



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

March 29, 2023

Adrienne Agliata
Cave Enterprises
1624 W. 18th St.
Chicago, IL 60608

Re: 6400 W. Fullerton Ave.

Dear Ms. Agliata:

In response to your recent request, please be advised that the subject property is zoned Business Planned Development Number 127 ("PD 127"). Pursuant to Statement No. 6 of PD 127, the following uses are permitted: department stores, sale of food, food products and meat; sale of packaged alcoholic beverages; sale of clothing and apparel; sale of prescription drugs, pharmaceuticals and allied products; sale of hardware; sale of tires, batteries, and automotive accessories, with an ancillary use of retail sale and dispensing of fuels and lubricants and installation and minor services customarily incidental thereto; banks or savings and loan associations; sale of insurance; travel agencies; amusement establishments; arcades; theatres, auditoriums, health clubs; any and all drive-in facilities; jewelry stores; sales of goods, wares, and merchandise at retail; service businesses such as doctors, ophthalmologists and dental offices; shoe repair; watch and jewelry repair; tailor and dressmaker shops; restaurants and taverns; all office purposes; and such uses as are permitted under the B5 General Service District, except for dwelling units, lodging rooms and hotel/motel uses. The B5 district has since been converted to a B3 district.

Therefore, a restaurant with a drive-through is a permitted use. Permit no. 100762646 was issued on June 15, 2018, for the renovation of the existing Burger King restaurant.

Sincerely,

Patrick Murphey
Zoning Administrator

PM:tm

March 24, 2021

Meghan E. Zedick
Stafford, Owens, Piller, Murnane, Kelleher & Trombley PLLC
One Cumberland Avenue
PO Box 2947
Plattsburgh, NY 12901

Re: Opinion response for PD 127, 2532 N Narragansett Ave.

Dear Ms. Zedick:

In response to your recent request, please be advised that the subject property is zoned Planned Development Number 127 ("PD 127").

Pursuant to Statement Number 6 of PD 127, the following uses are permitted: department stores, sale of food, food products and meat; sale of packaged alcoholic beverages; sale of clothing and apparel; sale of prescription drugs, pharmaceuticals and allied products; sale of hardware; sale of tires, batteries, and automotive accessories, with an ancillary use of retail sale and dispensing of fuels and lubricants and installation and minor services customarily incidental thereto; banks or savings and loan associations; sale of insurance; travel agencies; amusement establishments; arcades; theaters, auditoriums, health clubs; any and all drive-in facilities; jewelry stores; sales of goods, wares and merchandise at retail; service businesses such as doctors, ophthalmologists and dental offices; shoe repair; watch and jewelry repair; tailor and dressmaker shops; restaurants and taverns; all office purposes; and such uses as are permitted under the B5 General Service District, except for dwelling units, lodging rooms and hotel/motel uses. The B5 district has since been converted to a B3 district.

A blood plasma donation center is classified as a Medical Service use. A Medical Service use, as defined in Section 17-17-0104-T of the Zoning Ordinance ("Ordinance"), is permitted by-right in the B3 district pursuant to Section 17-3-0207-JJ of the Ordinance. Therefore, a blood plasma donation center is a permitted use within PD 127.

In regard to parking, on January 15, 2003, March 26, 2003 and December 30, 2003, minor changes were approved for parking reductions. In Parcel A of PD 127, known as the Brickyard Mall, the required minimum parking was reduced from 2,219 to 2,188 spaces. The parking for the entire PD, including Parcel B, known as Bricktown Mall, was reduced from 4,200 to 3,479 spaces. In regard to building violations for the subject property, please contact the Building Dept. and in regard to business licensing requirements, please contact the Department of Business Affairs and Consumer Protection.

Sincerely,



Patrick Murphey
Zoning Administrator

C: Main file



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

January 15, 2020

David Weise
Burnham Nationwide, Inc.
111 W. Washington St., 4th Floor
Chicago, Illinois 60602

Re: Site Plan Approval for Business Planned Development No. 127, generally located at 6420 W. Fullerton Avenue (Panda Express)

Dear Mr. Weise:

Please be advised that your request for site plan approval for Business Planned Development No. 127 ("PD 127") has been considered by the Department of Planning and Development pursuant to Section 17-13-0800 of the Chicago Zoning Ordinance.

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan request for approval submitted for the project identified above. The project consists of one-story commercial building (Panda Express restaurant) with a drive-through queuing lane, accessory parking lot and landscape generally located at 6420 W. Fullerton Avenue within PD 127 (Bricktown Square).

The proposed development will include the construction of a 2,381 sf commercial building, 68 vehicular parking stalls, 5 bike parking stalls and landscaping including 19 trees. The development will accommodate uses including a restaurant with a drive-through queuing lane and accessory parking as permitted under PD 127. The project's floor area ratio is 0.06 and is consistent with the overall FAR of 1.0 established for PD 127.

This approval includes the following attached documents prepared by Khckloverarchitect:

- A-100 Site Plan (09.23.19)
- A-200 Exterior Elevations (09.23.19)
- A-201 Exterior Elevations (09.23.19)
- A-201.1 Color Elevations (09.23.19)
- A-201.2 Color Elevations (09.23.19)
- L1.0 Landscape Plan (12.09.19)
- L1.1 Landscape Details (10.02.19)
- C-300 Layout and Paving Plan (10.01.19)

Upon review of the material submitted, DPD has determined that these plans are consistent with and satisfy the requirements of Business Planned Development No. 127. Accordingly, this site

121 NORTH LASALLE STREET, ROOM 1000, CHICAGO ILLINOIS 60602

plan submittal is hereby approved as conforming to PD 127. This site plan approval does not cover any signage, which requires the submission of a sign permit application.

If you have any questions or need further clarification on these comments, please contact Heidi Sperry at (312) 744-0879 or at heidi.sperry@cityofchicago.org.

Sincerely,



Nancy Radzevich
Assistant Commissioner
Planned Developments

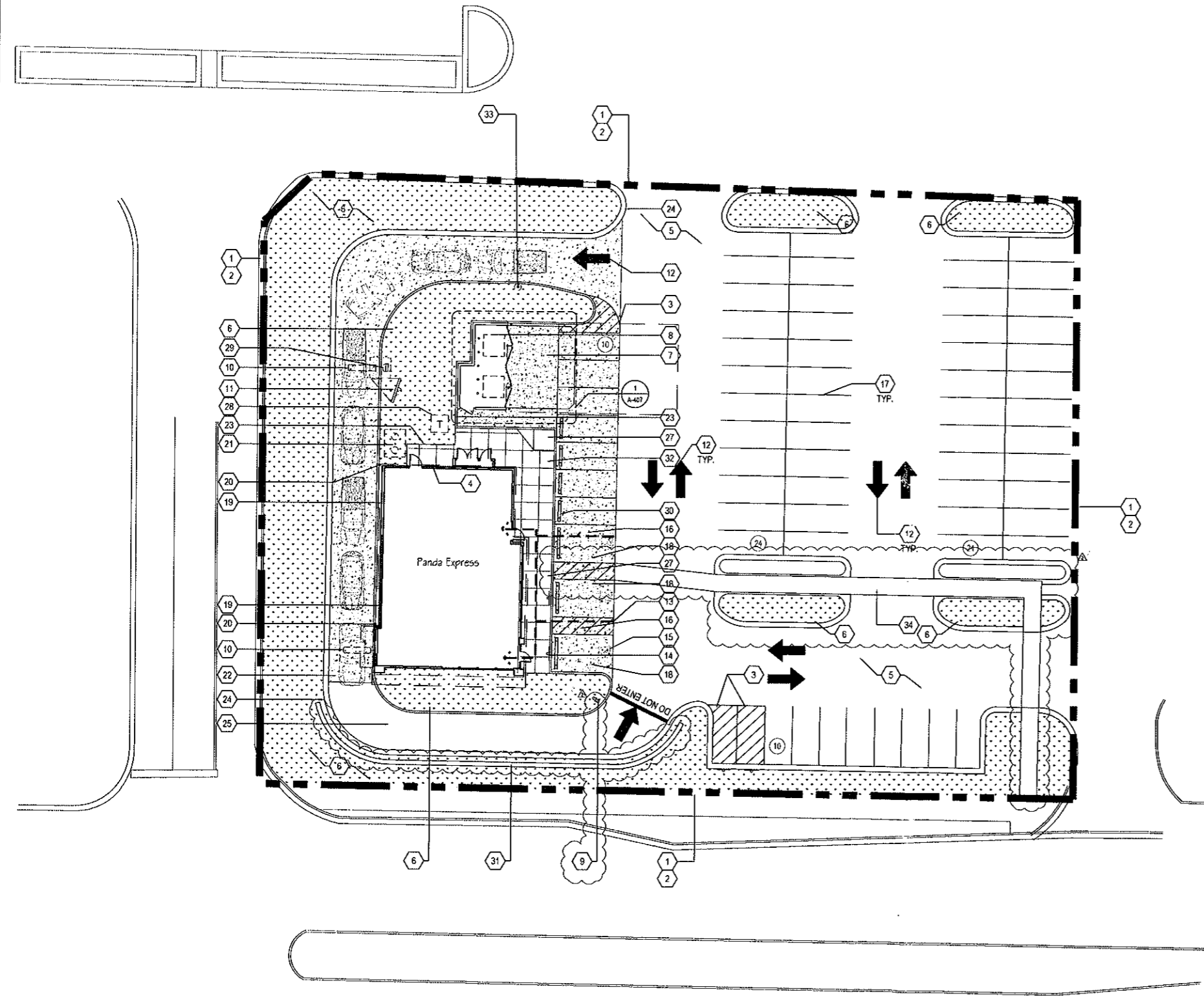
Originated by: Heidi Sperry

cc: Erik Glass, DPD
Janice Hill, DPD
Mike Marmo, DPD
Heidi Sperry, DPD
Planned Development files

DEMOLITION NOTE:
 G.C. TO REMOVE ALL EXISTING ABOVEGROUND STRUCTURAL WALLS, FOUNDATION, ASPHALT, CONC. CURBS AND DEBRIS PRIOR TO NEW CONSTRUCTION.

- GENERAL NOTE:**
- G.C. TO VERIFY AND PROVIDE ALL UNDERGROUND WIRING AND CONDUIT (INSTALLED BY LOCAL UTILITY COMPANY) FROM TRANSFORMER TO ELECTRICAL MAIN SWITCHGEAR. DRIVE THRU MENU BOARD, BY G.C. VERIFY WITH PANDA PM.
 - WATER METER FOR IRRIGATION SHALL BE A SEPARATE METER THAN MAIN WATER METER. G.C. TO REFERENCE CIVIL UTILITY PLAN FOR SIZE AND LOCATION.
 - NOT USED
 - FOR HORIZONTAL CONTROL PLAN REFER TO CIVIL DRAWINGS

- 1 LIMIT OF CONSTRUCTION
- 2 PROPERTY LINE
- 3 LOADING ZONE W/4" WIDE STRIPES @3'-0" O.C.
- 4 NEW SWITCHGEAR
- 5 PAVING - SEE CIVIL PLAN
- 6 IRRIGATED LANDSCAPING, REFER TO LANDSCAPE DRAWINGS
- 7 HEAVY DUTY CONCRETE APRON FOR DUMPSTER ENCLOSURE. REFERENCE CIVIL DRAWINGS FOR SPECIFICATIONS
- 8 TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. (A-107)
- 9 THANK YOU/DID NOT ENTER SIGN
- 10 DRIVE THRU LAKE SENSOR LOOP. INSTALL POSITION SO LOOP IS CENTERED ON ACTIVE PANEL OF DRIVE THROUGH WINDOW. SEE DETAIL (A-107)
- 11 DRIVE THROUGH MENU BOARD-INSTALLED BY SIGN COMPANY, VERIFY WITH PANDA PM (SEE GENERAL NOTE ABOVE)
- 12 DIRECTIONAL ARROW
- 13 ACCESSIBLE PATH OF TRAVEL - - - - -
- 14 ACCESSIBLE PARKING POLE SIGN
- 15 INTERNATIONAL ACCESSIBILITY SYMBOL @ PARKING SPACE
- 16 ACCESSIBLE PARKING SPACE AND LOADING ZONE PAINT LOADING ZONE W/4" WIDE STRIPES @3'-0" O.C.
- 17 PAINT 4" WIDE SOLID PARKING STRIPES W/ TWO (2) COATS HIGHWAY WHITE PAINT
- 18 DESIGNATED HANDICAP PARKING SPACE
- 19 ROOF DRAIN TO CONNECT TO STORM SEWER (EXCEPT AT REAR STORAGE) OVERFLOW (A-107)
- 20 DRAIN FROM ROOF TO EXIT TO DAYLIGHT THRU FACE OF WALL
- 21 STEEL PIPE BOLLARD. BOLLARDS TO BE PAINTED SAFETY YELLOW PRIOR TO APPLICATION OF LOPE SLEEVE. (A-107)
- 22 UNDERGROUND GREASE INTERCEPTOR - SEE PLUMBING/CIVIL DRAWINGS
- 23 CONC. DRIVEWAY
- 24 EDGE OF SIDEWALK AT PLANTER
- 25 CONCRETE CURBS AT LANDSCAPE AREA
- 26 EXPANSION JOINT @ 20'-0" O.C. MAX.
- 27 TOOKED JOINTS @ 5'-0" X 5'-0" O.C. EXPANSION JOINT @ 20'-0" O.C.
- 28 ACCESSIBLE RAMP
- 29 TRANSFORMER. REF. CIVIL DRAWINGS
- 30 ORDER CONFIRMATION BOARD
- 31 RUBBER WHEEL STOP. REF. CIVIL DRAWINGS
- 32 MASONRY SCREEN WALL
- 33 SEALED CONC. SIDEWALK (QUICK SET SEALER'S CHOICE GOLD), CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG.
- 34 CLEARANCE BARBASE INSTALLED BY SIGN VENDOR.
- 35 CONCRETE SIDEWALK



SITE PLAN 1
 Scale = 1/16" = 1'-0" **A-100**

KEY NOTES A
 Scale = NTS **A-100**



PANDA EXPRESS, INC.
 1683 Walnut Grove Ave. Rosemead,
 California 91770
 Telephone: 626.799.9898

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REVISIONS:

NO.	DESCRIPTION	DATE
1	BUILDING COMMENTS	08.23.19

ISSUE DATE:

1st	STRUCTURAL REVIEW	05-01-19
2nd	PERMIT/BD SUBMITTAL	05-28-19

DRAWN BY:

PANDA PROJECT #: S8-19-D6881
 ARCH PROJECT #: 18044.037



Kickover architect
 10955 LOWELL AVENUE, SUITE 700
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 TRUE WARM & WELCOME 2300
 6420 W. FULLERTON AVE
 CHICAGO, IL 60707

A-100
 SITE PLAN
 ARCHITECTURAL

TRUE WARM & WELCOME 2300

PERMIT/BD SET 05-28-19

EXTERIOR FINISH SCHEDULE

INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

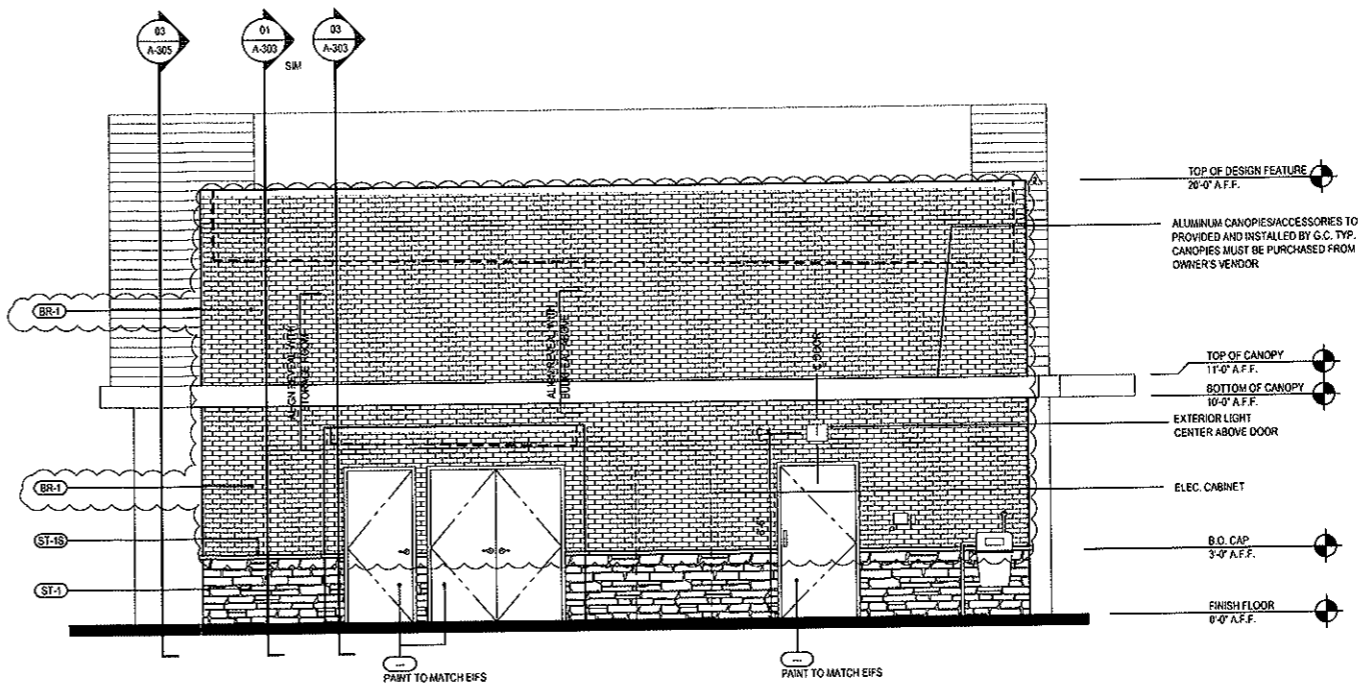
NO	MANUFACTURER	REF. #	COLOR	FINISH	NOTES
BR-1	ACME BRICK	THIN BRICK	DESERT TAN	VELOUR	BUILDING BODY
BR-2	ACME BRICK	THIN BRICK	507 EMPIRE	SMOOTH	BUILDING ACCENT
ST-1B	CORONADO STONE PRODUCTS	900 SERIES	#2 GREY		STONE CAP (9" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)
ST-1	CORONADO STONE PRODUCTS	INDUSTRIAL LEDGE	SHALE GREY		ENTRY PORTAL & WANSICOT CONTACT: LISA WISORE: 854-963-1221 PROVIDE 3/8" MORTAR JOINTS. COLOR TO MATCH STONE
CD-1	FIBERON	HORIZON	IPE		60% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE) COMPOSITE DECKING - CONTACT: BILL ROSS @ 704-758-1980 EMAIL: Bill@fiberondecking.com
CD-2	FIBERON	HORIZON	TUDOR BROWN		40% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE) COMPOSITE DECKING - CONTACT: BILL ROSS @ 704-758-1980 EMAIL: Bill@fiberondecking.com
MTL-1	EXCEPTIONAL METALS		"PANDA EXPRESS IRON ORE"		CAP FLASHING

WINDOW SCHEDULE

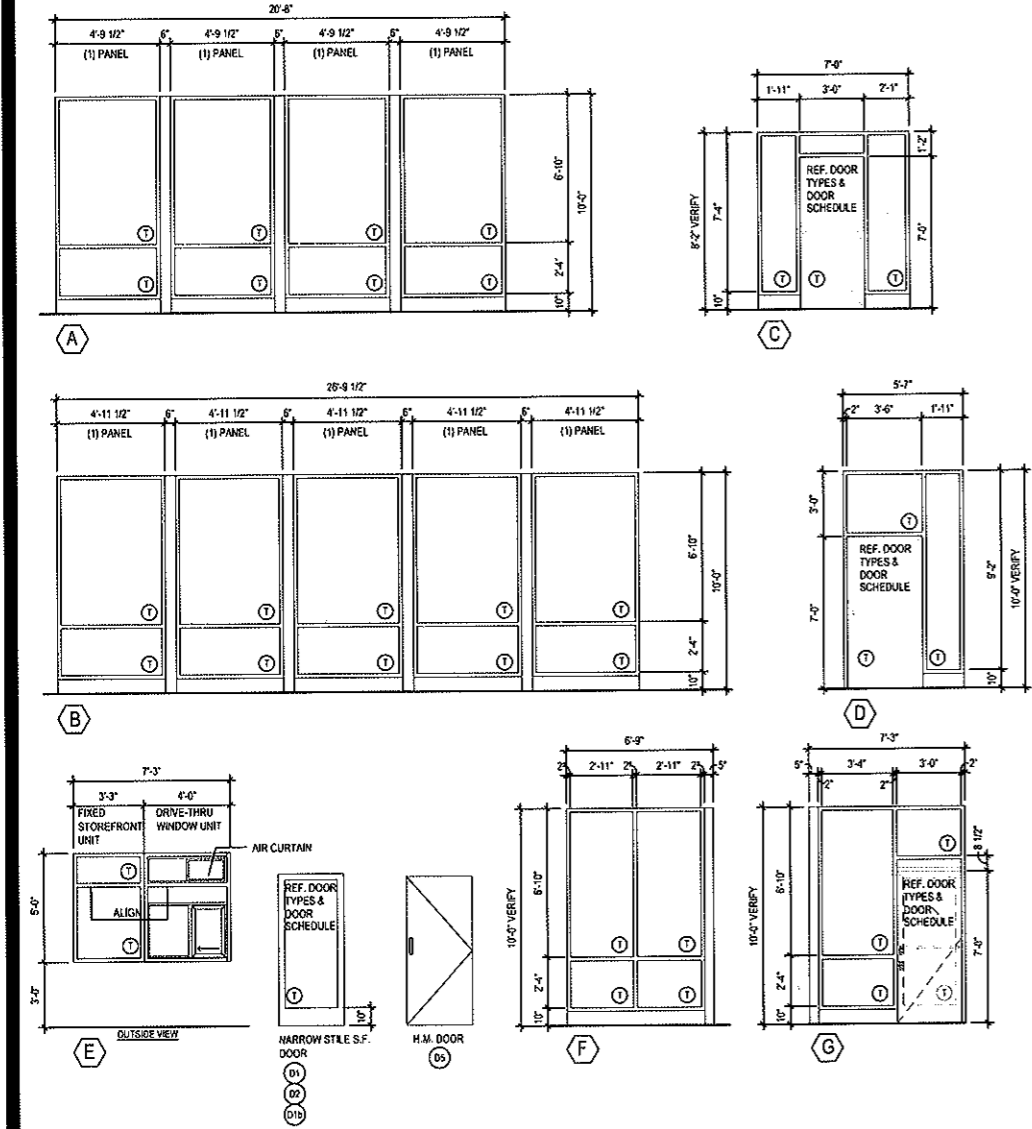
INSTALLED AND FURNISHED BY G.C. UNLESS NOTED OTHERWISE

SYM	WIDTH	HEIGHT	GLASS	FRAME	REMARKS
A	26'-8"	10'-6"	1" INSULATED GLASS	DARK BRONZE ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME
B	26'-9 1/2"	10'-6"	1" INSULATED GLASS	DARK BRONZE ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME
C	7'-0"	8'-2"	1" INSULATED GLASS	DARK BRONZE ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME
D	5'-7"	10'-0"	1" INSULATED GLASS	DARK BRONZE ALUMINUM STOREFRONT	1" INSULATED GLAZING, IN 4.5" X 2" IN ANODIZED ALUMINUM FRAME
E	7'-3"	59'-5"	TEMPERED GLASS	DARK BRONZE ANODIZED ALUMINUM	QUICK-SERV (NON-HEATED AIR CURTAIN OR HEATED AIR CURTAIN). ROUGH OPENING 87" X 60" SEE ADDITIONAL NOTE # 5. CONTACT: WADE ARNOLD, 800-388-8397
F	6'-0"	10'-0"	SINGLE PANE GLASS	DARK BRONZE ANODIZED ALUMINUM	SINGLE PANE VESTIBULE GLAZING
G	7'-3"	10'-0"	SINGLE PANE GLASS	DARK BRONZE ANODIZED ALUMINUM	SINGLE PANE VESTIBULE GLAZING

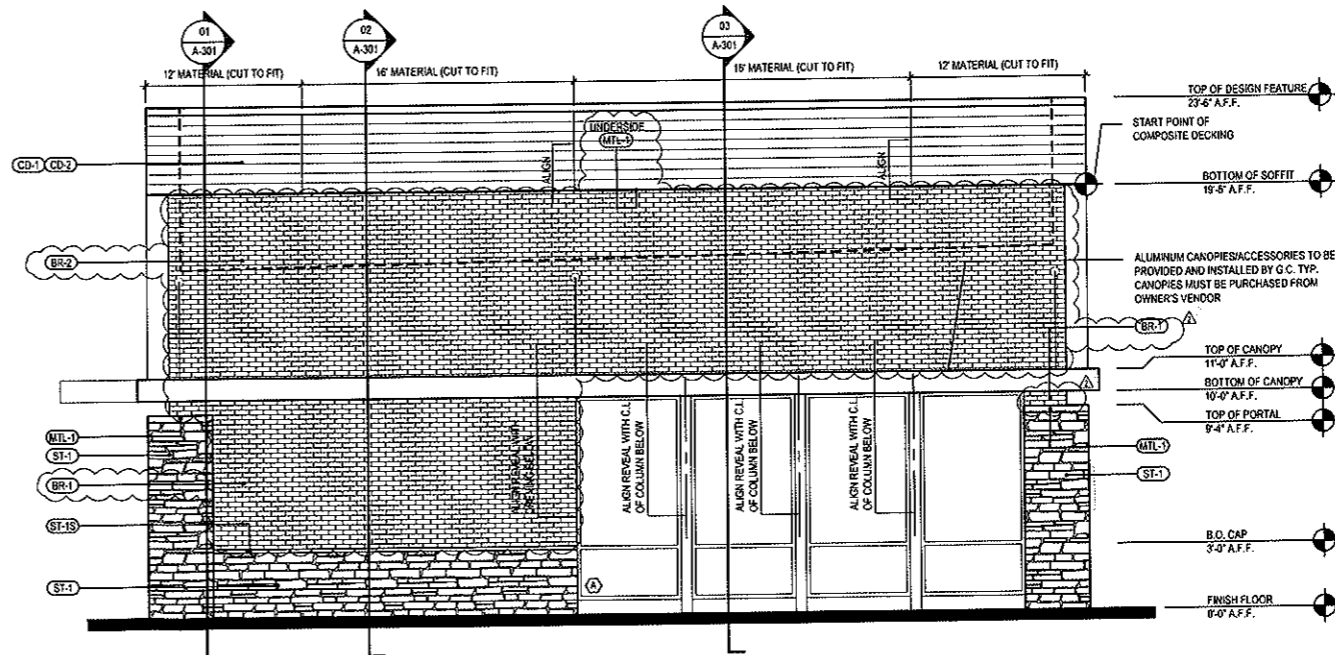
- NOTES**
- INSULATING GLASS VITRO ARCHITECTURAL GLAZING SOLARBAN 60 LOW E WINTER U=0.29 SHGC: 0.39 VIS TRANS: 83% UV ENERGY: 46%.
 - DOORS: FULL GLAZED DOORS WHO KICK BASE. ANODIZED ALUM. FINISH. REFER HARDWARE SCHEDULE.
 - WINDOW DIMENSIONS ARE FOR BIDDING PURPOSES ONLY. G.C. TO VERIFY ACTUAL WINDOW DIMENSIONS PRIOR TO FABRICATION INSTALLATION.
 - GLASS FACADE AND ENTRY DOORS TO BE DESIGNED, DETAILED, FACTORY FABRICATED AND SITE ASSEMBLED AND ERECTED.
 - MANUFACTURER: QUICK-SERV. MODEL: SST-4860E WITH THRU-BEAM PHOTO-ELECTRIC BAR. REGIONAL APPLICATION WITH CF-25 NON HEATED AIR CURTAIN OR CH-25 HEATED AIR CURTAIN. TYPE OF AIR CURTAIN LISTED ON WINDOW SCHEDULE.
 - WINDOW SYSTEM SHALL COMPLY WITH APPLICABLE SECTION AND CHAPTER 9F BUILDING CODE.



NORTH ELEVATION 2
Scale = 1/4" = 1'-0" A-200



WINDOW AND DOOR ELEVATIONS 3
Scale = NTS A-200



SOUTH ELEVATION 1
Scale = 1/4" = 1'-0" A-200



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REVISIONS:

NO.	DESCRIPTION	DATE
1	BUILDING COMMENTS	09.23.19

ISSUE DATE:
1st STRUCTURAL REVIEW 05-01-19
2nd PERMIT/BID SUBMITTAL 05-28-19

DRAWN BY:
PANDA PROJECT #: S8-19-D6881
ARCH PROJECT #: 18044.037



Kthckloverarchitect
10965 I OWELL AVENUE, SUITE 700
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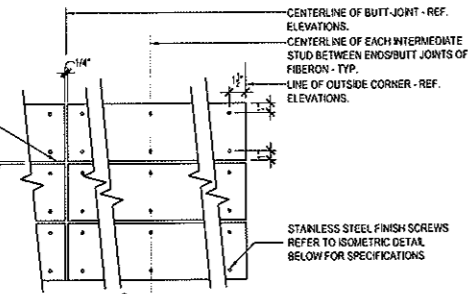
A-200

EXTERIOR ELEVATIONS

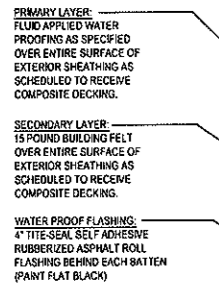
TRUE WARM & WELCOME 2300

PERMIT/BID SET 05-28-19

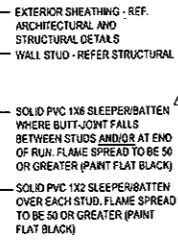
SCREW/FASTENING DTL.



WATER/AIR BARRIER



CONSTRUCTION



STAINLESS STEEL FINISH SCREWS REFER SPECIFICATIONS BELOW AT WOOD STUDS:
 PROVIDE 2 1/2" GRIP-RITE (OR EQUAL) DECK SCREWS
 STAINLESS STEEL STAR DRIVE

AT METAL STUDS:
 PROVIDE 2 1/2" SIMPSON BULGE HEAD SELF-DRILLING STAINLESS STEEL - #2 SQUARE DRIVE SCREWS WITH #3 DRILL POINT (TYPE 410 STAINLESS STEEL)

JOINT BETWEEN FINISHED BOARDS, @ ENDS & @ BUTT JOINTS - TYPICAL

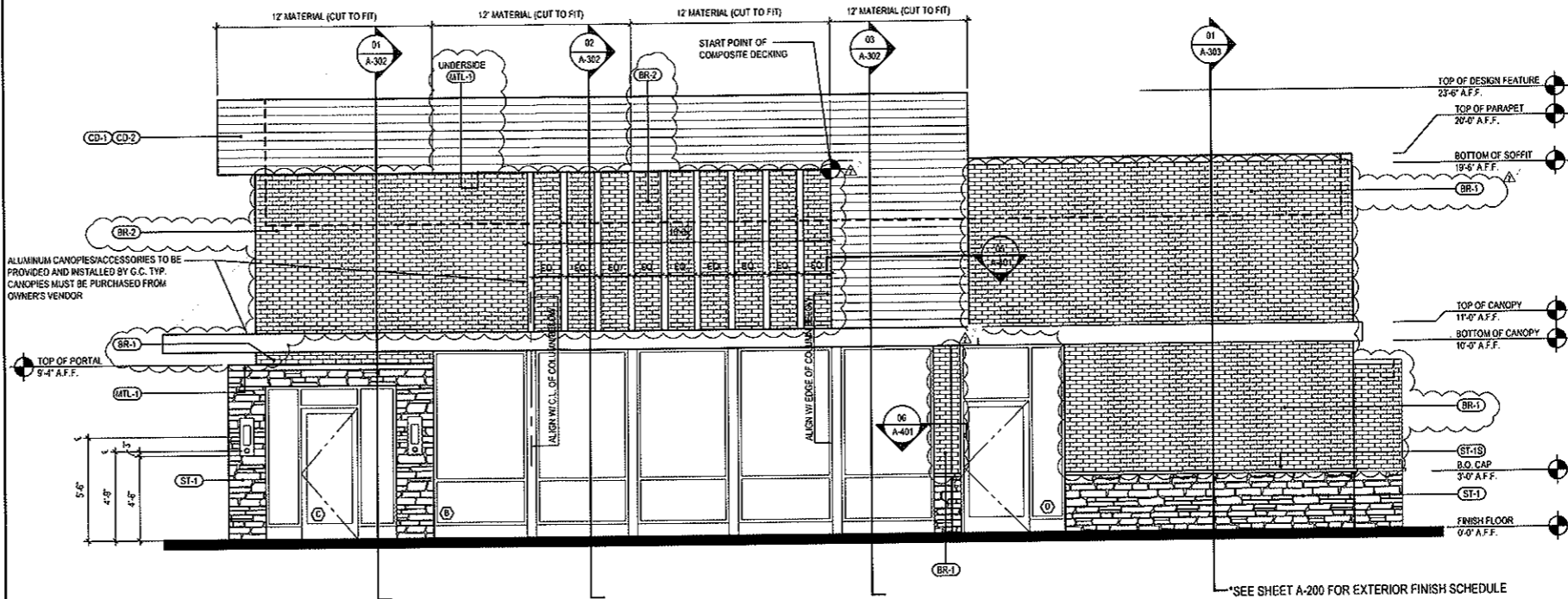
CONTINUOUS COMPOSITE INSULATING WALL SHEATHING WHERE REQUIRED, REF. TO ARCHITECTURAL WALL SECTIONS

SCREW FASTEN BATTENS @ 16" O.C. VERTICALLY

SURFACE MOUNTING FASTENING SYSTEM

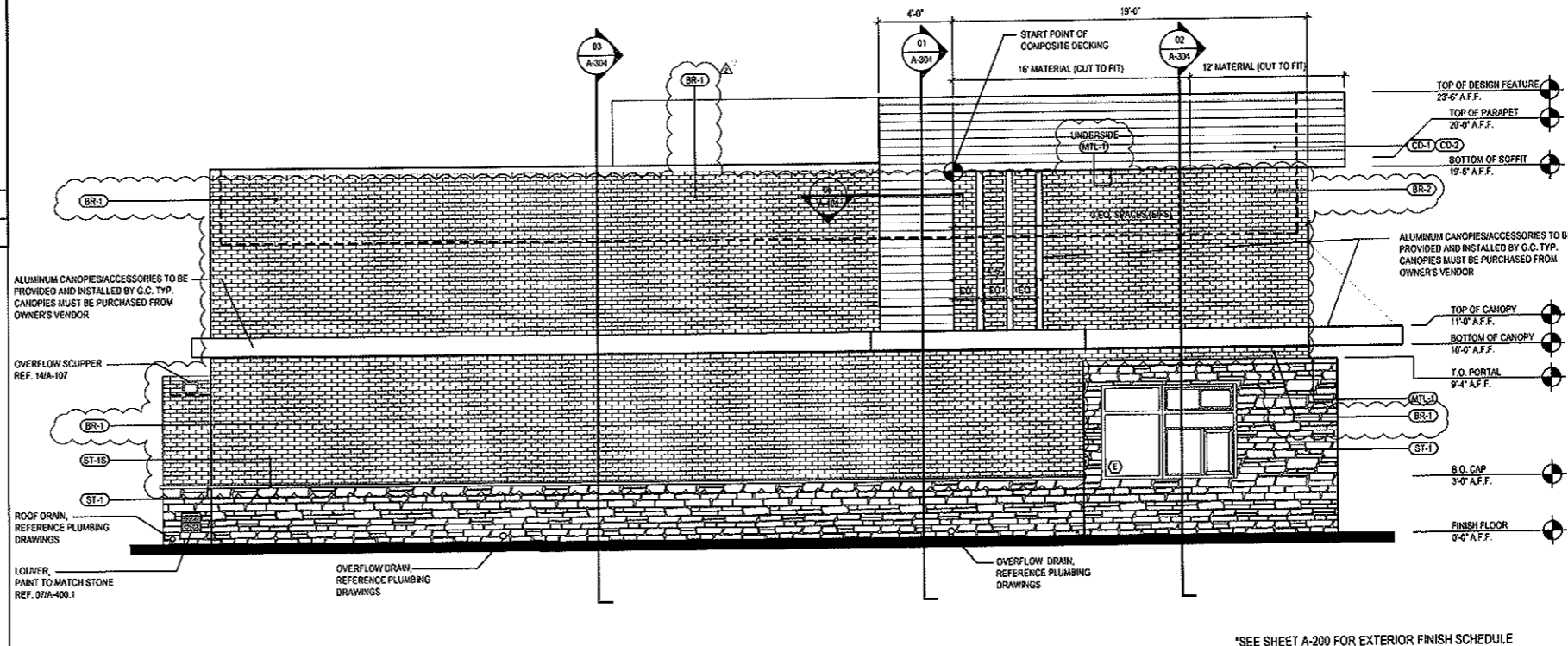
COMPOSITE DECK FASTENING & WATER PROOFING DTLs 3

Scale = 1 1/2" = 1'-0" A-201



EAST ELEVATION 2

Scale = 1/4" = 1'-0" A-201



WEST ELEVATION 1

Scale = 1/4" = 1'-0" A-201



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REVISIONS:

▲ BUILDING/SITE COMMENTS	07.12.19
▲ BUILDING COMMENTS	09.23.19

ISSUE DATE:

1st STRUCTURAL REVIEW	05-01-19
2nd PERMIT/BD SUBMITTAL	05-28-19

DRAWN BY:

PANDA PROJECT #: S8-19-D6881
 ARCH PROJECT #: 18044.037



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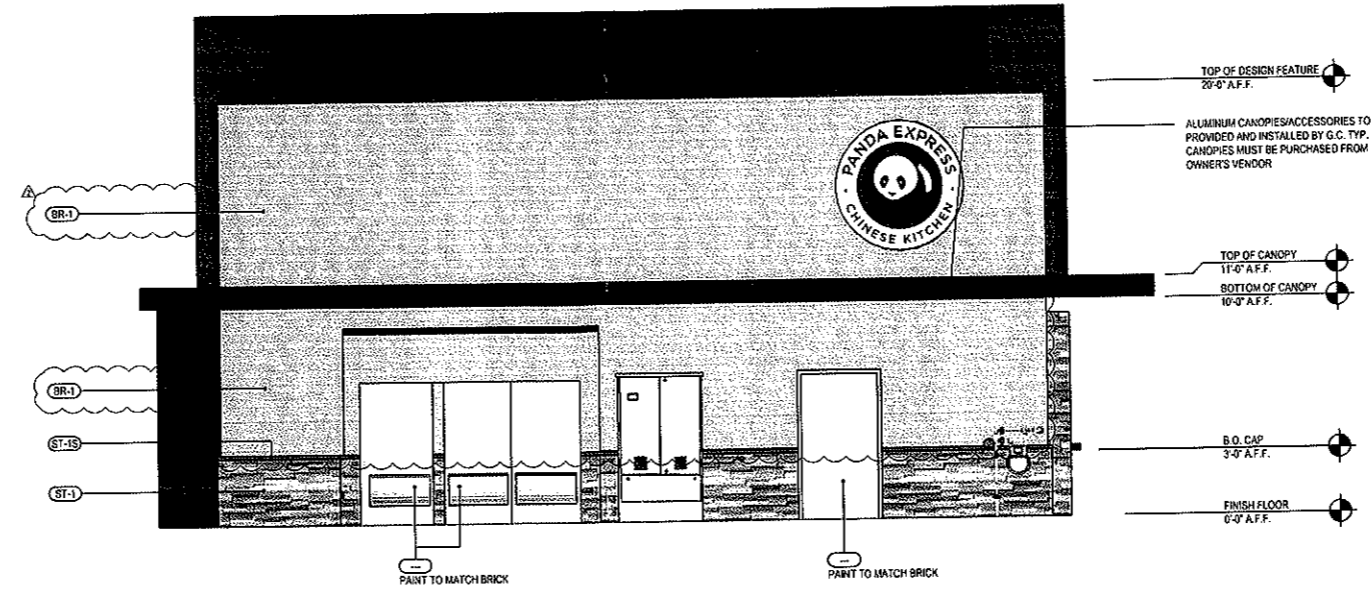
PANDA EXPRESS
 TRUE WARM & WELCOME 2300
 8420 W. FULLERTON AVE
 CHICAGO, IL 60707

A-201

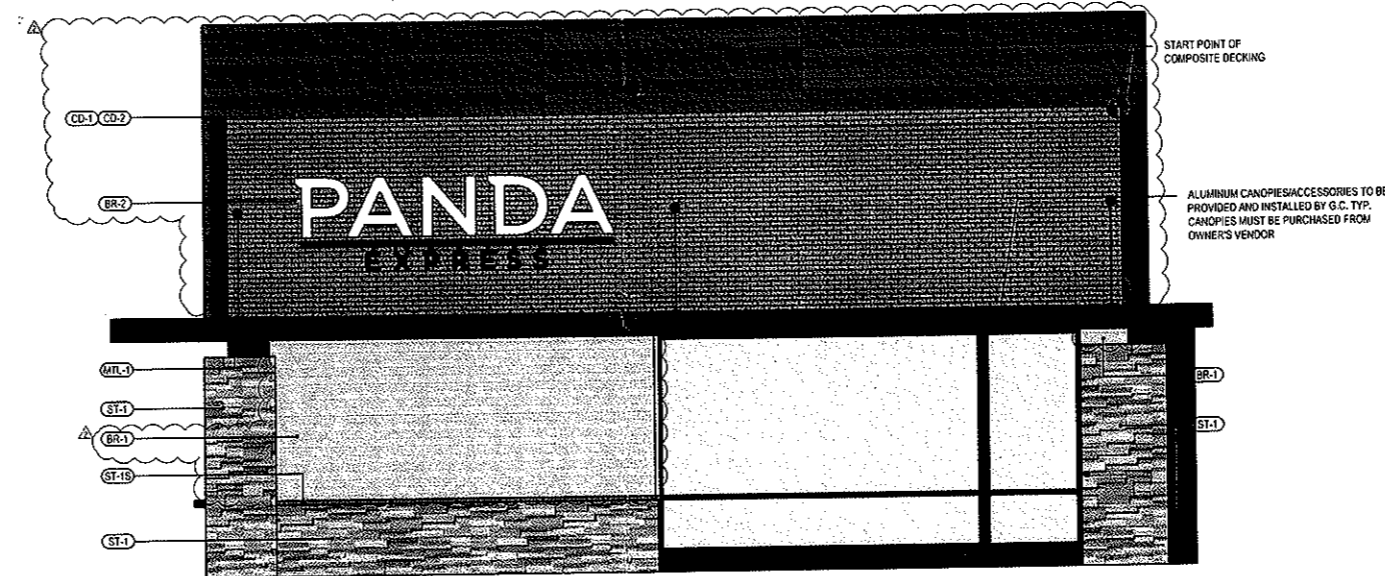
EXTERIOR ELEVATIONS

TRUE WARM & WELCOME 2300

PERMIT/BD SET 05-28-19



NORTH ELEVATION 2
Scale= 1/4" = 1'-0" A-201.1



SOUTH ELEVATION 1
Scale= 1/4" = 1'-0" A-201.1

WINDOW AND DOOR ELEVATIONS 3
Scale= NTS A-200



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REVISIONS:

△	BUILDING COMMENTS	09.23.19

ISSUE DATE:

1st	STRUCTURAL REVIEW	05-01-19
2nd	PERMIT/BID SUBMITTAL	05-28-19

DRAWN BY:

PANDA PROJECT #: S8-19-D6881
ARCH PROJECT #: 18044.037

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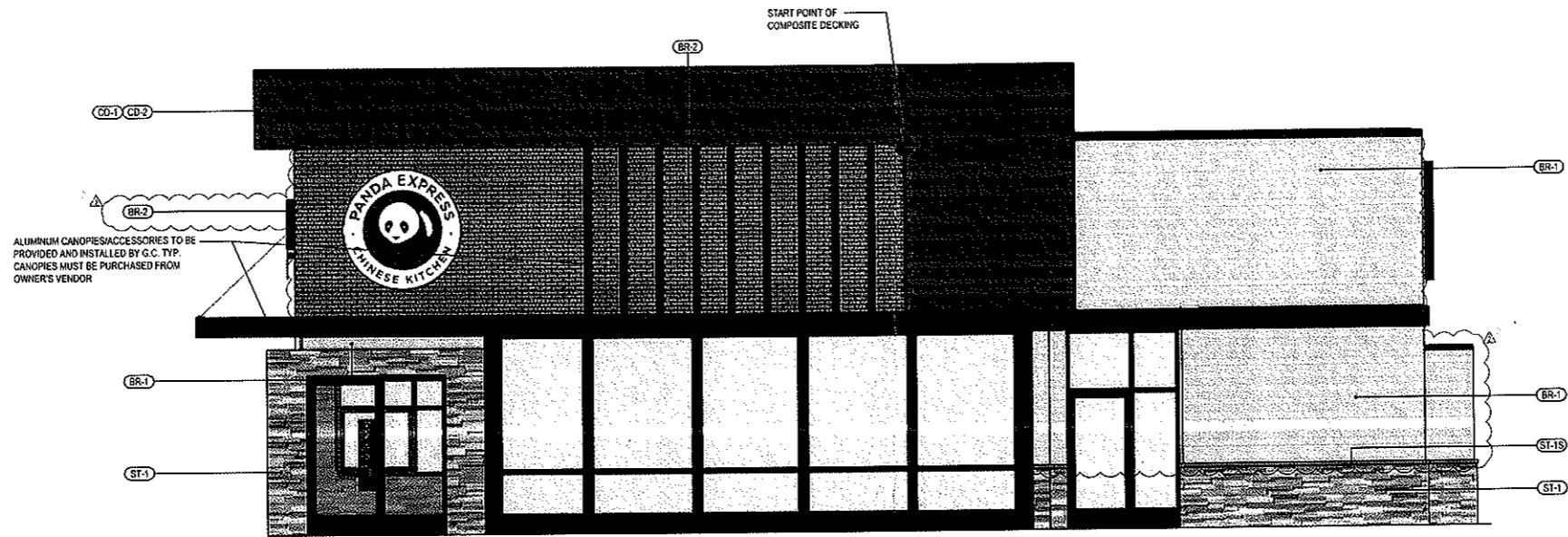
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A-201.1

COLORED ELEVATIONS

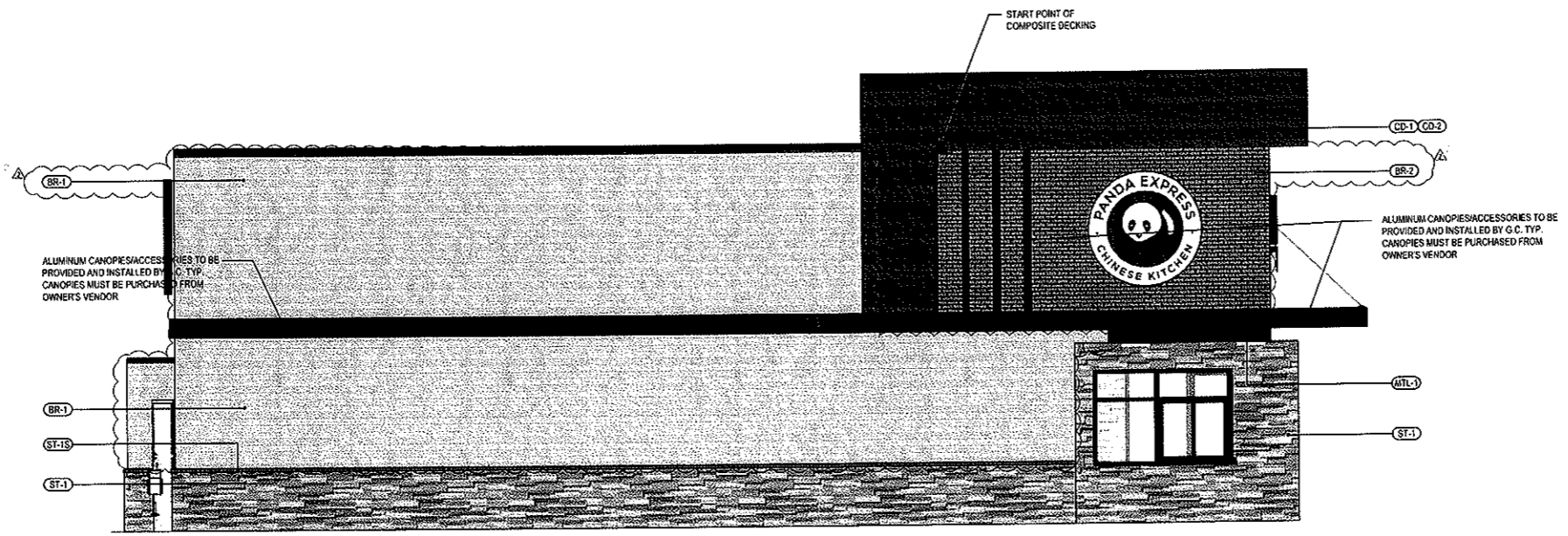
TRUE WARM & WELCOME 2300

PERMIT/BID SET 05-28-19



*SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE

EAST ELEVATION 2
Scale= 1/4" = 1'-0" A-201



*SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE

WEST ELEVATION 1
Scale= 1/4" = 1'-0" A-201



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REVISIONS:

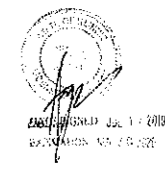
△	BUILDING/SITE COMMENTS	07.12.19
△	BUILDING COMMENTS	09.23.19

ISSUE DATE:

1st	STRUCTURAL REVIEW	05-01-19
2nd	PERMIT/BD SUBMITTAL	05-28-19

DRAWN BY:

PANDA PROJECT #: 58-19-D6881
ARCH PROJECT #: 18044.037



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A-201.2

COLORED
ELEVATIONS

TRUE WARM & WELCOME 2300

PERMIT/BD SET 05-28-19



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1683 Walnut Grove Ave, Rosemead,
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Telephone: 626.793.9888

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REVISIONS:
 A BUILDING/SITE COMMENTS 07-12-19
 B BUILDING/SITE COMMENTS 10-01-19
 C DOT COMMENTS 12-09-19

ISSUE DATE:
 1st STRUCTURAL REVIEW 05-01-19
 2nd PERMIT SUBMITTAL 05-28-19

DRAWN BY:

PANDA PROJECT #: S8-19-D6881
 ARCH PROJECT #: 18044.037

DANIEL WEINBACH & PARTNERS, LTD.
 LANDSCAPE ARCHITECTS



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 OVERLAND PARK, KS 66210
 PH: 913.649.8181 • F: 913.649.1275

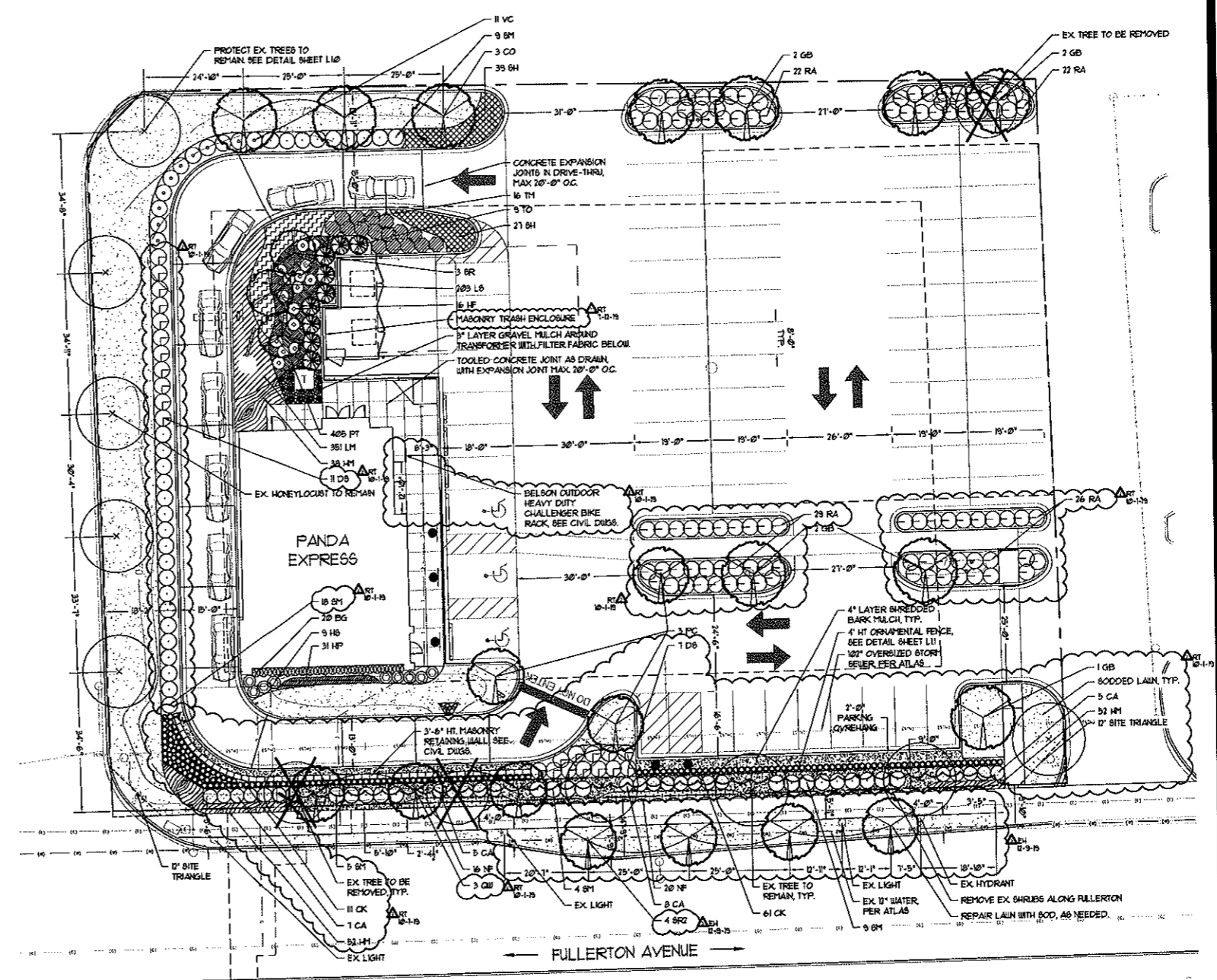
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LANDSCAPE PLAN

L1.0

TRUE WARM & WELCOME 2300

PERMIT SET 05-28-19



1 LANDSCAPE PLAN
 SCALE: 1" = 16'-0"

PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
DECIDUOUS TREES						
BR	SYRINGA FETICULATA	JAPANESE TREE LILAC	3" HEIGHT	B 4 B	3	BRANCHED UP 3'
BR2	SYRINGA FETICULATA	JAPANESE TREE LILAC	25" CALIPER	B 4 B	4	BRANCHED UP 6'
PC	PYRUS CALLERYANA	CHAMICLEAR PEAR	25" CALIPER	B 4 B	3	BRANCHED UP 6'
CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	25" CALIPER	B 4 B	3	BRANCHED UP 6'
GA	QUERCUS BILBOA	MAIDENHAIR TREE	25" CALIPER	B 4 B	1	BRANCHED UP 6'
OU	QUERCUS X WAREI LONG	REGAL PRINCE COLUMNAR OAK	25" CALIPER	B 4 B	3	BRANCHED UP 6'
DECIDUOUS SHRUBS						
DS	DIERVILLA SPLENDENS	SOUTHERN BUSH HONEYSUCKLE	3 GALLON	CONTAINER	35	10-1-19
HS	HYDRANGEA BERRATA 'TUFF STUFF'	TUFF STUFF MOUNTAIN HYDRANGEA	3 GALLON	CONTAINER	3	
RA	RUBIS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	3 GALLON	CONTAINER	10	10-1-19
CA	COTONEASTER ACUTIFOLIA	PEKING COTONEASTER	24" HEIGHT	CONTAINER	24	
VC	VIBURNUM CARLESII 'COMPACT'	DWARF KOREANSPICE VIBURNUM	18" HT 4 8FD	CONTAINER	1	
SH	SYRINGA MEYERI 'PALIBI'	DWARF KOREAN LILAC	18" HT 4 8FD	B 4 B	45	10-1-19
EVERGREEN SHRUBS						
TM	TAMUS X MEDIA 'FLATYAN'	RIKYAN DENSE YEW	18" HT 4 8FD	B 4 B	16	
TO	THAUA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	6" HEIGHT	B 4 B	5	
BG	BUXUS X 'GLENCOE'	CHICAGOLAND GREEN BOXWOOD	6" HT 4 8FD	B 4 B / CONT	20	
PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS						
LB	LIRIOPE SPICATA	CREeping LILY TURF	3" POT	FROM FLATS	203	SPACED 12" O.C.
PT	PACHYANDRA TERMINALIS	ALLEGHENY SPURGE	3" POT	FROM FLATS	405	SPACED 8" O.C.
LM	LANTANA MACULATA 'AUREUM'	SPOTTED DEAD NETTLE	3" POT	FROM FLATS	351	SPACED 10" O.C.
HM	HEMEROCALLIS MIX	STELLA D'ORO DAYLILY	1 GALLON	CONTAINER	71	SPACED 18" O.C.
		HAPPY RETURNS DAYLILY	1 GALLON	CONTAINER	71	EVENLY MIXED
NF	NEPETA X FAASBENII 'PURRSIAN BLUE'	PURRSIAN BLUE CATMINT	1 GALLON	CONTAINER	2	SPACED 24" O.C.
CK	CALAMAGROSTIS KARL FOERSTER	FEATHER REED GRASS	1 GALLON	CONTAINER	160	SPACED 18" O.C.
SH	SPOROBOOLUS HETEROLEPIIS	PRAIRIE DROPSEED	1 GALLON	CONTAINER	6	SPACED 24" O.C.
HF	HOSTA 'FRANCEE'	FRANCEE HOSTA	1 GALLON	CONTAINER	16	SPACED AS SHOWN
HP	HEUCHERA MICRANTHA 'PURPLE PALACE'	PURPLE PALACE CORALBELLS	1 GALLON	CONTAINER	31	SPACED 8" O.C.

GREENSPACE CALCULATIONS

VEHICULAR USE AREA	28,824 SF
GREENSPACE REQUIRED (15%)	2161 SF
GREENSPACE PROVIDED	9,202 SF
TREES REQUIRED (1/250F)	10 TREES
TREES PROVIDED	19 TREES

MAINTENANCE STATEMENT BY OWNER

THE UNDERSIGNED ACKNOWLEDGES THAT THE LANDSCAPE PLANTING SHOWN ON THE LANDSCAPE PLAN(S) FOR THE PROPERTY AT FULLERTON & NARRANGANSETT, CHICAGO, ILLINOIS TO THE BEST OF THE UNDERSIGNED APPLICANT'S KNOWLEDGE, HAS BEEN DESIGNED AND WILL BE INSTALLED, MAINTAINED, AND REPLACED AS REQUIRED, BY CURRENT AND SUBSEQUENT OWNERS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE 'GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.'

[Signature] 10-1-19
 OWNER/APPLICANT SIGNATURE DATE

OWNER STATEMENT

EXISTING PARKWAY AND ON-SITE INTERIOR TREES ARE TO BE PROTECTED WHILE PROJECT IS UNDER CONSTRUCTION AND WILL BE REPLACED BY CURRENT AND SUBSEQUENT OWNER IF DAMAGED.

[Signature] 10-1-19
 OWNER/APPLICANT SIGNATURE DATE

INSTALLATION STATEMENT

LANDSCAPE INSTALLATION, PENDING ANY DELAYS IN CONSTRUCTION, SHALL BE COMPLETED BY JUNE 30th OF 2020.

LANDSCAPE ARCHITECT STATEMENT

THE UNDERSIGNED LANDSCAPE ARCHITECT, REGISTERED IN THE STATE OF ILLINOIS, ACKNOWLEDGES THAT THE LANDSCAPE PLANTING PLAN AND CONSTRUCTION DETAILS SHOWN ON THE ATTACHED LANDSCAPE PLAN(S) FOR THE PROPERTY AT FULLERTON & NARRANGANSETT, CHICAGO, ILLINOIS, HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 10, CHAPTER 32 OF THE CHICAGO MUNICIPAL CODE, THE LANDSCAPING STANDARDS OF THE CHICAGO ZONING ORDINANCE, AND THE 'GUIDE TO THE CHICAGO LANDSCAPE ORDINANCE.'

[Signature] 10-11-19
 LANDSCAPE ARCHITECT SIGNATURE DATE

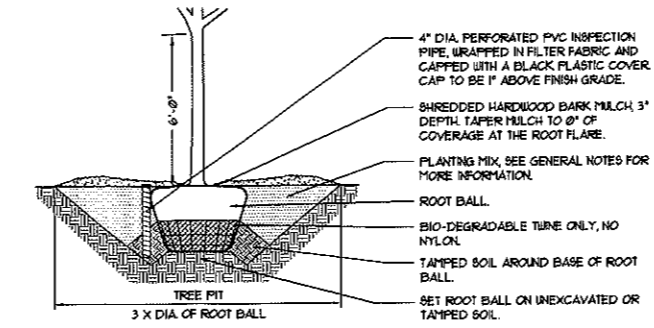
GENERAL NOTES

- ALL DIMENSIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE WITH PROJECTS OF SIMILAR SIZE AND TYPE.
- SPECIES AND SIZES OF PLANTS LISTED IN THE PLANT LIST ARE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. IF SUBSTITUTIONS ARE REQUIRED, THE CONTRACTOR SHALL SUBMIT REQUESTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- QUANTITIES SHOWN ON THE DRAWINGS AND IN THE PLANT LIST ARE PROVIDED ONLY FOR THE CONTRACTOR'S CONVENIENCE. THE NUMBER OF PLANT SYMBOLS SHOWN ON THE DRAWINGS SUPERCEDE ALL QUANTITIES PROVIDED. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES ON THE DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANTS PER THE PLANT SYMBOLS SHOWN ON THE DRAWINGS.
- ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTRUCTIONS ARE DISCOVERED TO CONFLICT WITH GRADINGS, PLANT OR MATERIALS PLACEMENT, NOTIFY THE LANDSCAPE ARCHITECT SO THAT ADJUSTMENTS MAY BE MADE PRIOR TO PROCEEDING.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING PLANTS, LAWN AREA, FENCES, SITE FEATURES AND PAVING TO REMAIN. ANY DAMAGE TO THESE EXISTING AREAS OR FEATURES SHALL BE REPLACED BY THE CONTRACTOR AT THEIR EXPENSE. DAMAGED LAWN AREAS SHALL BE FILLED, RE-GRADED, TOPSOIL ADDED AS NEEDED AND BE RESTORED WITH SOIL. REPLACED FEATURES, PLANTS AND SOIL SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES. DO NOT OBSTRUCT THE NATURAL OR ENGINEERED DRAINAGE FLOW PATTERN. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DRAINAGE CONCERNS.
- SOD SHALL BE A TALL FESCUE BLEND SOD, SUCH AS BLACK BEAUTY OR APPROVED EQUAL. BLUEGRASS BLEND SOD IS NOT ACCEPTABLE, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. SODDED LAWN WILL NOT BE ACCEPTED UNTIL WELL ROOTED AND MOWN TWICE.
- ALL PLANT MATERIAL MUST BE SPECIMEN QUALITY, TRUE TO SPECIES AND VARIETY, WITH FULL, DENSE AND HEALTHY FORMS. PLANTS THAT ARE NOT SPECIMEN QUALITY WILL NOT BE ACCEPTED. ALL PLANTS MUST HAVE BEEN LOCALLY GROWN AT A STATE INSPECTED AND CERTIFIED NURSERY, LOCATED WITHIN 50 MILES OF THE PROJECT SITE.
- ALL DECIDUOUS AND EVERGREEN TREES AND SHRUBS THAT ARE 36" HEIGHT OR TALLER ARE TO HAVE FRESHLY DUG, BALLED AND BURLAPPED ROOT BALLS WITH SIZES THAT MEET THE STANDARDS OF THE AMERICAN NURSERYMEN'S ASSOCIATION. DECIDUOUS AND EVERGREEN SHRUBS THAT ARE 36" HEIGHT OR LESS MAY EITHER HAVE FRESHLY DUG, BALLED AND BURLAPPED ROOT BALLS OR MAY BE CONTAINER GROWN. ALL PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS MUST BE CONTAINER GROWN. CONTAINER GROWN MATERIALS SHALL HAVE BEEN GROWN IN THEIR CURRENT CONTAINER FOR A PERIOD OF NO LESS THAN SIX MONTHS.
- ALL TREES SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT, AT THE NURSERY, PRIOR TO DIGGING. TREES THAT ARE ACCEPTABLE WILL BE SEALED. ALL SEALS APPLIED BY THE LANDSCAPE ARCHITECT MUST REMAIN ON THE TREES AND ARE NOT TO BE REMOVED BY THE CONTRACTOR. ALL TREES MUST HAVE SEALS IN PLACE AT TIME OF ACCEPTANCE OR WILL BE AUTOMATICALLY REJECTED. HEELED-IN TREES WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
- TREES SPECIES SUCH AS BETULA, CELTIS, CERIS, CRATAEGUS, FAGUS, LIRIODENDRON, PLATANUS, POPULUS, FRAXINUS, PYRUS, QUERCUS AND TAXODIUM ARE CONSIDERED 'SPRING DIG ONLY' TREES. THE CONTRACTOR MUST HAVE THESE TREES ORDERED, ACCEPTED AND DUG IN EARLY SPRING, FOR SUMMER AND FALL LANDSCAPE INSTALLATIONS.
- ALL SHRUBS 36" HEIGHT OR TALLER ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. AN EXAMPLE SHRUB MAY BE TAGGED OR PICTURES MAY BE SUBMITTED FOR APPROVAL. ALL SHRUBS THAT DO NOT MATCH THE APPROVED EXAMPLE SHRUB IN SIZE AND FORM WILL BE REJECTED. ALL OTHER SHRUBS MUST MEET THE MINIMUM SIZES GIVEN IN THE PLANT LIST AND BE SPECIMEN QUALITY. SHRUBS THAT DO NOT MEET THESE GUIDELINES WILL BE REJECTED.
- PLANT MATERIAL SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES:
 DECIDUOUS TREES AND SHRUBS: APR 1 THROUGH NOV 15
 SPRING DIG DECIDUOUS TREES: APR 1 THROUGH OCT 15
 EVERGREEN TREES AND SHRUBS: APR 1 THROUGH NOV 1
 PERENNIALS AND GROUNDCOVERS: MAY 1 THROUGH OCT 15.
- TEST TREE PITS AND PLANT BEDS FOR ADEQUATE DRAINAGE. FILL PLANT PIT WITH 12" OF WATER. IF WATER LEVEL DOES NOT DROP A MINIMUM OF ONE INCH PER HOUR, NOTIFY THE LANDSCAPE ARCHITECT OF DRAINAGE ISSUES.
- PLANTING MIX FOR ALL PLANTINGS SHALL BE AS FOLLOWS. MIXING OF PLANTING MIX COMPONENTS SHALL BE THOROUGHLY BLENDED OUTSIDE THE PLANTING PITS, PRIOR TO PLANTING.
 TREES AND SHRUBS: 80% TOPSOIL, 10% SAND, 10% PINE FINES
 PERENNIALS AND ANNUALS: 70% TOPSOIL, 15% SAND, 15% PINE FINES
- FOR PLANTING MIXES, SAND SHALL BE ANGULAR, COARSE SAND AND PINE FINES SHALL BE 3/8" SOUTHERN PINE BARK FINES.
- EXCAVATE PARKING LOT ISLANDS AND CURBED PLANTERS TO A DEPTH OF 24" AND BACKFILL WITH TOPSOIL. BERM PLANTERS AND ISLANDS TO A HEIGHT OF 6" ABOVE TOP OF CURB.
- ALL PLANT BEDS ARE TO BE WELL SHAPED 'SPADE CUT' EDGES, 3" DEPTH, IN LINES OR IN CURVES AS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING UPON SUBSTANTIAL COMPLETION FOR "ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE OR OUTSTANDING ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND REVIEWED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "ACCEPTANCE".
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF "ACCEPTANCE". AT OR NEAR THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING FOR "FINAL ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY REPLACED OR REPAIRED, REVIEWED AND APPROVED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "FINAL ACCEPTANCE".

IRRIGATION NOTES

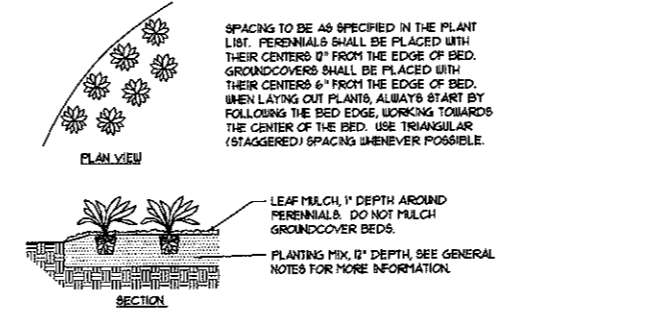
- A PLASTIC, AUTOMATIC, TIMER-ACTIVATED IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS, EXCEPT THE FOUR INDIVIDUAL PARKING LOT ISLANDS. SEPARATE ZONES TO BE PROVIDED FOR LAWN AND PLANTED BEDS.
- PROVIDE ROTARY AND MIST POP-UP SPRAYHEADS AS APPROPRIATE FOR THE PARTICULAR SIZE AND SHAPE OF LAWN OR PLANTING AREA, WITH 60% HEAD TO HEAD SPACING. THERE SHALL BE NO OVER SPRAY ON ROADS OR SIDEWALKS.
- PROVIDE DRIP IRRIGATION WHERE NOTED ON THE PLANS. DRIP IRRIGATION TO PROVIDE PROPER MOISTURE LEVEL FOR SPECIFIED PLANTS (SEE PLANS). A DRIP SYSTEM OPERATION INDICATOR SHALL BE PROVIDED FOR EACH ZONE.
- SIZE BOOSTER PUMP, IF REQUIRED, TO PROVIDE 50 GPM AND 40 PSI AT THE SPRINKLER HEADS.
- PROVIDE SLEEVING AS NECESSARY AND COORDINATE SLEEVE INSTALLATION WITH THE GENERAL CONTRACTOR TO ELIMINATE FUTURE DAMAGE TO INSTALLED PAVEMENT.
- ALL IRRIGATION EQUIPMENT SHALL BE BY TORO, RAINBIRD, OR APPROVED EQUAL.
- THE IRRIGATION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING THE DESIGN OF THE SYSTEM FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. THE DRAWING SHOULD INDICATE THE WATER CONNECTION, BACKFLOW PREVENTER, PIPING, INCLUDING SIZES, VALVES, INCLUDING SIZES, HEADS, INCLUDING LOCATIONS, TYPE AND INDICATION OF SPRAY RADIUS, DRIP LINES, INCLUDING EMITTERS, QUICK COUPLERS, THE AUTOMATIC RAIN SHUTOFF AND THE PROPOSED ELECTRICAL CONNECTION. PROVIDE CATALOGUE CUTS FOR ALL EQUIPMENT.
- PROVIDE AN AUTOMATIC RAIN SHUT-OFF.
- PROVIDE A QUICK COUPLER IN OR ADJACENT TO EACH VALVE BOX, AND AT INTERVALS ALONG THE MAIN WITHIN 100' OF ALL NEW PLANTS, OR AS INDICATED ON THE PLANS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR BLOWING OUT THE SYSTEM BY AIR COMPRESSION IN THE FALL FOLLOWING INSTALLATION AND TURNING ON THE SYSTEM IN THE FOLLOWING SPRING.
- THE ENTIRE IRRIGATION SYSTEM SHALL BE GUARANTEED BY THE CONTRACTOR AS TO MATERIAL AND WORKMANSHIP, INCLUDING SETTLING OF BACKFILLED AREAS BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPALITY STANDARDS, CODES AND ORDINANCES.

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE THREE TIMES THE WIDTH OF THE ROOT BALL. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES UP TO 4" CALIPER OR 12' HEIGHT, REMOVE APPROXIMATELY 5% - 10% OF THE OVERALL BRANCHING. FOR TREES OVER 4" CALIPER OR 12' HEIGHT, REMOVE APPROXIMATELY 15% - 20% OF THE OVERALL BRANCHING. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. REMOVE ALL BASKET WIRE, TWINE AND BURLAP FROM THE TOP HALF OF THE ROOT BALL. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS.



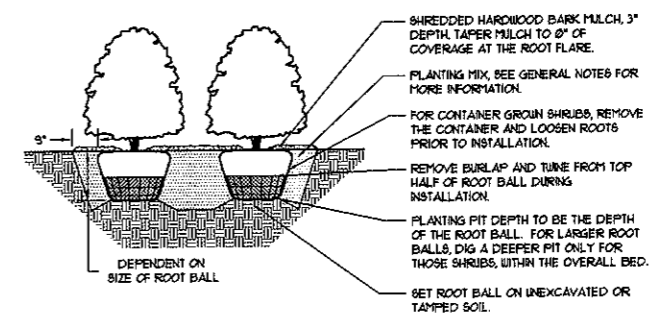
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL / GROUNDCOVER BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LIMITS FOR PERENNIAL BEDS TO EXTEND TO ALL EDGES OF THE BEDS. SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.



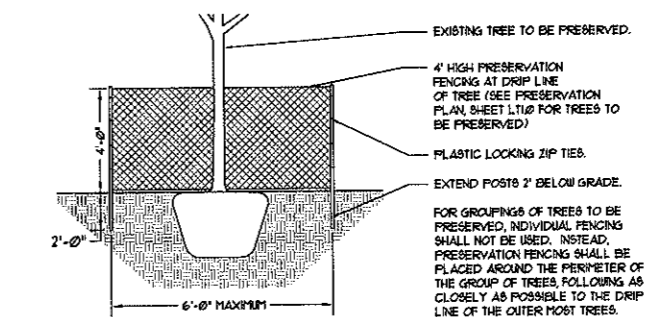
3 PERENNIAL AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. SHRUB PIT WIDTH TO BE EXTENDED 9" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST SHRUB PIT FOR DRAINAGE PRIOR TO INSTALLING SHRUB. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE ROOT FLARE IN ROOT BALL AND SET SHRUB HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. REMOVE ALL TWINE FROM AROUND THE ROOT FLARE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE SHRUB PLUMB. STRAIGHTEN SHRUB IF SETTLING OCCURS. MULCH LIMITS FOR SHRUBS TO EXTEND TO ALL EDGES OF PLANTING BEDS. SEE PLANS FOR BED LAYOUTS.



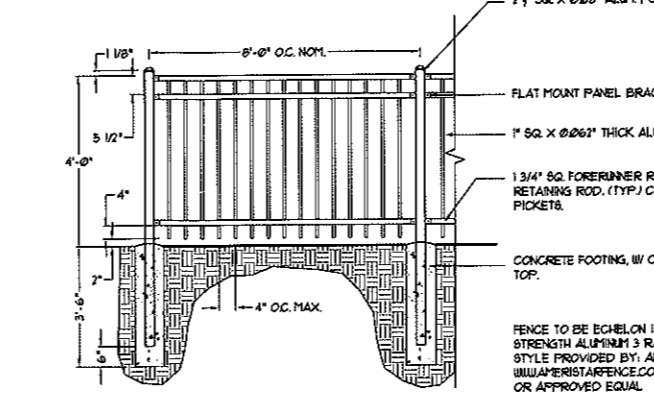
2 SHRUB PLANTING DETAIL
NOT TO SCALE

FENCING SHALL BE LOCATED AS SHOWN ON THE TREE PRESERVATION PLAN (LTI#). FENCE SHALL BE PLACED SO THAT THE POSTS FACE THE TREE. AFTER INSTALLING ALL POSTS, TIGHTLY WRAP THE FABRIC ACROSS THE POSTS TO PREVENT BAGGING. POSTS SHALL BE PLACED A MAXIMUM OF 6" ON CENTER. SAFETY FENCE FABRIC SHALL BE ORANGE CONTRACTOR'S GRADE SMOOTH TOP DIAMOND PLASTIC FENCE. POSTS SHALL BE 6" LONG HEAVY DUTY GALVANIZED STEEL T-POSTS, SET TO A DEPTH OF 2' BELOW GRADE. POST SHALL NOT BE DRIVEN INTO EXISTING ROOTS. LOCKING TIES SHALL BE 8" PLASTIC LOCKING ZIP TIES, 4 PER POST. ANY ALTERATIONS TO THE FENCING LAYOUT MUST BE APPROVED BY LANDSCAPE ARCHITECT.



4 TREE PRESERVATION DETAIL - SNOW MESH FENCING
NOT TO SCALE

NOTE: ALL FENCING COMPONENTS TO BE BLACK IN COLOR AS SUPPLIED BY THE MANUFACTURER.



5 4' HT. ORNAMENTAL ALUMINUM FENCE
NOT TO SCALE



PANDA EXPRESS, INC.
1683 Walnut Grove Ave. Rosemead,
California 91770
Telephone: 626.789.9668

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REVISIONS:

▲ BUILDING/SITE COMMENTS	07-12-19
▲ BUILDING/SITE COMMENTS	10-02-19

ISSUE DATE:

1st STRUCTURAL REVIEW	05-01-19
2nd PERMIT SUBMITTAL	05-28-19

DRAWN BY:

PANDA PROJECT #: 58-19-06881
ARCH PROJECT #: 18044.037

DANIEL WEINBACH & PARTNERS, LTD.
LANDSCAPE ARCHITECTS



hckloverarchitect
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PH: 913.649.8181 • FX: 913.649.1275

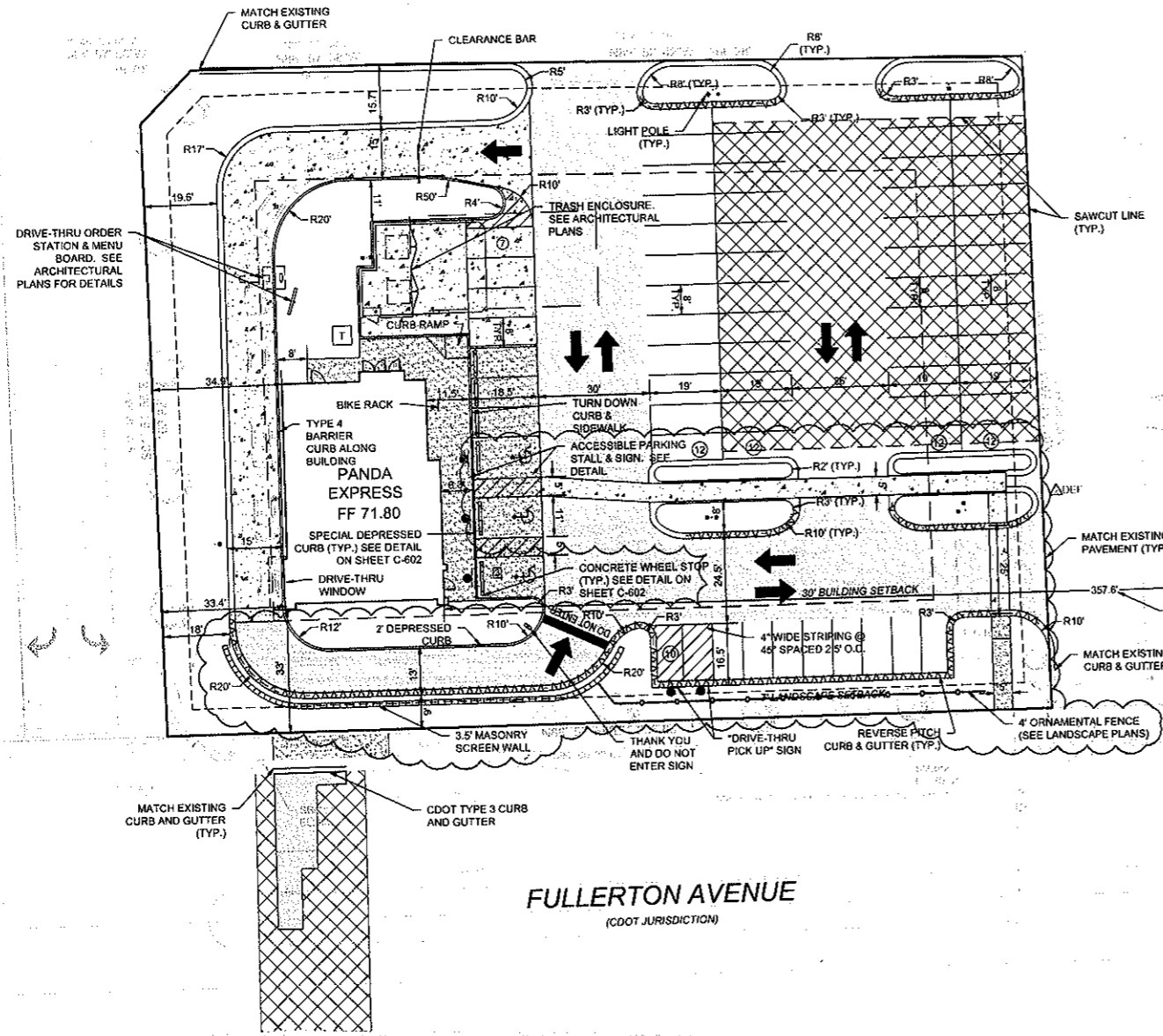
PANDA EXPRESS
TRUE WARM & WELCOME 2300
6420 W. FULLERTON AVE
CHICAGO, IL 60707

LANDSCAPE DETAILS

L1.1

TRUE WARM & WELCOME 2300

PERMIT SET 05-28-19

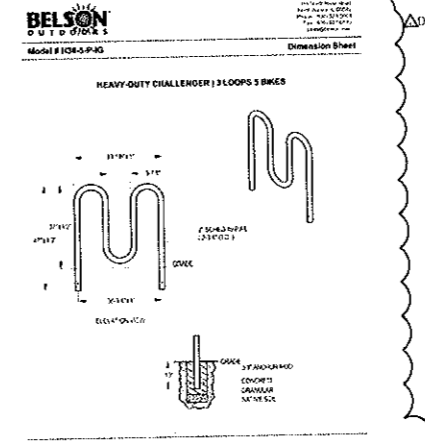


- NOTES:**
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 3. ALL CURB AND GUTTER SHALL BE TYPE 3 UNLESS OTHERWISE NOTED.
 4. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
 5. CONTRACTOR TO ADHERE TO IDOT STANDARD DETAILS 701901-06 FOR SIDEWALK AND CROSSWALK CLOSURE AND 701602-10 FOR URBAN LANE CLOSURE.

PAVING LEGEND

CONCRETE PAVEMENT (LIGHT DUTY)	
	6" P.C. CONCRETE PAVEMENT (SEE DETAIL FOR REINFORCEMENT) 4" AGGREGATE BASE COURSE (CA-6)
CONCRETE PAVEMENT (HEAVY DUTY)	
	8" P.C. CONCRETE PAVEMENT 6" AGGREGATE BASE COURSE (CA-6)
HEAVY DUTY BITUMINOUS PAVEMENT	
	2" HOT MIX ASPHALT SURFACE COURSE, MIX D, N50
	3" HOT MIX ASPHALT BINDER COURSE, IL-19, N50
	10" AGGREGATE BASE COURSE (CA-6)
REGULAR DUTY BITUMINOUS PAVEMENT	
	1 1/2" HOT MIX ASPHALT SURFACE COURSE, MIX D, N50
	2 1/2" HOT MIX ASPHALT BINDER COURSE, IL-19, N50
	8" AGGREGATE BASE COURSE (CA-6)
	1.5" MILL AND RESURFACE *

* EXACT LIMITS OF CDOT SURFACE RESTORATION ARE SUBJECT TO CDOT DIVISION OF INFRASTRUCTURE MANAGEMENT CONSTRUCTION COMPLIANCE INSPECTION. CONTRACTOR SHALL CONFIRM REQUIREMENTS AND NOTIFY CONSTRUCTION MANAGER AND OWNER BEFORE PROCEEDING WITH WORK.



SITE SUMMARY

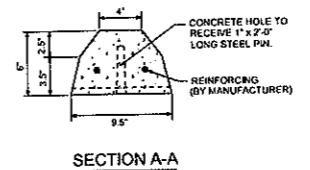
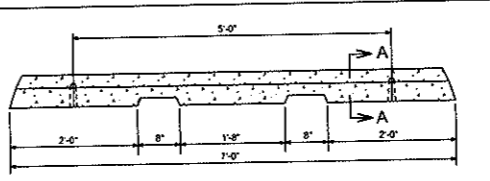
LOT AREA = 0.9582 AC
EXISTING ZONING: PD 127

PANDA EXPRESS SITE

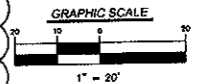
BUILDING AREA = 2,381 SF
MAX FLOOR AREA RATIO = 1.0
FLOOR AREA RATIO = 0.06

PARKING SUMMARY

STANDARD PARKING STALLS	= 65
ACCESSIBLE PARKING STALLS	= 3
TOTAL PARKING STALLS	= 68
BIKE PARKING	= 5



- NOTES:**
1. WHEEL STOPS TO BE CENTERED IN WIDTH OF PARKING STALLS.
 2. STEEL PINS TO BE PROVIDED AS REQUIRED TO SECURE WHEEL STOPS.



CONCRETE WHEEL STOP



PANDA EXPRESS, INC.
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Telephone: 626.799.9998

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REVISIONS:

1	BUILDING/SITE COMMENTS	07-12-19
2	BUILDING/SITE COMMENTS	10-01-19

ISSUE DATE:

1st	STRUCTURAL REVIEW	05-01-19
2nd	PERMIT/BID SUBMITTAL	05-28-19

DRAWN BY:

PANDA PROJECT #: 58-19-D6881
ARCH PROJECT #: 18044.037



David Tree

hckloverarchitect
10955 LOWELL AVENUE, SUITE 700
OVERLAND PARK, KS 66210
ph: 913.649.8181 • fx: 913.649.1275

PANDA EXPRESS
TRUE WARM & WELCOME 2300
8420 W. FULLERTON AVE
CHICAGO, IL 60707

C-300

LAYOUT AND PAVING PLAN

TRUE WARM & WELCOME 2300

PERMIT/BID SET 05-28-19



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 7, 2015

Sargon Mando
McDonald's Owner/Operator
1651 Louis Avenue
Elk Grove Village, IL 60007

Re: **Site Plan Approval for McDonald's Outlot Parcel – 2754 N. Narragansett Avenue - Business Planned Development #127**

Dear Mr. Mando:

The City of Chicago Department of Planning and Development (DPD) has reviewed the site plan submitted for the project identified above. The project consists of the addition of a drive-thru queuing aisle to an existing one-story McDonald's restaurant. The site plan consists of the following documents:

- C-3.0: Site and Layout Plan (2-6-15)
- L-1.0: Preliminary Landscape Plan (5-6-15)

Upon review of the material submitted, DPD has determined that the plan is consistent with, and satisfies, the requirements of the Planned Development. Accordingly, this site plan submittal for Business Planned Development #127 is hereby approved as conforming to the Planned Development as amended by the Chicago City Council (8/28/1986). This Site Plan Approval does not cover any signage, which must be covered by a separate application.

Sincerely,

Patricia A. Scudiero,
Zoning Administrator

Originated by: Dan Klaiber

cc: Mike Marmo (DPD)
Erik Glass (DPD)
Planned Development files

121 NORTH LASALLE STREET, ROOM 1000, CHICAGO ILLINOIS 60602



City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)
<http://www.cityofchicago.org>

May 30, 2007

Ms. Caroline A. Nash
Schain, Burney, Ross & Citron, Ltd.
Suite 1910
222 N. LaSalle Street
Chicago, IL 60601-1102

Re: **Site Plan Approval for Business Planned Development No. 127**
Proposal: The construction of a 14,820 square foot Walgreens with a drive-thru facility and parking for 66 automobiles on a 58,000 square foot outlot of Bricktown Square Shopping Center.
Location: 6500 W. Fullerton Ave.

Dear Ms. Nash:


We have reviewed the Site Plan revised May 9, 2007, and prepared by Base Ten Architects, Inc. for the construction of a Walgreens with a drive thru facility and parking for 66 automobiles. The proposed Walgreens will include a green roof equal to 50% of its net site area (6,402 square feet). The outlot is currently improved with an existing Delray Farms store. These plans are submitted in accordance with Business Planned Development No. 127, as amended.

The following drawings were reviewed and will be added to the main file within The Department of Planning and Development in anticipation of Part II:

- Preliminary Landscape Plan (Daniel Weinbach & Partners, Ltd., May 10, 2007)
- West, East, South and North Elevations (Base Ten Architects, Nov. 30, 2006)

Upon review of the material submitted, the Department of Planning and Development has determined that these plans are consistent with and satisfy the requirements of the Plan of Development. Any minor change to the above-mentioned plans must be submitted for approval by the Commissioner of the Department of Planning and Development. Accordingly, this Site Plan submittal for Business Planned Development No. 127, as amended, is hereby approved as conforming to the Plan of Development as amended and passed by the Chicago City Council.

Sincerely,


Kathleen Nelson
First Deputy Commissioner

KCN:MRD:tm

cc: Kathleen Nelson, Danita Childers, Mike Marmo, Pat Haynes, DPD Files





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Lori T. Healey
Commissioner

City Hall, Room 1000
121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)
(312) 744-2578 (TTY)

<http://www.cityofchicago.org>

November 7, 2005

Mr. Richard Preves
Richard Preves & Associates, P.C.
704 Florsheim Drive Suite 10
Libertyville, Illinois 60048

Re: Business Planned Development No. 127, Bricktown Square Shopping
Center

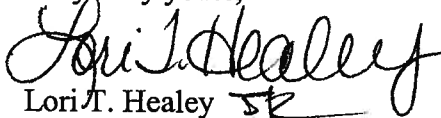
Dear Mr. Preves:

Please be advised that your request for minor changes to Business Planned Development No. 127, on behalf of GRP Bricktown, LLC, has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 11 of the Planned Development.

Specifically, you requested approval of a site plan that includes minor alterations to the exterior front facade of the west building. These alterations include minor changes in color, shape and materials as indicated on plans dated October 31, 2005 and marked Exhibit B, C-1, C-2 and C-3.

The Department has reviewed the request and has determined that your request would be appropriate and consistent with Section 17-13-0611A of the Zoning Ordinance. Accordingly, I hereby approve the requested minor changes to Business Planned Development No. 127, but no other changes to this development.

Very truly yours,


Lori T. Healey
Commissioner

LTH:PAS

cc: DPD Files including Plans





City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Alicia Mazur Berg
Commissioner

121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)

<http://www.cityofchicago.org>

February 26, 2004

Mr. Richard F. Klawiter
Piper Rudnick LLP
203 North LaSalle Street, Suite 1800
Chicago, Illinois 60601-1293

Re: Request for a minor change to Business Planned Development
No. 127, As Amended (Fifth Third Bank - The Brickyard Mall)
Location: An area located at the southwest corner of North
Narragansett and West Diversey Avenues

Dear Mr. Klawiter:

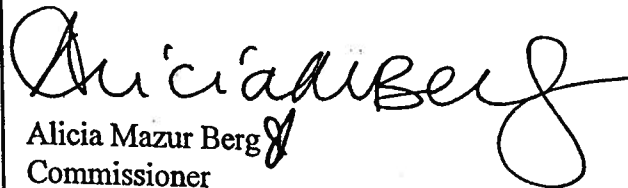
Please be advised that your request on behalf of the Applicant for a minor change to Business Planned Development No. 127, as Amended, has been considered by the Department of Planning and Development pursuant to the authority granted by Section 11.11-3(c) of the Chicago Zoning Ordinance.

Specifically, you requested a reduction in the minimum front yard (east side) building setback along N. Narragansett Avenue, from the required fourteen feet, nine inches (14'-9"), to nine (9) feet, to allow for the construction of a proposed one-story bank facility with five (5) drive-through lanes.

The Department of Planning and Development has determined that this proposed setback reduction will not create an adverse impact on this Planned Development and will be reflective of the architectural pattern or arrangement of neighboring structures along North Narragansett Avenue. Therefore, this request would constitute a minor change pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, I hereby approve the foregoing minor change, but no other changes to Business Planned Development No. 127, as Amended.

Very truly yours,


Alicia Mazur Berg
Commissioner

cc: Jack Swenson, Ed Kus, Phil Levin, Mike Marmo





December 30, 2003

City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Alicia Mazur Berg
Commissioner

121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)

<http://www.cityofchicago.org>

Richard F. Klawiter
Piper Rudnick LLP
203 N. LaSalle, Suite 1800
Chicago, Illinois 60613

Re: Request for Minor Changes to Business Planned Development No. 127
("The Brickyard")

Dear Mr. Klawiter:

The Department of Planning and Development (the "Department") has considered your request on behalf of W9/MLM Real Estate Limited Partnership for minor changes to Business Planned Development No. 127 pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance. The property which is classified under the Chicago Zoning Ordinance as Business Planned Development No. 127 (the "PD Ordinance") consists of approximately 76.2 acres (the "PD Property"). The request for minor changes relates both to that portion of the PD Property consisting of approximately 48.5 acres and commonly known as the Brickyard Mall (hereinafter, "Parcel A") as well as to the balance of the PD Property, including the improvements commonly known as Bricktown Mall (hereinafter "Parcel B").

As part of your original request for minor changes to Parcel A, you submitted a Site Plan prepared by Spaceco Inc. dated December 17, 2002, as since revised (the "Site Plan"); a Landscape Plan prepared by Site Design Group dated December 17, 2002, as since revised (the "Landscape Plan"); Building Elevations prepared by Camburas Theodore dated December 17, 2002, as since revised (the "Building Elevations"); and a Signage Package dated December 17, 2002, as since revised (the "Signage") (the Site Plan, Landscape Plan, Building Elevations and Signage being referred to collectively as the "Plans"). Copies of the Plans are on file with the Department.

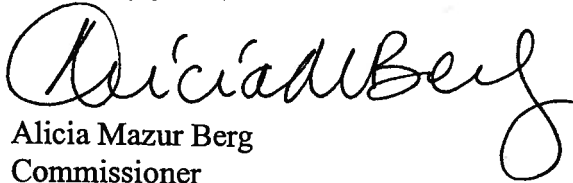
Your request follows minor changes approved on January 15, 2003 and March 26, 2003. Your current request is to further reduce the required minimum number of parking spaces on Parcel A to 2,188 and to reduce the minimum number of parking spaces on the overall PD Property from 4,200 to 3,479. At this time, an additional modification is requested due to the Department's Part II review of the revised Plans. In order to meet the requirements of the City's Landscape Ordinance design standards, a reduction in the parking count is required. The Department has determined that a reduction on Parcel A in the minimum number of required parking spaces from 2,219 to 2,188 and a reduction in the minimum number of required parking spaces on the overall PD



Property from 4,200 to 3,479 constitutes a minor change. It should be noted that under the requirements of the Chicago Zoning Ordinance, 1,414 parking spaces would be required on Parcel A and a total of 2,189 parking spaces would be required on the overall PD Property.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, your request to reduce the minimum number of parking spaces on Parcel A from 2,219 to 2,188 is hereby deemed approved and your request to reduce the overall minimum number of parking spaces on the overall PD Property from 4,200 to 3,479 is hereby deemed approved.

Very truly yours,

A handwritten signature in black ink that reads "Alicia Mazur Berg". The signature is written in a cursive style with a large, looping initial "A".

Alicia Mazur Berg
Commissioner

cc: Alderman William J.P. Banks
Jack Swenson
Philip Levin
Michael Marmo
Tim Bleuher
Edward Kus, Esq.
Elizabeth Corey, Esq.



March 26, 2003

City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Alicia Mazur Berg
Commissioner

121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)

<http://www.cityofchicago.org>

Mr. Richard F. Klawiter
Piper Rudnick
203 N. LaSalle St., Suite 1800
Chicago, IL 60613

Re: Request for an additional Minor Change to
Business Planned Development No. 127 -
Diversey & Narragansett ("Brickyard Mall")

Dear Mr. Klawiter:

Please be advised that your request for an additional minor change to Business Planned Development No. 127 has been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance.

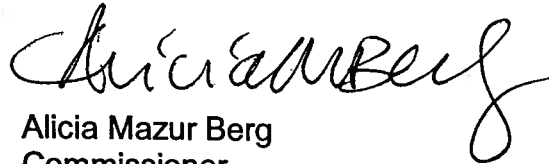
On January 15, 2003, the Department approved minor changes to the Planned Development to allow for a newly reconfigured retail center on the northern portion (Parcel A) of the property. As part of your request for minor changes to the 49.6 acre portion of the Planned Development which contains the existing Brickyard Shopping Center (Parcel A), you submitted a Site Plan prepared by Spaceco Inc. dated December 17, 2002; a Landscape Plan prepared by Site Design Group dated December 17, 2002; Building Elevations prepared by Camburas Theodore dated December 17, 2002; and a Signage Package prepared by Camburas Theodore dated December 17, 2002 (the Site Plan, Landscape Plan, Building Elevations and Signage being referred to collectively as the "Plans").

At this time, an additional modification is requested due to the Department's Part II review of the proposed Site Plan regarding total number of parking spaces. In order to meet the City's Landscape Ordinance design standards, a reduction in the parking count is required. The total number approved in the January 15, 2003 administrative relief request was 2,306. It has now been determined based on the revised Site Plan and in order to meet the Department's landscaping requirements that this total number would be reduced to 2,219 which constitutes a reduction of 87 parking spaces. The Chicago Zoning Ordinance would require 1,404 parking spaces based on the proposed square footage.



The Department of Planning and Development has determined that the above requested item constitutes a minor change. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, your request to reduce the minimum number of spaces to 2,219 in order for the development to be in compliance with the Chicago Landscape Ordinance, is hereby deemed approved.

Very truly yours,

A handwritten signature in black ink, appearing to read "Alicia Mazur Berg". The signature is fluid and cursive, with a large, stylized initial "A".

Alicia Mazur Berg
Commissioner

cc: Philip Levin
Jack Swenson
Mike Marmo
Tim Bleuher
Ed Kus
Brenda McKenzie



January 15, 2003

City of Chicago
Richard M. Daley, Mayor

Department of Planning
and Development

Alicia Mazur Berg
Commissioner

121 North LaSalle Street
Chicago, Illinois 60602
(312) 744-4190
(312) 744-2271 (FAX)

<http://www.cityofchicago.org>

Mr. Richard F. Klawiter
Piper Rudnick
203 N. LaSalle St., Suite 1800
Chicago, IL 60613

Re: Request for Minor Changes to Business
Planned Development No. 127 - Diversey &
Narragansett ("Brickyard Mall")

Dear Mr. Klawiter:

Please be advised that your request for minor changes to Business Planned Development No. 127 have been considered by the Department of Planning and Development pursuant to Section 11.11-3(c) of the Chicago Zoning Ordinance.

As part of your request for minor changes to the 49.6 acre portion of the Planned Development which contains the existing Brickyard Shopping Center (Parcel A), you submitted a Site Plan prepared by Spaceco Inc. dated December 17, 2002; a Landscape Plan prepared by Site Design Group dated December 17, 2002; Building Elevations prepared by Camburas Theodore dated December 17, 2002; and a Signage Package prepared by Camburas Theodore dated December 17, 2002 (the Site Plan, Landscape Plan, Building Elevations and Signage being referred to collectively as the "Plans"). Copies of the Plans are attached hereto.

Specifically, you requested the following modifications:

1. A reduction in the minimum number of parking spaces required to be provided on Parcel A from 3,000 to 2,306. The total retail square footage on the subject parcel is currently 878,322 square feet. The total retail square footage of the new development would be 565,720 square feet. Accordingly, while currently there is provided on Parcel A approximately one parking space per 293 square feet of floor area, construction of the proposed improvements in accordance with the plans would improve the parking ratio to approximately one parking space per 245 square feet of floor area (The Chicago Zoning Ordinance would require 1,404 parking spaces based on the proposed square footage).

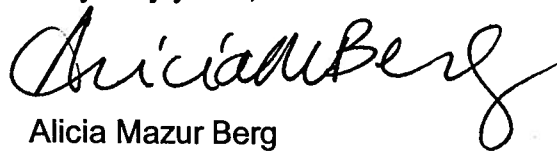


2. A reduction in the required setbacks along Narragansett Avenue from 30 feet to 14.9 feet and along Diversey Avenue from 30 feet to 15 feet. This request is based on the fact that, while a 30' setback on all sides of the Property is required under the PD Ordinance, the evolution of modern retailing and the desire by the City to create an urban streetscape in accordance with the current proposal is a desirable alternative.

Furthermore, you requested a reduction in the minimum number of required trees to be located upon Parcel A from 642 trees to 586 trees. This request is based on topographical concerns and, specifically, the variable elevations throughout the PD Property in general and Parcel A in particular. The associated retaining walls and transitions dictated the elimination of certain areas otherwise available for plantings and trees. The Department recognizes that the Applicant commits to make up these 56 trees at the time of future obligations by specific tenants which would generate a change in the current site plan proposal. Furthermore, the Applicant has agreed to investigate the feasibility of providing a green roof system on portions of the development. Any proposal to provide a green roof system shall be subject to approval by the Department of Planning and Development prior to submittal of plans for Part II review.

The Department of Planning and Development has determined that the above requested items constitute minor changes. Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance, your request, outlined above, is hereby deemed approved. The attached plans are hereby made a part of this approval.

Very truly yours,



Alicia Mazur Berg
Commissioner

cc: Philip Levin
Jack Swenson
Mike Marmo
Tim Bleuher
Ed Kus

Your Committee on Zoning begs leave to recommend that Your Honorable Body *Pass* the said proposed ordinance transmitted herewith (referred to your committee on July 9, 1986) to amend the Chicago Zoning Ordinance for the purpose of reclassifying a particular area.

This recommendation was concurred in by the members of the committee with no dissenting vote.

Respectfully submitted,
(Signed) TERRY M. GABINSKI,
Chairman.

On motion of Alderman Gabinski, the committee's recommendation was *Concurred In* and the said proposed ordinance was *Passed* by yeas and nays as follows:

Yeas -- Aldermen Roti, Rush, Tillman, Evans, Bloom, Sawyer, Beavers, Humes, Hutchinson, Huels, Majerczyk, Madrzyk, Burke, Carter, Langford, Streeter, Kellam, Sheahan, Kelley, Sherman, Garcia, Krystyniak, Henry, Soliz, Gutierrez, W. Davis, Smith, D. Davis, Hagopian, Santiago, Gabinski, Kotlarz, Banks, Giles, Cullerton, Laurino, O'Connor, Pucinski, Natarus, Oberman, Hansen, McLaughlin, Orbach, Volini, Orr, Stone -- 46.

Nays -- None.

Alderman Natarus moved to reconsider the foregoing vote. The motion was lost.

Alderman Frost was excused from voting under the provisions of Rule 14 of the Council's Rules of Order.

The following is said ordinance as passed:

Reclassification of Area Shown on Map No. 7-N.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business Planned Development No. 127 and M1-1 Restricted Manufacturing District symbols and indications as shown on Map No. 7-N in the area bounded by

West Diversey Street; North Narragansett Avenue; and West Fullerton Avenue and the C.M. and ST. P. & P. Railroad right-of-way,

to the designation of a Business Planned Development No. 127, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

[Business Planned Development printed on pages 33311
through 33317 of this Journal.]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

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BUSINESS PLANNED DEVELOPMENT #127 AS AMENDED
PLAN OF DEVELOPMENT

1. The property shaded in The Chicago Zoning Ordinance Map 7-N appended hereto (the "Property") contains approximately 76.2 acres and is owned or controlled by the following parties: the City of Chicago (the "City") owns approximately 24 acres of the Property; Chicago Title and Trust Company, as Trustee under a Trust Agreement dated January 2, 1976 and known as Trust No. 1068300 owns approximately 48.5 acres of the Property upon which is located the existing Brickyard Shopping Center; American National Bank and Trust Company of Chicago, as Trustee under a Trust Agreement dated November 15, 1985 and known as Trust No. 66005 owns approximately 1.1 acres of the Property; and American National Bank and Trust Company of Chicago, as Trustee under a Trust Agreement dated February 14, 1986 and known as Trust No. 66687 is the contract purchaser of approximately 2.6 acres of the Property. Beneficial ownership of the 24 acre parcel owned by the City and of the 2.6 acre parcel under contract will be conveyed to Malan Construction Company, a Michigan corporation ("Malan"), pursuant to a Redevelopment Agreement which will be entered into between Malan and the City and which will be approved by ordinance (the "Redevelopment Agreement").
2. Off-street parking and off-street loading facilities shall be provided in compliance with the Business Planned Development and the Redevelopment Agreement. Off-street parking areas may be illuminated by lights mounted on standards at heights not in excess of fifty (50) feet above existing grade at the base of such standard, providing such lights shall either be directed downward or covered by shades or reflectors directing such lighting downward.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant, or its successors, assignees or grantees.
4. Any dedication or vacation of streets and alleys, or easements, or adjustments of right-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant, or its successors, assignees or grantees.
5. Any service drives or any other ingress or egress shall be adequately designed and paved in accordance with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of the City, to provide ingress and

egress for motor vehicles, including emergency vehicles; there shall be no parking within such paved areas. Fire lines shall be adequately designed and paved in compliance with the Municipal Code of the City and shall have a minimum width of 24 feet to provide ingress and egress for emergency vehicles; there shall be no parking within such paved areas.

6. The uses permitted in the Business Planned Development shall include the following:

Department Stores; Discount Stores, Sale of Food, food products and meat; Sale of packaged alcoholic beverages; Sale of clothing and apparel; Sale of prescription drugs, pharmaceuticals and allied products; Sale of hardware; Sale of tires, batteries and automotive accessories, with an ancillary use of retail sale and dispensing of fuels and lubricants and installation and minor services customarily incidental thereto; Banks or savings and loan associations; Sale of Insurance; Travel Agencies; Amusement establishments; Arcades; Theaters, Auditoriums, Health Clubs; any and all Drive-In Facilities; Jewelry Stores; Sales of goods, wares and merchandise at retail; Service businesses such as doctors; ophthalmologists and dental offices; Shoe Repair; Watch and Jewelry repair; Tailor and dressmaker shops; Restaurants and Taverns; all office purposes; and such uses as are permitted under the B5 General Service District Classification, except for dwelling units, lodging rooms and hotel/motel uses.

7. Accessory buildings or structures may be constructed in the Business Planned Development either prior to, subsequent to or concurrently with any one or more principal buildings, subject to the approval of the Department of Development and Planning.
8. Business establishments shall be unrestricted in respect to maximum gross floor areas, subject only to aggregate maximum floor area ratio. The maximum floor area ratio shall be 1.0.
9. Business and business identification signs may be permitted within the area delineated herein as the Business Planned Development, in accordance with the Redevelopment Agreement, subject to review and approval as to location by the Department of Buildings and the Department of Development and Planning.

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8/28/86

REPORTS OF COMMITTEES

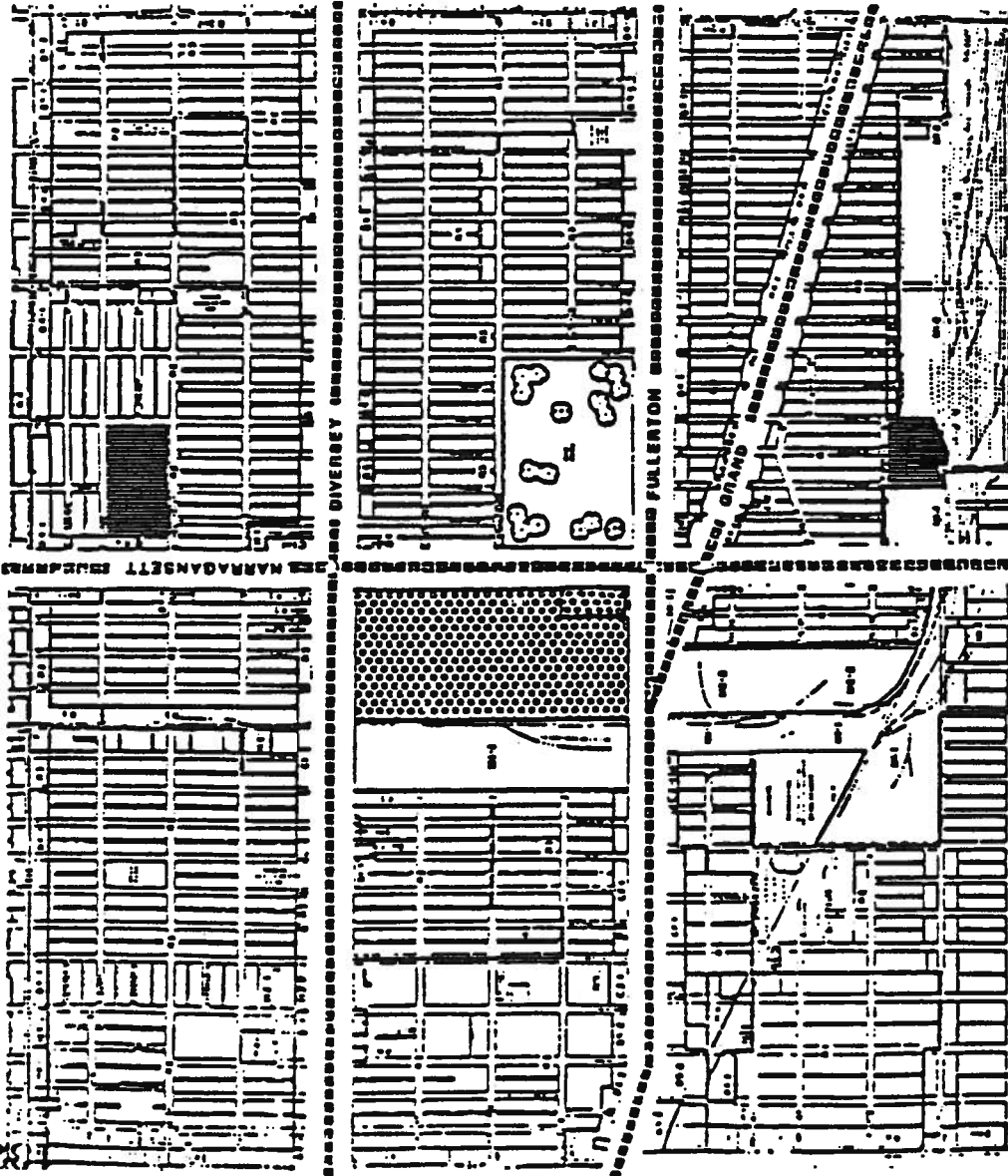
33313

10. The information in the tables and maps attached hereto sets forth data concerning the generalized land use plan of the area delineated herein as Business Planned Development, and illustrates that the development of such area will be in general compliance with the intent and purpose of The Chicago Zoning Ordinance.
11. The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as promulgated by the Commissioner of Planning.

Applicant: American National Bank and Trust Company of Chicago, Trust No. 66687

DATED: June 24, 1986.

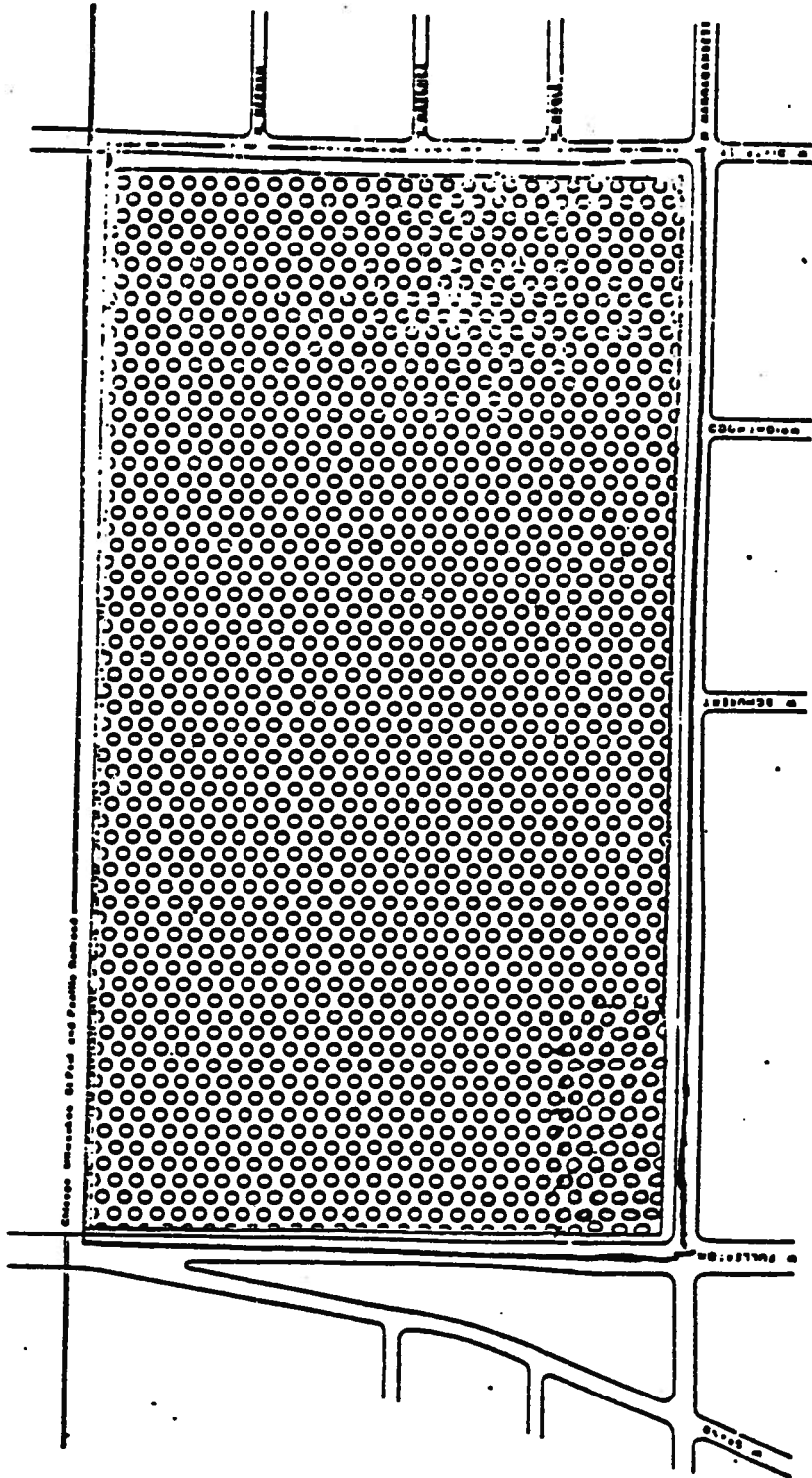
ADDRESS PLANNED DEVELOPMENT NO. 127, AS AMENDED



APPLICANT: American National Bank and Trust Company of Chicago Trust No. 66687

DATE: June 24, 1986

BUSINESS PLANNED DEVELOPMENT NO. 127, AS AMENDED



GENERALIZED LAND USE PLAN

American National Bank and Trust
Company of Chicago Trust No. 66687

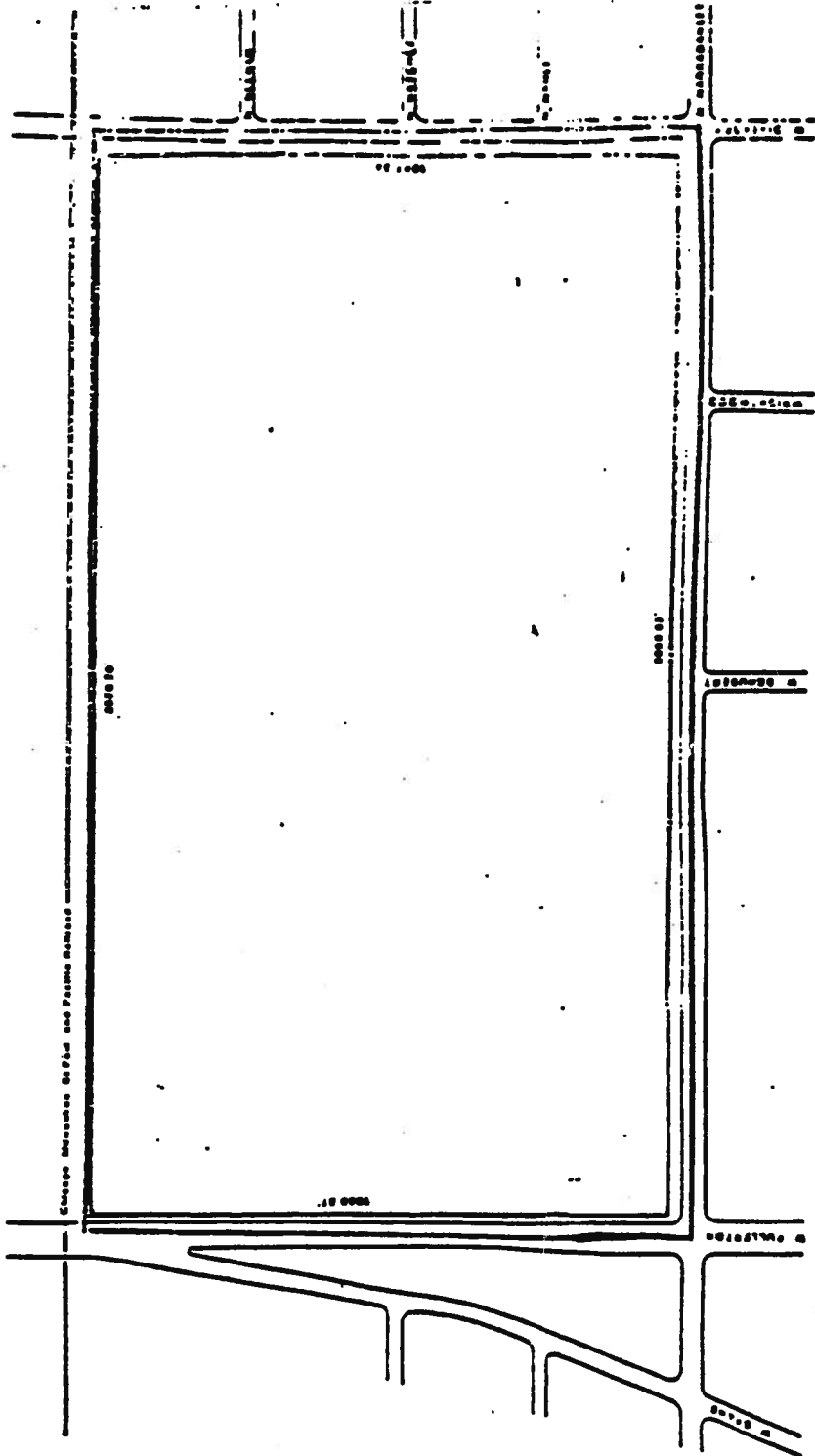
June 24, 1986

LEGEND

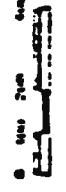
- Circle: Planned development boundaries
- Dashed line: Speculative and business buildings and city street layout
- Square with circle: Chicago University of Peace and Profits Building



BUSINESS PLANNED DEVELOPMENT No. 127, AS AMENDED



PROPERTY LINE MAP
 American National Bank and Trust Company
 American National Bank and Trust Company
 of Chicago Trust No. 66687
 June 24, 1986



LEGEND
 --- PROPERTY LINE
 --- EASEMENT
 --- UTILITY EASEMENT

BUSINESS PLANNED DEVELOPMENT NO. 127

AS ANNOUNCED

PLANNED DEVELOPMENT USE & BULK REGULATIONS & DATA

Net Site Area (APPROXIMATE)		General Description of Land Use	Maximum Floor Area Ratio	Maximum % of Land Coverage	Minimum # of Parking Spaces
Sq. Ft.	Acres				
3,319,272	76.2	Shopping and Business Center	1.0	70	4,200

Gross Site Area = Net Site Area 76.2 acres + area of public streets 5.23 acres equals 81.43 acres

Minimum number of off-street loading spaces: 13

Minimum periphery setbacks at boundary lines: 30 feet on all sides

* 3,000 spaces shall be applied to the existing development and the remainder shall be provided as the expanded development is occupied.

APPLICANT: American National Bank and Trust Company Of Chicago Trust No. 66687

DATE: June 24, 1986

(Continued from page 1014)

Reclassification of Area Shown on Map No. 7-I.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the C2-2 General Commercial District symbols and indications as shown on Map No. 7-I in the area bounded by,

the alley next northeast of N. Linden Place; a line from a point 53.20 feet southeast of the alley next east of N. Kedzie Avenue as measured along the south line of the alley next northeast of N. Linden Place to a point 377.89 feet southeast of the alley next east of N. Kedzie Avenue and 67.13 feet north of N. Linden Place, said line being drawn along an arc of a curve having a radius of 3831.83 feet and convex to the southwest being south 42 degrees, 02 minutes 51 seconds; a line 377.89 feet southeast of and parallel to the alley next east of N. Kedzie Avenue; N. Linden Place; and the alley next east of N. Kedzie Avenue,

to those of an R4 General Residence District and a corresponding use district is hereby established in the area above described.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 7-N.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the Business Planned Development No. 127 and M2-2 General Manufacturing District symbols and indications as shown on Map No. 7-N in the area bounded by,

W. Diversey Avenue; N. Narragansett Avenue; a line 520 feet north of W. Fullerton Avenue; a line 220 feet west of N. Narragansett Avenue; W. Fullerton Avenue; and the east line of the right-of-way of the Chicago, Milwaukee, St. Paul and Pacific Railroad,

to the designation of Business Planned Development No. 127 as amended which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

[Planned Development printed on pages 1021 through 1026
of this Journal.]

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Reclassification of Area Shown on Map No. 9-H.

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the B4-2 Restricted Service District and B5-3 General Service District symbols and indications as shown on Map No. 9-H in the area bounded by,

W. Irving Park Road; N. Damen Avenue; a line 131.65 feet south of W. Irving Park Road; the alley next west of and parallel to N. Damen Avenue; the alley next south of and parallel to W. Irving Park Road; and N. Leavitt Street,

to those of a B2-1 Restricted Retail District, and a corresponding use district is hereby established in the area above described.

(Continued on page 1027)

PD 1070

**BUSINESS PLANNED DEVELOPMENT #127 AS AMENDED
PLAN OF DEVELOPMENT**

1. The property delineated in the Property Line Map appended hereto contains approximately 73.6 acres and is owned or controlled by both the City of Chicago, Department of Economic Development (the "City") and Chicago Title And Trust Company, as trustee under Trust Agreement dated January 2, 1976 and known as Trust No. 1068300 (the "Trust"). The City of Chicago land will be conveyed in accordance with the provisions of certain agreements between the City of Chicago and Maisel & Associates of Michigan, a partnership pursuant to various agreements heretofore executed and approved by ordinances dated to-wit: December 18, 1981 (the "City Agreements").
2. Off-street parking and off-street loading facilities shall be provided in compliance with the Plan of Development, subject to the review of the Department, subject to the review of the Department of Streets and Sanitation and the approval of the Department of Development and Planning. Off-street parking areas may be illuminated by lights mounted on standards at heights not in excess of fifty (50) feet above existing grade at the base of such standard, providing such lights shall either be directed downward or covered by shades or reflectors directing such lighting downward.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant, or its successors, assignees or grantees.
4. Any dedication or vacation of streets and alleys, or easements, or adjustments of right-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant, or its successors, assignees or grantees.
5. Any service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles; there shall be no parking within such paved areas. Fire lines shall be adequately designed and paved in compliance with the Municipal Code of Chicago and shall have a minimum width of 24 feet to provide ingress and egress for emergency vehicles; there shall be no parking within such paved areas.
6. The uses permitted in the Business Planned Development shall include the following:

Department Stores; Discount Stores, Sale of Food, food products and meat; Sale of packages alcoholic beverages; Sale of clothing and apparel; Sale of prescription drugs, pharmaceuticals and allied products; Sale of hardware; Sale of tires, batteries and automotive accessories, with an ancillary use of retail sale and dispensing of fuels and lubricants and installation and minor services

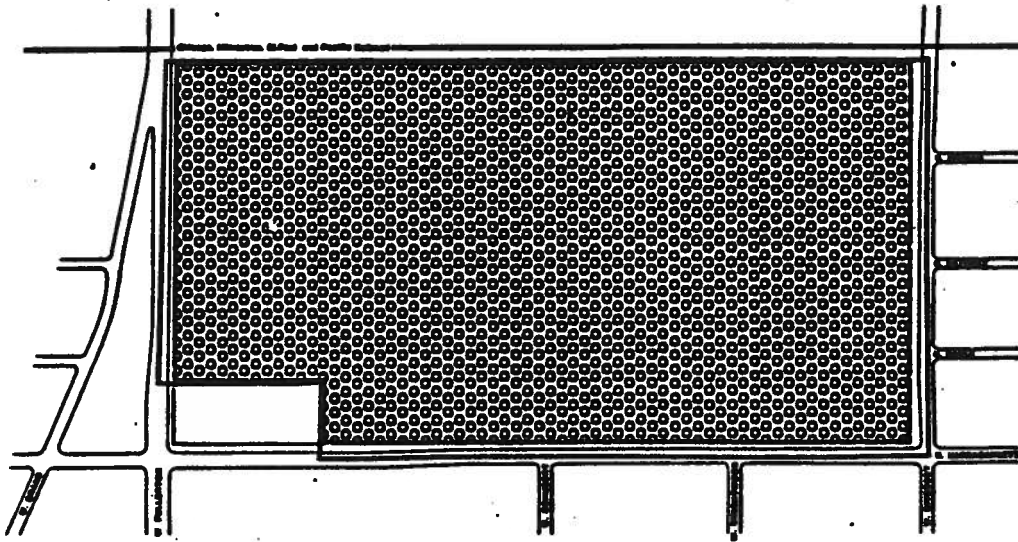
customarily incidental thereto; Banks or savings and loan associations; Sale of Insurance; Travel Agencies; Amusement establishments; Arcades; Theaters; Auditoriums; Health Clubs; any and all Drive-In Facilities; Jewelry Stores; Sale of goods, wares and merchandise at retail; Service businesses such as doctors; ophthalmologists and dental offices; Shoe Repair; Watch and Jewelry repair; Tailor and dressmaker shops; Restaurants and Taverns; all office purposes; and such uses as are permitted under the B5 General Service District Classification, except for dwelling units, lodging rooms and hotel/motel uses.

7. Accessory buildings or structures may be constructed in the Business Planned Development either prior to, subsequent to or concurrently with any one or more principal buildings, subject to the approval of the Department of Development and Planning.
8. Business establishments shall be unrestricted in respect to maximum gross floor areas, subject only to aggregate maximum floor area ratio. The maximum floor area ratio shall be 1.0.
9. Business and business identification signs may be permitted within the area delineated herein as Business Planned Development, in accordance with the City Agreements, subject to review and approval as to location of the Department of Buildings and Department of Development and Planning.
10. The information in the tables and maps attached hereto sets forth data concerning the generalized land use plan of the area delineated herein as Business Planned Development, and illustrates that the development of such area will be in general compliance with the intent and purpose of the Chicago Zoning Ordinance.
11. The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as promulgated by the Commissioner of Planning.

Applicants: City of Chicago, Department of Economic Development

DATED: March 9, 1983

BUSINESS PLANNED DEVELOPMENT NO. 127, AS AMENDED



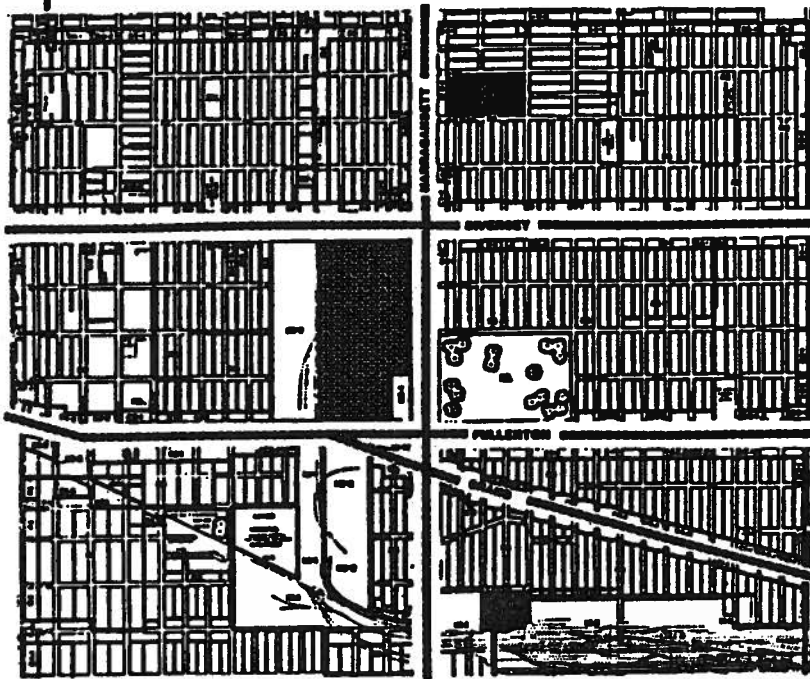
GENERALIZED LAND USE PLAN

APPROVED DEPARTMENT OF ECONOMIC DEVELOPMENT
CITY OF CHICAGO
DATE: MARCH 6, 1983

LEGEND
[Symbol] PLANNED DEVELOPMENT OVERLAY
[Symbol] GENERALIZED AND ZONING OVERLAY
[Symbol] THE CITY CHARTER
[Symbol] THE ORDINANCE NO. 2



BUSINESS PLANNED DEVELOPMENT NO. 127, AS AMENDED



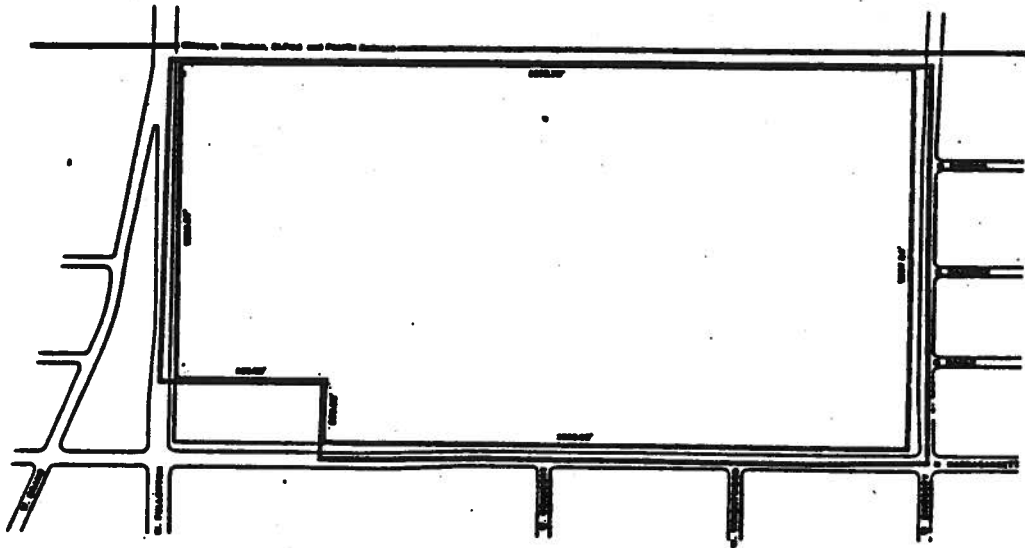
EXISTING ZONING & PREFERENTIAL STREET SYSTEM

- LEGEND**
- PROPOSED PLANNED DEVELOPMENT
 - PREFERENTIAL STREETS
 - ZONING DISTRICT BOUNDARIES
 - PARKS
 - PARKS

**APPLICANT: DEPARTMENT OF ECONOMIC DEVELOPMENT
DATE: MARCH 8, 1983**

CITY OF CHICAGO

BUSINESS PLANNED DEVELOPMENT NO. 127, AS AMENDED



PROPERTY LINE MAP

ILLINOIS DEPARTMENT OF URBAN DEVELOPMENT
CITY OF CHICAGO
NO. MAP 127, 1983

LEGEND

- PROPERTY LINE
- SIDE OF LOT
- BUSINESS PLANNED DEVELOPMENT BOUNDARY



BUSINESS PLANNED DEVELOPMENT NO. 127

AS AMENDED

PLANNED DEVELOPMENT USE & BULK
REGULATIONS & DATA

Net Site Area		General Description of Land Use	Maximum Floor Area Ratio	Maximum % of Land Coverage	Minimum # of Parking Spaces
Sq. Ft.	Acres				
3,209,028	73.67	Shopping and Business Center (See Statement No. 6)	1.0	70	4,500 *

Gross Site Area = Net Site Area 73.67 acres + area of public streets 5.23 acres
equals 78.90 acres

Minimum number of off-street loading spaces: 13

Minimum periphery setbacks at boundary lines: 30 feet on all sides

* 3,000 spaces shall be applied to the existing development and the remainder shall be provided as such additional development is occupied.

APPLICANT: Department of Economic Development
City of Chicago

DATE: March 9, 1983

Action Deferred—ON APPROVAL OF MAYOR'S APPOINTMENTS OF CHAIRMAN AND MEMBERS OF COMMERCIAL DISTRICT DEVELOPMENT COMMISSION.

The Committee on Finance submitted the following report, which was, at the request of two aldermen present (Alderman Bilandic and Alderman Marzullo) *Deferred* and ordered published:

CHICAGO, July 28, 1975.

To the President and Members of the City Council:

Your Committee on Finance, to which was referred a communication dated July 23, 1975 from the Mayor requesting Council approval of the appointment of Mr. Lewis Hill as a member and chairman of the Commercial District Development Commission of the City of Chicago, and Messrs. Norman F. Barry, John F. Cusack, James D. Green and Charles A. Tatum as members of the Commission having had the same under advisement, begs leave to report and recommend that Your Honorable Body concur and approve the appointment of Mr. Lewis Hill as a member and chairman of the Commercial District Development Commission of the City of Chicago, and Messrs. Norman F. Barry, John F. Cusack, James D. Green and Charles A. Tatum as members of the Commission.

This recommendation was concurred in by a viva voce vote of the members of the committee.

Respectfully submitted,

(Signed) MICHAEL A. BILANDIC,
Chairman.

MC
Action Deferred—ON PROPOSED ORDINANCE FOR REPEAL OF SECTION 147-16 OF MUNICIPAL CODE PROHIBITING FREE LUNCHES IN TAVERNS.

The Committee on Finance submitted the following report, which was, at the request of two aldermen present (Alderman Bilandic and Alderman Cohen) *Deferred* and ordered published:

COMMITTEE ON BUILDINGS AND ZONING.

Chicago Zoning Ordinance Amended to Reclassify Area Shown on Map No. 7-N.

The Committee on Buildings and Zoning submitted the following report:

CHICAGO, July 30, 1975.

To the President and Members of the City Council:

Your Committee on Buildings and Zoning begs leave to recommend that Your Honorable Body Pass the proposed ordinance as amended in the Plan of Development, Property Line and Right-of-Way Adjustments Map, and Generalized Land Use Plan Map, transmitted herewith (referred to Your Committee on May 28, 1975) to amend the Chicago Zoning Ordinance for the purpose of reclassifying particular area.

This recommendation was concurred in by 13 members of the committee, with no dissenting vote.

Respectfully submitted,

(Signed) EDWARD R. VRDOLYAK,
Chairman.

(Signed) FRED E. ROTI,
Vice-Chairman.

CHICAGO, July 28, 1975.

To the President and Members of the City Council:

Your Committee on Finance, to which was referred a communication dated July 23, 1975 from Alderman Cohen and others transmitting an ordinance repealing Section 147-16 of the Municipal Code of Chicago, having had the same under advisement, begs leave to report and recommend that Your Honorable Body pass the proposed ordinance transmitted herewith.

This recommendation was concurred in by a viva voce vote of the members of the committee.

Respectfully submitted,

(Signed) MICHAEL A. BILANDIC,
Chairman.

The proposed ordinance transmitted with the foregoing committee report reads as follows:

Be It Ordained by the City Council of the City of Chicago:

Section 1. That Section 147-16 of the Municipal Code of Chicago, regarding "No Free Lunches in Taverns", is hereby repealed in its entirety.

Section 2. This ordinance shall be in full force and effect from and after its passage.

Placed on File—MISCELLANEOUS MATTERS.

The Committee on Finance submitted reports recommending that the City Council *Place on File* miscellaneous documents transmitted therewith. On motion of Alderman Bilandic the committee's recommendations were *Concurred In*.

The following is a summary of said documents:

A communication from Jewish Peoples Convalescent Home dated July 21, 1975, transmitting their financial statement for the year ending December 31, 1974, for the annual "Have A Heart Tag Day";

A communication from Our Lady of Grace League, Audit for Our Lady of Grace Settlement;

A proposed order for installation of an additional sewer in the alley at rear of No. 5356 N. Bernard Street at W. Balmoral Avenue.

On motion of Alderman Vrdolyak, the committee's recommendation was *Concurred In* and said proposed ordinance was *Passed*, by yeas and nays as follows:

Yeas—Aldermen Roti, Barnett, Kenner, Lathrop, Sawyer, Wilinski, Cousins, Adduci, Vrdolyak, Bilandic, Kwak, Burke, Jaksy, Shannon, Hines, Joyce, Kelley, Stewart, Stemberk, Lipinski, Rhodes, Marzullo, Zydlo, Ray, Washington, Cross, Hagopian, Keane, Gabinski, Mell, Frost, Laskowski, Aiello, Casey, Cullerton, Laurino, Gutstein, Pucinski, Natarus, Oberman, Simpson, Cohen, Block, Saperstein, Stone—45.

Nays—None.

Alderman Stemberk moved to *Reconsider* the foregoing vote. The motion was *Lost*.

The following is said ordinance as passed:

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all the M1-1 and M2-2 District symbols and indications as shown on Map No. 7-N in the area bounded by

PD
127

PD
127

W. Diversey Avenue on the north, N. Narragansett Avenue on the east, the Chicago, Milwaukee & St. Paul RR. right of way on the west and a meandering line beginning on the westerly boundary 1,124.585 feet south of the north boundary line and terminating on the easterly boundary line 1,836.679 feet south of the north boundary line;

described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part hereof and to no others.

[Plan of Development printed on pages 1076 to 1081 of this Journal]

to the designation of a Business Planned Development which is hereby established in the area above

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

MATTERS PRESENTED BY THE ALDERMEN

(Presented by Wards, in Order, Beginning with the Fiftieth Ward).

Arranged under the following subheadings:

1. Traffic Regulations, Traffic Signs and Traffic-Control Devices.
2. Zoning Ordinance Amendments.
3. Claims.
4. Unclassified Matters (arranged in order according to Ward numbers).
5. Free Permits, License Fee Exemptions, Cancellation of Warrants for Collection, and Water Rate Exemptions, Etc.

Proposed ordinances, orders and resolutions, described below, were presented by the aldermen named, as noted. Except where otherwise noted or indicated hereinbelow, unanimous consent was given to permit action by the City Council on each of said proposed ordinances, orders and resolutions without previous committee consideration, in accordance with the provisions of Council Rule 41.

1. TRAFFIC REGULATIONS, TRAFFIC SIGNS AND TRAFFIC-CONTROL DEVICES.

Referred—PROPOSED ORDINANCES TO PROHIBIT AT ALL TIMES PARKING OF VEHICLES AT SPECIFIED LOCATIONS.

The aldermen named below presented proposed ordinances to prohibit at all times the parking of vehicles at the locations designated, for the distances specified, which were *Referred to the Committee on Traffic and Public Safety*, as follows:

Alderman	Location and Distance
Kwak (12th Ward)	S. Archer Avenue (north side) between W. 47th Street and S. Lawndale Avenue
Hagopian (30th Ward)	W. Bloomingdale Avenue (north side) from a point 248 feet west of N. Lamont Avenue to a point 189 feet west thereof.

Alderman	Location, Distance and Time
[Kwak (12th Ward)]	S. Lawndale Avenue (west side) between S. Archer Avenue and W. 49th Street—8:00 A.M. to 10:00 A.M. (except on Saturdays, Sundays and holidays)
Hagopian (30th Ward)	W. Bloomingdale Avenue (south side) from a point 264 feet west of N. Lamont Avenue to a point 159 feet west thereof—8:00 A.M. to 4:00 P.M. (except on Saturdays, Sundays and holidays).

Referred—PROPOSED ORDINANCES TO PROHIBIT PARKING OF VEHICLES DURING SPECIFIED HOURS AT SPECIFIED LOCATIONS.

The aldermen named below presented proposed ordinances to prohibit the parking of vehicles, during the hours designated, at the locations specified, which were *Referred to the Committee on Traffic and Public Safety*, as follows:

Alderman	Location, Distance and Time
Kwak (12th Ward)	S. Archer Avenue (north side) between S. Lawndale and S. Ridgeway Avenues—:00 A.M. to 9:00 A.M. and 4 P.M. to 6:00 P.M. (except Saturdays, Sundays and

Referred—PROPOSED ORDINANCE TO CHANGE AREA OF PARKING PROHIBITION DURING SPECIFIED HOURS ON PORTION OF S. OAKLEY AV.

Alderman Joyce (19th Ward) presented a proposed ordinance to prohibit the parking of vehicles on the west side of S. Oakley Avenue between W. 94th Street and No. 9408 from 8:00 A.M. to 4:00 P.M., except on Saturdays, Sundays and holidays (instead of from W. 94th Street to a point 345 feet south thereof); which was *Referred to the Committee on Traffic and Public Safety*.

Referred—PROPOSED ORDINANCE TO DISCONTINUE PROHIBITION AGAINST PARKING OF VEHICLES DURING SPECIFIED HOURS ON PORTION OF N. MCVICKER AV.

Alderman Pucinski (41st Ward) presented a proposed ordinance to discontinue the prohibition against the parking of vehicles during specified hours on both sides of N. McVicker Avenue between W. Berwyn and W. Balmoral Avenues; which was *Referred to the Committee on Traffic and Public Safety*.

BUSINESS PLANNED DEVELOPMENT # 127
PLAN OF DEVELOPMENT
STATEMENTS AS AMENDED
July 24, 1975

1. The property delineated in the Property Line Map appended hereto (the legal description of which is attached hereto as Exhibit I) contains approximately 50.17 acres and is owned by Chicago Title and Trust Company as Trustee under Trust Agreement dated May 1, 1974 and known as Trust No. 65000, the beneficiary of which is E. N. Maisel & Associates, a partnership.
2. Off-street parking and off-street loading facilities shall be provided in compliance with the Plan of Development, subject to the review of the Department, subject to the review of the Department of Streets and Sanitation and the approval of the Department of Development and Planning. Off-street parking areas may be illuminated by lights mounted on standards at heights not in excess of fifty (50) feet above existing grade at the base of such standard, providing such lights shall either be directed downward or covered by shades or reflectors directing such lighting downward.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant, or its successors, assignees or grantees.
4. Any dedication or vacation of streets and alleys, or easements, or adjustments of right-of-way or consolidation or resubdivision of parcels shall require a separate submittal on behalf of the Applicant, or its successors, assignees or grantees.
5. Any service drives or any other ingress or egress shall be adequately designed and paved in accord with the regulations of the Department of Streets and Sanitation and in compliance with the Municipal Code of Chicago, to provide ingress and egress for motor vehicles, including emergency vehicles; there shall be no parking within such paved areas. Fire lines shall be adequately designed and paved in compliance with the Municipal Code of Chicago and shall have a minimum width of 24 feet to provide ingress and egress for emergency vehicles; there shall be no parking within such paved areas.
6. The uses permitted in the Business Planned Development shall be uses permitted under the B5 General Service Classification, except for dwelling units, lodging rooms, hotel/motel uses, and arcades, including the following;

Department Stores; Discount Stores; Sale of food, food products and meat; Sale of packaged alcoholic beverages; Sale of clothing and apparel; Sale of prescription drugs, pharmaceuticals and allied products; Sale of hardware; Sale of tires, batteries and automotive accessories, with an ancillary use of retail sale and dispensing of fuels and lubricants and installation and minor services customarily

incidental thereto; Banks or savings and loan associations; Sale of Insurance; Travel Agencies; Theaters; Jewelry stores; Sale of goods, wares and merchandise at retail; Service businesses such as doctor, ophthalmological and dental offices; shoe repairs, watch and jewelry repairs, tailor and dressmaker shops; Restaurants and Taverns; and other similar uses .

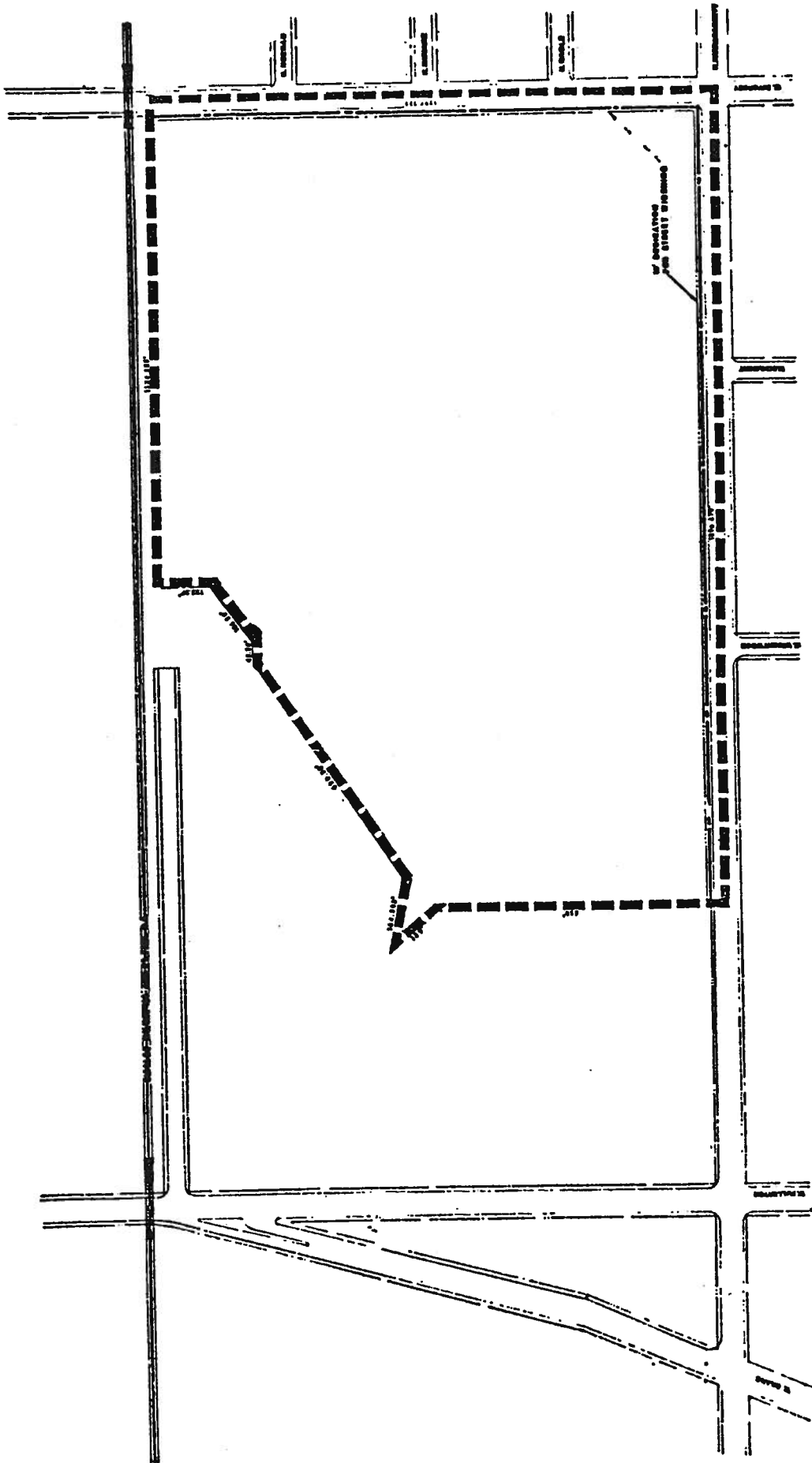
7. Accessory buildings or structures may be constructed in the Business Planned Development either prior to, subsequent to or concurrently with any one or more principal buildings, subject to the approval of the Department of Development and Planning.
8. Business establishments shall be unrestricted in respect to maximum gross floor areas, subject only to aggregate maximum floor area ratio. The maximum floor area ratio shall be 1.0.
9. Business and business identification signs may be permitted within the area delineated herein as Business Planned Development, subject to the review and approval of the Department of Buildings and the Department of Development and Planning. There shall be no advertising signs permitted.
10. The information in the tables and maps attached hereto sets forth data concerning the generalized land use plan of the area delineated herein as Business Planned Development, and illustrates that the development of such area will be in general compliance with the intent and purpose of the Chicago Zoning Ordinance.

Attached hereto and incorporated herein by reference are:

- A. Property line map and right-of-way adjustments;
 - B. Existing zoning and preferential street system map;
 - C. Generalized Land Use Plan; and
 - D. Planned Development Use and Bulk Regulations and Data Chart.
 - E. Legal Description of Subject Property.
11. The Plan of Development hereby attached shall be subject to the "Rules, Regulations and Procedures in Relation to Planned Developments", as promulgated by the Commissioner of Development and Planning.
 12. If a building permit is not applied for and received within three years from the effective date of this ordinance, this ordinance shall be deemed null and void, and the zoning shall revert to the underlying classifications.

Applicants: Chicago Title and Trust Company as Trustee under Trust No. 65000 and E. N. Maisel & Associates, a Partnership.

Revised: July 24, 1975

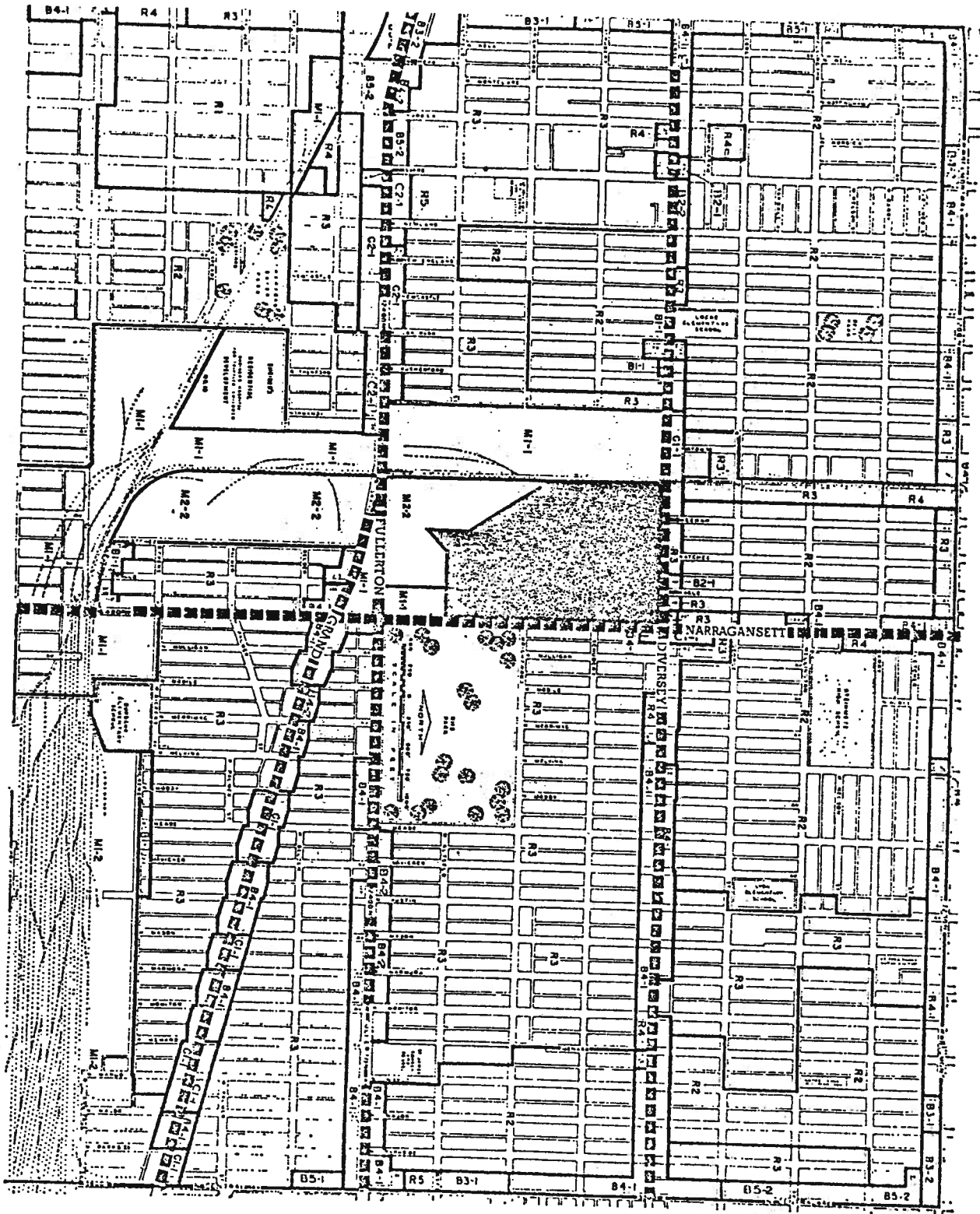


APPLICANT: CHICAGO TITLE & TRUST CO. TRUST FOR BANK OF AMERICA AND ASSOCIATES
 DATED: 9/1/75

LEGEND
 ———— PROPERTY LINE
 ———— RIGHT OF WAY
 ———— CLAIMED DEVELOPMENT BOUNDARY



**PROPERTY LINE MAP &
 RIGHTS-OF-WAY ADJUSTMENTS**



**EXISTING
ZONING &
PREFERENTIAL
STREET
SYSTEM**

LEGEND

- PROPOSED PLANNED DEVELOPMENT
 - PREFERENTIAL STREETS
 - EXISTING DISTRICT BOUNDARIES
 - SCHOOLS
 - PARKS
- APPLICANT
CHICAGO TITLE AND TRUST CO
TRUST NO. 61280
E.M. BARTLEY AND ASSOCIATES
DATE

That part of the East half of the Southeast Quarter of Section 30, Township 40 North, Range 13, East of the Third Principal Meridian, described as follows: Beginning at the intersection of the West line of North Narragansett Avenue (said West line being 33.0 feet West of and parallel with the East line of said Southeast Quarter) and a line 690.00 feet North of and parallel with the North line of West Fullerton Avenue; thence Westerly on said parallel line 650.00 feet; thence Southwesterly 139.00 feet on a line forming an angle of 40° 25' 00" from the West to the Southwest with the prolongation of the last described line; thence Northeasterly 164.85 feet to a point 570.89 feet East (as measured at right angles through a point on the East line of Chicago, Milwaukee and St. Paul Railroad 755.17 feet North of the North line of West Fullerton Avenue) of the East line of the Chicago, Milwaukee and St. Paul Railroad; thence Northwesterly 620.38 feet to a point 225.0 feet East (measured at right angles) of the East line of said Railroad; thence Northwesterly 45.29 feet to a point 220.0 feet East (measured at right angles) of the East line of said Railroad; thence Northwesterly 156.28 feet to a point 133.27 feet East (measured at right angles) of the East line of said Railroad; thence Westerly 133.27 feet to the East line of said Railroad; thence Northerly on the East line of said Railroad 1134.69 feet to the South line of West Diversey Avenue; thence Easterly on said South line of West Diversey Avenue 1297.25 feet to the West line of North Narragansett Avenue; thence Southerly on said West line of North Narragansett Avenue 1896.61 feet to the place of beginning, in Cook County, Illinois;

BUSINESS PLANNED DEVELOPMENT
 PLANNED DEVELOPMENT USE & BULK
 REGULATIONS & DATA

Net Site Area Sc. Ft. Acres	General Description of Land Use	F.A.R.	% of Land Coverage	# of Park. Spaces
2,185.445	Shopping and Business Center	1.0	50	3,000

Gross Site Area = Net Site Area: 50.17 acres

Number of off-street loading spaces: 9

Periphery setbacks at boundary lines: 30 feet on all sides

APPLICANT: Chicago Title and Trust Company, not individually, but as Trustee under Trust Agreement dated May 1, 1974 and known as Trust No. 65000 and E. N. Maisel & Associates, a Partnership.