

PD 1255

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CITY OF CHICAGO



DEPARTMENT OF PLANNING AND DEVELOPMENT

September 25, 2025

Kamau Murray
XS Tennis and Education Foundation
5336 S. State Street
Chicago, IL 60609

Re: Minor Change for PD No. 1255, 5336 S. State Street

Dear Mr. Murray:

Please be advised that your request for a minor change to Planned Development No. 1255 ("PD 1255"), has been considered the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the PD.

As the sole owner of PD 1255, XS Tennis Village LLC, you are seeking administrative relief to modify the approved exhibits to allow for building additions totaling 142,492 square feet and including four basketball courts, a gymnastics area, three padel courts, six hard tennis courts, two red clay tennis courts, ten pickleball courts and a second-story lounge.

The following revised drawings, dated August 29, 2025, are attached:

- Aerial View
- Architectural Site Plan
- Roof Plan
- Overall Plans
- Floor Plans (4) – Zone A, Zone B, Zone C, and Zone D
- Building Elevations (two sheets)

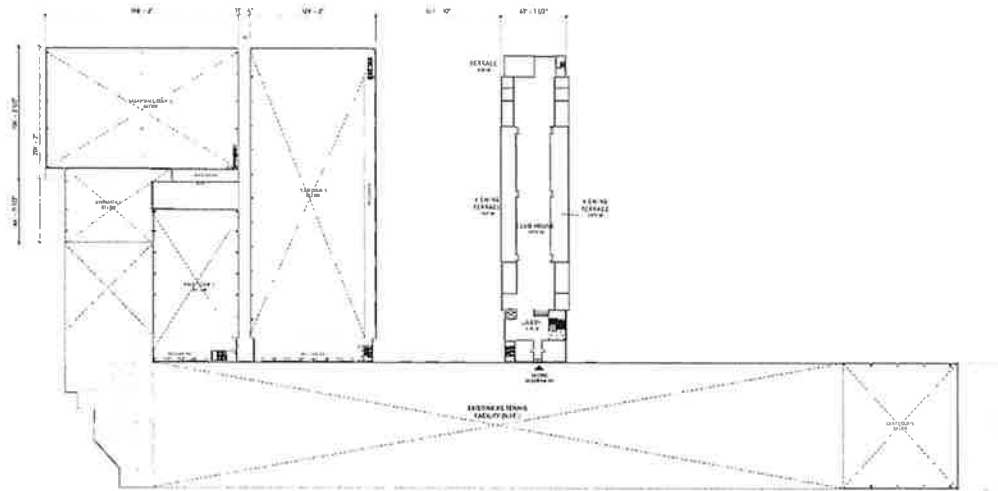
With regard to your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1255, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

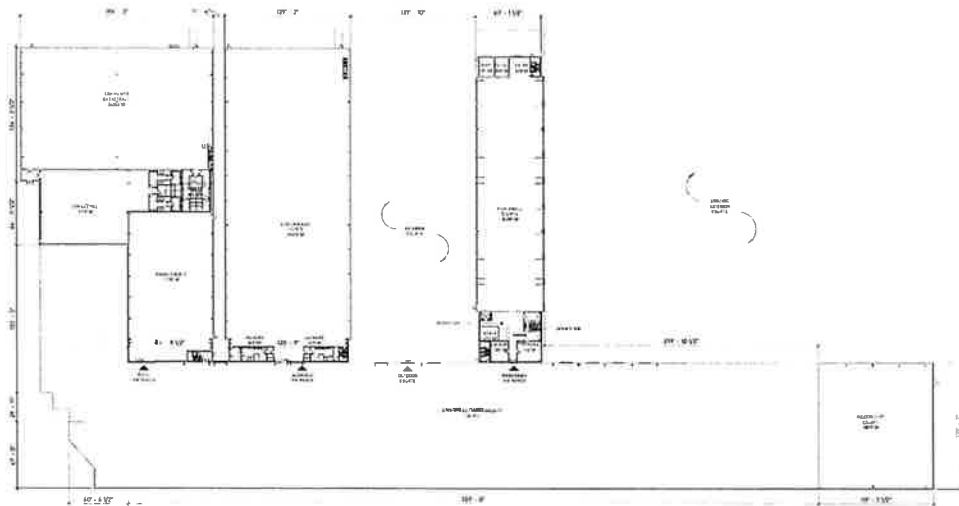
Sincerely,

Noah Szafraniec
Assistant Commissioner - Planned Developments and Plan Commission

C: Mike Marmo, Janice Hill, Stephan Nutt, Main file



2 LEVEL 7



1 LEVEL 1



935 W CHESTNUT ST, SUITE 206
CHICAGO, IL 60642

0730 413-8142 www.h3k.com

**XS TENNIS
ACADEMY -
BUILDING
EXPANSIONS**

311 S STATE ST
CHICAGO, IL 60604

OWNER
XS TENNIS AND EDUCATION
FOUNDATION
311 S STATE ST
CHICAGO, IL 60604

ARCHITECT
H3K
935 W CHESTNUT ST SUITE 206
CHICAGO, IL 60642

STRUCTURAL
FOUR FRONT STRUCTURAL ENGINEERS
218 N MADISON ST, STE 1402
CHICAGO, IL 60607

MEP/FP
ADVANCE CONSULTING GROUP INC.
200 W ADAMS ST, STE 800
CHICAGO, IL 60606

KEY PLAN



3 HOUR CHANGE EXHIBIT 08.31.2021
MDD BYTAK 08.19.2021
R 08.09.2021 3488

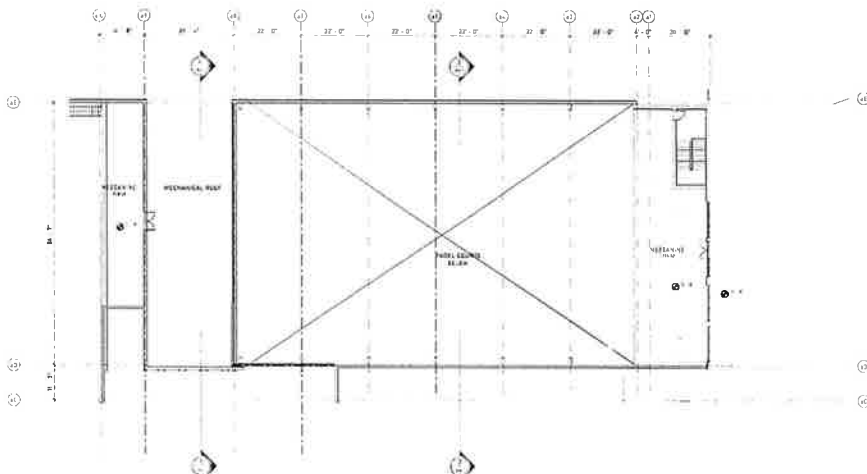


OVERALL PLANS

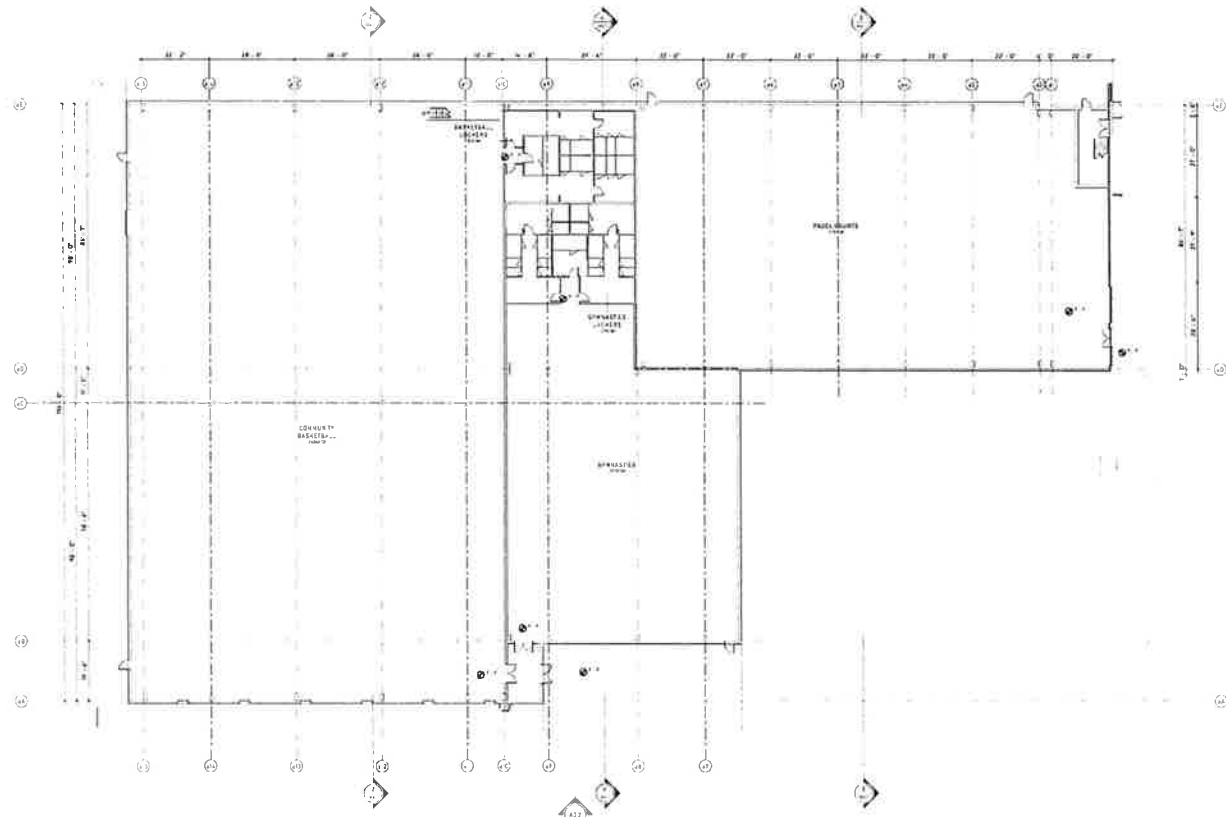
A1.0

SEEK PROJECT NO. 100





2 LEVEL 2 ENLARGED GYMNASIUM FLOOR PLAN



1 LEVEL 1 ENLARGED GYMNASIUM FLOOR PLAN



935 W CHESTNUT ST SUITE 205
CHICAGO, IL 60642
(773) 413-8162 www.h3k.design

**XS TENNIS
ACADEMY -
BUILDING
EXPANSIONS**

210 N STATE ST
EMERSON, IL 60027

OWNER
XS TENNIS AND EDUCATION
FOUNDATION
130 S STATE ST
CHICAGO, IL 60609

C -
SPATECO
635 W MADISON RD SUITE 200
ROSEMONT, IL 60068

STRUCTURAL
ENGINEER
228 E WASHINGTON ST STE 1000
CHICAGO, IL 60601

MEP/FP
ADVANCE CONSULTING GROUP INC.
200 W MADISON ST STE 400
CHICAGO, IL 60604

REF PLAN



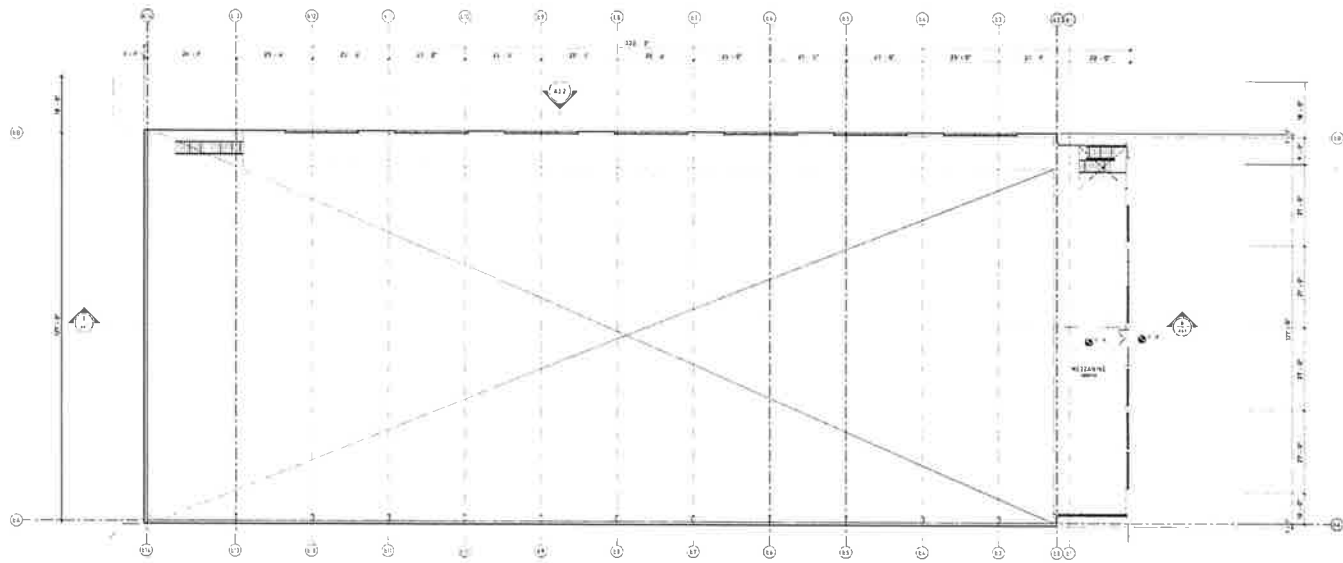
1 MINOR CHANGE EXHIBIT C 11/11/2011
MOPD INTAKE 04/11/2015
* 3/22/18 PPHW DATE



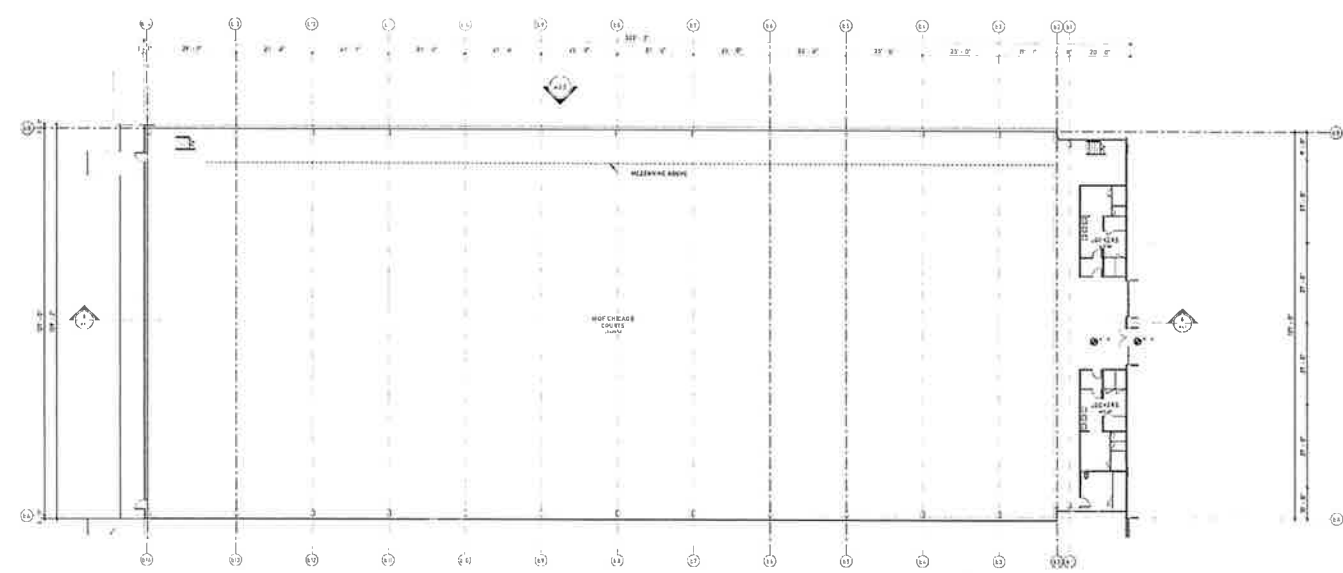
FLOOR PLANS -
ZONE A

A1.1
SEE PROJECT TAB





2 LEVEL 2 ENLARGED UCHICAGO FLOOR PLAN



1 LEVEL 1 ENLARGED UCHICAGO FLOOR PLAN



935 W CHESTNUT ST SUITE 204
CHICAGO, IL 60642
312.467.8142 www.h3k.design

XS TENNIS ACADEMY - BUILDING EXPANSIONS

312 W STATE ST
CHICAGO, IL 60601

OWNER
XS TENNIS AND EDUCATION
1515 S STATE ST
CHICAGO, IL 60607

CL
CHICAGO
1915 W ARDEN ST SUITE 100
ROSELAND, IL 60608

STRUCTURAL
FOREFRONT STRUCTURAL ENGINEERS
70 E MADISON ST STE 1402
CHICAGO, IL 60602

MECHANICAL
ADVANCE CONSULTING GROUP INC.
200 W WILSON ST STE 400
CHICAGO, IL 60604



1 HONOR CHANGE ORDER 08.17.2021
1 MODIFIED DATE 04.19.2021
1 DISCIPLINE DATE



FLOOR PLANS - ZONE B

A1.2

SEEK PROJECT NO.



**X5 TENNIS
ACADEMY -
BUILDING
EXPANSIONS**

334 S STATE ST
CHICAGO, IL 60604

OWNER
453 N WABER WASHINGTON
PROVIDENT BK
334 S STATE ST
CHICAGO, IL 60604

CVL
SPACECO
955 W WOODHOLM RD SUITE 100
ROSEMONT, IL 60018

STRUCTURAL
FOREPOINT STRUCTURAL ENGINEERS
22 E WASHINGTON ST. SUITE 100
CHICAGO, IL 60602

MEP/FP
ADVANCE CONSULTING GROUP INT'L
800 W ADAMS ST. STE. 600
CHICAGO, IL 60606

KEY PLAN



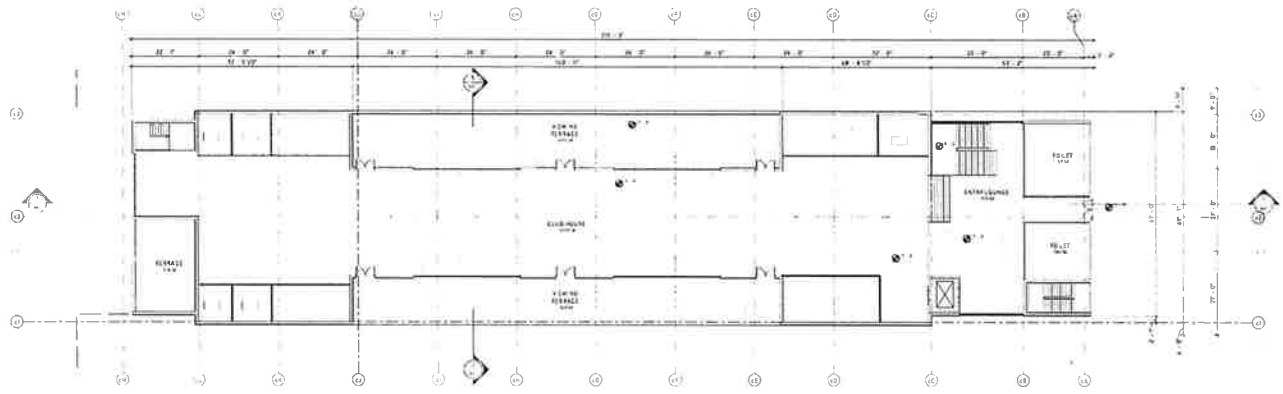
X: OWNER CHANGE E348 08/11 03.31.2025
1: MECP-DW/DAE 08.19.2024
R: DESIGN REVIEW DATE

NOT FOR
CONSTRUCTION

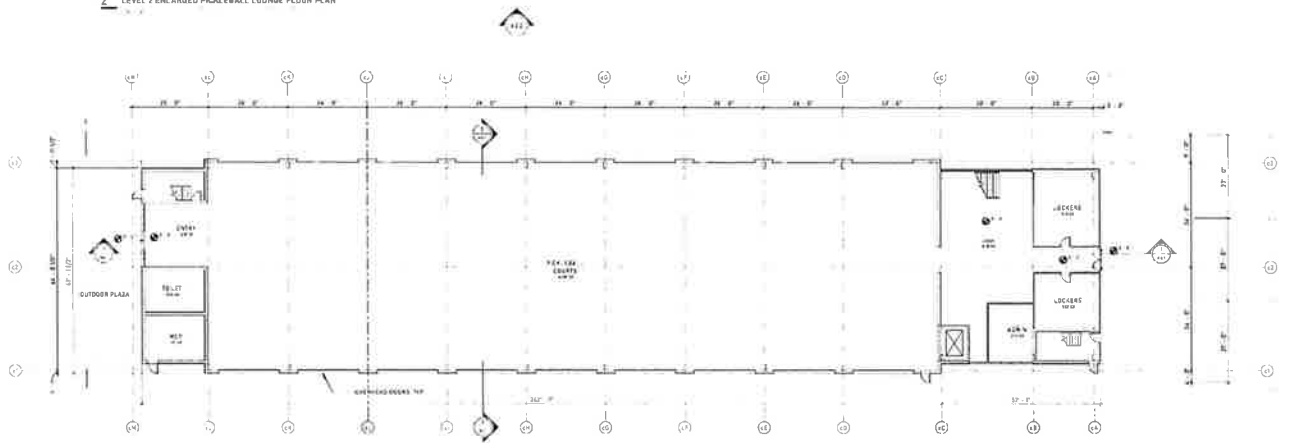
FLOOR PLANS -
ZONE C

A1.3

DATE PLOTTED: 08/19/2024



2 LEVEL 2 ENLARGED PICKLEBALL LOUNGE FLOOR PLAN



1 LEVEL 1 ENLARGED PICKLEBALL FLOOR PLAN





935 W DINEEN ST SUITE 205
CHICAGO, IL 60642

(773) 613-8142 | www.h3k.design

XS TENNIS ACADEMY - BUILDING EXPANSIONS

15th & STATE ST
CHICAGO, IL 60604

OWNER
XS TENNIS AND EDUCATION
FOUNDATION
1119 S STATE ST
CHICAGO, IL 60607

CIVIL
SPACED
1523 W ROOSEVELT RD SUITE 100
ROSEMONT, IL 60018

STRUCTURAL
FORBRIGHT STRUCTURAL ENGINEERS
25 E WASHINGTON ST, STE 1400
CHICAGO, IL 60602

MECHANICAL
ADVANCE CONSULTING GROUP INT'L
800 W ADAMS ST, STE 125
CHICAGO, IL 60606

KEY PLAN

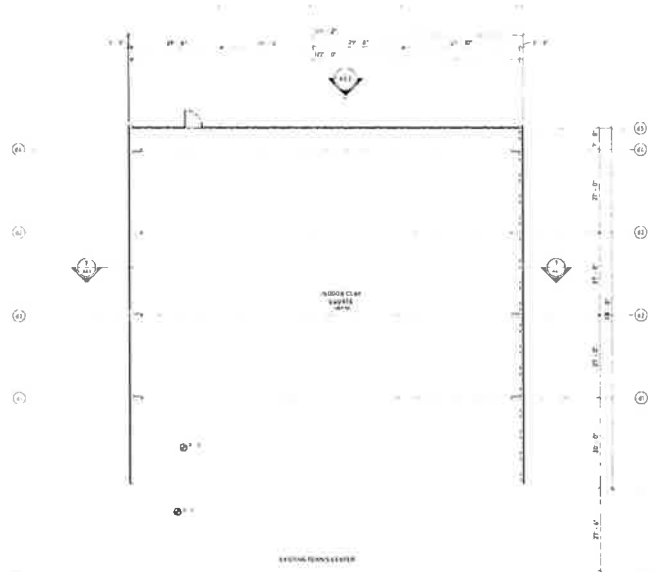


1. MOOR CHAIRS EXHIBIT 11/14/15
ADVIS: 11/14/15
2. DISCREPANCY DATE



FLOOR PLAN -
ZONE D

A1.4



1 FLOOR PLAN - INDOOR CLAY COURTS





835 W. ECHENAU ST. SUITE 206
CHICAGO IL 60642

(773) 413-8162 www.h3k.design

XS TENNIS ACADEMY - BUILDING EXPANSIONS

DATE: 04.14.2019

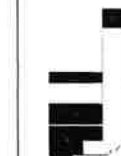
OWNER:
XS TENNIS AND EDUCATION
FOUNDATION
5115 S STATE ST
CHICAGO IL 60609

CONTRACT NO.:
1713 WINGFIELD SQUARE
ROSEMONT IL 60018

STRUCTURAL:
FOREFRONT STRUCTURAL ENGINEERS
716 W. MADISON ST. STE 1002
CHICAGO IL 60607

MECHANICAL:
ADVANCE CONSULTING GROUP INC.
200 W. MADISON ST. STE 100
CHICAGO IL 60606

SCALE: 1/8" = 1'-0"



1. REVISION: 04.14.2019
2. REVISION: 04.14.2019
3. REVISION: 04.14.2019



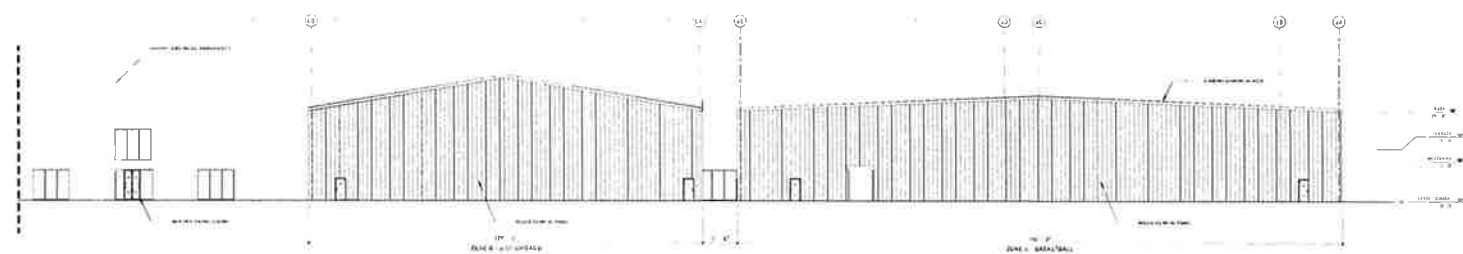
BUILDING
ELEVATIONS

A3.1

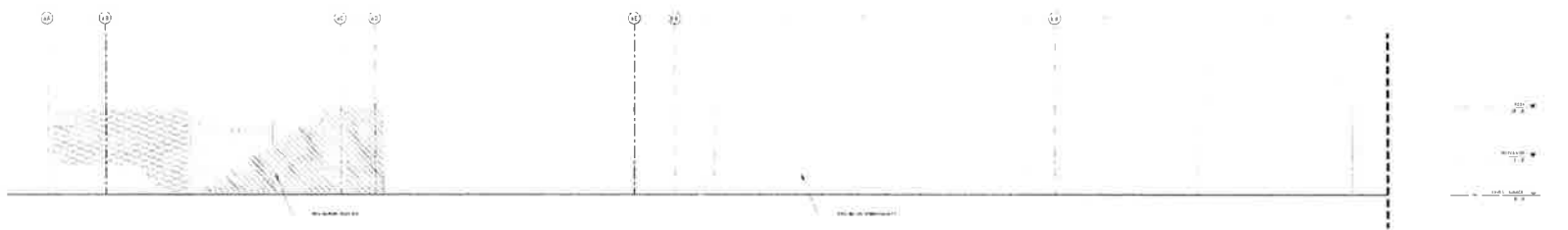
DATE PLOTTED: 04.14.2019



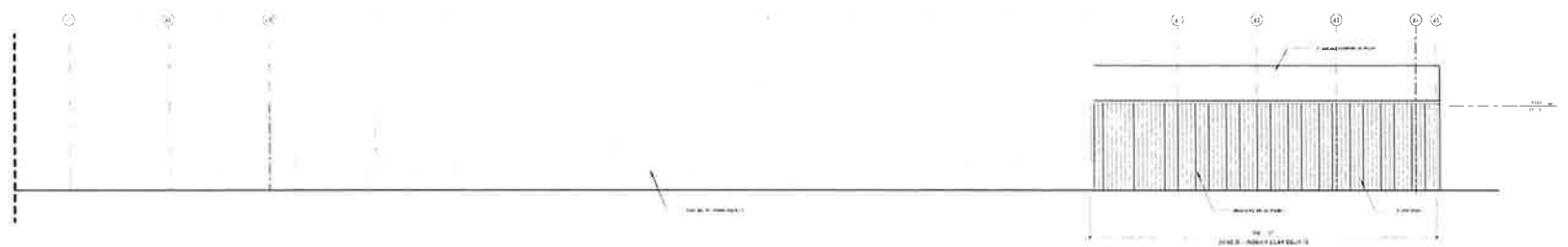
4 BUILDING ELEVATION - WEST N



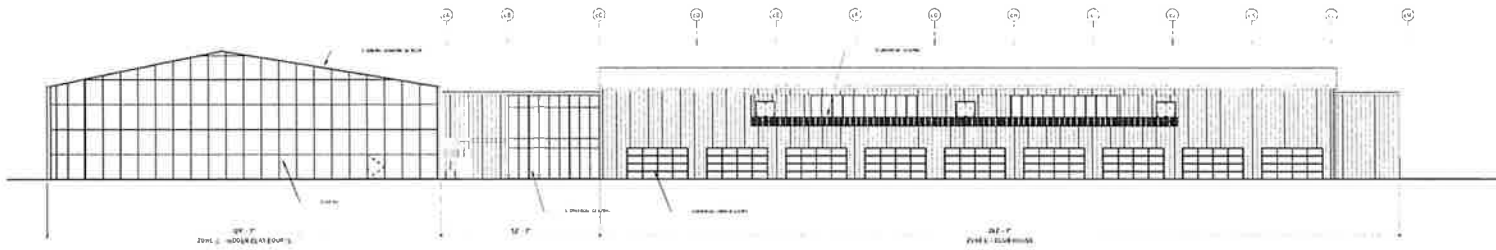
3 BUILDING ELEVATION - WEST S



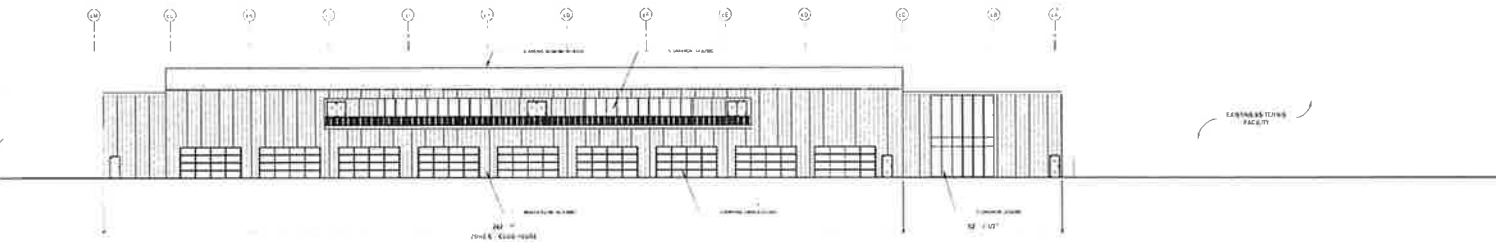
2 BUILDING ELEVATION - EAST S



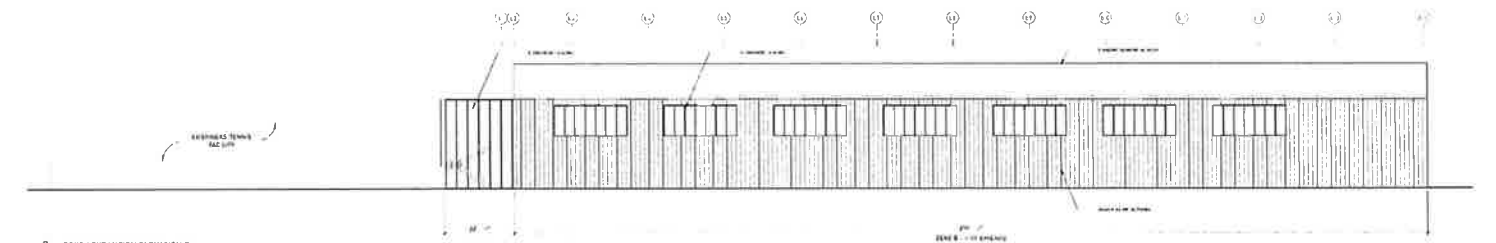
1 BUILDING ELEVATION - EAST N



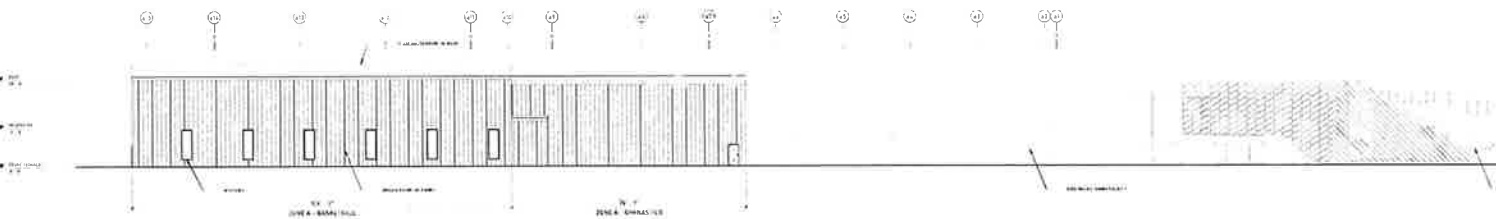
4 BUILDING ELEVATION - ORTH



3 BUILDING ELEVATION - SOUTH - CLUB HOUSE



2 SOUTH EXPANSION ELEVATION B



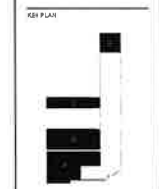
1 BUILDING ELEVATION - SOUTH



935 W CHESTNUT ST. SUITE 204
CHICAGO, IL 60642
(773) 413-8142 www.heck.design

XS TENNIS ACADEMY - BUILDING EXPANSIONS

TEAM & STATE: CHICAGO, IL 60609
OWNER: XS TENNIS AND EDUCATION FOUNDATION 5236 S STATE ST CHICAGO, IL 60609
ARCHITECT: HECK DESIGN, ARCHITECTURE 935 W CHESTNUT ST. SUITE 204 CHICAGO, IL 60642
STRUCTURAL: FOSTER FRENCH STRUCTURAL ENGINEERS P.C. 100 WASHINGTON ST. 15TH FLOOR CHICAGO, IL 60602
MECHANICAL/ELECTRICAL/PLUMBING: ADVANCE CONSULTING GROUP INC. 800 W ADAMS ST. STE 402 CHICAGO, IL 60606



REVISIONS

NO.	DESCRIPTION	DATE
1	MINOR CHANGE EXHIBIT	08/23/2011
2	ADDED INTAKE	01/14/2012
3	REVISION FROM	DATE

NOT FOR CONSTRUCTION

BUILDING ELEVATIONS

A3.2
SHEET PROJECT NO. 1101



CITY OF CHICAGO



DEPARTMENT OF PLANNING AND DEVELOPMENT

April 2, 2025

Kamau Murray
XS Tennis and Education Foundation
5336 S. State Street
Chicago, IL 60609

Re: Minor change for PD No. 1255, 5336 S. State Street

Dear Mr. Murray:

Please be advised that your request for a minor change to Planned Development No. 1255 ("PD 1255"), has been considered the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the PD.

As the sole owner of PD 1255, XS Tennis Village LLC, you are seeking administrative relief to allow for the following modifications to the approved exhibits:

- Construction of a 6,000-square-foot, two-level restaurant addition.
- Renovation of the northeast corner conference room in the office area into a refrigerator room, dry storage, and restaurant manager's office to support the ground-floor restaurant.
- Conversion of the double-height lobby/entrance of the tennis center by adding a second-floor flex room above the lobby.
- Removal of the blue steel halo circle at the entrance and replacing it with a new metal screen wall connecting the proposed restaurant addition to the existing tennis facility entry.
- Adding a new sidewalk connection to State Street.
- Updating the site plan to reflect existing conditions, including:
 - Relocating the bioswale from the north side of the parking lot (between the lot and the building) to the south side.
 - Eliminating the bioswale at the southeast property line, with its volume accounted for in the larger swale at the southwest side of the parking lot.
 - Replacing two outdoor basketball courts and a running track with artificial turf.
 - Replacing pavers at the tennis club entrance with concrete.
 - Moving the west parking lot exit from the northwest to the southwest.

The following revised drawings, dated March 6, 2025, are attached:

- Exterior Renderings
- Overall Site Plan



CITY OF CHICAGO



DEPARTMENT OF PLANNING AND DEVELOPMENT

- Architectural Site Plan
- First Floor
- Second Floor
- Roof Plan
- Building Elevations – Overall
- Building Elevations

With regard to your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and PD 1255, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

Sincerely,

A handwritten signature in blue ink, appearing to read "Noah Szafraniec".

Noah Szafraniec

Assistant Commissioner - Planned Developments and Plan Commission

C: Mike Marmo, Janice Hill, Stephan Nutt, Main file



BUILDING PERSPECTIVE VIEW



BUILDING PERSPECTIVE VIEW



935 W CHESTNUT ST, SUITE 470
CHICAGO, IL 60642

(312) 761-8174 | www.h3k.design

**XS TENNIS
ACADEMY
RESTAURANT**

1300 N STATE ST,
CHICAGO, IL 60610

OWNER
XS TENNIS AND EDUCATION
FOUNDATION
5300 S STATE ST,
CHICAGO, IL 60609

ARCH
SPACECO
9515 W PULASKI RD SUITE 700
MESA WISCONSIN IL 60458

STRUCTURAL
FORBES FORD STRUCTURAL ENGINEERS
25 E WASHINGTON ST, STE 1400
CHICAGO, IL 60601

MEP/FP
ADVANCE ENGINEERING GROUP PVT L
200 W ADAMS ST, STE 400
CHICAGO, IL 60606

4 PD 1255 MINOR CHANGE	03.04.25
5 ISSUED FOR PERMIT	03.07.25
2 STRUCTURAL & CIVIL PERMIT	01.04.24
3 DESIGN DEVELOPMENT	01.26.24

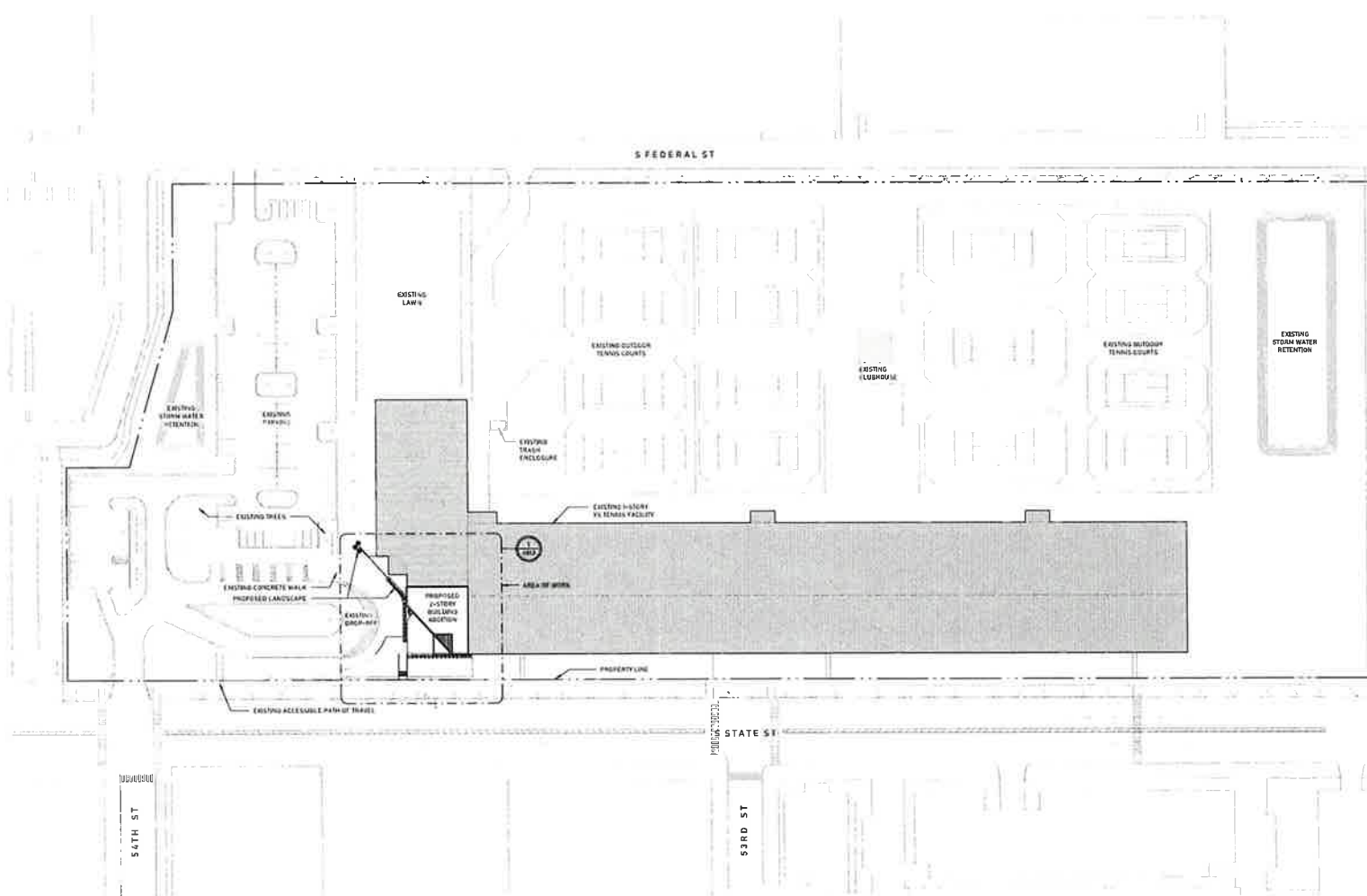
DESCRIPTION DATE



EXTERIOR
RENDERINGS

GO.1

SEE PROJECT NO. 2201



1 SITE PLAN - OVERALL

PARKING LOT AND VEHICULAR USE AREA CALCULATIONS

VEHICULAR USE AREA	66,724 SF
EXTERNAL LANDSCAPE AREA REQUIRED (20%)	13,345 SF
INTERNAL LANDSCAPE AREA PROVIDED	14,332 SF (SEE PLAN)
ONE TREE / 12% OF REGULATED LANDSCAPE AREA	57 TREES REQUIRED + 52 TREES PROVIDED (SEE PLAN)

*SITE LANDSCAPE PLAN NOTE:
REFER TO EXISTING LANDSCAPE PLAN IDENTIFYING TYPE OF LEAVES, GROUND COVER AND MULCH, INCLUDING TREE SPECIES AND SIZE, SHRUB SPECIES AND QUANTITY OF PLANTS.



135 W CHESTNUT ST, SUITE 470
CHICAGO, IL 60642
(312) 761-8174 www.h3k.design

XS TENNIS ACADEMY RESTAURANT

3301 S STATE ST,
CHICAGO, IL 60607

OWNER:
XS TENNIS AND EDUCATION
FOUNDATION
534 S STATE ST,
CHICAGO, IL 60609

ENGINEER:
SPACECO
1575 W HOBOKEN RD SUITE 100
ROSEMONT, IL 60018

STRUCTURAL:
FOURPOINT STRUCTURAL ENGINEERS
25 E WASHINGTON ST, STE 1400
CHICAGO, IL 60607

MEP/P:
ADVANCE CONSULTING GROUP INC.
202 W ADAMS ST, STE 420
CHICAGO, IL 60606

#	DESCRIPTION	DATE
1	PD 1555 MINOR CHANGE	03.04.25
2	ISSUED FOR PERMIT	02.07.25
3	LANDSCAPE CORRECTIONS 1	01.28.25
4	STRUCTURAL & CIVIL PERMIT	01.14.24
5	DESIGN DEVELOPMENT	07.26.24
6	SCHEMATIC DESIGN	03.22.24

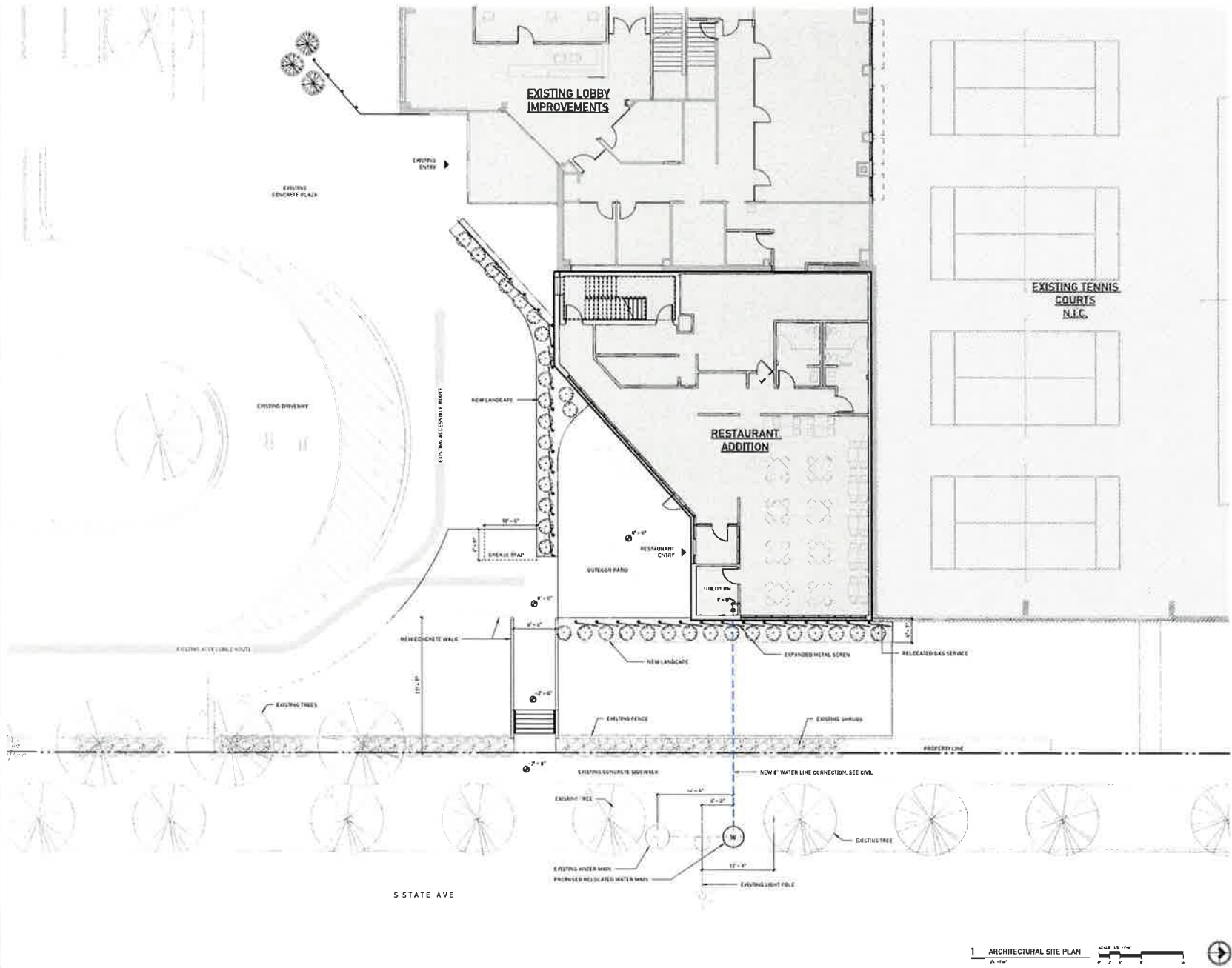


OVERALL SITE PLAN

AS1.1

SEEK PROJECT NO. 2301





DESIGN + ARCHITECTURE
 135 W CHESTNUT ST, SUITE 470
 CHICAGO, IL 60642
 (312) 761-8126 www.seek.design

**XS TENNIS
 ACADEMY
 RESTAURANT**

334 S STATE ST
 CHICAGO, IL 60609

OWNER
 XE TENNIS AND EDUCATION
 FOUNDATION
 334 S STATE ST
 CHICAGO, IL 60609

ARCHITECT
 SEEK
 135 W HIRSHING RD SUITE 700
 ROSEMONT, IL 60018

STRUCTURAL
 FOREFRONT STRUCTURAL ENGINEERS
 25 S WASHINGTON ST, S1C 1453
 CHICAGO, IL 60603

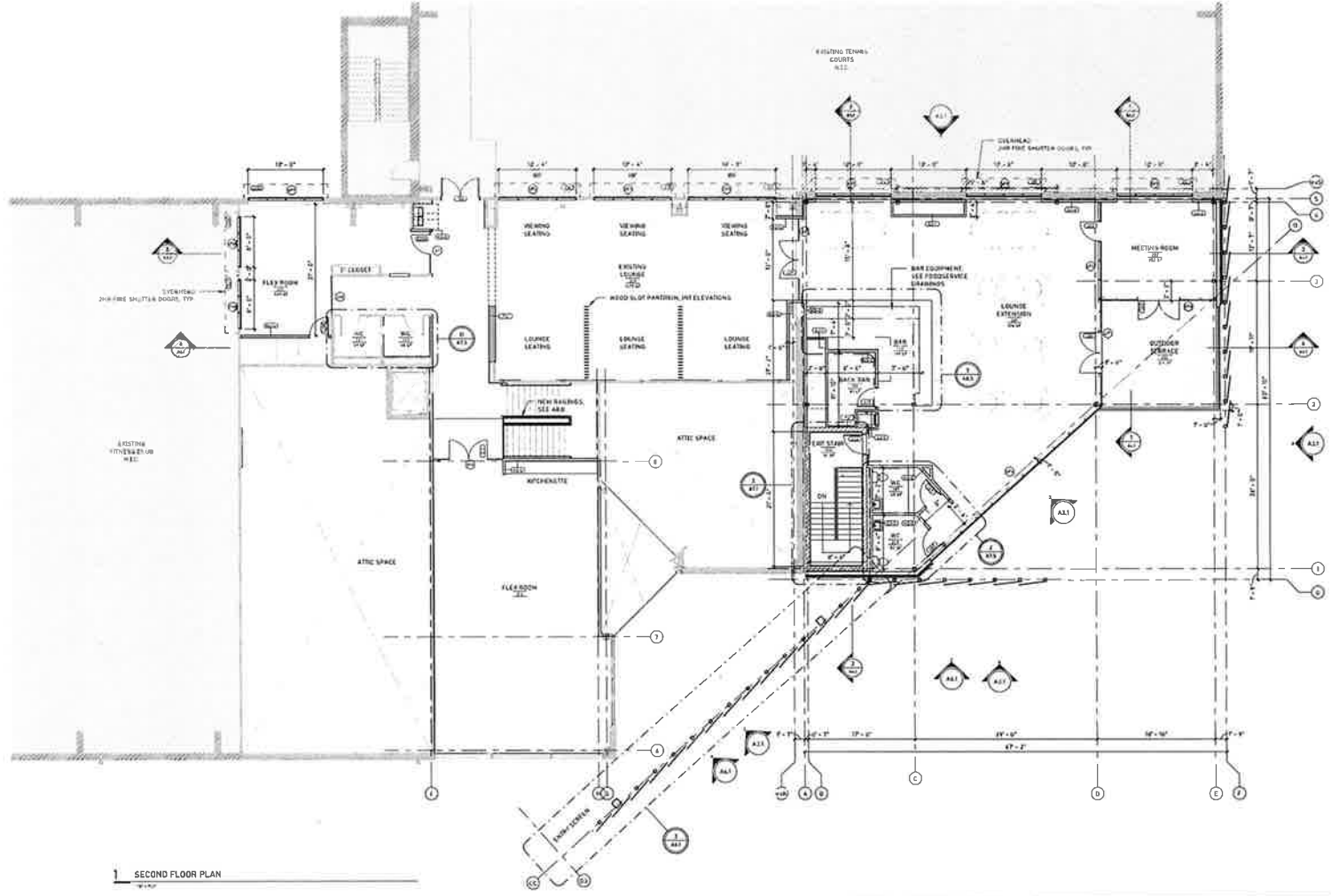
MEP/FP
 ADVANCE CONSULTING GROUP INTL
 355 W ADAMS ST, SUITE 432
 CHICAGO, IL 60606

#	DESCRIPTION	DATE
4	PO UNK MONR CHANGE	01.26.25
5	ISSUED FOR PERMIT	02.07.25
2	STRUCTURAL & CIVIL PERMIT	11.24.24
2	DESIGN DEVELOPMENT	04.26.24
1	SCHEMATIC DESIGN	08.22.24



ARCHITECTURAL
 SITE PLAN

AS1.2

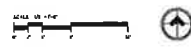


1 SECOND FLOOR PLAN

FLOOR PLAN LEGEND

	EXISTING PARTITION
	BRICK WALL DWEL
	NEW PARTITION
	NEW ELEMENT
	EXISTING ELEMENT
	ELEMENT ABAND

- FLOOR PLAN GENERAL NOTES**
- GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CREATE LAYOUT PRIOR TO ERECTING ANY WALLS. ANY DIMENSIONAL DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WALL CONSTRUCTION.
 - ALL DIMENSIONS OF WALLS ARE GIVEN TO THE FACE OF WALL.
 - REFER TO ABBREVIATIONS AND LEGEND SHEETS FOR CLARIFICATIONS ON SYMBOLS AND ABBREVIATIONS SHOWN ON DRAWINGS.
 - GENERAL CONTRACTOR TO COORDINATE WITH ALL MEP DRAWINGS.
 - EQUISIMATE WALL RATINGS WITH LIFE SAFETY DRAWINGS.
 - REFER TO SHEET A3.1 FOR PARTITIONS TYPES.
 - SEE PLUMBING DRAWINGS FOR SLAB PENETRATIONS REQUIRED FOR UNDERGROUND PIPING.
 - SEE SHEET A3.1 FOR DOOR AND FRAME SCHEDULE.



935 W CHESTNUT ST. SUITE 470
CHICAGO, IL 60642
(312) 761-8174 www.seekdesign

XS TENNIS ACADEMY RESTAURANT

808 S STATE ST.
CHICAGO, IL 60605

OWNER
XS TENNIS AND EDUCATION
FOUNDATION
828 S STATE ST.
CHICAGO, IL 60605

ARCH.
SPACECO
9515 W RIDGINGS RD SUITE 710
ROSELAWN, IL 60618

STRUCTURAL
FOREFRONT STRUCTURAL ENGINEERS
816 W WASHINGTON ST. STE 500
CHICAGO, IL 60609

MEP/FP
ADVANCE CONSULTING GROUP INC
380 W ADAMS ST. STE 402
CHICAGO, IL 60606

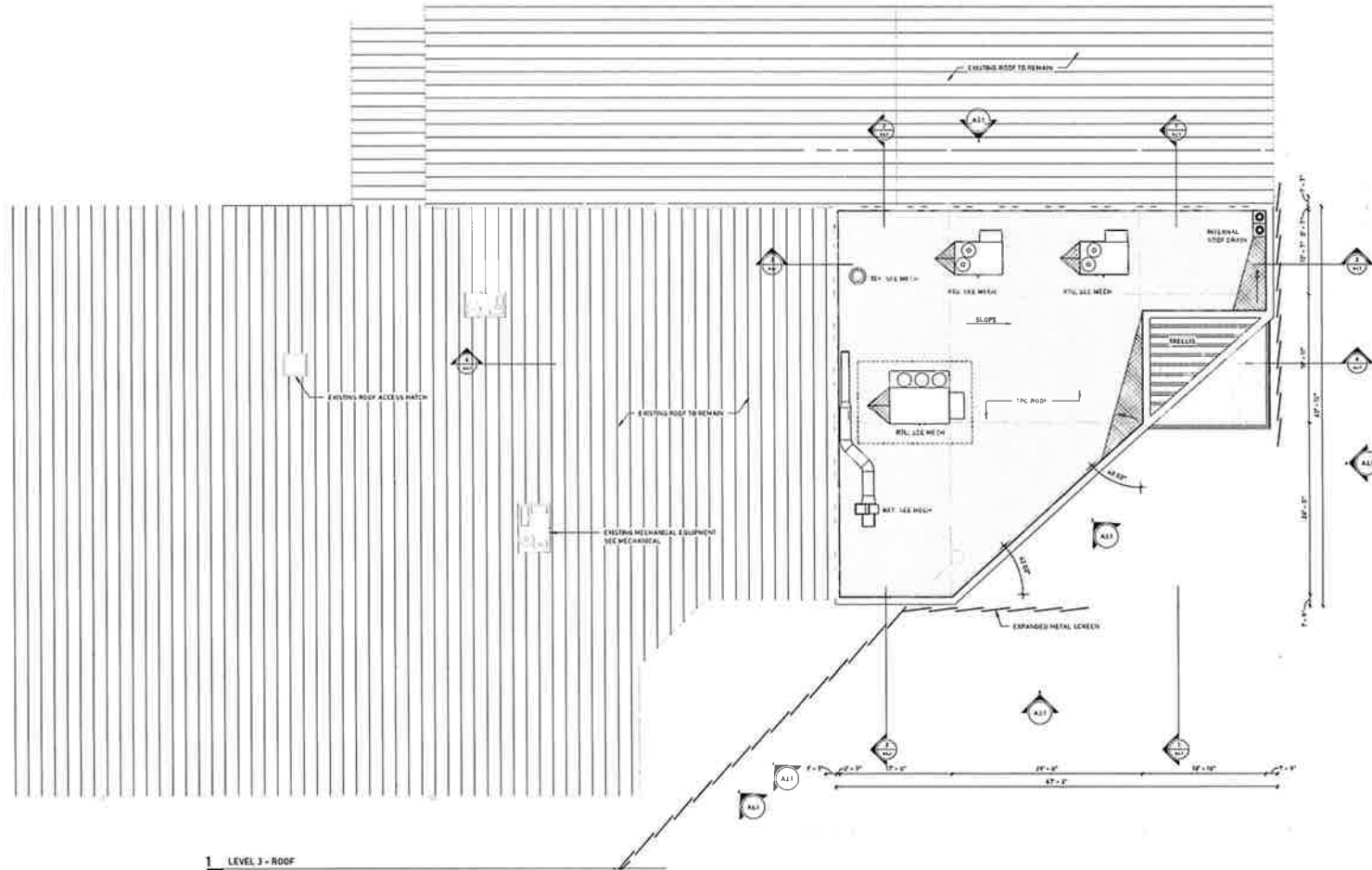
4 PD 1895 MINOR CHANGE	03.04.25
5 ISSUED FOR PERMIT	02.07.25
3 STRUCTURAL & CIVIL PERMIT	03.14.24
2 DESIGN DEVELOPMENT	09.20.24
1 SCHEDULED BY OWNER	08.07.24

RESUMPTION DATE



SECOND FLOOR

A1.2
SEEK PROJECT NO. 2204



1 LEVEL 3 - ROOF

ROOF PLAN LEGEND

[Symbol]	1. TO ROOF
[Symbol]	2. ROOF CURB DAY

- ROOF PLAN TYPICAL NOTES**
1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CREATE LAYOUT PRIOR TO ERECTING ANY WALLS. ANY DIMENSIONAL DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WALL CONSTRUCTION.
 2. TAPERED ROOF BUILD-UP SHALL SLOPE AT A MINIMUM OF 1/4" PER FOOT TO ROOF DRAINS.
 3. ALL PENETRATIONS, CURBS, AND EQUIPMENT SHALL HAVE FLASHING AND CURBS AS NEEDED TO INSURE POSITIVE DRAINAGE TOWARDS ROOF DRAINS.
 4. GENERAL CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR EXACT DIMENSIONS AND REQUIREMENTS FOR ALL EQUIPMENT, PENETRATIONS, AND CURBS.
 5. REFER TO ANNOTATIONS AND LEGEND SHEETS FOR CLARIFICATIONS ON SYMBOLS AND ABBREVIATIONS SHOWN ON DRAWINGS.
 6. LOCATIONS OF EXISTING EQUIPMENT, FIXTURES, DRAINS, ETC. ARE APPROXIMATE. CONTRACTOR TO VERIFY EXACT LOCATIONS AND CONDITIONS PRIOR TO START OF WORK.



935 W CHESTNUT ST, SUITE 470
CHICAGO, IL 60642
(312) 761-8174 www.seek.design

**XS TENNIS
ACADEMY
RESTAURANT**

5334 S STATE ST.
CHICAGO, IL 60609
OWNER
XS TENNIS AND EDUCATION
FOUNDATION
5334 S STATE ST.
CHICAGO, IL 60609

CMR
SPACECO
9475 W MADISON RD SUITE 700
ROSEMONT, IL 60018
STRUCTURAL
FOURBORN STRUCTURAL ENGINEERS
25 E. WASHINGTON ST, STE 1450
CHICAGO, IL 60602

ME/P/E
ADVANCE CONSULTING GROUP INT'L
305 W ADAMS ST, STE 420
CHICAGO, IL 60606

4	PD 1215 A/HOR CHANGE	03.01.25
3	ISSUED FOR PERMIT	02.07.25
2	STRUCTURAL & CIVIL PERMIT	01.14.24
1	REVISION ON EQUIPMENT	09.02.24
0	SCHEMATIC DESIGN	08.28.24

DESCRIPTION DATE



ROOF PLAN

A1.3
SEE PLAN SET FOR NOTES

**XS TENNIS
ACADEMY
RESTAURANT**

STATE & STATE ST.
CHICAGO, IL 60641

OWNER
XS TENNIS AND EDUCATION
FOUNDATION
534 S STATE ST
CHICAGO, IL 60609

ARCHITECT
SPACECO
955 W HODGINS RD SUITE 709
ROSEMONT, IL 60018

STRUCTURAL
FORERONT STRUCTURAL ENGINEERS
35 E WASHINGTON ST, STE 1450
CHICAGO, IL 60602

MEP/FP
ADVANCE CONSULTING GROUP INT L
200 W ADAMS ST, STE 400
CHICAGO, IL 60606

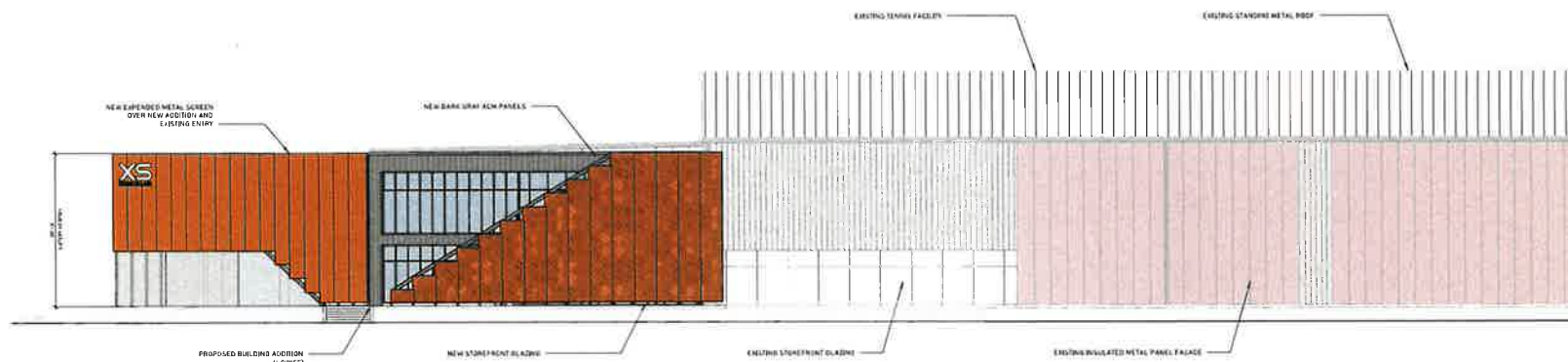
4 PLOT (S) MINOR CHANGE 020 L.A.S.
* RESUBMITTAL 0421



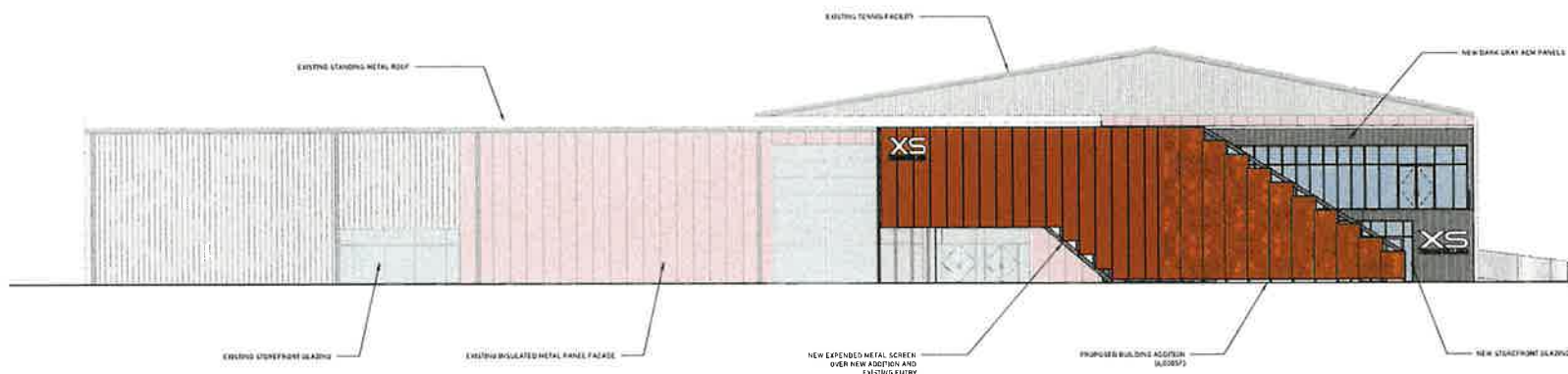
**BUILDING
ELEVATIONS -
OVERALL**

A3.0

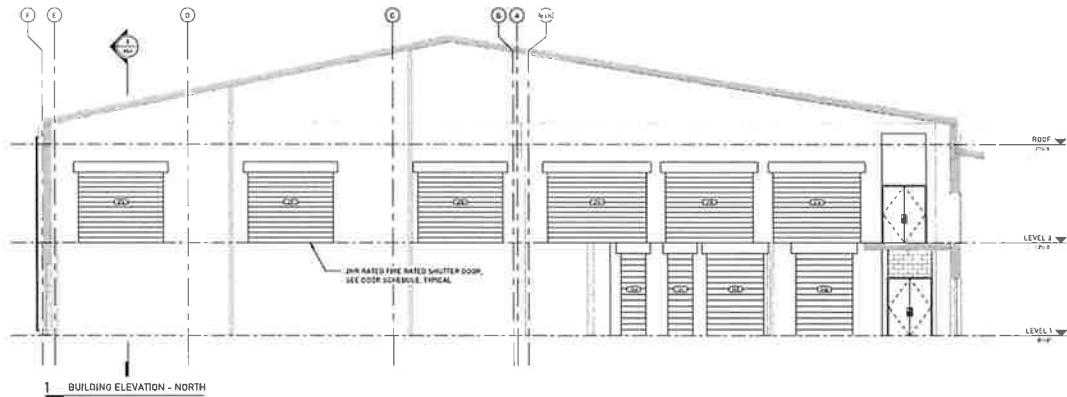
SEEK PROJECT NO. 2001



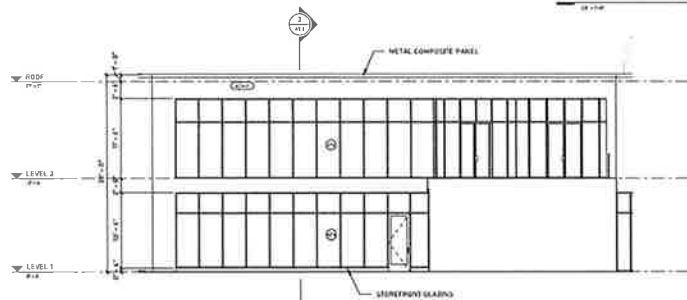
1 EAST ELEVATION (SOUTHERN PORTION)



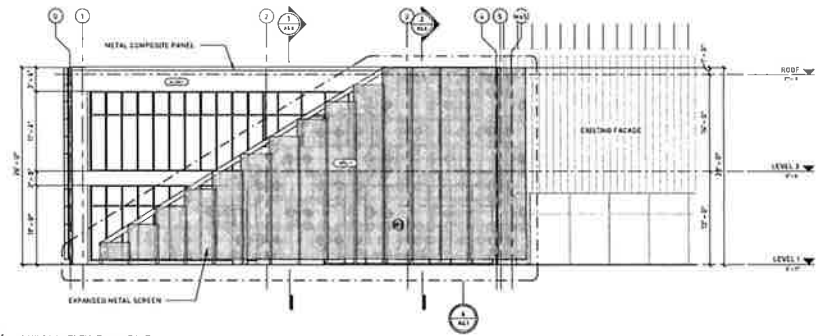
2 SOUTH ELEVATION



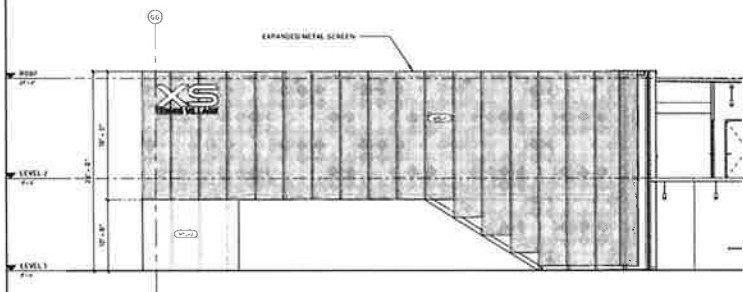
1 BUILDING ELEVATION - NORTH
18'-0" x 14'-0"



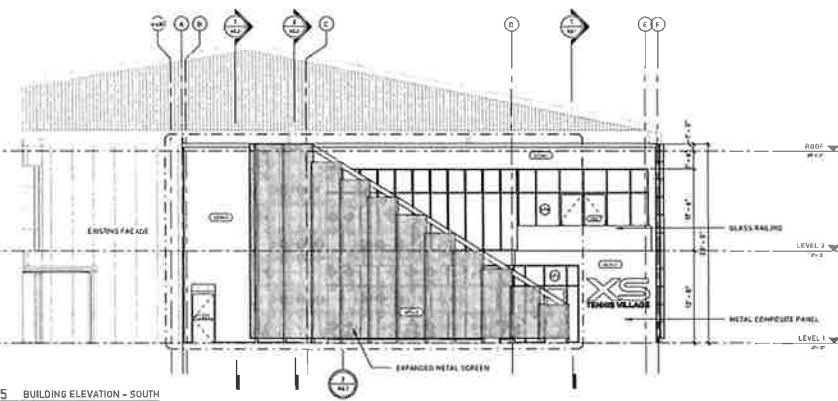
3 BUILDING ELEVATION - SOUTHEAST
18'-0" x 14'-0"



4 BUILDING ELEVATION - EAST
18'-0" x 14'-0"



2 BUILDING ELEVATION - SCREEN
18'-0" x 14'-0"



5 BUILDING ELEVATION - SOUTH
18'-0" x 14'-0"

EXTERIOR MATERIAL SCHEDULE

NO.	DESCRIPTION	BRAND OF DESIGN	COLOR/TEXTURE	FINISH	COLOR	NOTES
MIL-1	EXPANDED METAL	ARCO	APEN-20	POWDER COATED	TENIPACULA GRANGE	
MIL-2	PERFORATED METAL	ARCO	PERF	ALUMINUM		EXISTING PERFORATION
ADM-1	ALUMINUM COMPOSITE MATERIAL	ALUCORING	PLUS		GRAPHITE GREY	



935 W CHESTNUT ST. SUITE 470
CHICAGO, IL 60642

(312) 761-8174 www.seek.design

**XS TENNIS
ACADEMY
RESTAURANT**

1336 S STATE ST.
CHICAGO, IL 60605

OWNER

XS TENNIS AND EDUCATION
FOUNDATION
1336 S STATE ST.
CHICAGO, IL 60605

CMV

SPACEO
1475 W MADISON RD SUITE 700
ROSEMONT, IL 60018

STRUCTURAL

FOREFRONT STRUCTURAL ENGINEERS
25 E WASHINGTON ST. STE 1400
CHICAGO, IL 60601

MEP/JP

ADVANCE CONSULTING GROUP INT L
200 W ADAMS ST. STE 420
CHICAGO, IL 60606

#	DESCRIPTION	DATE
4	PD 1255 MINOR CHANGE	01.06.20
3	ISSUED FOR PERMIT	02.07.20
2	STRUCTURAL & CIVIL PERMIT	01.14.20
1	DESIGN DEVELOPMENT	09.20.19
0	SCHEMATIC DESIGN	08.22.19



BUILDING
ELEVATIONS

A3.1

1825X-PRO-077-P03_2019



DEPARTMENT OF PLANNING AND DEVELOPMENT
CITY OF CHICAGO

May 18, 2015

Mariah F. DiGrino
DLA Piper LLP
203 North LaSalle Street
Suite 1900
Chicago, IL 60601-1293

**Re: Administrative Relief request for Planned Development No. 1255
XS Tennis Village at S. State Street and W. 54th Street**

Dear Ms. DiGrino:

Please be advised that your request for a minor change to Planned Development No. 1255 ("PD 1255"), has been considered by the Department of Planning and Development pursuant to Section 17-13-0611 of the Chicago Zoning Ordinance and Statement No. 12 of the PD.

Your client, the contract purchaser, XS Tennis Village LLC, is seeking administrative relief to allow for the following modifications to the proposed facility: the total building area has been reduced from approximately 150,992 square feet to approximately 116,363 square feet. The size of the clubhouse, the area devoted to general fitness, training and indoor basketball, the pro shop, locker rooms and multi-purpose rooms have all been reduced. The number of indoor basketball courts has been reduced from 2 to 1, and 2 new outdoor basketball courts have been added. The number of full-size indoor tennis courts has been increased from 8 to 12, and the number of full-size outdoor tennis courts has been reduced from 19 to 15. The attached, revised Site Plan, Overall Floor Plan, Enlarged Ground Level Plans, Zone A, B and C, Enlarged Mezzanine Level Plans, Zone A, B and C, North, South, East and West Elevations (Sheets A4.1 thru A4.4) shall be inserted into the main file. The property is owned by the Chicago Housing Authority and St. Mary's AME Church, and both have provided their consent to this request.

With regard to your request, the Department of Planning and Development has determined that allowing the proposed modifications will not create an adverse impact on the Planned Development or surrounding neighborhood, will not result in an increase in the bulk or density, and will not change the character of the development, and therefore, would constitute a minor change.

Accordingly, pursuant to the authority granted by the Chicago Zoning Ordinance and Planned Development No. 1255, I hereby approve the foregoing minor change, but no other changes to this Planned Development. This minor change is valid for twelve (12) months from the date of

this letter unless action to implement the minor change is commenced within such time period and thereafter diligently pursued to completion, including, if applicable, construction consistent with the minor change as authorized by a building permit. If action to implement the minor change, including construction, does not begin within the time set forth, or does not proceed with reasonable diligence, then the approval will lapse and become null and void.

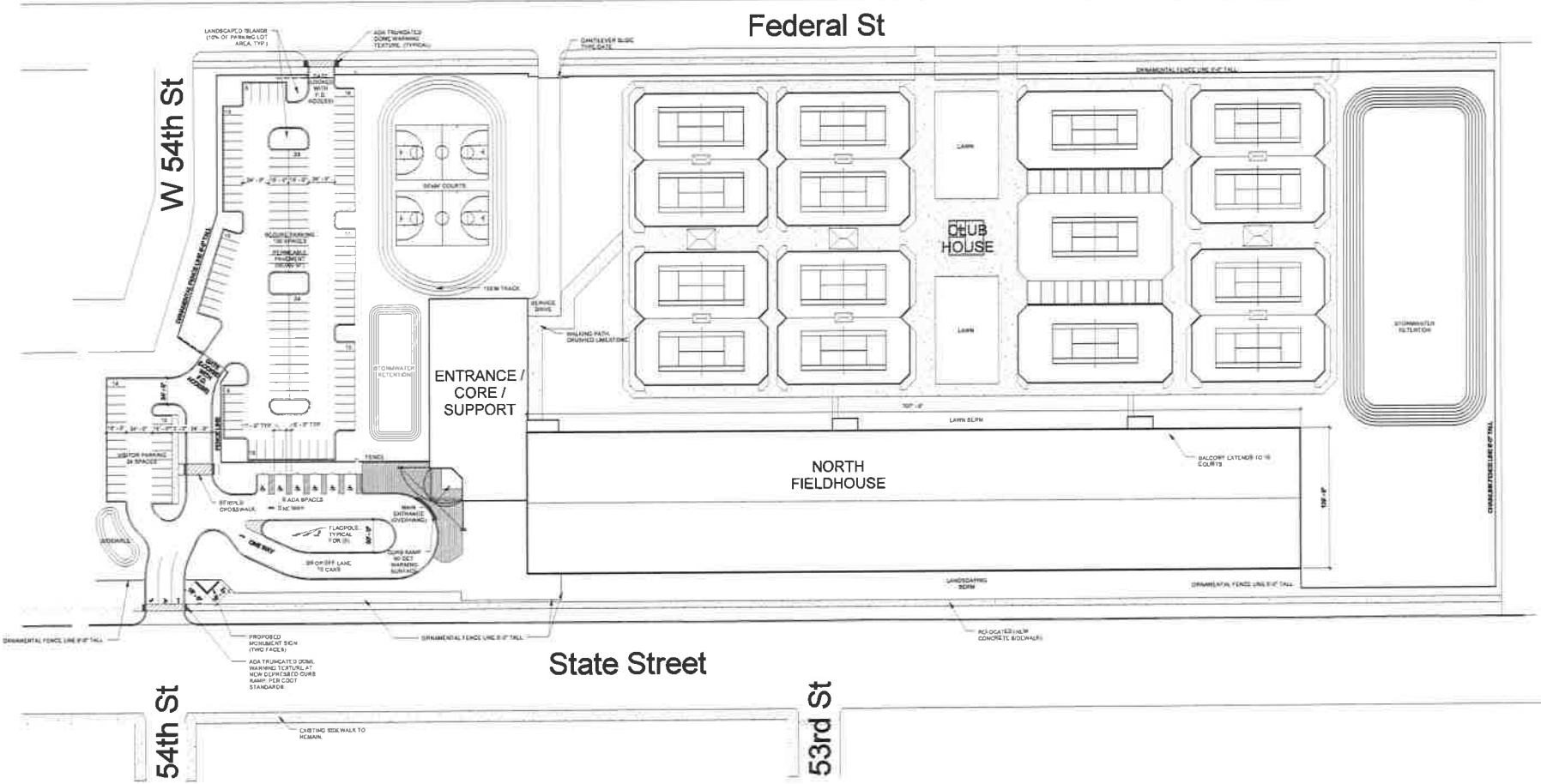
Sincerely,

A handwritten signature in cursive script, appearing to read "Patricia A. Scudiero".

Patricia A. Scudiero
Zoning Administrator

PAS:HG:tm

C: Mike Marmo, Erik Glass, Noah Szafraniec, Main file



SITE PLAN

SCALE: 1" = 40' 4

NOT FOR CONSTRUCTION

**XS TENNIS VILLAGE
NEW TENNIS FACILITY**
Chicago, IL

DATE	NO. OF SHEETS	DATE	BY

PROJECT	
CLIENT	
ARCHITECT	
PLANNER	
DATE	
BY	



**WILLIAMS
ARCHITECTS
ARCHITECTS PLANNERS**
101 S. Wacker Dr. Suite 400 Chicago, IL 60606
Phone 312.221.8877 Fax 312.221.0118



SITE PLAN

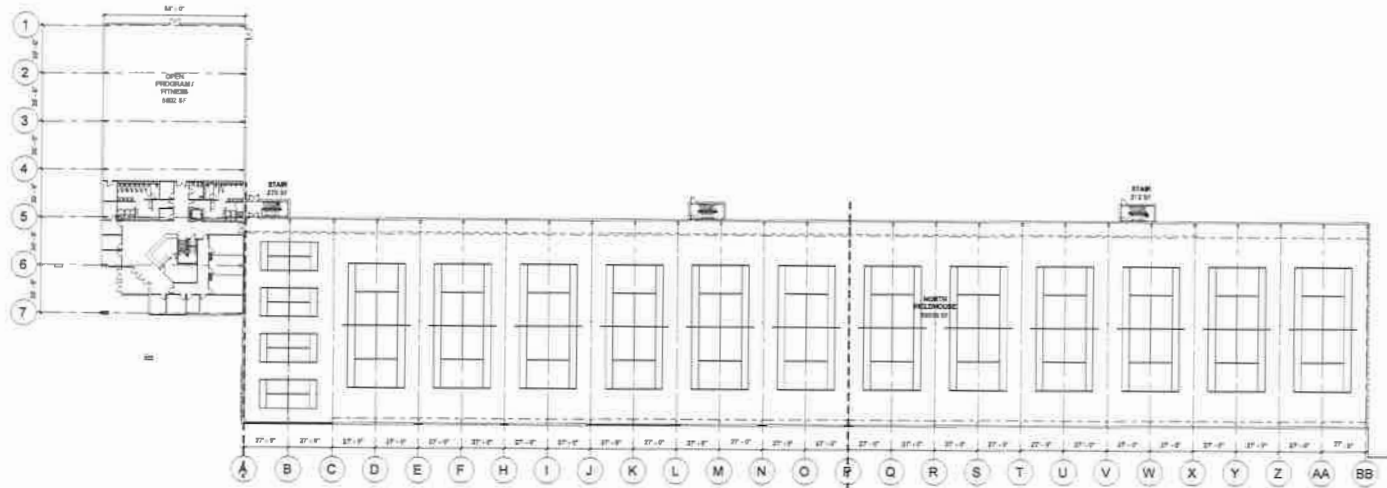
AS1.1



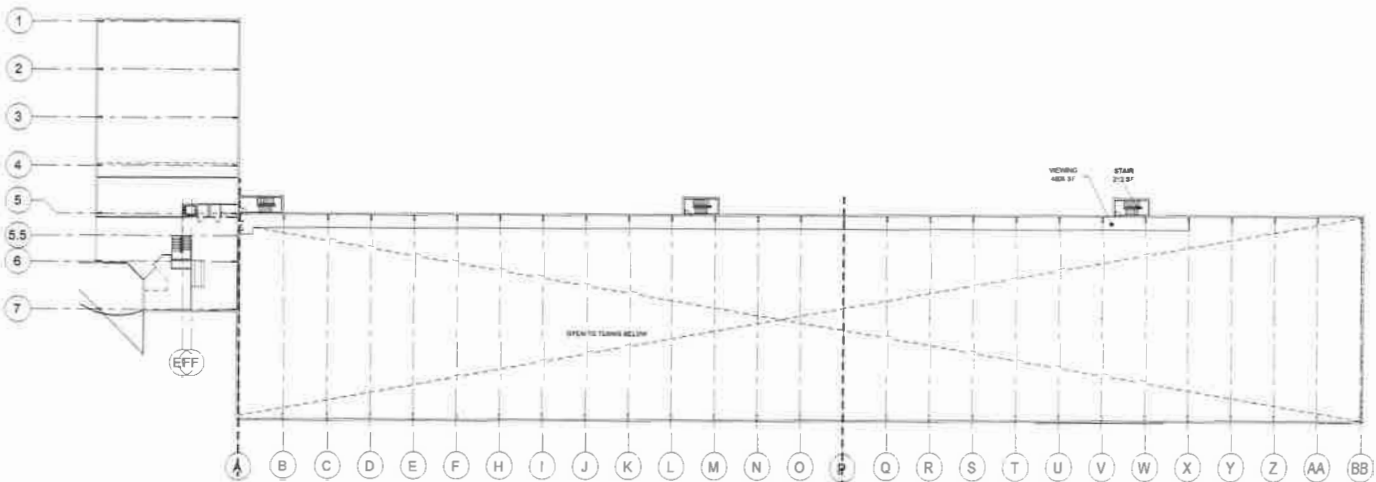
CLUBHOUSE PLAN SCALE: 1/8" = 1'-0" 22



ZONE MAP 23



OVERALL GROUND LEVEL PLAN SCALE: 1/8" = 1'-0" 2



OVERALL MEZZANINE LEVEL PLAN SCALE: 1/8" = 1'-0" 5

CONTRACT NO. 15-011
 ADDRESS: 1500 N. LAKE ST., CHICAGO, IL 60610

NOT FOR CONSTRUCTION

XS TENNIS VILLAGE
 NEW TENNIS FACILITY
 Chicago, IL

DATE: 04/20/11
 DRAWN BY: J. WILSON
 CHECKED BY: J. WILSON

PROJECT: XS TENNIS VILLAGE
 SHEET: 15-011



WILLIAMS ARCHITECTS ARCHITECTS PLANNERS
 201 S. WILSON ST. CHICAGO, IL 60608
 PH: 312.721.0811 FAX: 312.721.0118

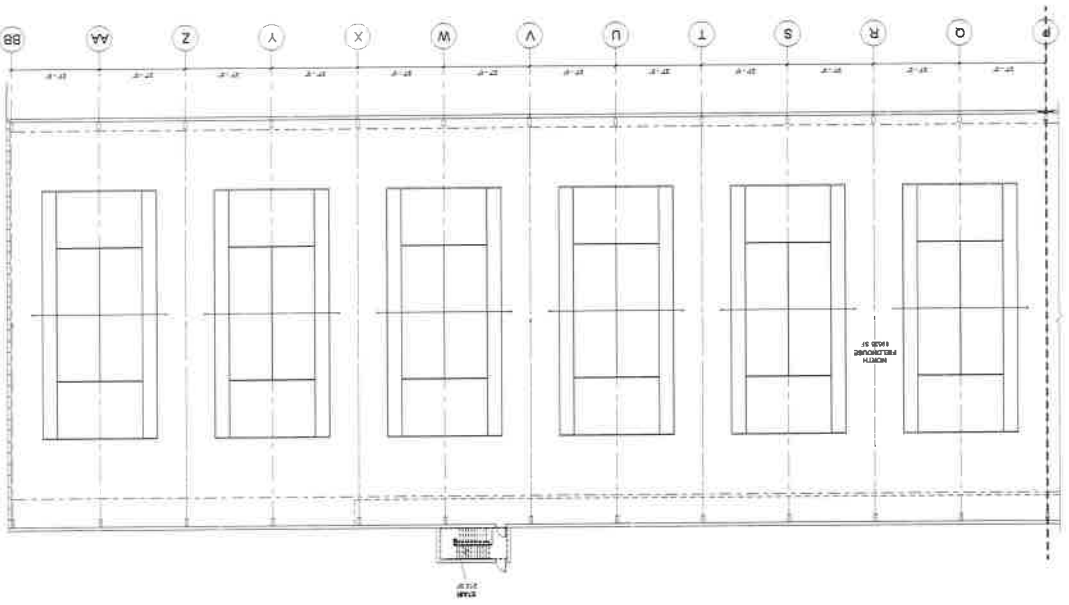


OVERALL FLOOR PLANS

A1.0

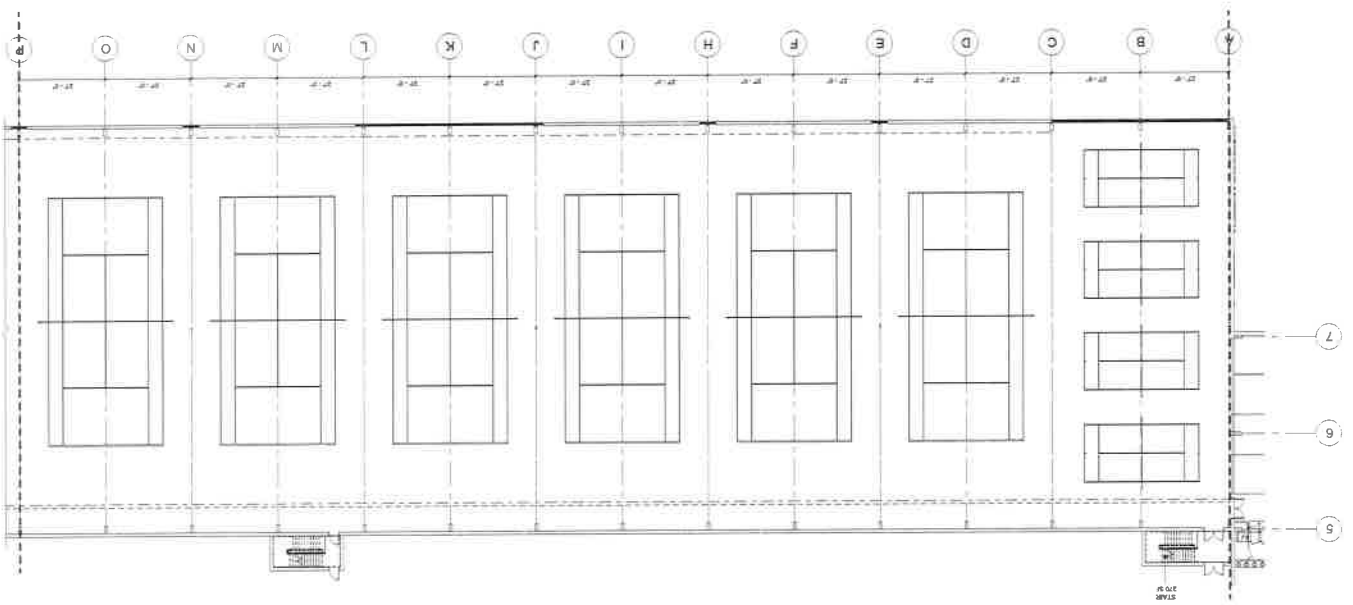
ENLARGED GROUND LEVEL PLAN ZONE C

2



ENLARGED GROUND LEVEL PLAN ZONE B

1



A1.1B

ENLARGED
PLANS
GROUND



WILLIAMS
ARCHITECTS' PLANNERS
100 N. LAUREL ST. SUITE 200
CHICAGO, IL 60610
TEL: 312.329.1000
FAX: 312.329.1001



NO.	DATE	DESCRIPTION

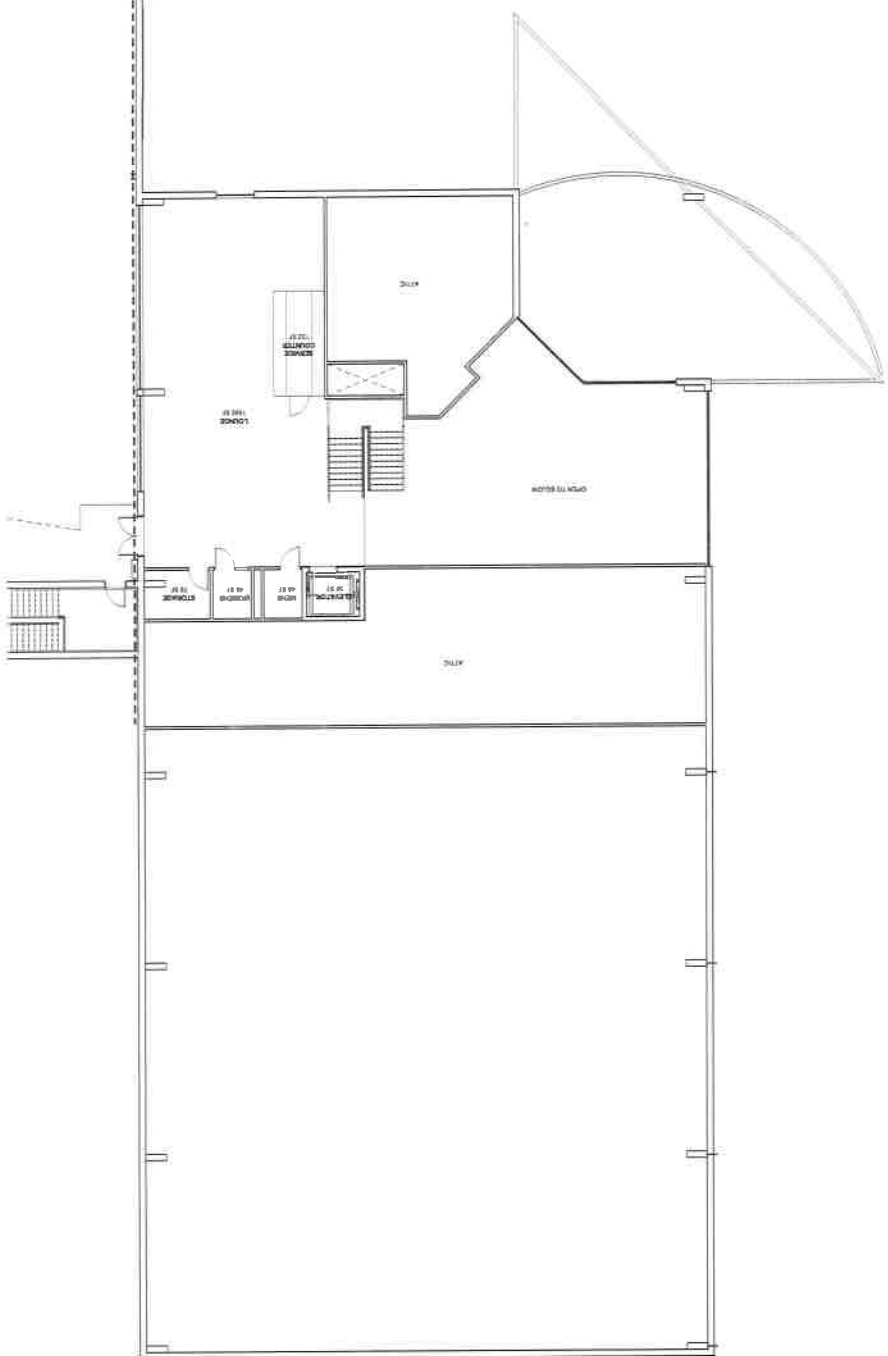
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DATE	07/10/2012
DATE	07/10/2012
DATE	07/10/2012

XS TENNIS VILLAGE
NEW TENNIS FACILITY
Chicago, IL

NOT FOR
CONSTRUCTION

ENLARGED MEZZANINE LEVEL PLAN ZONE A

5



A1.2A

ENLARGED
PLANS
MEZZANINE



WILLIAMS
ARCHITECTS
 ARCHITECTS PLANNERS
 42 S. Wacker Drive, 9th Floor, Chicago, IL 60606
 Phone: 312.221.0811 Fax: 312.221.5118



DATE	DESCRIPTION

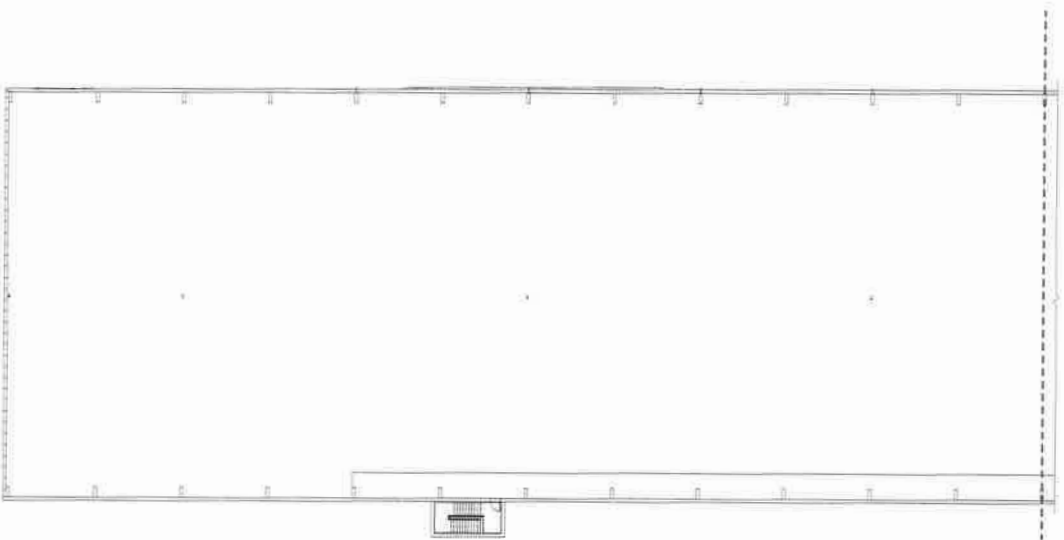
DATE	BY
04/07/2014	

XS TENNIS VILLAGE
NEW TENNIS FACILITY
 Chicago, IL

NOT FOR
 CONSTRUCTION

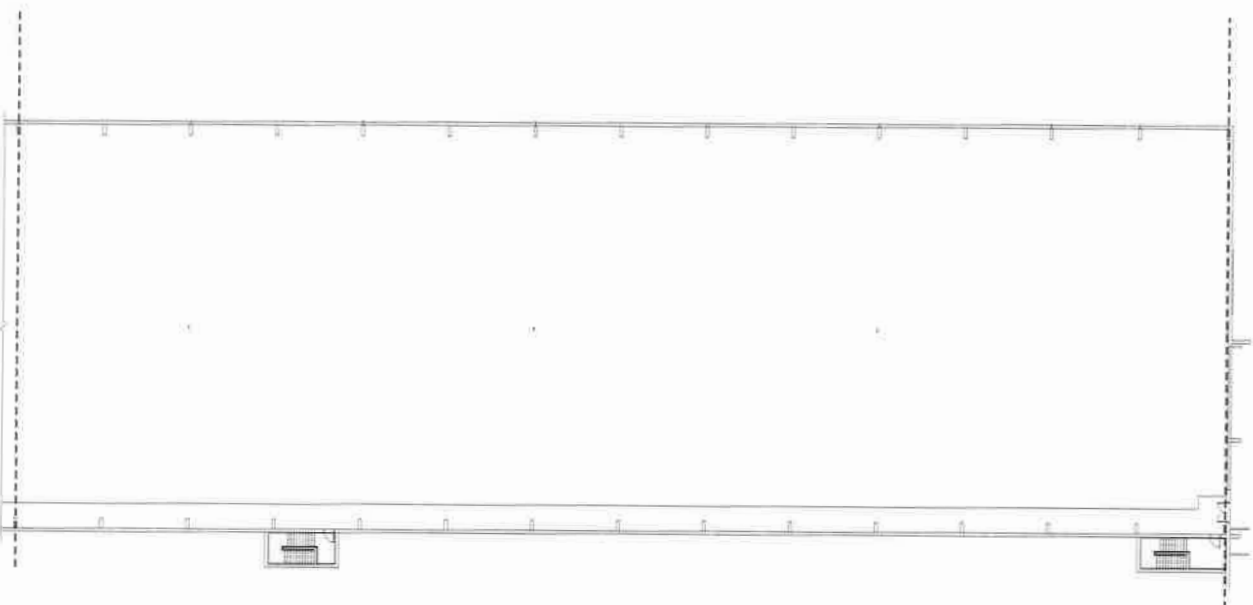
ENLARGED MEZZANINE LEVEL PLAN ZONE C

2



ENLARGED MEZZANINE LEVEL PLAN ZONE B

1



A1.2B

ENLARGED
PLANS
MEZZANINE



WILLIAMS
ARCHITECTS
ARCHITECTS PLANNERS
420 S. WALTON ST. CHICAGO, IL 60610
PHONE 312.261.0811 / FAX 312.261.6119

GRAPHIC NORTH

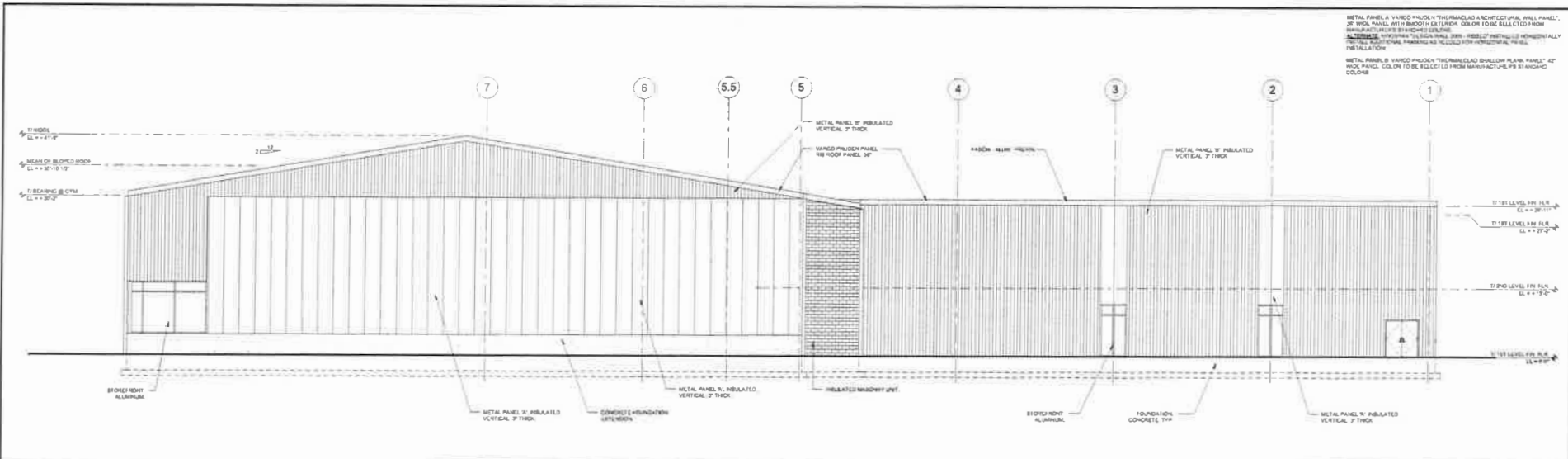


SCALE
1" = 10'-0"

DATE: 04/14/10
DRAWN BY: [blank]
CHECKED BY: [blank]
DESIGNED BY: [blank]

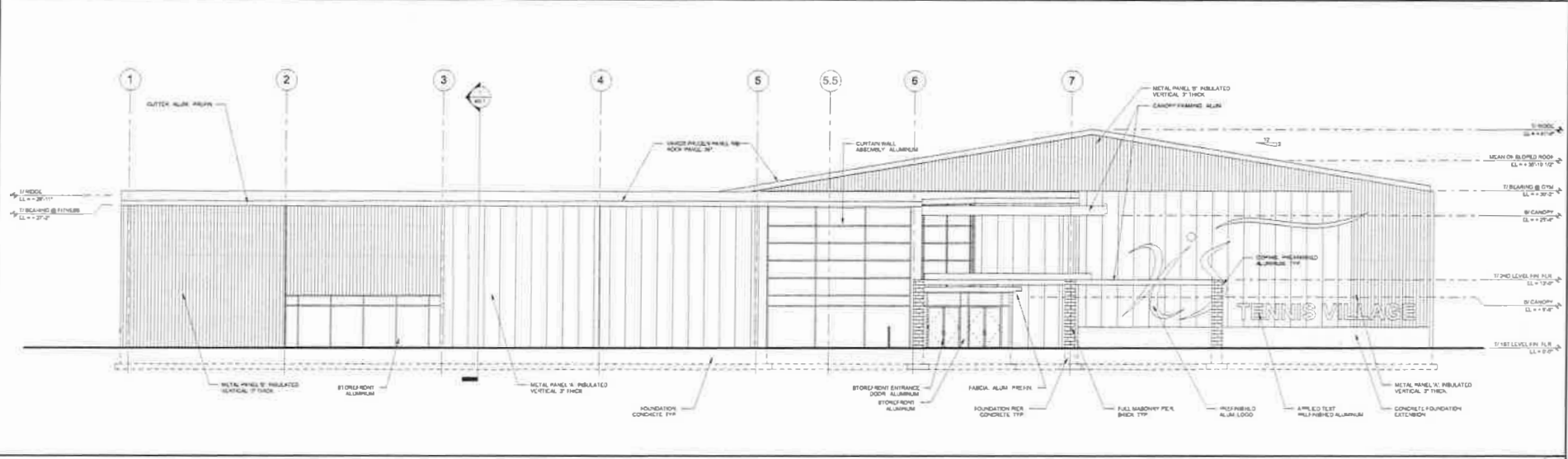
XS TENNIS VILLAGE
NEW TENNIS FACILITY
Chicago, IL

NOT FOR
CONSTRUCTION



NORTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0" 2



SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0" 4

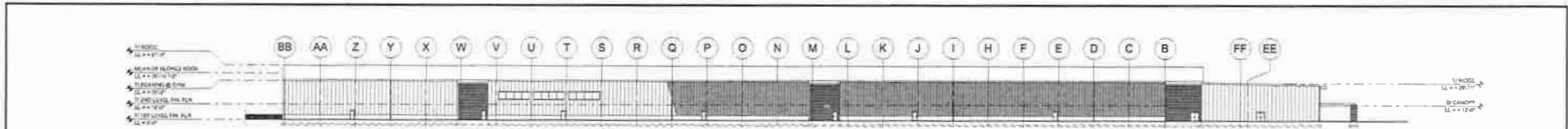
METAL PANEL A: VARIOUS FINISHES THROUGHOUT A RECTANGULAR WALL PANEL, 20\"/>

PROJECT: 2017
 ARCHITECT: WILLIAMS ARCHITECTS
 NOT FOR CONSTRUCTION
 XS TENNIS VILLAGE
 NEW TENNIS FACILITY
 Chicago, IL

REV	DATE	BY	CHK
1	01/02/2017	WJ	WJ
2	01/02/2017	WJ	WJ
3	01/02/2017	WJ	WJ
4	01/02/2017	WJ	WJ
5	01/02/2017	WJ	WJ
6	01/02/2017	WJ	WJ
7	01/02/2017	WJ	WJ
8	01/02/2017	WJ	WJ
9	01/02/2017	WJ	WJ
10	01/02/2017	WJ	WJ

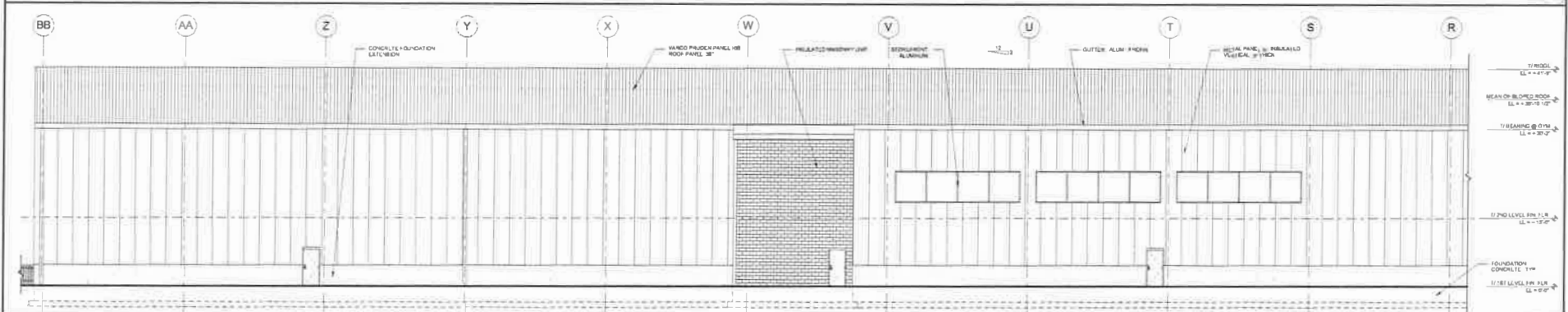
WILLIAMS ARCHITECTS
 ARCHITECTS PLANNERS
 1000 N. LAKE STREET, SUITE 200
 CHICAGO, IL 60610
 TEL: 312.541.1000
 FAX: 312.541.1001

EXTERIOR ELEVATIONS
 A4.1



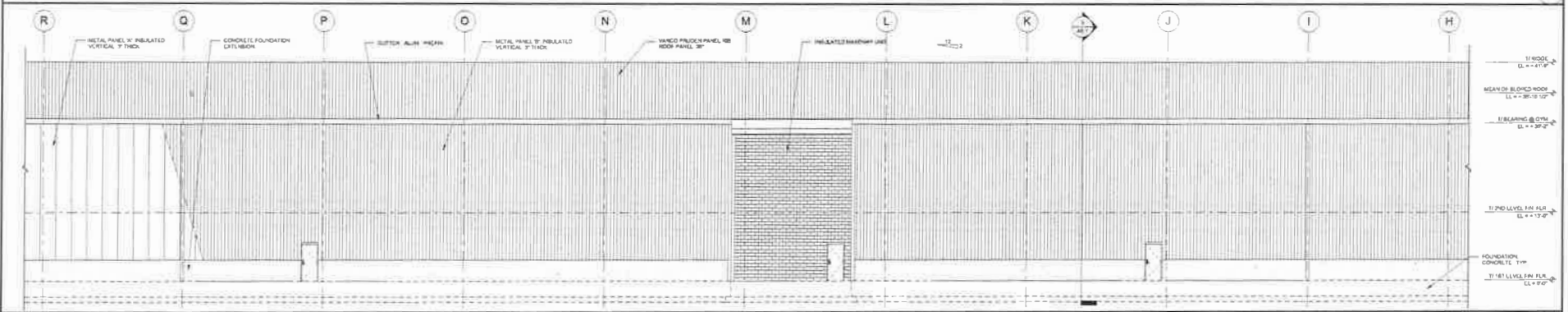
WEST EXTERIOR KEY ELEVATION

SCALE: 1/8" = 1'-0" 1



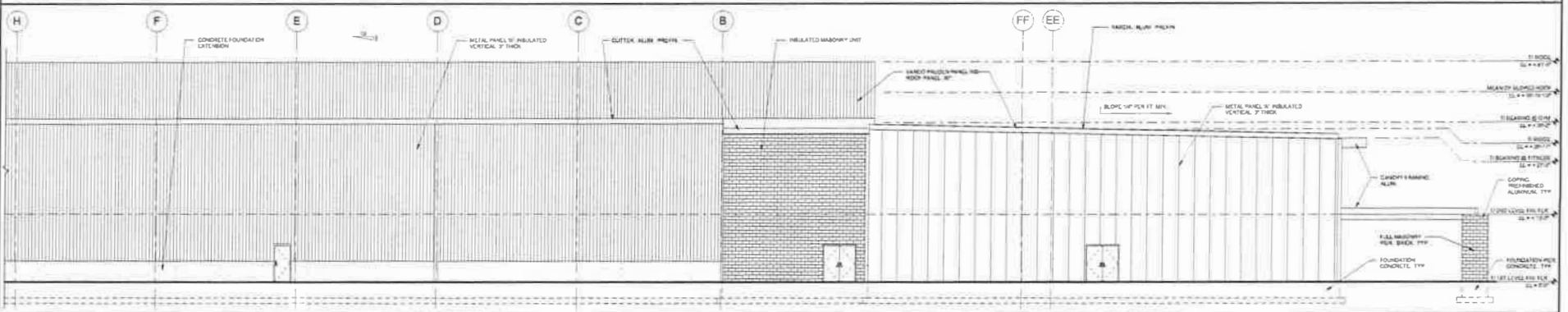
WEST EXTERIOR PARTIAL ELEVATION - NORTH

SCALE: 1/8" = 1'-0" 2



WEST EXTERIOR PARTIAL ELEVATION - MID

SCALE: 1/8" = 1'-0" 3



WEST EXTERIOR PARTIAL ELEVATION - SOUTH

SCALE: 1/8" = 1'-0" 4

DATE: 02/15/11

NOT FOR CONSTRUCTION

XS TENNIS VILLAGE
NEW TENNIS FACILITY
Chicago, IL

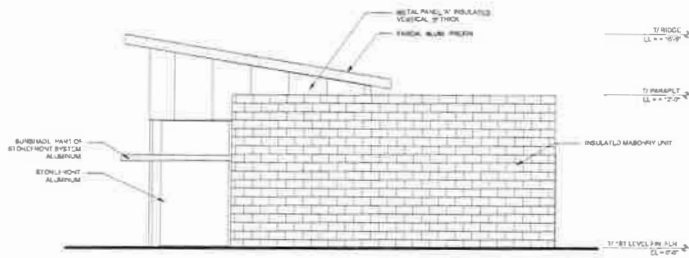
PROJECT NO. 10100000
DATE: 02/15/11
DRAWN: JCL
CHECKED: CMB

WILLIAMS ARCHITECTS
ARCHITECTS PLANNERS
101 W. Madison St., Suite 1400
Chicago, IL 60601
Phone: 312.261.0871 Fax: 312.551.0118



EXTERIOR ELEVATIONS

A4.3



CLUBHOUSE WEST ELEVATION

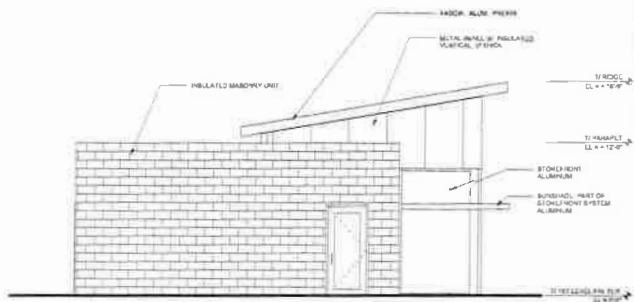
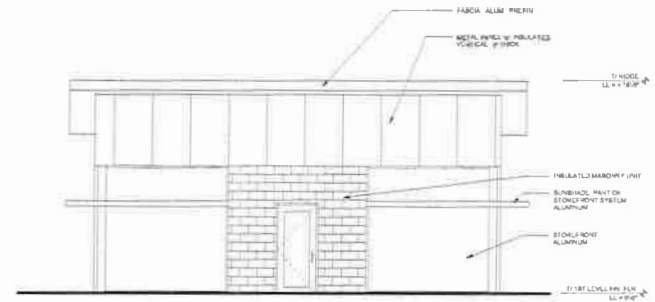
SCALE: 1/8" = 1'-0"

12

CLUBHOUSE NORTH ELEVATION

SCALE: 1/8" = 1'-0"

2



CLUBHOUSE EAST ELEVATION

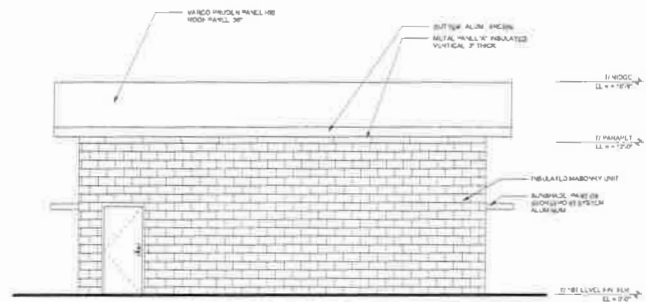
SCALE: 1/8" = 1'-0"

14

CLUBHOUSE SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

4



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NOT FOR CONSTRUCTION

XS TENNIS VILLAGE
NEW TENNIS FACILITY
Chicago, IL

DATE: 2018.05
DRAWN: J. B. BROWN
CHECKED: M. J. BROWN
DESIGNED: J. B. BROWN

REVISIONS

WILLIAMS
ARCHITECTS
ARCHITECTS & PLANNERS
100 N. LAUREL STREET, SUITE 100
CHICAGO, IL 60610
PHONE: 312.281.8877 FAX: 312.281.0114



CLUBHOUSE ELEVATIONS

A4.4

18114

Reclassification Of Area Shown On Map No. 12-F.

(As Amended)

(Application No. 18114)

(Common Address: 5218 -- 5402 S. State St., 5219 -- 5359 S. Federal St.
And 5359 -- 5401 S. Dearborn St.)

CPD1255

[SO2014-5801]

Be It Ordained by the City Council of the City of Chicago:

SECTION 1. That the Chicago Zoning Ordinance be amended by changing all of the RT4 Residential Two-Flat, Townhouse and Multi-Unit District symbols and indications as shown on Map Number 12-F in the area bounded by:

a line approximately 744.13 feet south of and parallel to West 51st Street; South State Street; a line approximately 2,027.57 feet south of and parallel to West 51st Street; South Dearborn Street; West 54th Street; and South Federal Street,

to those of C3-2 Commercial, Manufacturing and Employment District.

SECTION 2. That the Chicago Zoning Ordinance be amended by changing all of the C3-2 Commercial, Manufacturing and Employment District symbols and indications as shown on Map Number 12-F in the area bounded by:

a line approximately 744.13 feet south of and parallel to West 51st Street; South State Street; a line approximately 2,027.57 feet south of and parallel to West 51st Street; South Dearborn Street; West 54th Street; and South Federal Street,

to those of a Planned Development.

SECTION 3. This ordinance shall be in force and effect from and after its passage.

Plan of Development Statements attached to this ordinance read as follows:

Planned Development No. 1255.

Plan Of Development Statements.

1. The area delineated herein as Planned Development Number 1255 ("Planned Development") consists of approximately 600,049 net square feet of property which is depicted on the attached Planned Development Boundary and Property Line Map ("Property"). The Property is owned by Chicago Housing Authority and St. Mary's AME Church. The applicant for purposes of this Planned Development is XS Tennis Village LLC, with the authorization of the Property owners.
2. The requirements, obligations and conditions contained within this Planned Development shall be binding upon the applicant, its successors and assigns and, if

different than the applicant, the legal titleholders and any ground lessors. All rights granted hereunder to the applicant shall inure to the benefit of the applicant's successors and assigns and, if different than the applicant, the legal titleholder and any ground lessors. Furthermore, pursuant to the requirements of Section 17-8-0400 of the Chicago Zoning Ordinance, the Property, at the time of application for amendments, modifications or changes (administrative, legislative or otherwise) to this Planned Development are made, shall be under single ownership or designated control. Single designated control is defined in Section 17-8-0400 of the Zoning Ordinance in effect as of the date of this Planned Development.

3. All applicable official reviews, approvals or permits are required to be obtained by the applicant or its successors, assignees or grantees. Any dedication or vacation of streets or alleys or grants of easements or any adjustment of the right-of-way shall require a separate submittal to the Department of Transportation on behalf of the applicant or its successors, assignees or grantees.

Any requests for grants of privilege, or any items encroaching on the public way, shall be in compliance with the plans.

Ingress or egress shall be pursuant to the plans and may be subject to the review and approval of the Departments of Planning and Development and Transportation. Closure of all or any public street or alley during demolition or construction shall be subject to the review and approval of the Department of Transportation.

All work proposed in the public way must be designed and constructed in accordance with the Department of Transportation Construction Standards for Work in the Public Way and in compliance with the Municipal Code of the City of Chicago. Prior to the issuance of any Part II Approval, the submitted plans must be approved by the Department of Transportation.

4. This plan of development consists of fifteen (15) statements, a Bulk Regulations and Data Table, a PD Boundary and Property Line Map prepared by Spaceco, Inc. and dated August 21, 2014, and the following plans prepared by Williams Architects and dated August 21, 2014 (collectively, the "Plans"): Existing Zoning and Land-Use Map, Site Key Plan, Site Plan -- South, Site Plan -- North, Landscape Plan South, Landscape Plan North, Floor Plan -- South, Floor Plan -- North, Green Roof Plan -- South, Green Roof Plan -- North and Building Elevations. Full-sized copies of the Plans are on file with the Department of Planning and Development ("DPD"). In any instance where a provision of this Planned Development conflicts with the Chicago Building Code, the Building Code shall control. This Planned Development conforms to the intent and purpose of the Zoning Ordinance, and all requirements thereto, and satisfies the established criteria for approval as a Planned Development. These and no other zoning controls shall apply to the Property.
5. The following uses shall be permitted in this Planned Development: Indoor and Outdoor Participant Sports and Recreation; Community Centers, Recreation Buildings and Similar Assembly Use; Restaurant (Limited); Outdoor Patio (if located at grade level); Retail Sales (General); Day Care; Indoor Special Event Class B (including

incidental liquor sales); Entertainment and Spectator Sports (Small and Medium Venues); Banquet or Meeting Halls; Automated Teller Machine Facility; Food and Beverage Retail Sales; accessory uses; and accessory parking.

6. On-premises signs and temporary signs, such as construction and marketing signs, shall be permitted within the Planned Development, subject to the review and approval of the Department of Planning and Development. Off-premises signs are prohibited within the boundary of the Planned Development.
7. For purposes of height measurement, the definitions in the Zoning Ordinance shall apply. The height of any building shall also be subject to height limitations, if any, established by the Federal Aviation Administration.
8. The maximum permitted Floor Area Ratio ("FAR") for the site shall be in accordance with the attached Bulk Regulations and Data Table. For the purposes of FAR calculations and measurements, the definitions in the Zoning Ordinance shall apply. The permitted overall FAR identified in the Bulk Regulations Table has been determined using a Net Site Area of 600,049 square feet.
9. Upon review and determination, "Part II Review", pursuant to Section 17-13-0610 of the Zoning Ordinance, a Part II Review fee shall be assessed by DPD. The fee, as determined by staff at the time, is final and binding on the applicant and must be paid to the Department of Revenue prior to the issuance of any Part II Approval.
10. The Plans shall be in substantial conformance with the Landscape Ordinance and any other corresponding regulations and guidelines. Final landscape plan review and approval will be by DPD. Any interim reviews associated with site plan review or Part II Reviews, are conditional until final Part II Approval.
11. The applicant shall comply with Rules and Regulations for the Maintenance of Stockpiles promulgated by the Commissioners of the Departments of Streets and Sanitation, Fleet and Facility Management and Buildings, under Section 13-32-125 of the Municipal Code, or any other provision of that Code.
12. The terms and conditions of development under this Planned Development ordinance may be modified administratively, pursuant to Section 17-13-0611-A of the Zoning Ordinance by the Zoning Administrator upon the application for such a modification by the applicant, its successors and assigns and, if different than the applicant, the legal titleholders and any ground lessors.
13. The applicant acknowledges that it is in the public interest to design, construct and maintain the project in a manner which promotes, enables and maximizes universal access throughout the Property. Plans for all buildings and improvements on the Property shall be reviewed and approved by the Mayor's Office for People with Disabilities to ensure compliance with all applicable laws and regulations related to access for persons with disabilities and to promote the highest standard of accessibility.
14. The applicant acknowledges that it is in the public interest to design, construct, renovate and maintain all buildings in a manner that provides healthier indoor environments,

reduces operating costs and conserves energy and natural resources. The development will be designed to meet standards for LEED certification. In addition, the development will include a green roof and on-site bio-swales/rain gardens, the aggregate area of which will provide storm water volume control in an amount equivalent to a green roof covering 50 percent of the net roof area, as more particularly described in the attached Green Roof Plan -- South and Green Roof Plan -- North.

15. This Planned Development shall be governed by Section 17-13-0612 of the Zoning Ordinance. Should this Planned Development ordinance lapse, the Commissioner of DPD shall initiate a zoning map amendment to rezone the Property to the C3-2 Commercial, Manufacturing and Employment District.

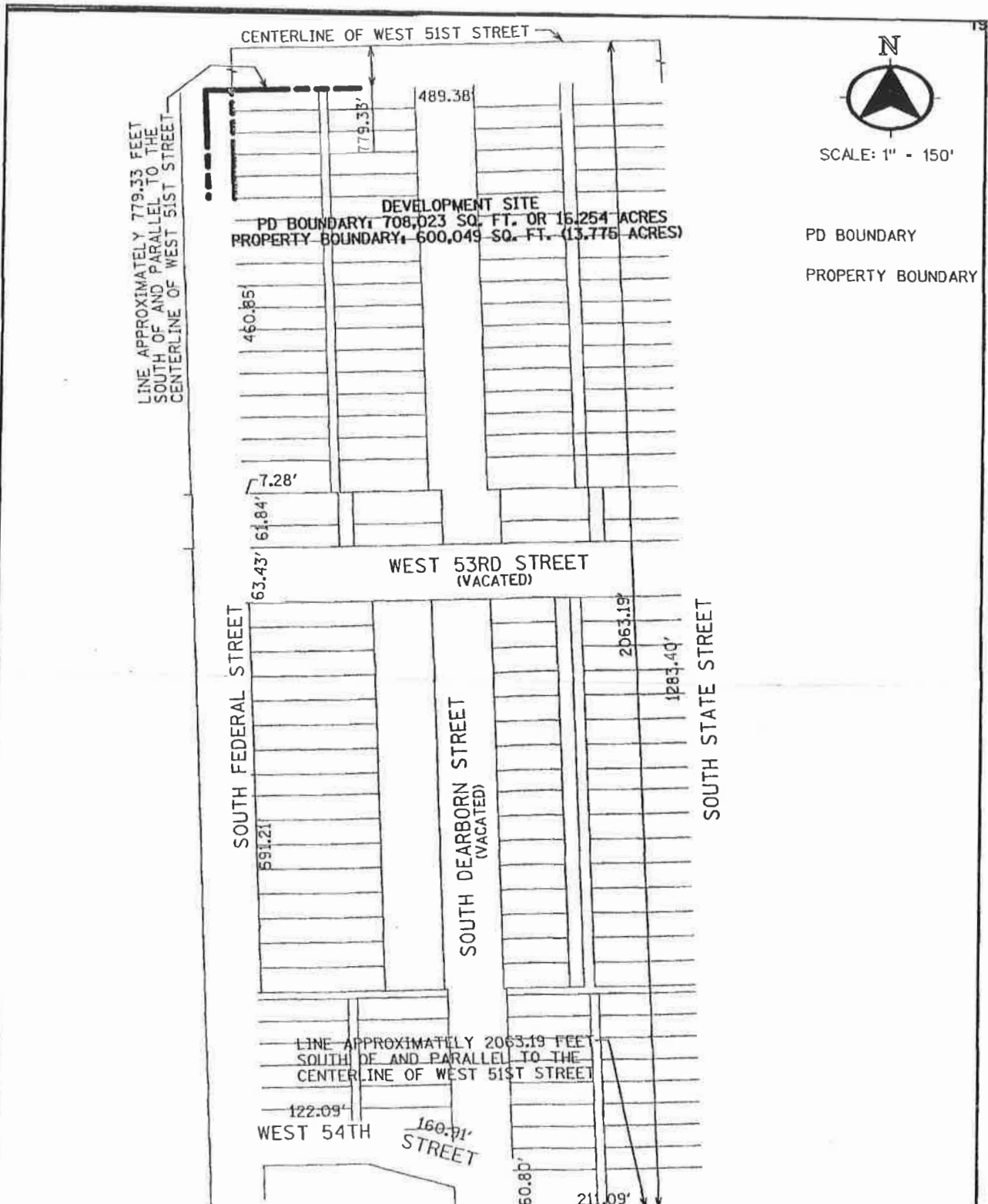
[Boundary and Property Line Map; Existing Zoning Map; Existing Land-Use Map; Site Key Plan; North and South Site Plans; North and South Landscape Plans; North and South Floor Plans; North and South Green Roof Plans; and Building Elevations referred to in these Plan of Development Statements printed on pages 88708 through 88724 of this *Journal*.]

Bulk Regulations and Data Table referred to in these Plan of Development Statements reads as follows:

Planned Development No. 1255.

Bulk Regulations And Data Table.

Gross Site Area (square feet):	708,023 square feet (16.253 acres)
Area of Public Rights-of-Way (square feet):	107,974 square feet (2.478 acres)
Net Site Area (square feet):	600,049 square feet (13.775 acres)
Maximum Floor Area Ratio:	2.2
Minimum Off-Street Parking Spaces:	147
Minimum Bicycle Parking Spaces:	30
Minimum Off-Street Loading Spaces:	One (1) -- 10 feet x 50 feet
Maximum Building Height:	40 feet
Minimum Setbacks:	In accordance with the Site Plan.



SCALE: 1" = 150'

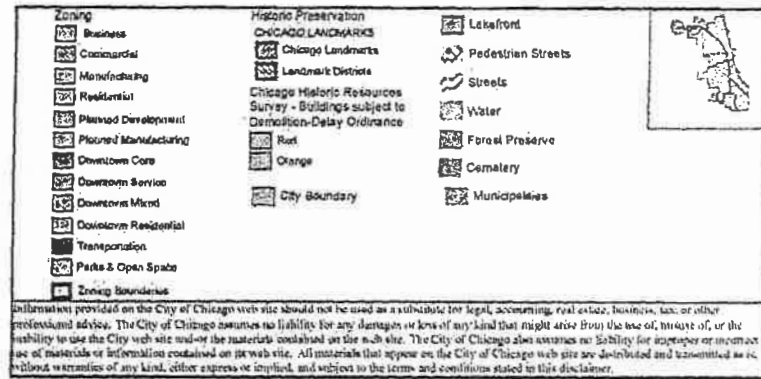
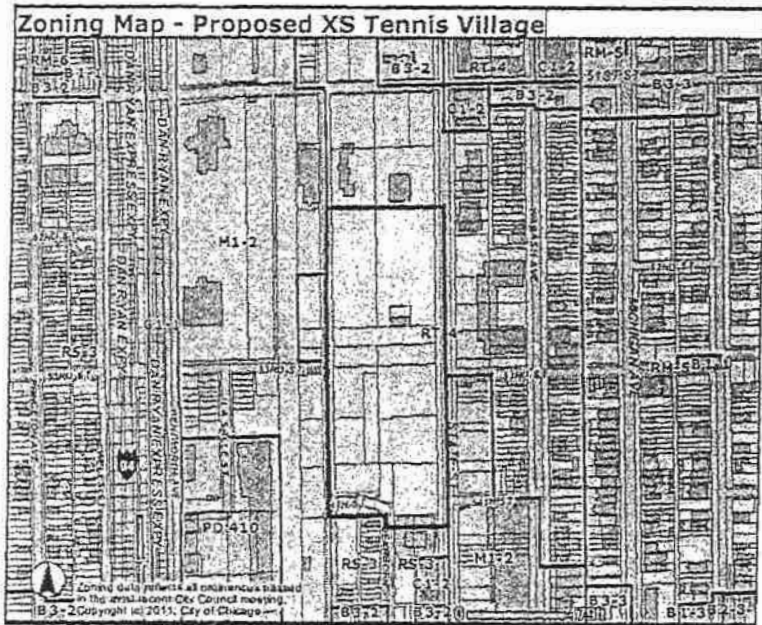
PD BOUNDARY
PROPERTY BOUNDARY

PD BOUNDARY AND PROPERTY LINE MAP

APPLICANT: XS TENNIS VILLAGE LLC
 ADDRESS: 5218-5402 SOUTH STATE STREET, 5219-5359 SOUTH FEDERAL STREET, AND 5359-5401 SOUTH DEARBORN.
 INTRODUCTION DATE: JULY 22, 2014
 PLAN COMMISSION: AUGUST 21, 2014



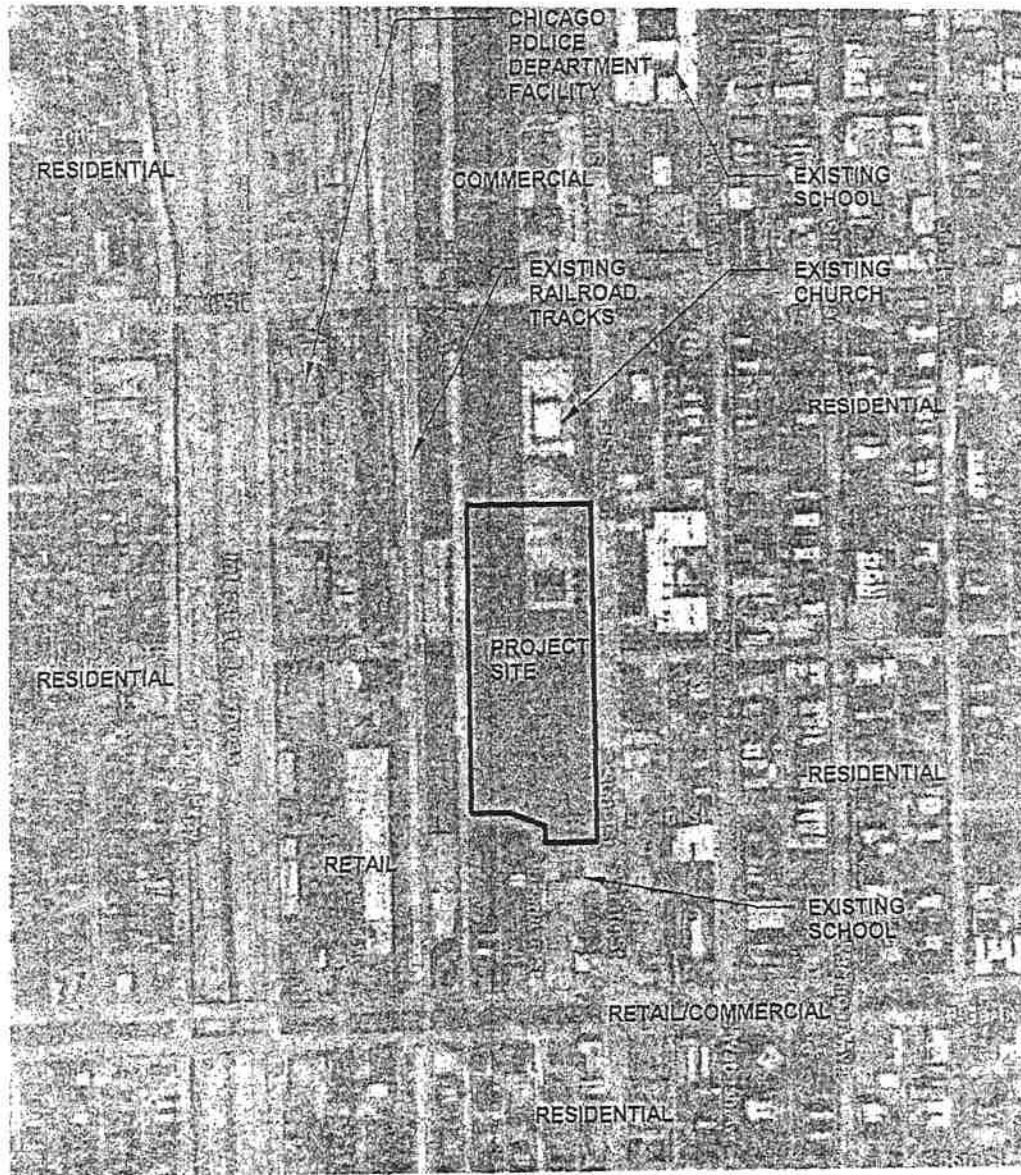
CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 896-4060 Fax: (847) 896-4065



APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

Existing Zoning Map
XS Tennis Village
Chicago, IL

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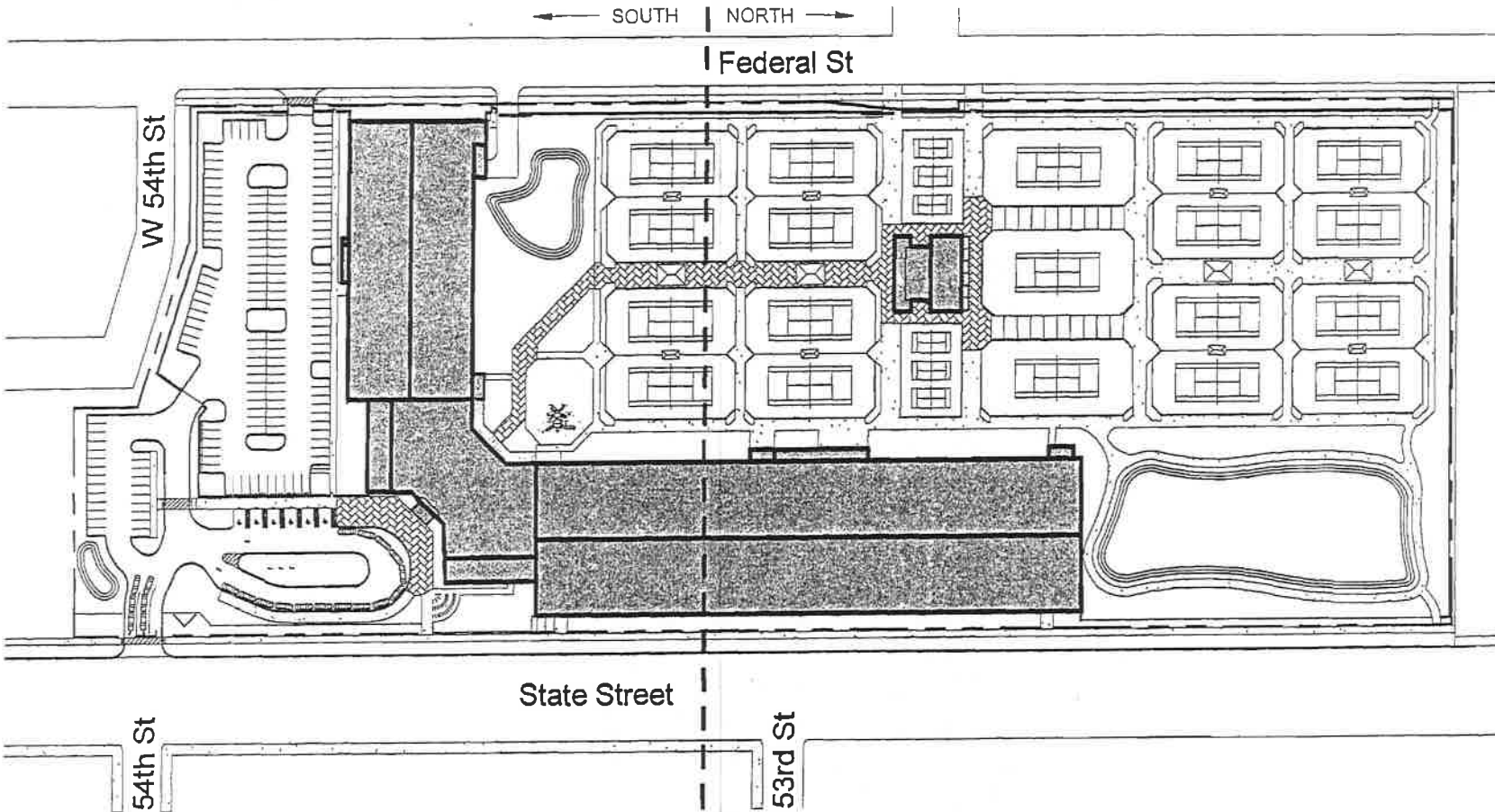
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 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

Existing Land Use Map
XS Tennis Village
Chicago, IL


 NORTH


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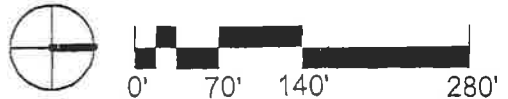


9/10/2014

REPORTS OF COMMITTEES

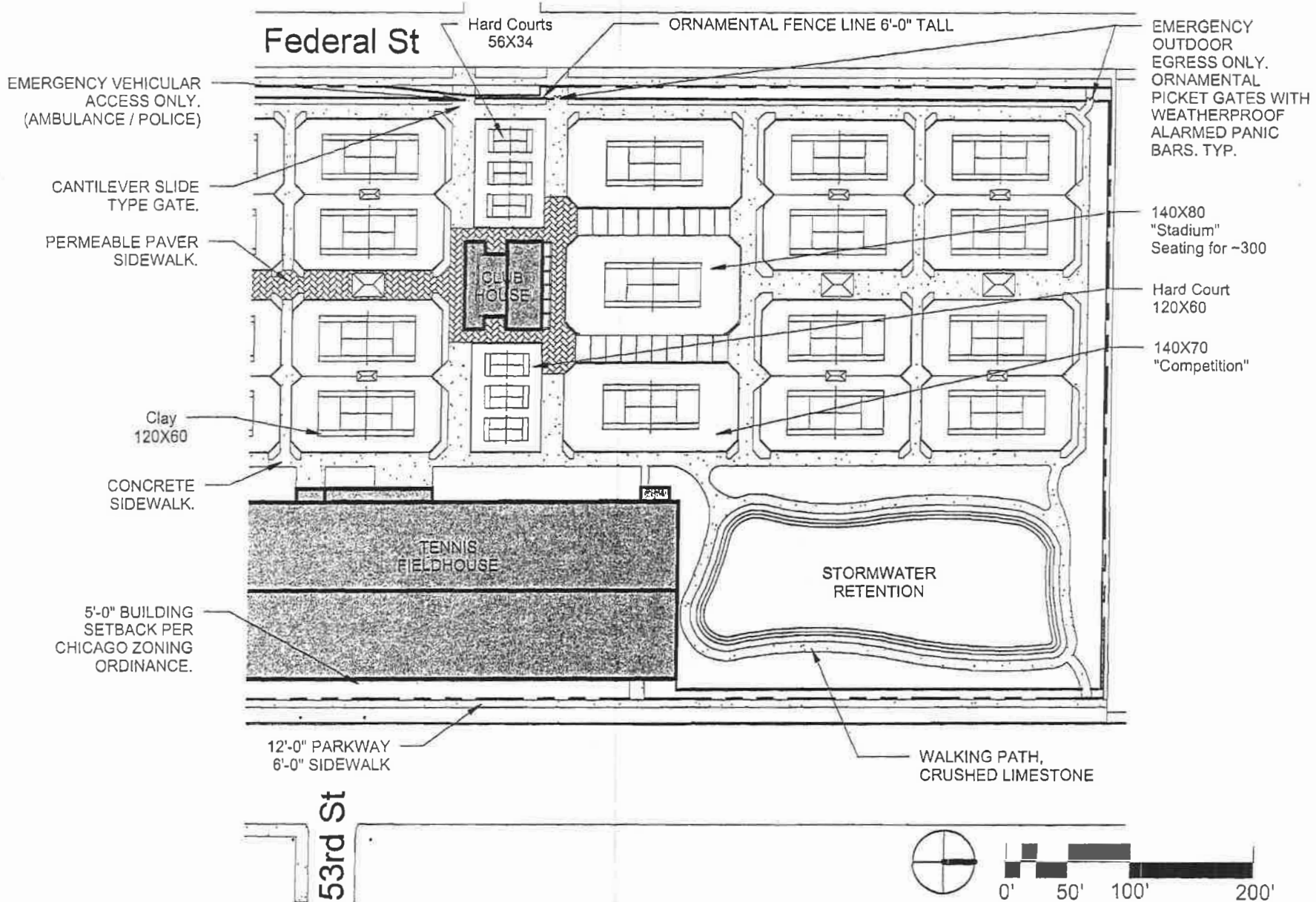
APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

Site Key Plan
XS Tennis Village
Chicago, IL



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88711



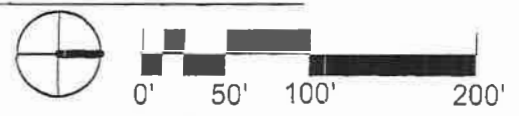
88712

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APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

**Site Plan - North
 XS Tennis Village
 Chicago, IL**

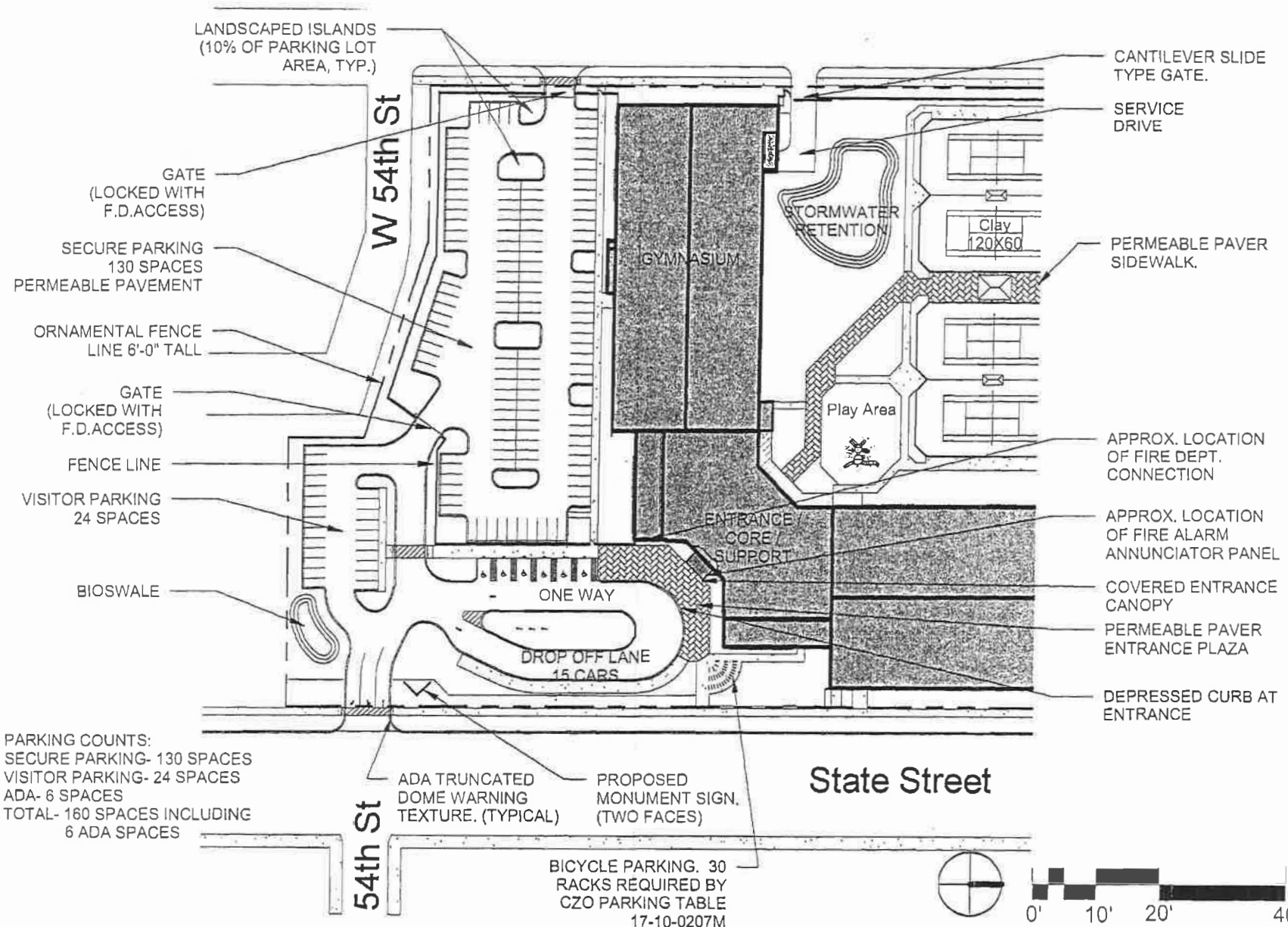


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REPORTS OF COMMITTEES

88713



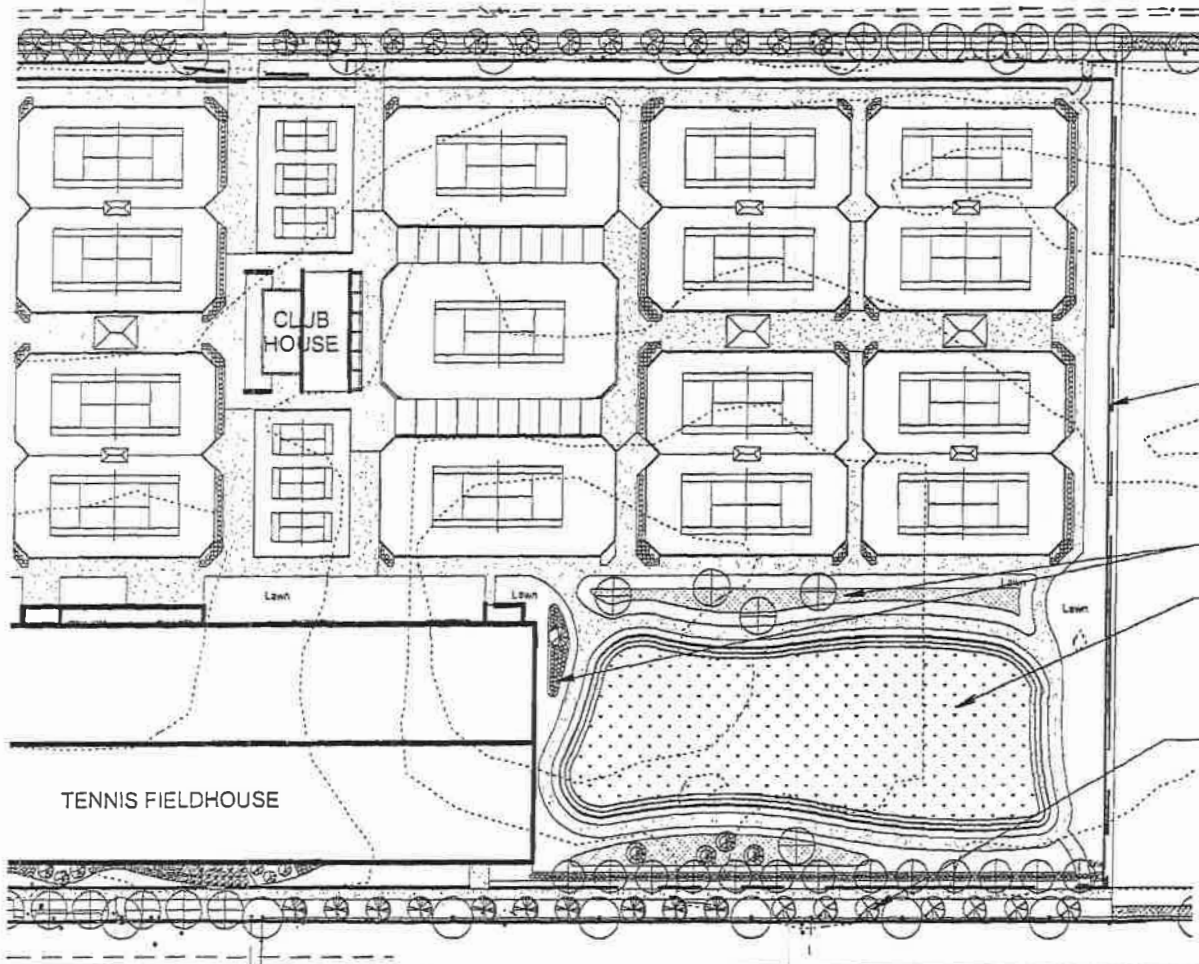
PARKING COUNTS:
 SECURE PARKING- 130 SPACES
 VISITOR PARKING- 24 SPACES
 ADA- 6 SPACES
 TOTAL- 160 SPACES INCLUDING
 6 ADA SPACES

APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

**Site Plan - South
 XS Tennis Village
 Chicago, IL**

BICYCLE PARKING. 30
 RACKS REQUIRED BY
 CZO PARKING TABLE
 17-10-0207M

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6' ORNAMENTAL METAL FENCE

NATIVE PLANTINGS

STORMWATER RETENTION WITH NATIVE PLANTINGS

TREE SPACING ALONG STREETS 25' TYP.

Parking Lot and Vehicular Use Area Calculations

Vehicular Use Area:	62,190 square feet
Internal landscape area (10 percent) required:	6,219 square feet required
Internal landscape area provided:	14,532 square feet provided
One tree / 125 square feet of required internal landscape area:	50 trees required
	50 trees provided



APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

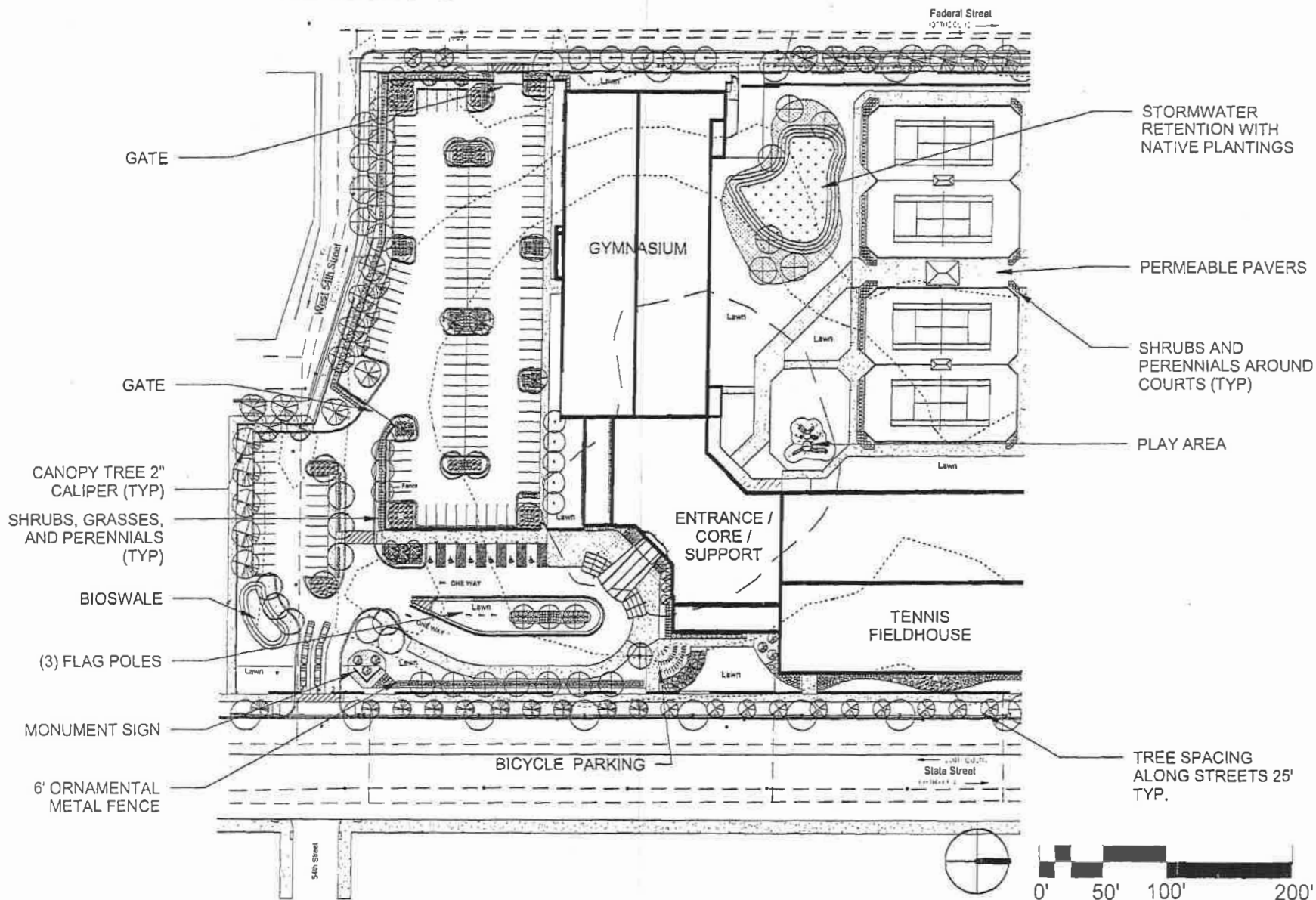
Landscape Plan North
XS Tennis Village
Chicago, IL


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REPORTS OF COMMITTEES

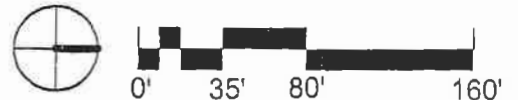
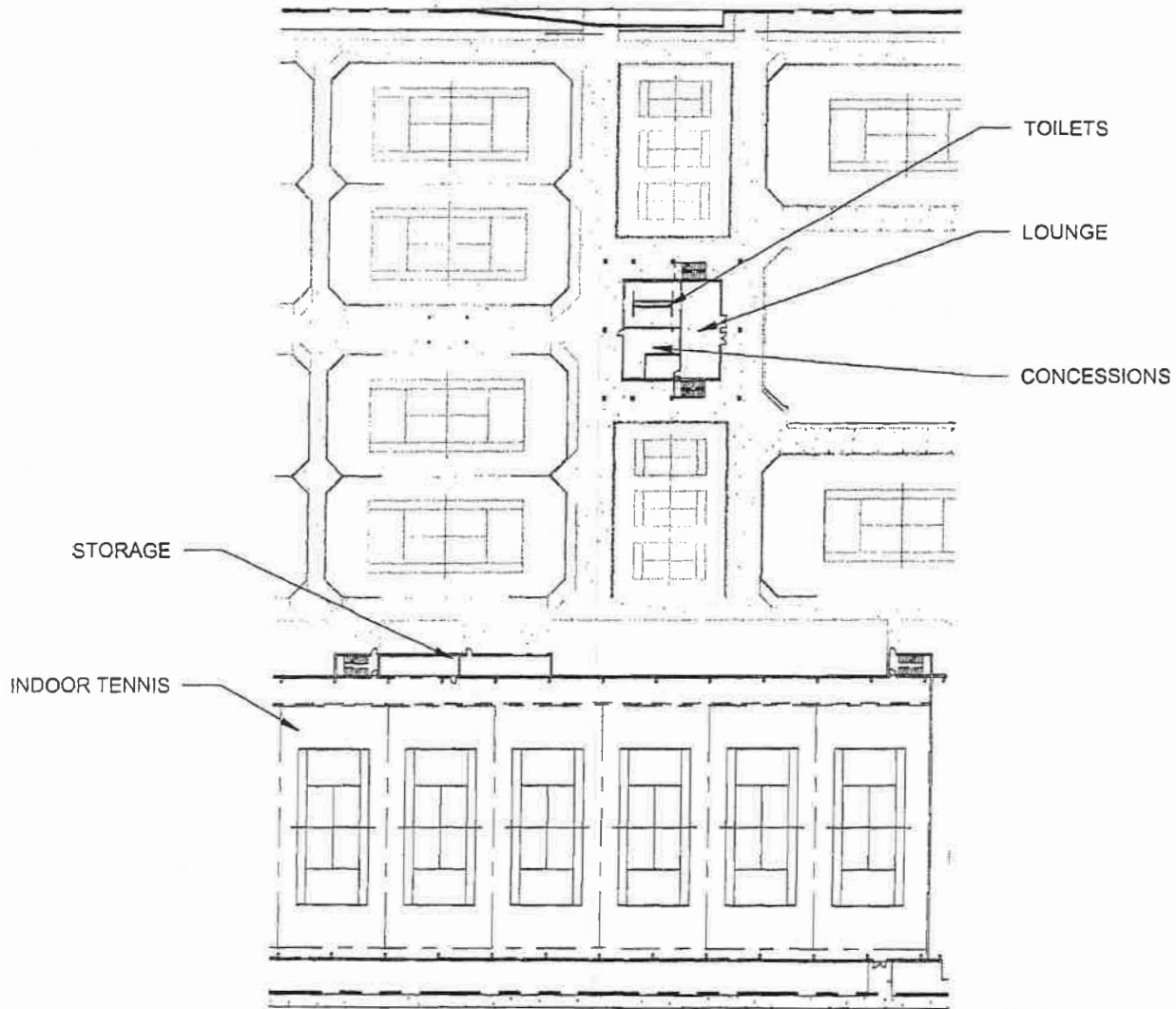
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APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

Landscape Plan South
XS Tennis Village
Chicago, IL

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APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

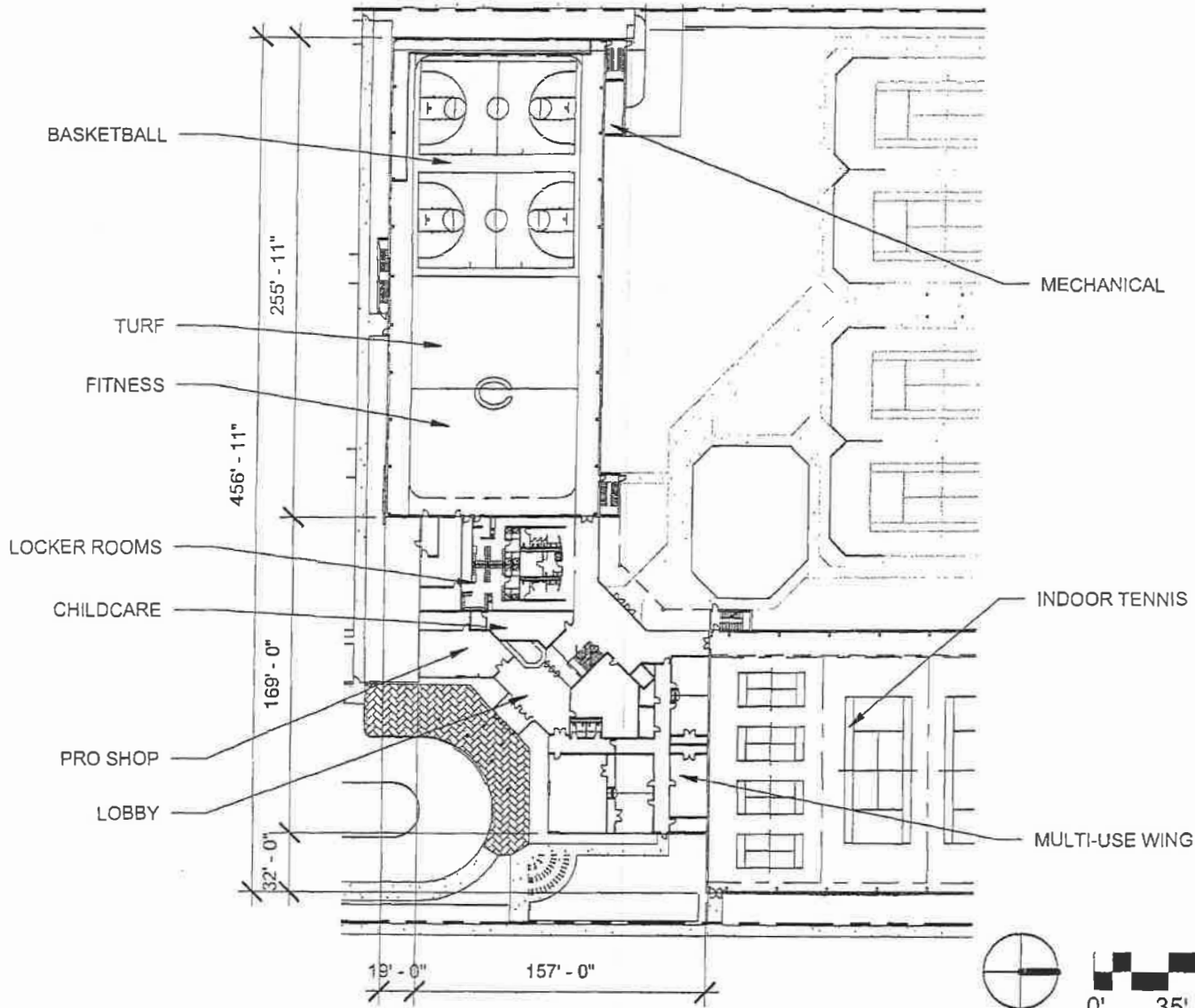
Floor Plan - North
XS Tennis Village
Chicago, IL

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 Chicago, IL 60606 www.williams-architects.com

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REPORTS OF COMMITTEES

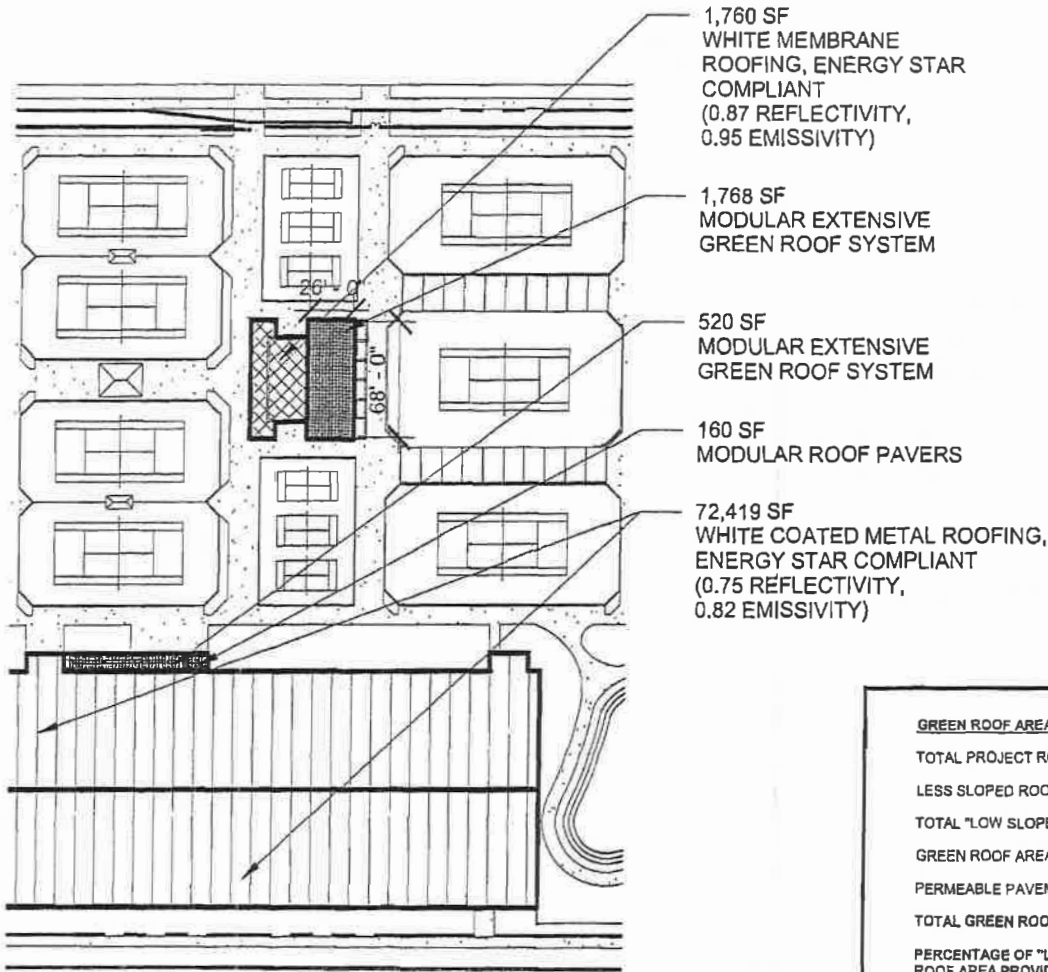
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APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

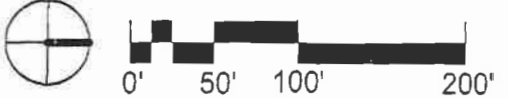
Floor Plan - South
XS Tennis Village
Chicago, IL


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 Chicago, IL 60608 www.williams-architects.com



- 1,760 SF
WHITE MEMBRANE
ROOFING, ENERGY STAR
COMPLIANT
(0.87 REFLECTIVITY,
0.95 EMISSIVITY)
- 1,768 SF
MODULAR EXTENSIVE
GREEN ROOF SYSTEM
- 520 SF
MODULAR EXTENSIVE
GREEN ROOF SYSTEM
- 160 SF
MODULAR ROOF PAVERS
- 72,419 SF
WHITE COATED METAL ROOFING,
ENERGY STAR COMPLIANT
(0.75 REFLECTIVITY,
0.82 EMISSIVITY)

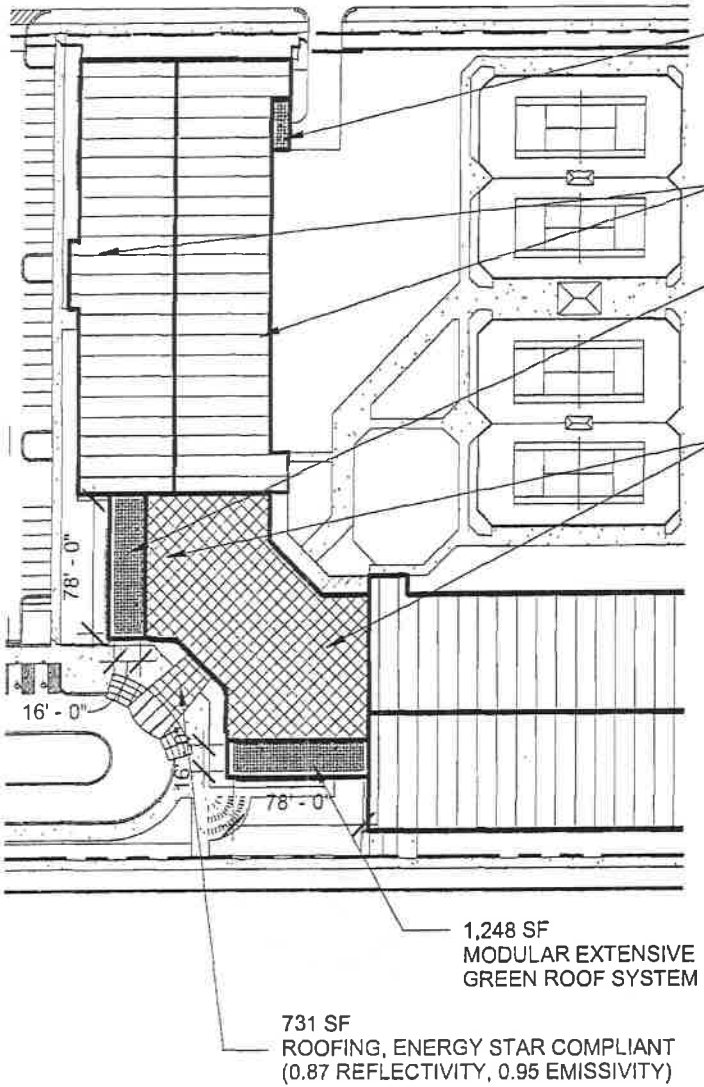
<u>GREEN ROOF AREA TABULATION</u>	
TOTAL PROJECT ROOF AREA	124,527 SF
LESS SLOPED ROOF AREAS OVER TENNIS AND FITNESS SPACES	(102,736 SF)
TOTAL "LOW SLOPE" ROOF AREA	21,791 SF
GREEN ROOF AREA PROVIDED	4,980 SF
PERMEABLE PAVEMENT AREA PROVIDED ON SITE	16,000 SF
TOTAL GREEN ROOF + PERMEABLE PAVER AREA PROVIDED	20,980 SF
PERCENTAGE OF "LOW SLOPE" ROOF AREA PROVIDED AS GREEN ROOF AND PERMEABLE PAVERS	96.3 %



APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

Green Roof Plan - North
XS Tennis Village
Chicago, IL


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196 SF
MODULAR EXTENSIVE
GREEN ROOF SYSTEM

30,317 SF
WHITE COATED METAL ROOFING,
ENERGY STAR COMPLIANT
(0.75 REFLECTIVITY,
0.82 EMISSIVITY)

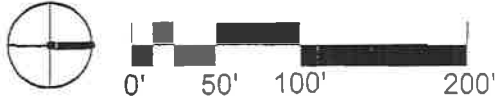
1,248 SF
MODULAR EXTENSIVE
GREEN ROOF SYSTEM

14,160 SF
WHITE MEMBRANE
ROOFING, ENERGY STAR
COMPLIANT
(0.87 REFLECTIVITY,
0.95 EMISSIVITY)

1,248 SF
MODULAR EXTENSIVE
GREEN ROOF SYSTEM

731 SF
ROOFING, ENERGY STAR COMPLIANT
(0.87 REFLECTIVITY, 0.95 EMISSIVITY)

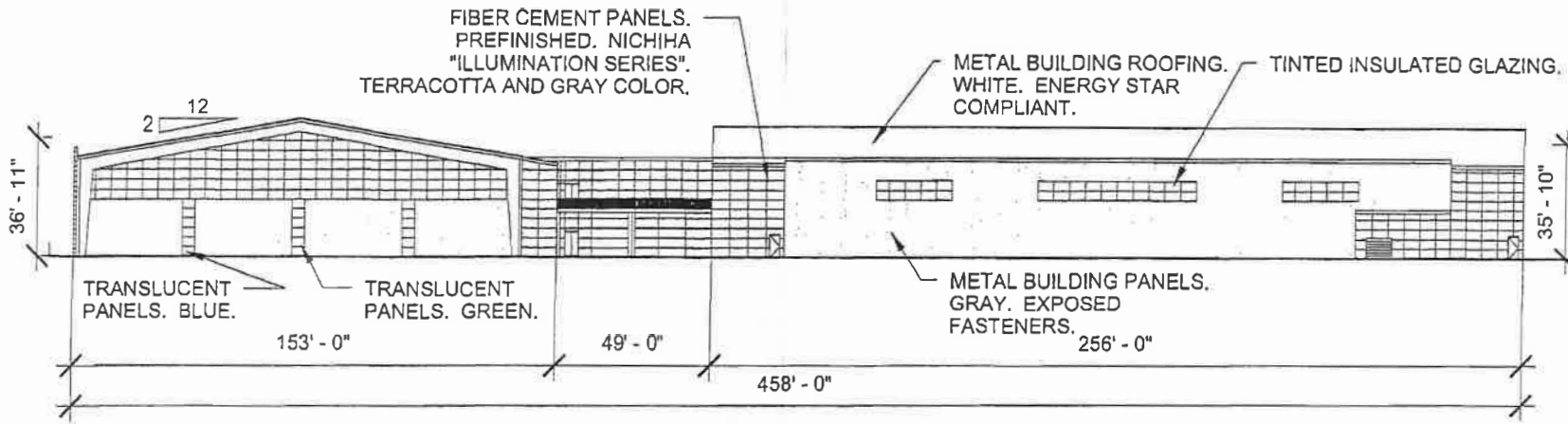
GREEN ROOF AREA TABULATION	
TOTAL PROJECT ROOF AREA	124,527 SF
LESS SLOPED ROOF AREAS OVER TENNIS AND FITNESS SPACES	(102,736 SF)
TOTAL "LOW SLOPE" ROOF AREA	21,791 SF
GREEN ROOF AREA PROVIDED	4,980 SF
PERMEABLE PAVEMENT AREA PROVIDED ON SITE	16,000 SF
TOTAL GREEN ROOF + PERMEABLE PAVER AREA PROVIDED	20,980 SF
PERCENTAGE OF "LOW SLOPE" ROOF AREA PROVIDED AS GREEN ROOF AND PERMEABLE PAVERS	96.3 %



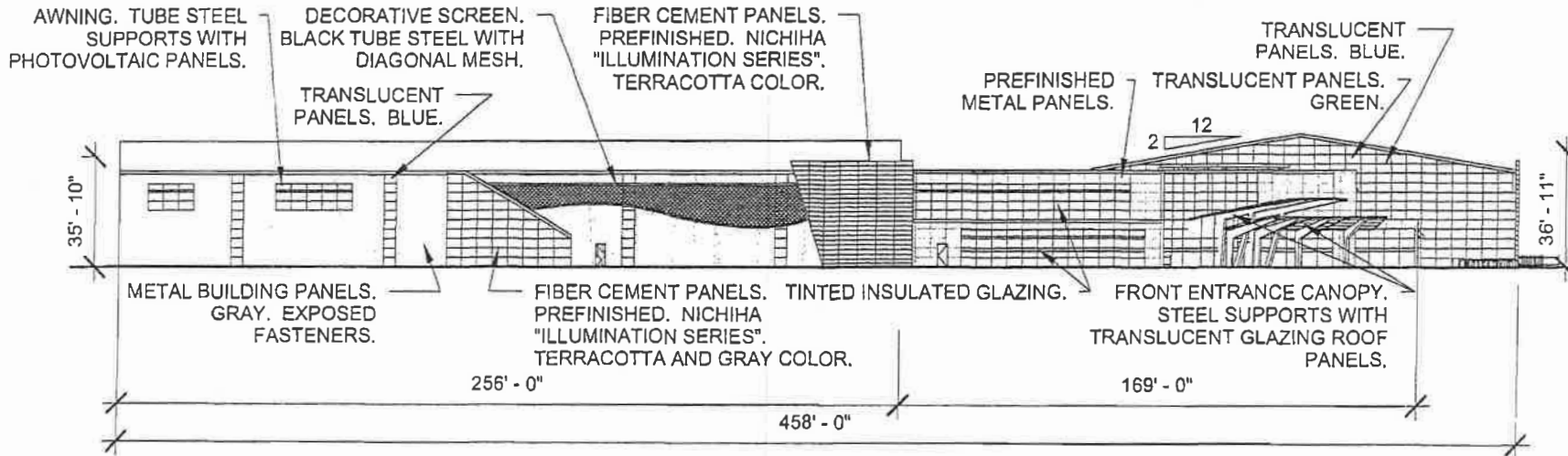
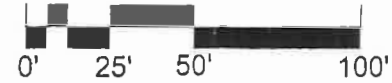
APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

**Green Roof Plan - South
 XS Tennis Village
 Chicago, IL**

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NORTH ELEVATION



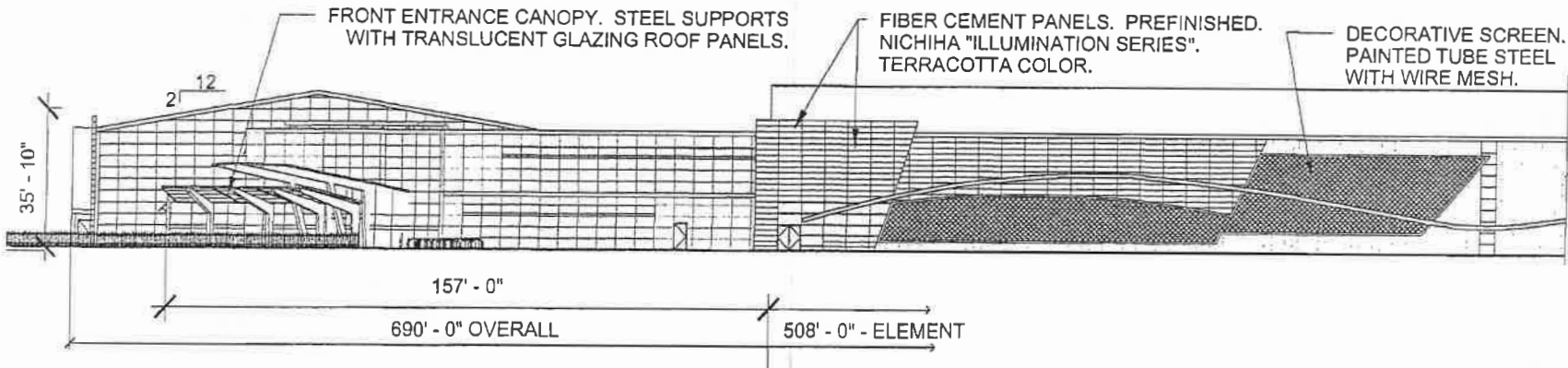
SOUTH ELEVATION



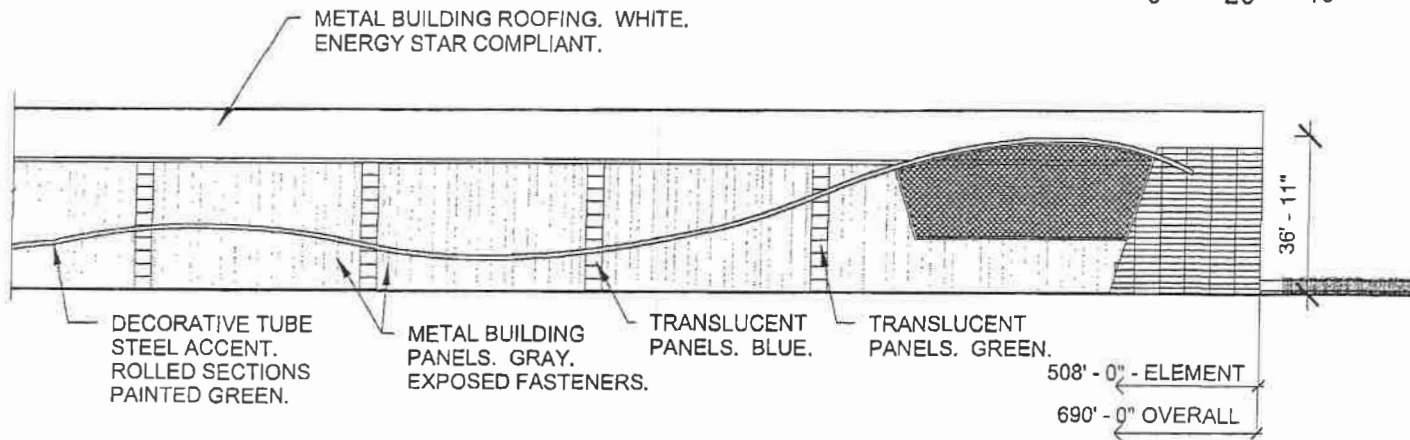
APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

North and South Elevations
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PARTIAL EAST ELEVATION (SOUTHERN PORTION)



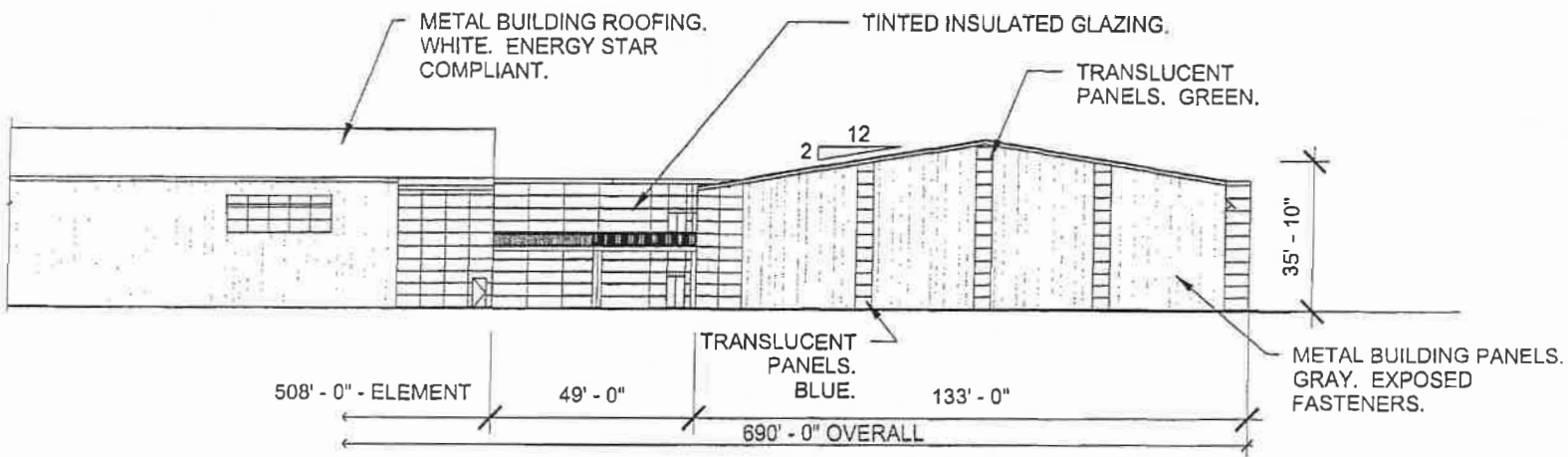
PARTIAL EAST ELEVATION (NORTHERN PORTION)



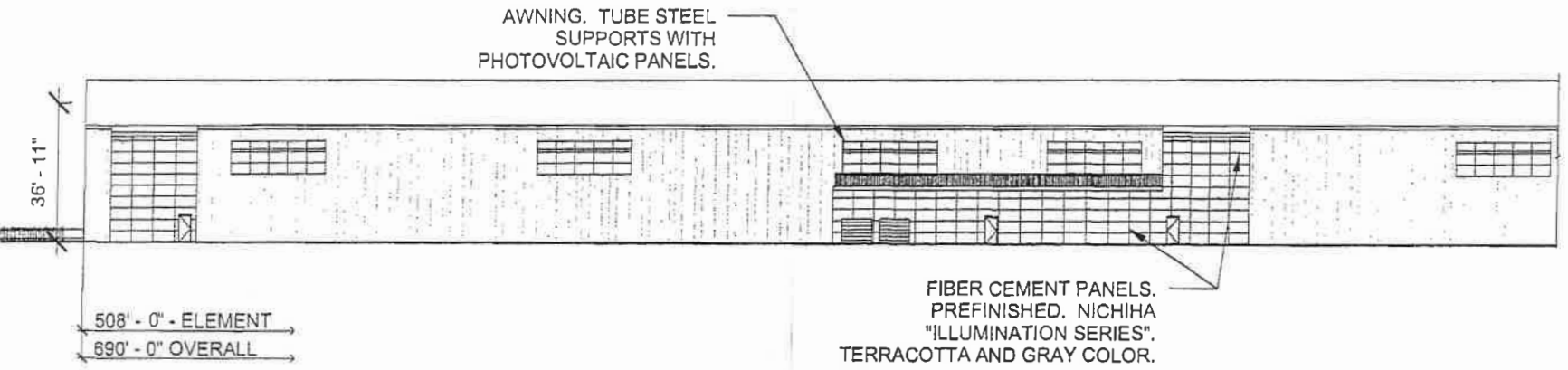
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 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

East Elevation
XS Tennis Village
Chicago, IL

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PARTIAL WEST ELEVATION (SOUTHERN PORTION)

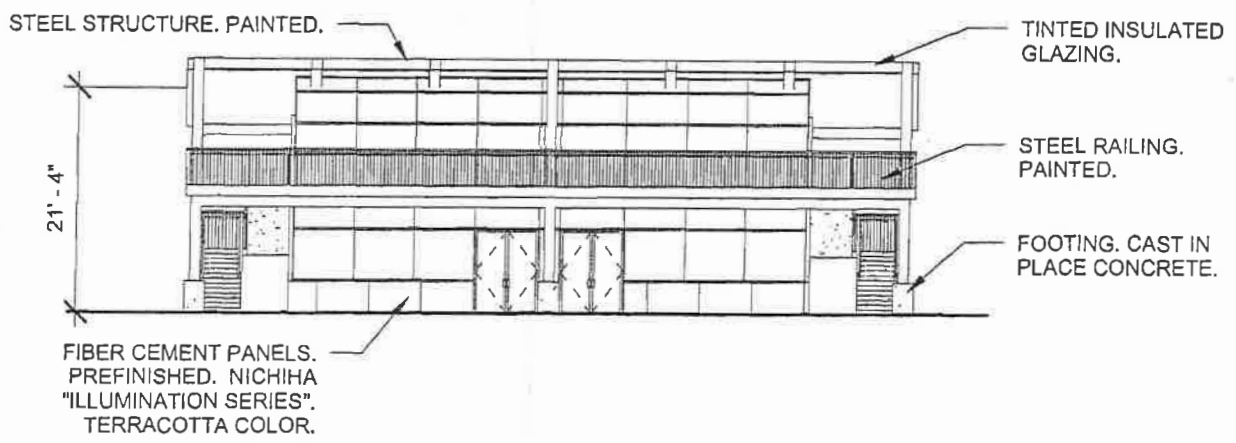


PARTIAL WEST ELEVATION (NORTHERN PORTION)

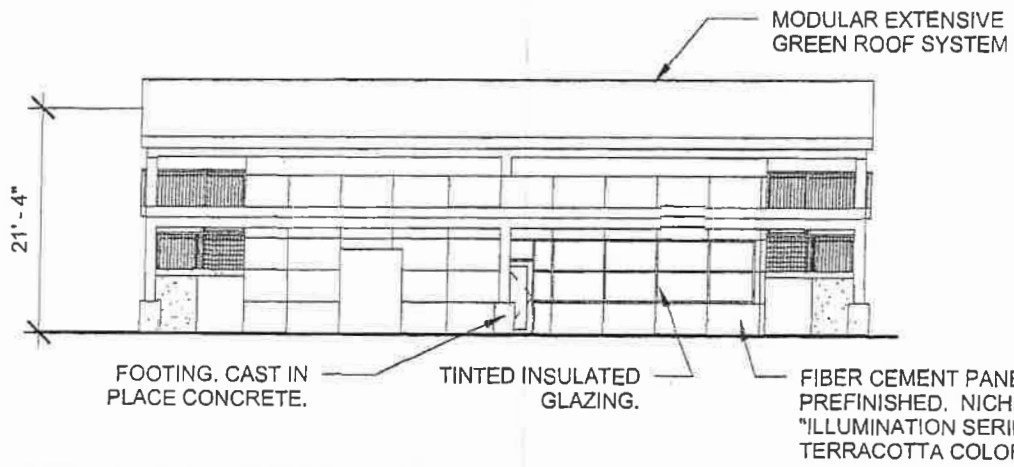
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 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
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West Elevation
XS Tennis Village
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NORTH EXTERIOR ELEVATION -PAVILION



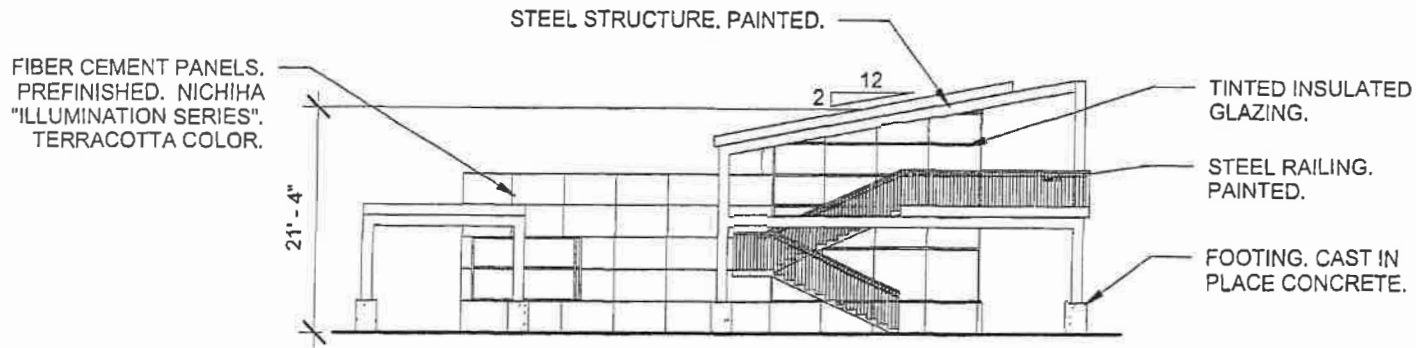
SOUTH EXTERIOR ELEVATION -PAVILION



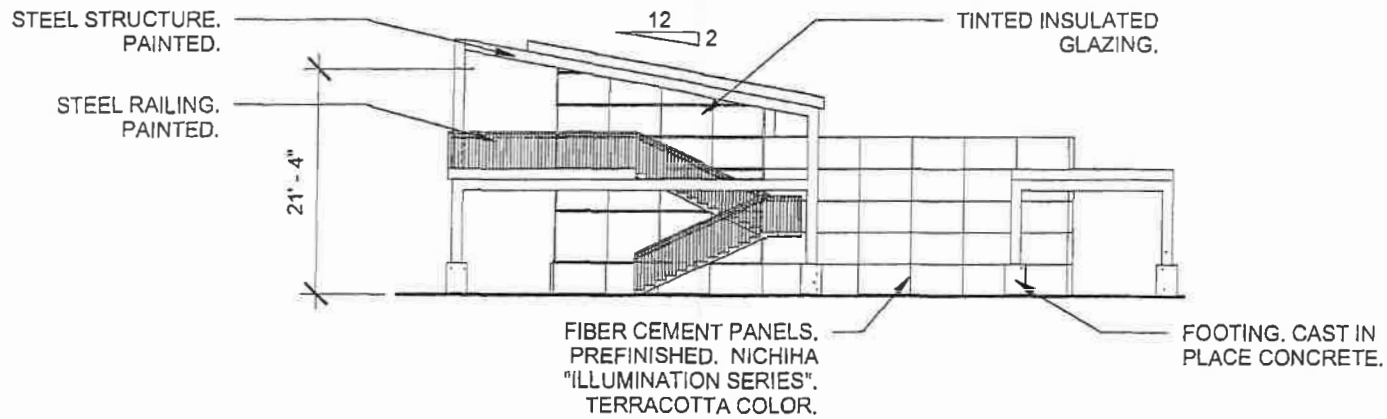
APPLICANT: XS TENNIS VILLAGE
 ADDRESS: 5218-5402 SOUTH STATE ST,
 5219-5359 SOUTH FEDERAL ST,
 5359-5401 SOUTH DEARBORN ST
 INTRODUCED: JULY 30, 2014
 PLAN COMMISSION: August 21, 2014

Pavilion Exterior Elevations
XS Tennis Village
Chicago, IL

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EAST EXTERIOR ELEVATION -PAVILION



WEST EXTERIOR ELEVATION -PAVILION



APPLICANT: XS TENNIS VILLAGE
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Pavilion Exterior Elevations
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