

# PD 1261

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DEPARTMENT OF PLANNING AND DEVELOPMENT  
CITY OF CHICAGO

January 4, 2023

Katherine C. Jahnke Dale  
DLA Piper LLP (US)  
444 West Lake Street, Suite 900  
Chicago, Illinois 60606

**Re: Minor change for PD No. 1261, 4041 and 4125 W. George Street.**

Dear Ms. Dale:

Please be advised that your request for a minor change to Subareas E and F of Residential-Business Planned Development No. 1261 ("PD 1261"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance.

Your client and the sole owner of PD 1261, KV 4000 Diversey Industrial, LLC, is seeking a minor change for the following modifications to the site and landscape plans and the elevations:

- Increased footprint and floor area of Building E from 74,943 square feet to 79,194 square feet.
- Modified building height of Building E from 44'-2" to the coping (and 51'-5" to the visible roof beyond) to 48'-0" to the coping with no visible roof beyond.
- Increased Building E minimum front setback from 4'-6" from the building face to the property line (and 6'10" from the property line to the curb) to 6'-10" from the building face to the property line (and 6'10" from the property line to the curb).
- Revised precast panel pattern on the north, south, east, and west elevations of Building E.
- The applicant agrees to install a mural in the area designated on the north elevation of Building E as "future mural/artwork" after consultation with the Department of Cultural Affairs and Special Events and the Department of Planning and Development.
- New east elevation for Building E (previously omitted).
- Revised elephant and man door locations on Building E.
- Revised landscape plan for Building E to match revised door locations and exit paths.
- Increased floor area of Building F from 102,751 to 105,505 to account for an existing mezzanine.
- Revised north elevation of Building F to infill four existing loading dock doors and increase the size of one existing loading dock door.

The following revised drawings, dated December 16, 2022, are attached:

- Planned Development Property Line and Boundary Map
- Site Plan
- Overall Landscape Plan
- Building Elevations – Building E (North and East)
- Building Elevations – Building E (South and West)
- Building Elevations – Building F (North, South and West)

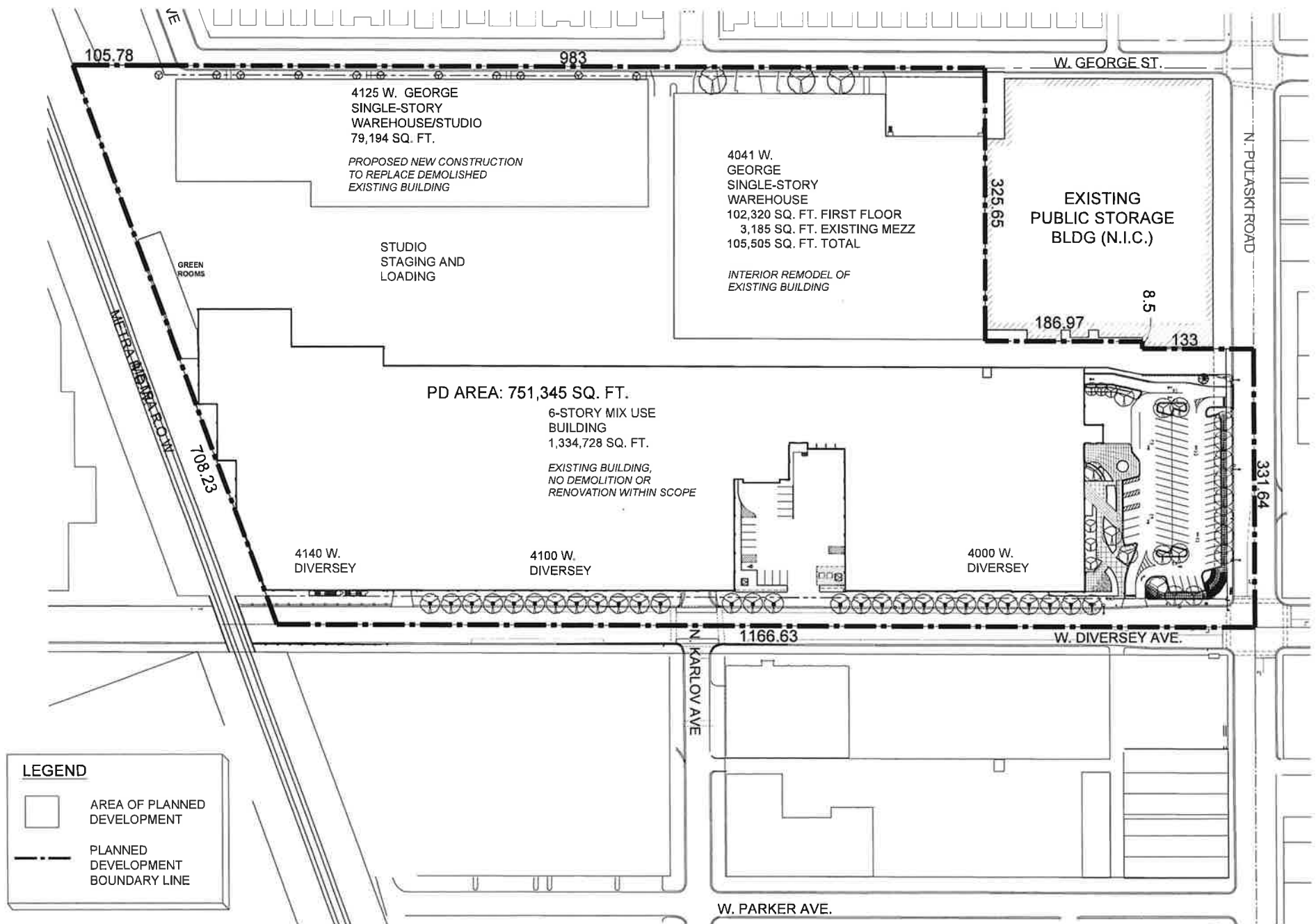
With regard to your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1261, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

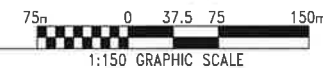


Noah Szafraniec  
Assistant Commissioner - Planned Developments and Plan Commission



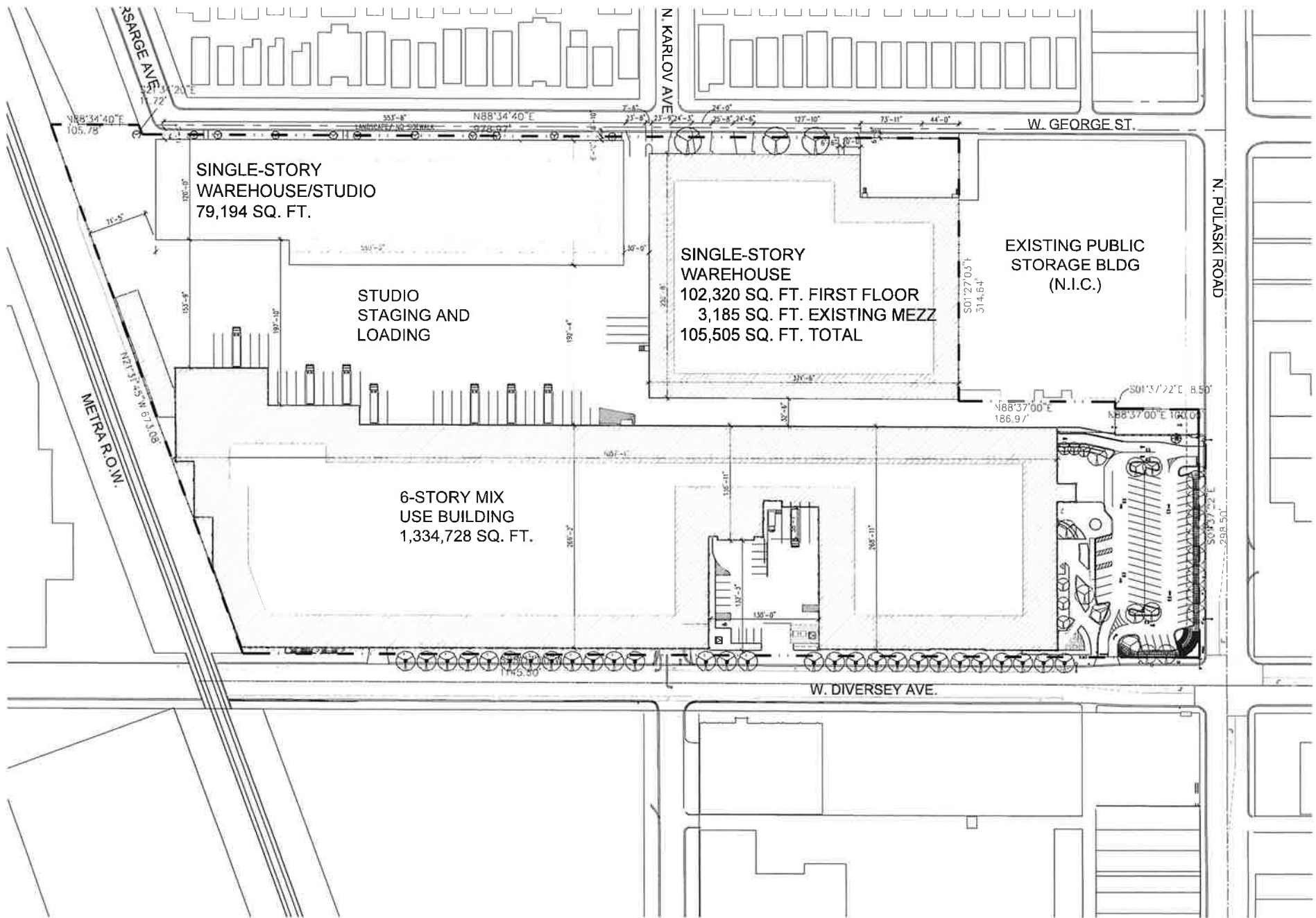
## PLANNED DEVELOPMENT PROPERTY LINE AND BOUNDARY MAP

Application: KV 4000 Diversey Commercial LLC  
 Address: 4000-4180 West Diversey Avenue; 4029-4153 West George  
 Introduced: September 9, 2020  
 Plan Commission: February 18, 2021



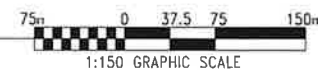
December 16, 2022





## SITE PLAN

Application: KV 4000 Diversey Commercial LLC  
 Address: 4000-4180 West Diversey Avenue; 4029-4153 West George  
 Introduced: September 9, 2020  
 Plan Commission: February 18, 2021



December 16, 2022

# W. DIVERSEY AVE. LANDSCAPE INFORMATION:

TOTAL TREE PROVIDED

28 TREES  
25FT O.C. AND PER CITY OF  
CHICAGO LANDSCAPE GUIDELINES

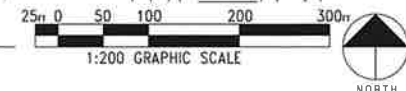
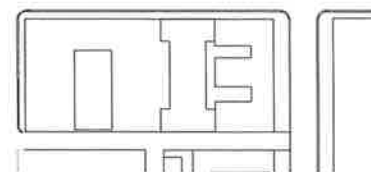
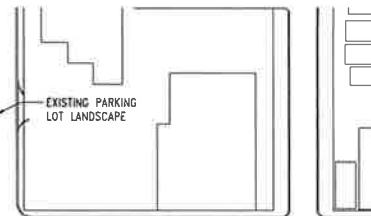
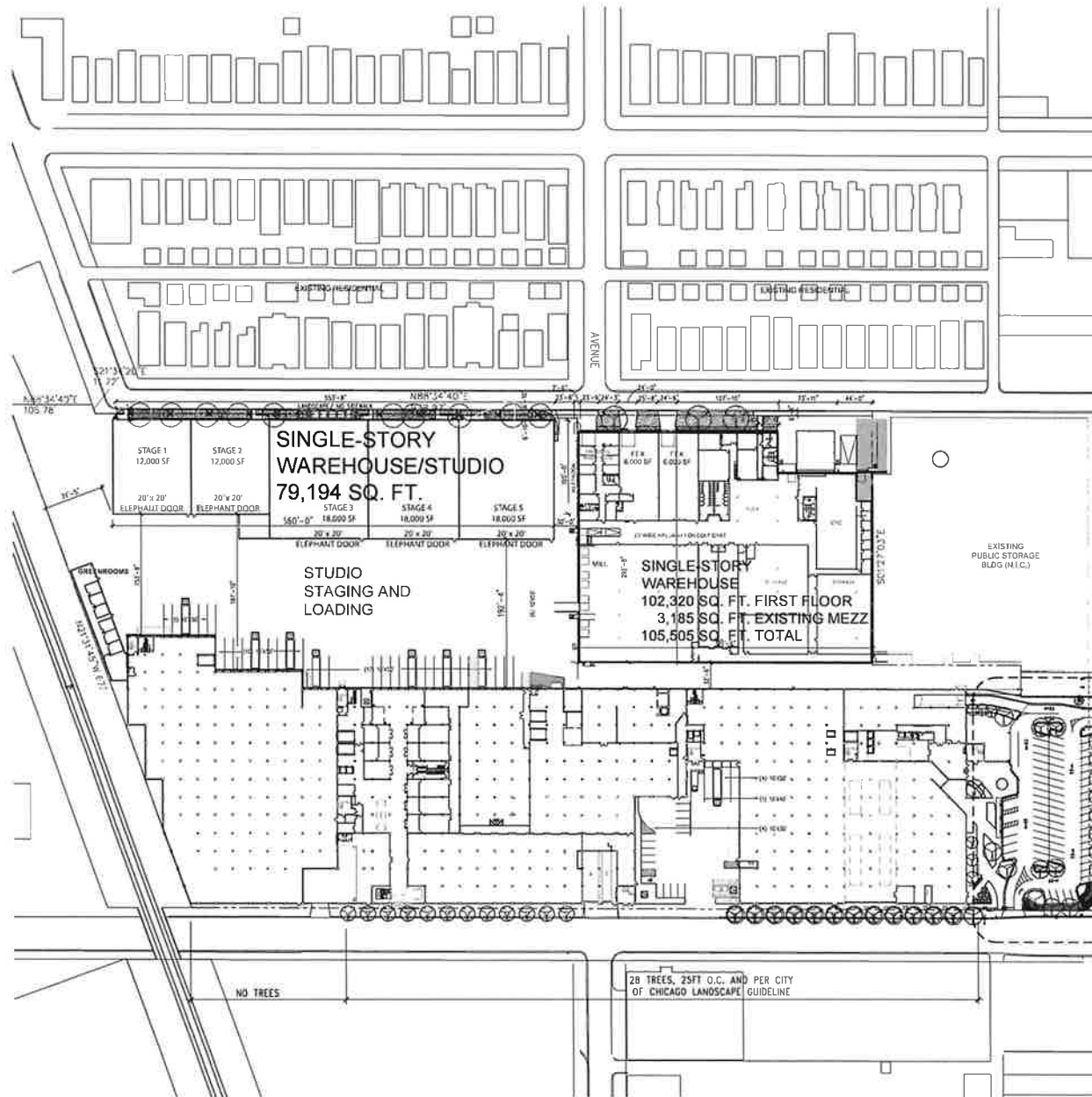
## LANDSCAPE PLAN NOTES:

1. TREE SPECIES TO BE SELECTED FROM "DECIDUOUS SHADE TREES" LIST ON PLANT LIST.

## PLANT LIST:

BOTANICAL NAME	COMMON NAME
<u>DECIDUOUS SHADE TREES</u>	
ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE
GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO
PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR
ULMUS X 'MORTON GLOSSY'	TRIUMPH ELM

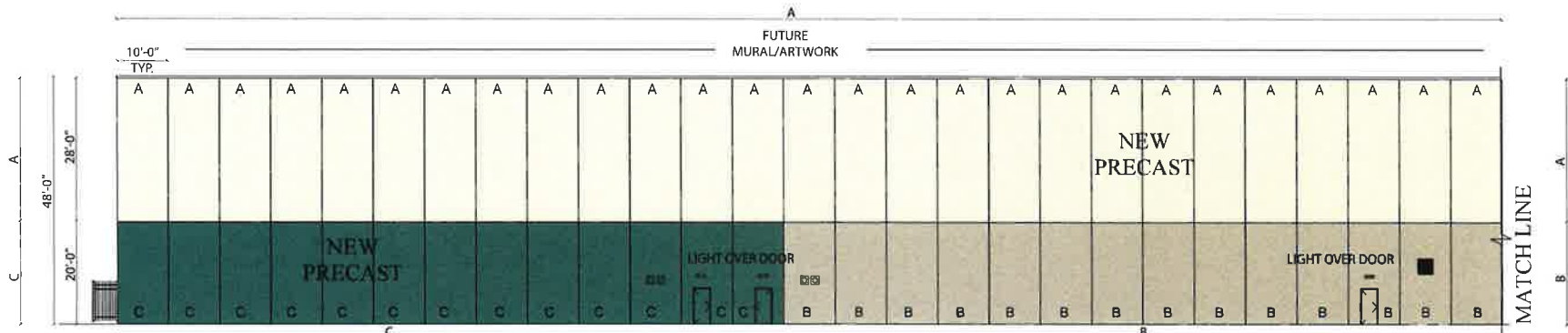
EXISTING  
PROPOSED



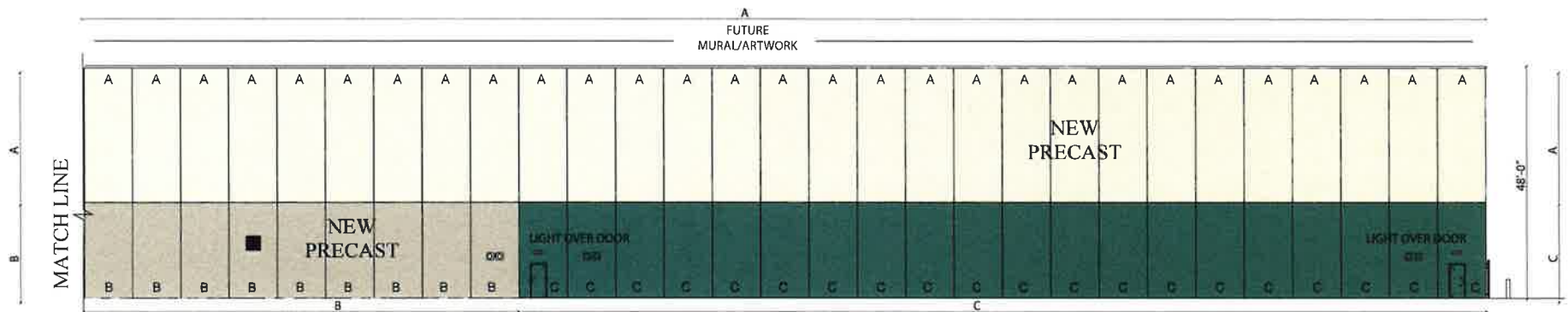
## OVERALL LANDSCAPE PLAN

Application: KV 4000 Diversey Commercial LLC  
Address: 4000-4180 West Diversey Avenue; 4029-4153 West George  
Introduced: September 9, 2020  
Plan Commission: February 18, 2021

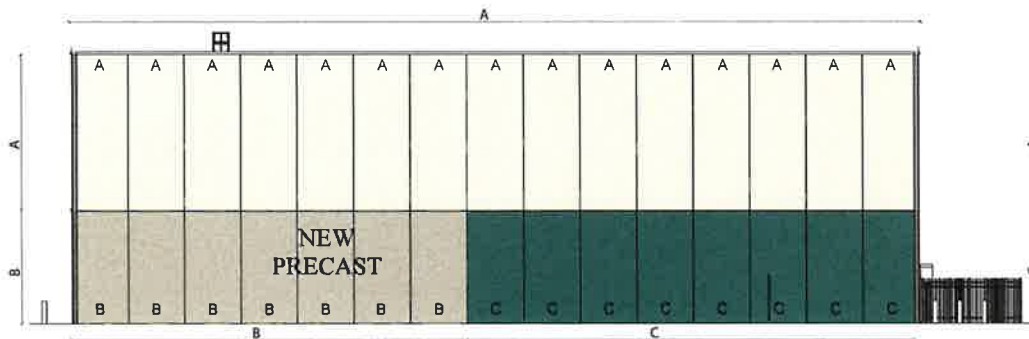
December 16, 2022



NORTH ELEVATION - EAST HALF



NORTH ELEVATION - WEST HALF



EAST ELEVATION

Upper Precast Panel  
from 20'-0" to 48'-0":  
Integral White color: A-1090  
Finish: Acid Etch



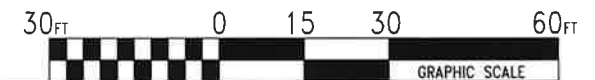
Lower Precast Panel  
from 0'-0" to 20'-0":  
Integral White color: A-1090  
Finish: Medium Sandblast



Lower Precast Panel  
from 0'-0" to 20'-0":  
Integral White color: A-1090  
Finish: Medium Sandblast  
w/Color Stain Pantone 626C



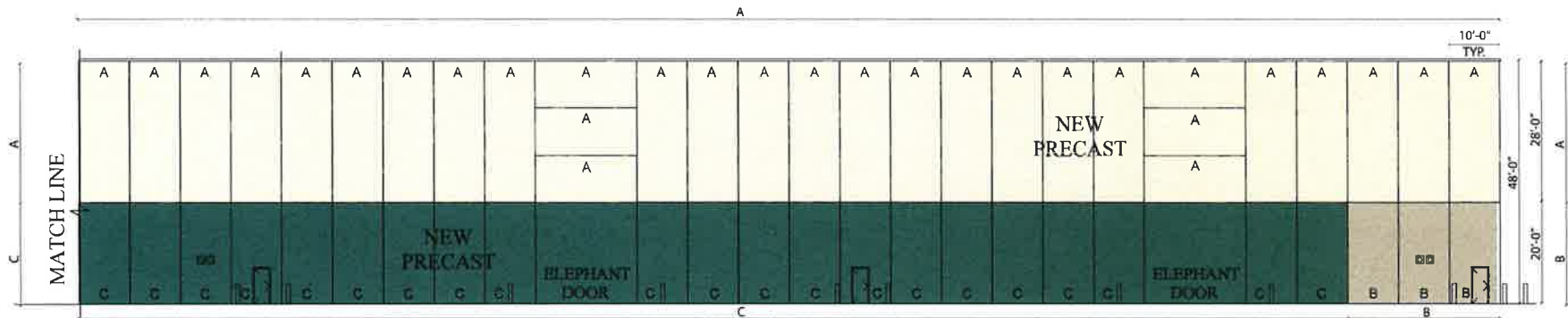
THE APPLICANT SHALL CONSULT WITH THE DEPARTMENT OF CULTURAL AFFAIRS AND SPECIAL EVENTS AND THE DEPARTMENT OF PLANNING AND DEVELOPMENT ON THE SELECTION OF ARTWORK TO BE INSTALLED IN THE AREA DESIGNATED ON THE NORTH ELEVATION OF BUILDING E AS "FUTURE MURAL/ARTWORK".



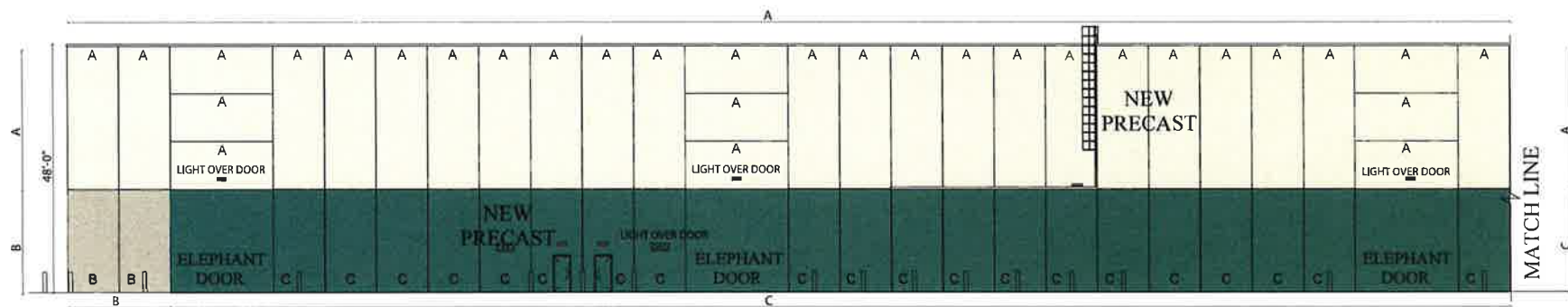
## BUILDING ELEVATIONS - BUILDING E (NORTH AND EAST)

Application: KV 4000 Diversey Commercial LLC  
Address: 4000-4180 West Diversey Avenue; 4029-4153 West George  
Introduced: September 9, 2020  
Plan Commission: February 18, 2021

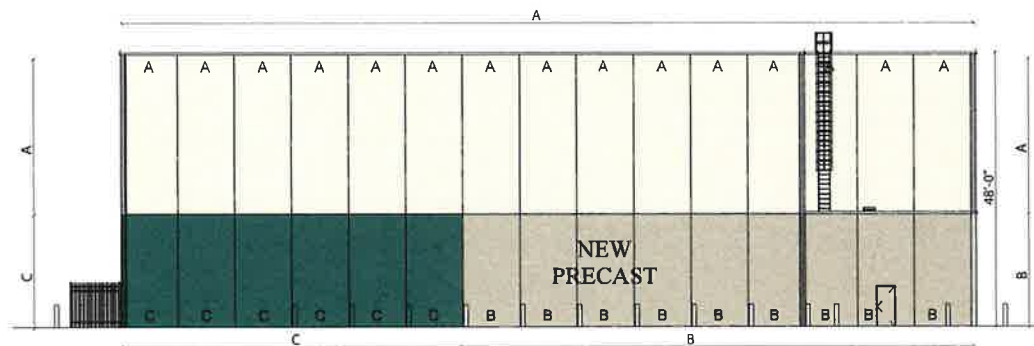
December 16, 2022



SOUTH ELEVATION - EAST HALF

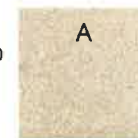


SOUTH ELEVATION - WEST HALF



WEST ELEVATION

Upper Precast Panel  
from 20'-0" to 48'-0":  
Integral White color: A-1090  
Finish: Acid Etch



Lower Precast Panel  
from 0'-0" to 20'-0":  
Integral White color: A-1090  
Finish: Medium Sandblast



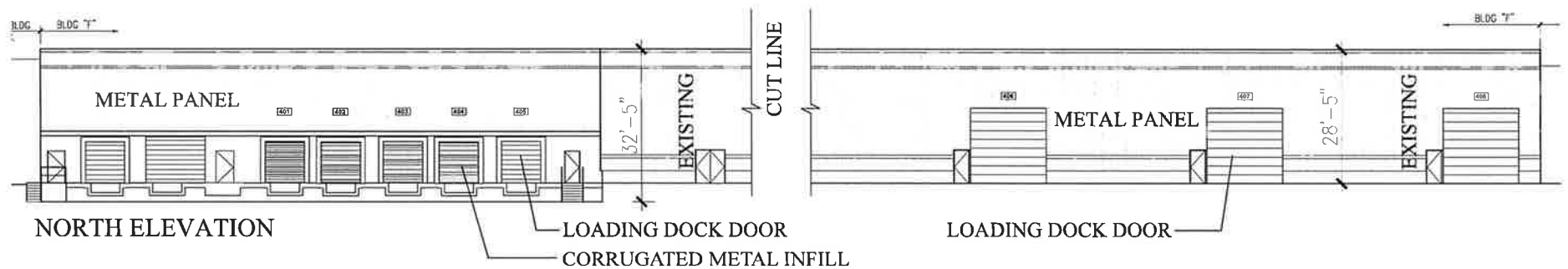
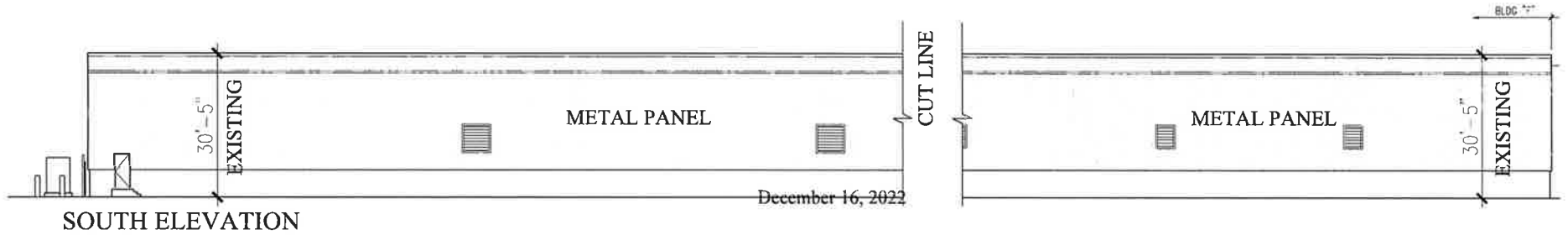
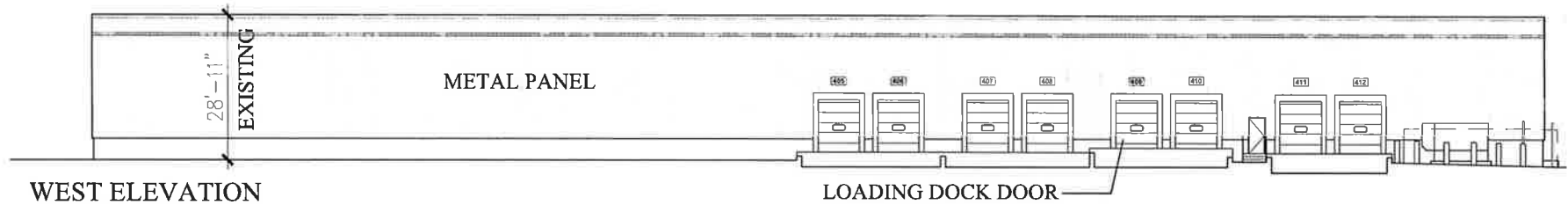
Lower Precast Panel  
from 0'-0" to 20'-0":  
Integral White color: A-1090  
Finish: Medium Sandblast  
w/Color Stain Pantone 626C



## BUILDING ELEVATIONS - BUILDING E (SOUTH AND WEST)

Application: KV 4000 Diversey Commercial LLC  
Address: 4000-4180 West Diversey Avenue; 4029-4153 West George  
Introduced: September 9, 2020  
Plan Commission: February 18, 2021

December 16, 2022



# **BUILDING ELEVATIONS - BUILDING F (NORTH, SOUTH AND WEST)**

Application: KV 4000 Diversey Commercial LLC  
 Address: 4000-4180 West Diversey Avenue; 4029-4153 West George  
 Introduced: September 9, 2020  
 Plan Commission: February 18, 2021



December 16, 2022

20486

*Reclassification Of Area Shown On Map No. 7-K.*

(As Amended)

(Application No. 20486)

(Common Address: 4000 -- 4180 W. Diversey Ave./4029 -- 4153 W. George St.)

[SO2020-4581]

PD1261,99

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the Planned Development Number 1261 symbols and indications as shown on Map Number 7-K in the area bounded by:

West George Street; a line 286.97 feet west of and parallel to North Pulaski Road; a line 314.64 feet south of and parallel to West George Street; a line 100 feet west of and parallel to North Pulaski Road; a line 323.14 feet south of and parallel to West George Street; North Pulaski Road; West Diversey Avenue; the easterly right-of-way line of the Chicago, Milwaukee, St. Paul & Pacific Railroad Company; a line 673.08 feet northwest of and parallel to the north line of West Diversey Avenue (as measured along the easterly right-of-way line of the Chicago, Milwaukee, St. Paul & Pacific Railroad Company); and the west boundary line of North Kearsarge Avenue,

to those of Planned Development Number 1261, as amended, which is hereby established in the area above described, subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Planned Development No. 1261, As Amended.*

*Planned Development Statements.*

1. The area delineated herein as Planned Development Number 1261, as amended ("Planned Development") consists of approximately 691,996 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). KV 4000 Diversey Commercial LLC owns a portion of the Property and is the "Applicant" pursuant to authorization from the other owners.

2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Chicago Department of Transportation ("CDOT") on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans (as defined in Statement 4 below).

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Department of Planning and Development ("DPD") and CDOT. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT.

All work proposed in the public way must be designed and constructed in accordance with CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by CDOT.

4. This plan of development consists of eighteen (18) Statements; a Bulk Regulations Table; an Existing Land-Use Map; an Existing Zoning Map; a Planned Development Property Line and Boundary Map; Site Plan; Subarea Plan; Landscape Plan; Overall Landscape Plan; Green Roof Plan and Building Elevations (North, South, East and West) prepared by Hirsch Associates LLC and dated February 18, 2021 submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with DPD. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.



5. Subareas A and B: Residential dwelling units above the ground floor; artist work or sales space; office; high technology office; business support services; communication service establishments; eating and drinking establishments (all, including outdoor patio at grade and rooftop); food and beverage retail sales; retail sales, general; indoor special event including incidental liquor sales; small and medium venues; banquet or meeting halls; cultural exhibits and libraries; sports and recreation, participant; personal service; repair and laundry services, consumer; children's play center; artisan and limited manufacturing; warehousing, wholesaling and freight movement; day care; parks and recreational uses and accessory parking.

Subarea C: Business/trade school; day care; postal service; artist work or sales space; building maintenance services; business equipment and sales service; business support services; urban farm -- indoor and/or rooftop operation; communication service establishments; building material sales; office; high technology office; residential storage warehouse; retail sales, general; eating and drinking establishments (all, including outdoor patio at grade and rooftop); food and beverage retail sales; indoor vehicle storage; artisan and limited manufacturing; warehousing, wholesaling and freight movement; wireless communication facilities and co-located; cultural exhibits and libraries; sports and recreation, participant; personal service; repair and laundry services, consumer; amusement arcades and children's play center; indoor special event including incidental liquor sales; small and medium venues; banquet or meeting halls; parks and recreational uses and accessory parking.

Subarea D: Business/trade school; artist work or sales space; building maintenance services; business equipment and sales service; business support services; urban farm -- indoor and/or rooftop operation; communication service establishments; building material sales; residential storage warehouse; artisan and limited manufacturing; eating and drinking establishments (all, including outdoor patio at grade and rooftop); food and beverage retail sales; office; high technology office; electronic data storage center; indoor vehicle storage; warehousing, wholesaling and freight movement; wireless communication facilities and co-located; cultural exhibits and libraries; sports and recreation, participant; personal service; repair and laundry services, consumer; amusement arcades and children's play center; indoor special event including incidental liquor sales; small and medium venues; banquet or meeting halls; day care; parks and recreational uses and accessory parking.

Subareas E and F: Building maintenance services; business equipment and sales service; business support services; communication service establishments; building material sales; residential storage warehouse; indoor vehicle storage; artisan and limited manufacturing; warehousing, wholesaling and freight movement; wireless communication facilities and co-located; office; high technology office; cultural exhibits and libraries; sports and recreation, participant; personal service; amusement arcades and children's play center; restaurant, general; food and beverage retail sales; retail sales, general; indoor special event including incidental liquor sales; small and medium venues; banquet or meeting halls; day care; parks and recreational uses and accessory parking.



The following uses are prohibited in this Planned Development:

Colleges and universities; hospitals; body art services; lodging, bed and breakfast, vacation rental; freestanding (towers) wireless communication facilities; contractor/construction storage yard; outdoor vehicle storage and towing; motor vehicle repair shop; vehicle sales and service; non-accessory parking; Class I and II recycling facilities; automated teller machine facility; undertaking; and medical service.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of DPD. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted floor area ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a net site area of 691,996 square feet.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.

13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. With respect to Subareas A -- D, the Applicant shall exceed ASHRAE 90.1 -- 2004 by at least 14 percent and provide a green roof of not less than 50 percent of the net roof area, which is equivalent to an actual total of 74,068 square feet. Some or all of the foregoing green roof requirement may be satisfied by providing one or a combination of the following options: (a) vegetative green roof, (b) provide solar panels with an array size equivalent to 25 percent of the area required for the green roof (i.e., in lieu of 50,000 square feet of green roof, providing 12,500 square feet of solar panels) or (c) providing Best Management Practice (BMP) by offsetting the equivalent stormwater value of a green roof either in a cistern, a rain garden, pervious hardscape or other method which will divert the equivalent value achieved by a green roof from the stormwater system. At the time of each Part II Review for all or portions of Subareas A -- D involving over 50,000 square feet of floor area, the Applicant shall submit a report demonstrating its progress towards the sustainability requirements set forth herein, which may be updated with subsequent phases of development. Subareas E and F shall be exempt from the requirements set forth in this Statement 14.
15. The Applicant acknowledges that the Planned Development includes a building commonly known as the Marshall Field & Company Warehouse Building and identified as potentially significant in the Chicago Historic Resources Survey. Pursuant to the Zoning Ordinance, Section 17-8-0911 and Section 13-32-230 of the Municipal Code, the Applicant acknowledges that planned developments should give priority to the adaptive reuse of historic buildings which have been designated as an orange building in the Chicago Historic Resources Survey. Therefore, the applicant agrees, where possible, to retain and preserve the existing character-defining features of the building. The character-defining features are identified as all exterior elevations, including rooflines, that are visible from the public rights-of-way; however, the Applicant may add or modify openings, entries or windows to accommodate tenant uses. In general, existing original features and materials of the character-defining features should be retained and preserved as much as reasonably possible, while any changes should be compatible with the building's current design and, where possible, historic character. Such work to the character-defining features shall be subject to the review and approval of the Department of Planning and Development as a part of the Part II Review.

16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned Development Number 1261 to Planned Development Number 1261, as amended, triggers the requirements of Section 2-45-115 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a residential housing project within the meaning of the ARO must: (i) set aside 10 percent of the housing units in the residential housing project (the "Required Units") as affordable units, or with the Commissioner of the Department of Planning and Development's (DPD) approval, provide the Required Units in an approved off-site location; (ii) pay a fee in lieu of the development of the Required Units; or, (iii) any combination of (i) and (ii); provided, however, that residential housing projects with 20 or more units must provide at least 25 percent of the Required Units on-site or off-site. If the developer elects to provide affordable units off-site, the off-site affordable units must be located within a two-mile radius from the residential housing project and in the same or a different higher income area or downtown district. The Property is located in a higher income area, within the meaning of the ARO, and the proposed amendment would allow 124 permitted units. As a result, the Applicant's affordable housing obligation is 12 affordable units (10 percent of 124 rounded down), 3 of which are Required Units (25 percent of 12). Applicant has agreed to satisfy its affordable housing obligation by providing all 12 affordable units in the rental building, as set forth in the Affordable Housing Profile Form attached hereto as Exhibit \_\_\_\_\_. The Applicant agrees that the affordable rental units must be affordable to households earning no more than 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually by the City of Chicago. If the Applicant subsequently reduces (or increases) the number of housing units in the P.D., the Applicant shall update and resubmit the Affordable Housing Profile Form to DPD for review and approval; DPD may adjust the number of required Affordable Units without amending the P.D. Prior to the issuance of any building permits for any residential building in the P.D. including, without limitation, excavation or foundation permits, the Applicant must execute and record an affordable housing agreement in accordance with Section 2-45-115(L). The terms of the affordable housing agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the affordable housing agreement will be recorded against the P.D., or the applicable portion thereof, and will constitute a lien against such property. The Commissioner of DPD may enforce remedies for any breach of this Statement 16, including any breach of any affordable housing agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the P.D.
17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority- and Women-owned Business Enterprises ("M/WBEs") and city residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and city resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design,

engineering and construction of the project, and of city residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and \*(ii) 50 percent city resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the applicant's proposed outreach plan designed to inform M/WBEs and city residents of job and contracting opportunities. Second, at the time of the applicant's submission for Part II permit review for the project or any phase thereof, the applicant must submit to DPD (a) updates (if any) to the applicant's preliminary outreach plan, (b) a description of the applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and city resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the applicant must provide DPD with the actual level of M/WBE and city resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and city residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and city residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

18. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of DPD shall initiate a zoning map amendment to rezone the Property to Planned Development Number 1261, as it existed prior to this amendment.

[Affordable Housing Profile Form referred to in these  
Plan of Development Statements unavailable  
at time of printing.]

[Existing Land-Use Map; Existing Zoning Map; Property Line and Boundary Map;  
Site Plan; Overall Landscape Plans; Subarea Building Identification Plan;  
Building Elevations; and Enlarged Building Elevations referred to  
in these Plan of Development Statements printed on  
pages 28160 through 28177 of this *Journal*.]

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\* Editor's Note: Numbering sequence error; (i) missing in original document.

2/26/2021

REPORTS OF COMMITTEES

20486

28159

Bulk Regulations and Data Table referred to in these Plan of Development Statements read as follows:

*Planned Development No. 1261, As Amended.*

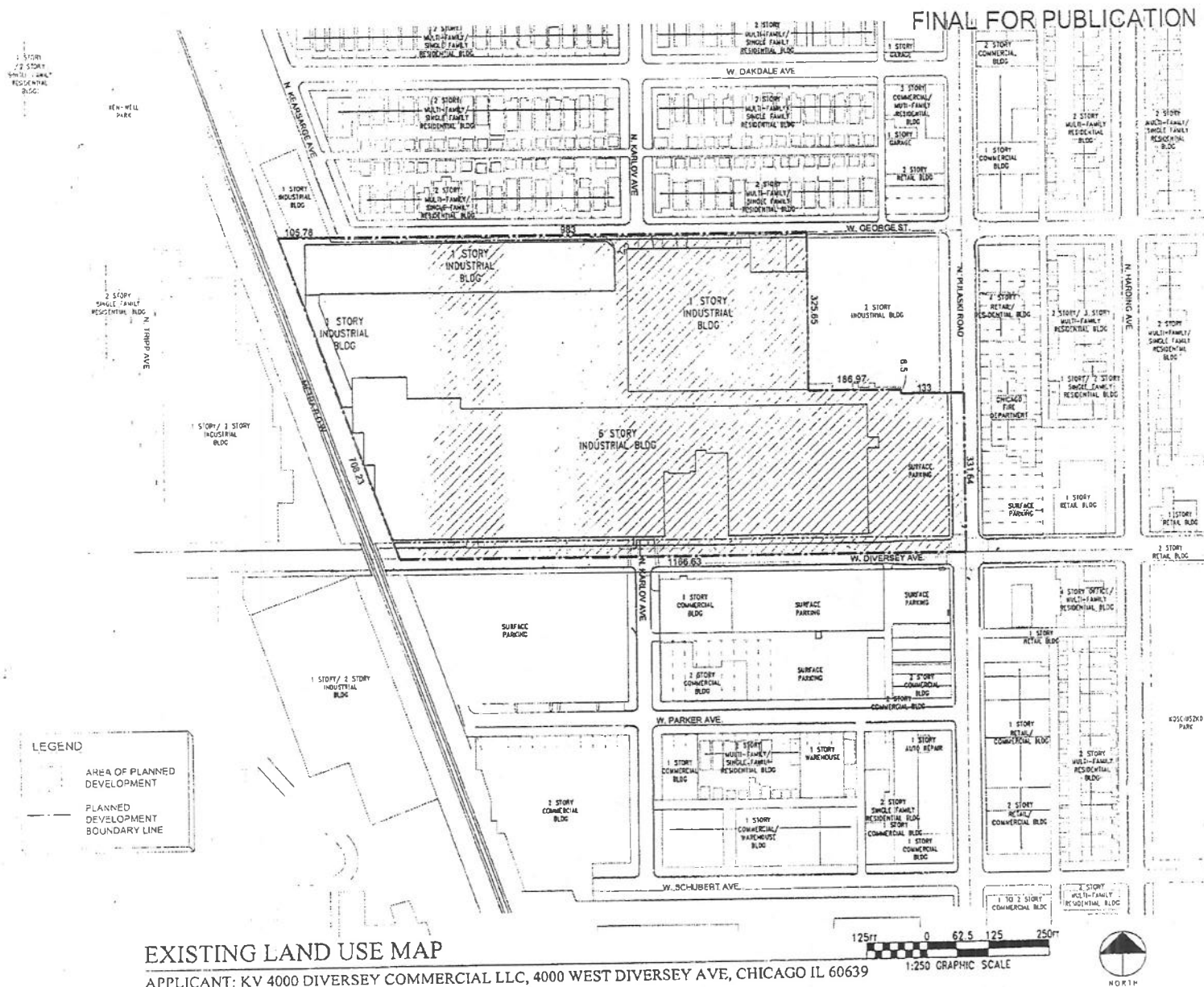
*Bulk Regulations And Data Table.*

Gross Site Area:	751,345 square feet
Public Right-of-Way:	59,349 square feet
Net Site Area -- Total:	691,996 square feet
Maximum Floor Area Ratio:	2.2
Maximum Floor Area (square feet) Total:	1,522,391 square feet
Maximum Number Dwelling Units:	124
Maximum Site Coverage:	Per Site Plan
Minimum Number of Bike Parking:	50
Minimum Number of Off-Street Parking Spaces:	623 spaces (See Note 1)
Minimum Number of Off-Street Loading Berths:	As required by Zoning Ordinance
Maximum Building Height (feet):	96 feet, 7 inches

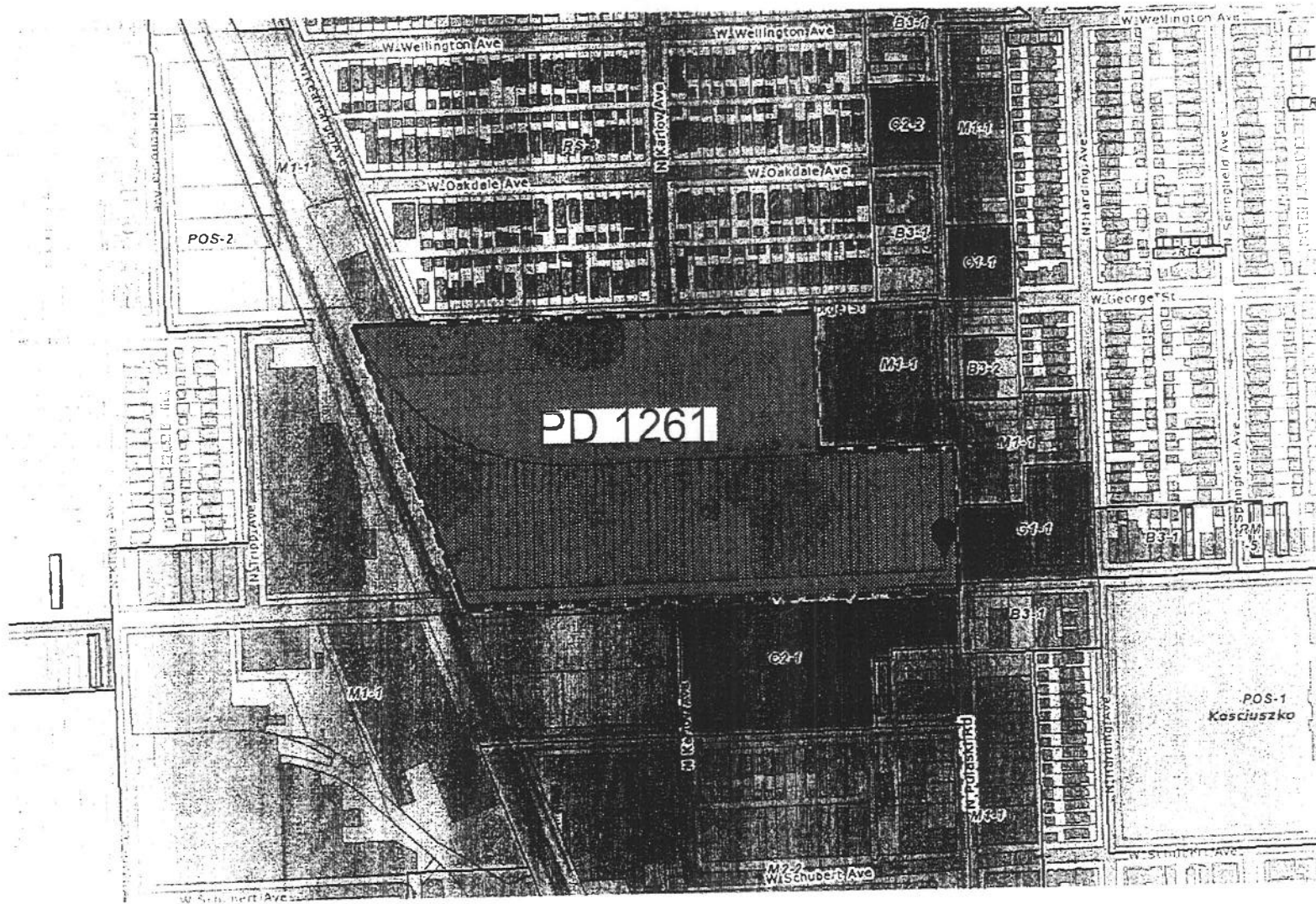
Note 1: The parking facilities may be used on a shared basis to satisfy the accessory parking requirements for multiple uses within this planned development.

The following uses shall be subject to the following requirements:

- Residential Dwelling Units: 0.70 spaces per unit
- Office; High Technology Office: 1.5 spaces per 1,000 square feet
- If a Food and Beverage Retail Sales use is established in Subareas A or B, then the east surface parking lot along North Pulaski Road shall be installed.



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EXISTING ZONING MAP (400' in each direction)

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
DATE: FEBRUARY 18, 2021



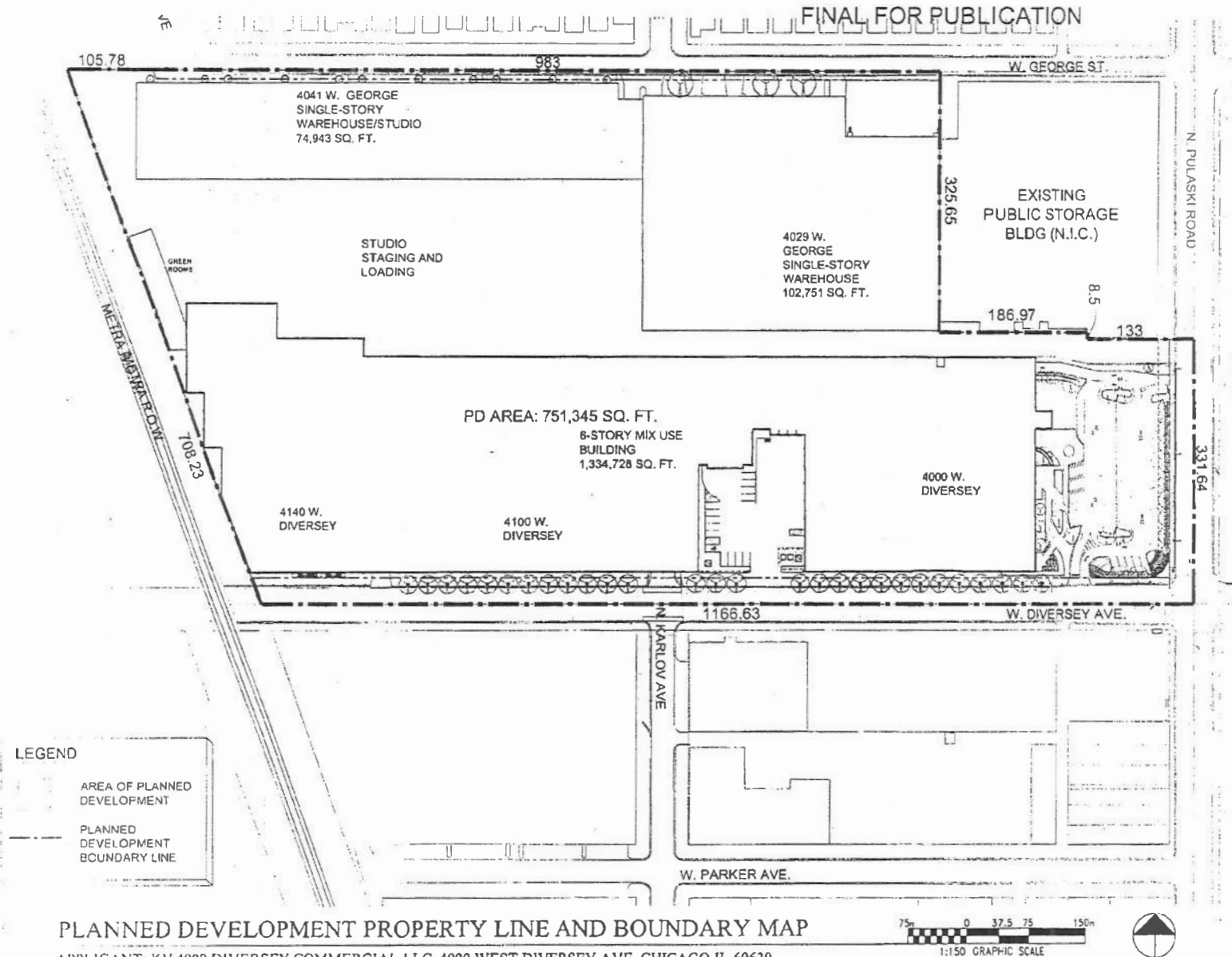
2/26/2021

REPORTS OF COMMITTEES

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## PLANNED DEVELOPMENT PROPERTY LINE AND BOUNDARY MAP

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
FEBRUARY 18, 2021

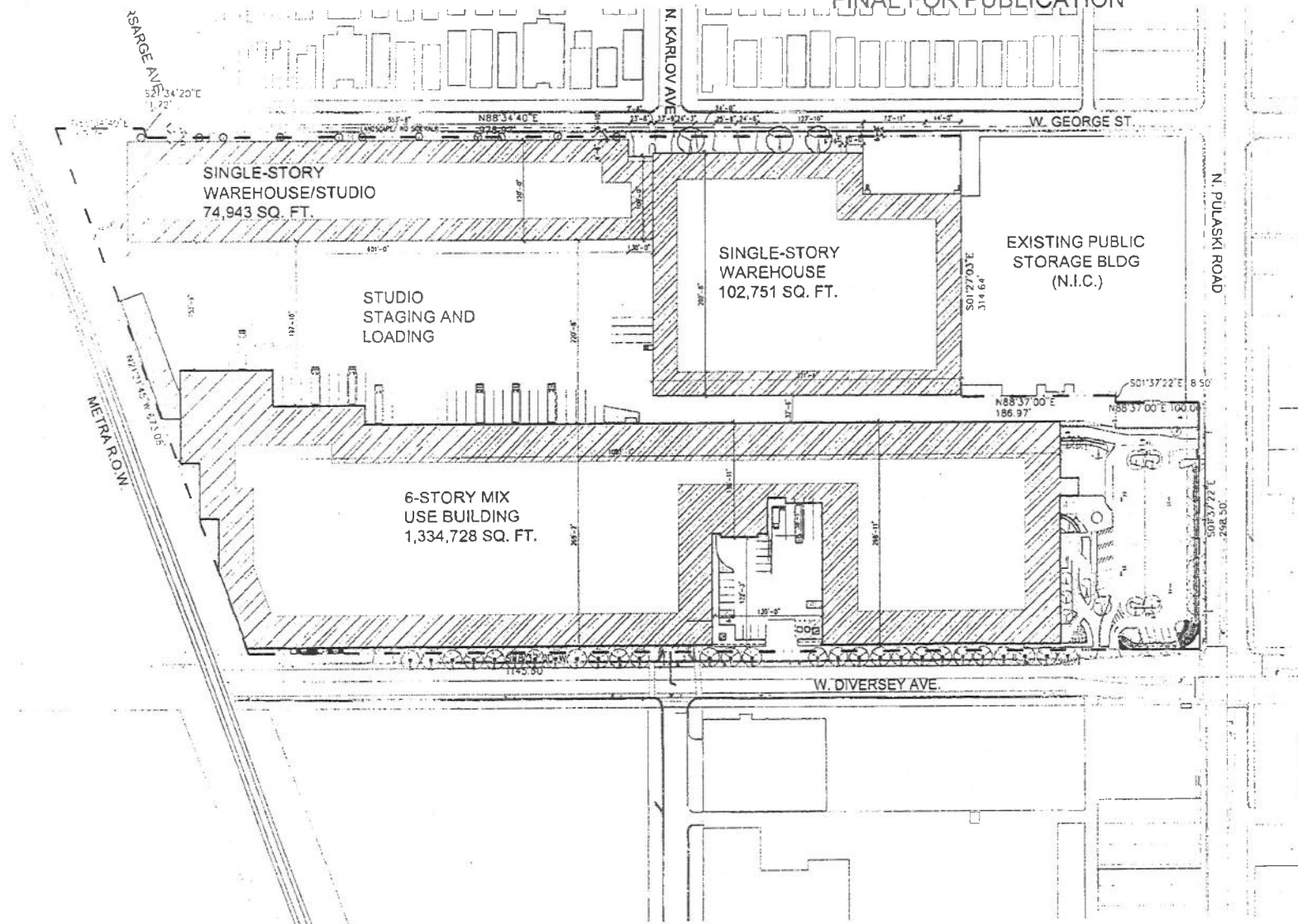


2/26/2021

REPORTS OF COMMITTEES

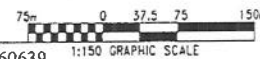
28163

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# SITE PLAN

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
FEBRUARY 18, 2021



# FINAL FOR PUBLICATION

## W. DIVERSEY AVE. LANDSCAPE INFORMATION:

TOTAL TREE PROVIDED 28 TREES  
25FT O.C. AND PER CITY OF CHICAGO LANDSCAPE GUIDELINES

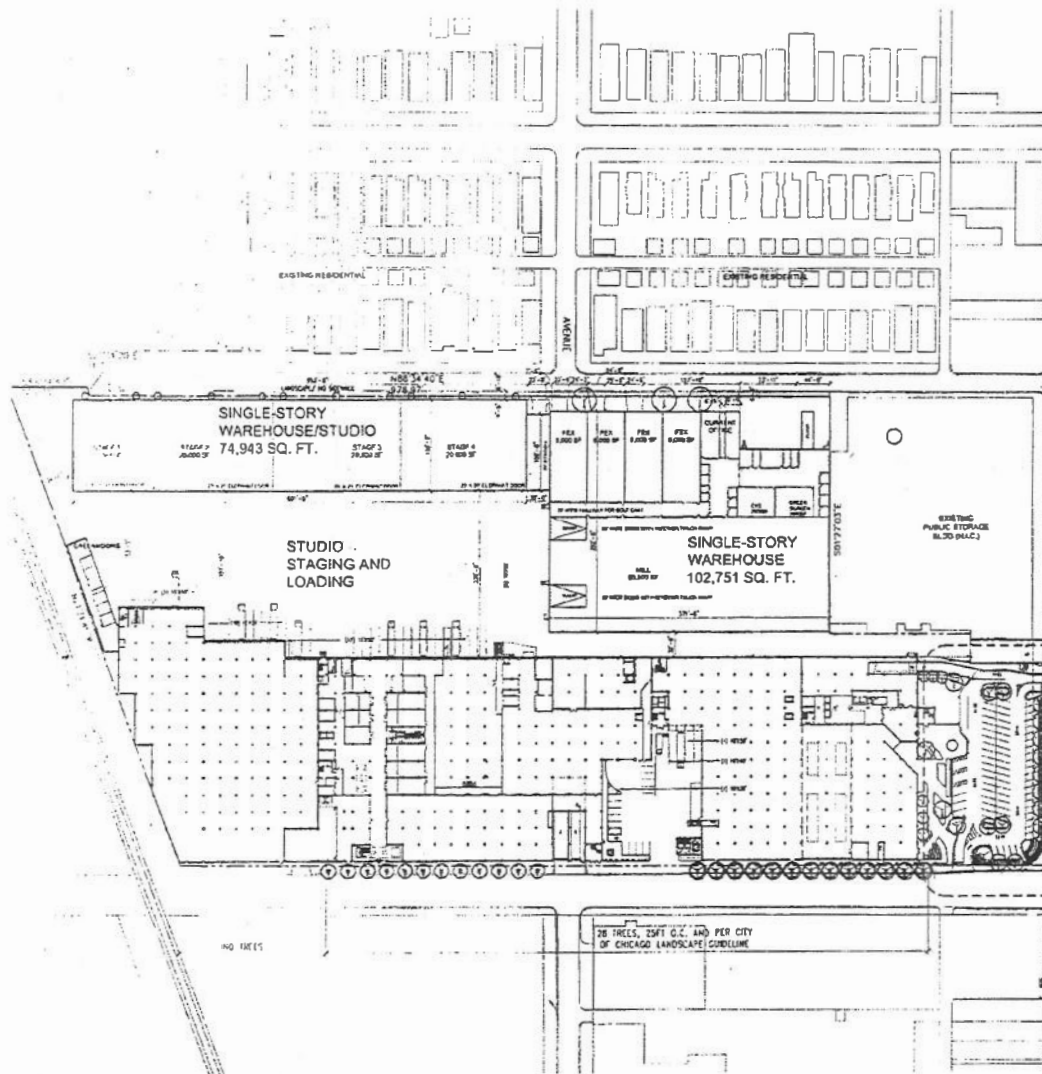
## LANDSCAPE PLAN NOTES:

- TREE SPECIES TO BE SELECTED FROM "DECIDUOUS SHADE TREES" LIST ON PLANT LIST.

## PLANT LIST:

BOTANICAL NAME	COMMON NAME
<b>DECIDUOUS SHADE TREES</b>	
ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE
GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO
PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR
ULMUS X 'MORTON GLASSY'	TRIUMPH ELM

☐ EXISTING  
☒ PROPOSED



## OVERALL LANDSCAPE PLAN

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
FEBRUARY 18, 2021

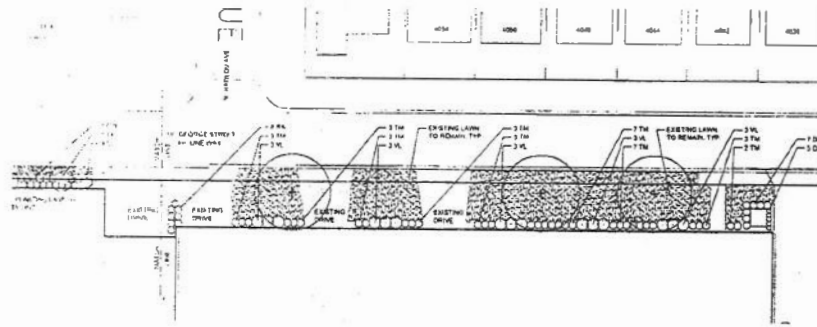


28164

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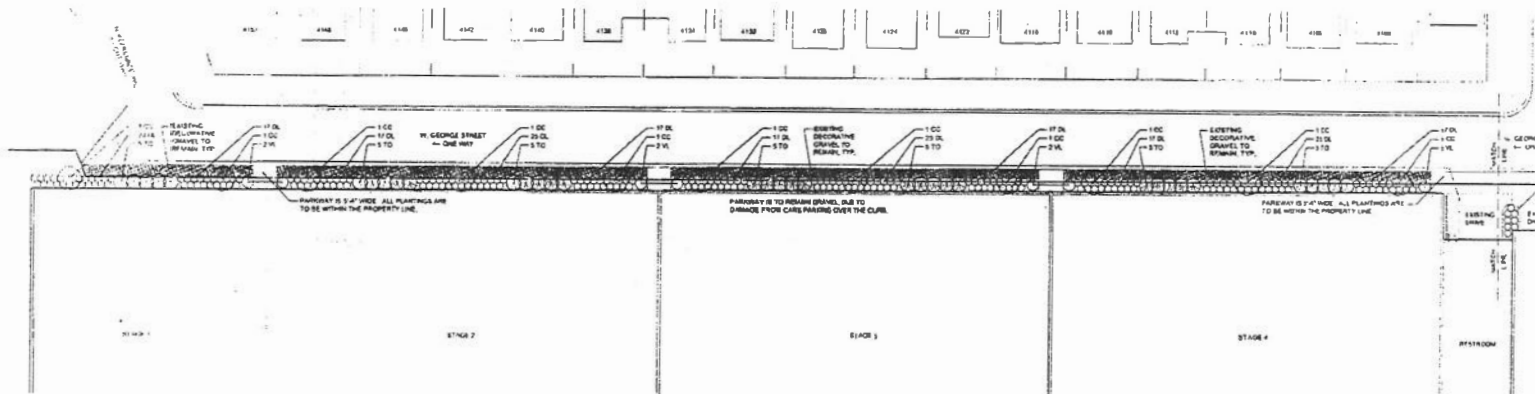
# FINAL FOR PUBLICATION



EAST HALF

## PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	ADDITIONAL NOTES
<b>TREES</b>					
CC	CARPINUS CAROLINIANA 'IN UPRIGHT'	FIRESPICE MUSCLEWOOD	7' HT.	11	BRANCHED UP 3'
TD	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	6' HT.	35	
<b>SHRUBS</b>					
DL	DIERVILLA LONICERA	DWARF BUSH-HONEYSUCKLE	18" HT x 18" W	224	
RA	RHUS AROMATICA 'CROLOW'	CROLOW SUMAC	12" HT x 18" W	8	
TM	TAXUS MEDIA 'RUNYAN'	RUNYAN DENSE YEW	18" HT x 18" W	33	
VL	VIBURNUM LANTANA 'MOHICAN'	MOHICAN VIBURNUM	30" HT x 30" W	22	
<b>ORNAMENTAL GRASSES</b>					
CA	CALAMAGROSTIS ACUT. 'KARL FOERSTER'	FEATHER REED GRASS	1 GA. LON.	5	SPACED 24" O.C.



WEST HALF

## LANDSCAPE PLAN - WEST GEORGE STREET

Application: KV 4000 Diversey Commercial LLC  
 Address: 4000-4180 West Diversey Avenue; 4029-4153 West George  
 Introduced: September 9, 2020  
 Plan Commission: February 18, 2021



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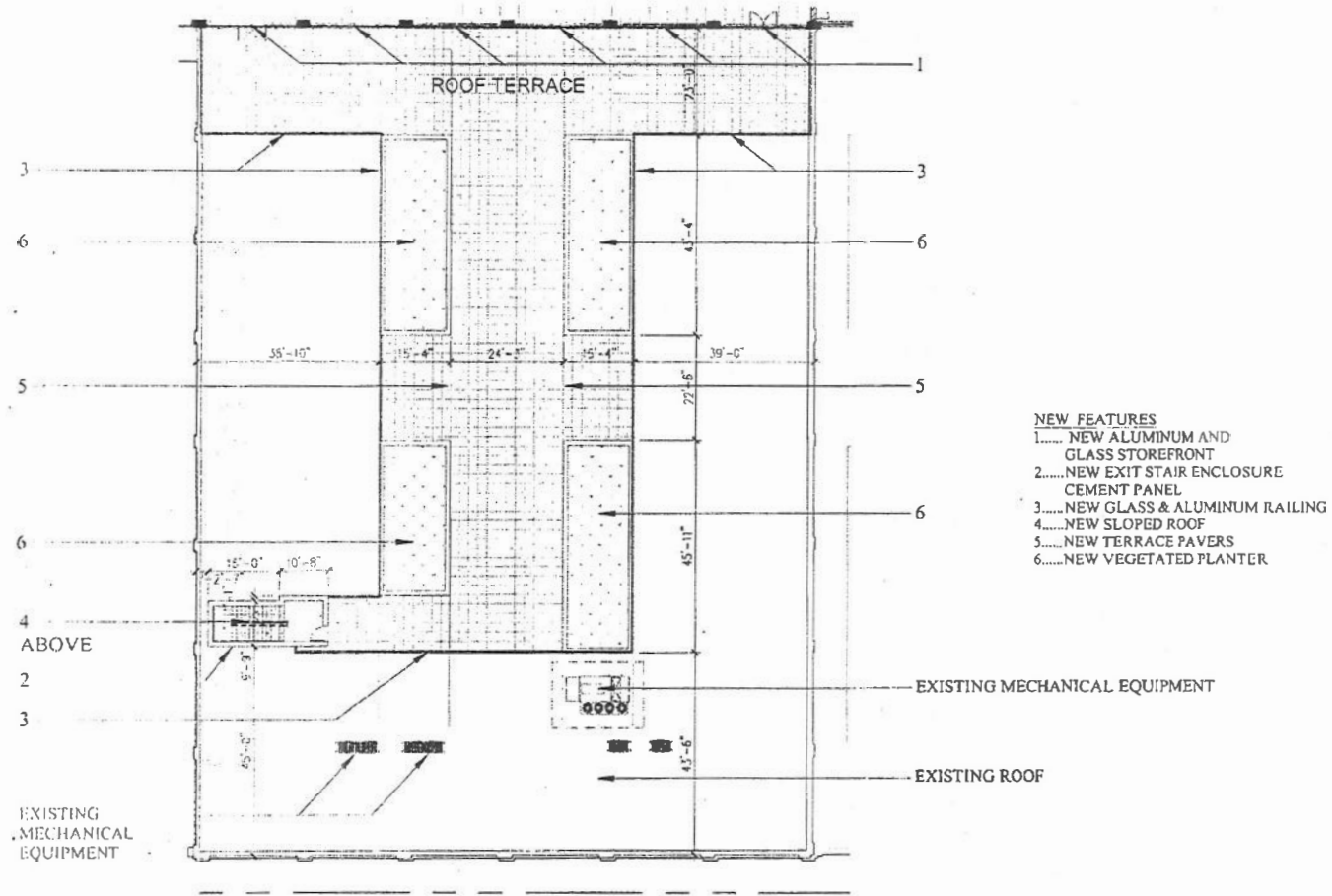
28165

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### B6 - LANDSCAPE PLAN

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639

February 18, 2021

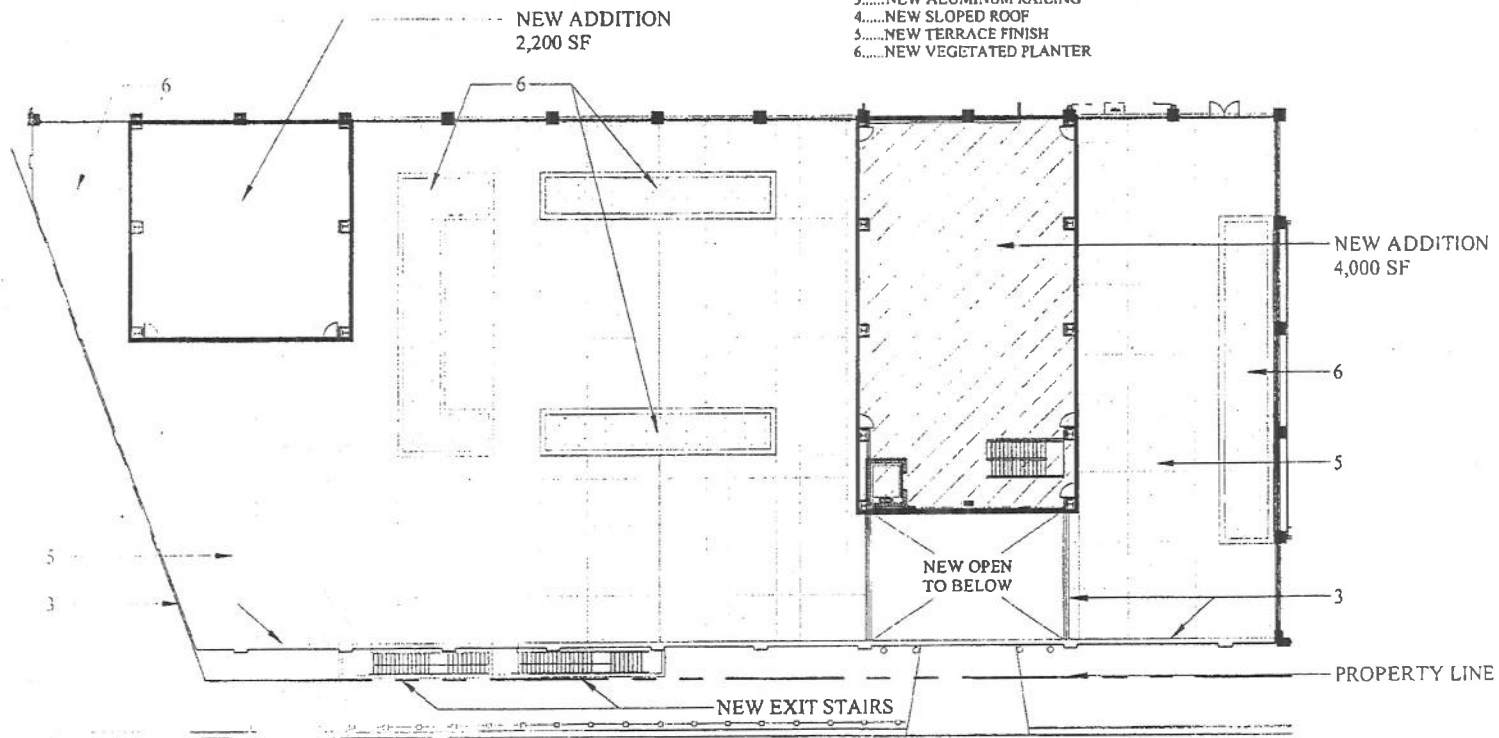
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REPORTS OF COMMITTEES

28167

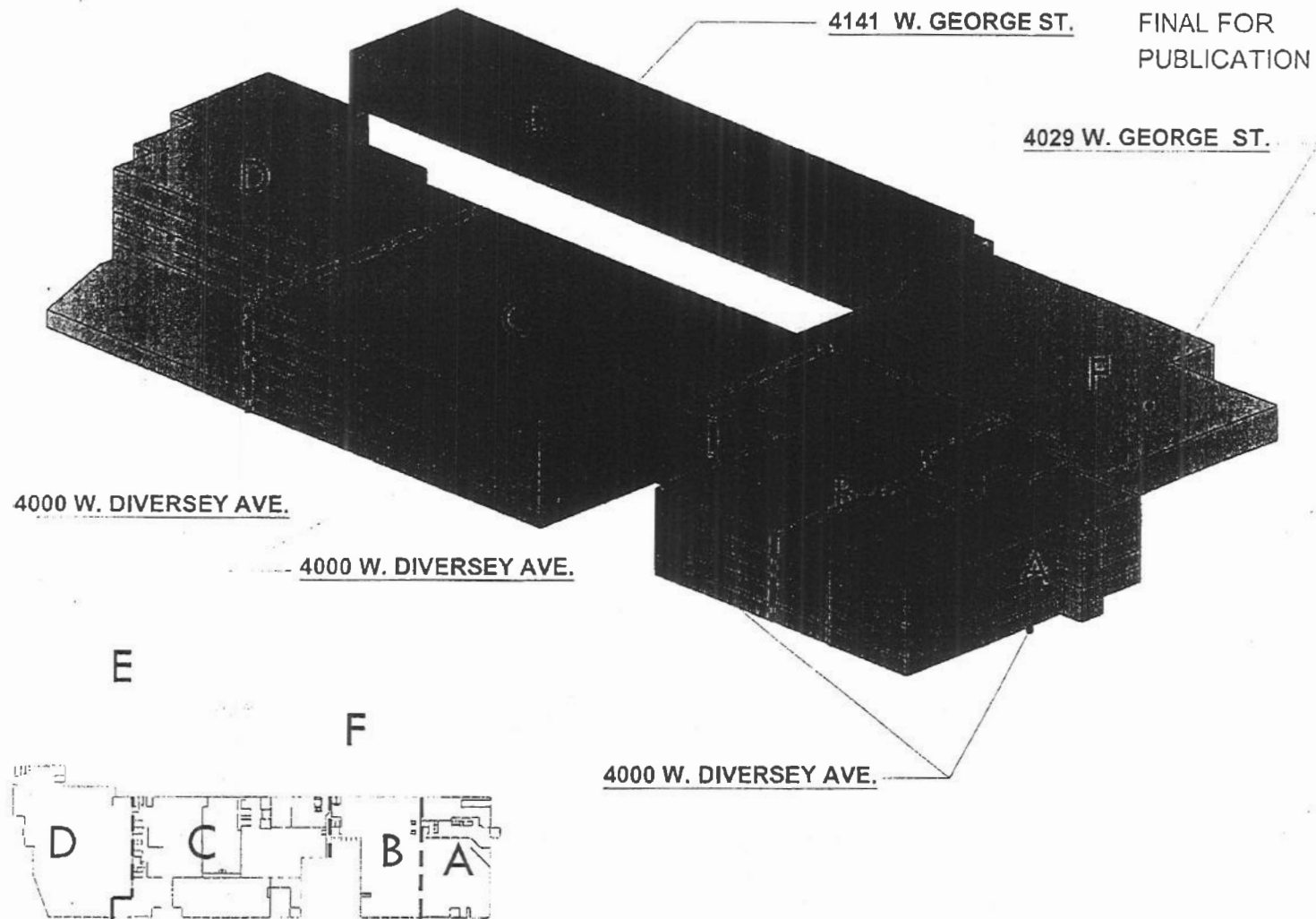
- NEW FEATURES**  
1..... NEW ALUMINUM AND  
GLASS STOREFRONT  
2.....NEW EXIT STAIR ENCLOSURE  
CEMENT PANEL  
3.....NEW ALUMINUM RAILING  
4.....NEW SLOPED ROOF  
5.....NEW TERRACE FINISH  
6.....NEW VEGETATED PLANTER



## D2 - LANDSCAPE PLAN

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
DATE: February 18, 2021





# SUB-AREA - BUILDING IDENTIFICATION PLAN

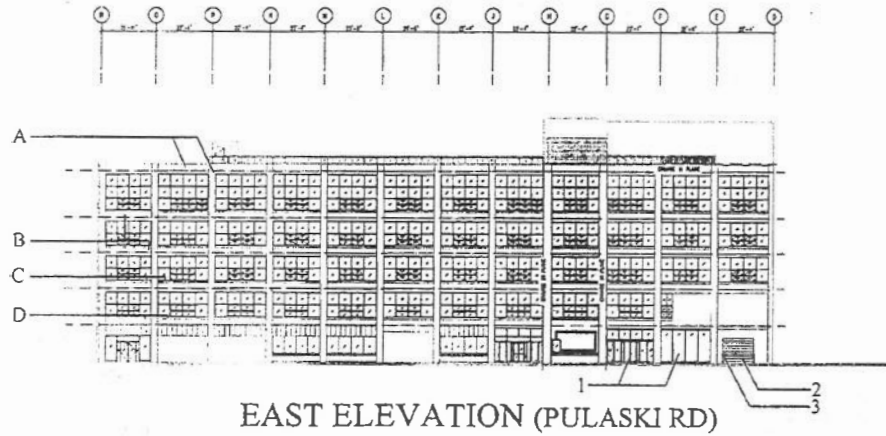
APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
DATE: February 18, 2021

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EXISTING FEATURES  
 A... PAINTED CONCRETE  
 B... BRICK VENEER  
 C... ALUMINUM FRAME WINDOWS  
 D... CONCRETE SILL (UNPAINTED)  
 E... LOADING DOCK  
 F... VENT OR LOUVER

NEW FEATURES  
 1... ALUMINUM STOREFRONT  
 2... VEHICULAR ACCESS RAMP  
 3... SWING DOOR  
 4... OVERHEAD DOOR

## BUILDING ELEVATIONS

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639

February 18, 2021

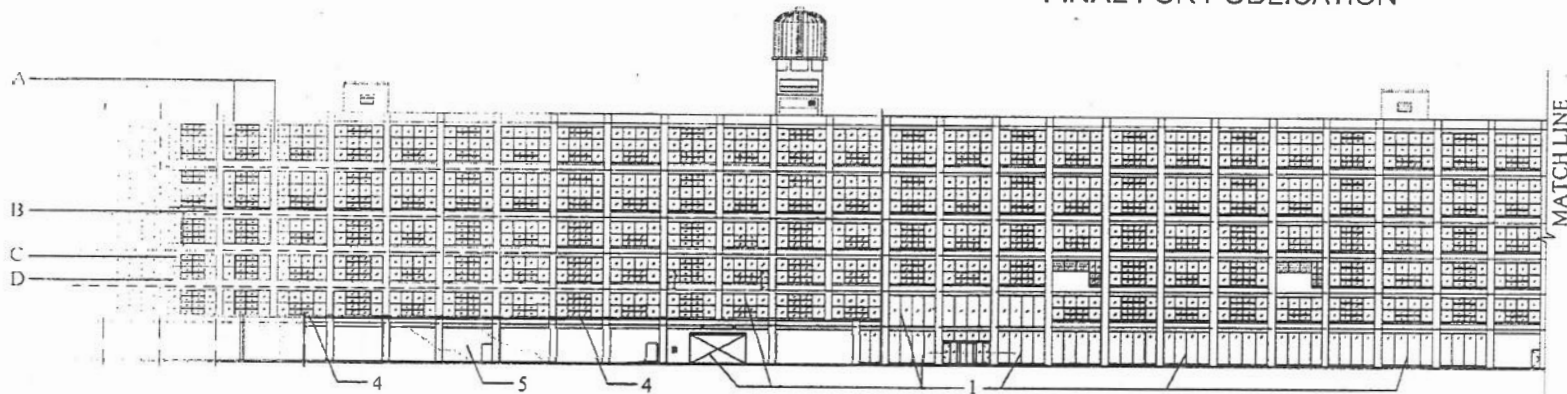


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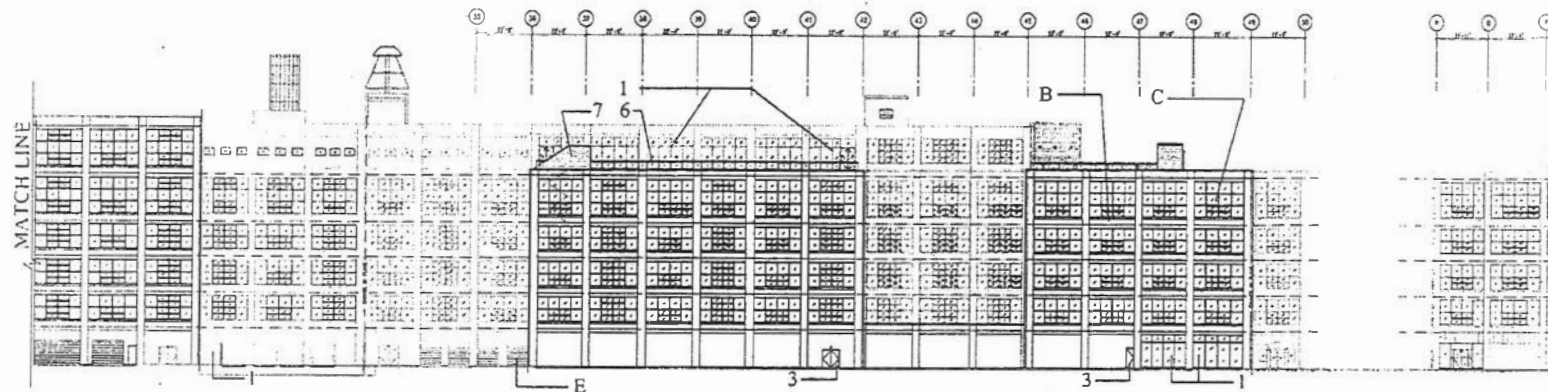
28170

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SOUTH ELEVATION - WEST HALF (DIVERSEY AVE)



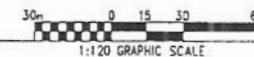
SOUTH ELEVATION - EAST HALF (DIVERSEY AVE)

EXISTING FEATURES  
A.....PAINTED CONCRETE  
B.....BRICK VENEER  
C.....ALUMINUM FRAME WINDOWS  
D.....CONCRETE SILL (UNPAINTED)  
E.....LOADING DOCK  
F.....VENT OR LOUVER

NEW FEATURES  
1.....ALUMINUM STOREFRONT  
2.....VEHICULAR ACCESS RAMP  
3.....SWING DOOR  
4.....NEW ALUMINUM RAILING  
5.....NEW BRICK AND PRECAST EXIT STAIRS  
6.....NEW GLASS AND ALUMINUM RAILING  
7.....NEW STAIR ENCLOSURE (CEMENT BOARD)

## BUILDING ELEVATIONS

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
February 18, 2021

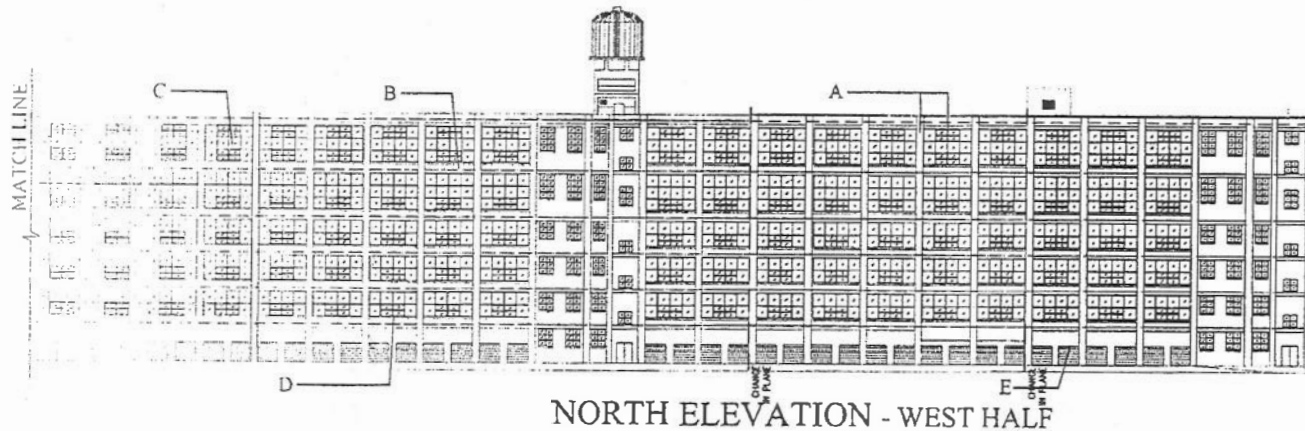




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NORTH ELEVATION - EAST HALF



NORTH ELEVATION - WEST HALF

- EXISTING FEATURES
- A. PAINTED CONCRETE
  - B. BRICK VENEER
  - C. ALUMINUM FRAME WINDOWS
  - D. CONCRETE SILL (UNPAINTED)
  - E. LOADING DOCK
  - F. VENT OR LOUVER

- NEW FEATURES
- 1. ALUMINUM STOREFRONT
  - 2. VEHICULAR ACCESS RAMP
  - 3. SWING DOOR
  - 4. OVERHEAD DOOR

## BUILDING ELEVATIONS

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639 1:120 GRAPHIC SCALE  
February 18, 2021



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TERRACE - WEST ELEVATION - LEVEL 6



TERRACE - EAST ELEVATION - LEVEL 6



TERRACE - SOUTH ELEVATION - LEVEL 6

EXISTING FEATURES  
 A.....PAINTED CONCRETE  
 B.....BRICK VENEER  
 C.....ALUMINUM FRAME WINDOWS  
 D.....CONCRETE SILL (UNPAINTED)  
 E.....LOADING DOCK  
 F.....VENT OR LOUVER

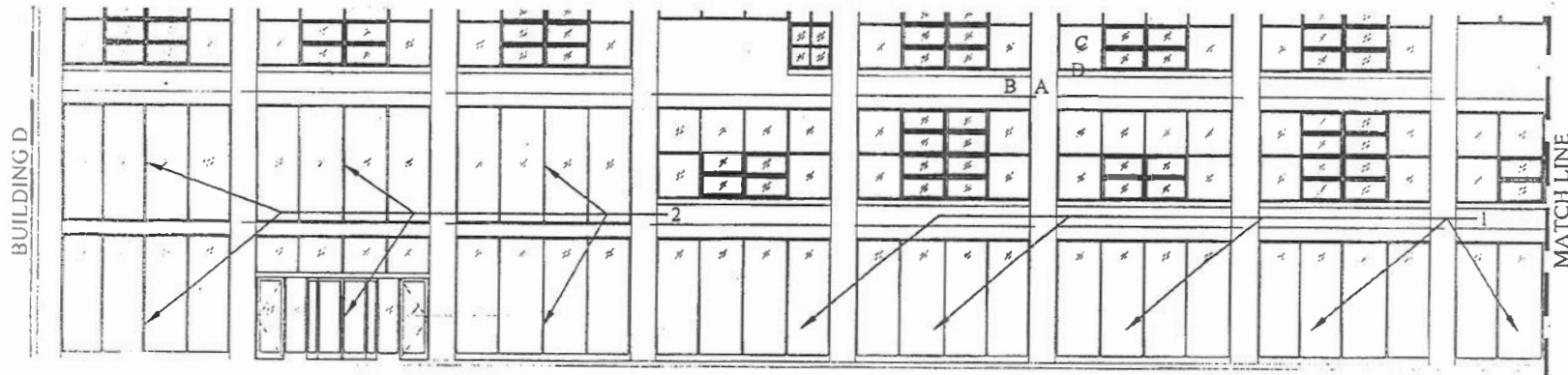
NEW FEATURES  
 1.....NEW ALUMINUM AND GLASS STOREFRONT  
 2.....NEW EXIT STAIR ENCLOSURE CEMENT PANEL  
 3.....NEW GLASS & ALUMINUM RAILING  
 4.....NEW SLOPED ROOF

ENLARGED BUILDING ELEVATIONS - BUILDING B - LEVEL 6

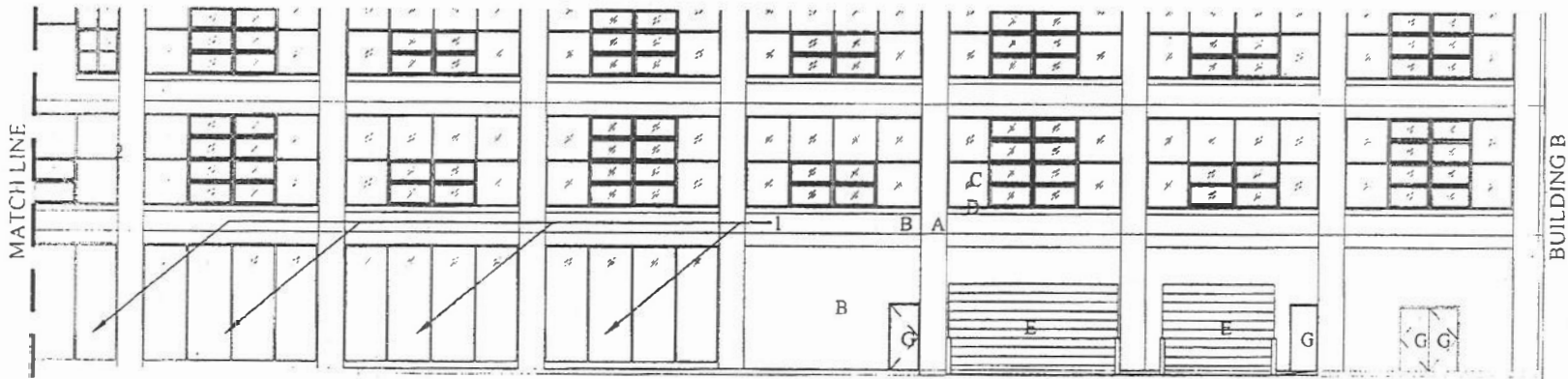
APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 February 18, 2021



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SOUTH ELEVATION - LEVELS 1 & 2 WEST END



SOUTH ELEVATION - LEVELS 1 & 2 EAST END

**EXISTING FEATURES**  
 A... PAINTED CONCRETE  
 B... BRICK VENEER  
 C... ALUMINUM FRAME WINDOWS  
 D... CONCRETE SILL (UNPAINTED)  
 E... PARKING GARAGE DOOR  
 F... VENT OR LOUVER  
 G... PAINTED METAL DOOR

**NEW FEATURES**  
 1..... NEW ALUMINUM AND GLASS STOREFRONT  
 2..... NEW PREVIOUSLY PERMITTED ALUMINUM AND GLASS STOREFRONT, PERMIT #100809606.

**ENLARGED BUILDING ELEVATIONS - BUILDING C - LEVELS 1 & 2**

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 February 18, 2021

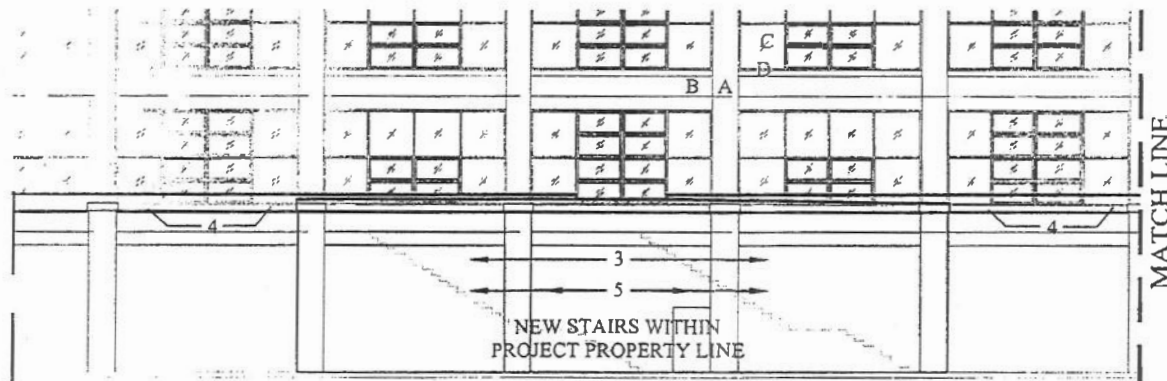


2/26/2021

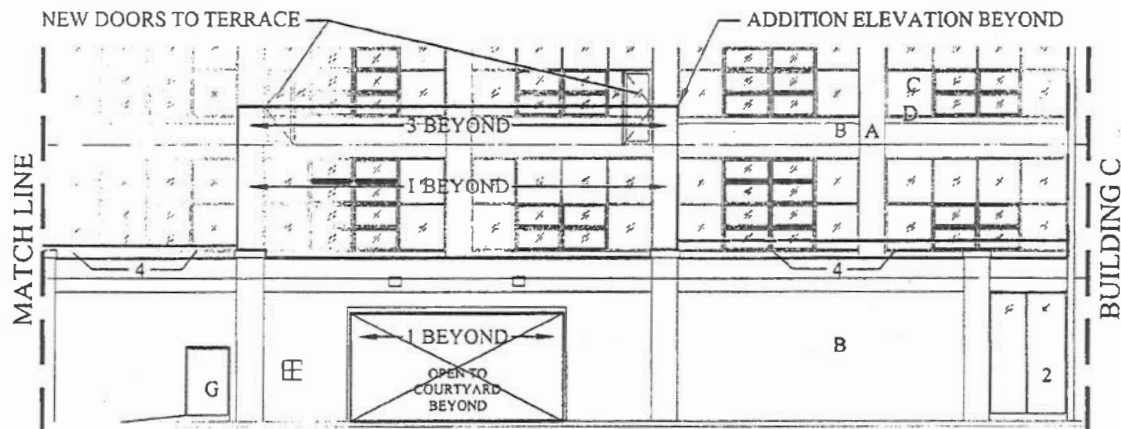
REPORTS OF COMMITTEES

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SOUTH ELEVATION - LEVELS 1 & 2 WEST END



SOUTH ELEVATION - LEVELS 1 & 2 EAST END

EXISTING FEATURES  
A.....PAINTED CONCRETE  
B.....BRICK VENEER  
C.....ALUMINUM FRAME WINDOWS  
D.....CONCRETE SILL (UNPAINTED)  
E.....PARKING GARAGE DOOR  
F.....VENT OR LOUVER  
G.....PAINTED METAL DOOR

NEW FEATURES  
1.....NEW ALUMINUM AND GLASS STOREFRONT  
2.....NEW PREVIOUSLY PERMITTED ALUMINUM AND GLASS STOREFRONT. PERMIT #100809606.  
3.....NEW ALUMINUM AND GLASS RAILING  
4.....NEW ALUMINUM RAILING  
5.....NEW BRICK AND PRECAST EXIT STAIRS

ENLARGED BUILDING ELEVATIONS - BUILDING D - LEVELS 1 & 2

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639

February 18, 2021

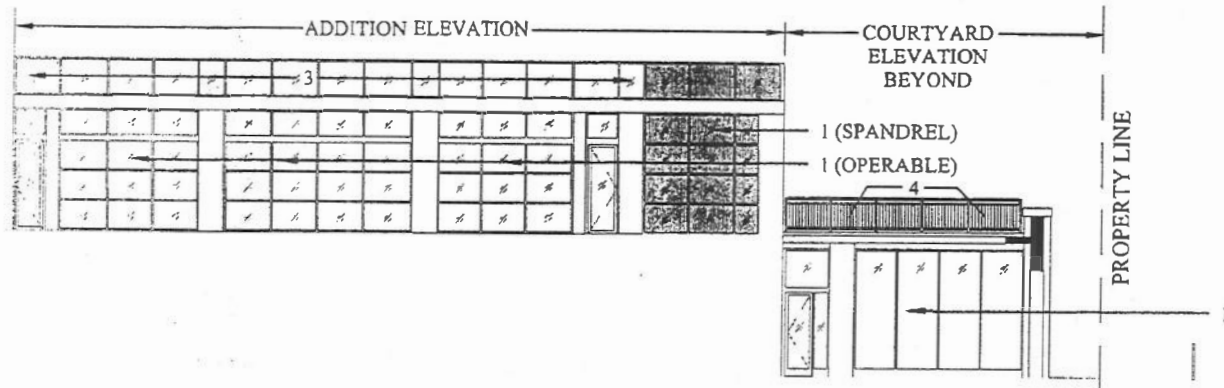


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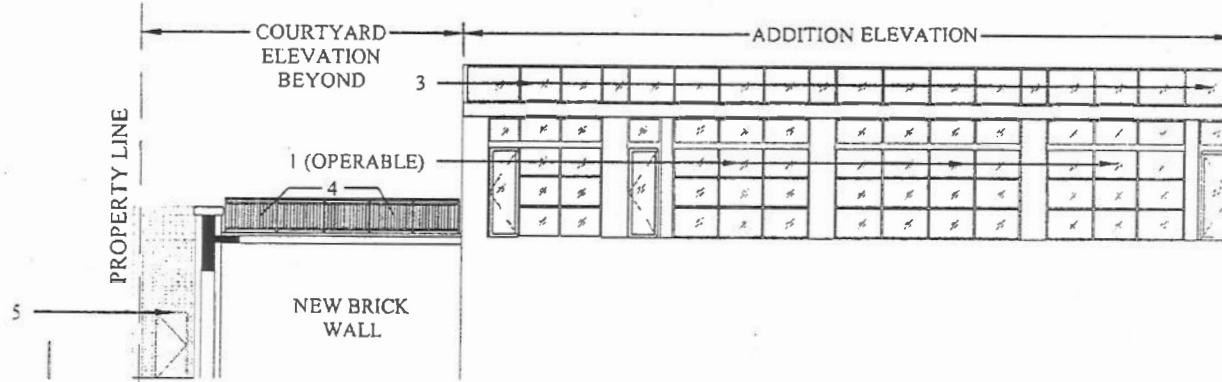
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2/26/2021

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WEST ELEVATION - LEVELS 1 & 2 AT ADDITION



SECTION ELEVATION - LEVELS 1 & 2 AT ADDITION

EXISTING FEATURES

- A.....PAINTED CONCRETE
- B.....BRICK VENEER
- C.....ALUMINUM FRAME WINDOWS
- D.....CONCRETE SILL (UNPAINTED)
- E.....PARKING GARAGE DOOR
- F.....VENT OR LOUVER
- G.....PAINTED METAL DOOR

NEW FEATURES

- 1.....NEW ALUMINUM AND GLASS STOREFRONT
- 2.....NEW PREVIOUSLY PERMITTED ALUMINUM AND GLASS STOREFRONT. PERMIT #100809606
- 3.....NEW ALUMINUM AND GLASS RAILING
- 4.....NEW ALUMINUM RAILING
- 5.....NEW BRICK AND PRECAST EXIT STAIRS

ENLARGED BUILDING ELEVATIONS - BUILDING D - LEVELS 1 & 2

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
February 18, 2021



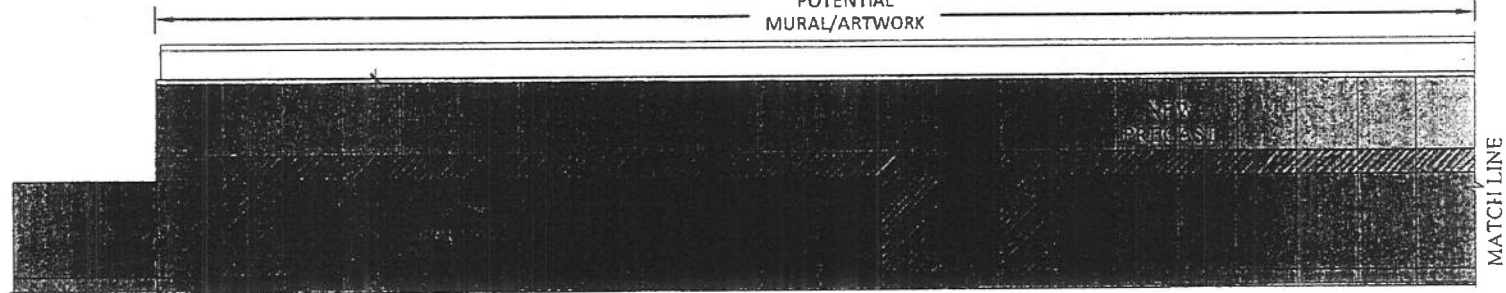
2/26/2021

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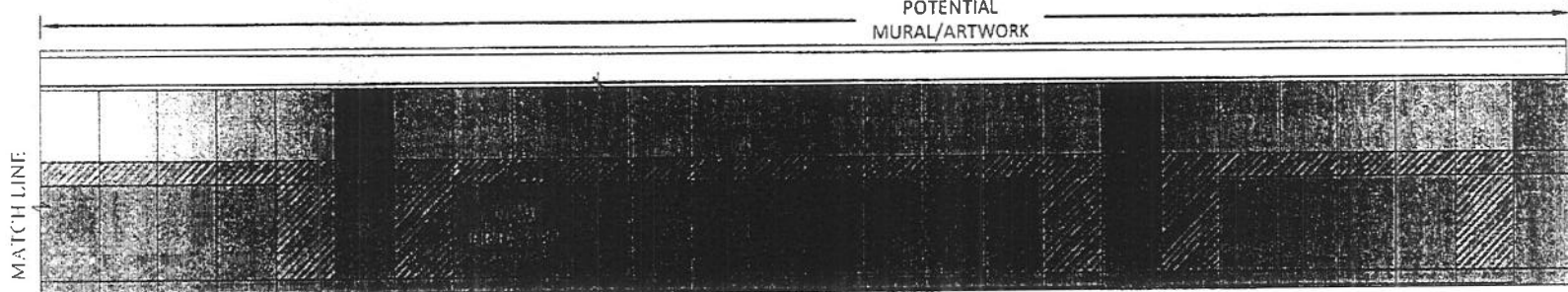
FINAL FOR PUBLICATION

POTENTIAL  
MURAL/ARTWORK

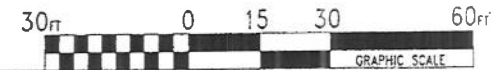


NORTH ELEVATION - EAST HALF

POTENTIAL  
MURAL/ARTWORK



NORTH ELEVATION - WEST HALF



**BUILDING ELEVATIONS - BUILDING E (NORTH)**

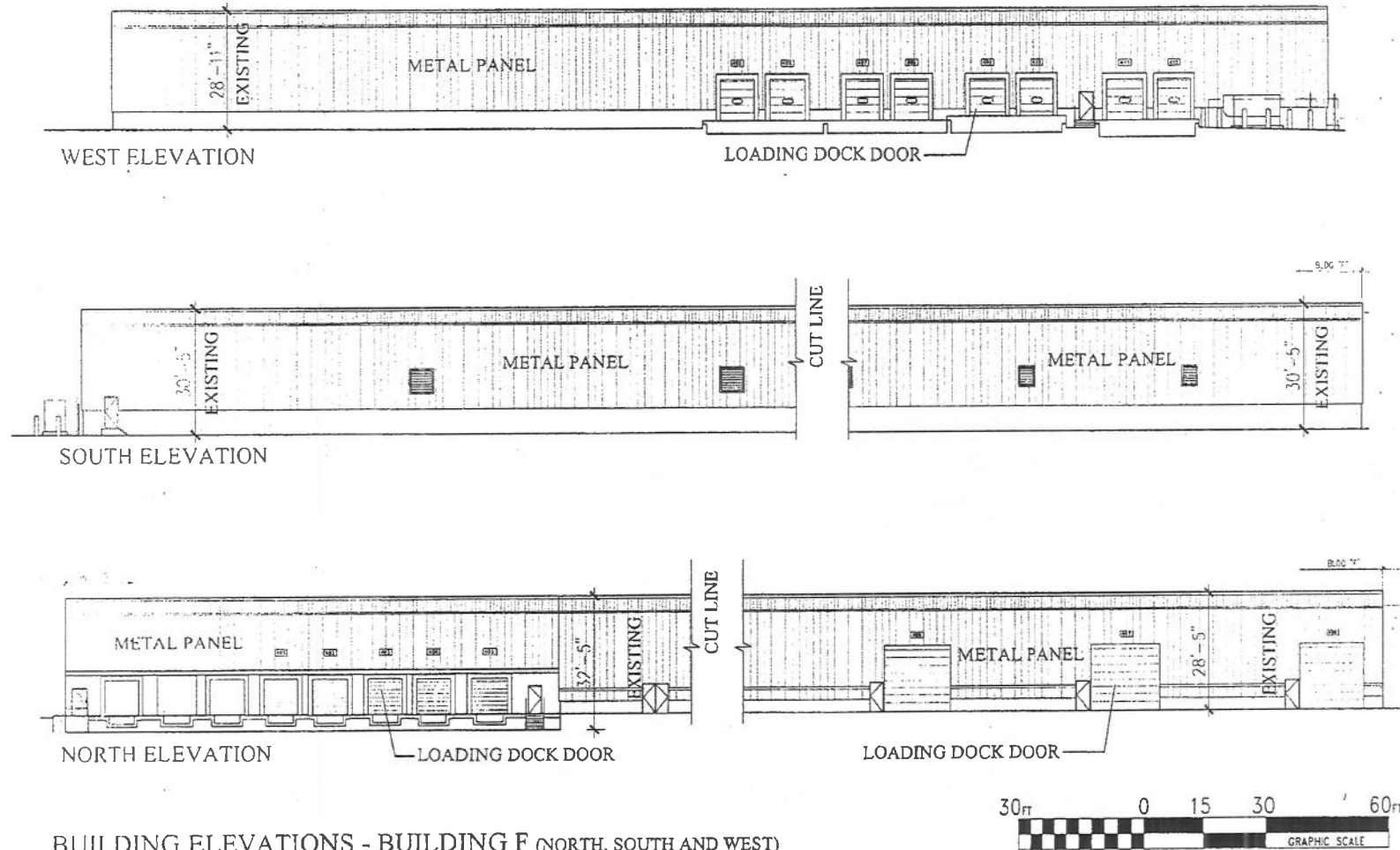
Application: KV 4000 Diversey Commercial LLC  
 Address: 4000-4180 West Diversey Avenue; 4029-4153 West George  
 Introduced: September 9, 2020  
 Plan Commission: February 18, 2021

FINAL FOR PUBLICATION

2/26/2021

REPORTS OF COMMITTEES

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**BUILDING ELEVATIONS - BUILDING F (NORTH, SOUTH AND WEST)**

APPLICANT: KV 4000 DIVERSEY COMMERCIAL LLC, 4000 WEST DIVERSEY AVE, CHICAGO IL 60639

DATE: February 18, 2021

*Reclassification Of Area Shown On Map No. 7-K.  
(As Amended)  
(Application No. 19210)  
(Common Address: 4000 -- 4180 W. Diversey Ave./  
4029 -- 4153 W. George St.)*

BPD 1261,99

[SO2017-3795]

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the Planned Development Number 1261 symbols and indications as shown on Map Number 7-K in the area bounded by:

West George Street; a line 286.97 feet west of and parallel to North Pulaski Road; a line 314.64 feet south of and parallel to West George Street; a line 100 feet west of and parallel to North Pulaski Road; a line 323.14 feet south of and parallel to West George Street; North Pulaski Road; West Diversey Avenue; and the easterly right-of-way line of the Chicago, Milwaukee, St. Paul & Pacific Railroad Company; a line 673.08 feet northwest of and parallel to the north line of West Diversey Avenue (as measured along the easterly right-of-way line of the Chicago, Milwaukee, St. Paul & Pacific Railroad Company); and the west boundary line of North Kearsarge Avenue,

to those of Planned Development Number 1261, as amended, which is hereby established in the area above described subject to such use and bulk regulations as are set forth in the Plan of Development herewith attached and made a part thereof and to no others.

SECTION 2. This ordinance shall be in force and effect from and after its passage and due publication.

Plan of Development Statements referred to in this ordinance read as follows:

*Planned Development No. 1261, As Amended.*

*Planned Development Statements.*

1. The area delineated herein as Planned Development Number 1261 ("Planned Development") consists of approximately 691,996 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by 4K Diversey Partners LLC (the "Applicant").



2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Chicago Department of Transportation ("CDOT") on behalf of the Applicant or its successors, assigns or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans (as defined in Statement 4 below).

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Department of Planning and Development ("DPD") and CDOT. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT.

All work proposed in the public way must be designed and constructed in accordance with CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by CDOT.

4. This plan of development consists of eighteen (18) Statements; a Bulk Regulations Table; an Existing Land-Use Map; an Existing Zoning Map; a Planned Development Property Line and Boundary Map; Site Plan; Subarea Plan; Landscape Plan; Overall Landscape Plan; Green Roof Plan and Building Elevations (North, South, East and West) prepared by Hirsch Associates LLC and dated August 17, 2017 submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with DPD. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development ordinance and the Zoning Ordinance, this Planned Development ordinance shall control.

5. Subareas A And B:

residential ~~dwelling units above~~ the ground floor; artist work or sales space; office; high technology office; business support services; outdoor patio (at grade and rooftop); communication service establishments; restaurant, general; food and beverage retail sales; retail sales, general; indoor special event including incidental liquor sales; small and medium venues; banquet or meeting halls; and accessory parking.

Subarea C:

business/trade school; day care; postal service; artist work or sales space; building maintenance services; business equipment and sales service; business support services; urban farm -- indoor and/or rooftop operation; communication service establishments; building material sales; office; high technology office; residential storage warehouse; retail sales, general; restaurant, general; food and beverage retail sales; indoor vehicle storage; artisan and limited manufacturing limited to indoor storage; warehousing, wholesaling and freight movement; wireless communication facilities and co-located and accessory parking.

Subarea D:

business/trade school; building maintenance services; business equipment and sales service; business support services; urban farm -- indoor and/or rooftop operation; communication service establishments; building material sales; residential storage warehouse; artisan and limited manufacturing limited to indoor storage; restaurant, general; food and beverage retail sales; office; high technology office; electronic data storage center; indoor vehicle storage; warehousing, wholesaling and freight movement; wireless communication facilities and co-located and accessory parking.

Subareas E And F:

building maintenance services; business equipment and sales service; business support services; communication service establishments; building material sales; residential storage warehouse; indoor vehicle storage; artisan and limited manufacturing limited to indoor storage; warehousing, wholesaling and freight movement; wireless communication facilities and co-located; office; high technology office and accessory parking.

The following uses are prohibited in this Planned Development:

colleges and universities; cultural exhibits and libraries, hospitals; parks and recreational uses; body art services; tavern; lodging, bed and breakfast, vacation

rental; freestanding (towers) wireless communication facilities; contractor/construction storage yard; outdoor vehicle storage and towing; motor vehicle repair shop; vehicle sales and service; amusement arcades and children's play center; non-accessory parking; Class I-II recycling facilities; repair or laundry service (consumer); automated teller machine facility; personal service; undertaking; and medical service.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of DPD. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a net site area of 691,996 square feet.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal titleholders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal

access throughout the Property. Plans for all buildings and improvements on the Property shall ~~be reviewed~~ and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.

14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. With respect to Subareas A through D, the Applicant shall exceed ASHRAE 90.1-2004 by at least 14 percent and provide a green roof of not less than 50 percent of the net roof area, which is equivalent to an actual total of 74,068 square feet. Some or all of the foregoing green roof requirement may be satisfied by providing one or a combination of the following options: (a) vegetative green roof, (b) provide solar panels with an array size equivalent to 25 percent of the area required for the green roof (i.e., in lieu of 50,000 square feet of green roof, providing 12,500 square feet of solar panels) or (c) providing Best Management Practice (BMP) by offsetting the equivalent storm water value of a green roof either in a cistern, a rain garden, pervious hardscape or other method which will divert the equivalent value achieved by a green roof from the storm water system. At the time of each Part II Review for all or portions of Subareas A through D involving over 50,000 square feet of floor area, the Applicant shall submit a report demonstrating its progress towards the sustainability requirements set forth herein, which may be updated with subsequent phases of development. Subareas E and F shall be exempt from the requirements set forth in this Statement 14.
15. The Applicant acknowledges that the Planned Development includes a building commonly known as the Marshall Field & Co. Warehouse Building and identified as potentially significant in the Chicago Historic Resources Survey. Pursuant to the Zoning Ordinance, Section 17-8-0911 and Section 13-32-230 of the Municipal Code, the Applicant acknowledges that planned developments should give priority to the adaptive reuse of historic buildings which have been designated as an orange building in the Chicago Historic Resources Survey. Therefore, the applicant agrees, where possible, to retain and preserve the existing character-defining features of the building. The character-defining features are identified as all exterior elevations, including rooflines, that are visible from the public rights-of-way; however, the Applicant may add or modify openings, entries or windows to accommodate tenant uses. In general, existing original features and materials of the character-defining features should be retained and preserved as much as reasonably possible, while any changes should be compatible with the building's current design and, where possible, historic character. Such work to the character-defining features shall be subject to the review and approval of the Department of Planning and Development as a part of the Part II Review.

16. The Applicant acknowledges and agrees that the rezoning of the Property from Planned ~~Development~~ Number 1261 to Planned Development Number 1261, as amended, triggers the requirements of Section 2-45-115 of the Municipal Code (the "Affordable Requirements Ordinance" or "ARO"). Any developer of a residential housing project within the meaning of the ARO must: (i) set aside 10 percent of the housing units in the residential housing project (the Required Units) as affordable units, or with the Commissioner of the Department of Planning and Development's (DPD) approval, provide the Required Units in an approved off-site location; (ii) pay a fee in lieu of the development of the Required Units; or, (iii) any combination of (i) and (ii); provided, however, that residential housing projects with 20 or more units must provide at least 25 percent of the Required Units on-site or off-site. If the developer elects to provide affordable units off-site, the off-site affordable units must be located within a two-mile radius from the residential housing project and in the same or a different higher income area or downtown district. The Property is located in a higher income area, within the meaning of the ARO, and the proposed amendment would allow 124 permitted units. As a result, the Applicant's affordable housing obligation is 12 affordable units (10 percent of 124 rounded down), 3 of which are Required Units (25 percent of 12). Applicant has agreed to satisfy its affordable housing obligation by providing all 12 affordable units in the rental building, as set forth in the Affordable Housing Profile Form attached hereto as Exhibit \_\_\_\_\_. The Applicant agrees that the affordable rental units must be affordable to households earning no more than 60 percent of the Chicago Primary Metropolitan Statistical Area Median Income (AMI), as updated annually by the City of Chicago. If the Applicant subsequently reduces (or increases) the number of housing units in the P.D., the Applicant shall update and resubmit the Affordable Housing Profile Form to DPD for review and approval; DPD may adjust the number of required Affordable Units without amending the P.D.. Prior to the issuance of any building permits for any residential building in the P.D., including, without limitation, excavation or foundation permits, the Applicant must execute and record an affordable housing agreement in accordance with Section 2-45-115(L). The terms of the affordable housing agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the affordable housing agreement will be recorded against the P.D., or the applicable portion thereof, and will constitute a lien against such property. The Commissioner of DPD may enforce remedies for any breach of this Statement 16, including any breach of any affordable housing agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without amending the P.D.
17. The Applicant acknowledges that it is the policy of the City to maximize opportunities for Minority and Women-Owned Business Enterprises ("M/WBEs") and City residents to compete for contracts and jobs on construction projects approved through the planned development process. To assist the City in promoting and tracking such M/WBE and City resident participation, an applicant for planned development approval shall provide information at three points in the City approval process. First, the applicant must submit to DPD, as part of its application for planned development

approval, an M/WBE Participation Proposal. The M/WBE Participation Proposal must identify the applicant's goals for participation of certified M/WBE firms in the design, engineering and construction of the project, and of City residents in the construction work. The City encourages goals of 26 percent MBE and 6 percent WBE participation (measured against the total construction budget for the project or any phase thereof), and (ii) 50 percent City resident hiring (measured against the total construction work hours for the project or any phase thereof). The M/WBE Participation Proposal must include a description of the Applicant's proposed outreach plan designed to inform M/WBEs and City residents of job and contracting opportunities. Second, at the time of the Applicant's submission for Part II Permit Review for the project or any phase thereof, the Applicant must submit to DPD (a) updates (if any) to the Applicant's preliminary outreach plan, (b) a description of the Applicant's outreach efforts and evidence of such outreach, including, without limitation, copies of certified letters to M/WBE contractor associations and the ward office of the alderman in which the project is located and receipts thereof; (c) responses to the Applicant's outreach efforts, and (d) updates (if any) to the applicant's M/WBE and City resident participation goals. Third, prior to issuance of a Certificate of Occupancy for the project or any phase thereof, the Applicant must provide DPD with the actual level of M/WBE and City resident participation in the project or any phase thereof, and evidence of such participation. In addition to the foregoing, DPD may request such additional information as the department determines may be necessary or useful in evaluating the extent to which M/WBEs and City residents are informed of and utilized in planned development projects. All such information will be provided in a form acceptable to the Zoning Administrator. DPD will report the data it collects regarding projected and actual employment of M/WBEs and City residents in planned development projects twice yearly to the Chicago Plan Commission and annually to the Chicago City Council and the Mayor.

18. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of DPD shall initiate a zoning map amendment to rezone the Property to Planned Development Number 1261, as it existed prior to this amendment.

[Third and Fourth Residential Unit Plans; Existing Land-Use Map; Existing Zoning Map (400 feet in each direction); Property Line and Boundary Map; Site Plan; Overall Landscape Plan; Parking Lot Landscape Plan; Subarea -- Building Identification Plan; and Building Elevations referred to in these Plan of Development Statements printed on pages 55565 through 55579 of this *Journal*.]

Bulk Regulations and Data Table and 2015 Affordable Housing Profile Form (AHP) referred to in these Plan of Development Statements read as follows:

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## REPORTS OF COMMITTEES

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*Planned Development No. 1261.**Bulk Regulations And Data Table.*

Gross Site Area:	751,345 square feet
Public Right-of-Way:	59,349 square feet
Net Site Area -- Total:	691,996 square feet
Maximum Floor Area Ratio:	2.2
Maximum Floor Area (square feet) Total:	1,522,391 square feet
Maximum Number Dwelling Units:	124
Maximum Site Coverage:	Per Site Plan
Minimum Number of Bike Parking:	50
Minimum Number of Off-Street Parking Spaces:	623 spaces (See Note 1)
Minimum Number of Off-Street Loading Berths:	as required by zoning ordinance
Maximum Building Height (feet):	existing height (96 feet, 7 inches)

Note 1: The parking facilities may be used on a shared basis to satisfy the accessory parking requirements for multiple uses within this planned development.

The following uses shall be subject to the following requirements:

- residential dwelling units: 0.70 spaces per unit
- office; high technology office: 1.5 spaces per 1,000 square feet
- If a food and beverage retail sales use is established in Subarea A or B, then the east surface parking lot along North Pulaski Road shall be installed.



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## 2015 Affordable Housing Profile Form (AHP)

Submit this form for projects that are subject to the 2015 ARO (all projects submitted to City Council after October 13, 2015). More information is online at [www.cityofchicago.org/ARO](http://www.cityofchicago.org/ARO).

This completed form ~~should be returned~~ to: Kara Breems, Department of Planning & Development (DPD), 121 N. LaSalle Street, Chicago, IL 60602. E-mail: [kara.breems@cityofchicago.org](mailto:kara.breems@cityofchicago.org)

Date: 08/07/17

## DEVELOPMENT INFORMATION

Development Name: The Field's Lofts

Development Address: 4000 W. Diversey Avenue, Chicago, IL 60639

Zoning Application Number, if applicable:

Ward: 31

If you are working with a Planner at the City, what is his/her name? Kara Breems / Fernando Espinoza

## Type of City Involvement

check all that apply

☐ City Land

☒ Planned Development (PD)

☐ Financial Assistance

☐ Transit Served Location (TSL) project

☐ Zoning Increase

REQUIRED ATTACHMENTS: the AHP will not be reviewed until all required docs are received

☒ ARO Web Form completed and attached - or submitted online on 08/07/17

☒ ARO "Affordable Unit Details and Square Footage" worksheet completed and attached (Excel)

☒ If ARO units proposed, Dimensioned Floor Plans with affordable units highlighted are attached (pdf)

☐ If ARO units proposed are off-site, required attachments are included (see next page)

☐ If ARO units are CHA/Authorized Agency units, signed acceptance letter is attached (pdf)

## DEVELOPER INFORMATION

Developer Name HSG Loft Member, LLC

Developer Contact Kage Brown

Developer Address 275 W. Hubbard St., Suite 400, Chicago, IL 60654

Email [kbrown@hubbardstreetgroup.com](mailto:kbrown@hubbardstreetgroup.com)

Developer Phone 8477028838

Attorney Name Katie Jahnke Dale

Attorney Phone 3123682153

## TIMING

Estimated date marketing will begin September 2018

Estimated date of building permit\* January 2018

Estimated date ARO units will be complete December 2018

\*note that the indic fee and recorded covenant are required prior to the issuance of any building permits, including the foundation permit

## PROPOSED UNITS MEET REQUIREMENTS (to be executed by Developer &amp; ARO Project Manager)

Kara Breems, DPD

Date

08/07/17

Developer/Project Manager (Kage Brown)

Date

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## ARO Web Form

**Development Information****Address****Submitted Date: 08/07/2017**

Address Number From :4000    Address Number To: null    Street Direction: W  
Street :Diversey    Postal Code: 60639

**Development Name, if applicable**

The Field's Lofts

**Information**

Ward :31

ARO Zone: Higher Income

**Details**

Type of city involvement :Downtown PD

Total Number of units in development: 124

Type of development: Rent

Is this a Transit Served Location Project : N

**Requirements**

Required affordable units :12    Required \*On-site aff. Units: 3

How do you intend to meet your required obligation

On-Site: 12    Off-Site: 0

On-Site to CHA or Authorized agency: 0    Off-Site to CHA or Authorized agency: 0

Total Units Committed: 12 Remaining In-Lieu Fee Owed: 0

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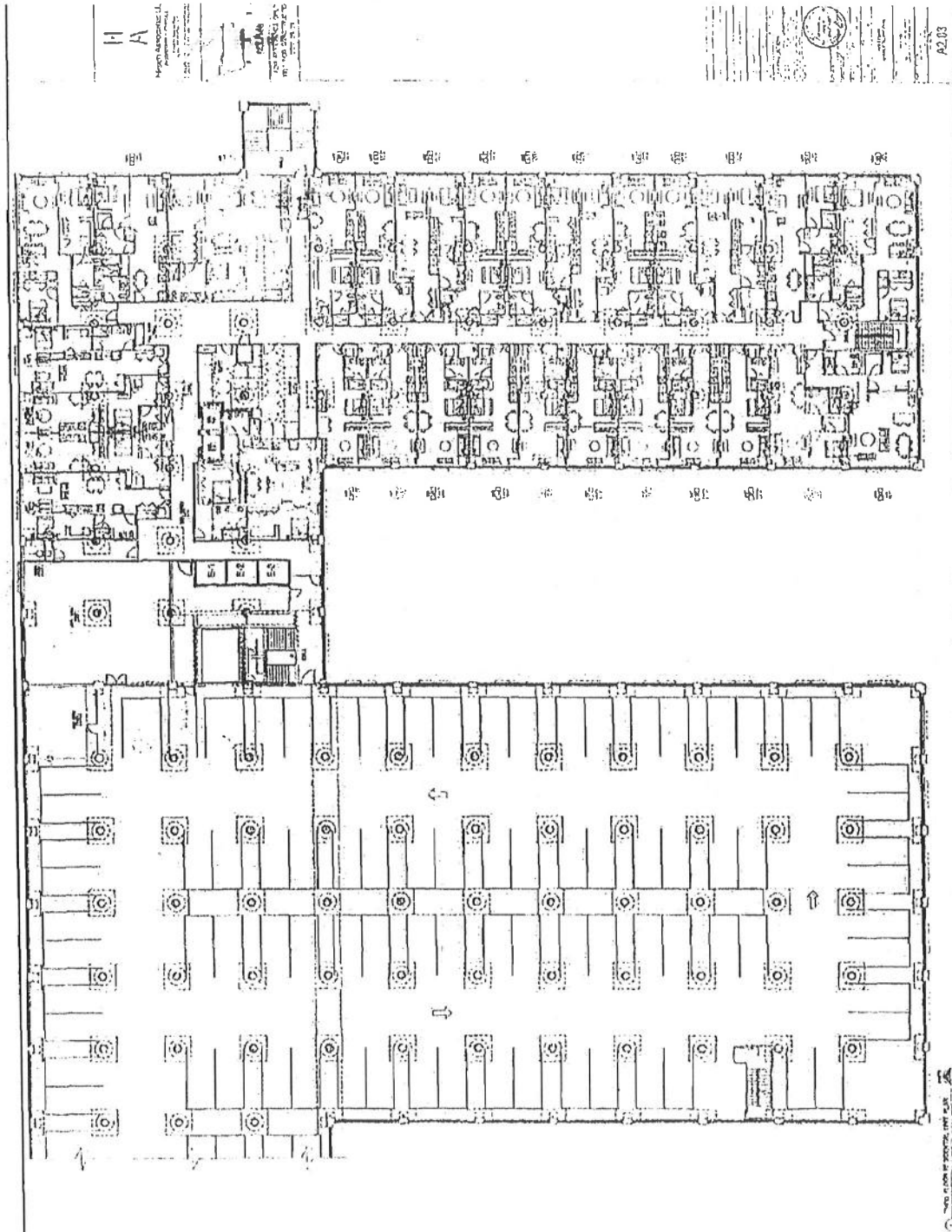
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Project Name		The Field's Lofts		Summary: 4000 W Diversey						
Zoning Application number, if applicable				market rate		affordable				
Address		4500 W. Diversey Ave., Chicago, IL 60639		how many?	% of total	avg. square footage	how many?	% of total	avg. square footage	
Is this a For Sale or Rental Project?		Rental Project		studio	57	53%	600	6	50%	577
Anticipated average psf rent/price?		\$2.50/sf		one-bed	35	32%	805	4	33%	757
				two-bed	16	15%	1,204	2	17%	1,341
Total Units in Project		120								

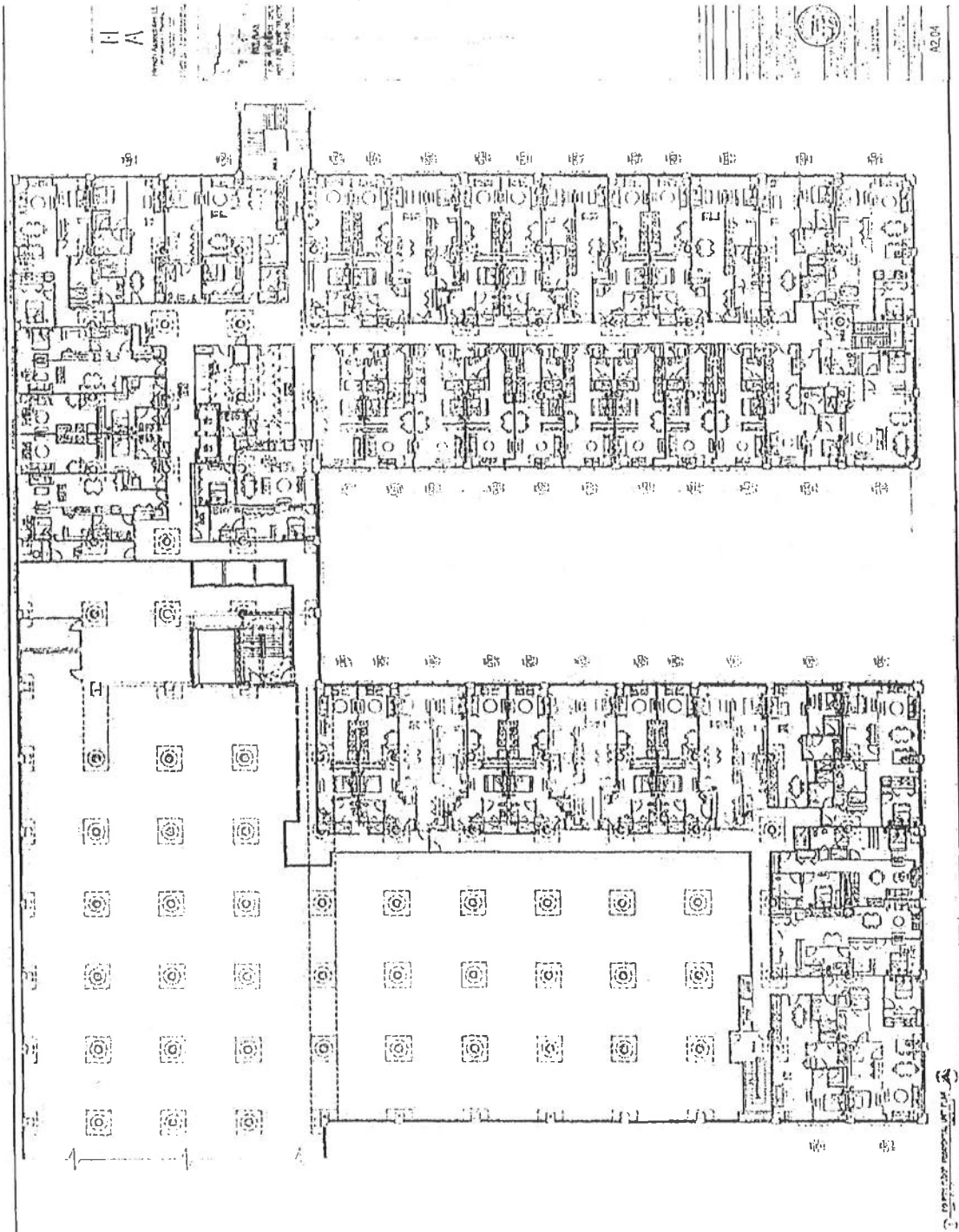
All projects with proposed ARO units must complete this tab

	Market Rate Units	Affordable Units
Parking	Available at Market	Available at Market
Laundry	Washer/Dryer in Unit	Washer/Dryer in Unit
Appliances	Stainless Steel Appliance Package (The Same Appliance Package to be used in ARO Units)	Stainless Steel Appliance Package (The Same Appliance Package used in Market Rate Units)
Refrigerator age/EnergyStar/make/model/color	Whirlpool Energy Star - SS	Whirlpool Energy Star - SS
Dishwasher age/EnergyStar/make/model/color	Whirlpool 24" Dishwasher - SS	Whirlpool 24" Dishwasher - SS
Stove/Oven age/EnergyStar/make/model/color	Whirlpool Stainless Steel Slide-in Range	Whirlpool Stainless Steel Slide-in Range
Microwave age/EnergyStar/make/model/color	Whirlpool 24" countertop or Whirlpool above the range microwave (Depends on unit)	Whirlpool 24" countertop or Whirlpool above the range microwave (Depends on unit)
Bathroom(s) how many? Half bath? Full bath?	1 Bathroom in Studio/1BR; 2 Bathrooms in 2BR	1 Bathroom in Studio/1BR; 2 Bathrooms in 2BR
Kitchen countertops material	Quartz	Quartz
Flooring material	Laminate	Laminate
HVAC	TBD; VRF Possible	TBD; VRF Possible
Other		

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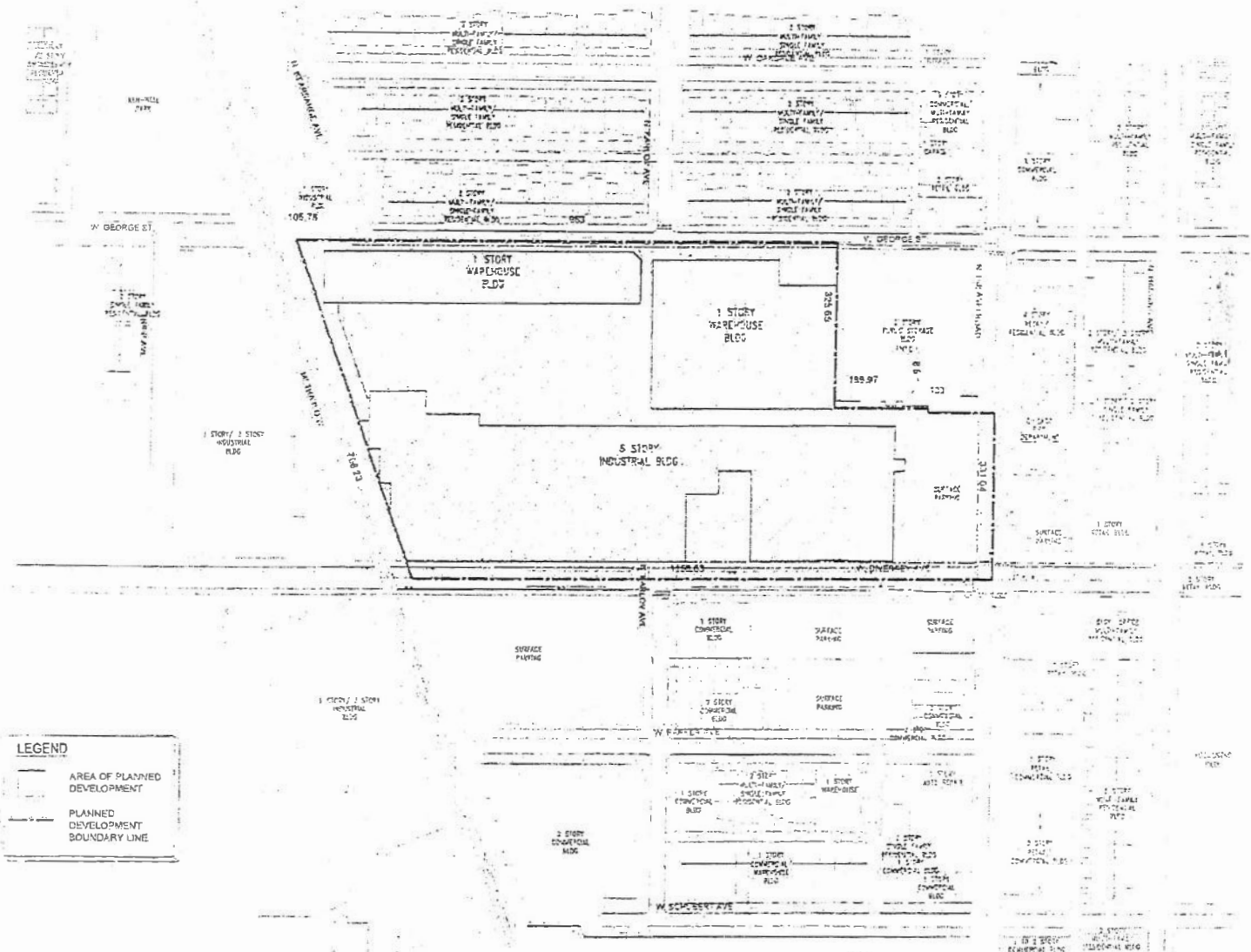


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REPORTS OF COMMITTEES

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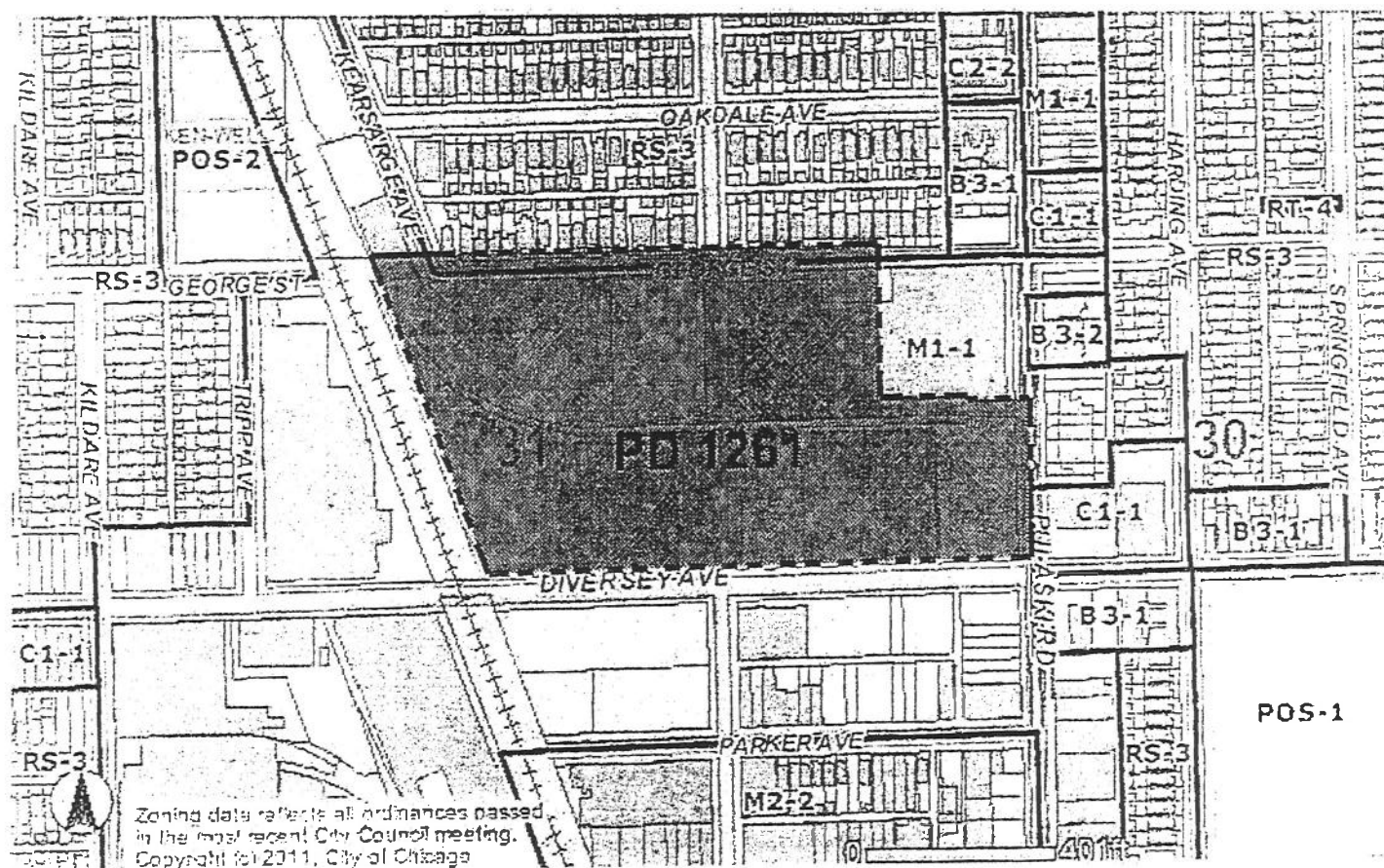
EXISTING LAND USE MAP

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
COUNCIL INTRODUCTION: 24 May, 2017  
PLAN COMMISSION: 17 August, 2017

125ft 0 62.5 125 250ft  
1:250 GRAPHIC SCALE



FILE FOR PUBLICATION



# EXISTING ZONING MAP (400' in each direction)

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 COUNCIL INTRODUCTION: 24 May, 2017  
 PLAN COMMISSION: 17 August, 2017

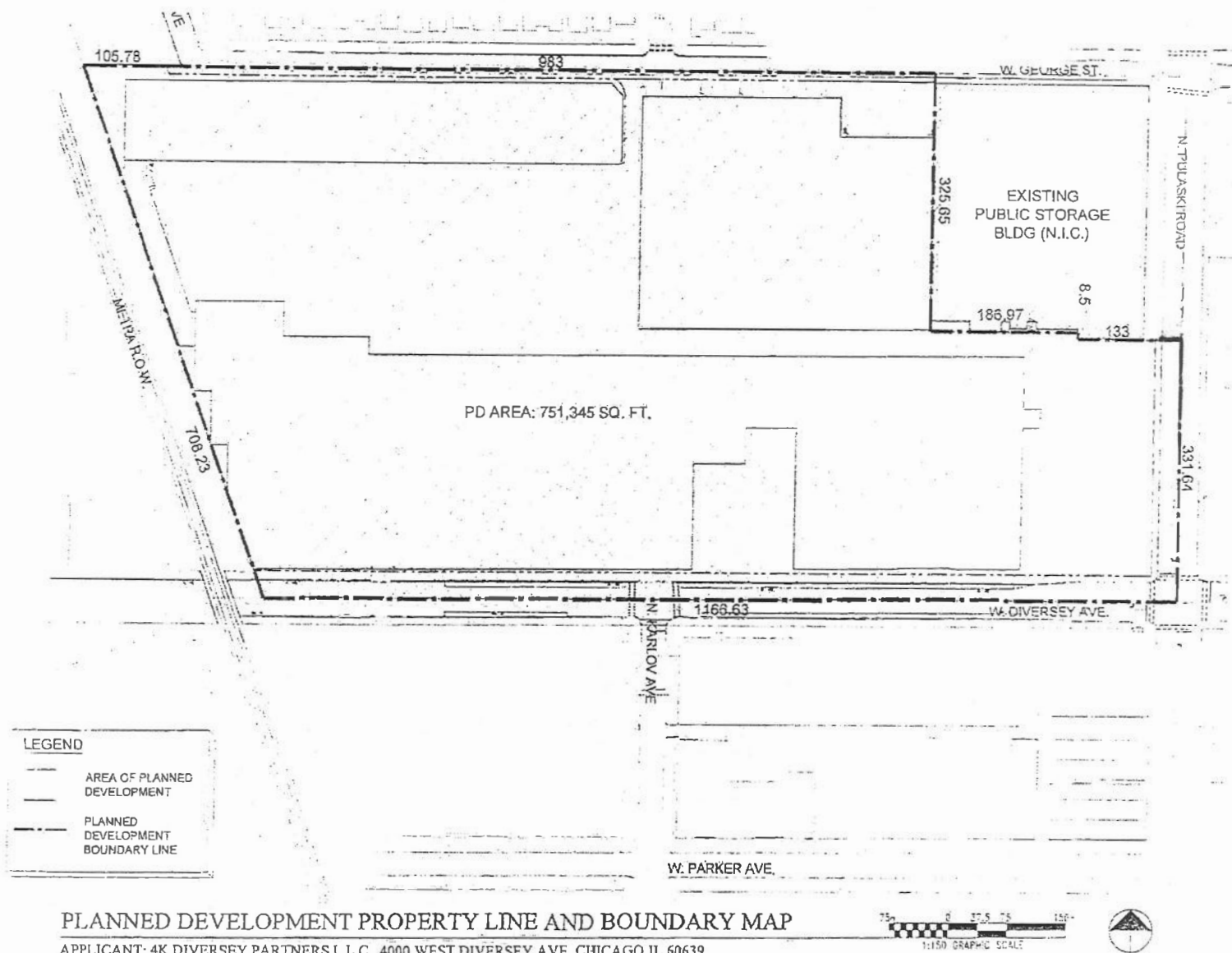




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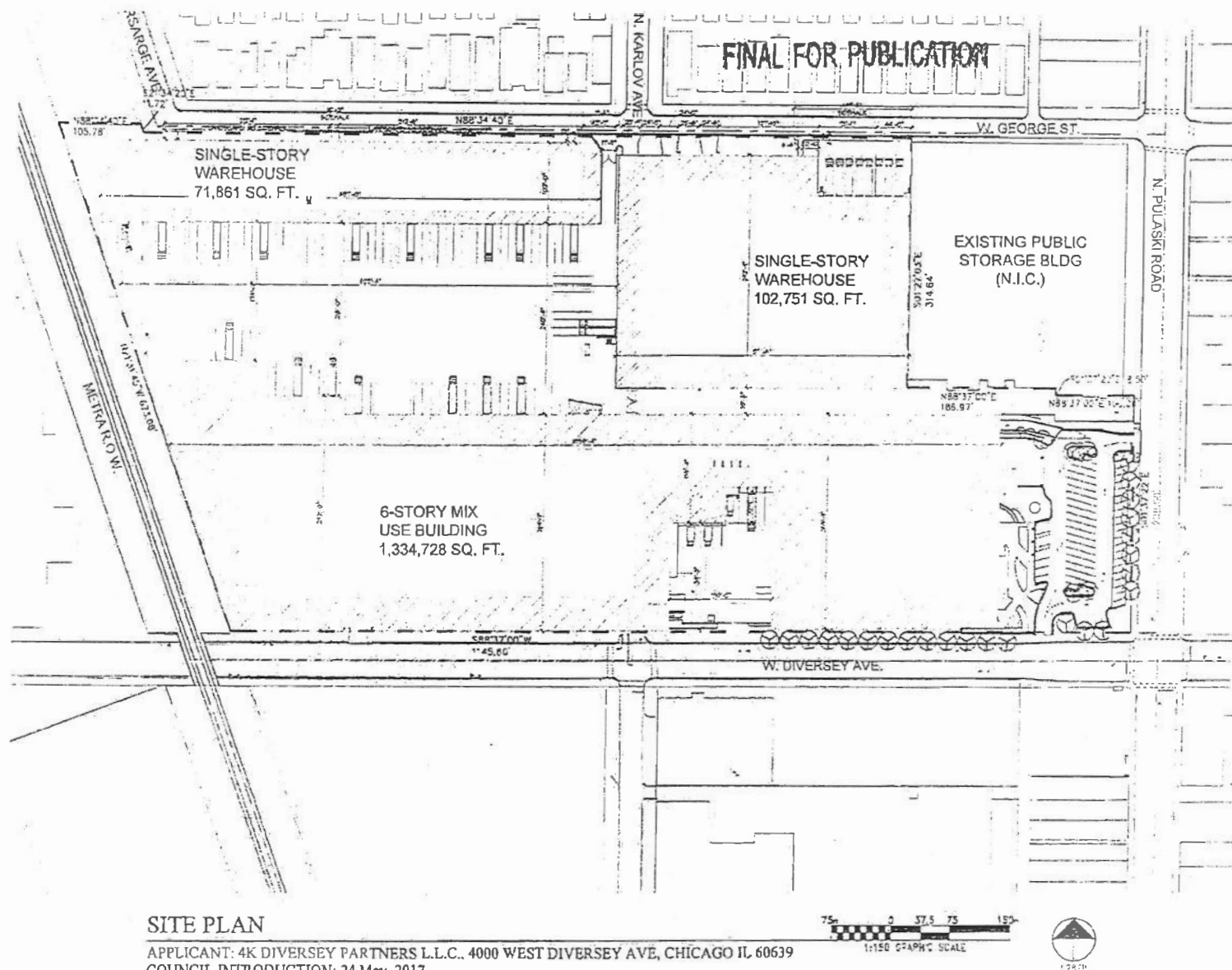
REPORTS OF COMMITTEES

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PLANNED DEVELOPMENT PROPERTY LINE AND BOUNDARY MAP

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE. CHICAGO IL 60639  
COUNCIL INTRODUCTION: 24 May, 2017  
PLAN COMMISSION: 17 August, 2017



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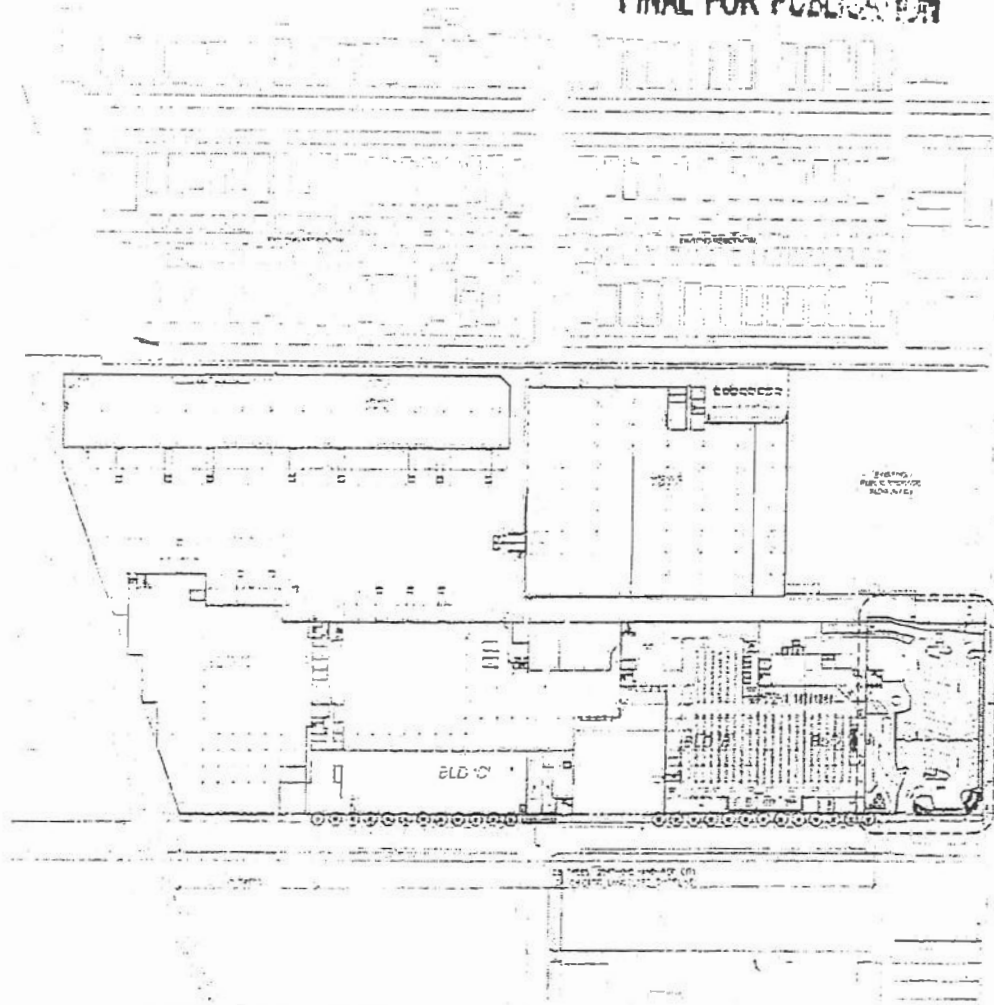
4K DIVERSEY AVE LANDSCAPE REDESIGN  
TOTAL TREE PROVIDED 28 TREES  
WEST LUL AND REF CITY OF CHICAGO LANDSCAPE DEPARTMENT

LANDSCAPE PLAN NOTES:  
TREE SPECIES TO BE SELECTED FROM "RECOMMENDED TREES" LIST ON PLANT LIST.

PLANT LIST:

COMMON NAME	SCAPE NAME
ACER X FRAXINUS AUTUMN BRASS	AUTUMN BRASS MAPLE
QUERCUS BILUGA TAUNTONensis	ALT AM BOLD OAK
SYRIS CALLERYANA CHANTICLEER	CHANTICLEER SYRIS
PLANT X VIBURNUM ALBIDUM	PRINCE OF WALES

EXISTING  
PROPOSED



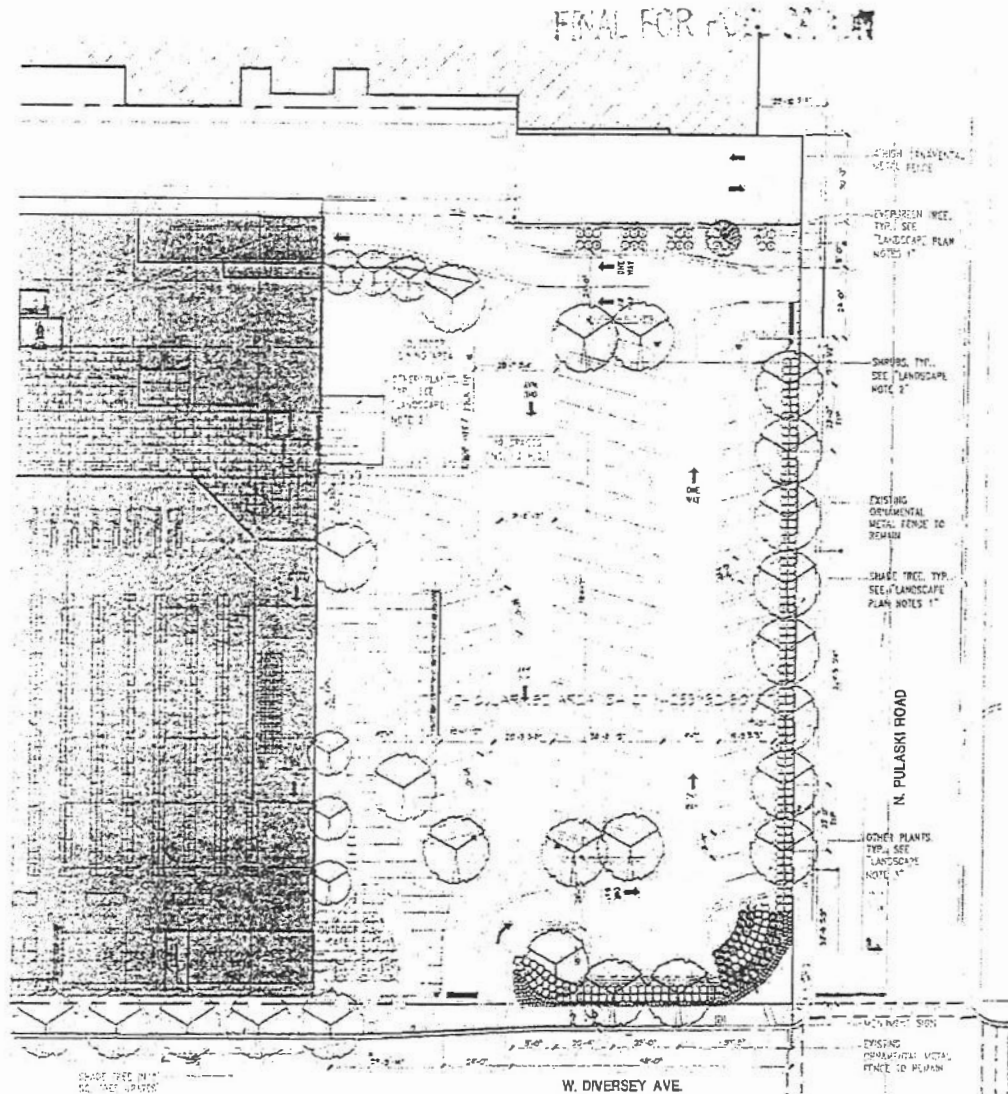
**OVERALL LANDSCAPE PLAN**

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE. CHICAGO IL 60639  
COUNCIL INTRODUCTION: 24 May, 2017  
PLAN COMMISSION: 17 August, 2017

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### PARKING LOT LANDSCAPE PLAN

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 COUNCIL INTRODUCTION: 24 May, 2017  
 PLAN COMMISSION: 17 August, 2017

#### PARKING LOT LANDSCAPE PLAN AREA CALCULATION:

VEHICULAR USE AREA:	34,129 SQ.FT.
INTERIOR LANDSCAPE AREA REQ'D (10% OF V.U.A.):	3,413 SQ.FT.
TOTAL INTERIOR LANDSCAPE AREA PROVIDED:	3,428 SQ.FT.
TOTAL TREE REQUIRED (1 PER 125 SQ.FT.)	28 TREES
TOTAL TREE PROVIDED	28 TREES

#### LANDSCAPE PLAN NOTES:

1. TREE SPECIES TO BE SELECTED FROM "DECIDUOUS SHADE TREES" LIST ON PLANT LIST.
2. SHRUB SPECIES TO BE SELECTED FROM "DECIDUOUS AND EVERGREEN SHRUBS" LIST ON PLANT LIST.
3. OTHER PLANTS TO BE SELECTED FROM "PERENNIALS AND GROUNDCOVERS" LIST ON PLANT LIST.

#### PLANT LIST:

BOTANICAL NAME	COMMON NAME
<b>DECIDUOUS SHADE TREES</b>	
ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE
GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO
PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR
ULMUS X 'MORTON GLOSSY'	TRIUMPH ELM
<b>EVERGREEN TREES</b>	
THUJA EMERALD GREEN	EMERALD GREEN ARBOVITAE

#### DECIDUOUS AND EVERGREEN SHRUBS

JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNKER
RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC
ROSA 'RADRAZZ'	KNOCKOUT ROSE
SYRINGA MEYERI 'PALBIM'	DWARF KOREAN LILAC

#### PERENNIALS AND GROUNDCOVERS

ECHINACEA PADILLA	PINK CONEFLOWER
HEDERA HELIX 'THORNDALE'	THORNDALE ENGLISH IVY
NEPETA X FAASSEN	FAASSEN'S CATMINT
SALVIA NEVEROSA 'BLUE HILL'	BLUE HILL SALVIA

\*ALL SHOWN IS EXISTING



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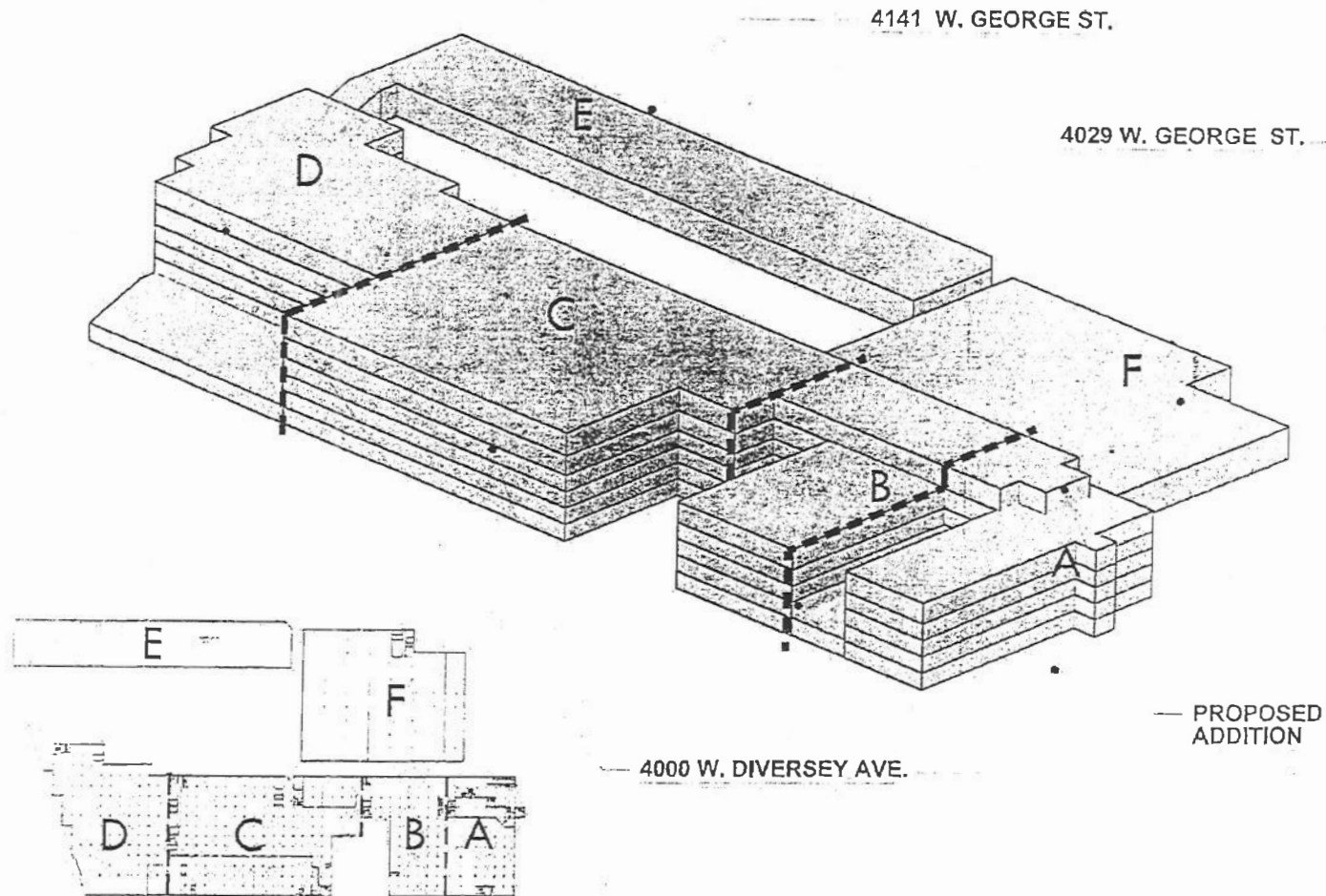
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### SUB-AREA - BUILDING IDENTIFICATION PLAN

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639

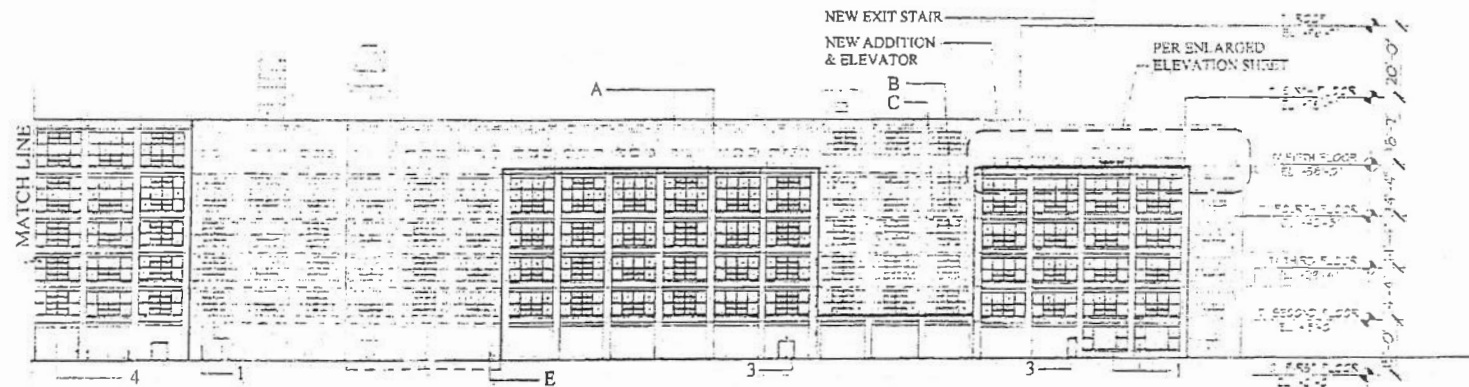
COUNCIL INTRODUCTION: 24 May, 2017

PLAN COMMISSION: 17 August, 2017

FINAL FOR PUBLIC REVIEW



SOUTH ELEVATION - WEST HALF (DIVERSEY AVE)



SOUTH ELEVATION - EAST HALF (DIVERSEY AVE)

- EXISTING FEATURES
- A. PAINTED CONCRETE
  - B. BRICK VENEER
  - C. ALUMINUM FRAME WINDOWS
  - D. CONCRETE SILL (UNPAINTED)
  - E. LOADING DOCK
  - F. VENT OR LOUVER

- NEW FEATURES
- 1. ALUMINUM STOREFRONT
  - 2. VEHICULAR ACCESS RAMP
  - 3. SWING DOOR
  - 4. OVERHEAD DOOR

# BUILDING ELEVATIONS

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 COUNCIL INTRODUCTION: 24 May, 2017  
 PLAN COMMISSION: 17 August, 2017



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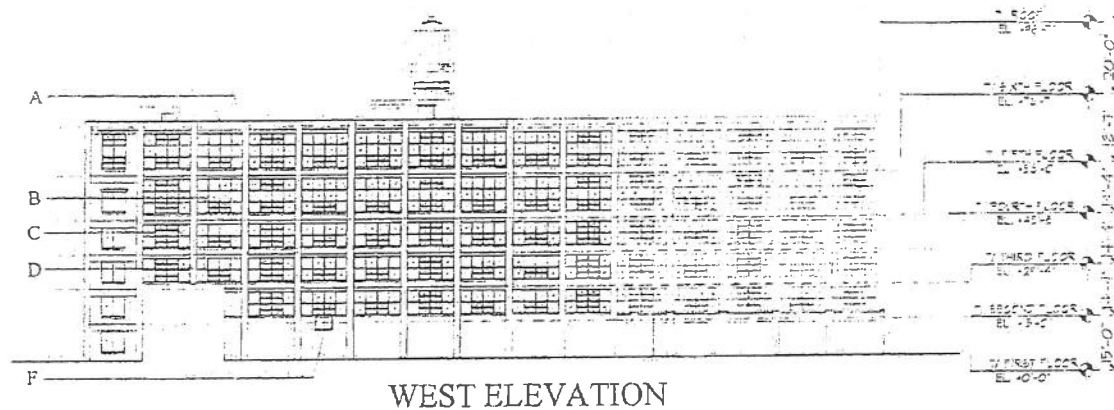
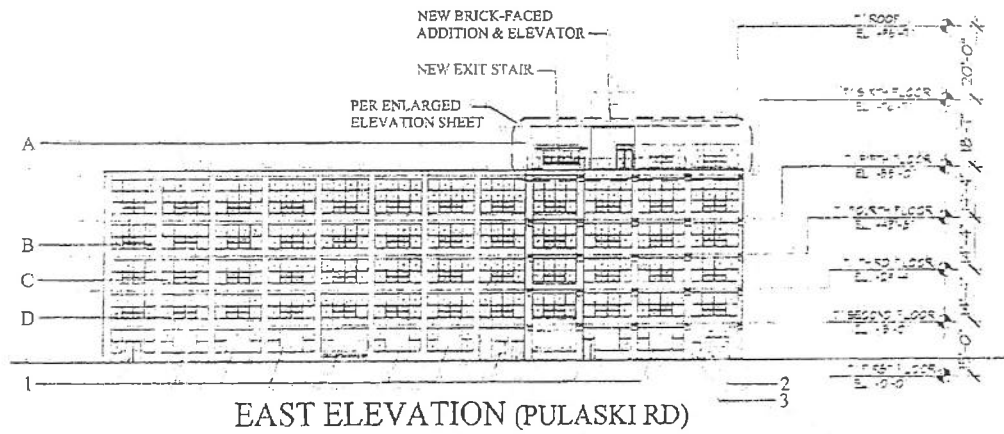
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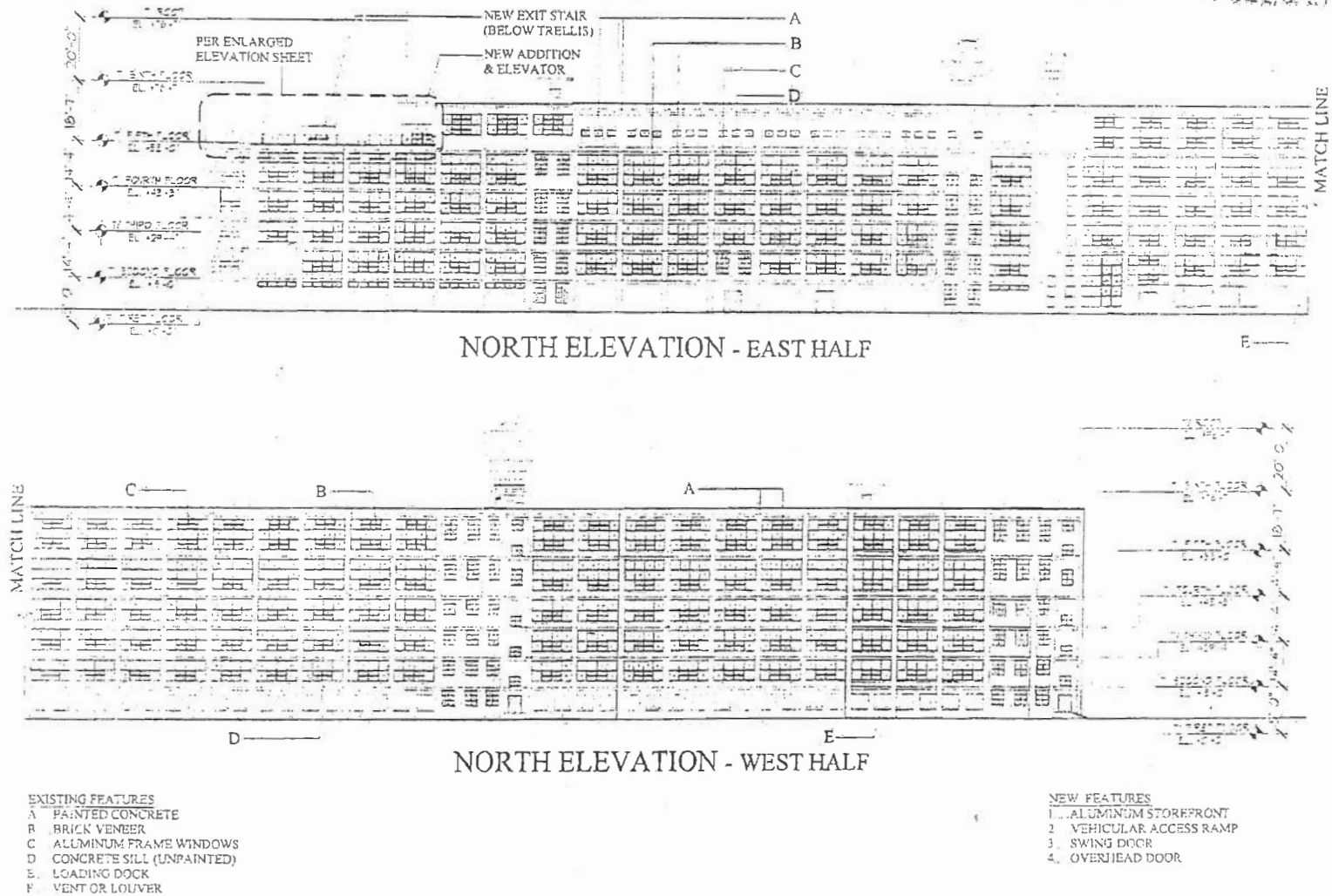
EXISTING FEATURES  
A. PAINTED CONCRETE  
B. BRICK VENEER  
C. ALUMINUM FRAME WINDOWS  
D. CONCRETE SILL (UNPAINTED)  
E. LOADING DOCK  
F. VENT OR LOUVER

NEW FEATURES  
1. ALUMINUM STOREFRONT  
2. VEHICULAR ACCESS RAMPS  
3. SWING DOOR  
4. OVERHEAD DOOR

## BUILDING ELEVATIONS

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
COUNCIL INTRODUCTION: 24 May, 2017  
PLAN COMMISSION: 17 August 2017





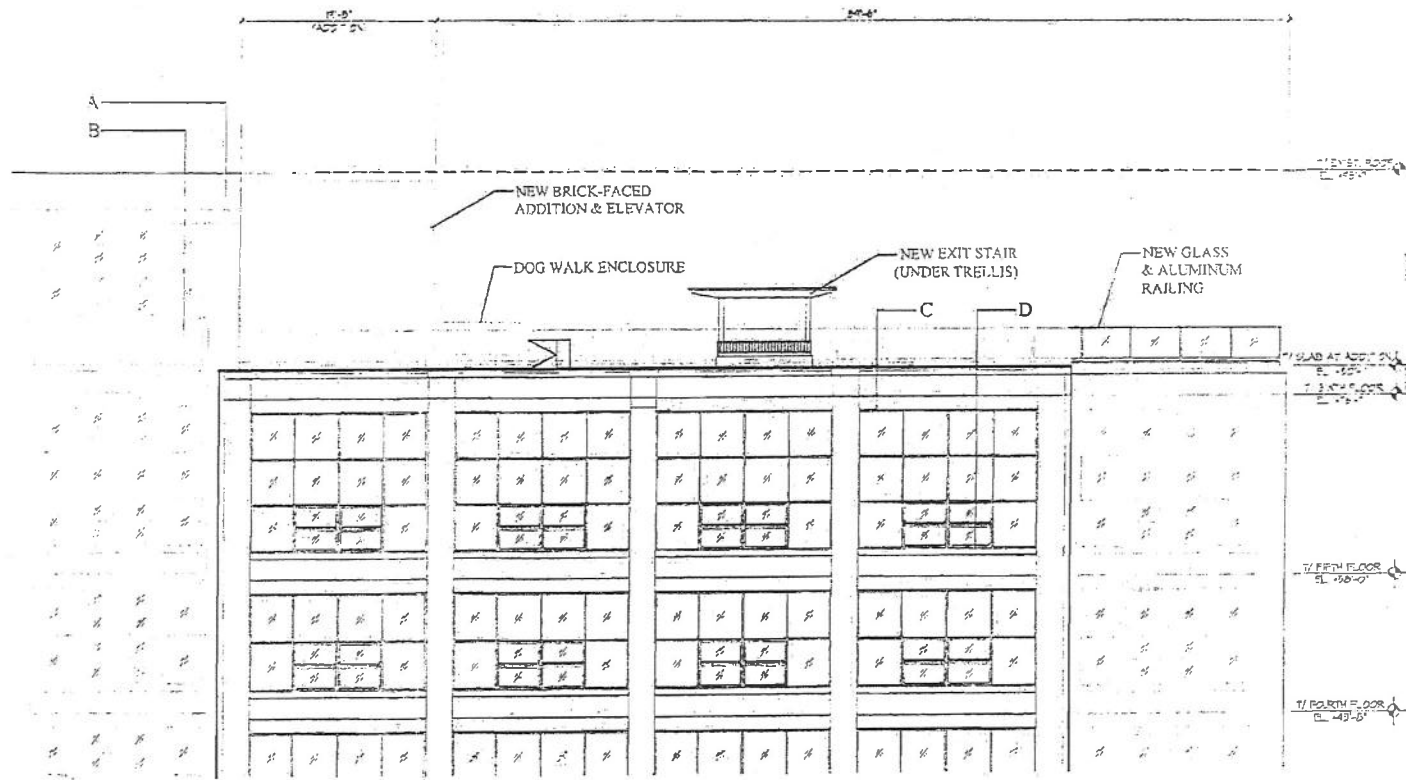


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REPORTS OF COMMITTEES

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- EXISTING FEATURES
- A. PAINTED CONCRETE
  - B. BRICK VENEER
  - C. ALUMINUM FRAMES WINDOWS
  - D. CONCRETE SILL (UNPAINTED)
  - E. LOADING DOCK
  - F. VENT OR LOUVER

SOUTH ELEVATION (DIVERSEY AVE)

ENLARGED BUILDING ELEVATION

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE. CHICAGO IL 60639  
 COUNCIL INTRODUCTION: 24 May, 2017  
 PLAN COMMISSION: 17 August, 2017

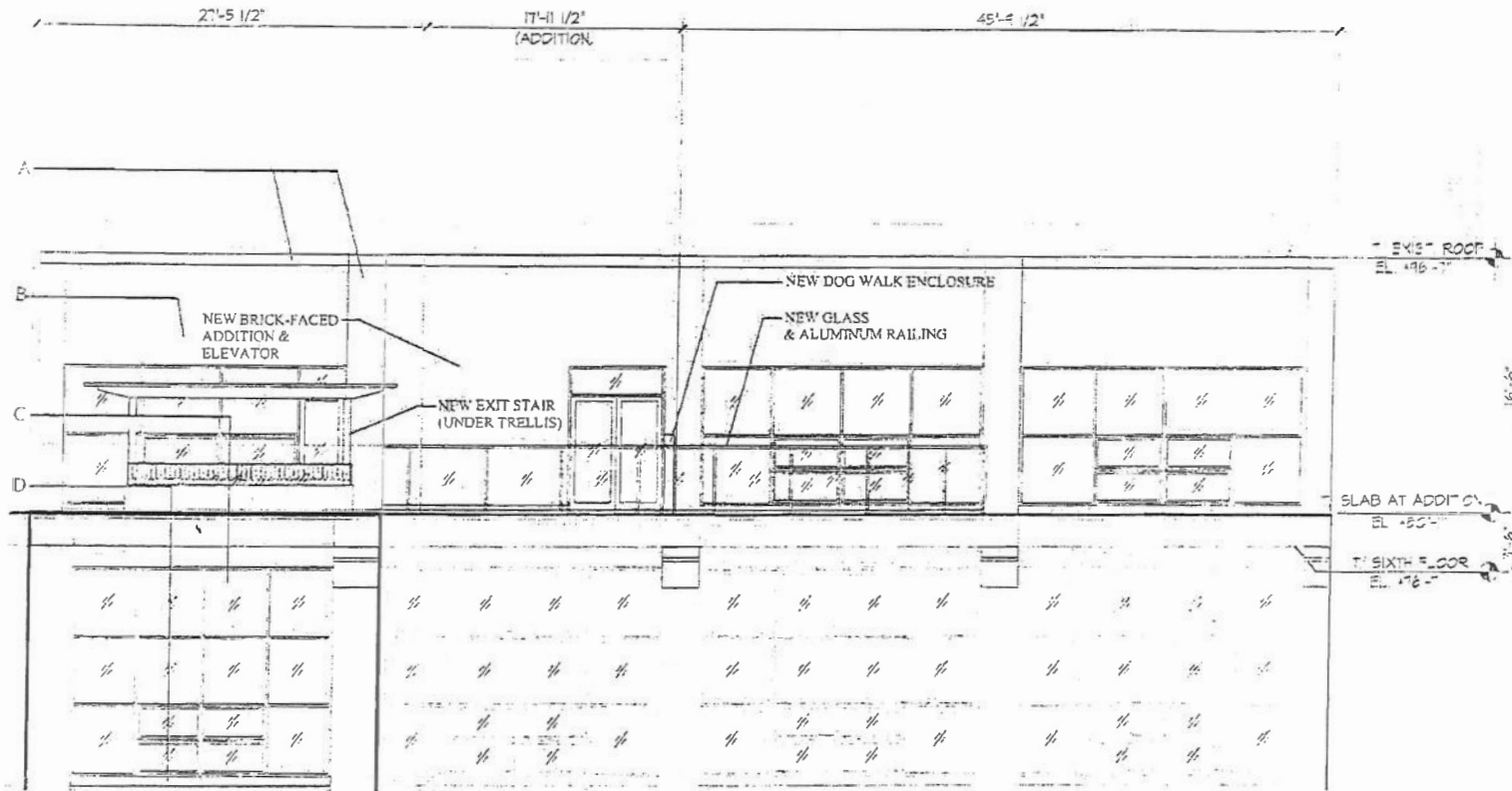


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- EXISTING FEATURES
- A PAINTED CONCRETE
  - B BRICK VENEER
  - C ALUMINUM FRAME WINDOWS
  - D CONCRETE SILL (UNPAINTED)
  - E LOADING DOCK
  - F VENT OR LOUVER

EAST ELEVATION (PULASKI RD)

ENLARGED BUILDING ELEVATION

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE. CHICAGO IL 60639  
 COUNCIL INTRODUCTION: 24 May, 2017  
 PLAN COMMISSION: 17 August, 2017

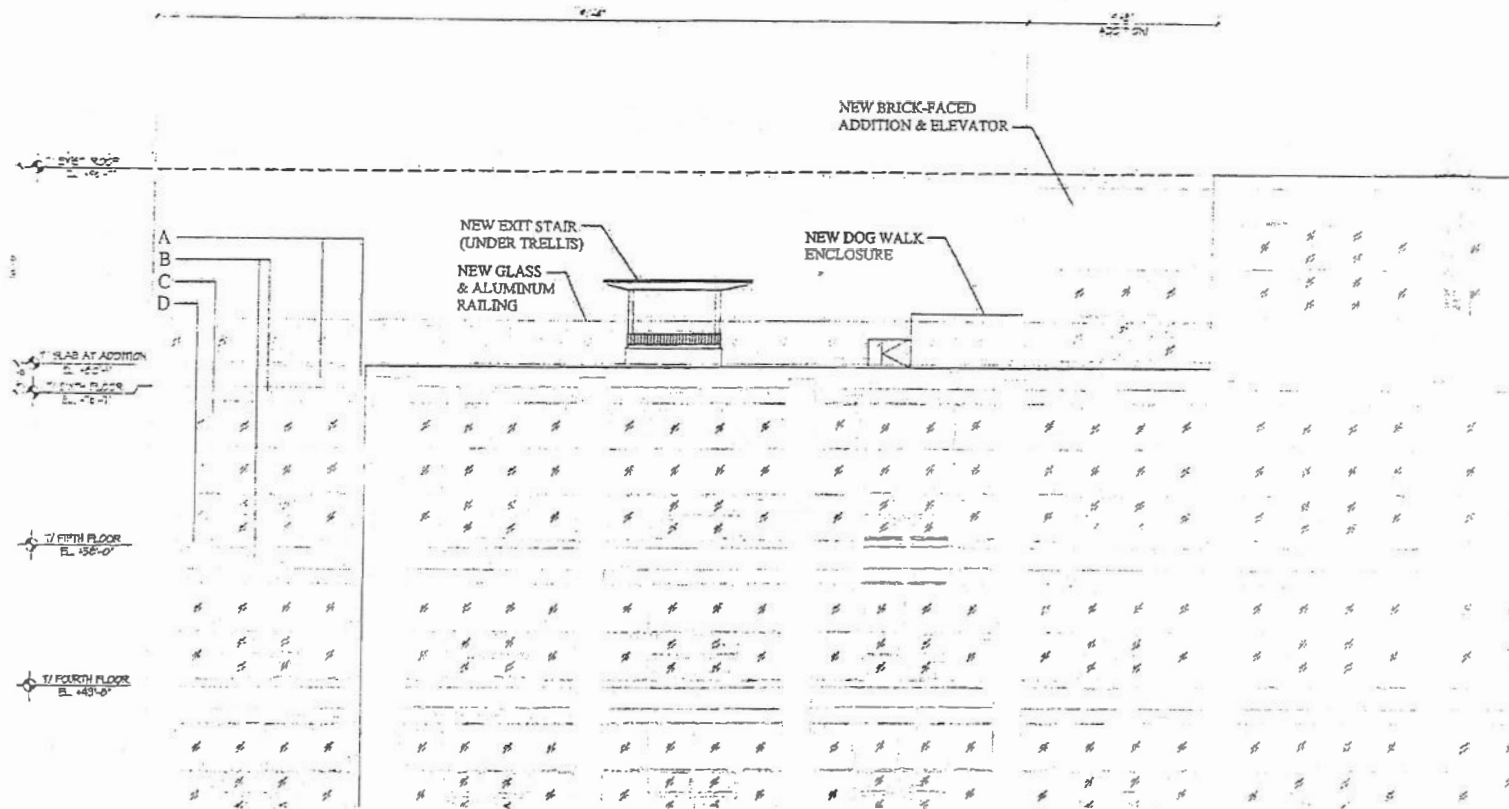


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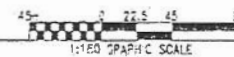


EXISTING FEATURES  
 A.....PAINTED CONCRETE  
 B.....BRICK VENEER  
 C.....ALUMINUM FRAME WINDOWS  
 D.....CONCRETE SILL (UNPAINTED)  
 E.....LOADING DOCK  
 F.....VENT OR LOUVER

## NORTH ELEVATION

### ENLARGED BUILDING ELEVATION

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 COUNCIL INTRODUCTION: 24 May, 2017  
 PLAN COMMISSION: 17 August, 2017



18001

*Reclassification Of Area Shown On Map No. 7-K.*

(As Amended)

(Application No. 18001)

(Common Address: 4000 -- 4180 W. Diversey Ave. And 4029 -- 4153 W. George St.)

[SO2014-2338]

PD 1261

*Be It Ordained by the City Council of the City of Chicago:*

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the M1-1 Limited Manufacturing/Business Park District symbols and indications as shown on Map Number 7-K in the area bounded by:

West George Street; a line 286.97 feet west of and parallel to North Pulaski Road; a line 314.64 feet south of and parallel to West George Street; a line 100 feet west of and parallel to North Pulaski Road; a line 323.14 feet south of and parallel to West George Street; North Pulaski Road; West Diversey Avenue; and the easterly right-of-way line of the Chicago, Milwaukee, St. Paul and Pacific Railroad Company; a line 673.08 feet northwest of and parallel to the north line of West Diversey Avenue, as measured along the easterly right-of-way line of the Chicago, Milwaukee, St. Paul and Pacific Railroad Company; and the west boundary line of North Kearsarge Avenue,

to those of C2-2 Motor Vehicle-Related Commercial District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the C2-2 Neighborhood Commercial District symbols and indications as shown on Map Number 7-K in the area bounded by:

West George Street; a line 286.97 feet west of and parallel to North Pulaski Road; a line 314.64 feet south of and parallel to West George Street; a line 100 feet west of and parallel to North Pulaski Road; a line 323.14 feet south of and parallel to West George Street; North Pulaski Road; West Diversey Avenue; and the easterly right-of-way line of the Chicago, Milwaukee, St. Paul and Pacific Railroad Company; a line 673.08 feet northwest of and parallel to the north line of West Diversey Avenue, as measured along the easterly right-of-way line of the Chicago, Milwaukee, St. Paul and Pacific Railroad Company; and the west boundary line of North Kearsarge Avenue.

to those of Planned Development Number 1261.

SECTION 2. This ordinance shall be in force and effect from and after its due publication.

Plan of Development Statements referred to in this ordinance read as follows.

*Planned Development No. 124.*

*Plan Of Development Statements.*

1. The area delineated herein as Planned Development Number 124, ("Planned Development") consists of approximately 691,996 square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property") and is owned or controlled by 4K Diversey Partners, LLC (the "Applicant").
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors. All rights granted hereunder to the Applicant shall inure to the benefit of the Applicant's successors and assigns and, if different than the Applicant, the legal title holder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance.
3. All applicable official reviews, approvals or permits are required to be obtained by the Applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Chicago Department of Transportation ("CDOT") on behalf of the Applicant or its successors, assignees or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the Plans (as defined in Statement 4 below).

Ingress or egress shall be pursuant to the Plans and may be subject to the review and approval of the Department of Planning and Development ("DPD") and CDOT. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of CDOT.

All work proposed in the public way must be designed and constructed in accordance with CDOT Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II approval, the submitted plans must be approved by CDOT.

The applicant commits to provide and fully fund the installation of a traffic signal at the intersection of W Diversey Avenue and N Karlov Avenue prior to the issuance of the Certificate of Occupancy for the interior parking garage for the development.

The applicant commits to provide and fully fund the installation of countdown pedestrian signals at the intersection of W Diversey Avenue and N Kostner Avenue prior to the issuance of the Certificate of Occupancy for any portion of the development.

The applicant commits to provide and fully fund the installation of thermoplastic pavement markings on W Diversey Avenue from N Pulaski Road to the viaduct to the west (approximately 1,250 feet) including continental-style crosswalks at the intersections of Diversey/Pulaski and Diversey/Kostner prior to the issuance of the Certificate of Occupancy for any portion of the development. All pavement marking plans must be approved by CDOT prior to the installation.

4. This Plan of Development consists of seventeen (17) Statements: a Bulk Regulations Table; an Existing Land Use Map; an Existing Zoning Map; a Planned Development Property Line and Boundary Map; Site Plan; Sub-Area Plan; Landscape Plan; Overall Landscape Plan; Green Roof Plan and Building Elevations (North, South, East and West) prepared by Hirsch Associates LLC and dated October 16, 2014 submitted herein. Full-sized copies of the Site Plan, Landscape Plan and Building Elevations are on file with DPD. In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. In case of a conflict between the terms of this Planned Development Ordinance and the Zoning Ordinance, this Planned Development Ordinance shall control.
5. Business Live/Work Units are defined for purposes of this planned development as a space within a building (a) that combines a commercial use with a living space for the owner of the commercial establishment and that person's household, (b) where the resident owner of the commercial establishment is responsible for the commercial use on the premises; and (c) where the commercial use takes place subject to a valid business license, if applicable, associated with the premises and based on the commercial activity conducted therein. A Business Live/Work Unit may include Artist Live/Work Space, but only in conjunction with the following uses: art galleries, artist studios, software design office, and architectural design office. Business Live/Work Units shall adhere to the Use Restrictions in 17-9-0103.1 of the Chicago Zoning Ordinance, with exception of 17-9-0103.1-C.3 and C.5, from which they shall be exempt in this planned development.

Subarea A and B: Business Live/Work Units; Artist Work or Sales Space; Office; Business Support Services; Outdoor Patio; Communication Service Establishments; Restaurant, General; Food and Beverage Retail Sales; Retail Sales, General and accessory parking.

Subarea C: Business/Trade School; Day Care; Postal Service; Artist Work or Sales Space; Building Maintenance Services; Business Equipment and Sales Service; Business Support Services; Urban Farm – Indoor and/or Rooftop Operation; Communication Service Establishments; Building Material Sales; Office; High Technology Office; Residential Storage Warehouse; Retail Sales, General; Restaurant, General; Food and Beverage Retail Sales; Indoor Vehicle Storage; Artisan and Limited Manufacturing limited to Indoor Storage; Warehousing, Wholesaling and Freight Movement; Wireless Communication Facilities & Co-Located; and accessory parking.

Subarea D: Business/Trade School; Building Maintenance Services; Business Equipment and Sales Service; Business Support Services; Urban Farm – Indoor and/or Rooftop Operation; Communication Service Establishments; Building Material Sales; Residential Storage Warehouse; Artisan and Limited Manufacturing limited to Indoor Storage; Restaurant, General; Food and Beverage Retail Sales; Office; High Technology Office; Electronic Data Storage Center; Indoor Vehicle Storage; Warehousing, Wholesaling and Freight Movement; Wireless Communication Facilities & Co-Located and accessory parking.

Subarea E and F: Building Maintenance Services; Business Equipment and Sales Service; Business Support Services; Communication Service Establishments; Building Material Sales; Residential Storage Warehouse; Indoor Vehicle Storage; Artisan and Limited Manufacturing limited to Indoor Storage; Warehousing, Wholesaling and Freight Movement; Wireless Communication Facilities & Co-Located; Office as an accessory use; and accessory parking.

The following uses are prohibited in this Planned Development:

Colleges and Universities; Cultural Exhibits and Libraries, Hospitals; Parks and Recreational Uses; Body Art Services; Tavern; Lodging, Bed and Breakfast, Vacation Rental; Freestanding (Towers) Wireless Communication Facilities; Contractor/Construction Storage Yard; Outdoor Vehicle Storage and Towing; Motor Vehicle Repair Shop; Vehicle Sales and Service; Amusement Arcades and Children's Play Center; Roof Top Patios; Non-accessory parking; Class I - II Recycling Facilities; Repair or Laundry Service (Consumer); Automated Teller Machine Facility; Personal Service; Undertaking; Medical Service; and Entertainment and Spectator Sports Uses.

6. On-Premise signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of DPD. Off-Premise signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 691,996 square feet.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review Fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the Applicant and must be paid to the Department of Revenue prior to the issuance of any Part II approval.
10. The Site and Landscape Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II reviews, are conditional until final Part II approval.

11. The Applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the Applicant, its successors and assigns and, if different than the Applicant, the legal title holders and any ground lessors.
13. The Applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The Applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments, reduces operating costs and conserves energy and natural resources. With respect to Subareas A-D, the Applicant shall exceed ASHRAE 90.1 - 2004 by at least 14% and provide a green roof of not less than 50% of the net roof area, which is equivalent to an actual total of 74,068 square feet. Some or all of the foregoing green roof requirement may be satisfied by providing one or a combination of the following options: (a) vegetative green roof, (b) provide solar panels with an array size equivalent to 25% of the area required for the green roof (i.e., in lieu of 50,000 square feet of green roof, providing 12,500 sf of solar panels) or (c) providing Best Management Practice (BMP) by offsetting the equivalent stormwater value of a green roof either in a cistern, a rain garden, pervious hardscape or other method which will divert the equivalent value achieved by a green roof from the stormwater system. At the time of each Part II review for all or portions of Subareas A-D involving over 50,000 square feet of floor area, the Applicant shall submit a report demonstrating its progress towards the sustainability requirements set forth herein, which may be updated with subsequent phases of development. Subareas E and F shall be exempt from the requirements set forth in this Statement 14.
15. The Applicant acknowledges that the Planned Development includes a building commonly known as the Marshall Field & Co. Warehouse Building and identified as potentially significant in the Chicago Historic Resources Survey. Pursuant to the Zoning Ordinance, Section 17-8-0911 and Section 13-32-230 of the Municipal Code, the Applicant acknowledges that planned developments should give priority to the adaptive reuse of historic buildings which have been designated as an orange building in the Chicago Historic Resources Survey. Therefore, the applicant agrees, where possible, to retain and preserve the existing character-defining features of the building. The character-defining features are identified as all exterior elevations, including rooflines that are visible from the public rights-of-way; however, the Applicant may add or modify openings, entries or windows to



character-defining features should be retained and preserved as much as reasonably possible, while any changes should be compatible with the building's current design and, where possible, historic character. Such work to the character-defining features shall be subject to the review and approval of the Department of Planning and Development as a part of the Part II Review.

16. The Applicant acknowledges and agrees that the rezoning of the Property from the M1-1 Limited Manufacturing/Business Park District to the C2-2 Motor Vehicle-Related Commercial District then to Residential-Business Planned Development for construction of this Planned Development triggers the requirements of Section 2-45-110 of the Municipal Code (the "Affordable Housing Ordinance"). Any developer of a "residential housing project" within the meaning of the Affordable Housing Ordinance ("Residential Project") must: (i) develop affordable housing units as part of the Residential Project; (ii) pay a fee in lieu of the development of affordable housing units; or (iii) any combination of (i) and (ii). In accordance with these requirements and the Affordable Housing Profile Form attached hereto as Exhibit [\_\_\_\_], the Applicant has agreed to provide 9 affordable housing units in the Residential Project for households earning up to 60% of the Chicago Primary Metropolitan Statistical Area median income (the "Affordable Units"), or make a cash payment to the Affordable Housing Opportunity Fund in the amount of \$100,000 per unit ("Cash Payment"). At the time of each Part II review for the Residential Project, Applicant may update and resubmit the Affordable Housing Profile Form to the Department of Planning and Development ("DPD") for review and approval. If the Applicant subsequently reduces the number of dwelling units in the Residential Project, DPD may adjust the requirements of this Statement 16 (i.e., number of Affordable Units and/or amount of Cash Payment) accordingly without amending the Planned Development. Prior to the issuance of any building permits for the Residential Project, including, without limitation, excavation or foundation permits, the Applicant must either make the required Cash Payment, or execute an Affordable Housing Agreement in accordance with Section 2-45-110(i)(2). The terms of the Affordable Housing Agreement and any amendments thereto are incorporated herein by this reference. The Applicant acknowledges and agrees that the Affordable Housing Agreement will be recorded against the Residential Project and will constitute a lien against each Affordable Unit. The City shall execute partial releases of the Affordable Housing Agreement prior to or at the time of the sale of each Affordable Unit to an income-eligible buyer at an affordable price, subject to the simultaneous execution and recording of a mortgage, restrictive covenant or similar instrument against such Affordable Unit. The Commissioner of DPD may enforce remedies for breach of the Affordable Housing Agreement, and enter into settlement agreements with respect to any such breach, subject to the approval of the Corporation Counsel, without recording the Planned Development.
 

(Existing Land-Use Map; Existing Zoning Map (400 feet in each direction); Planned Development, Property Line and Boundary Maps; Site Plan; Overall Landscape Plan; Parking Lot Landscape Plan; Green Roof and Sustainability Plan; Subarea Buildings Identification Plan; and North, South, East and West Building Elevation referred to in these Plan of Development Statements printed on pages 00001 through 00073 of this document.)

17. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Bulk Regulations and Data Table referred to in these Plan of Development Statements shall be as follows: Should this Planned Development Ordinance lapse, the Commissioner of DPD shall initiate a Zoning Map Amendment to rezone the property to C2-2.

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JOURNAL--CITY COUNCIL--CHICAGO

11/5/2014

*Planned Development No. 1261.*

*Plan Of Development*

*Bulk Regulations And Data Table.*

Gross Site Area:	751,345 square feet
Public Right-of-Way:	59,349 square feet
Net Site Area -- Total:	691,996 square feet
Maximum Floor Area Ratio:	2.2
Total Maximum Floor Area (square feet):	1,522,391 square feet
Maximum Number Live Work Units:	84
Maximum Site Coverage:	Per Site Plan
Minimum Number of Bike Parking:	50
Parking requirements:	
Live-Work-Units:	1 space per unit
Office:	1.5 spaces per 1,000 square feet
Minimum Number of Off-Street Parking Spaces (See Note 1):	623 spaces
Minimum Number of Off-Street Loading Berths	As required by Zoning Ordinance
Maximum Building Height (feet):	Existing Height (96 feet, 7 inches)

Note 1: The parking facilities may be used on a shared basis to satisfy the accessory parking requirements for multiple uses within this planned development.

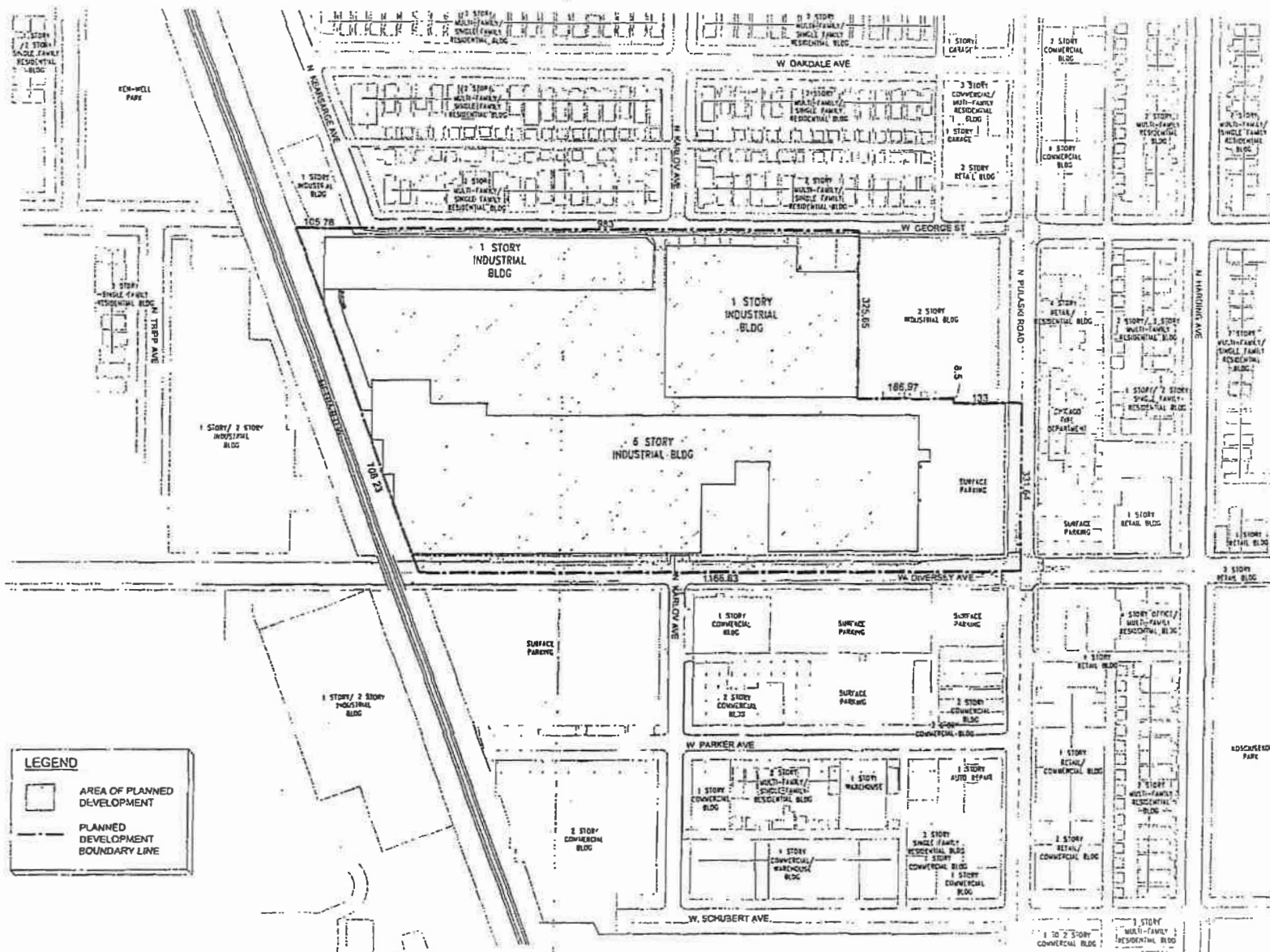
The following uses shall be subject to the following requirements:

If a Food and Beverage Retail Sales use is established in Subarea A or B, then 67 parking spaces in the east surface parking lot along North Pulaski Road shall be installed.

11/5/2014

# REPORTS OF COMMITTEES

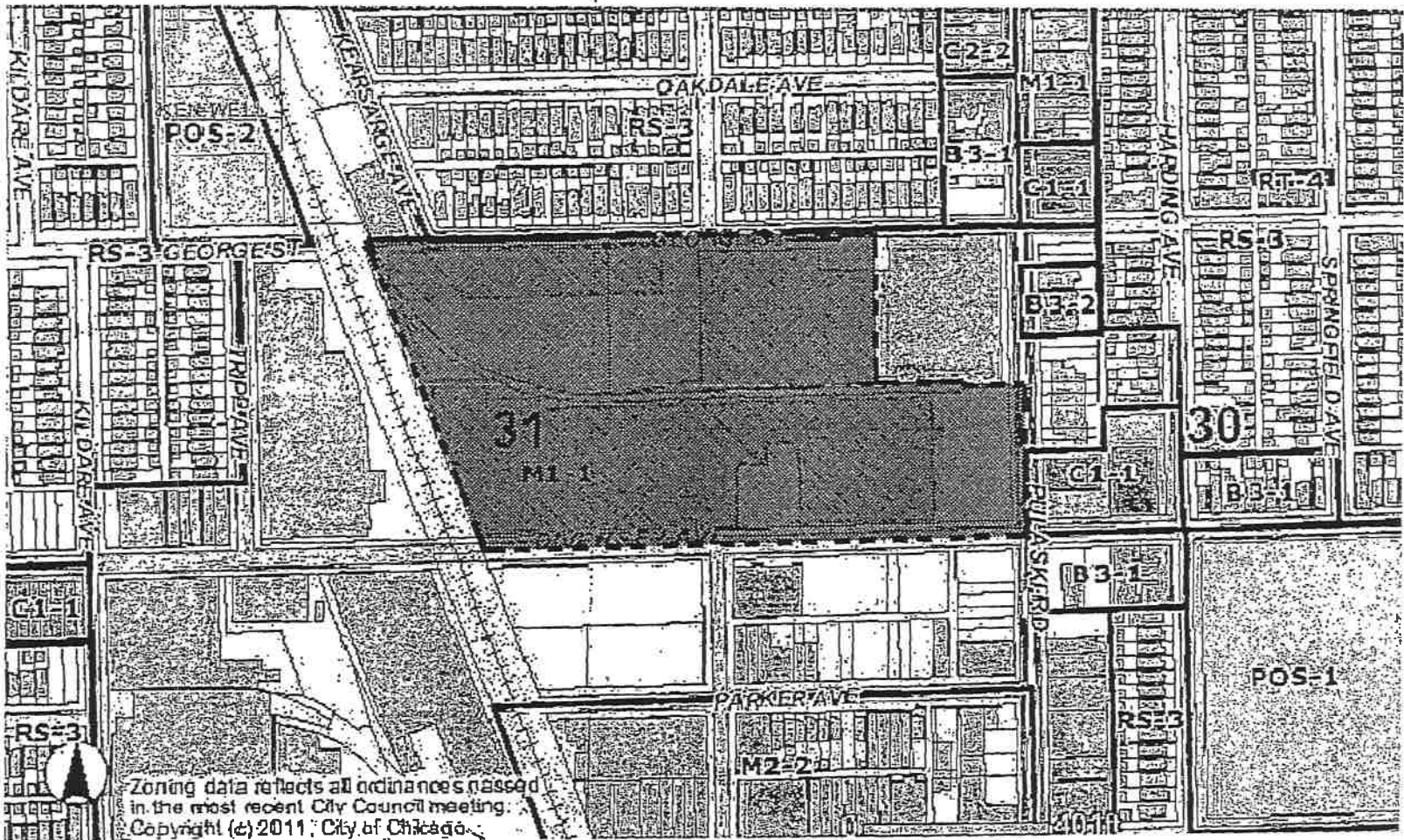
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## EXISTING LAND USE MAP

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639

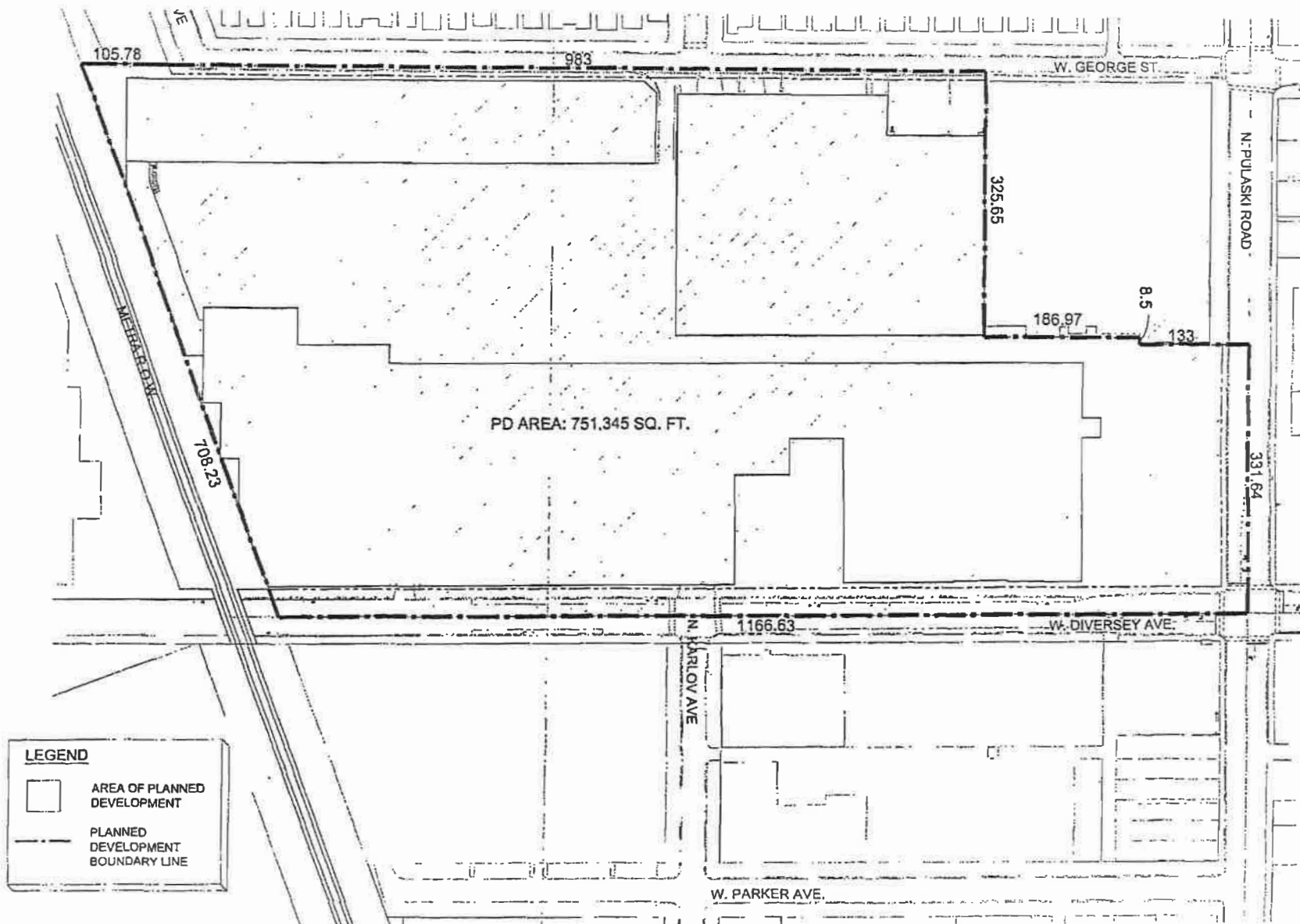
DATE: OCTOBER 16, 2014



### EXISTING ZONING MAP (400' in each direction)

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
DATE: OCTOBER 16, 2014



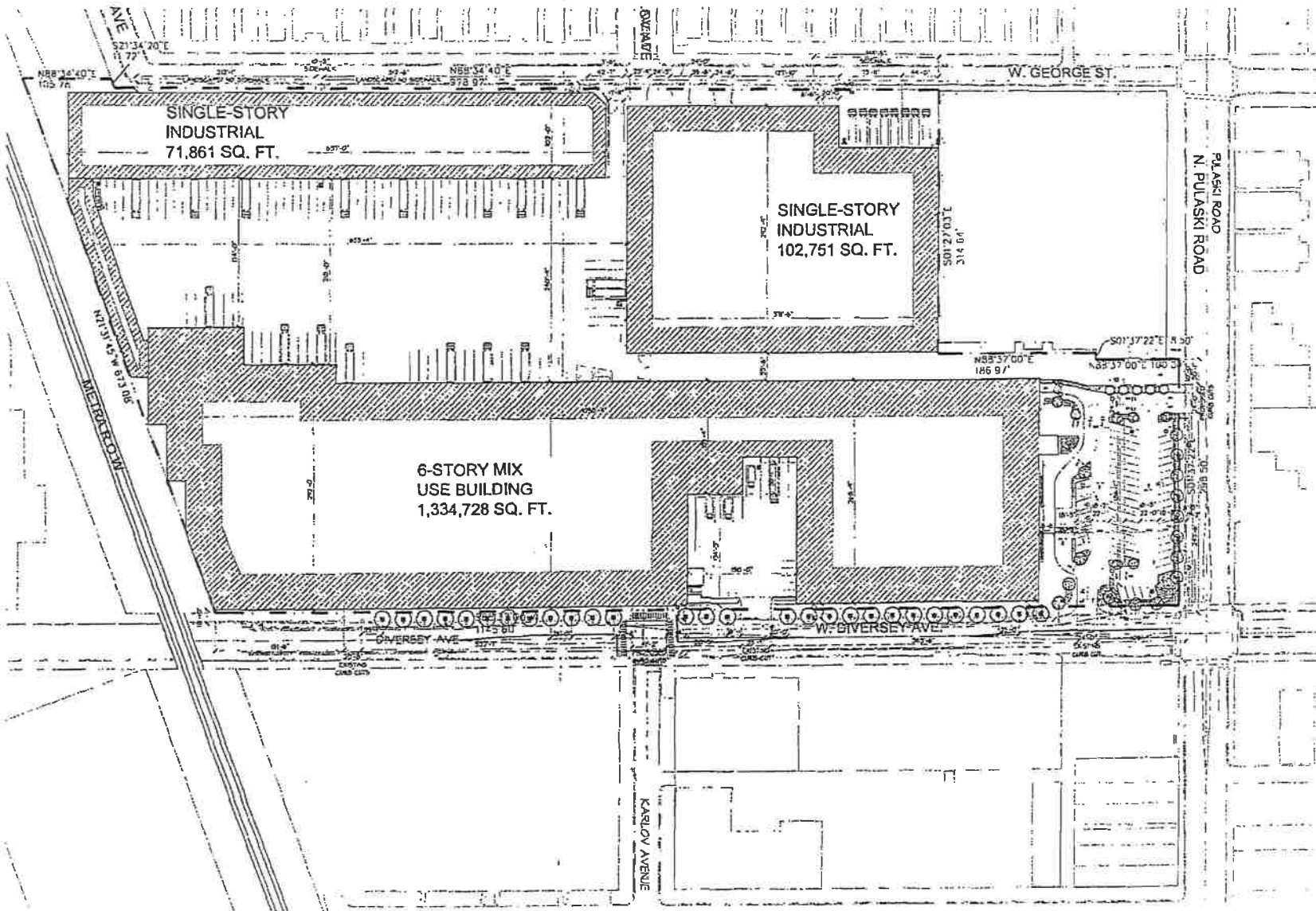


# PLANNED DEVELOPMENT PROPERTY LINE AND BOUNDARY MAP

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 DATE: OCTOBER 16, 2014







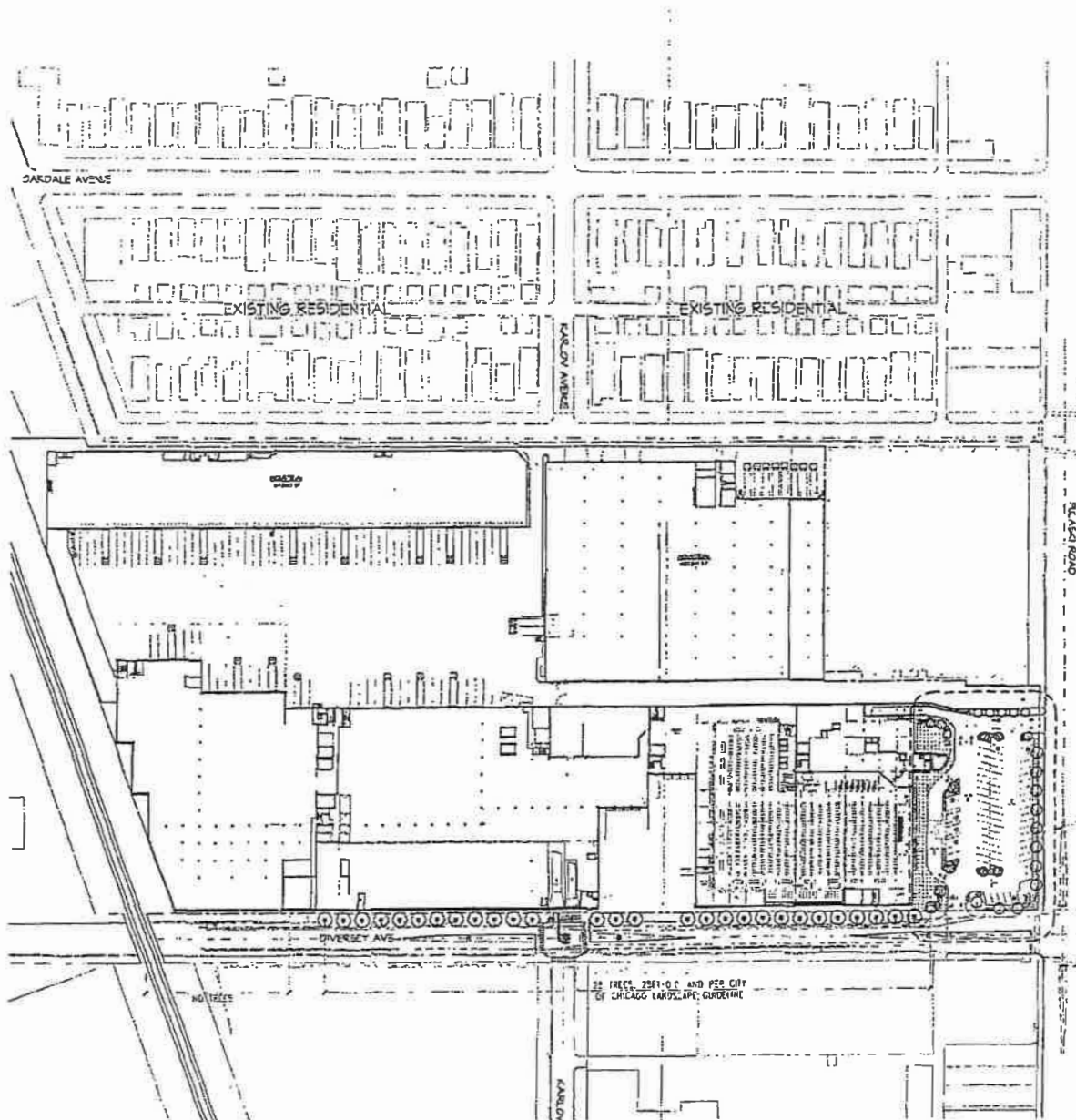
# SITE PLAN

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 DATE: OCTOBER 16, 2014

11/5/2014

REPORTS OF COMMITTEES

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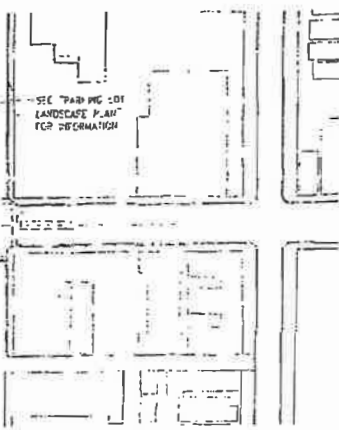


W. DIVERSEY AVE. LANDSCAPE INFORMATION:  
TOTAL TREE PROVIDED 28 TREES  
25FT O.C. AND PER CITY OF CHICAGO LANDSCAPE GUIDELINES

LANDSCAPE PLAN NOTES:  
1. TREE SPECIES TO BE SELECTED FROM "DECIDUOUS SHADE TREES" LIST ON PLANT LIST.

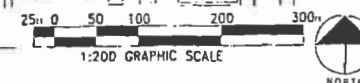
PLANT LIST:

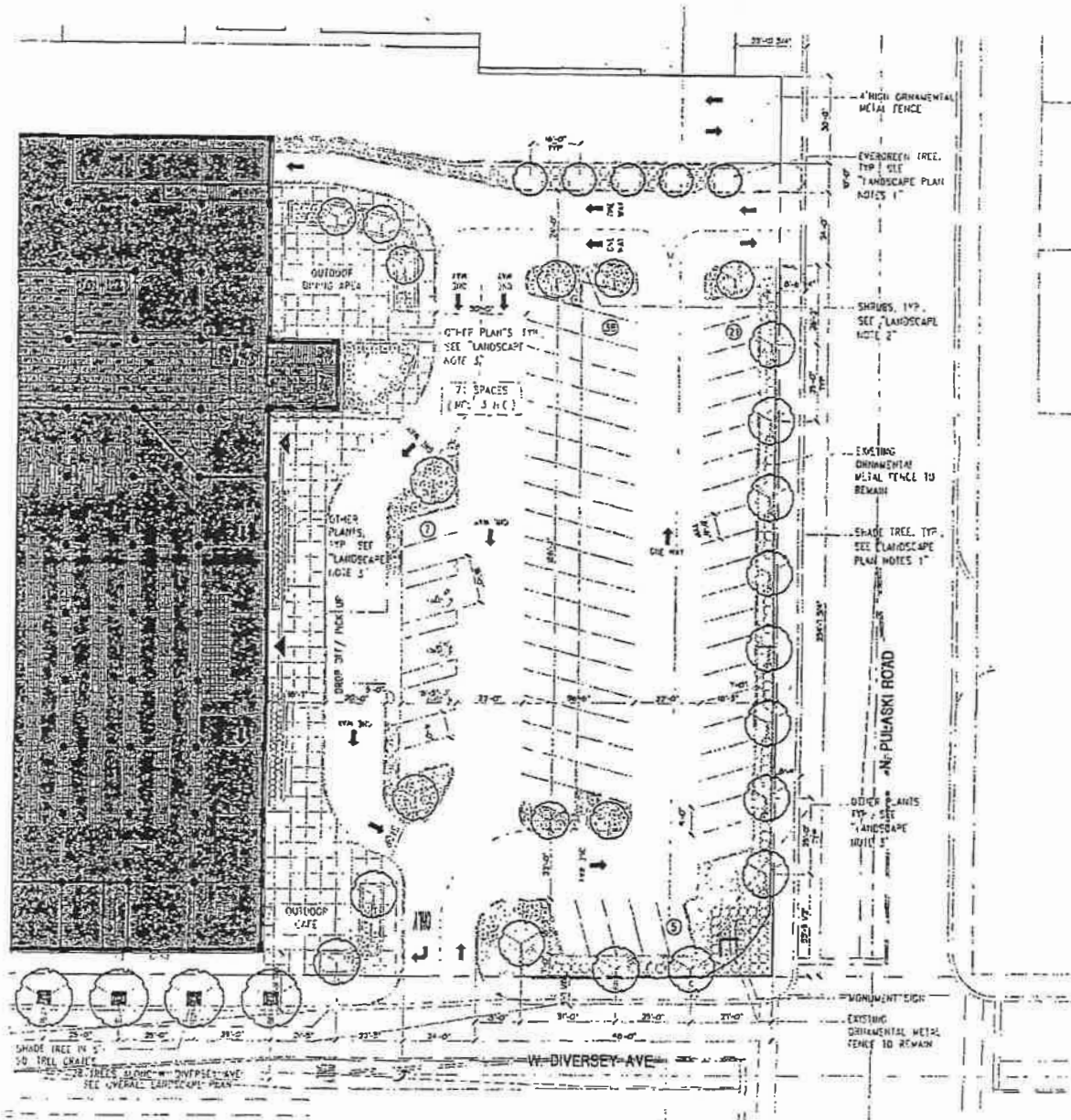
BOTANICAL NAME	COMMON NAME
DECIDUOUS SHADE TREES	
ACER X FREEMANNI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE
GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO
PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR
ULMUS X 'WORTON GLASSY'	TRIUMPH ELM



# OVERALL LANDSCAPE PLAN

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
DATE: OCTOBER 16, 2014



**PARKING LOT LANDSCAPE PLAN AREA CALCULATION:**

VEHICULAR USE AREA:	34,129 SQ.FT.
INTERIOR LANDSCAPE AREA REQ'D (10% OF V.U.A.):	3,413 SQ.FT.
TOTAL INTERIOR LANDSCAPE AREA PROVIDED:	3,429 SQ.FT.
TOTAL TREE REQUIRED (1 PER 125 SQ.FT.):	28 TREES
TOTAL TREE PROVIDED	28 TREES

**LANDSCAPE PLAN NOTES:**

1. TREE SPECIES TO BE SELECTED FROM "DECIDUOUS SHADE TREES" LIST ON PLANT LIST.
2. SHRUB SPECIES TO BE SELECTED FROM "DECIDUOUS AND EVERGREEN SHRUBS" LIST ON PLANT LIST.
3. OTHER PLANTS TO BE SELECTED FROM "PERENNIALS AND GROUNDCOVERS" LIST ON PLANT LIST.

**PLANT LIST:**

BOTANICAL NAME	COMMON NAME
<b>DECIDUOUS SHADE TREES</b>	
ACER X FREEMANN 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE
GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO
PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR
ULMUS X 'MORTON GLOSSY'	TRIUMPH ELM
<b>EVERGREEN TREES</b>	
TRILIJA EMERALD GREEN	EMERALD GREEN ARBORVITAE
<b>DECIDUOUS AND EVERGREEN SHRUBS</b>	
JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER
RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC
ROSA 'RADRAZZ'	KNOCKOUT ROSE
SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC
<b>PERENNIALS AND GROUNDCOVERS</b>	
ECHINACEA PADIOLA	PINK CONEFLOWER
HEDERA HELIX 'THORNDALE'	THORNDALE ENGLISH IVY
NEPETA X FAASSEN!	FAASSEN'S CATMINT
SALVIA NEMEROSA 'BLUE HILL'	BLUE HILL SALVIA

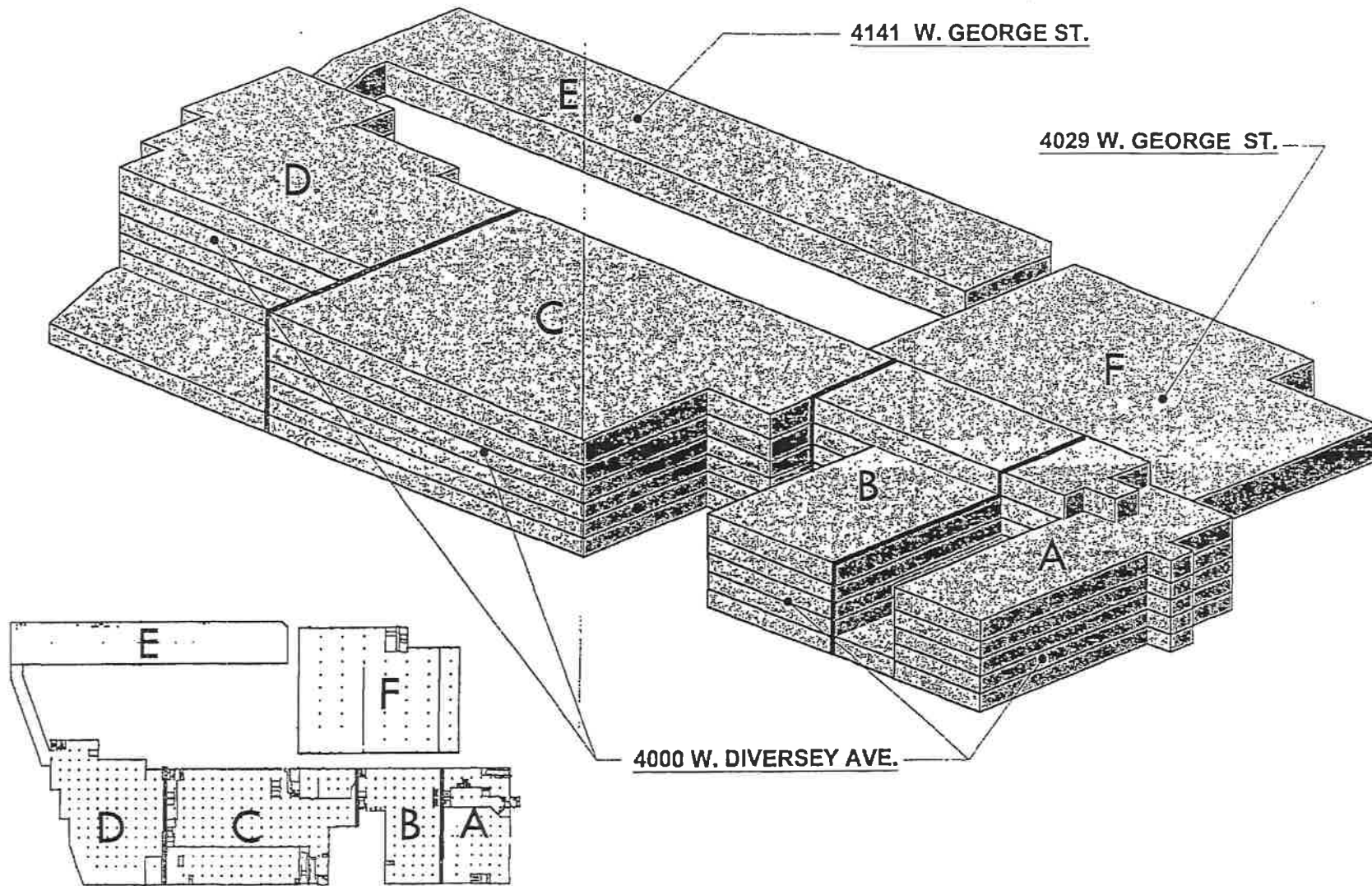
**PARKING LOT LANDSCAPE PLAN**

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 DATE: OCTOBER 16, 2014









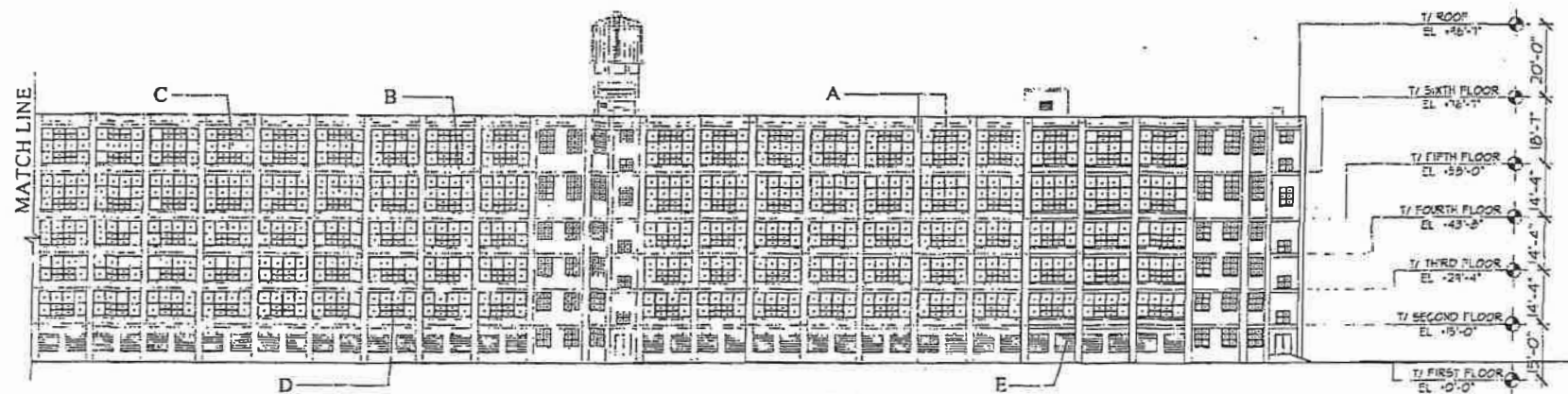
# SUB-AREA - BUILDING IDENTIFICATION PLAN

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
 DATE: OCTOBER 16, 2014





NORTH ELEVATION - EAST HALF



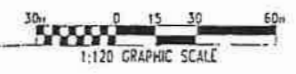
NORTH ELEVATION - WEST HALF

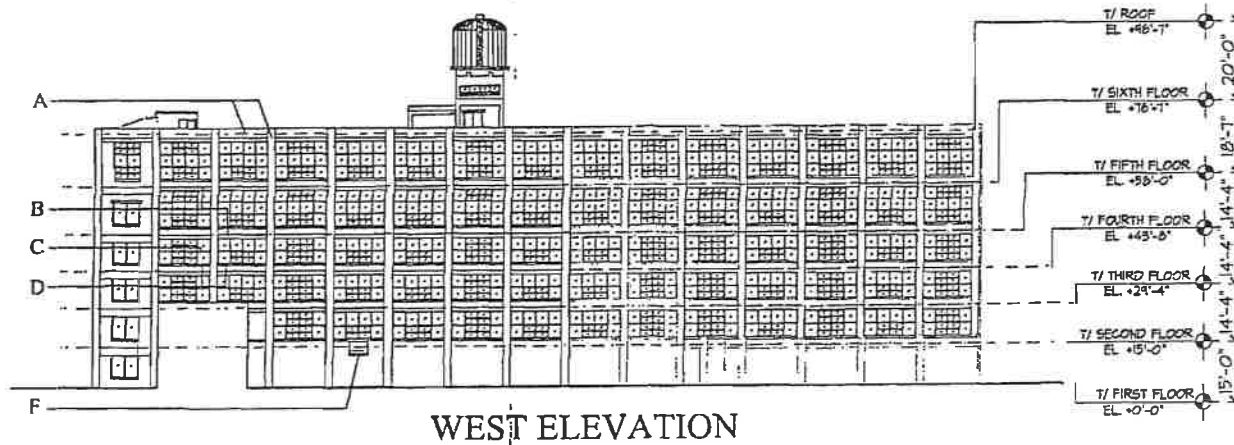
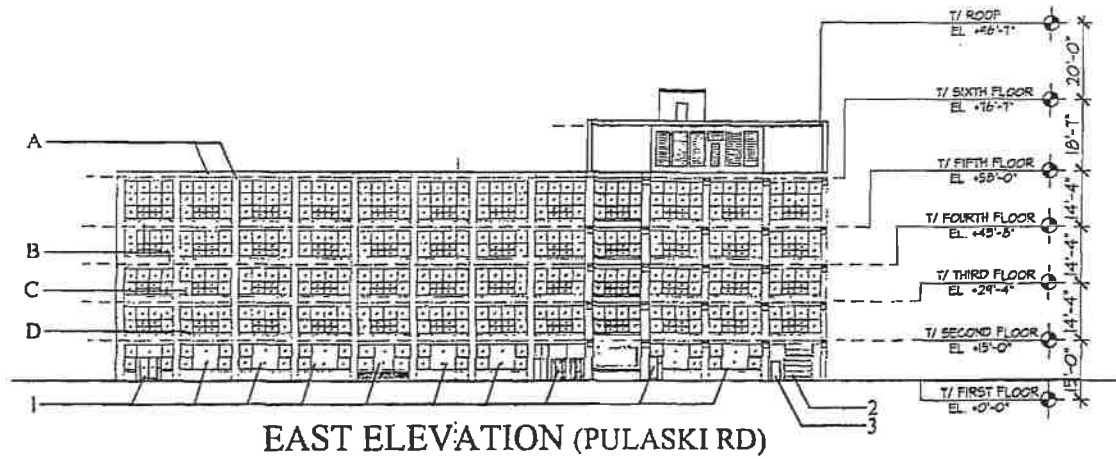
- EXISTING FEATURES
- A . . PAINTED CONCRETE
  - B . . BRICK VENEER
  - C . . ALUMINUM FRAME WINDOWS
  - D . . CONCRETE SILL (UNPAINTED)
  - E . . LOADING DOCK
  - F . . VENT OR LOUVER

- NEW FEATURES
- 1. . . ALUMINUM STOREFRONT
  - 2. . . VEHICULAR ACCESS RAMP
  - 3. . . SWING DOOR
  - 4. . . OVERHEAD DOOR

BUILDING ELEVATIONS

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
DATE: OCTOBER 16, 2014



**EXISTING FEATURES**

- A ... PAINTED CONCRETE
- B ... BRICK VENEER
- C ... ALUMINUM FRAME WINDOWS
- D ... CONCRETE SILL (UNPAINTED)
- E ... LOADING DOCK
- F ... VENT OR LOUVER

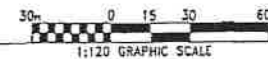
**NEW FEATURES**

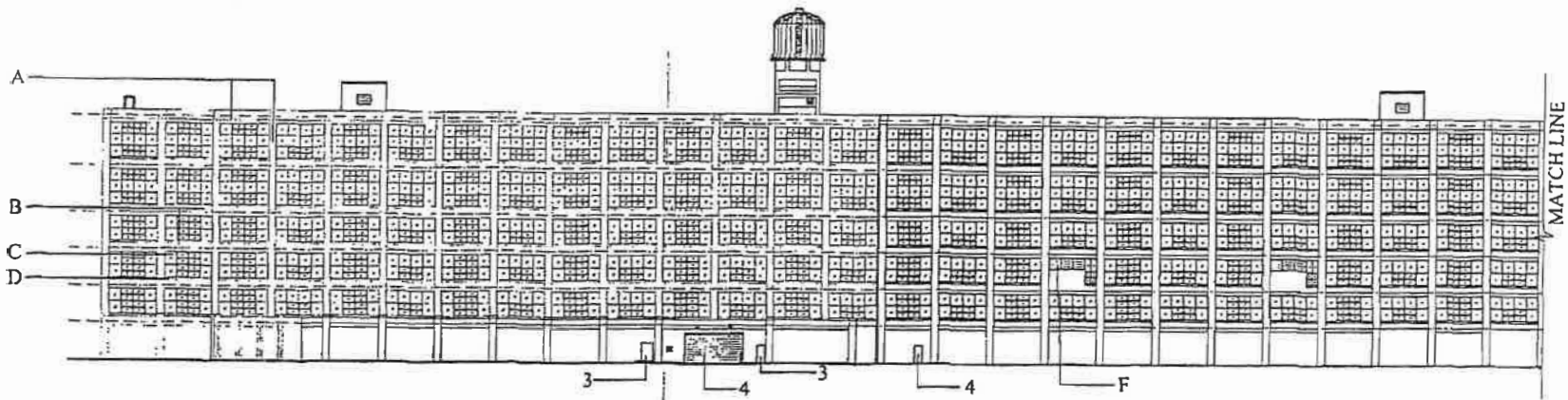
- 1 ... ALUMINUM STOREFRONT
- 2 ... VEHICULAR ACCESS RAM
- 3 ... SWING DOOR
- 4 ... OVERHEAD DOOR

**BUILDING ELEVATIONS**

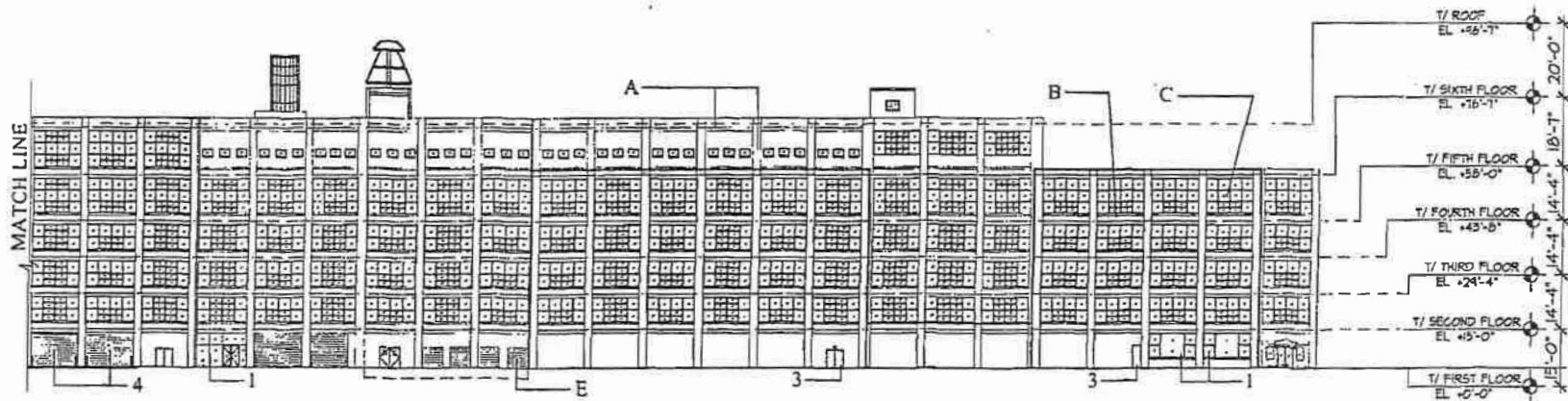
APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639

DATE: OCTOBER 16, 2014





SOUTH ELEVATION - WEST HALF (DIVERSEY AVE)



SOUTH ELEVATION - EAST HALF (DIVERSEY AVE)

EXISTING FEATURES

- A. ...PAINTED CONCRETE
- B. ...BRICK VENEER
- C. ...ALUMINUM FRAME WINDOWS
- D. ...CONCRETE SILL (UNPAINTED)
- E. ...LOADING DOCK
- F. ...VENT OR LOUVER

NEW FEATURES

- 1. ...ALUMINUM STOREFRONT
- 2. ...VEHICULAR ACCESS RAMP
- 3. ...SWING DOOR
- 4. ...OVERHEAD DOOR

BUILDING ELEVATIONS

APPLICANT: 4K DIVERSEY PARTNERS L.L.C., 4000 WEST DIVERSEY AVE, CHICAGO IL 60639  
DATE: OCTOBER 16, 2014

