

# PD 1281

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DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

January 8, 2016

Carol D. Stubblefield  
Neal & Leroy, LLC  
120 N. LaSalle Street  
Suite 2600  
Chicago, IL 60602

**Re: Administrative Relief request for Planned Development No. 1281  
Sub-Area A, Proposed 18-story building at 901-921 N. Orleans Street**

Dear Ms. Stubblefield:

Please be advised that your request for a minor change to Planned Development No. 1281 ("PD 1281"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 13 of PD 1281.

Your client and the owner of all of the property within Sub-Area A, Ascend Real Estate Group, LLC, is seeking administrative relief for design revisions to a proposed 18-story mixed-use building with 202 dwelling units and commercial retail use on the ground floor at 901-921 N. Orleans St.

The following modifications are proposed:


- The building's first floor plan has been reconfigured and due to setback requirements, the number of parkway trees along Walton St. has been reduced from two to one.
- The front and rear setbacks starting at the fifth floor terrace roof deck have been increased from 13'-6" to 14'-2" and 12'-8" to 13'-6". Also, the fifth floor height has been reduced slightly and the perimeter glass railing has been replaced with individual metal railings.
- On the roof, the mechanical equipment, roof deck and green roof have been reconfigured slightly. The height of the top of the mechanical equipment has increased slightly from 206' to 212'-6".
- On the North and South Elevations, the parking garage level perforated masonry screen has been replaced with glass and aluminum windows. On the West Elevation, the parking garage level masonry screen has been replaced with a perforated metal panel system. On the
- On the North, South and West Elevations, the parking garage level exposed concrete façade will be replaced with a direct-applied finish system which will have the same appearance as a smooth precast concrete finish.

The following attached drawings, dated November 4, 2015, shall be inserted into the main file, Ground Floor Plan, Terrace Roof Deck, Roof Plan, North, South, East and West Elevations.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed design revisions will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Planned Development No. 1281, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,



Patricia A. Scudiero  
Zoning Administrator

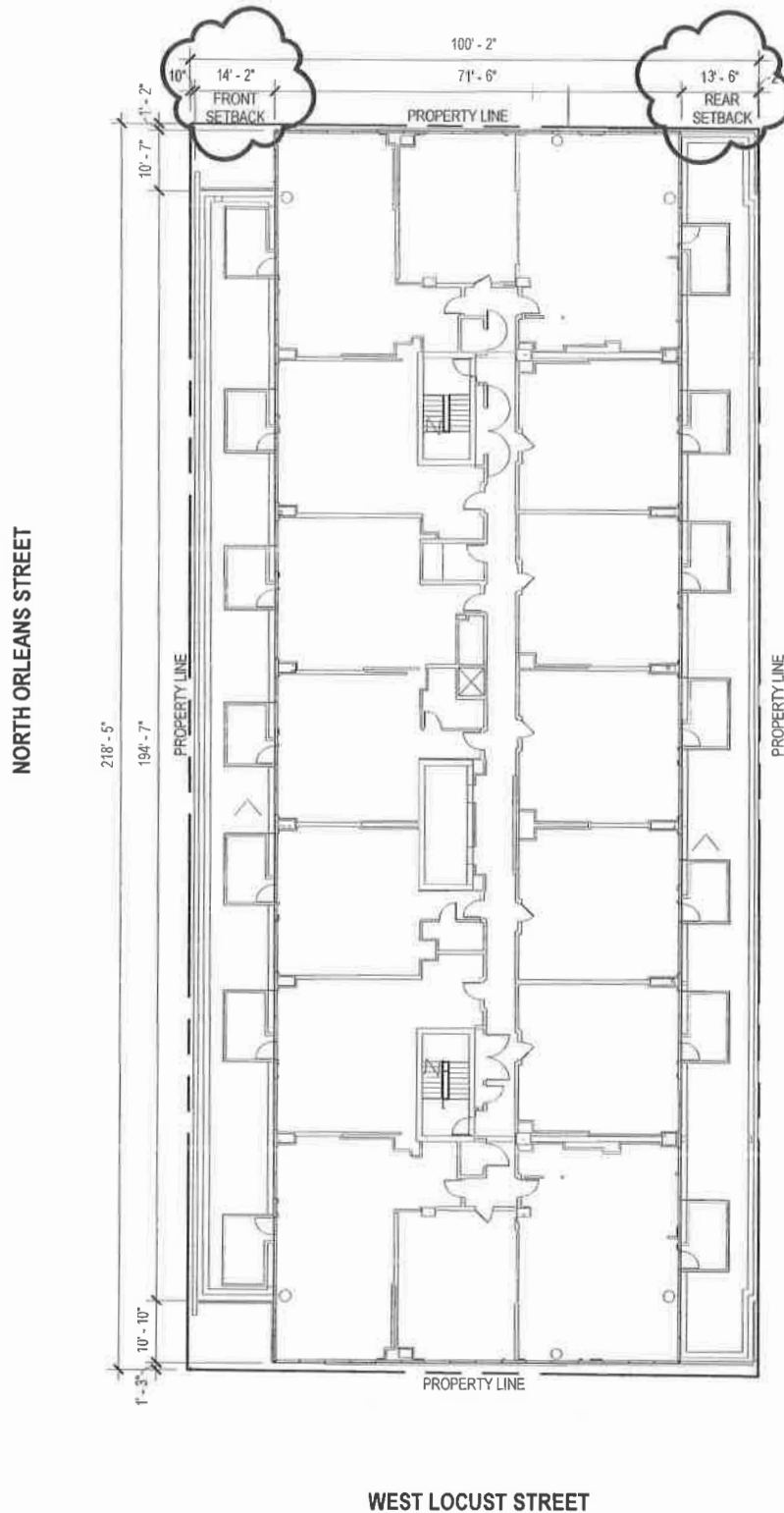
PAS:tm

C: Mike Marmo, Erik Glass, Fernando Espinoza, Main file



# Planned Development No. Terrace Roof Deck

WEST WALTON STREET



ROOF AREA AT PENTHOUSE: 15,985 SF  
 ROOF AREA AT TERRACE DECK: 4,745 SF  
 TOTAL ROOF AREA: 20,730 SF

GREEN ROOF AT PENTHOUSE: 6,370 SF  
 GREEN ROOF AT TERRACE DECK: 3,105 SF

HARDSCAPE AT PENTHOUSE: 9,615 SF  
 - 10% TOWARDS GREEN ROOF: 961 SF  
 HARDSCAPE AT TERRACE DECK: 1,640 SF  
 - 10% TOWARDS GREEN ROOF: 164 SF

TOTAL GREEN ROOF AREA: 10,600 SF  
 GREEN ROOF TO ROOF AREA RATIO: 51%

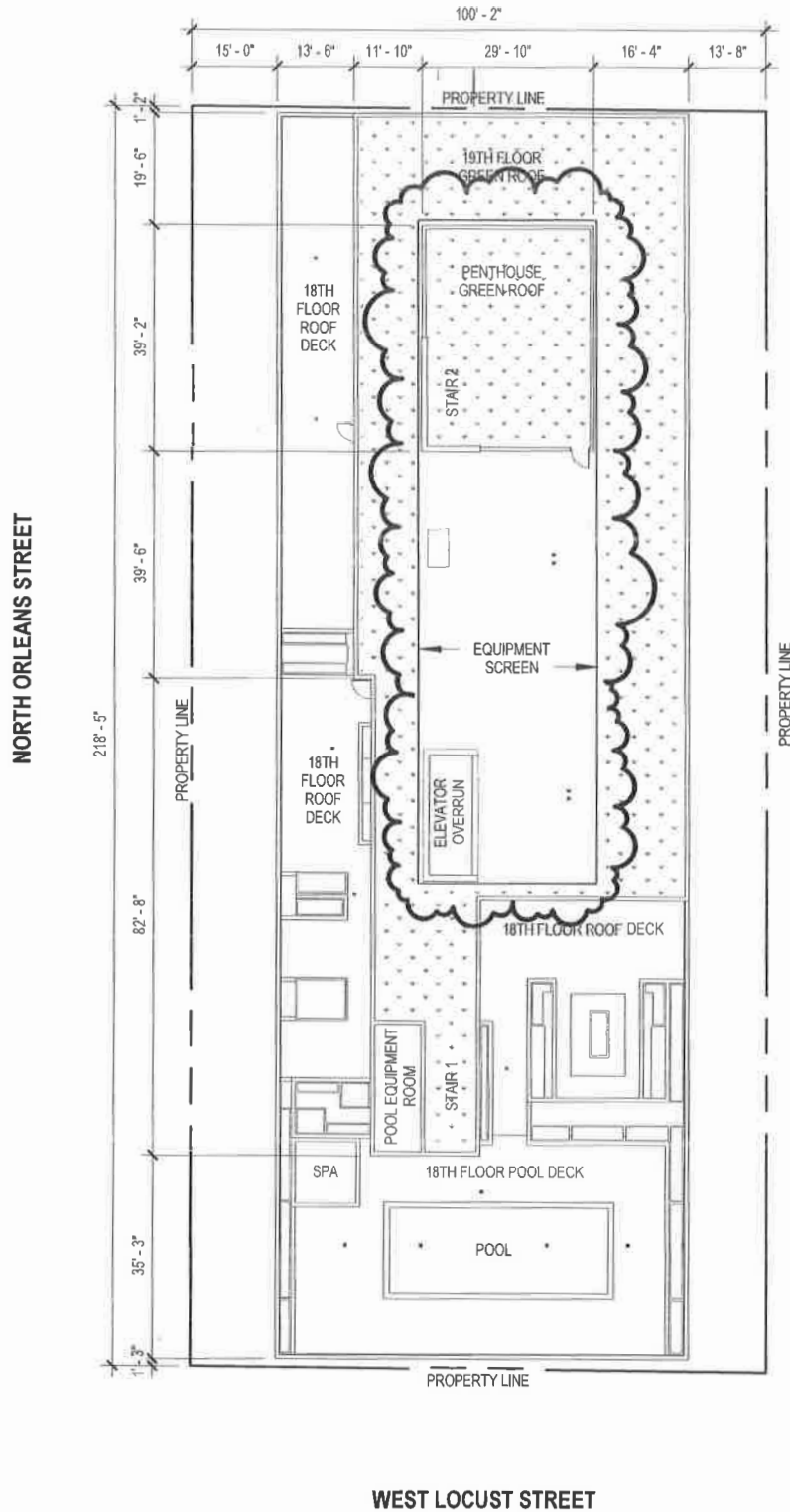


Applicant: Ascend Real Estate Group LLC  
 Address: 341 – 355 W. Walton St., 325 – 333 W. Walton St., 900 – 920 N. Orleans St.,  
 901 – 921 N. Orleans St., 324 – 332 W. Locust St., 340 – 354 W. Locust St.

Drawings revised November 4, 2015 for minor change request.

PD-07

# Planned Development No. Roof Plan WEST WALTON STREET



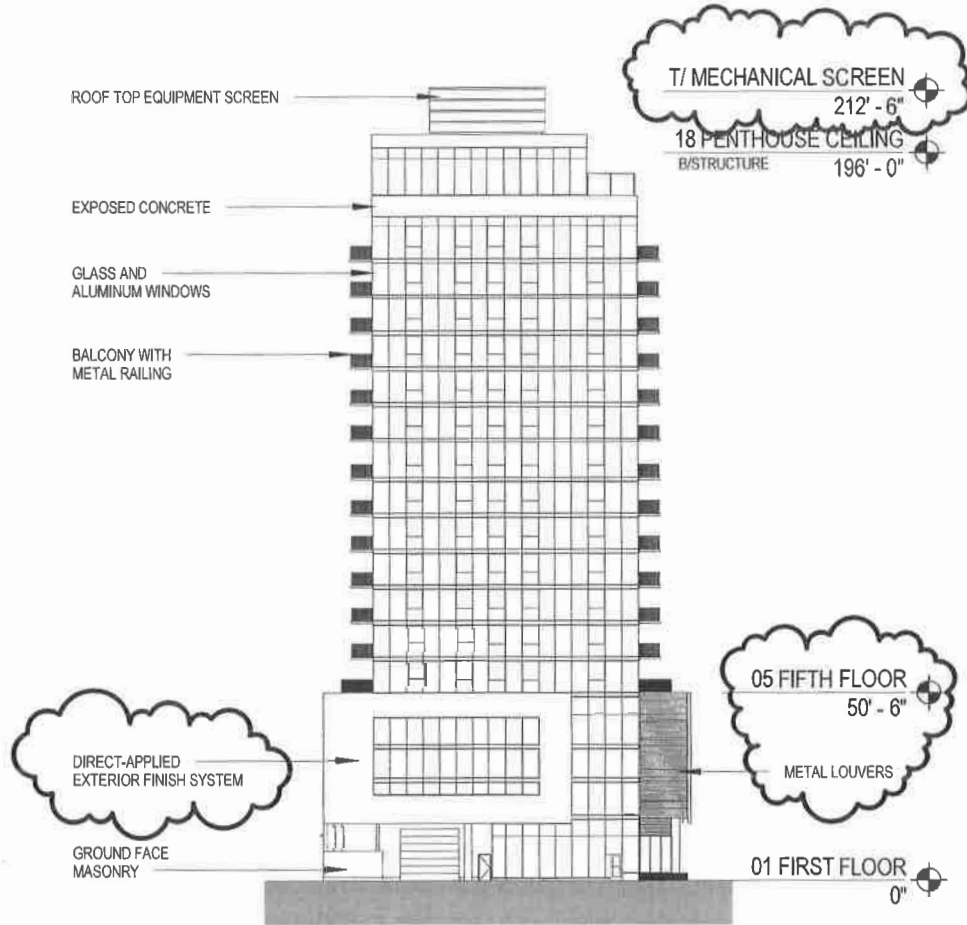
ROOF AREA AT PENTHOUSE:	15,985 SF
ROOF AREA AT TERRACE DECK:	4,745 SF
TOTAL ROOF AREA:	20,730 SF
GREEN ROOF AT PENTHOUSE:	6,370 SF
GREEN ROOF AT TERRACE DECK:	3,105 SF
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TOTAL GREEN ROOF AREA:	10,600 SF
GREEN ROOF TO ROOF AREA RATIO:	51%



Applicant: Ascend Real Estate Group LLC  
 Address: 341 – 355 W. Walton St., 325 – 333 W. Walton St., 900 – 920 N. Orleans St.,  
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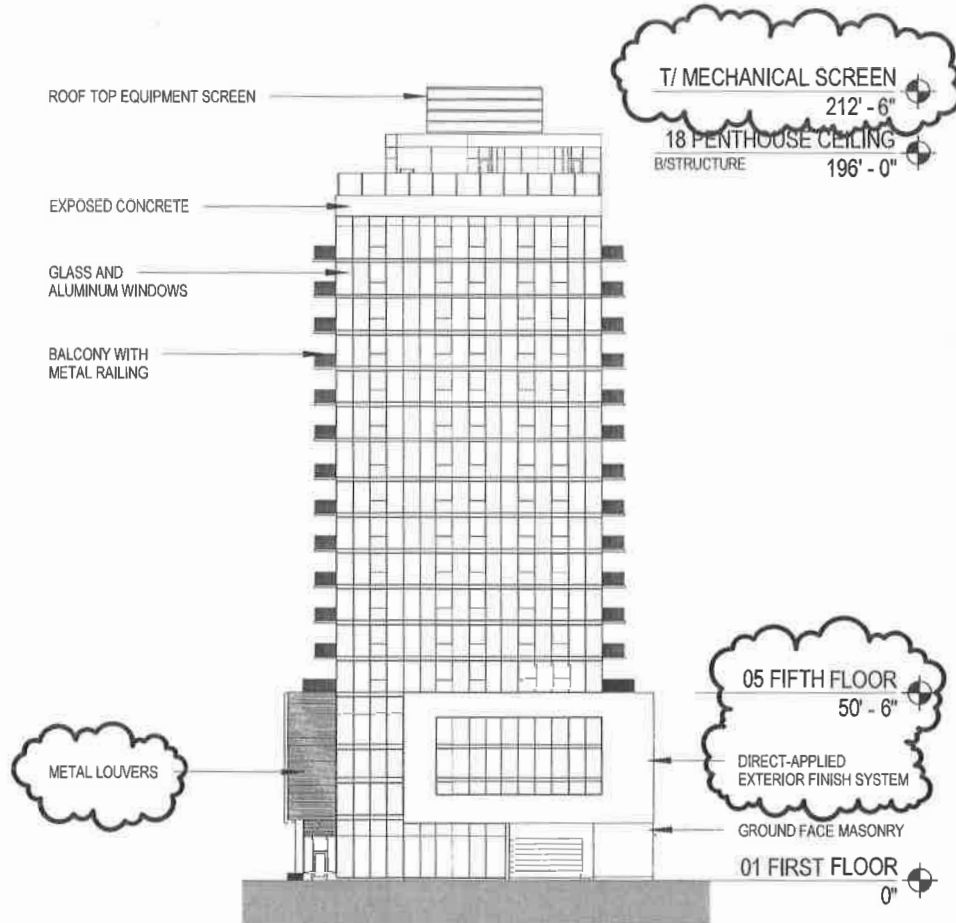
# Planned Development No. North Elevation



Applicant: Ascend Real Estate Group LLC  
 Address: 341 – 355 W. Walton St., 325 – 333 W. Walton St., 900 – 920 N. Orleans St.,  
 901 – 921 N. Orleans St., 324 – 332 W. Locust St., 340 – 354 W. Locust St.

Drawings revised November 4, 2015 for minor change request.

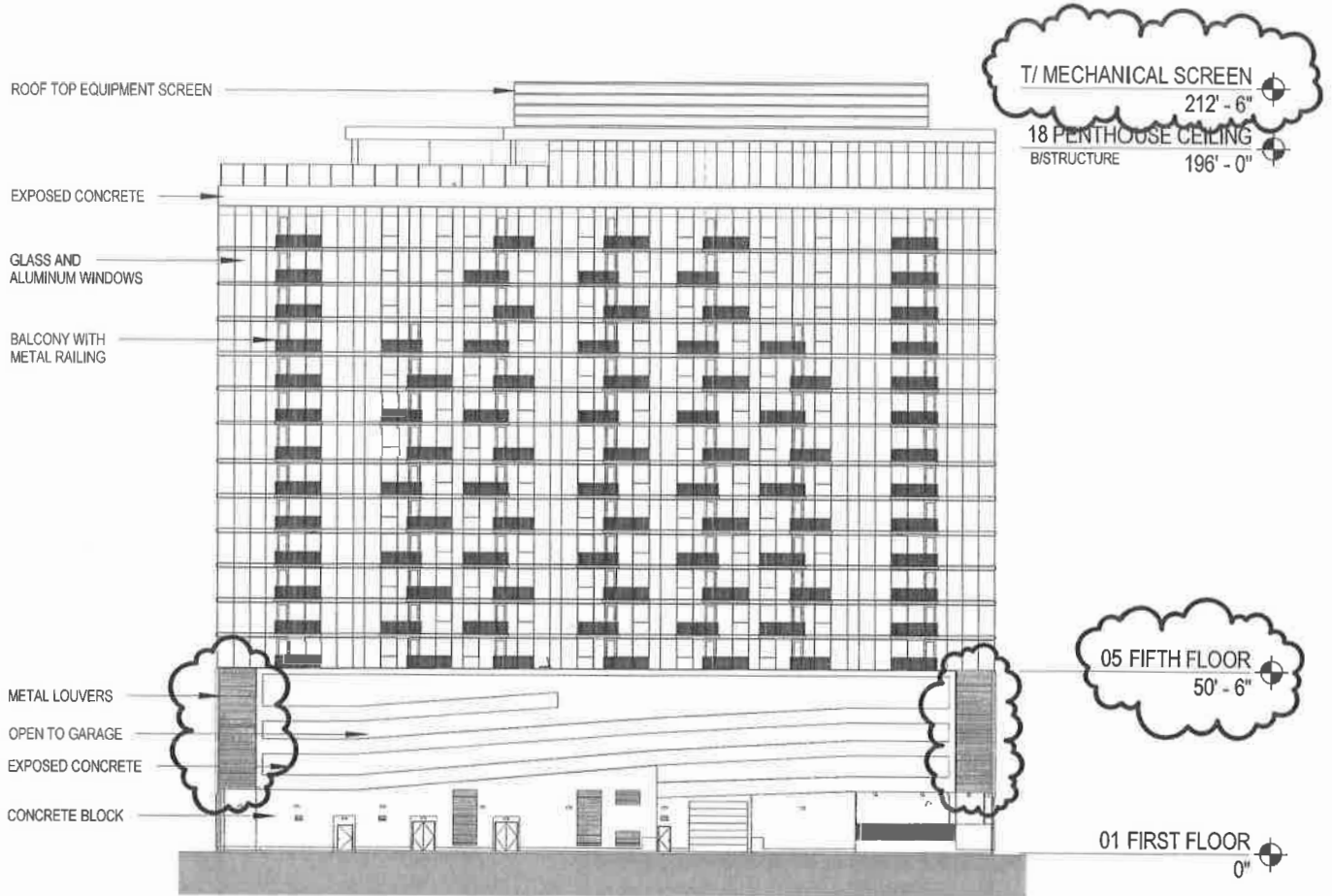
# Planned Development No. South Elevation



Applicant: Ascend Real Estate Group LLC  
 Address: 341 – 355 W. Walton St., 325 – 333 W. Walton St., 900 – 920 N. Orleans St.,  
 901 – 921 N. Orleans St., 324 – 332 W. Locust St., 340 – 354 W. Locust St.

Drawings revised November 4, 2015 for minor change request.

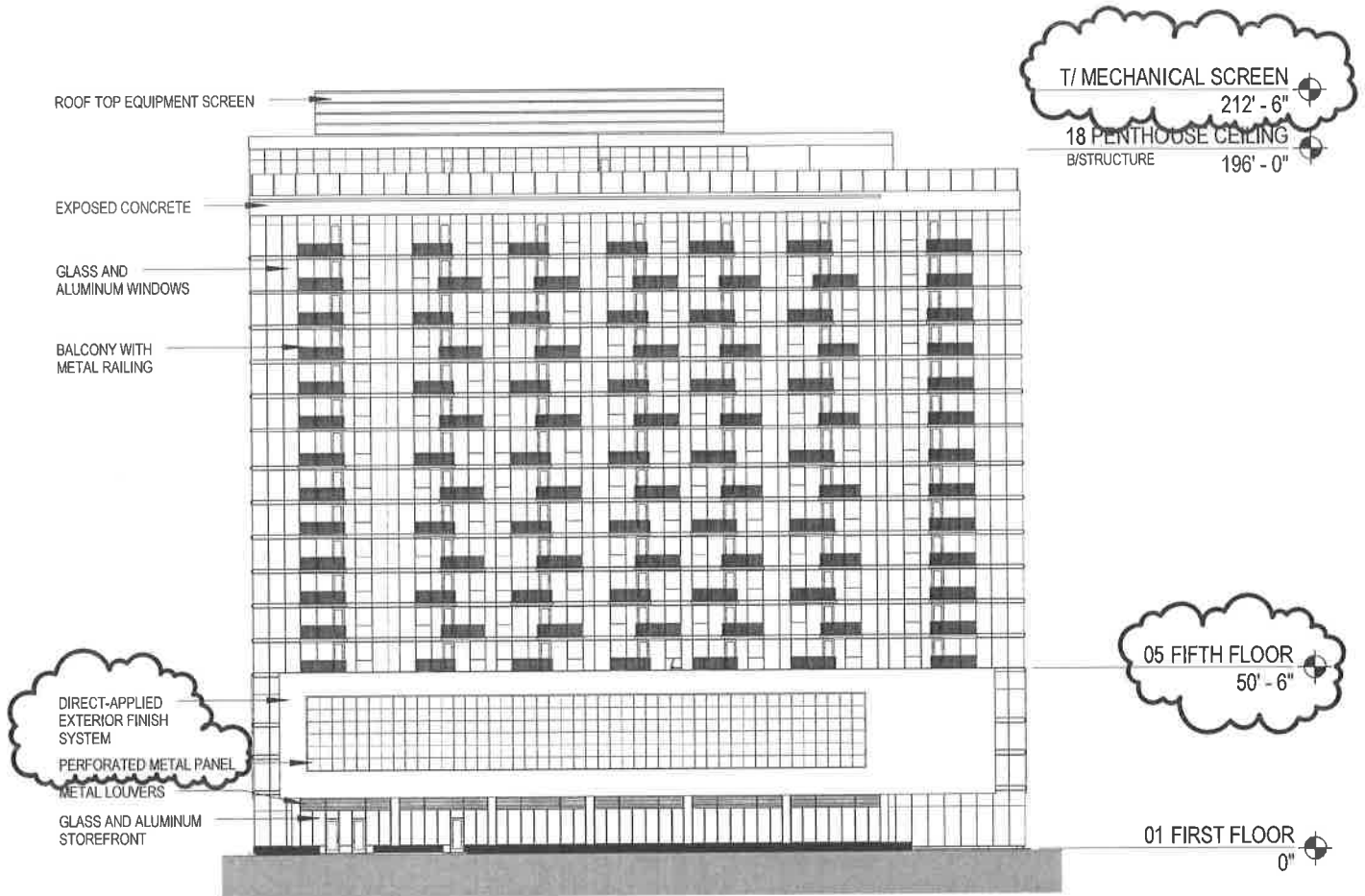
# Planned Development No. East Elevation



Applicant: Ascend Real Estate Group LLC  
 Address: 341 – 355 W. Walton St., 325 – 333 W. Walton St., 900 – 920 N. Orleans St.,  
 901 – 921 N. Orleans St., 324 – 332 W. Locust St., 340 – 354 W. Locust St.

Drawings revised November 4, 2015 for minor change request.

# Planned Development No. West Elevation



Applicant: Ascend Real Estate Group LLC  
 Address: 341 – 355 W. Walton St., 325 – 333 W. Walton St., 900 – 920 N. Orleans St.,  
 901 – 921 N. Orleans St., 324 – 332 W. Locust St., 340 – 354 W. Locust St.

Drawings revised November 4, 2015 for minor change request.

*Reclassification Of Area Shown On Map No. 2-H.*  
(Application No. 18349)  
(Common Address: 1017 S. Claremont Ave.)

[O2015-2601]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. Title 17 of the Municipal Code of Chicago, the Chicago Zoning Ordinance, is hereby amended by changing all of the C1-2 Neighborhood Commercial District symbols and indications as shown on Map Number 2-H in the area bounded by:

a line 165.85 feet south of and parallel to West Taylor Street; the north/south alley east of and parallel to South Claremont Avenue; a line 190.05 feet south of and parallel to West Taylor Street; and South Claremont Avenue,

to those of an RT4 Residential Two-Flat, Townhouse and Multi-Unit District.

SECTION 2. This ordinance takes effect after its passage and approval.

*Reclassification Of Area Shown On Map No. 3-F.*  
(As Amended)  
(Application No. 18038)

RBPD 1281

(Common Address: 341 -- 355 W. Walton St., 325 -- 333 W. Walton St.,  
900 -- 920 N. Orleans St., 901 -- 921 N. Orleans St., 324 --  
332 W. Locust St. And 340 -- 354 W. Locust St.)

[SO2014-4169]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the C1-2 Neighborhood Commercial District symbols and indications as shown on Map Number 3-F in the area bounded by:

North Orleans Street; West Walton Street; the public alley next east of and parallel to North Orleans Street; and West Locust Street,

to those of a C1-5 Neighborhood Commercial District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 3-F in the area bounded by:

North Orleans Street; West Walton Street; a line approximately 155.20 feet west of and parallel to North Orleans Street; and West Locust Street,

to those of a C1-5 Neighborhood Commercial District.

SECTION 3. That the Chicago Zoning Ordinance be amended by changing all of the C1-5 Neighborhood Commercial District symbols and indications as shown on Map Number 3-F in the area bounded by:

West Walton Street; the public alley next east of and parallel to North Orleans Street; West Locust Street; and a line approximately 155.20 feet west of and parallel to North Orleans Street,

to those of Planned Development [128], which is hereby established in the area above described, subject to such use and bulk regulation as set forth in the Plan of Development herewith attached and made a part hereof and to no others.

SECTION 4. This ordinance shall be in full force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Plan Of Development Statements.*

1. The area delineated herein as Planned Development Number 1281 ("Planned Development") consists of approximately 55,681 square feet of net site area which is depicted on the attached Planned Development Boundary Map and Property Line Boundary Maps (the "Property") and is owned or controlled by Ascend Real Estate Group LLC (herein referred to as the "Applicant"). All required disclosures are contained within the economic disclosure statements filed with the City of Chicago in accordance with the applicable requirements. This Planned Development is divided into two subareas (Subarea A and Subarea B).
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.

3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or ~~grants of easements~~ or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the Applicant or its successors, assign or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans, and subject to review and approval by the Department of Business Affairs and Consumer Protection.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This Plan of Development consists of eighteen (18) Statements; a Bulk Regulations Table; the following plans pertaining to the Applicant's proposed project (the "Project") prepared by Fitzgerald Associates Architects dated May 21, 2015 for Subarea A: Existing Land-Use Area Map, Subarea Map, Property Line/Planned Development Boundary Map, Existing Zoning and Street System Map, Landscape Plan, Site Plan, and Building Elevations (North, South, East, and West). Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with the Department of Planning and Development. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a planned development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.
5. The following uses shall be permitted on the Property:

Subarea A:

Dwelling Units located above the ground floor, commercial, retail, accessory parking, and other related uses. Additionally, 25 percent (38 spaces) of the number of accessory parking spaces required for residential uses may be leased out on a daily, weekly or monthly basis to persons who are not residents, tenants, patrons, employees or guests of the principal use.

Subarea B:

Religious **assembly**, accessory parking, classrooms, as an accessory use to the religious assembly, and related uses.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a total combined Net Site Area of 55,681 square feet (Subarea A, Net Site Area: 21,890 square feet and Subarea B, Net Site Area: 33,791 square feet).
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by the Department of Planning and Development. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by the Department of Planning and Development. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II Approval.
11. Prior to the Part II Approval (per Section 17-13-0610 of the Zoning Ordinance) of any additional improvements in Subarea B, the Applicant shall submit a site plan, landscape plan and building elevations for review and approval by the Department of Planning and Development. Review and approval by the Department of Planning and Development is intended to assure that specific development components conform with the Planned Development and to assist the City in monitoring ongoing development. Site Plan Approval Submittals need only include that portion of the Property for which approval is being sought by the Applicant. If the Applicant is seeking approval for a portion of the Property that represents less than an entire subarea, the Applicant shall also include a site plan for that area of the Property which is bounded on all sides by either public rights-of-way or the boundary of the nearest subarea. The site plan provided shall include all dimensioned and planned street rights-of-way.

No Part II Approval for any such improvement on Subarea B shall be granted until Site Plan Approval has been granted. If the Site Plan Approval Submittals substantially conform to ~~the provisions~~ of the Planned Development, the Department of Planning and Development shall approve the submittal in a prompt and timely manner. Following approval by the Department of Planning and Development, the approved Site Plan Approval Submittals, supporting data and materials shall be made part of the main file and shall be deemed to be an integral part of the Planned Development.

After approval of the Site Plan, changes or modifications may be made pursuant to the provisions of Statement 13. In the event of any inconsistency between approved plans and the terms of the Planned Development, the terms of the Planned Development shall govern. Any Site Plan Approval Submittals shall, at a minimum, provide the following information:

- fully-dimensioned site plan (including a footprint of the proposed improvements);
- fully-dimensioned building elevations;
- fully-dimensioned landscape plan(s) and roof plan (if applicable); and,
- statistical information applicable to the subject subarea, including floor area, the applicable FAR, uses to be established, building heights and setbacks.

Site Plan Approval Submittals shall include all other information necessary to illustrate substantial conformance to the Planned Development.

12. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Environment and Buildings, under Section 13-32-125 of the Municipal Code or any other provision of that Code.
13. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
14. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

15. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, ~~reduces~~ reduces operating costs and conserves energy and natural resources. At the time of a hearing before the Chicago Plan Commission, all developments must be in substantial compliance with the current City of Chicago Sustainable Development Policy set forth by the Department of Planning and Development. The Applicant agrees to a minimum of "LEED" (Leadership in Energy and Environmental Design) basic certification. The Applicant also agrees to provide a vegetative ("green") roof system on a minimum of 50 percent of the net roof area for new buildings in Subarea A and 25 percent for all new buildings in Subarea B. "Net roof area" shall be defined as the total area of the flat roof minus any required perimeter setbacks, rooftop structures and roof-mounted equipment and mechanical penthouses required by the City Codes. A vegetative ("green") roof system of a minimum of 50 percent (6,978 square feet) of the net flat roof on Subarea A shall be installed and maintained. A vegetative ("green") roof system of a minimum of 25 percent of the net flat roof on Subarea B shall be installed and maintained. Copies of these standards may be obtained from DPD.
16. The Applicant acknowledges and agrees that this Project including the 202 residential units is subject to the requirements of Section 2-45-110 of the Municipal Code (the "Affordable Housing Ordinance"). Any developer of a "residential housing project" within the meaning of the Affordable Housing Ordinance must: (i) develop affordable housing units as part of the residential housing project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). In accordance with these requirements and the Affordable Housing Profile Form attached hereto as Exhibit A, the Applicant has agreed to make a cash payment to the Affordable Housing Opportunity Fund in the amount of Two Million One Hundred Thousand Dollars (\$2,100,000) ("Cash Payment"), or \$100,000 per unit in lieu of providing 21 affordable housing units. At the time of each Part II Review for the Project, Applicant shall update and resubmit the Affordable Housing Profile Form to DPD for review and approval. If the Applicant subsequently reduces the number of dwelling units in the project, DPD shall reduce the amount of the Cash Payment accordingly without amending this Planned Development. Prior to the issuance of any building permits for the Residential Project, including, without limitation, excavation or foundation permits, the Applicant must make the required Cash Payment.
17. In order to develop the proposed improvements in Subarea A, the Applicant has contracted to acquire unused FAR and square footage (for minimum lot area purposes) from Subarea B (the "Development Rights"). The Property will have an initial FAR of 5.0 and a Net Site Area of 55,681 square feet. At the time the Applicant submits for Part II Review to construct the improvements on Subarea A, the maximum permitted Buildable Area for Subarea A shall, without amendment to this Planned Development, increase by 124,301 square feet, the maximum number of permitted dwelling units for Subarea A shall increase by 73 dwelling units to a total maximum of 202 dwelling units, the maximum permitted Buildable Area for Subarea B shall decrease by 124,301 square feet and the maximum number of dwelling units for Subarea B shall

decrease to zero (0) dwelling units, all as set forth in the Bulk Regulations and Data Table. Prior to Part II Approval, Applicant shall deliver to the Department an executed and recorded ~~Agreement of~~ **Agreement of** Covenants and Restrictions ("Covenant A") which shall set forth the amount of **Development Rights** acquired for the benefit of Subarea A. Delivery of Covenant A shall cause corresponding increases and decreases in FAR, Buildable Area and permitted dwelling units in Subarea A and Subarea B. The City of Chicago is not party to Covenant A and is not responsible for enforcing anything in said covenant other than the above provisions governing the transfer of floor area and dwelling units.

18. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Unless substantial construction of the proposed improvements as contemplated in this Planned Development has commenced within six years following the adoption of this Planned Development, and is diligently pursued, then this Planned Development shall expire. If this Planned Development expires under the provision of this section, then the Commissioner of the Department of Planning and Development shall initiate a zoning map amendment to rezone the Property to C1-5 Neighborhood Commercial District.

[Existing Land-Use Area Map; Subarea Map; Property Line/Planned Development Boundary Map; Existing Zoning and Street System Map; Subarea A -- Generalized Site Plan; Ground Floor and Landscape Plan; Terrace Roof Deck; Roof Plan; North, South, East and West Building Elevations and Affordable Housing Profile Form (Rental) referred to in these Plan of Development Statements printed on pages 1844 through 1857 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

*Planned Development.*

*Bulk Regulations And Data Table.*

Site Area:

Gross Site Area:	94,440 square feet
Public Right-of-Way:	38,759 square feet

Net Site Area:	55,681 square feet
Subarea A:	21,890 square feet
Subarea B:	<u>33,791 square feet</u>
Total Net Site Area:	55,681 square feet

## Maximum Height:

Subarea A:	196 feet, 0 inches
Subarea B:	69 feet, 0 inches

## Floor Area Ratio and Buildable Area:

Overall Maximum FAR:	5.0
Overall Maximum Buildable FAR:	278,405 square feet

## Subarea A:

Net Site Area:	21,890 square feet
Buildable Area:	109,450 square feet
Buildable Area:	
Transferred from Subarea B:	124,301 square feet
Proposed Building Square Feet:	232,790 square feet

## Subarea B:

Net Site Area:	33,791 square feet
----------------	--------------------

Buildable Area:	168,955 square feet
Proposed Building Square Feet:	44,654 square feet
Transferred to Subarea A:	124,301 square feet

Maximum Number of Dwelling Units:

Subarea A:	202
Subarea B:	0

Setbacks:

Subarea A:	Rear yard: 13 feet at residential floors (balconies at 7 feet setback from property line)
Subarea B:	In accordance with Site Plan Approval

Minimum Bicycle Spaces:

Subarea A:	108
Subarea B:	1 bike space per 10 car spaces

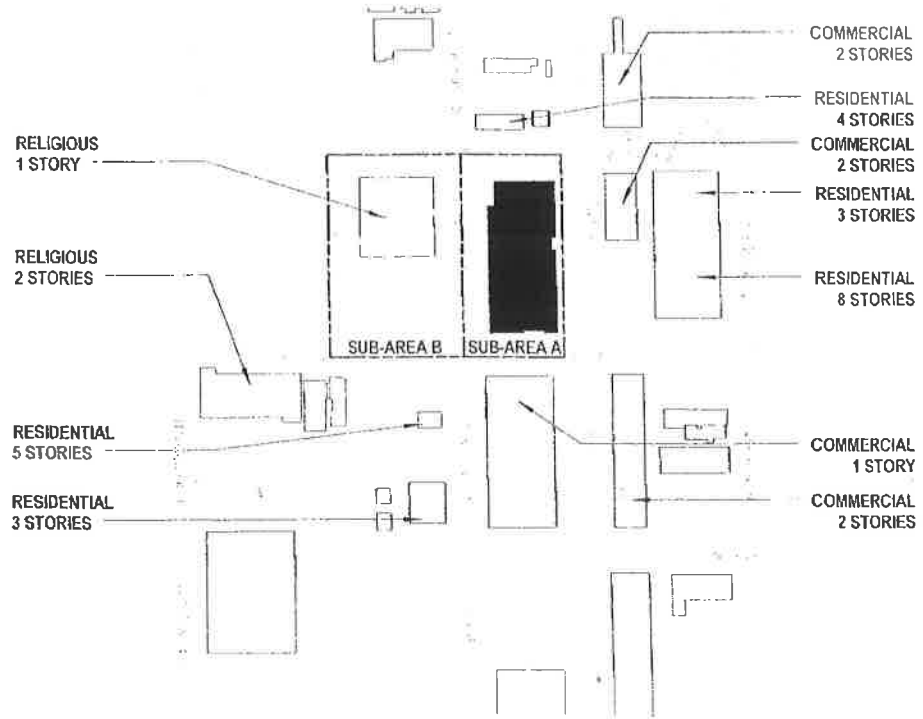
Minimum Parking Spaces:

Subarea A:	149
Subarea B:	150

Loading Spaces:

Subarea A:	1 (10 feet by 25 feet)
Subarea B:	1 (10 feet by 25 feet)

### Planned Development No. Existing Land Use Area Map



  
INDICATES AREA OF PLANNED DEVELOPMENT

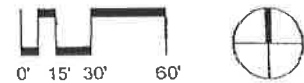
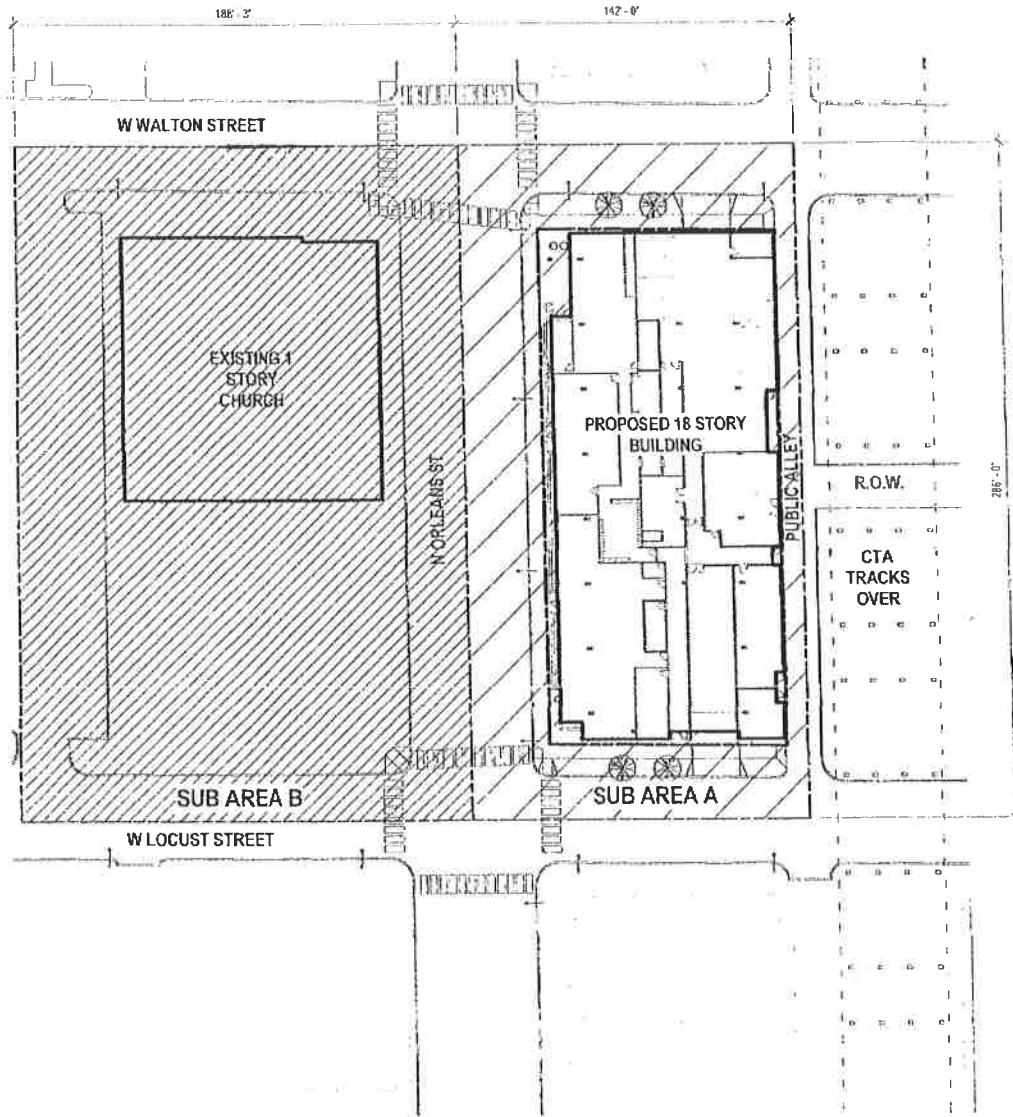


Applicant: Ascend Real Estate Group LLC  
Address: 341 - 355 W. Walton St., 325 - 333 W. Walton St, 900 - 920 N. Orleans St.,  
901 - 921 N. Orleans St., 324 - 332 W. Locust St., 340 - 354 W. Locust St.  
Date: May 28, 2014  
Revised: May 21, 2015

PD-01

FINAL FOR PUBLICATION

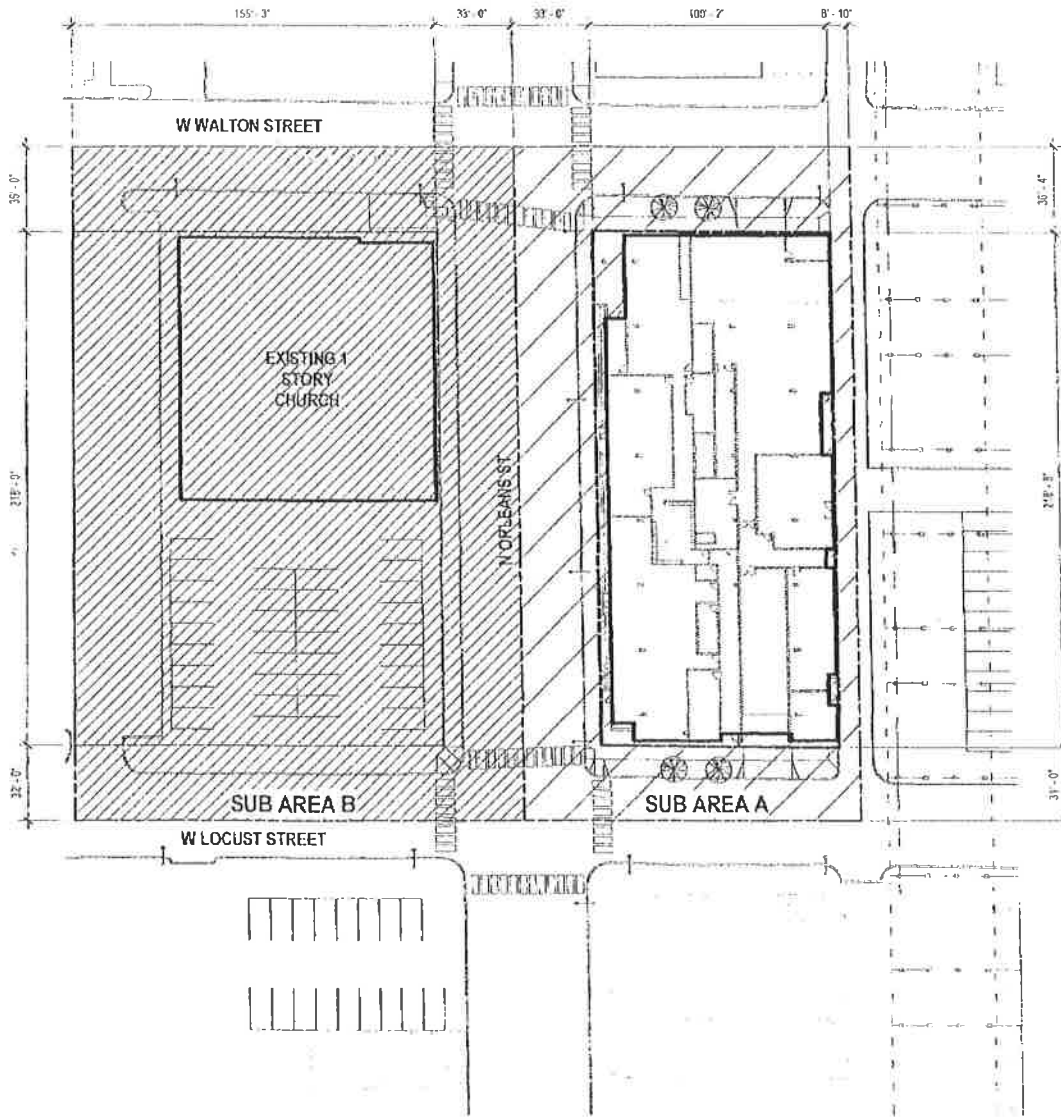
### Planned Development No. Sub-Area Map



Applicant: Ascend Real Estate Group LLC  
 Address: 341 – 355 W. Walton St., 325 – 333 W. Walton St., 900 – 920 N. Orleans St.,  
 901 – 921 N. Orleans St., 324 – 332 W. Locust St., 340 – 354 W. Locust St.  
 Date: May 28, 2014  
 Revised: May 21, 2015

PD-02

Planned Development No.  
Property Line / PD Boundary Map

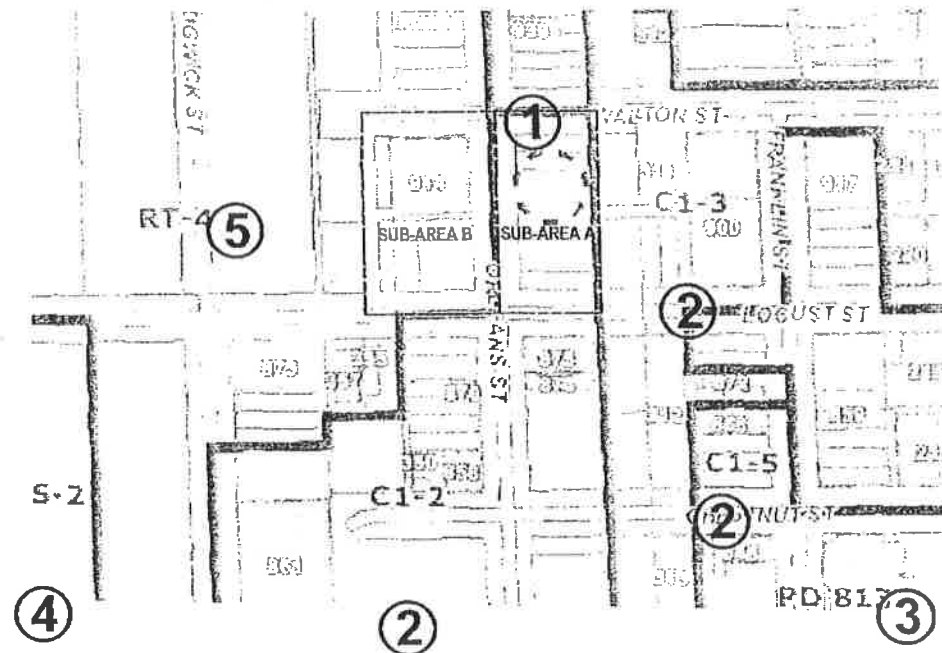



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901 - 921 N. Orleans St., 324 - 332 W. Locust St., 340 - 354 W. Locust St.  
Date: May 28, 2014  
Revised: May 21, 2015


PD-03

FINAL FOR PUBLICATION

### Planned Development No. Existing Zoning and Street System Map



  
INDICATES AREA OF PLANNED DEVELOPMENT

  
INDICATES ZONING BOUNDARY

KEY

- ① COMMUNITY SHOPPING
- ② NEIGHBORHOOD COMMERCIAL
- ③ PD - PLANNED DEVELOPMENT APPLICATION
- ④ PARKS AND OPEN SPACE
- ⑤ RESIDENTIAL

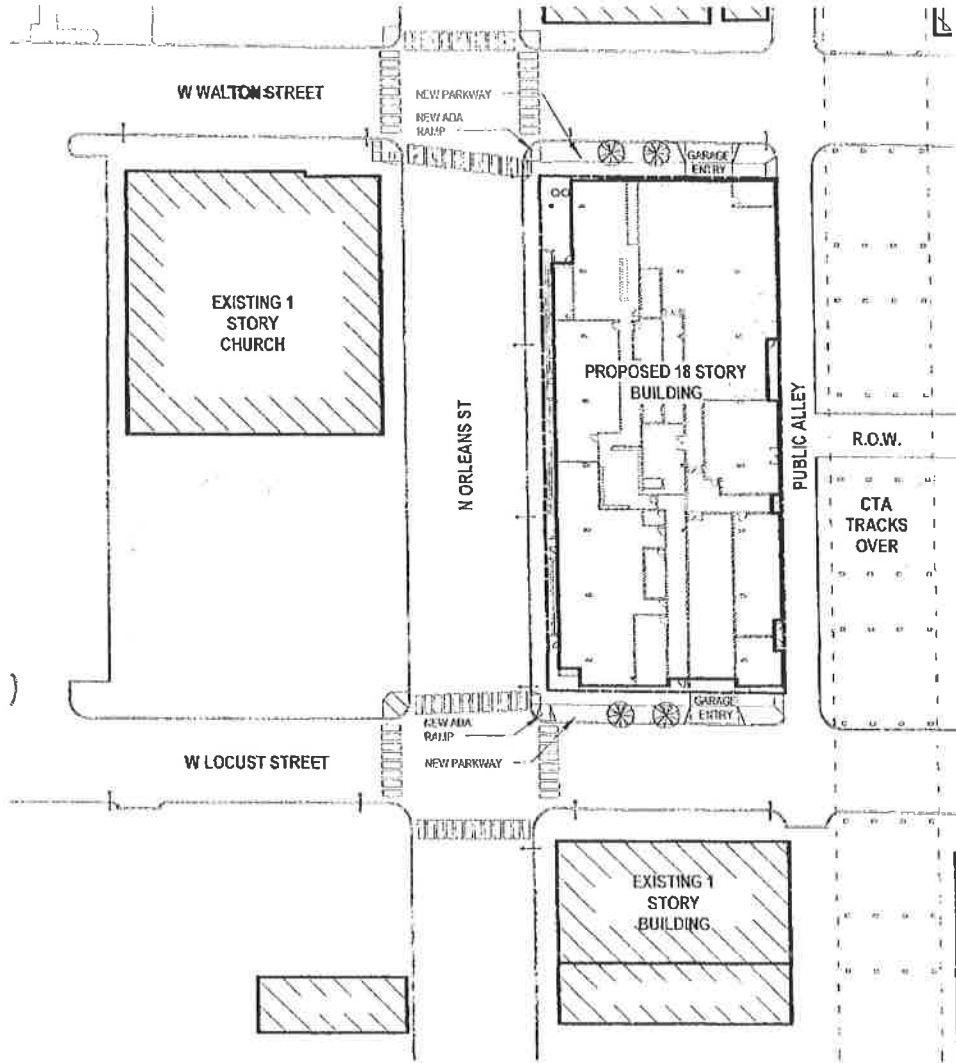


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 Date: May 28, 2014  
 Revised: May 21, 2015

PD-04

FINAL FOR PUBLICATION

Planned Development No.  
Sub-Area A - Generalized Site Plan

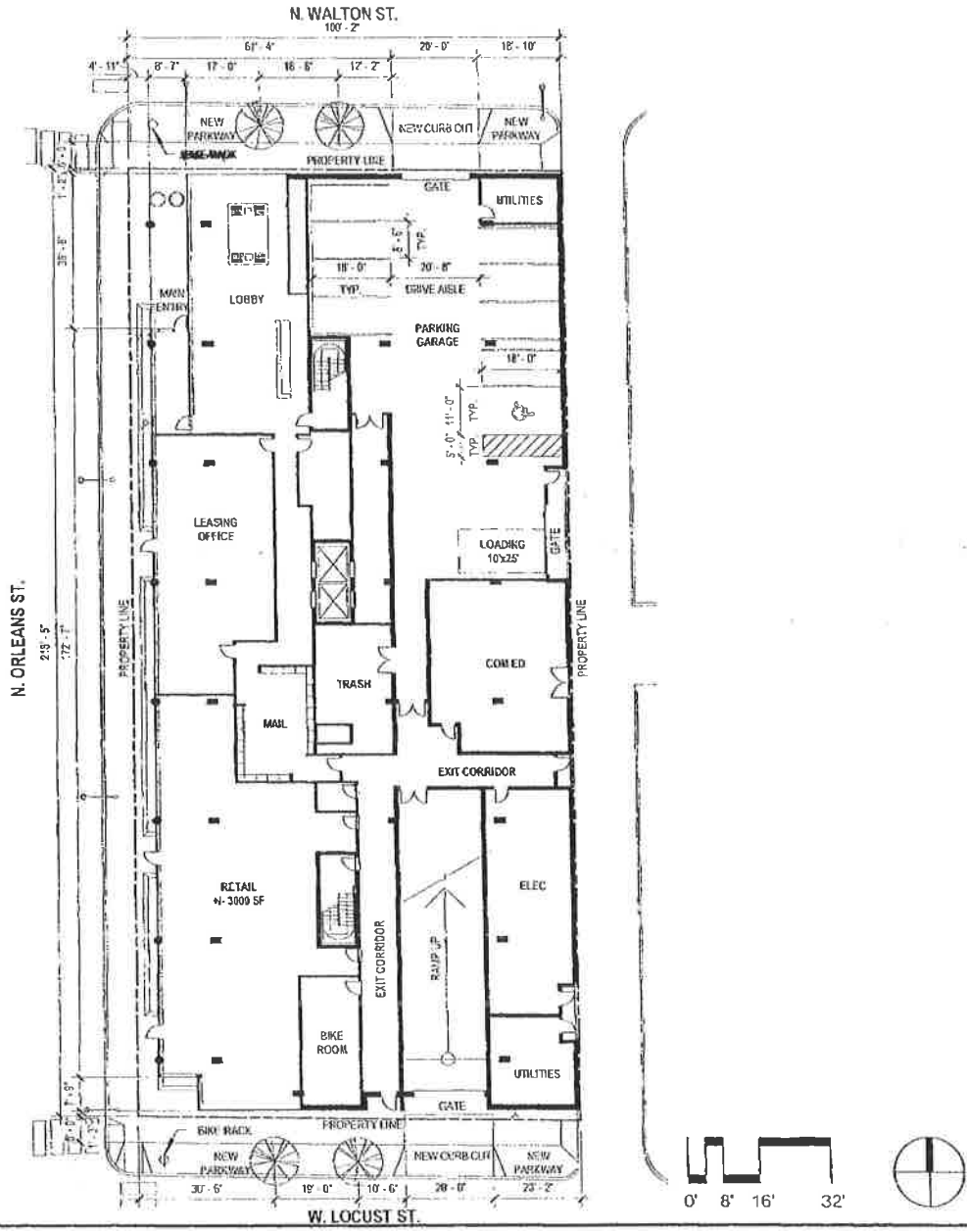


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 Date: May 28, 2014  
 Revised: May 21, 2015

PD-05

PLANNED DEVELOPMENT NO.

# Planned Development No. Ground Floor and Landscape Plan

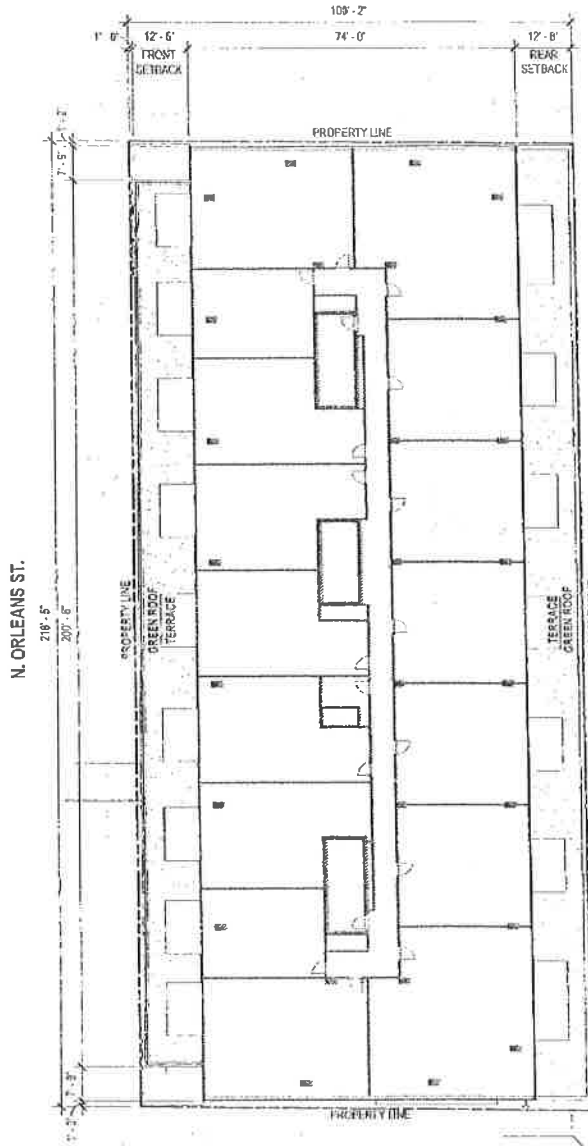


Applicant: Ascend Real Estate Group LLC  
 Address: 341 – 355 W. Walton St., 325 – 333 W. Walton St., 900 – 920 N. Orleans St.,  
 901 – 921 N. Orleans St., 324 – 332 W. Locust St., 340 – 354 W. Locust St.  
 Date: May 28, 2014  
 Revised: May 21, 2015

PD-06

FINAL FOR PUBLICATION

Planned Development No.  
Terrace Roof Deck  
N. WALTON ST.



ROOF AREA AT PENTHOUSE:	15,985 SF
ROOF AREA AT TERRACE DECK:	4,745 SF
TOTAL ROOF AREA:	20,730 SF
GREEN ROOF AT PENTHOUSE:	6,370 SF
GREEN ROOF AT TERRACE DECK:	3,165 SF
HARDSCAPE AT PENTHOUSE:	9,615 SF
- 10% TOWARDS GREEN ROOF:	961 SF
HARDSCAPE TERRACE DECK:	1,640 SF
- 10% TOWARDS GREEN ROOF:	164 SF
TOTAL GREEN ROOF AREA:	16,690 SF
GREEN ROOF TO ROOF AREA RATIO:	51%



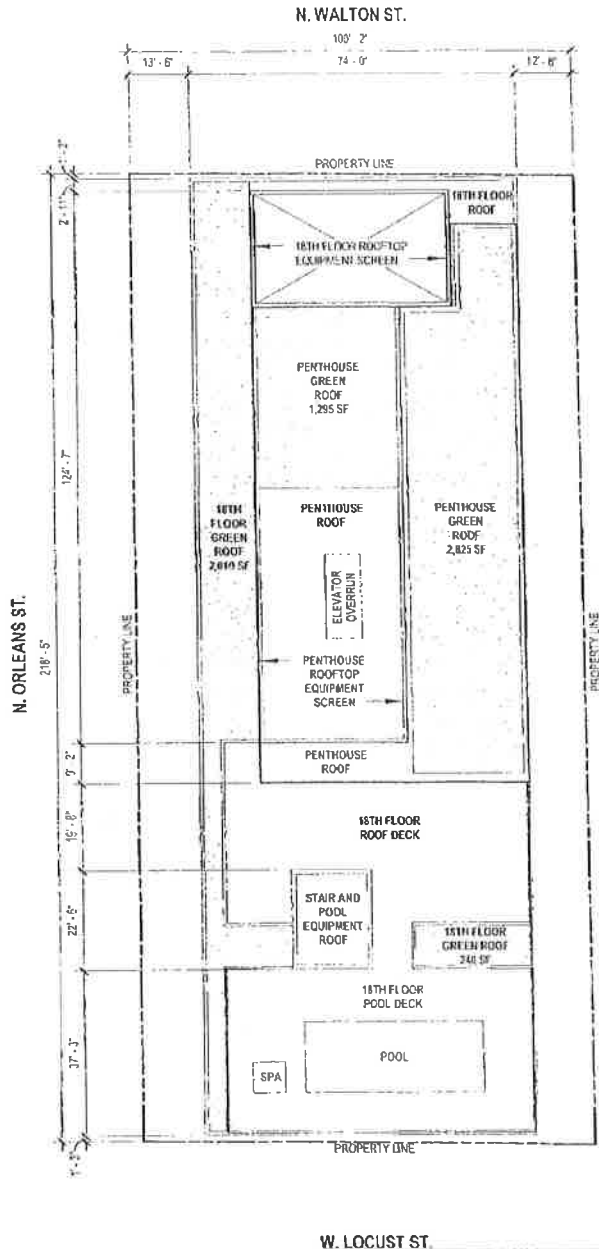
W. LOCUST ST.

Applicant: Ascend Real Estate Group LLC  
 Address: 341 - 355 W. Walton St., 325 - 333 W. Walton St., 900 - 920 N. Orleans St.,  
 901 - 921 N. Orleans St., 324 - 332 W. Locust St., 340 - 354 W. Locust St.  
 Date: May 28, 2014  
 Revised: May 21, 2015

PD-07

Planned Development No.  
Roof Plan

FINAL FOR PUBLICATION



ROOF AREA AT PENTHOUSE:	15,985 SF
ROOF AREA AT TERRACE DECK:	4,745 SF
TOTAL ROOF AREA:	20,730 SF
GREEN ROOF AT PENTHOUSE:	6,370 SF
GREEN ROOF AT TERRACE DECK:	3,105 SF
HARDSCAPE AT PENTHOUSE:	5,615 SF
- 10% TOWARDS GREEN ROOF:	561 SF
HARDSCAPE TERRACE DECK:	1,640 SF
- 10% TOWARDS GREEN ROOF:	164 SF
TOTAL GREEN ROOF AREA:	10,660 SF
GREEN ROOF TO ROOF AREA RATIO:	51%

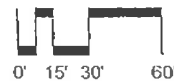
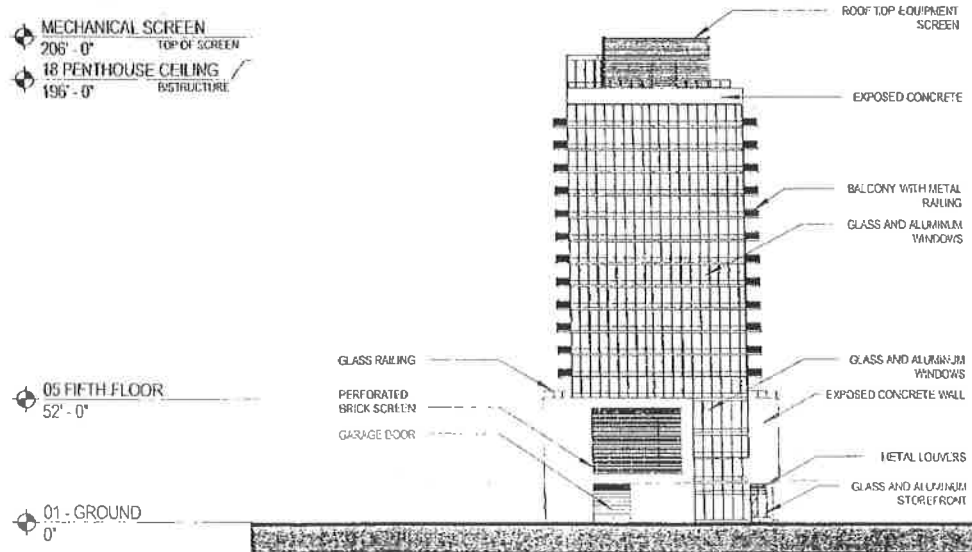


Applicant: Ascend Real Estate Group LLC  
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 901 - 921 N. Orleans St., 324 - 332 W. Locust St., 340 - 354 W. Locust St.  
 Date: May 28, 2014  
 Revised: May 21, 2015

PD-08

Planned Development No.  
North Elevation

FINAL FOR PUBLICATION

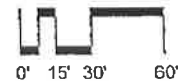
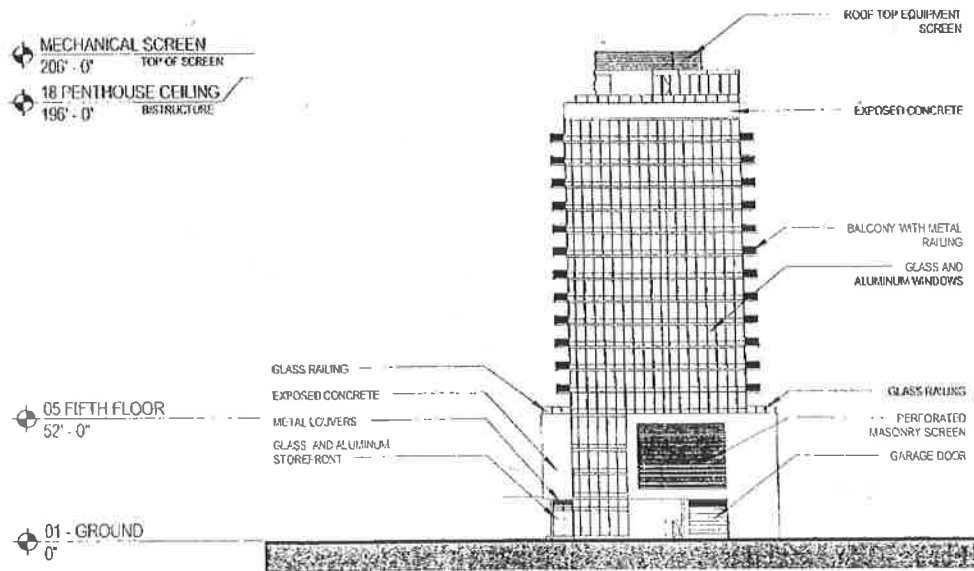


Applicant: Ascend Real Estate Group LLC  
 Address: 341 - 355 W. Walton St., 325 - 333 W. Walton St., 900 - 920 N. Orleans St.,  
 901 - 921 N. Orleans St., 324 - 332 W. Locust St., 340 - 354 W. Locust St.  
 Date: May 28, 2014  
 Revised: May 21, 2015

PD-09

PLANNED DEVELOPMENT NO. 1853

### Planned Development No. South Elevation

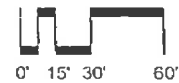
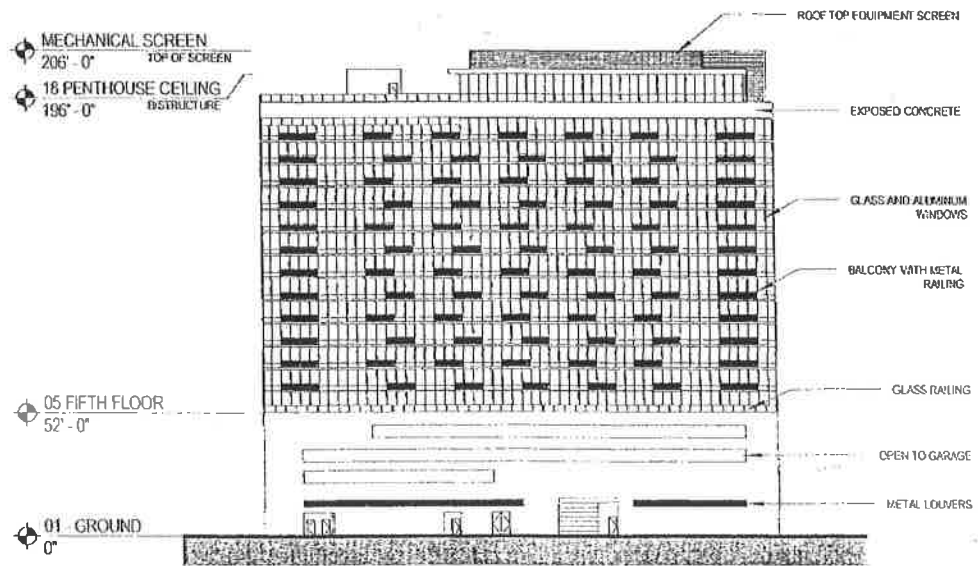


Applicant: Ascend Real Estate Group LLC  
 Address: 341 - 355 W. Walton St., 325 - 333 W. Walton St., 900 - 920 N. Orleans St.,  
 901 - 921 N. Orleans St., 324 - 332 W. Locust St., 340 - 354 W. Locust St.  
 Date: May 28, 2014  
 Revised: May 21, 2015

PD-11

Planned Development No. East Elevation

FINAL FOR PUBLICATION

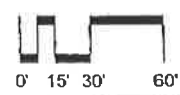
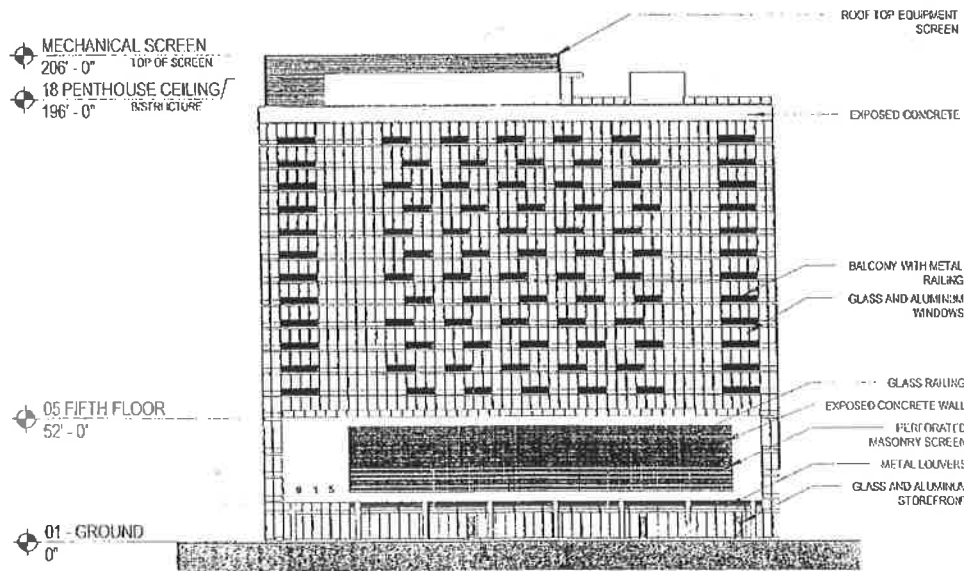


Applicant: Ascend Real Estate Group LLC  
 Address: 341 - 355 W. Walton St, 325 - 333 W. Walton St., 900 - 920 N. Orleans St.,  
 901 - 921 N. Orleans St., 324 - 332 W. Locust St., 340 - 354 W. Locust St.  
 Date: May 28, 2014  
 Revised: May 21, 2015

PD-10

FINAL FOR PUBLICATION

### Planned Development No. West Elevation



Applicant: Ascend Real Estate Group LLC  
 Address: 341 - 355 W. Walton St., 325 - 333 W. Walton St., 900 - 920 N. Orleans St.,  
 901 - 921 N. Orleans St., 324 - 332 W. Locust St., 340 - 354 W. Locust St.  
 Date: May 28, 2014  
 Revised: May 21, 2015

PD-12

### Affordable Housing Profile Form (Rental)

Submit this form to the Department of Planning & Development for each project that triggers an affordability requirement (including CPAN, ARO, and the Density Bonus).

This completed form should be returned (via e-mail, fax, postal service or interoffice mail), to: Kara Breems, Department of Planning & Development, 121 N. LaSalle Street, Chicago, IL 60602. E-mail: [kara.breems@cityofchicago.org](mailto:kara.breems@cityofchicago.org) Telephone: (312) 744-6746.

For information on these programs/requirements, visit [www.cityofchicago.org/dpd](http://www.cityofchicago.org/dpd)

Date: May 14 2015

#### SECTION 1: DEVELOPMENT INFORMATION

Development Name: 915 N. Orleans  
Development Address: 915 N. Orleans  
Ward: Alderman Burnett - 29th Ward

If you are working with a Planner at the City, what is his/her name? Fernando Espinoza

Type of City involvement:  Land write-down  
(check all that apply)  Financial Assistance (If receiving TIF assistance, will TIF funds be used for housing construction? )  
 Zoning increase, PD, or City Land purchase

\*if yes, please provide copy of the TIF Eligible Expenses

#### SECTION 2: DEVELOPER INFORMATION

Developer Name: Ascend Real Estate Group LLC  
Developer Contact (Project Coordinator): William Wolk  
Developer Address: 912 W. Lake Street Chgo. IL 60607  
Email address: bwolk@AREG.LLC.Com May we use email to contact you?  Yes  No  
Telephone Number: 312 252-9226

#### SECTION 3: DEVELOPMENT INFORMATION

##### a) Affordable units required

For ARO projects: 202 x 10%\* = 21 (always round up)  
Total units total affordable units required  
\*20% if TIF assistance is provided

For Density Bonus projects: \_\_\_\_\_ X 25% = \_\_\_\_\_  
Bonus Square Footage\* Affordable sq. footage required  
\*Note that the maximum allowed bonus is 20% of base FAR in dash-5; 25% in dash-7 or -10; and 30% of base FAR in dash-12 or -16 ([www.cityofchicago.org/zoning](http://www.cityofchicago.org/zoning) for zoning info).

##### b) building details

In addition to water, which of the following utilities will be included in the rent (circle applicable):

Cooking gas  electric  gas heat  electric heat  other (describe on back)

Is parking included in the rent for the: affordable units? yes  no  market-rate units? yes  no   
If parking is not included, what is the monthly cost per space? \$225

Estimated date for the commencement of marketing: January 2017  
 Estimated date for completion of construction of the affordable units:

For each unit configuration, fill out a separate row, as applicable (see example).

	Unit Type*	Number of Units	Number of Bedrooms/Unit	Total Square Footage/Unit	Expected Market Rent	Proposed Affordable Rent*	Proposed Level of Affordability (60% or less of AMI)	Unit Mix OK to proceed?
Example	1 bed/1 bath	4	1	800	\$1000	759	60%	
Affordable Units	<u>N/A</u>							
Market Rate Units						N/A	N/A	
						N/A	N/A	
						N/A	N/A	

\*Rent amounts updated annually in the "City of Chicago's Maximum Affordable Monthly Rent Chart"

**SECTION 4: PAYMENT IN LIEU OF UNITS**

When do you expect to make the payment -in-lieu? Building Permit - December 2015  
 (typically corresponds with issuance of building permits) Month/Year

For ARO projects, use the following formula to calculate payment owed:

$$\frac{201}{\text{Number of total units in development}} \times 10\% = \frac{21}{\text{(round up to nearest whole number)}} \times \$100,000 = \$2,100,000.00$$

Amount owed

For Density Bonus projects, use the following formula to calculate payment owed:

$$\text{Bonus Floor Area (sq ft)} \times 80\% \times \$ \text{median price per base FAR foot} = \$ \text{Amount owed}$$

(from table below)

Submarket (Table for use with the Density Bonus fees-in-lieu calculations)	Median Land Price per Base FAR Foot
Loop: Chicago River on north/west; Congress on south; Lake Shore Dr on east	\$31
North: Division on north; Chicago River on south/west; Lake Shore Dr. on east	\$43
South: Congress on north; Stevenson on south; Chicago River on west; Lake Shore Dr. on east	\$22
West: Lake on north; Congress on south; Chicago River on east; Racine on west	\$29

Authorization to Proceed (to be completed by Department of DPD)

[Signature]  
 Kara Breems  
 Department of Planning & Development

5-15-15  
 Date

[Signature]  
 Developer/Project Coordinator

5/14/15  
 Date