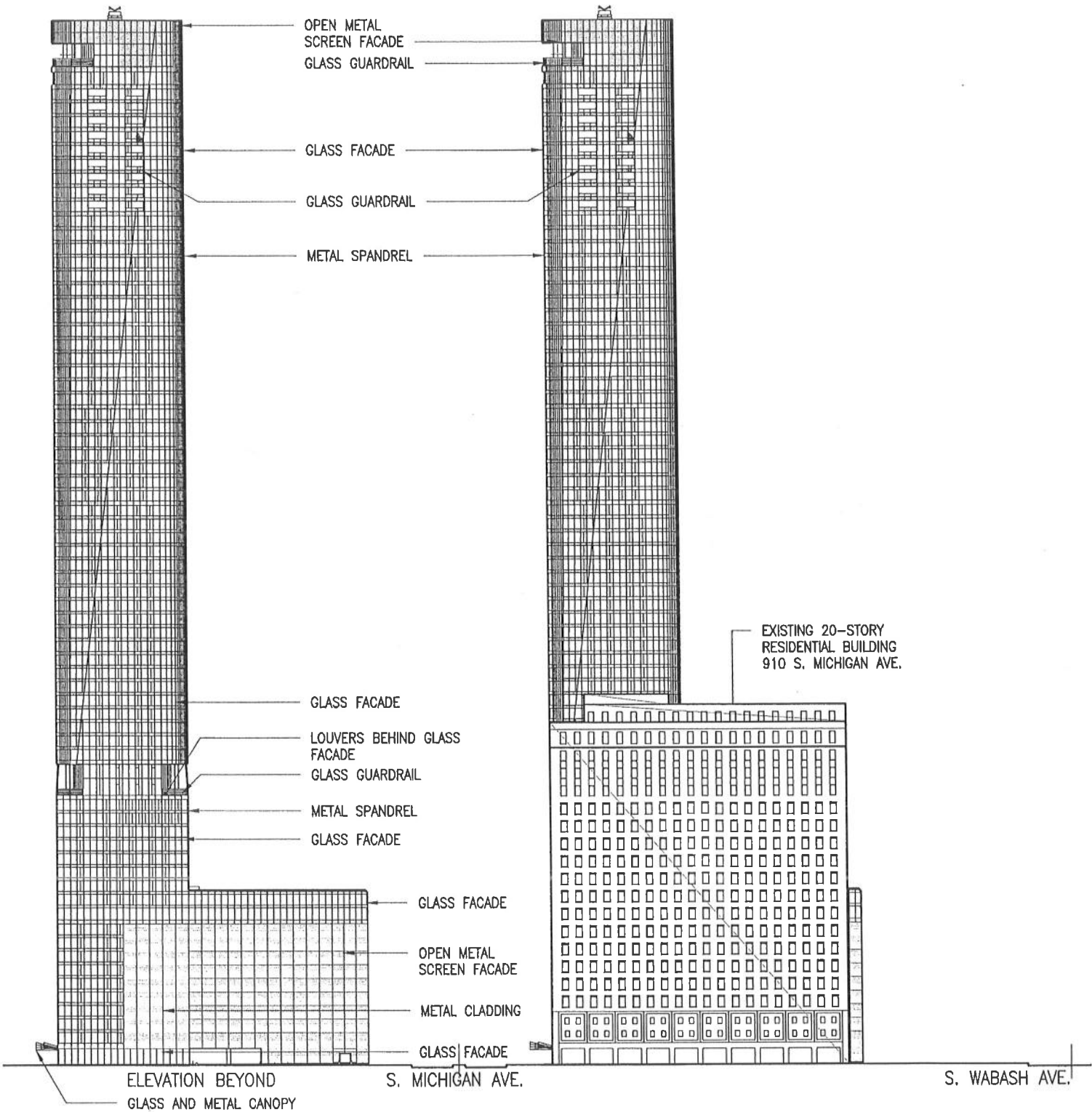
• LEVEL 11: AMENITY LEVEL	=	22,753 SF
• LEVEL 72: SKY LOUNGE	=	17,209 SF
		5,544 SF

0 15 30 45 60
SCALE: 1"=60'-0"

GREEN ROOF PLAN

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: JULY 18, 2019

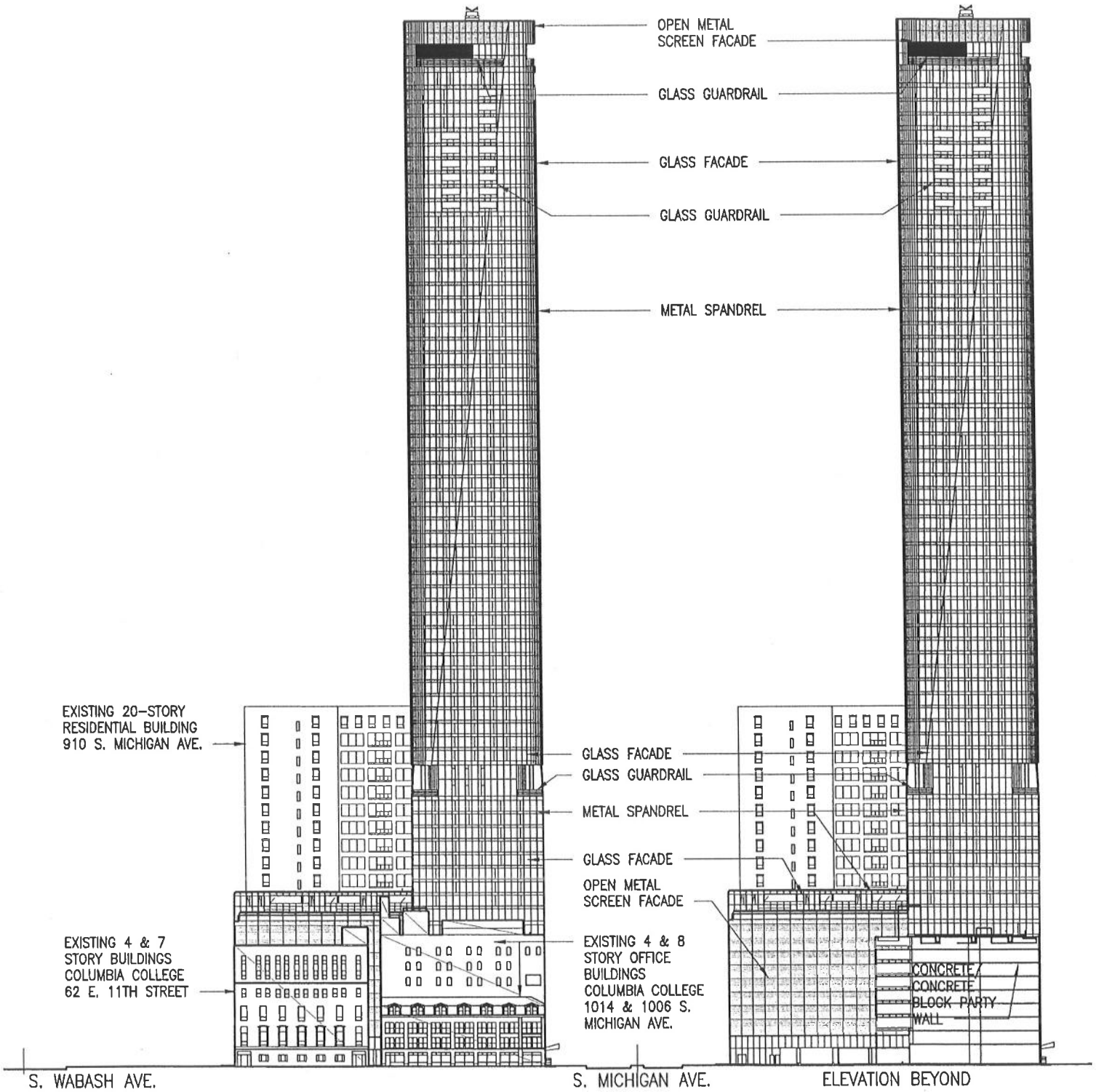
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NORTH ELEVATION - EAST 9TH STREET

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016
 REV DATE: JULY 18, 2019

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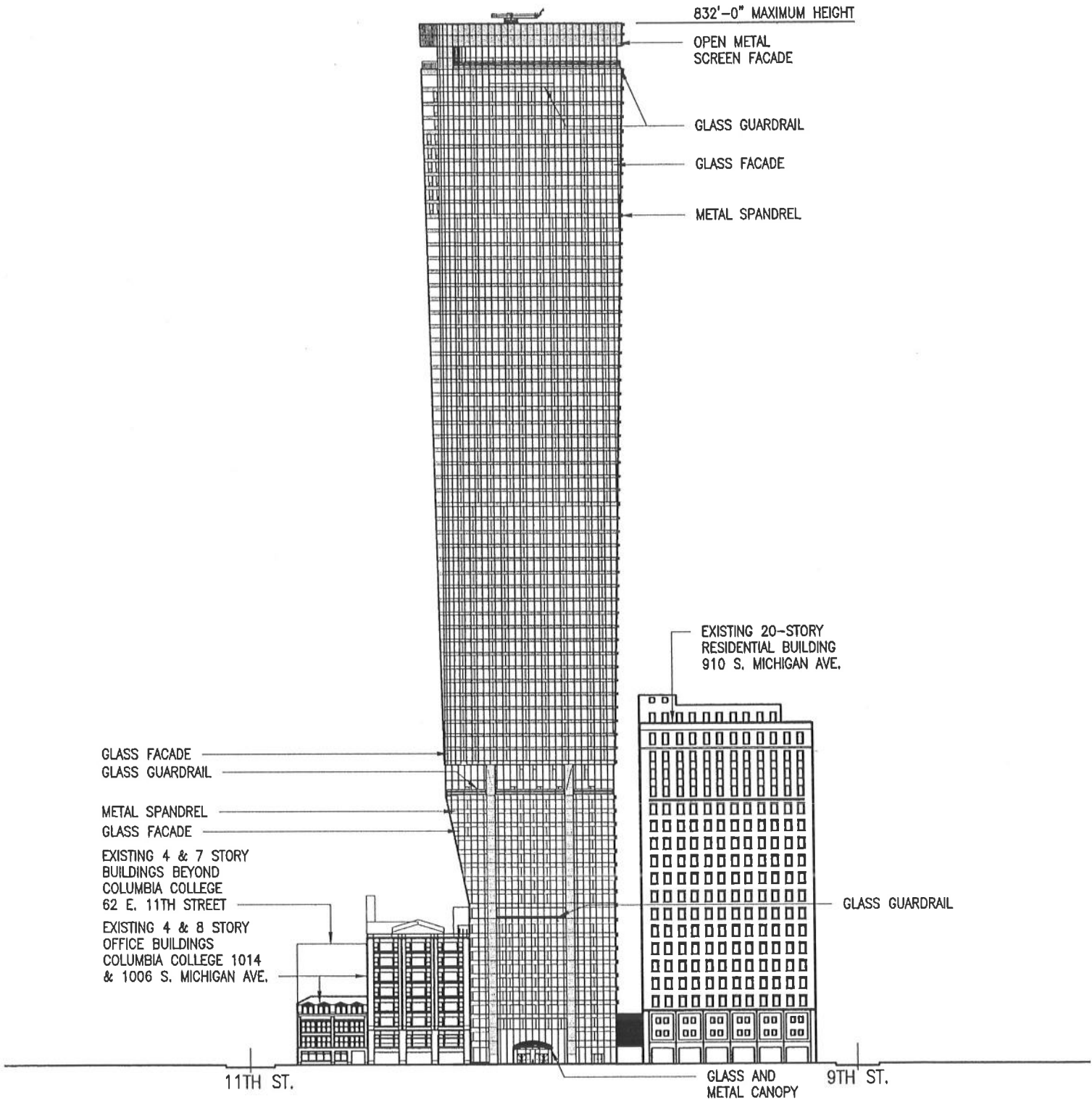


SOUTH ELEVATION - EAST 11TH STREET

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016
 REV DATE: JULY 18, 2019

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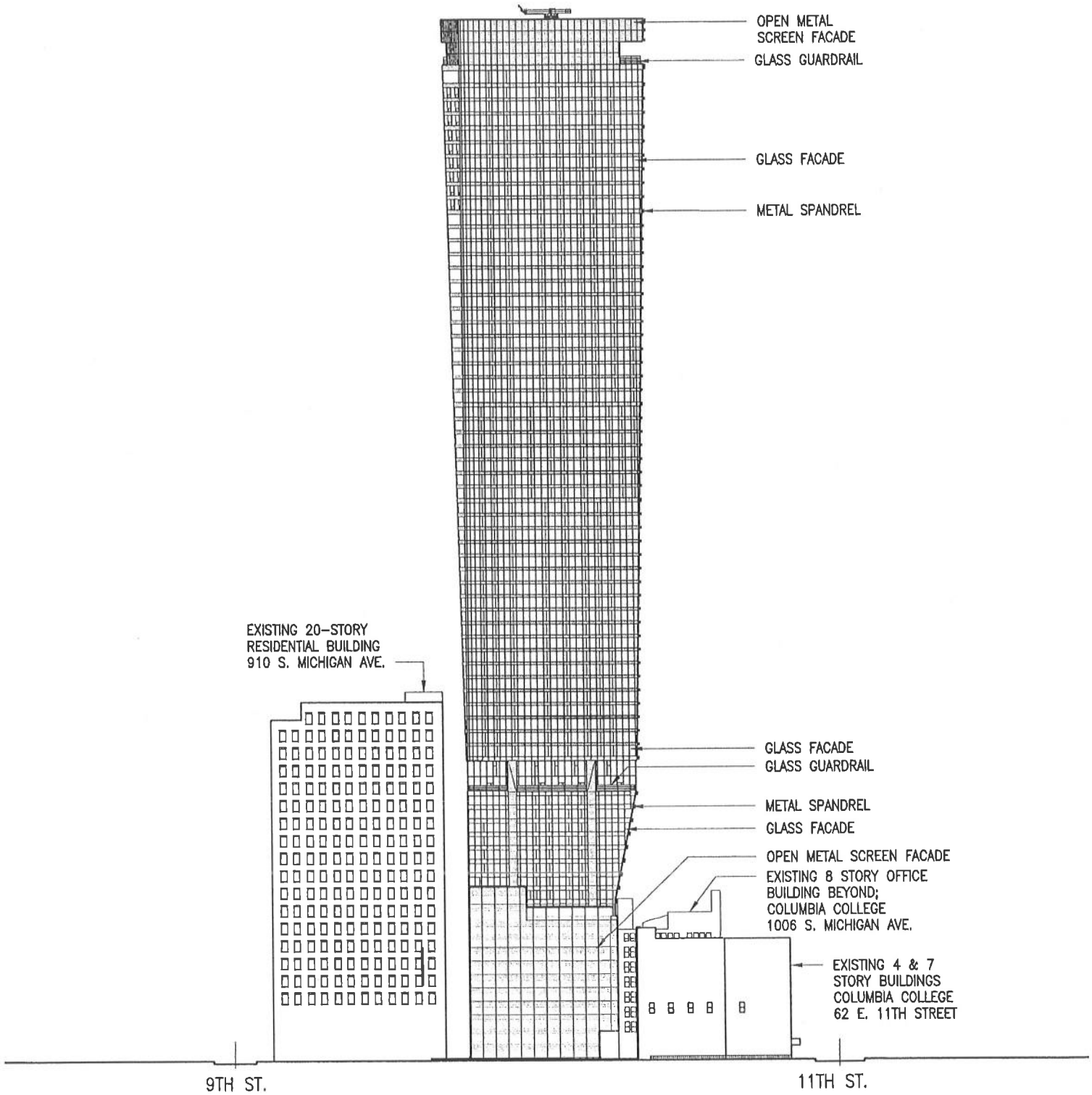


EAST ELEVATION - SOUTH MICHIGAN AVENUE

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016
 REV DATE: JULY 18, 2019

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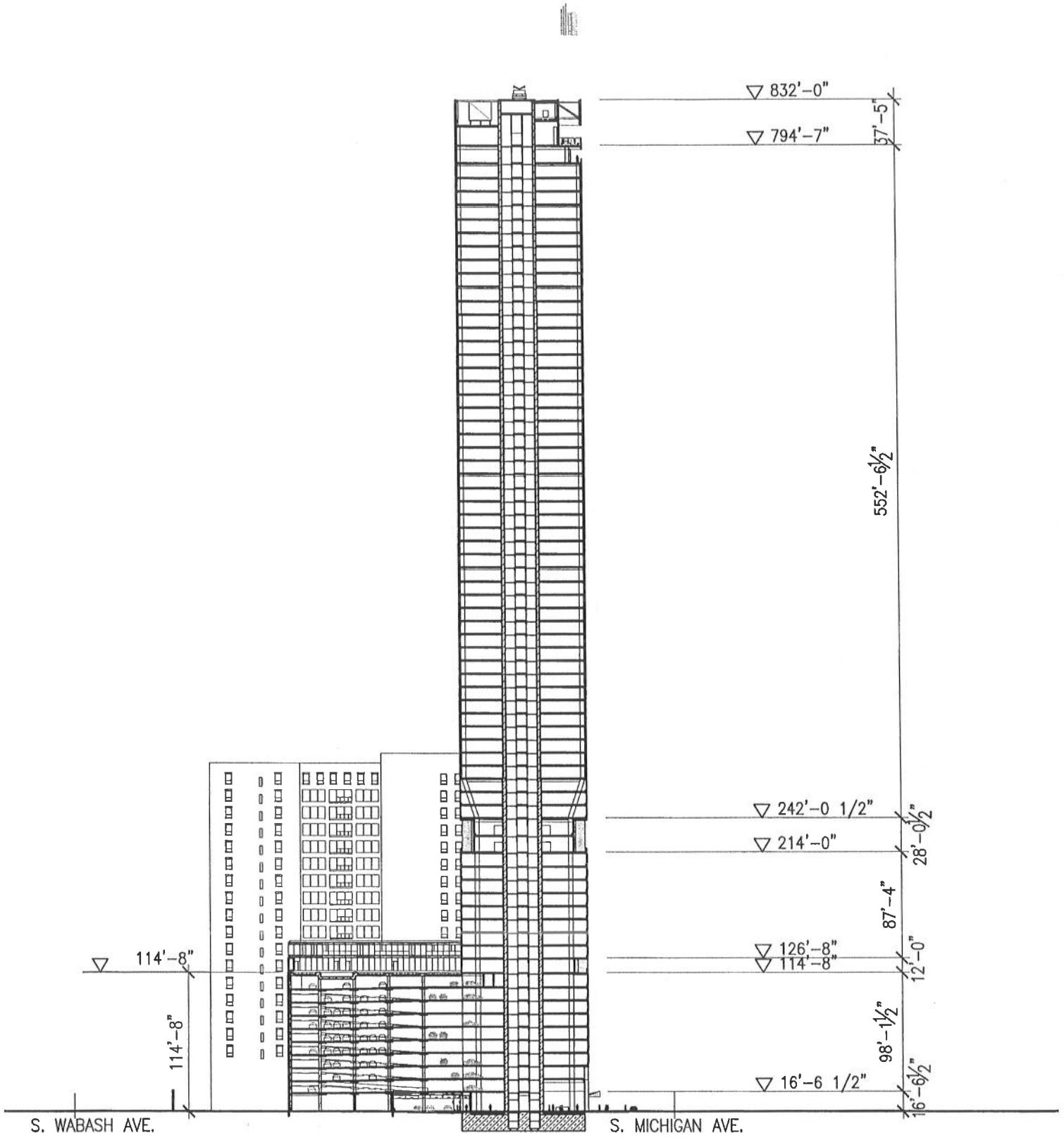


WEST ELEVATION - SOUTH WABASH AVENUE

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016
 REV DATE: JULY 18, 2019

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BUILDING SECTION

0 25 50 75 100

SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016
 REV DATE: JULY 18, 2019

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DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 22, 2017

Jack George
Ackerman LLP
71 South Wacker Drive
46th Floor
Chicago, IL 60606

**Re: Administrative Relief request for Planned Development No. 1323
1000 S. Michigan Avenue**

Dear Mr. George:

Please be advised that your request for a minor change to Residential Business Planned Development No. 1323 ("PD 1323"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of PD 1323.

Your client and the owner of all of the property within PD 1323, 1000 South Michigan Equities, LLC, is seeking administrative relief to allow for the following design changes to the proposed building at 1000 S. Michigan Ave.:

- The number of dwelling units has been reduced from 506 to 324 units.
- The separate condominium and apartment lobbies have been combined into one space.
- The 12-space surface parking lot along Wabash Ave., in Sub area B, has been eliminated and replaced with a dog run and vehicles will now enter the site from Wabash Ave. and exit onto 9th St. The loading and parking layout has been reconfigured and the total number of off-street parking spaces has been reduced from 498 to 440 spaces (Sub area A has been reduced from 486 to 440 spaces and Sub area B has been reduced from 12 to 0 spaces). The number of bicycle spaces is being reduced from 506 to 148 spaces (50 are required). CDOT approved the revised Site Plan on May 3, 2017.
- The green roof area has increased from 13,903 SF to approximately 15,551 SF.
- The tower height and form is unchanged with the east-west dimension increasingly slight, from 132 feet to 134 feet, and the balconies at the north and south elevations are now limited to the upper floors, which contain the largest units.
- A glass façade will replace the metal cladding at the top of the parking garage on the East Elevation. Metal cladding will replace the glass façade from the parking garage east to the centerline of the tower corresponding to the bike and tenant storage rooms on levels 2

through 10 on the East Elevation. This portion of the building is not visible from the public way.

- The “Cut” setback denoting the top of the base and emphasizing the relationship with the Michigan Ave. street wall remains at +214 feet. The height of the cut has been reduced from 41 feet to 28 feet.


These modifications are shown on the attached, revised drawings, dated March 30, 2107: Site Plan/Ground Floor Plan, Landscape Plan, Parking Plan-Level 02, Typical Parking Plan-Levels 04-09, Green Roof Plan, North Elevation –East 9th Street, South Elevation-East 11th Street, East Elevation-South Michigan Avenue, West Elevation-South Wabash Avenue, and Building Section.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Pursuant to a letter dated July 20, 2016, the proposed exterior facade changes and final materials will need to be reviewed and approved at a future Permit Review Committee of the Commission on Chicago Landmarks. Please coordinate this with Cindy Roubik of my staff.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Residential Business Planned Development No. 1323, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

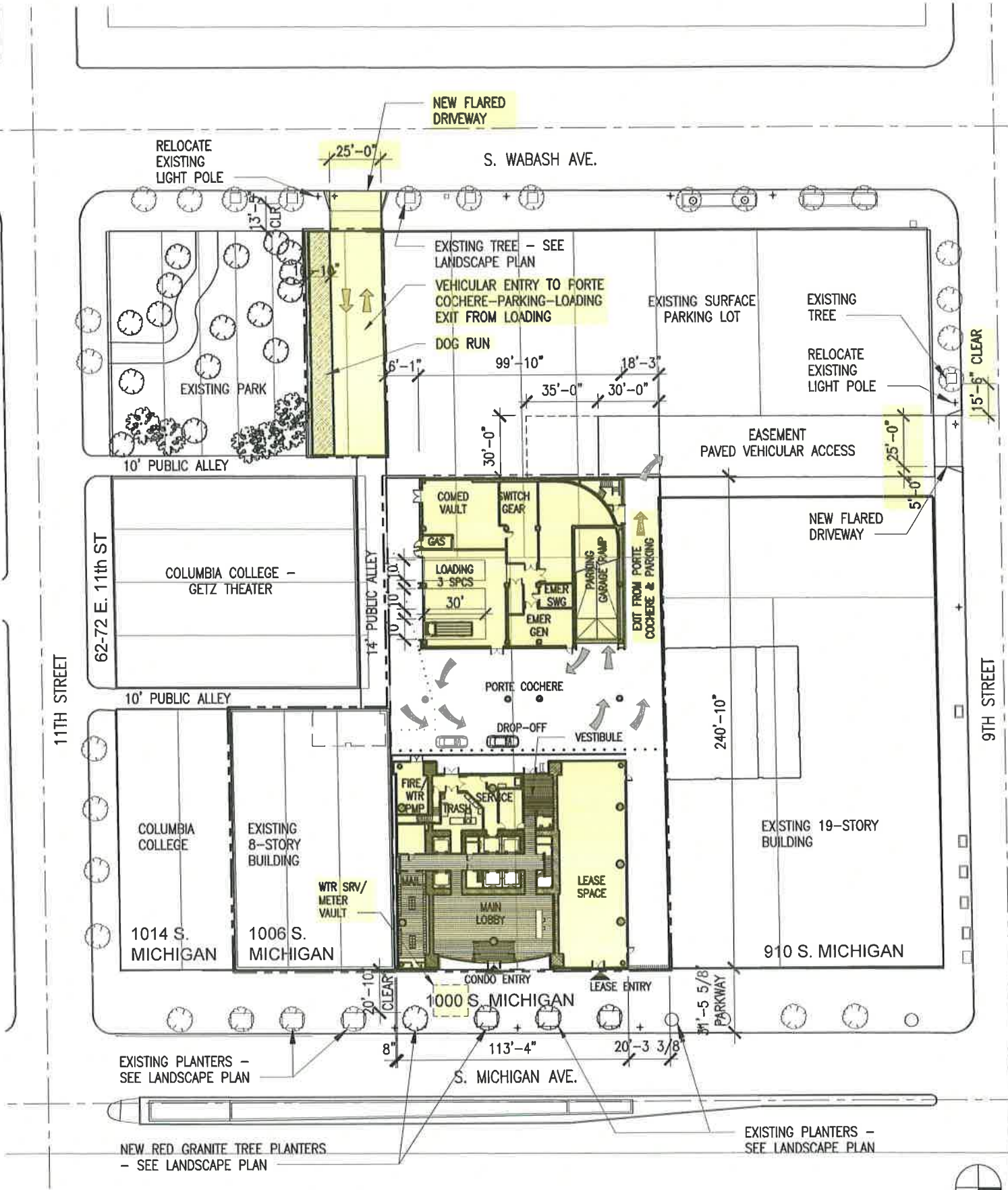
Sincerely,



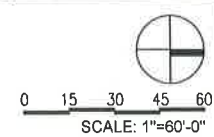
Patricia A. Scudiero
Zoning Administrator

PAS:PM:tm

C: Chris Leach, Mike Marmo, Erik Glass, Dan Klaiber, Cindy Roubik, Main file

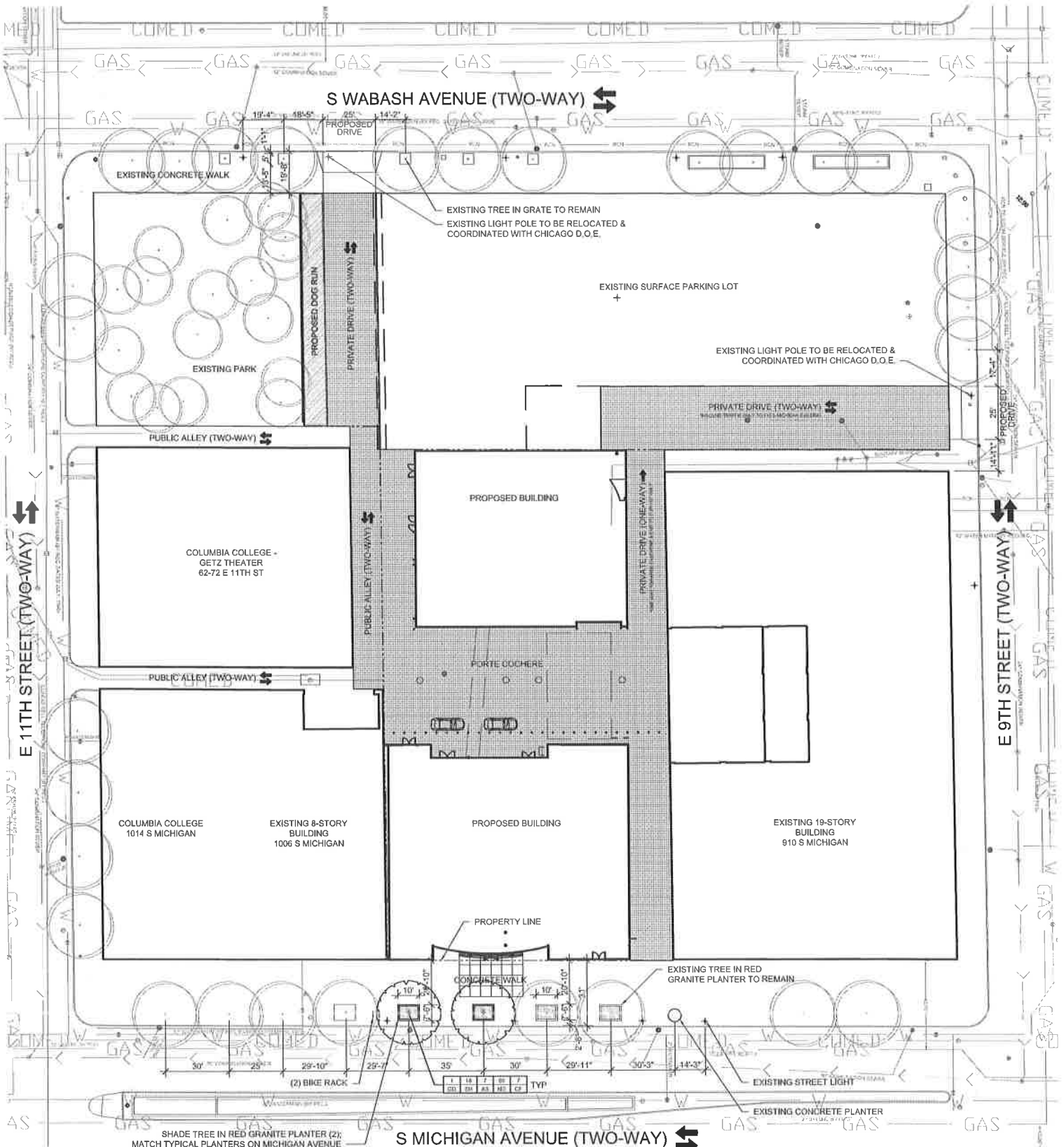


SITE PLAN / GROUND FLOOR PLAN



APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: MARCH 30, 2017

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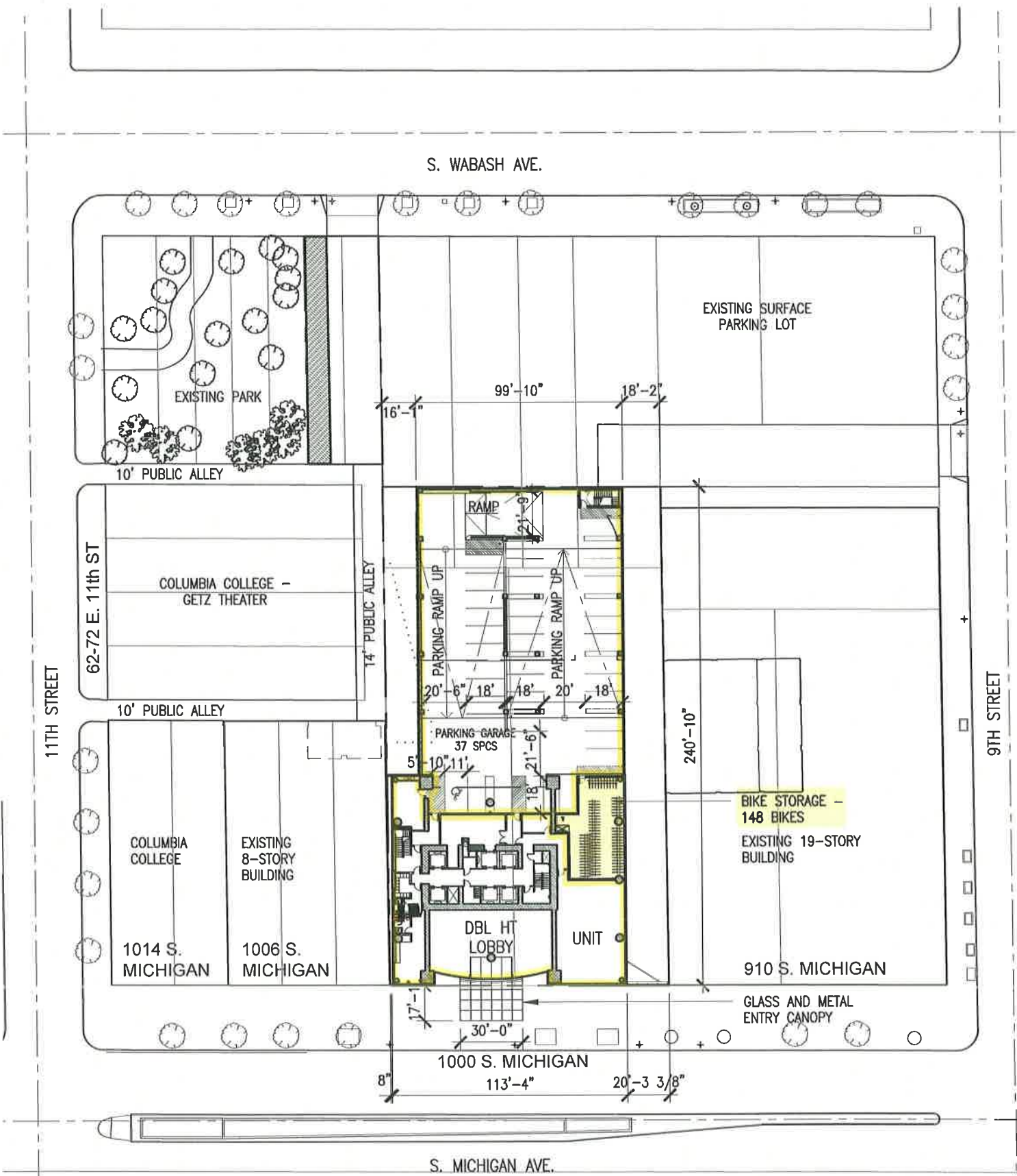
LANDSCAPE PLAN

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: FEBRUARY 20, 2017



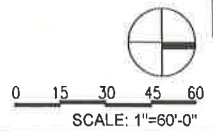
PLANT SCHEDULE						
CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
TREES						
GD	2	<i>Gymnocladus dioica</i>	Kentucky Coffee Tree	B&B	4" cal.	matching heads
ORNAMENTAL GRASSES						
SH	35	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	cont.	#1	18" o.c.
PERENNIALS						
AS	14	<i>Albain</i> 'Summer Beauty'	Summer Beauty Allium	cont.	#1	18" o.c.
BULBS						
CF	14	<i>Crocus</i> 'Fire King'	Fire King Crocus	bulb	-	Interplanted
NG	100	<i>Narcissus</i> 'Gold Shoulder Blend'	Gold Shoulder Blend Daffodils	bulb	-	Interplanted

NOTE:
 1. ANTICIPATED PLANTING DATE SPRING 2016; BULBS SHALL BE PLANTED NEXT FALL
 2. (6) EXISTING CONCRETE PLANTERS ALONG S MICHIGAN TO BE RELOCATED;
 COORDINATE WITH CITY OF CHICAGO BUREAU OF FORESTRY AND LANDSCAPE ARCHITECT



BICYCLE PARKING:
148 BICYCLE SPACES AT LEVEL 02

PARKING PLAN - LEVEL 02



APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: MARCH 30, 2017

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S. WABASH AVE.

EXISTING SURFACE
PARKING LOT

EXISTING PARK

114'-10"

18'-2"

10' PUBLIC ALLEY

1'-1"

COLUMBIA COLLEGE -
GETZ THEATER

62-72 E. 11th ST

14' PUBLIC ALLEY

RAMP

PARKING RAMP UP

PARKING RAMP UP

10' PUBLIC ALLEY

PARKING GARAGE
- 52 SPCS/FLOOR

240'-10"

RESIDENT STORAGE

EXISTING 19-STORY
BUILDING

COLUMBIA
COLLEGE

EXISTING
8-STORY
BUILDING

CONDO UNIT

1014 S.
MICHIGAN

1006 S.
MICHIGAN

910 S. MICHIGAN

1000 S. MICHIGAN

11TH STREET

9TH STREET

S. MICHIGAN AVE.

8"

113'-4"

20'-3 3/8"

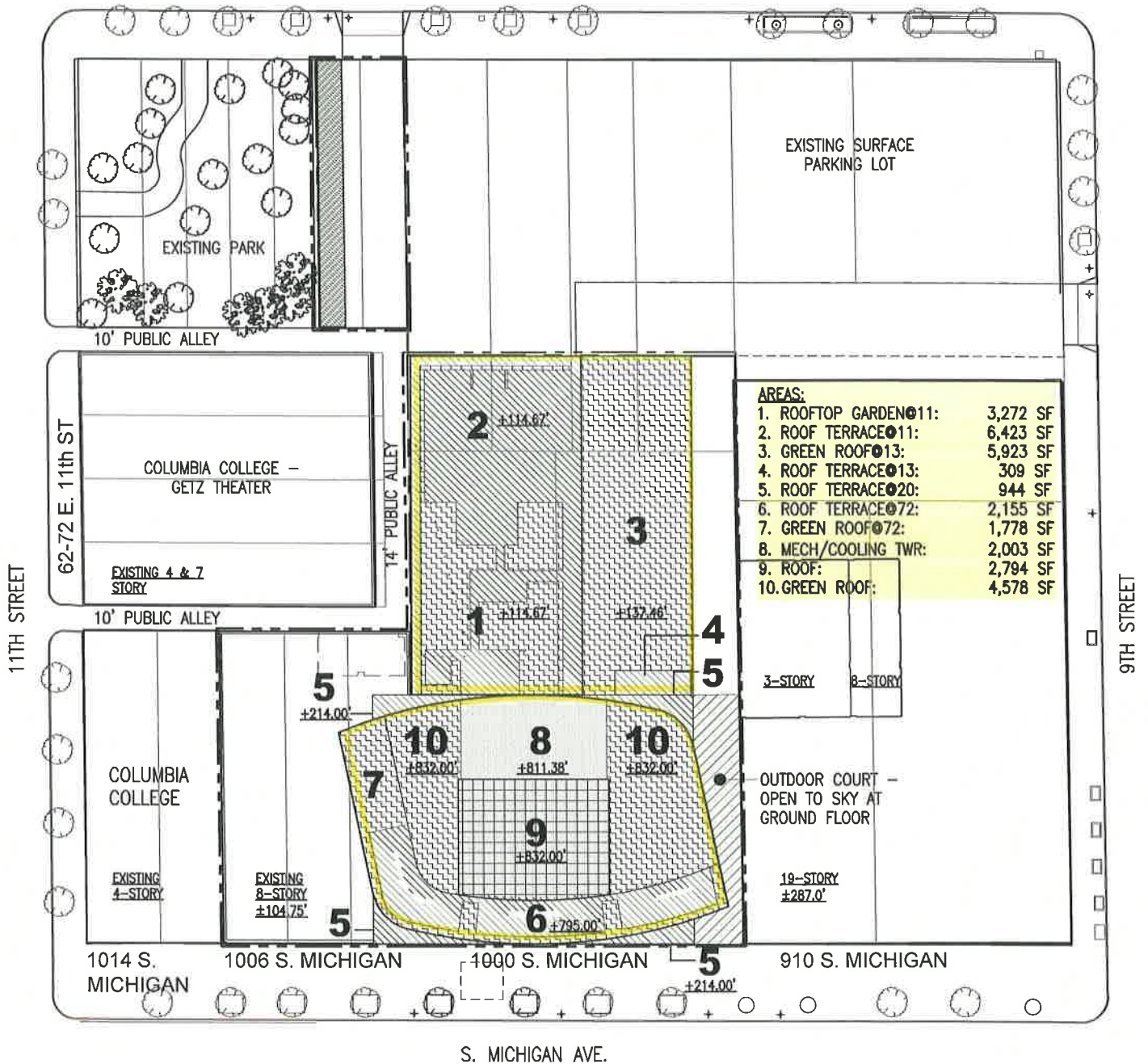
0 15 30 45 60
SCALE: 1"=60'-0"

TYPICAL PARKING PLAN - LEVELS 04-09

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: MARCH 30, 2017

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S. WABASH AVE.



GREEN ROOF CALCULATION

A	TOTAL ROOF AREA = SUM (1-10)	30,177 SF
B	LESS ROOF MECHANICAL AREA = -8	-2,003 SF
C	TOTAL NET ROOF AREA = (A+B)	28,174 SF
D	REQUIRED GREEN ROOF AREA (50% OF NET ROOF)	14,087 SF
E	TOTAL GREEN ROOF PROVIDED = (1+3+7+10)	15,551 SF
F	TOTAL GREEN ROOF IN EXCESS OF 50% NET ROOF = (E-D) IF E>=D	0.0 SF
G	F.A.R. BONUS = 0.0 / 46,287 X 0.40 X 16	0.0 SF
	BONUS: 0 SF	

REQUIRED OPEN SPACE:

324 UNITS x 36 SF/UNIT = 11,664 SF

OPEN SPACE PROVIDED: 17,205 SF

- 3,024 SF BALCONIES
- 12,583 SF ROOF TERRACES
- 1,418 SF GROUND FLOOR OUTDOOR COURT

INTERIOR AMENITY SPACE PROVIDED:

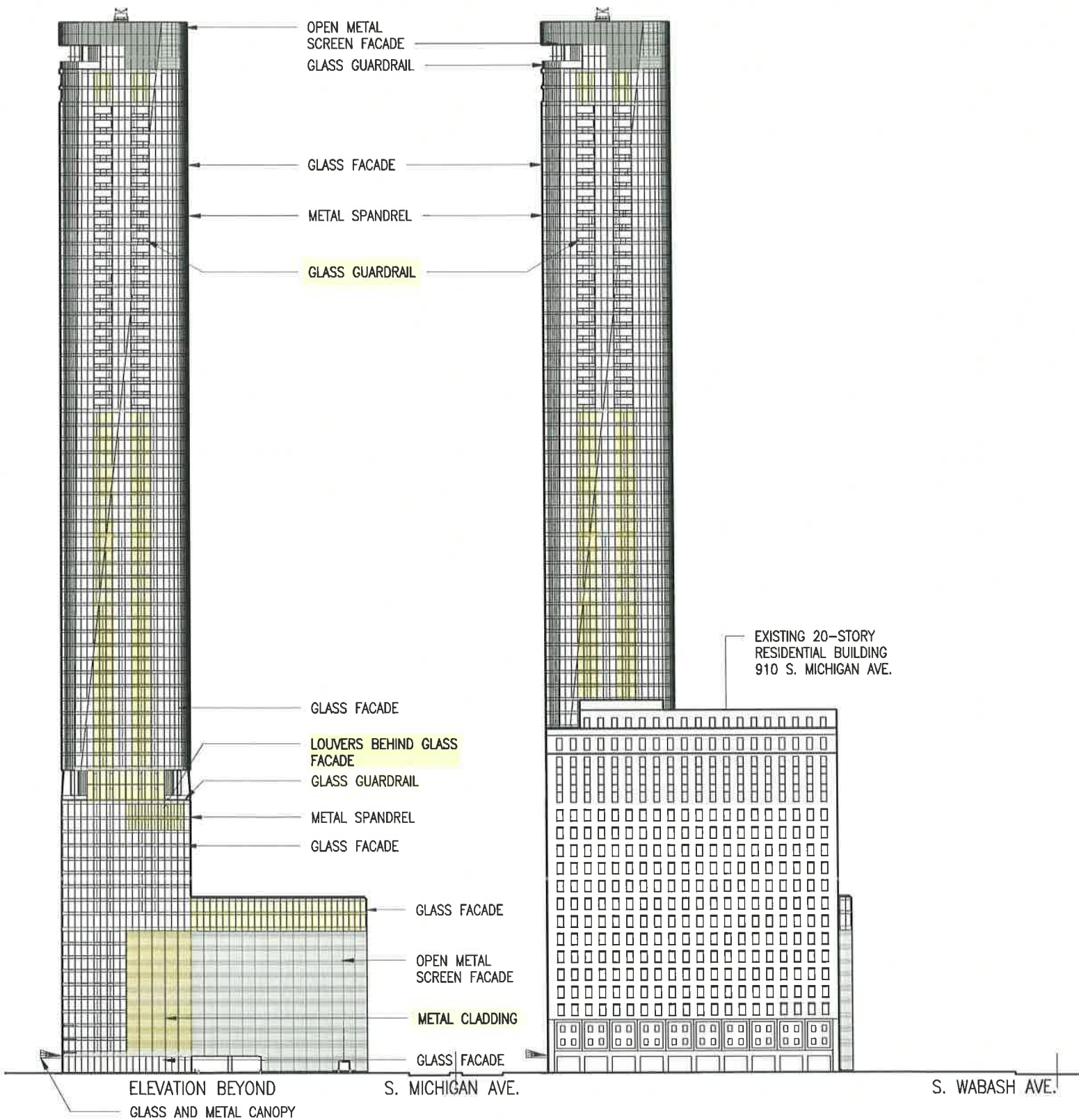
- LEVEL 11: AMENITY LEVEL = 17,209 SF
- LEVEL 72: SKY LOUNGE = 5,544 SF

GREEN ROOF PLAN

0 15 30 45 60
SCALE: 1"=60'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: MARCH 30, 2017

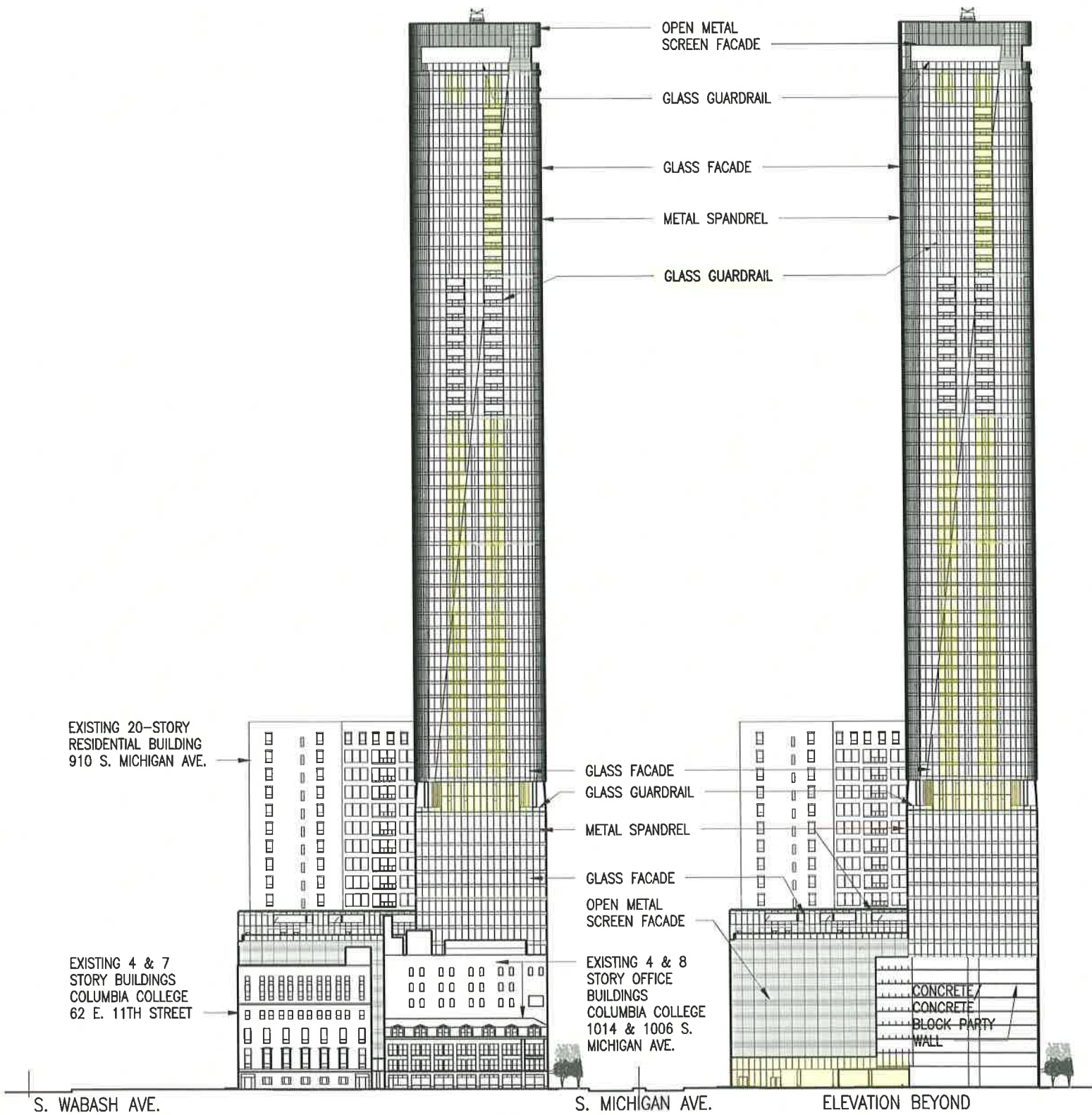
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NORTH ELEVATION - EAST 9TH STREET

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
 ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
 CPC DATE: APRIL 21, 2016
 REV DATE: MARCH 30, 2017

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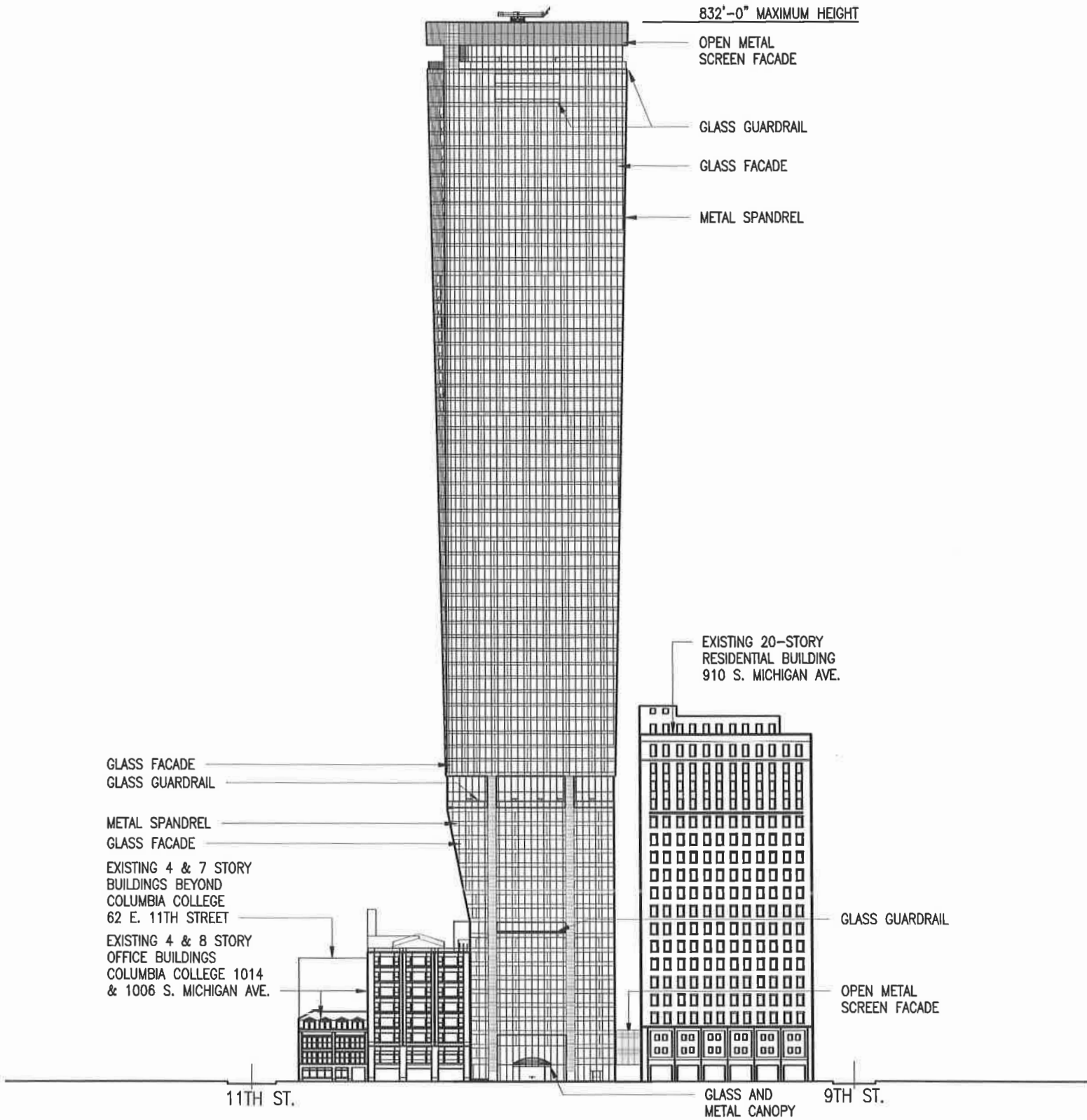


SOUTH ELEVATION - EAST 11TH STREET

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: MARCH 30, 2017

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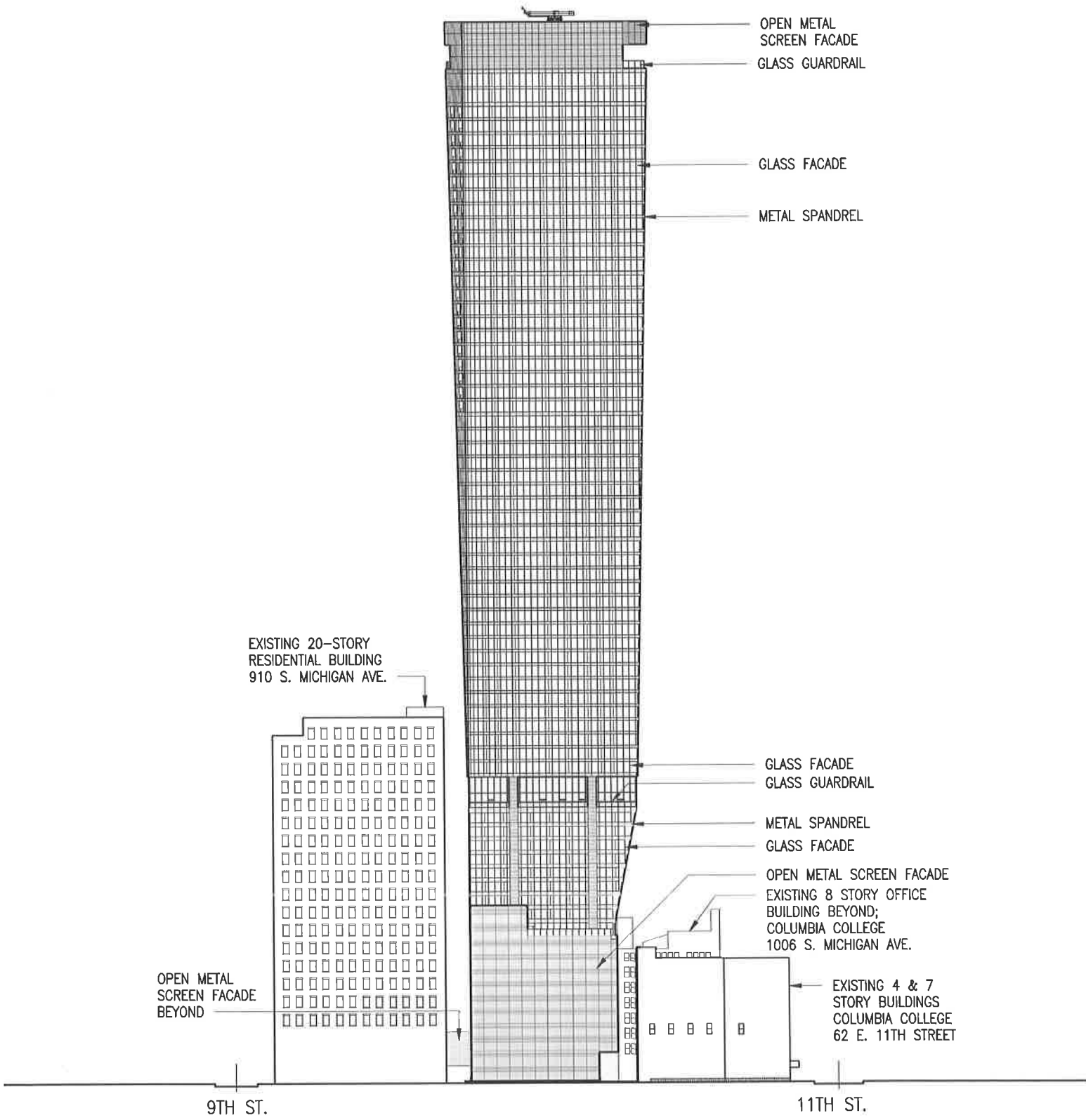


EAST ELEVATION - SOUTH MICHIGAN AVENUE

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: MARCH 30, 2017

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OPEN METAL
SCREEN FACADE
GLASS GUARDRAIL

GLASS FACADE

METAL SPANDREL

EXISTING 20-STORY
RESIDENTIAL BUILDING
910 S. MICHIGAN AVE.

GLASS FACADE
GLASS GUARDRAIL

METAL SPANDREL
GLASS FACADE

OPEN METAL SCREEN FACADE
EXISTING 8 STORY OFFICE
BUILDING BEYOND;
COLUMBIA COLLEGE
1006 S. MICHIGAN AVE.

OPEN METAL
SCREEN FACADE
BEYOND

EXISTING 4 & 7
STORY BUILDINGS
COLUMBIA COLLEGE
62 E. 11TH STREET

9TH ST.

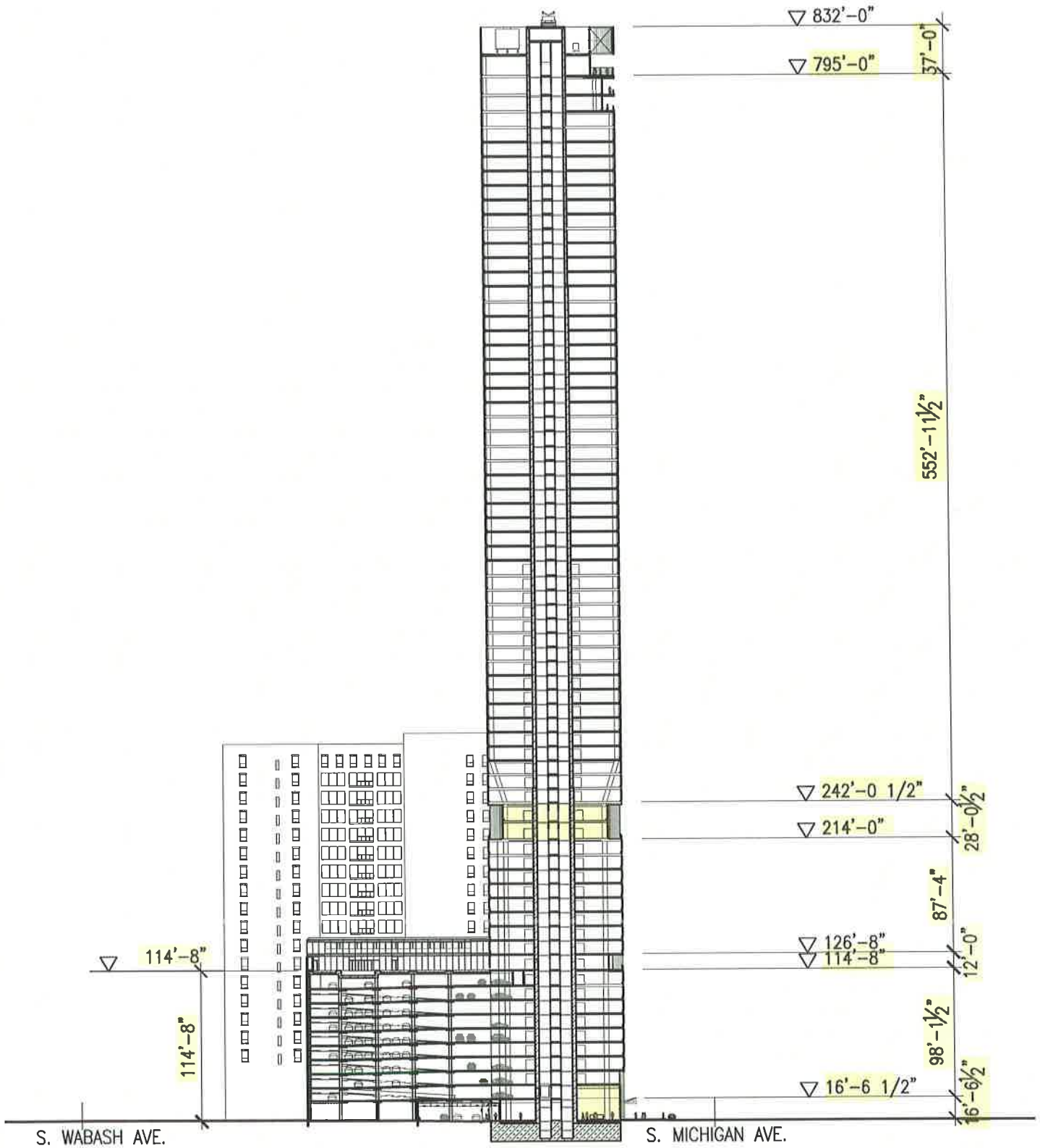
11TH ST.

WEST ELEVATION - SOUTH WABASH AVENUE

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: MARCH 30, 2017

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BUILDING SECTION

0 25 50 75 100
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016
REV DATE: MARCH 30, 2017

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5/18/2016

REPORTS OF COMMITTEES

25027

On motion of Alderman Solis, the said proposed ordinances and substitute ordinances transmitted with the foregoing committee report were *Passed* by yeas and nays as follows:

Yeas -- Aldermen Moreno, Dowell, King, Hairston, Sawyer, Mitchell, Harris, Beale, Sadlowski Garza, Thompson, Cárdenas, Quinn, Lopez, Foulkes, D. Moore, Curtis, O'Shea, Cochran, Brookins, Muñoz, Zalewski, Scott, Solis, Maldonado, Burnett, Ervin, Taliaferro, Reboyras, Santiago, Waguespack, Mell, Austin, Ramirez-Rosa, Villegas, Mitts, Sposato, Laurino, O'Connor, Napolitano, Reilly, Smith, Tunney, Arena, Cappleman, Pawar, Osterman, J. Moore -- 47.

Nays -- None.

Alderman Beale moved to reconsider the foregoing vote. The motion was lost.

Alderman Burke invoked Rule 14 of the City Council's Rules of Order and Procedure, disclosing that he had represented parties to these ordinances in previous and unrelated matters.

The following are said ordinances as passed (the *italic* heading in each case not being a part of the ordinance):

Reclassification Of Area Shown On Map No. 4-E.
 (As Amended)
 (Application No. 18503)
 (Common Address: 920 -- 1006 S. Michigan Ave.
 And 1011 -- 1015 S. Wabash Ave.)

RBPD 1323

[SO2015-6394]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the DX-12 and DX-16 Downtown Mixed-Use District symbols and indications as shown on Map Number 4-E in the area bounded by:

a line 134.28 feet south of and parallel to East 9th Street; South Michigan Avenue; a line 56.07 feet north of and parallel to East 11th Street; the alley next west of and parallel to South Michigan Avenue; the alley next north of and parallel to East 11th Street; the alley next east of and parallel to South Wabash Avenue; a line 99.33 feet north of and parallel to East 11th Street; South Wabash Avenue; a line 135.40 feet north of and parallel to East 11th Street; and a line 240.94 feet west of and parallel to South Michigan Avenue,

to the designation of DX-16 Downtown Mixed-Use District and a corresponding use district is hereby established in the area above described.

SECTION 2. That Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, be amended by changing all the DX-16 Downtown Mixed-Use District symbols and indications as shown on Map Number 4-E in the area bounded by:

a line 134.28 feet south of and parallel to East 9th Street; South Michigan Avenue; a line 56.07 feet north of and parallel to East 11th Street; the alley next west of and parallel to South Michigan Avenue; the alley next north of and parallel to East 11th Street; the alley next east of and parallel to South Wabash Avenue; a line 99.33 feet north of and parallel to East 11th Street; South Wabash Avenue; a line 135.40 feet north of and parallel to East 11th Street; and a line 240.94 feet west of and parallel to South Michigan Avenue,

to the designation of a Residential Business Planned Development which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development attached herewith and made a part thereof and to no others.

SECTION 3. This ordinance shall take effect upon its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

Planned Development Statements.

1. The area delineated herein as Residential Business Planned Development Number 1323 ("Planned Development") consists of approximately 46,287 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned, controlled or zoning consent has been received by the applicant, 1000 South Michigan Equities LLC.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the

applicant or its successors, assign or grantees. Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of 16 Statements; a Bulk Regulations Table; an Existing Zoning Map; an Existing Land-Use Map; a Planned Development Boundary and Property Line and Subarea Map; Site Plan/Ground Floor Plan; Green Roof Plan; Landscape Plan and Details; Typical Parking Level Plan; Building Section Plan; and Building Elevations (North, South, East and West) prepared by Jahn Architecture and dated April 21, 2016, submitted herein. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.
5. The following uses are permitted in the area delineated herein as a Residential Business Planned Development. In each of the following subareas, the following uses shall be permitted in this Planned Development:

Subarea A:

Residential uses, including up to 506 dwelling units, general retail sales, eating and drinking establishments, liquor sales as an incidental use, accessory parking, of which 45 percent of the required residential parking (maximum 219 spaces) may be leased out on a daily, weekly or monthly basis to persons who are not residents, tenants, patrons, employees or guests of the principal uses, co-location of wireless telecommunication and satellite facilities, related facilities and accessory uses.

Subarea B:

Office, general retail sales, school, college, universities, day care, eating and drinking establishments, liquor sales as an incidental use, accessory parking, co-location of wireless telecommunication and satellite facilities, related facilities and accessory uses.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted Floor Area Ratio identified in the Bulk Regulations Table has been determined using a Net Site Area of 46,287 square feet and a base FAR of 16.00. The improvements to be constructed on the Property will utilize the following series of FAR bonuses:

Description (list of all bonuses applied for and calculations)	FAR
Base FAR:	16.000
Concealed Parking Facade:	1.575
Setback Bonus:	2.493
Affordable Housing Bonus:	<u>1.017</u>
Total FAR:	21.085

9. The applicant acknowledges and agrees that the rezoning of the Property from DX-16 Mixed-Use District to this Planned Development triggers the requirements of Section 2-45-110 of the Municipal Code (the "Affordable Housing Ordinance" or "AHO"). Any developer of a "residential housing project" within the meaning of the Affordable Housing Ordinance ("Residential Project") must: (i) develop affordable housing units as part of the Residential Project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). The applicant further acknowledges and agrees that the project has received an affordable housing floor area bonus pursuant to Section 17-4-1004-B of the Zoning Ordinance, as set forth in the bonus worksheet attached hereto as Exhibit A ("Bonus Worksheet"), and as a result is also subject to the requirements of the former Section 17-4-1004-D of the Zoning Code (the "Density Bonus Provisions"). Like the ARO, the Density Bonus Provisions require on-site affordable housing or payment of a fee in lieu of providing affordable housing, but the formulas for calculating the number of required affordable units and the amount of the in lieu payment are different from the formulas in the ARO. If a planned development is subject to both the ARO and the former Density Bonus Provisions, the applicant may elect to comply with either. In this case, the applicant has elected to

comply with the Density Bonus Provisions. In accordance with the formulas set forth in the former Section 17-4-1004-C and the Bonus Worksheet, the applicant acknowledges and agrees that it must provide a minimum of 11,768.50 square feet of affordable housing floor area (the "Affordable Units") in the building receiving the affordable housing floor area bonus ("Eligible Building"), with an affordable unit mix comparable to the overall mix and approved by DPD's density bonus project manager, or make a cash payment in lieu of providing Affordable Units in the amount of \$828,502.40 ("Cash Payment"). Prior to the issuance of any building permits for the Eligible Building, including, without limitation, excavation or foundation permits, the applicant must either make the required Cash Payment or, if providing Affordable Units, enter into an affordable housing agreement with the City pursuant to the former Section 17-4-1004-E9 ("Affordable Housing Agreement"). The terms of the Affordable Housing Agreement and any amendments thereto are incorporated herein by this reference. The applicant acknowledges and agrees that the Affordable Housing Agreement will be recorded against the Eligible Building. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. In addition to the Affordable Housing Agreement, the applicant acknowledges and agrees that, pursuant to Section 17-4-1003-D3, the Bonus Worksheet will serve as an official record of bonuses and amenities. The applicant must comply with the applicable affordable housing standards and requirements set forth in the former Section 17-4-1004, the terms of which are incorporated herein by this reference. Notwithstanding anything to the contrary contained in the former Section 17-4-1003-E, the Commissioner of DPD may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the Planned Development. If this Planned Development does not receive city council approval by July 13, 2016, the project will be subject to Section 2-45-115 of the Municipal Code (the "2015 ARO"). In such event, the applicant shall meet with the Department of Planning and Development to determine the application of the 2015 ARO to the project, and the 2015 ARO requirements will replace and supersede the affordability requirements set forth in this section.

10. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
11. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.

12. The applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
13. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors.
14. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
15. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. At the time of a hearing before the Chicago Plan Commission, all developments must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Department of Planning and Development. The proposed Planned Development shall be in compliance with the Sustainable Development Policy by obtaining LEED certification and by providing a green roof of at least 50 percent of Net Roof Area of the new building constructed in Subarea A containing a green roof of approximately 13,900 square feet and shall meet the applicable storm water requirements of the Department of Water Management.
16. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to the DX-16 Downtown Mixed-Use District.

[Existing Zoning Map; Existing Land-Use Map; Boundary, Property Line and Subarea Map; Site Plan/Ground Floor Plan; Landscape Plan; Landscape Details; Typical Parking Plan; Green Roof Plan; North, South, East and West Building Elevations; and Building Sections referred to in these Plan of Development Statements printed on pages 25034 through 25050 of this *Journal*.]

5/18/2016

REPORTS OF COMMITTEES

25033

Bulk Regulations and Data Table, FAR Bonus Calculation Worksheet (Exhibit "A") and Affordable Housing Profile Form (Rental) referred to in these Plan of Development Statements read as follows:

1000 S. Michigan Ave. -- S. Michigan Ave./
E. 11th St./ S. Wabash Ave./E. 9th St.

Planned Development.

Bulk Regulations And Data Table.

	Subarea A 1000 South Michigan Avenue	Subarea B 1006 South Michigan Avenue And South Wabash Avenue Parcel	Total
Gross Site Area (Net Site Area + Area in Right-of-Way):	41,884 square feet	21,388 square feet	63,272 square feet
Area in Public Right-of-Way:	9,545 square feet	7,440 square feet	16,985 square feet
Net Site Area:	32,339 square feet	13,948 square feet	46,287 square feet
Maximum Floor Area Ratio:	27.74	5.66	21.085
FAR Area:	897,080 square feet	78,881 square feet (existing)	975,961 square feet
Maximum Number of Residential Units:	506	0	506
Number of Off-Street Parking Spaces Provided:	486	12 (existing)	498
Minimum Number of Bicycle Spaces:	506 Provided (50 Required)	0	506
Number of Off-Street Loading Docks:	3	1 (existing)	4
Minimum Building Setbacks:	As per Site Plan	None (existing)	-
Maximum Building Height:	832 feet	102 feet (existing)	-
Green Features:	Green Roof + LEED Certified	None	-

Exhibit A

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CITY OF CHICAGO
 DEPARTMENT OF PLANNING AND DEVELOPMENT
 BUREAU OF PLANNING AND ZONING
 APPLICATION FOR ZONING BONUS REVIEW

WORKSHEET: FAR BONUS CALCULATION

Property Address: 1000 S. Michigan Avenue _____ Zoning District: DX-16 _____

ON-SITE BONUSES						
Amenity	Amenity area (in sq.ft.)	Lot area (in sq.ft.)	Premium Factor	Base FAR	FAR Bonus calculated (A/B) · C · D	FAR Bonus Cap compare with
Formula:	A	B	C	D		
Affordable Housing - On-Site			4	(1)		1.00 (-5) 1.75 (-7) 2.50 (-10) 3.60 (-12) 4.80 (-16)
Public Plaza and Pocket Park			1			6
Chicago Riverwalk			1			-
Winter Garden			1			3
Through-Block Connection (Indoor)			0.66			-
Through-Block Connection (Outdoor)			1			-
Sidewalk Widening			2			-
Arcade			1.25			2
Water Feature			0.3			1
Upper-Level Setbacks (-7 & -10 Districts)			0.3			1
Upper-Level Setbacks (-12 & -16 Districts)	288,488.22	46,287	0.4	16	2.493	25% of D
Lower-Level Planting Terrace			1			-
Green Roofs			0.3			2
Underground Parking (Levels -1 & -2)			0.15			30% of D
Underground Parking (Level -3 or lower)			0.2			30% of D
Underground Loading			0.15			30% of D
Parking Concealed by Occupiable Space	11,390	46,287	0.4	16	1.575	25% of D
Total FAR Bonus On-Site Improvements					4.068	

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OFF-SITE BONUSES

Calculation of Financial Contribution

Formula: Cash contribution for 1 sq.ft. of FAR bonus = 0.8 x median cost of 1 sq. ft. of buildable floor area

Amenity	Bonused Square Feet Desired	Discount Factor	median cost of 1 sq.ft. of buildable floor area (in \$); See City Survey of Land Cost	Base FAR	Financial Contribution
Formula:	A	B	C	D	E=A*B*C
Off-Site Park or Riverwalk		0.8			
Street Lighting and Landscaping		0.8			
Transit Station Improvements		0.8			
Pedway Improvements		0.8			
Adopt-A-Landmark		0.8			
Affordable Housing	47,074	0.8	\$22.00	16	\$828,502.40
Education		0.8			
Totals	47,074				\$828,502.40

Comparison to FAR Bonus Cap

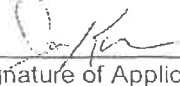
Amenity	Total Bonused Square Feet Desired	Lot Area (in sq. ft.)	Base FAR	FAR Bonus calculated	FAR Bonus Cap:
Formula:	F	G	H	I = (F/G) * H	Compare with
Off-Site Park or Riverwalk					20% of H
Street Lighting and Landscaping					20% of H
Transit Station Improvements					20% of H
Pedway Improvements					20% of H
Adopt-A-Landmark					20% of H
Affordable Housing	47,074	46,287	16	1.017	20% of H (-5) 25% of H (-7, -10) 30% of H (-12, -16)
Education					25% of H (-10) 30% of H (-12, -16)

If FAR Bonus calculated exceeds FAR Bonus Cap, the effective FAR Bonus for Off-Site Improvements is equal to the FAR Bonus Cap

Summary

Base FAR	16.00
FAR Bonus for On-Site Improvements	4.068
FAR Bonus for Off-Site Improvements	1.017
Total FAR	21.085
Total Financial Contribution	\$828,502.40

Maximum Floor Area with Base FAR	16.00 x 46,287 sf = 740,592 sf
Floor Area with FAR Bonus On-Site Improvements	4.068 x 46,287 sf = 188,295 sf
Floor Area with FAR Bonus Off-Site Improvements	1.017 x 46,287 sf = 47,074 sf
Total Maximum Floor Area	21.085 x 46,287 sf = 975,961 sf


4/14/16
 Signature of Applicant Date Received by (Dept. of Planning & Dev.) Date
 Rev. Aug 2013 Page 2 of 2

FINAL FOR PUBLICATION

Affordable Housing Profile Form (Rental)

Submit this form to the Department of Housing & Economic Development for each project that triggers an affordability requirement (including CPAN, ARO, and the Density Bonus).

This completed form should be returned (via e-mail, fax, postal service or interoffice mail), to: Kara Breems, Department of Housing & Economic Development, 121 N. LaSalle Street, Chicago, IL 60602. E-mail: Kara.Breems@cityofchicago.org; Telephone: (312) 744-6746.

For information on these programs/requirements, visit www.cityofchicago.org/hed

Date: April 21, 2016

SECTION 1: DEVELOPMENT INFORMATION

Development Name: 1000 South Michigan Avenue

Development Address: 1000 S. Michigan Avenue, Chicago IL

Ward: 4th

If you are working with a Planner at the City, what is his/her name? Daniel Kliaber

Type of City involvement: Land write-down
(check all that apply) Financial Assistance (If receiving TIF assistance, will TIF funds be used for housing construction?)
 Zoning increase, PD, or City Land purchase

*if yes, please provide copy of the TIF Eligible Expenses

SECTION 2: DEVELOPER INFORMATION

Developer Name: 1000 South Michigan Equities, LLC

Developer Contact (Project Coordinator): Robert Singer

Developer Address: 55 Fifth Avenue, 15th Fl., New York, NY 10003

Email address: rsinger@limeequities.com May we use email to contact you? Yes

Telephone Number: 212-206-6097

SECTION 3: DEVELOPMENT INFORMATION

a) Affordable units required

For ARO projects: x 10%* = _____ (always round up)
Total units total affordable units required
*20% if TIF assistance is provided

For Density Bonus projects: 47,074 X 25% = 11,768.5
Bonus Square Footage* Affordable sq. footage required

*Note that the maximum allowed bonus is 20% of base FAR in dash-5; 25% in dash-7 or -10; and 30% of base FAR in dash-12 or -16 (www.cityofchicago.org/zoning for zoning info).

b) building details

In addition to water, which of the following utilities will be included in the rent (circle applicable):

Cooking gas electric gas heat electric heat other (describe on back)

Is parking included in the rent for the: affordable units? yes no market-rate units? yes no
If parking is not included, what is the monthly cost per space? _____

Estimated date for the commencement of marketing: _____

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Estimated date for completion of construction of the affordable units:

For each unit configuration, fill out a separate row, as applicable (see example)

	Unit Type*	Number of Units	Number of Bedrooms/Unit	Total Square Footage/Unit	Expected Market Rent	Proposed Affordable Rent*	Proposed Level of Affordability (60% or less of AMI)
Example	1 bed/1 bath	4	1	800	\$1000	750	60%
Affordable Units							
Market Rate Units						N/A	N/A
						N/A	N/A
						N/A	N/A

*Rent amounts determined by the City of Chicago's Maximum Affordable Monthly Rent Chart

SECTION 4: PAYMENT IN LIEU OF UNITS

When do you expect to make the payment -in-lieu? February 2017
 (typically corresponds with payment/issuance of building permits) Month/Year

For ARO projects, use the following formula to calculate payment owed:

$$\frac{\text{Number of total units in development}}{\text{Number of total units in development}} \times 10\% = \frac{\text{Amount owed}}{\text{Amount owed}} \times \$100,000 = \$ \text{Amount owed}$$

(round up to nearest whole number)


For Density Bonus projects, use the following formula to calculate payment owed:

$$47,074 \text{ Bonus Floor Area (sq ft)} \times 80\% \times \$22.00 \text{ median price per base FAR foot} = \$828,502.40 \text{ Amount owed}$$

(from table below)

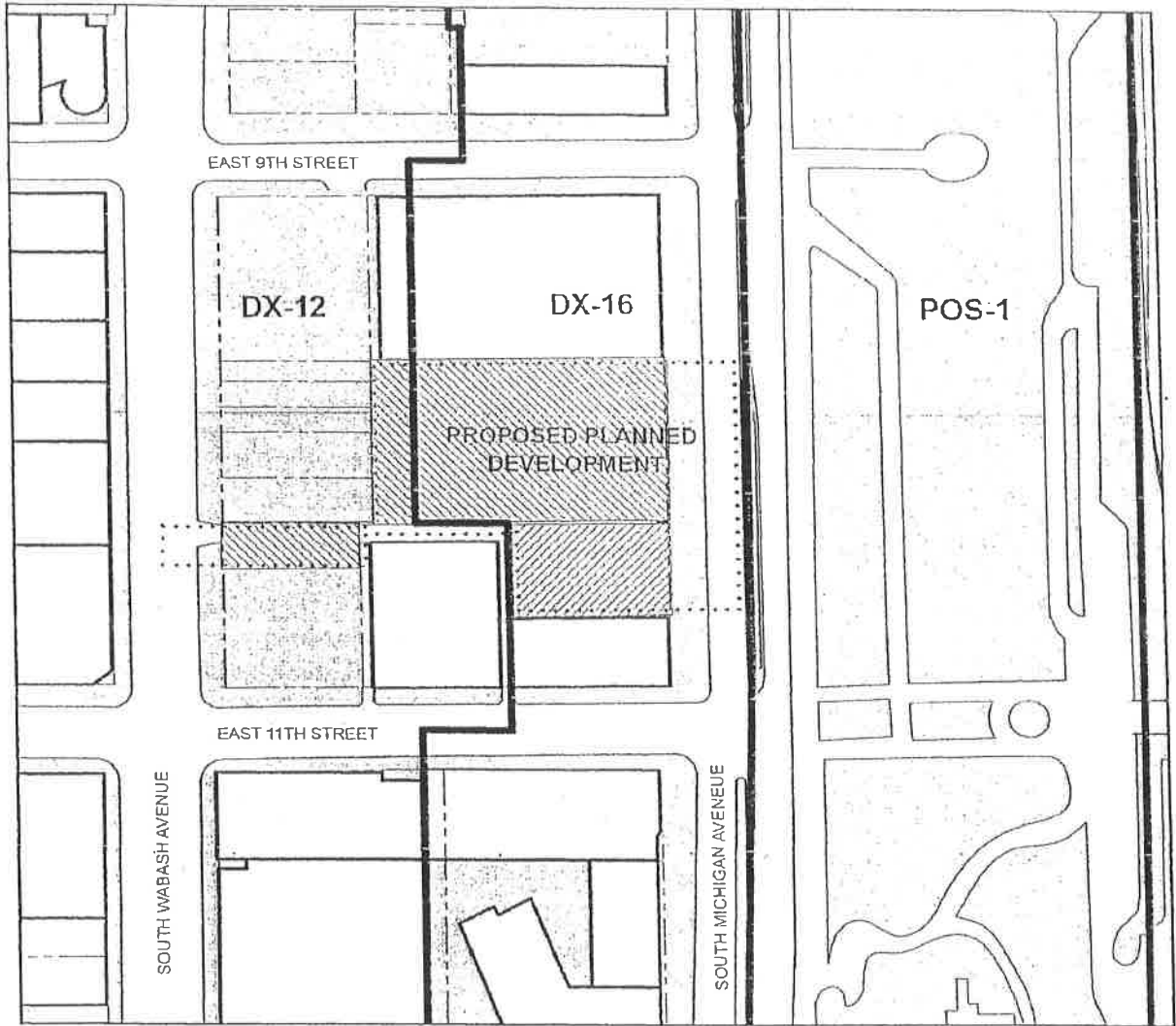
Submarket (Table for use with the Density Bonus fees-in-lieu calculations)	Median Land Price per Base FAR Foot
Loop: Chicago River on north/west; Congress on south; Lake Shore Dr on east	\$31
North: Division on north; Chicago River on south/west; Lake Shore Dr on east	\$43
South: Congress on north; Stevenson on south; Chicago River on west; Lake Shore Dr on east	\$22
West: Lake on north; Congress on south; Chicago River on east; Racine on west	\$29

Authorization to Proceed (to be completed by Department of HED)

 4-14-16
 Kara Breems, date
 Department of Housing & Economic Development

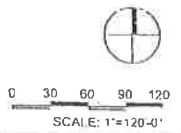
 4/14/16
 Developer Date

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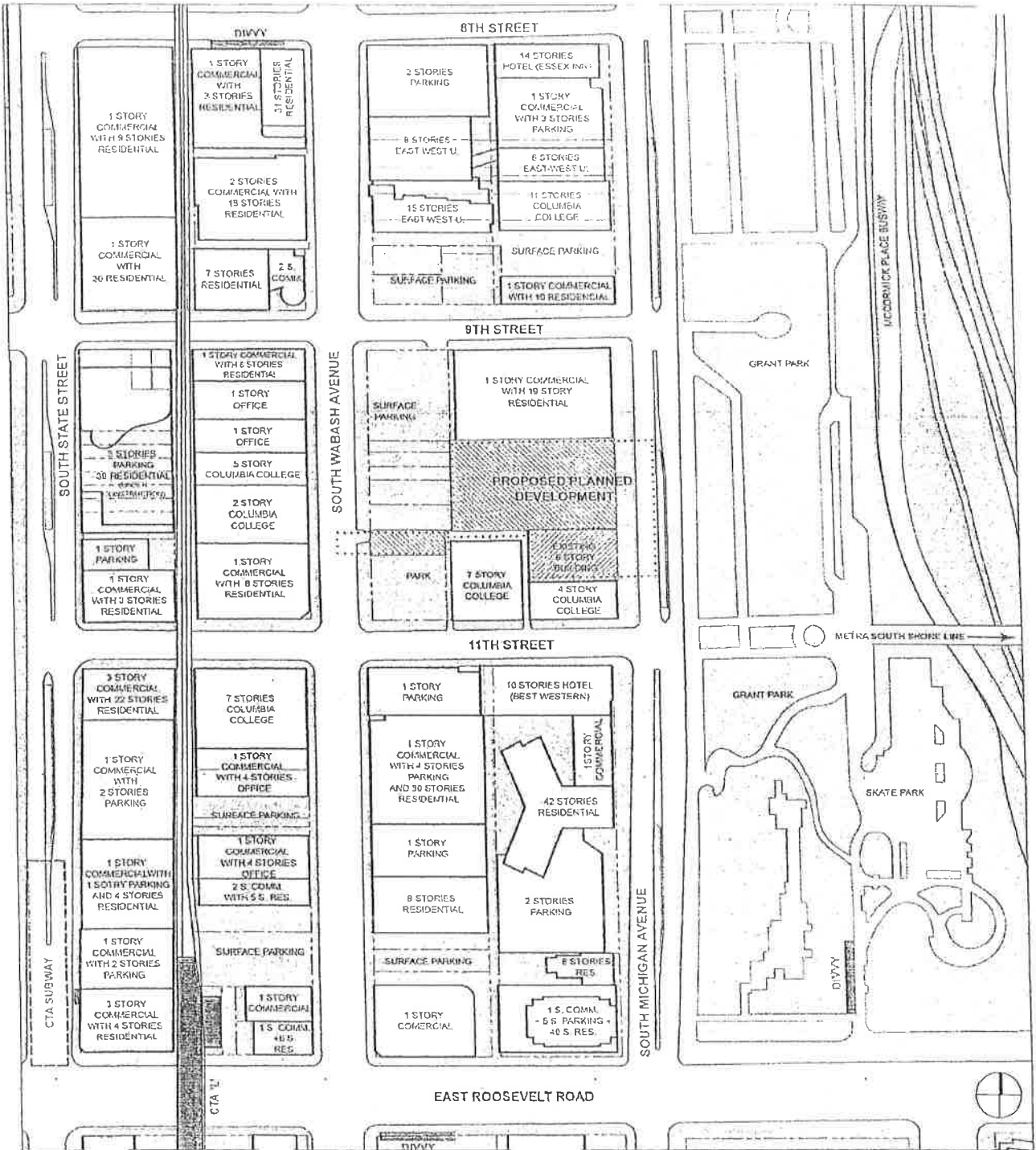
EXISTING ZONING MAP

APPLICANT: 1000 S. MICHIGAN AVE, LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016



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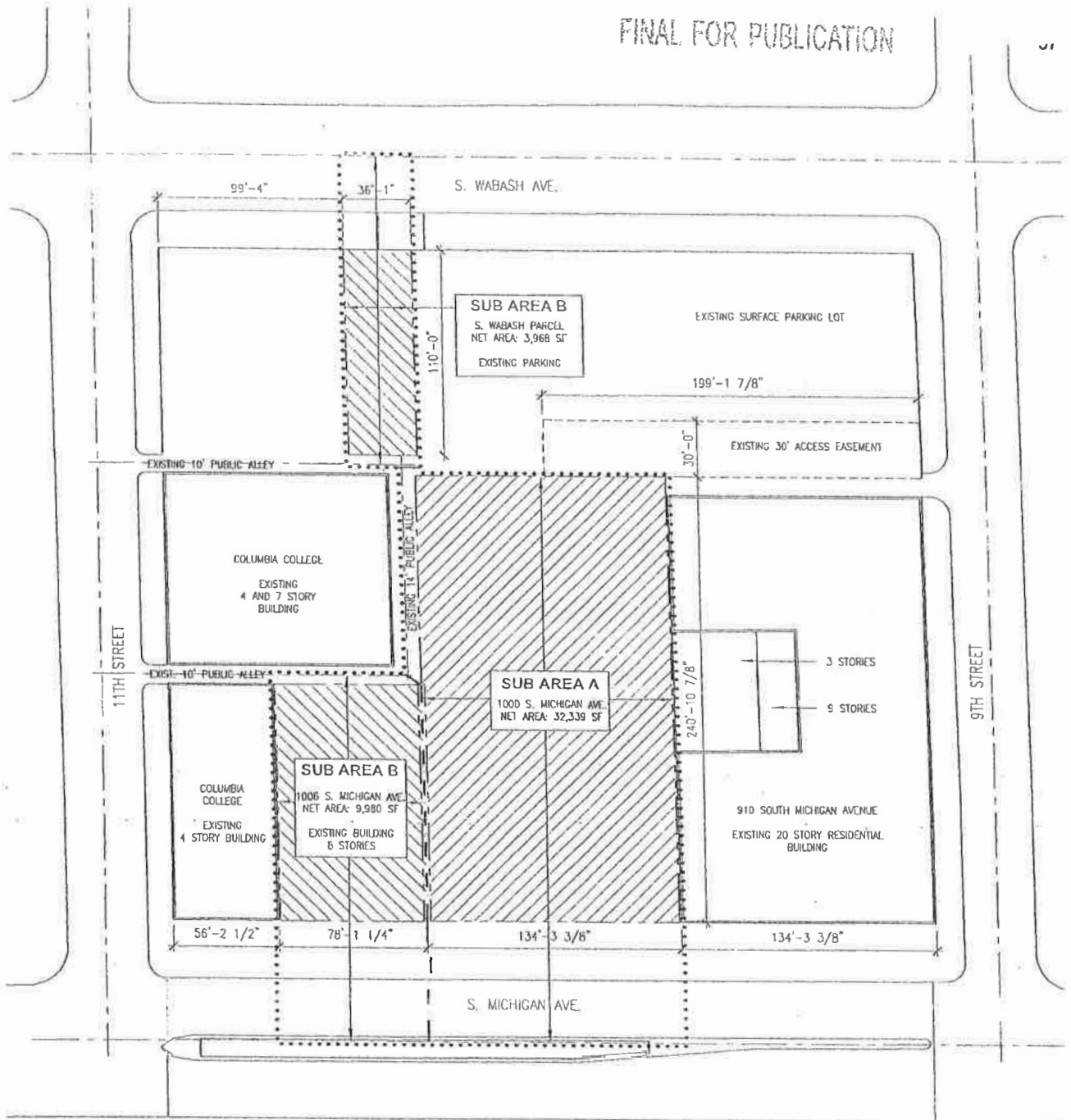
EXISTING LAND USE MAP

0 45 90 135 180
SCALE: 1"=100'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC,
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016

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SITE AREA SUMMARY

SUB AREA A:

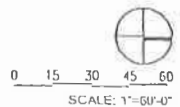
GROSS AREA: 41,884 SF
 RIGHT-OF-WAY: 9,545 SF
 NET AREA: 32,339 SF

SUB AREA B:

GROSS AREA: 21,388 SF
 RIGHT-OF-WAY: 7,440 SF
 NET AREA: 13,948 SF

TOTAL NET AREA = 46,287 SF
 (NET AREAS A+B)

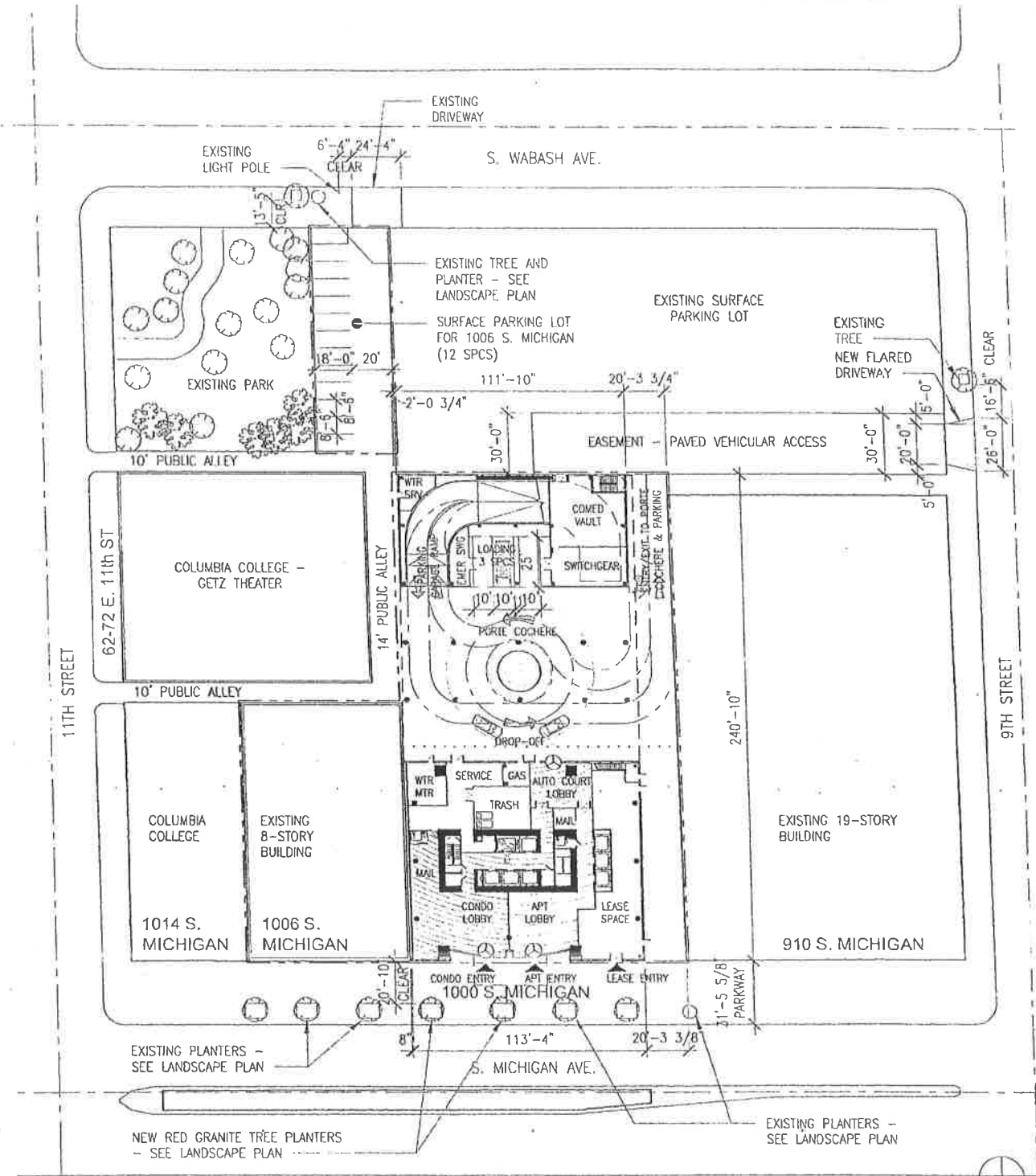
**PLANNED DEVELOPMENT BOUNDARY,
 PROPERTY LINE AND SUB AREA MAP**



APPLICANT: 1000 S. MICHIGAN AVE, LLC,
 ADDRESS: 920-1006 S. MICHIGAN AVE, AND 1011-1015 S. WABASH AVE,
 CPC DATE: APRIL 21, 2016

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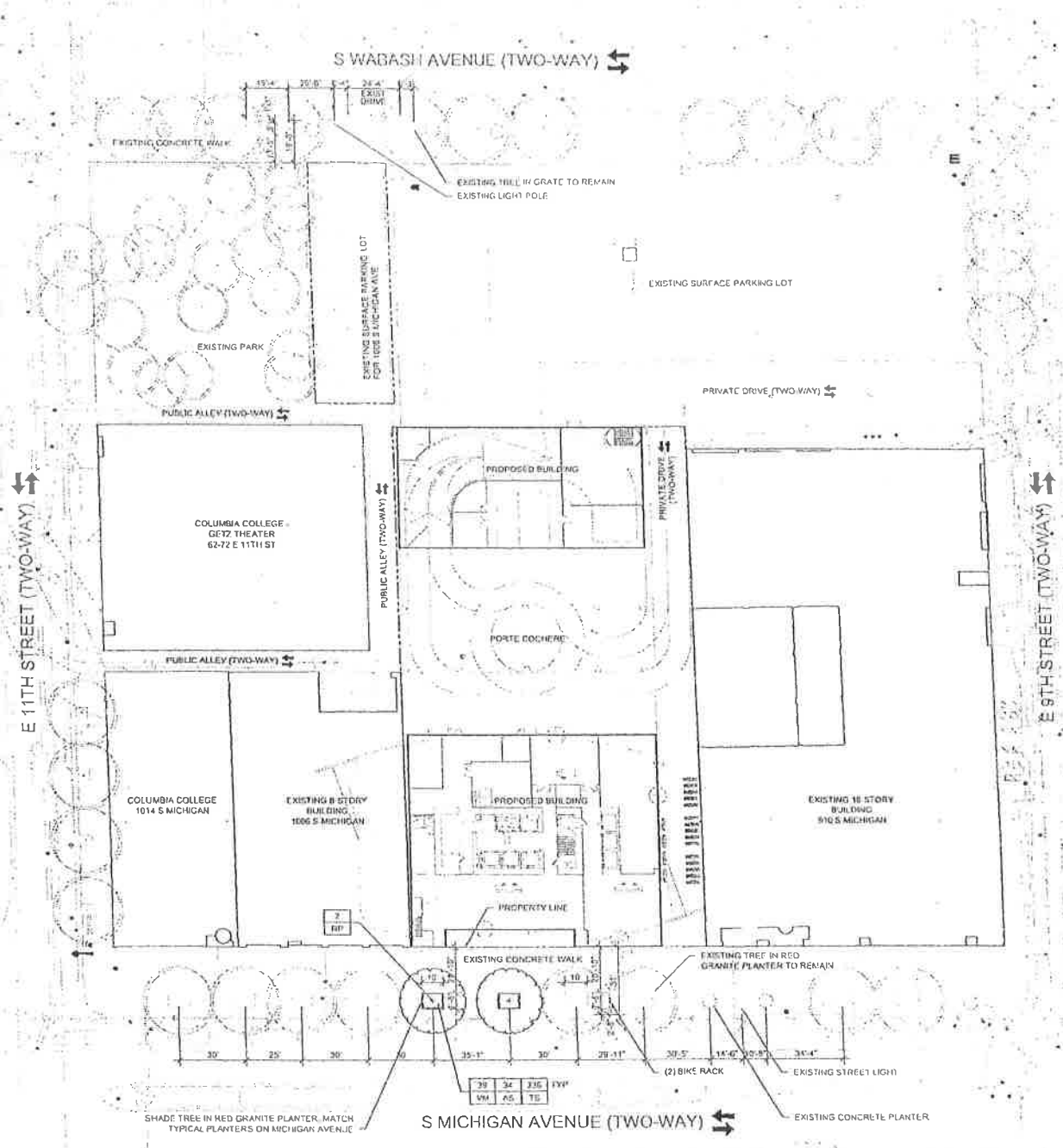
SITE PLAN / GROUND FLOOR PLAN

0 15 30 45 60
SCALE: 1"=60'-0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
ADDRESS: 920-1006 S. MICHIGAN AVE. AND 1011-1015 S. WABASH AVE.
CPC DATE: APRIL 21, 2016

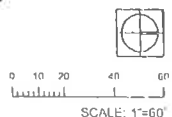
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PLANT SCHEDULE						
CODE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
AS	04	<i>Abutilon speciosissimum</i>	Okra/Am	3.5 cm	ball	transplanted
BS	9	<i>Banksia speciosa</i> 'Orange Glow'	Orange Banks	7' cal	ball	transplanted
YS	672	<i>Yucca spp.</i>	Yucca	3.5 cm	ball	transplanted
UM	28	<i>Ulmus minor</i>	European	1.5m	ball	15' c.c.

NOTE:
 1. (5) EXISTING CONCRETE PLANTERS TO BE RELOCATED. COORDINATE LOCATIONS WITH CITY OF CHICAGO.
 2. ANTICIPATED PLANTING DATE SPRING 2018

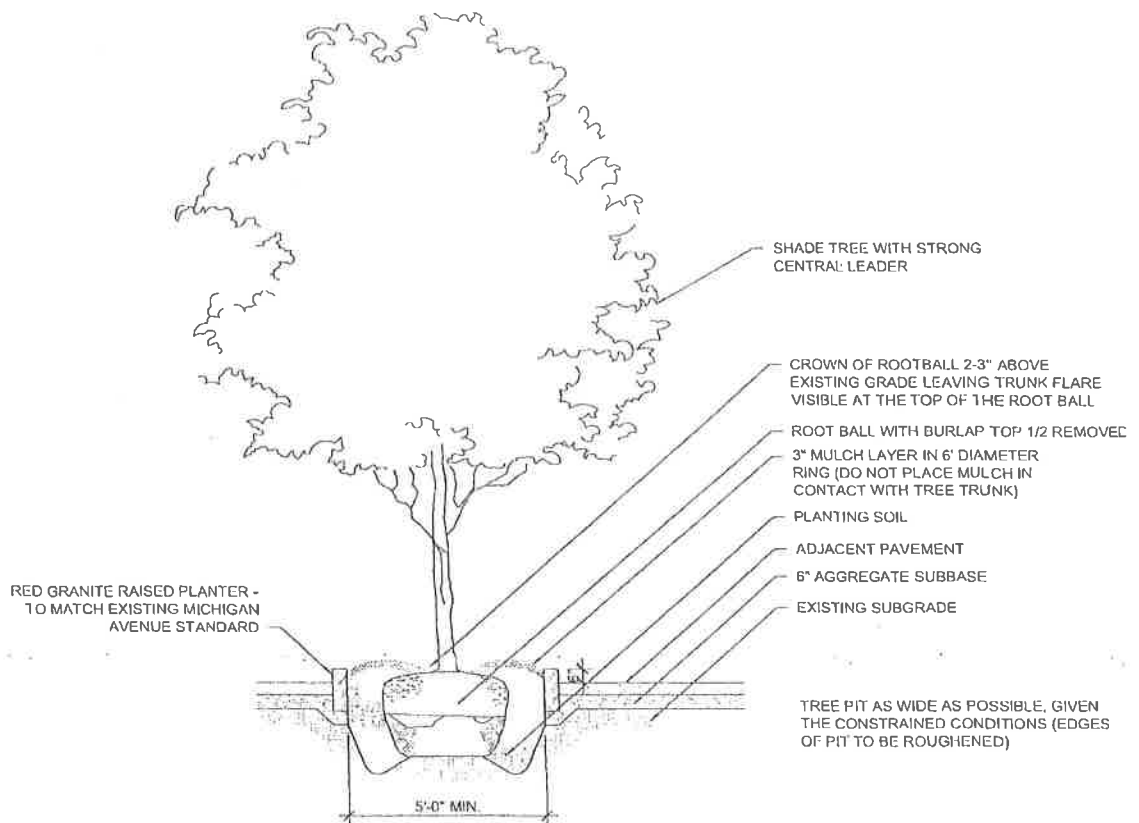


LANDSCAPE PLAN

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
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site design group, ltd.

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NOTE:

1. REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL (IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT WIRE IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE).



SHADE TREE IN PLANTER SECTION

NOT TO SCALE

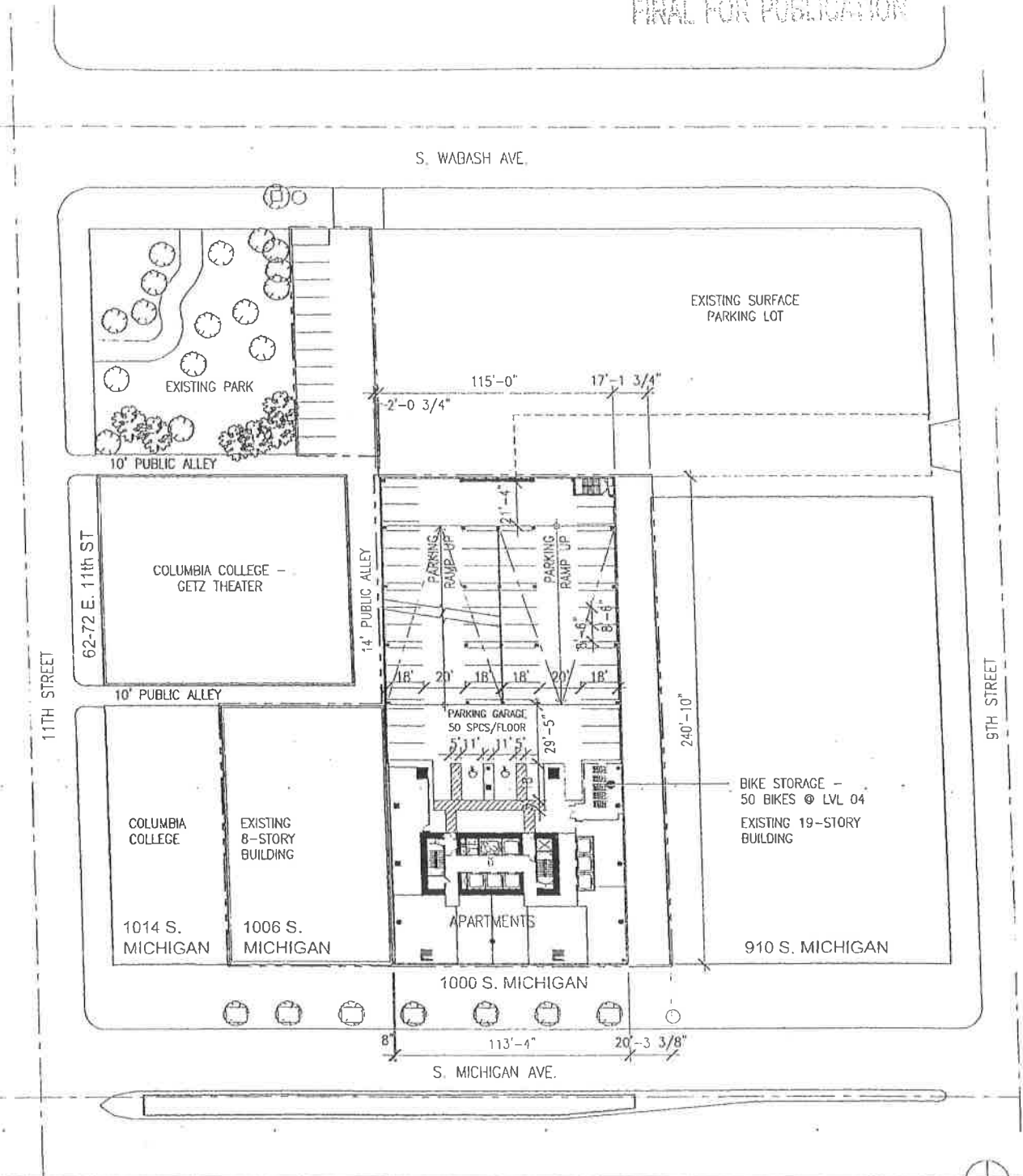
NOTE:

1. TREE SPECIES SELECTION:
ROBINIA PSUEDOCACIA, BLACK LOCUST, 4" CALIPER

LANDSCAPE DETAILS

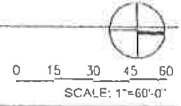
SCALE: AS NOTED

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BICYCLE PARKING: 506 TOTAL SPACES
 50 BICYCLE SPACES AT LEVEL 04

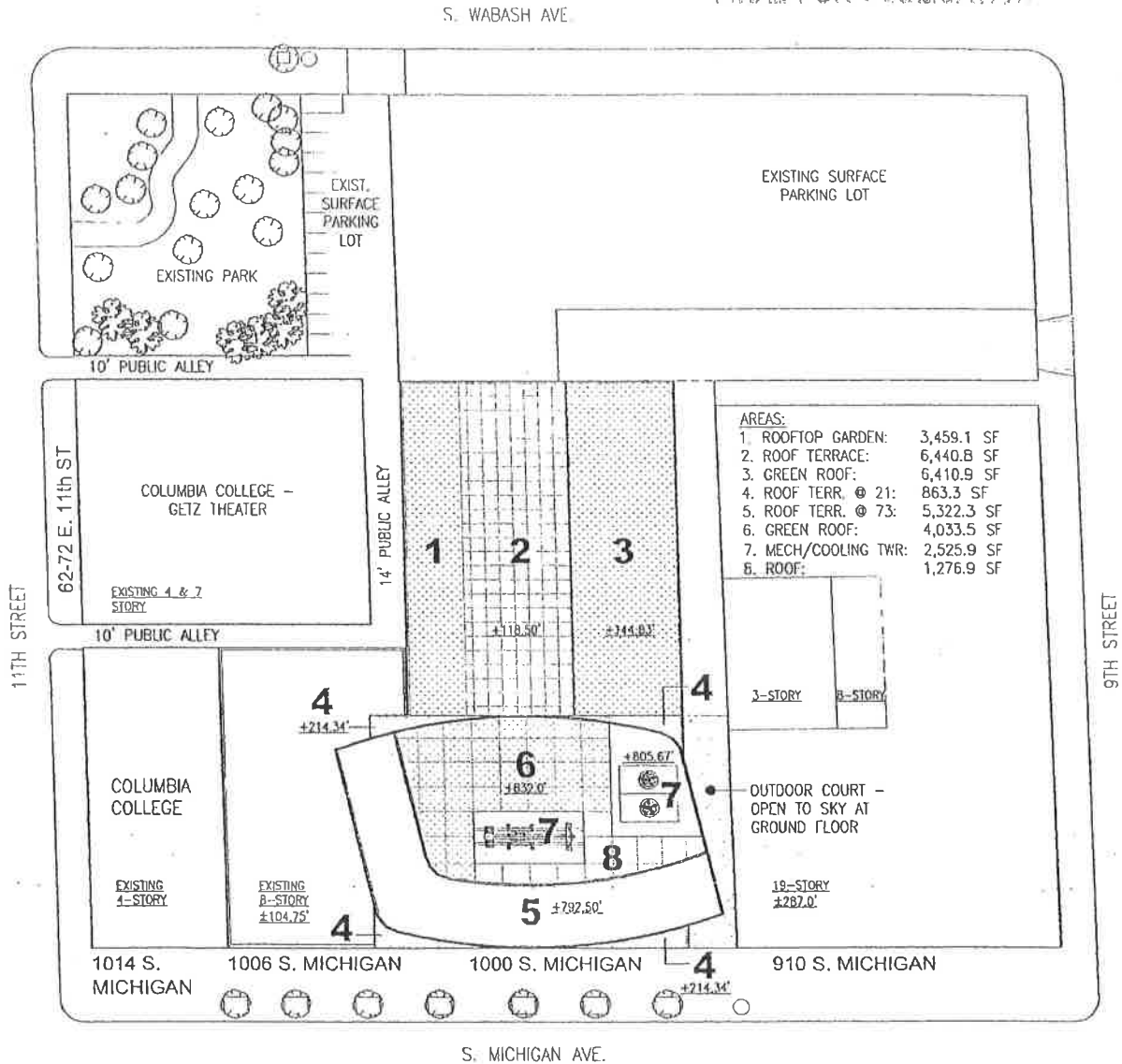
TYPICAL PARKING PLAN



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AREAS:

1. ROOFTOP GARDEN:	3,459.1 SF
2. ROOF TERRACE:	6,440.8 SF
3. GREEN ROOF:	6,410.9 SF
4. ROOF TERR. @ 21:	863.3 SF
5. ROOF TERR. @ 73:	5,322.3 SF
6. GREEN ROOF:	4,033.5 SF
7. MECH/COOLING TWR:	2,525.9 SF
8. ROOF:	1,276.9 SF

GREEN ROOF CALCULATION

A	TOTAL ROOF AREA = SUM (1-8)	30,332.8 SF
B	LESS ROOF MECHANICAL AREA = -7	-2,525.9 SF
C	TOTAL NET ROOF AREA = (A+B)	27,806.9 SF
D	REQUIRED GREEN ROOF AREA (50% OF NET ROOF)	13,903.5 SF
E	TOTAL GREEN ROOF PROVIDED = (1+3+6)	13,903.5 SF
F	TOTAL GREEN ROOF IN EXCESS OF 50% NET ROOF = (E-D) IF E>=D	0.0 SF
G	F.A.R. BONUS = 0.0 / 46,287 X 0.40 X 16	0.0 SF
		BONUS: 0 SF

REQUIRED OPEN SPACE:

506 UNITS x 36 SF/UNIT = 18,216 SF

OPEN SPACE PROVIDED: 24,631.2 SF

- 7,128.0 SF BALCONIES
- 16,085.6 SF ROOF TERRACES
- 1,417.6 SF GROUND FLOOR OUTDOOR COURT

INTERIOR AMENITY SPACE PROVIDED: 32,308.9 SF

- LEVEL 12: SHARED AMENITY = 13,764.1 SF
- LEVELS 21-23: CONDO AMENITY = 18,544.8 SF

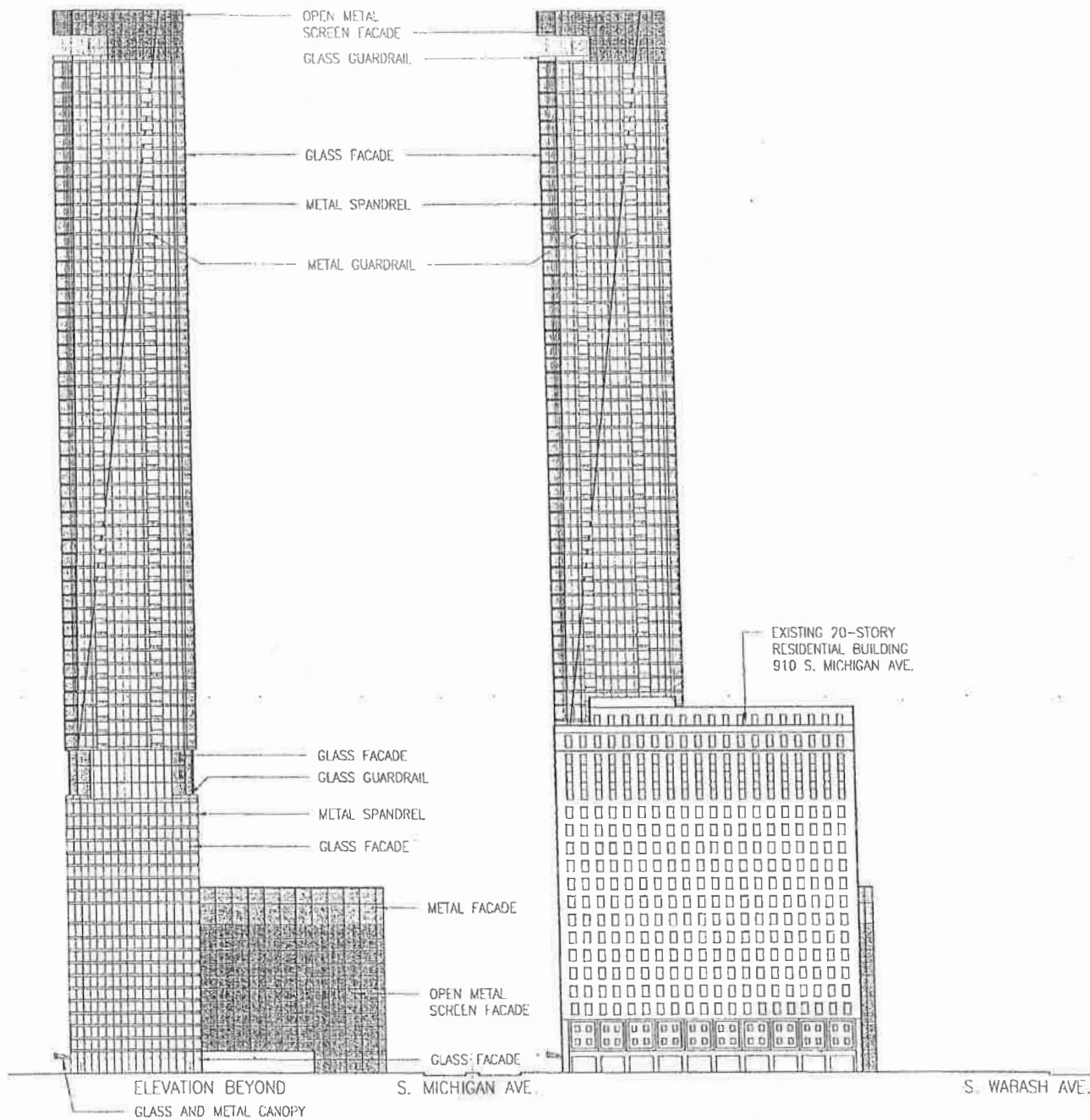
GREEN ROOF PLAN

0 15 30 45 60
SCALE: 1"=60'-0"

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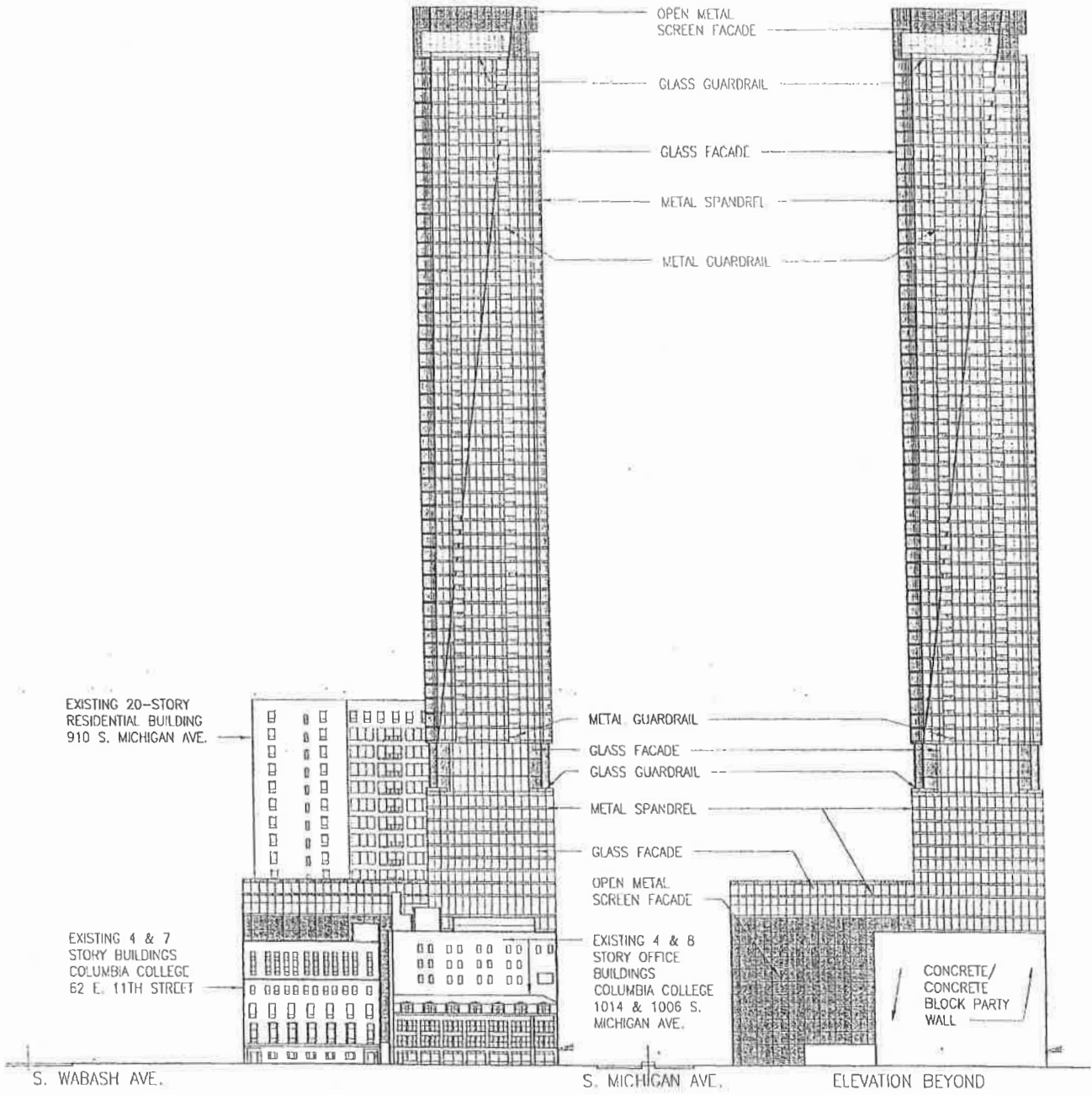
NORTH ELEVATION - EAST 9TH STREET

0 25 50 75 100
SCALE: 1/8"=1'-0"

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FIGURE 1011 - EAST ELEVATION



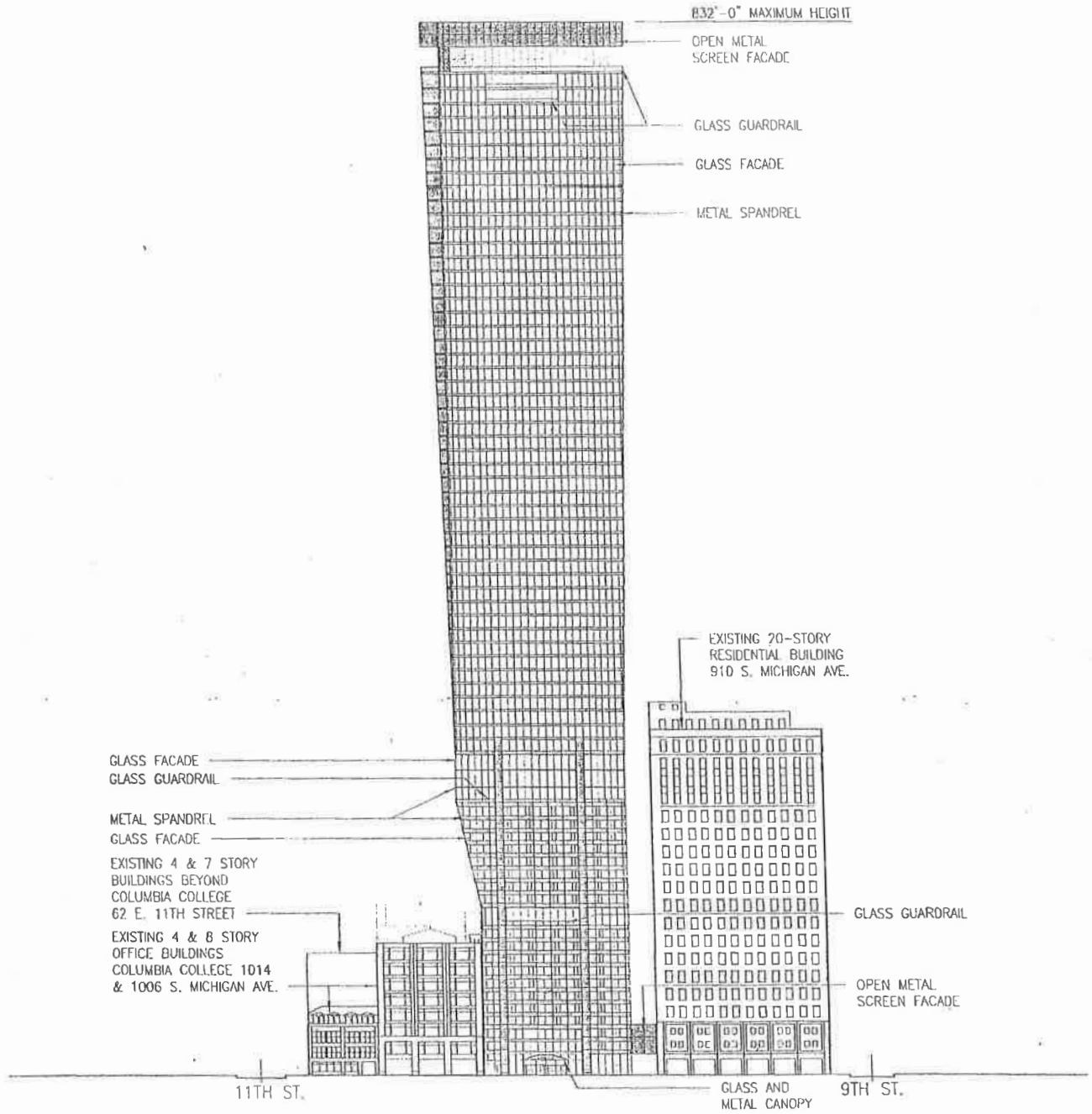
SOUTH ELEVATION - EAST 11TH STREET

0 25 50 75 100
SCALE: 1"=100'-0"

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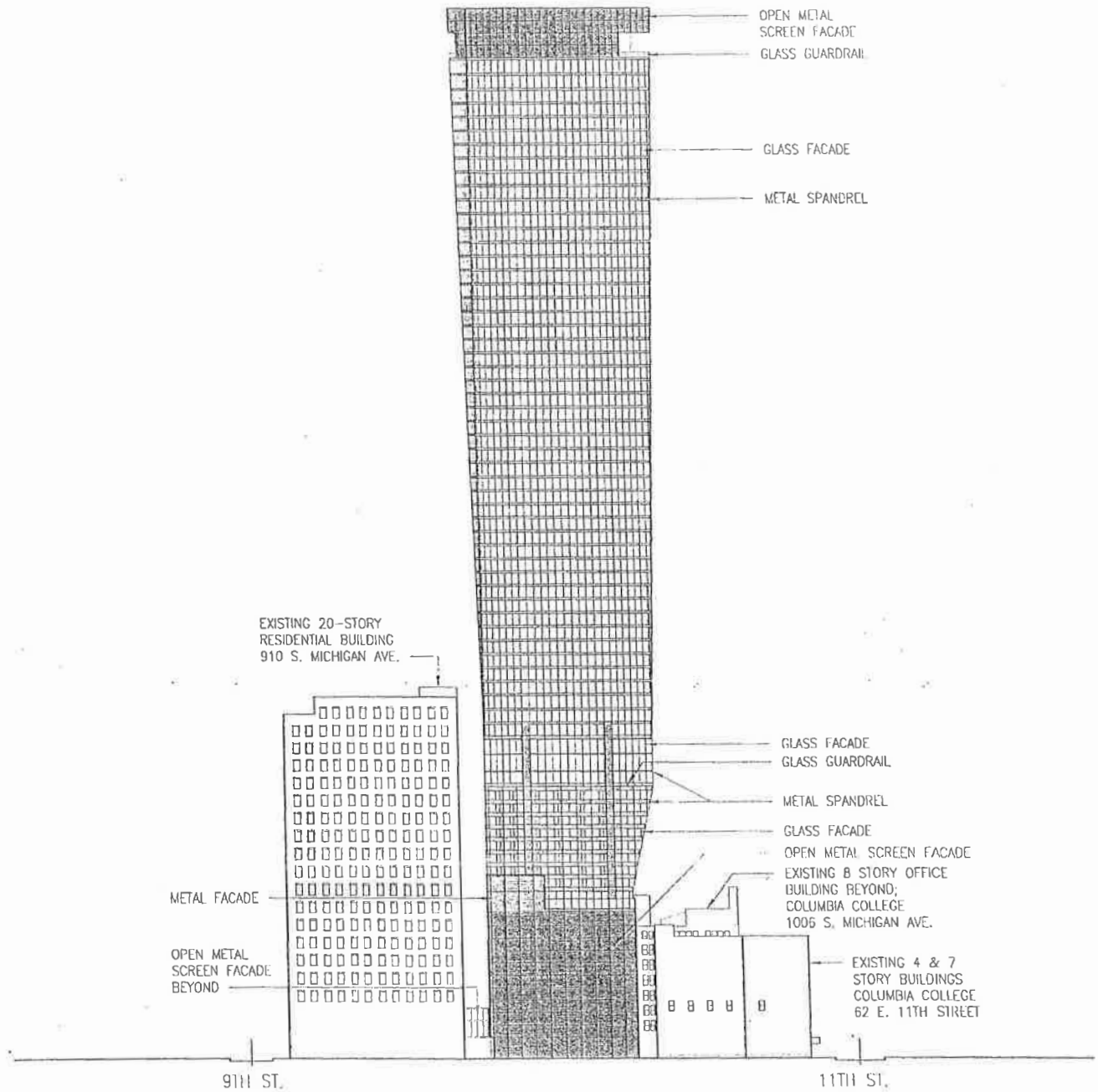
EAST ELEVATION - SOUTH MICHIGAN AVENUE

0 25 50 75 100
SCALE: 1"=100' 0"

APPLICANT: 1000 S. MICHIGAN AVE. LLC.
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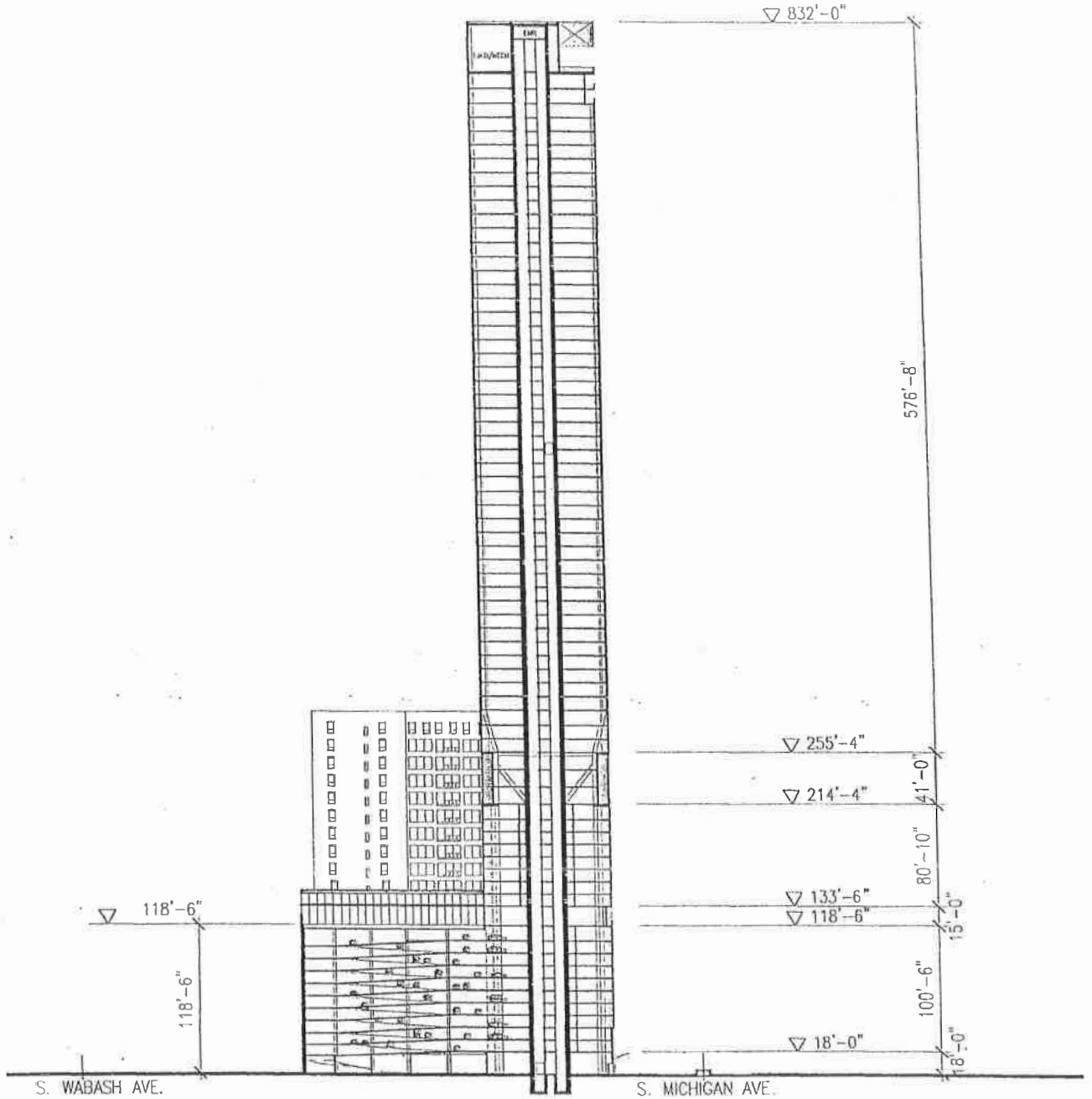
WEST ELEVATION - SOUTH WABASH AVENUE

0 25 50 75 100
SCALE: 1"=100'-0"

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BUILDING SECTION

0 25 50 75 100
SCALE: 1"=100'-0"

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